



Planning & Land Use Department  
Town of Barrington  
PO Box 660  
4 Signature Dr.  
Barrington, NH 03825  
603.664.0195  
[VPrice@barrington.nh.gov](mailto:VPrice@barrington.nh.gov)

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MEMO

May 10, 2023

**To: Select Board**  
**Reference: MAP 117, LOT 8**  
**Location: 63 Birch Lane**  
**Owner: Mary Elliot**

The Barrington Planning Board, at the May 2, 2023, meeting had objection to the applicant's request of option one, due to volume increase. The application is considered a Category 3 from the Class VI/Private Road Policy.

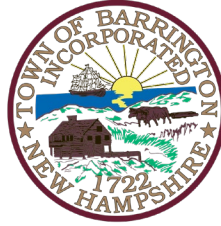
The Planning Board was in agreement that the 10% requirement under the Class VI/Private Road Policy should be met and address the Road Agents' concerns.

Sincerely,

*Vanessa Price*

Vanessa Price  
Town Planner

Cc: File



## STAFF REPORT

Planning Board Meeting of May 2, 2023, at 6:30 PM

### 63 Birch Lane

**Application Type: Category 3 Option 2, requested a waiver, Class VI/Private Road**

**Proposal:** Applicant is proposing to put dormer to provide conventional access to existing second floor and will meet current codes.

#### I. STAFF ANALYSIS:

##### Building Department:

- The building department has received and reviewed the application for a category three Class IV/Private Road building permit with a request for waiver and forwarded to Land Use Department on 4/17/2023.

##### Planners Comments:

- The application is for a Category 3 from the Class VI/Private Road Policy. Applicant is requesting it meets Option one.
- Department head staff reviewed case files and provided comments on the property.

##### Police:

- No comments or concerns.

##### Fire Chief:

- No comments or concerns.

##### Road Agent:

- I have viewed Birch Lane leading from Young Road to number 63, and offer the following observations:
  - The road is paved but starting to deteriorate with a lot of potholes the entire length. There is a very steep pitch about halfway down that has poor visibility for vehicles going around it. The road width varies from 20 feet paved to 17 feet paved with no shoulder, but the edge of the road is raised in these spots because of proximity to trees. I estimate that it meets the private road standard over 80 percent of its length. There is no viable place for a fire truck to turn around



Town of Barrington  
 PO Box 660/333 Calef Hwy  
 Barrington, NH 03825  
[www.barrington.nh.gov](http://www.barrington.nh.gov)  
 (603) 664-5183

# APPLICATION FOR CLASS VI/PRIVATE ROAD BUILDING PERMIT

## OWNER INFORMATION

Please include a separate e-mail address for each owner to avoid processing delays.

Name: <b>MARY ELLIOT</b>	Address: <b>63 Birch Lane Barrington NH</b>
Phone:	E-Mail: <b>elliottmeg@aol.com</b>
Name:	Address:
Phone:	E-Mail:

## PROPERTY DETAILS

Address/Road: <b>63 Birch Lane</b>	Map/Lot/Sublot: <b>117/008/000</b>
Ownership Deed: Book: <b>4597</b> Page: <b>484</b>	Road Classification: <input type="checkbox"/> Class VI Rd <b>or</b> <input checked="" type="checkbox"/> Private Rd

## PROJECT NARRATIVE

Describe the details of the building project

**Put Dormer to provide conventional access to existing second floor.  
 (Frame dormer over proposed new stairs constructed to meet current codes)**

Copy of Building Permit Application Attached

## PERMIT CATEGORY

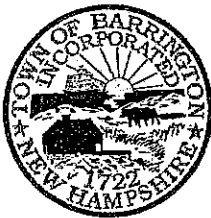
Review the Class VI/Private Road Building Policy at [www.barrington.nh.gov/ClassVI/PrivateRoadBuildingPolicy](http://www.barrington.nh.gov/ClassVI/PrivateRoadBuildingPolicy) to apply the correct requirements to your project. Use the checkboxes to indicate completed/attached information.

<input type="checkbox"/> Category 1	<input type="checkbox"/> Category 2	<input checked="" type="checkbox"/> Category 3
<input type="checkbox"/> Class VI & Private Road Building Policy Application  <ul style="list-style-type: none"> <li>Municipal Disclaimer of Maintenance and Liability               <ul style="list-style-type: none"> <li>Generated by Town staff upon receipt of completed application</li> <li>Recording required by applicant after approval and prior to issuance of permit</li> </ul> </li> </ul>	Category 1 requirements and: <ul style="list-style-type: none"> <li>Planning Board Review and Comment</li> <li>Select Board Decision – Consent Agenda</li> </ul>	Category 1 requirements and: <input checked="" type="checkbox"/> Detailed Property Map <input type="checkbox"/> Road Improvements <input checked="" type="checkbox"/> Option 1 <b>or</b> <input type="checkbox"/> Option 2 <input type="checkbox"/> Road Maintenance Agreement <ul style="list-style-type: none"> <li>Permit and Bond for Improvements (if applicable per Select Board decision)</li> <li>Department Head Recommendations</li> <li>Planning Board Review and Comment</li> <li>Select Board Public Hearing and Decision</li> <li>Application Fee (if approved, plus building permit fee)</li> </ul>

**See letter**

Waiver Requested (see policy requirements, include waiver narrative on a separate sheet)

Applicant Signature: <b>Mary Elliot</b>	Date: <b>4/11/2023</b>
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# APPLICATION FOR CLASS VI/PRIVATE ROAD BUILDING PERMIT

## FOR ADMINISTRATIVE USE ONLY

Received Date: 4/17/23	Staff Initials: <i>VR</i>
------------------------	---------------------------

APPLICATION REVIEW			
<input checked="" type="checkbox"/>	Correct Category	<input checked="" type="checkbox"/>	Map Meets Requirements
<input checked="" type="checkbox"/>	Road Improvement Details	<input type="checkbox"/>	Missing Information – Applicant Notified

ANTICIPATED TIMELINE	
DATE	If not applicable, please use N/A
4/17/23	Application Reviewed and Sent to Department Heads (as soon as possible upon receipt)
4/25/23	Department Head Recommendations Due (minimum 1 week following email to Department Heads)
	Planning Board Review (Department Head recommendations, if applicable, must be provided to Planning Department no less than 1 week prior to next meeting. Schedule for next meeting following 1 full week.)
	Select Board Public Hearing or Consent Agenda (minimum 1 week following Planning Board memo receipt)

COMPLETION DATES	
DATE	If not applicable, please use N/A
	Abutter's List Created (upon receipt)
	Police Recommendations Received
	Fire Recommendations Received
	Road Agent Recommendations Received
	Share Department Heads Feedback with Property Owner
	Planning Board Recommendations Received
	Public Hearing Notice for Select Board Meeting Sent to Abutters (minimum 1 week prior to meeting)
	Waiver Signed by Select Board Chair or Designee
	Recorded Waiver Book: _____ Page: _____
	Recorded Road Maintenance Agreement Book: _____ Page: _____
	Permit Issued
	Department Head Sign-Off on Road Improvements
	Building Inspector Verification Conditions of Approval are Met
	Certificate of Occupancy Issued

ATTACHMENTS	
<i>Provide a copy of the following to the applicant for their review.</i>	
<ul style="list-style-type: none"> <li>• Sample Agreement and Release Regarding Building Permit for Property Abutting a Private/Class VI Road</li> <li>• Class VI/Private Road Policy – updated 2/14/2022</li> </ul>	



4/11/23

I believe the road is acceptable to your requirements.

It is paved with 20 FT width with shoulders.

It meets option #1 requirements

May Elliott 4/11/23

**TOWN OF BARRINGTON, NEW HAMPSHIRE**  
**Agreement and Release Regarding**  
**Building Permit for Property Abutting a Private/Class VI Road**

NOW COME Mary Elliott

(Hereinafter referred to jointly or severally as "owner") with a residential address of 61 Magnolia Lane, Newmarket, NH 03857, and

The Town of Barrington, New Hampshire (hereinafter referred to as "town"), a municipal corporation existing under the laws of the State of New Hampshire with an address of 4 Signature Drive, and agree as follows:

WHEREAS, owner owns certain real property (Tax Map 117, Lot 8 Plot     ) which abuts Birch Lane Road, conveyed to said owner by a Deed recorded at Book 4597, Page 484 at the Strafford County Registry of Deeds: and

WHEREAS, the relevant portion of said Birch Lane Road upon which owner's real property fronts is a private/Class VI road that has not been approved by the Barrington Planning Board, so that the owner's property is therefore subject to the building restrictions imposed under RSA 674:41;

NOW THEREFORE, the town and owner on behalf of themselves, their heirs, legal representatives, successors and assigns, covenant and agree as follows:

1. The town shall allow owner a building permit to construct a single family residence on the property identified above subject to the terms and conditions of a building permit to be issued by the town and the Policy of the Board of Selectmen Regarding Construction on Class VI and Private Roads as amended on July 20, 2015.
2. The parties understand and agree that town assumes no responsibility for maintenance, including but not limited to snowplowing, of said Birch Lane Road, and no liability for any damages arising from the use of said road.
3. Owner agrees to be responsible for maintaining access to the subject property and does hereby forever release and discharge the town, its officers, agents and employees: (1) from the obligation of maintaining said Birch Lane Road; and (2) from any loss, damage, claim or expense of any kind or nature whatsoever arising directly or indirectly from the condition of said road, including but not limited to any loss damage, claim or expense arising from failure to provide any municipal services such as police, fire and ambulance services.
4. Owner hereby assumes responsibility for transporting any children who may now or in the future reside on the property to the nearest regular school bus stop.
5. The parties understand and agree that this Agreement and Release shall be recorded at the Strafford County Registry of Deeds before the building permit is issued, as required under RSA 674:41, I (c)(3).
6. The owner(s) agree to stipulate and pass this Agreement at any transfer of this property.

\_\_\_\_\_  
Witness Print Name  
(not needed if e-signed)

\_\_\_\_\_  
Owner Print Name

\_\_\_\_\_  
Witness Sign/Date  
(not needed if e-signed)

\_\_\_\_\_  
Owner Signature/Date

\_\_\_\_\_  
Witness Print Name  
(not needed if e-signed)

\_\_\_\_\_  
Owner Print Name

\_\_\_\_\_  
Witness Sign/Date  
(not needed if e-signed)

\_\_\_\_\_  
Owner Signature/Date

TOWN OF Barrington

\_\_\_\_\_  
Witness Print Name  
(not needed if e-signed)

By: \_\_\_\_\_  
Select person, Chair or Vice Chair

\_\_\_\_\_  
Witness Sign/Date  
(not needed if e-signed)

\_\_\_\_\_  
Select person Signature/Date

117-6  
0.37 Ac

6

53'

7

75'  
91'S

8

103'  
131'S

117-7  
0.3 Ac

117-8  
0.38 Ac

117-9  
0.67 Ac

LANE

84'

95.6'

16.41'

50'-12"

61.32'

205'S  
176'D

117-18  
2.2 Ac

(PVT)

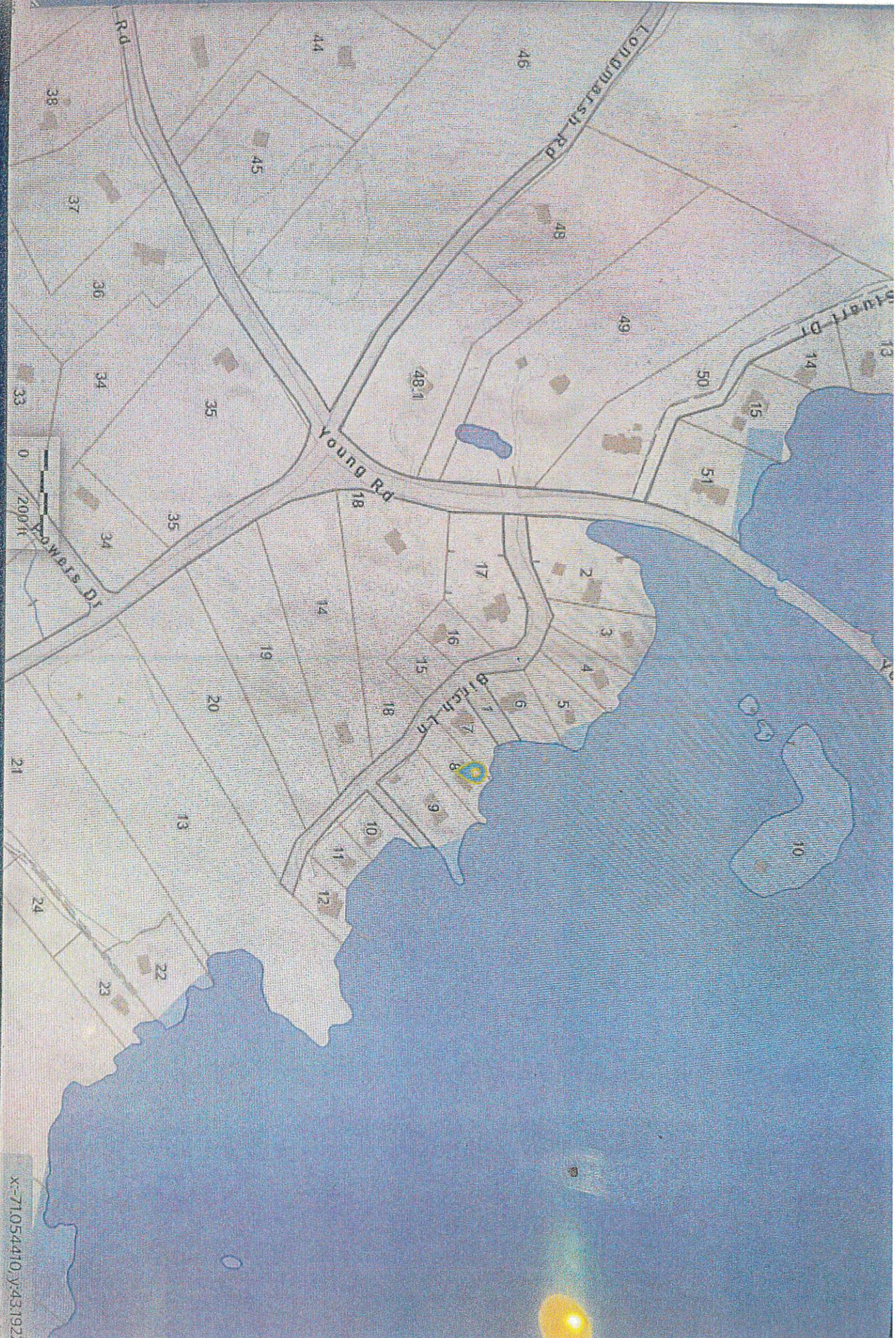
117'

136'D

*MARY G. HART*  
MARY G. HART

117-10  
0.31 Ac



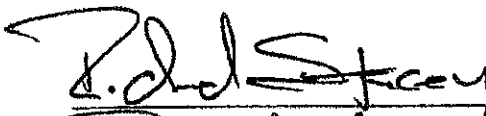





Catherine A. Berube  
Register of Deeds, Strafford County

Birch Lane, Barrington Road Maintenance Agreement

Birch Lane Association maintains Birch Lane. The Town of Barrington is not responsible for the road maintenance or snow removal. Owners periodically pay to the association monies determined by the association to maintain and remove snow on Birch Lane, Barrington NH.

  
\_\_\_\_\_  
Date 4-15-2023

President  
Richard Stacey

  
\_\_\_\_\_  
Date 4-15-2023

Vice President  
Andy Gunkler

Witness: Mary Elmer 4/15/2023



# Minor Building Permit Application

Town of Barrington, New Hampshire  
 Building Department  
 P.O. Box 660, Barrington, NH  
 Telephone: (603) 664-5183

Issue Date: \_\_\_\_\_

Permit #: \_\_\_\_\_

(This area for office use only)

Map # \_\_\_\_\_

Lot # \_\_\_\_\_

Block # \_\_\_\_\_

Zoning \_\_\_\_\_

Location of Construction (Address): 103 Birch Lane  
 Property Owner: ELLIOTT MARY Revocable Trust Home Phone: \_\_\_\_\_  
 Mailing Address: 61 MAGNOLIA LANE Cell Phone: 603 231 1773  
 City: Newmarket State: NH Zip Code: 03057 Daytime Phone: \_\_\_\_\_  
 Email Address: MELLIOTT@thegovegroup.com

Contractor: Self Phone: \_\_\_\_\_  
 Mailing Address: 61 MAGNOLIA LANE Cell #: 603 231 1773  
 City: Newmarket State: NH Zip Code: 03057  
 Email Address: MELLIOTT@thegovegroup.com

Cost of Construction: \$5,000 Building Inspectors Estimated Cost of Construction: \_\_\_\_\_  
 Permit Fee: \_\_\_\_\_ Permit fee is based on \$8.50 per \$1,000.00 of Construction Cost (\$50.00 Minimum)  
 AND \$25 flat application fee, \$50 electric permit fee, \$50 plumbing permit fee, \$50 mechanical permit fee.

Primary Use of Property Is:  Residential  Commercial  Mixed Use (both Res. & Com)  
 Proposed Construction is for:  
 (Please Check all that Apply)  Deck  Door  Garage  Exterior Renovations  
 Enclose Deck/Porch  Shed  Siding  Interior Renovations  
 Pool / Hot Tub  Roof  Windows  Residential Addition  
 Other Downer to provide conventional access to existing 2nd floor

Description of work to be performed: FRAME A DOWNER OVER THE PROPOSED NEW STAIRS constructed to meet current codes  
 Proposed Use: Safety

### Property & Setback Information

Setbacks from Lot Line to Construction: Front: <u>NO</u> Right: _____ Rear: <u>changes</u>	Subsurface Disposal Information: Septic System Design: More Than 20 Years Old Circle One: Yes <u>No</u> Unknown	Total Square Footage of Proposed Building: Site Located In "Special Flood Hazard Area": Yes _____ No <u>(No)</u> Site Located In Shoreland Protection Zone: Yes _____ No _____
Lot Size: <u>.38 Acres</u>	Shoreland Water Quality Protection Zone: Circle One: Yes <u>(Yes)</u> No	Subdivision Approval # _____ Subdivision Name: _____

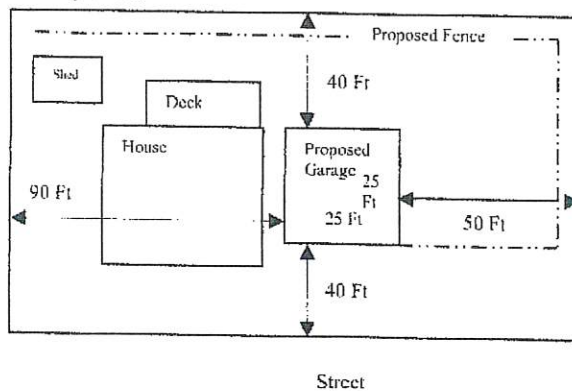
Applicant Signature: X Mary Elliott Date: 4/11/23  
 Revised: 01-2021 Page 3

# Plot Plan

## Instructions:

- 1) Show the Property lines and road(s).
- 2) Show the proposed Structure and all existing structures.
- 3) Show the Measurements from the proposed structure to all lot lines, measure straight through existing structures if needed.
- 4) Include the dimensions of the proposed structure.
- 5) Show Location of Septic Tank & Leach Field.
- 6) Show Location of all Wetlands, Rivers, Streams, Lakes and Ponds

## Sample Plan:



Attached

Applicant Signature: \_\_\_\_\_

*May Elbert*

Date: \_\_\_\_\_

*4/4/23*



117-6  
0.37 Ac

6

53'

7

75'  
91'S

8

103'  
131'S

117-7  
0.3 Ac

117-8  
0.38 Ac

117-9  
0.67 Ac

205'S  
176'D

LANE

84'

95.6'

16.41'

52.72'

23.62'

61.32'

(PVT)

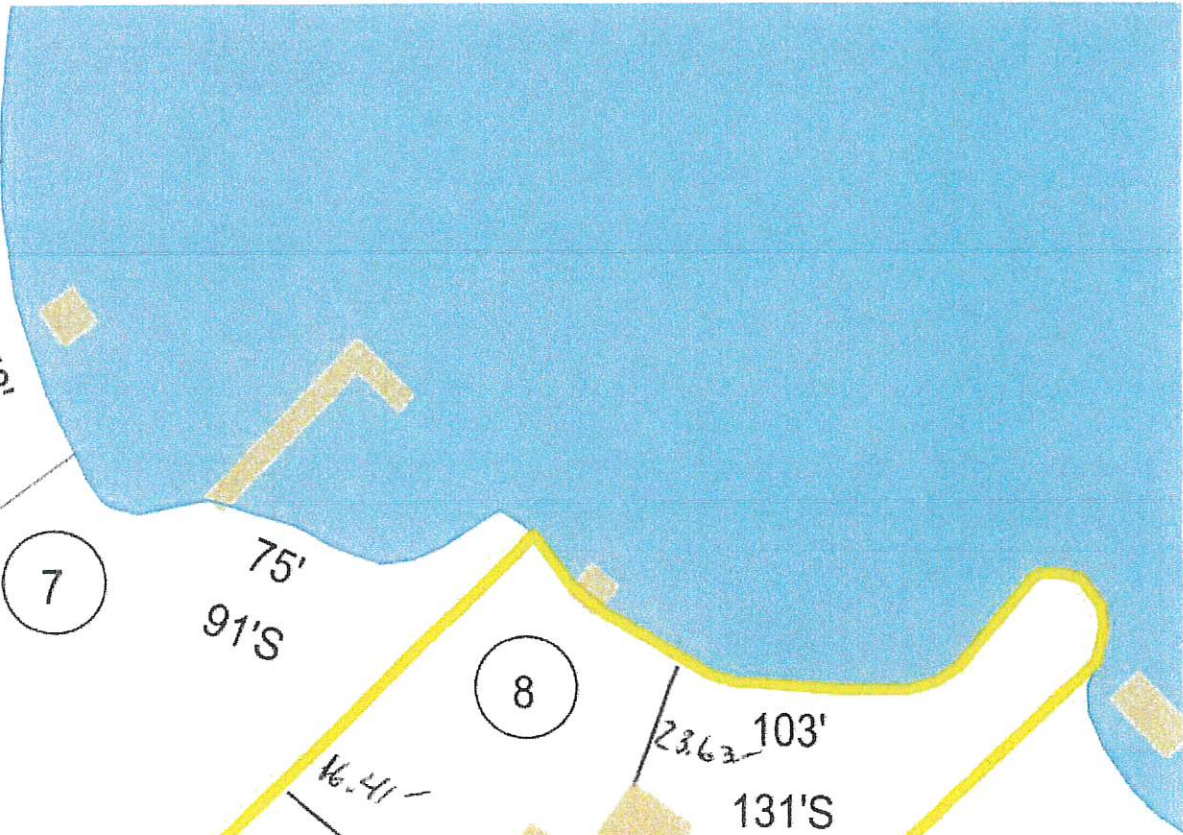
117'

136'D

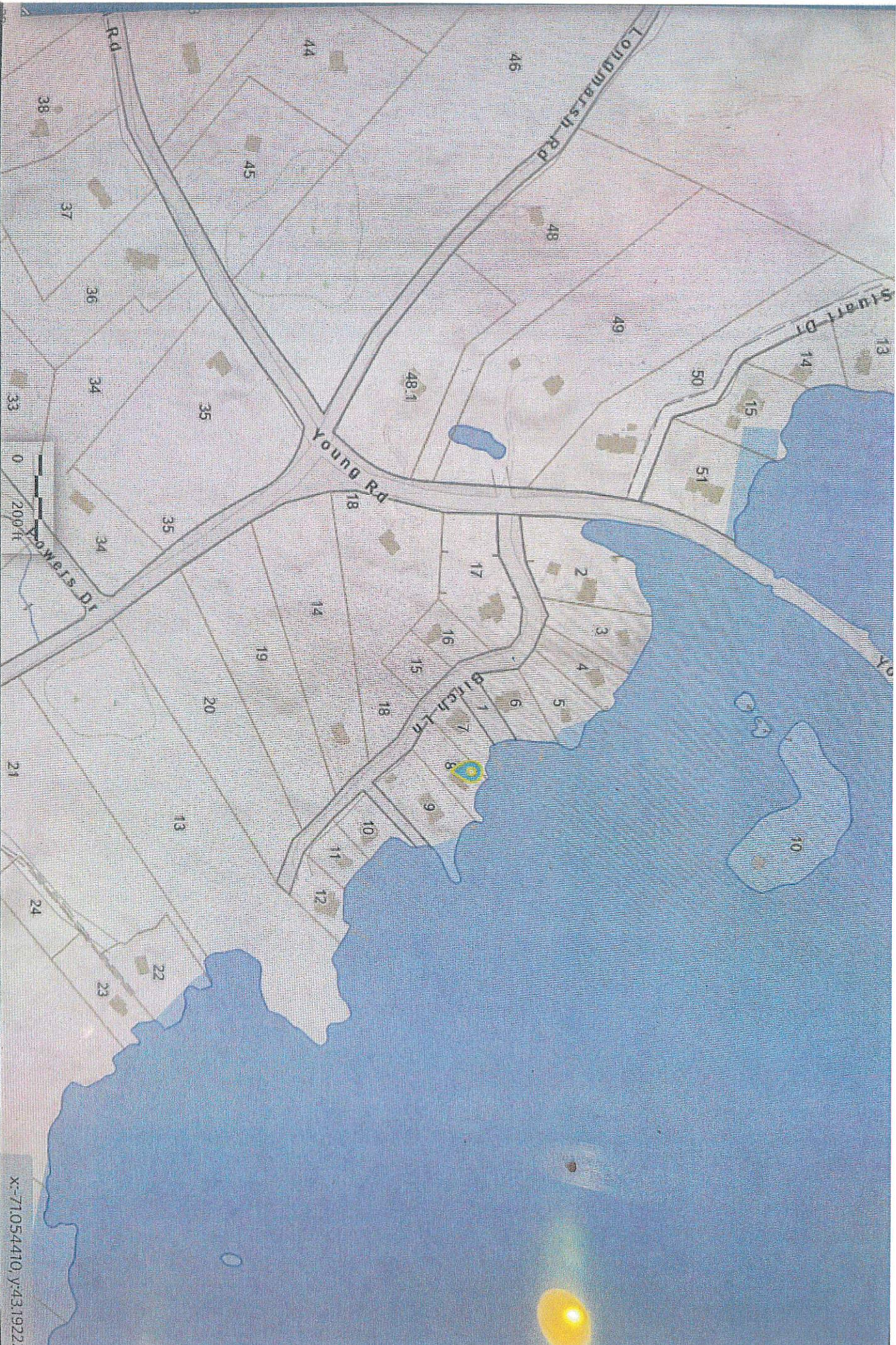
117-18  
2.2 Ac

117-10  
0.31 Ac

*Mary Elliott*  
MARY ELLIOTT









It is the responsibility of the property owner and all contractors to obtain and post the necessary permits in a conspicuous location prior to commencement of any construction related activity.

Electrical, mechanical and plumbing work requires submission of a separate permit applications.

Permits are non-transferable. If this is an "After the Fact" permit, it may be subject to a fee two times the normal permit fee.

**It is the responsibility of the contractor / property owner to obtain all required inspections. This signed application constitutes consent of the owner / applicant to provide access for inspections related to this permit at the subject property. Any work that is concealed prior to the inspection may be required to be removed for inspection.**

Inspections are required for:

- 1) Reinforcing steel prior to pouring
- 2) Foundation & drainage prior to backfilling
- 3) Rough-In: Framing
- 4) Insulation & penetration firestop
- 5) Drywall Installation (fire rated assemblies only)
- 6) Final Inspection

***Required inspections for electrical, plumbing and mechanical installations are provided on the applicable permit application(s).***

PLEASE BE ADVISED: Any deviation from the specifications submitted will require an amendment to this permit or additional permits. Permits expire one (1) year from the issue date. The Building Inspector/Code Officer may grant an extension of time if a written request is submitted prior to the expiration date. Permits become invalid if work is not started within 180 days or if work is abandoned/suspended for a period of 180 days.

The STATE OF NEW HAMPSHIRE requires that ENERGY CODE COMPLIANCE CERTIFICATION be obtained for any heated building, structure or addition thereto. Certification may be required prior to altering, renovating or winterizing an existing structure. More information can be found at the web site: [www.puc.state.nh.us](http://www.puc.state.nh.us) and follow the link for Energy Codes.

\*\*\* I hereby certify that the building site is/is not (choose one) located in a "Special Flood Hazard Area" as designated by the Federal Emergency Management Agency and its flood insurance rate maps.

X Applicant signature: May Elliott

\*\*\* I hereby certify that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S. C. 1334, Barrington Flood Plain Development Ordinance.

X Applicant signature: May Elliott

\*\*\* All work must be performed in accordance with International Building Code/2009, International Residential Code for One & Two Family Dwelling/2009, 2011 NEC National Electrical Code, 2009 International Plumbing Code, NFPA 101 Life Safety Code/2009, NH Energy Code, International Mechanical Code/ 2009 and State of NH Subdivision & Individual Sewage Disposal System Design Rules.

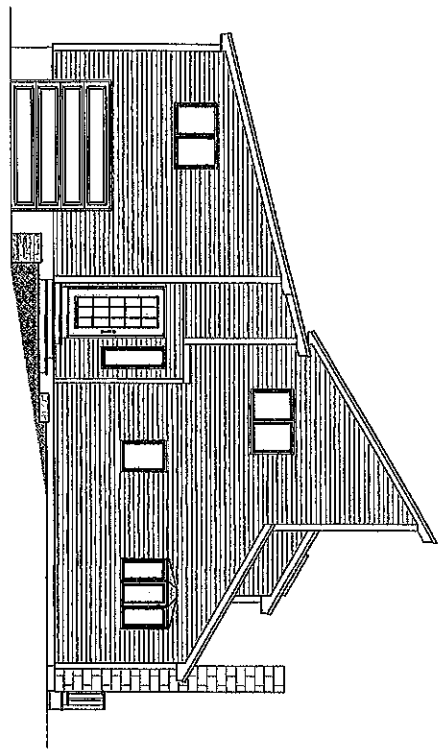
\*\*\* I certify that the information that I have given is accurate to the best of my knowledge. No change from the above information will be made without the approval of the Code Enforcement Officer. I understand that this is NOT A PERMIT and that work CANNOT COMMENCE until a PERMIT is issued. It is my responsibility to contact the Code Enforcement Officer for the appropriate inspections.

\*\*\* I hereby certify that the boundary lines shown on the accompanying plot plan are the property lines of my property and that the acreage and setbacks are correctly shown.

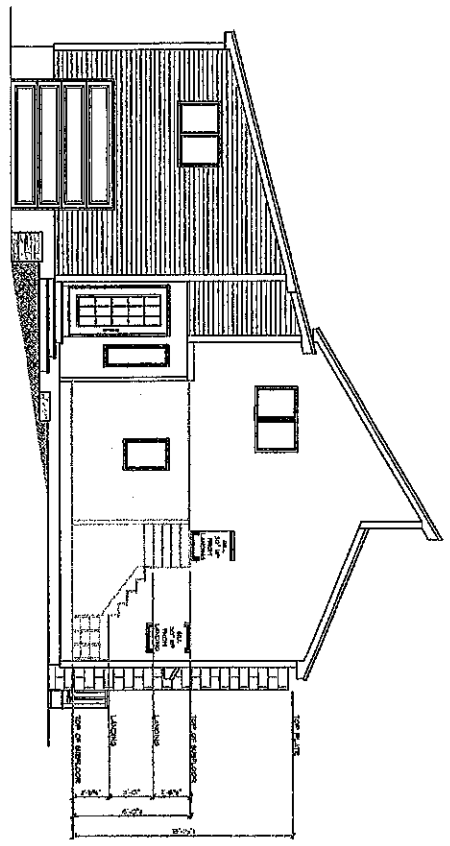
\*\*\* I further acknowledge that the proposed structure or improvements shall not be occupied or utilized without a Certificate of Occupancy and only after all necessary inspections have been requested and completed.

X Owner Signature: May Elliott Date: 4/4/23

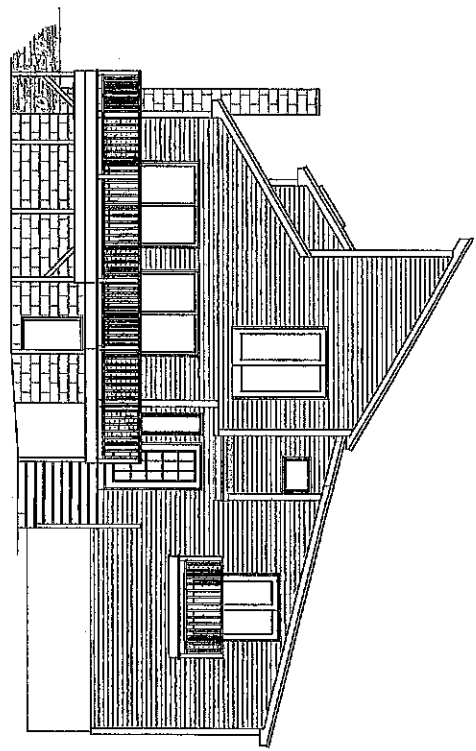
X Contractor Signature \_\_\_\_\_ Date: \_\_\_\_\_



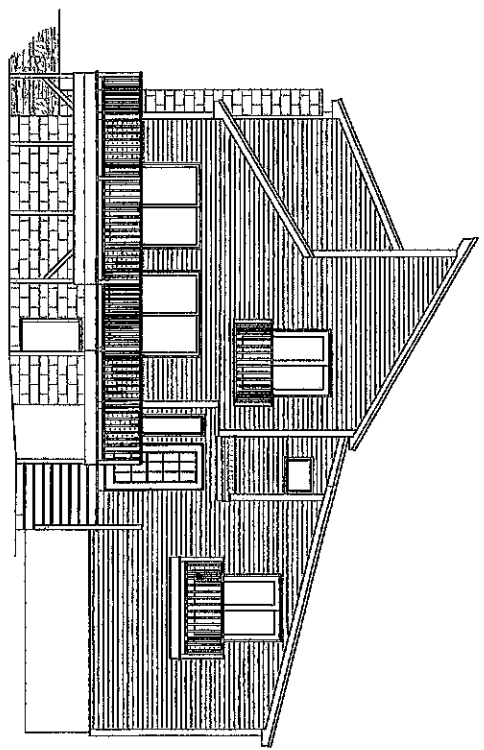
EXISTING FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION  
SCALE: 1/8" = 1'-0"



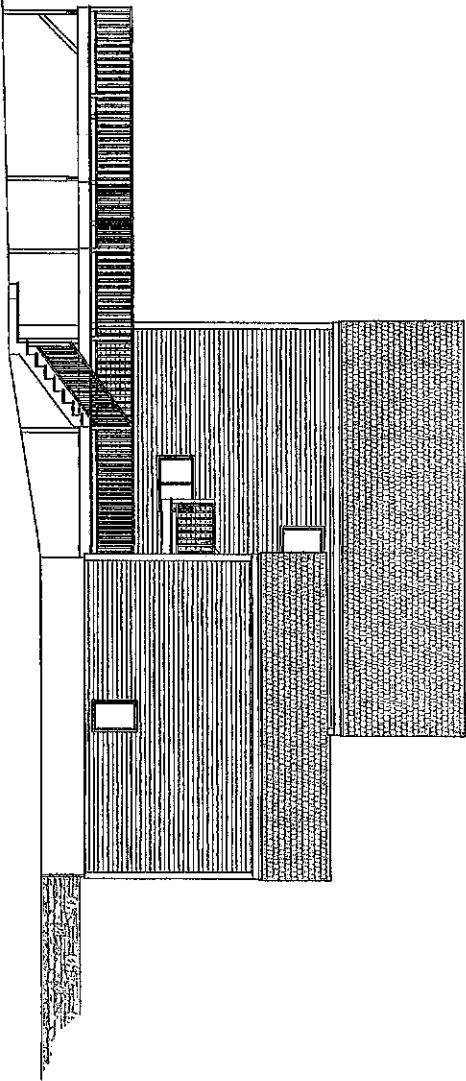
REAR ELEVATION  
SCALE: 1/8" = 1'-0"

SHEET NUMBER <b>A1</b>	PLAN NUMBER <b>1236</b>	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825		NEWMARKET PLAINS, LLC. HOME DESIGN SERVICE		
		DATE 08/10/21	DESCRIPTION DRAFT PLANS	NEWMARKETPLAINSLLC@COMCAST.NET WWW.NEWMARKETPLAINSLLC.COM		REGISTERED <b>AI</b> <b>BD</b> ARCHITECTS STATE OF NEW HAMPSHIRE
		DATE 08/28/21	DESCRIPTION REVISED PLANS	603-699-0925		
		DATE 10/04/21	DESCRIPTION FINAL PLANS			



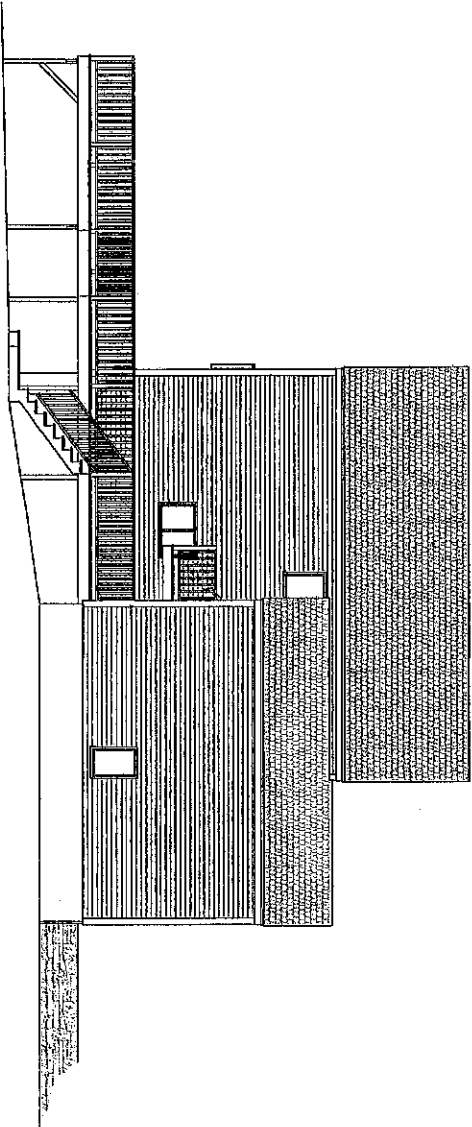
EXISTING LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

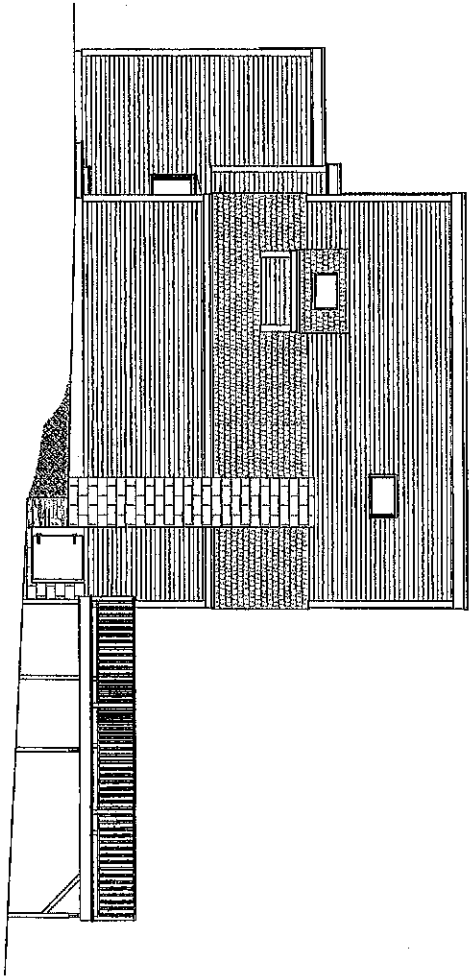


LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

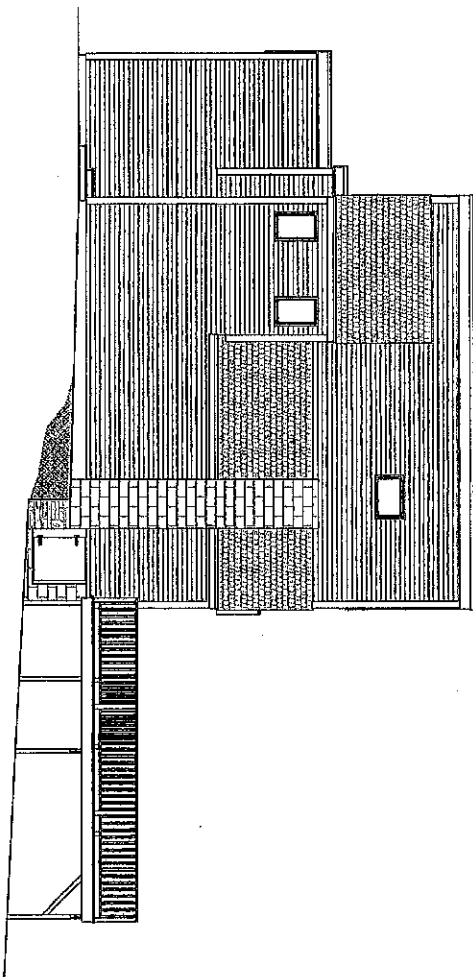


SHEET NUMBER <b>A2</b>	PLAN NUMBER <b>1236</b>	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825		DATE 08/20/11	DESCRIPTION DRAFT PLANS	NEUMARKET PLAINS, LLC. HOME DESIGN SERVICE  NEUMARKETPLAINSLLC@COMCAST.NET WWW.NEUMARKETPLAINSLLC.COM 603-658-0985	REGISTERED <b>AI</b> <b>BD</b> ARCHITECT PROFESSIONAL REGULATORY BOARD
		DATE 09/28/11	DESCRIPTION REVISED PLANS				
		DATE 10/04/11	DESCRIPTION FINAL PLANS				
		DATE (blank)	DESCRIPTION (blank)				



EXISTING RIGHT SIDE ELEVATION

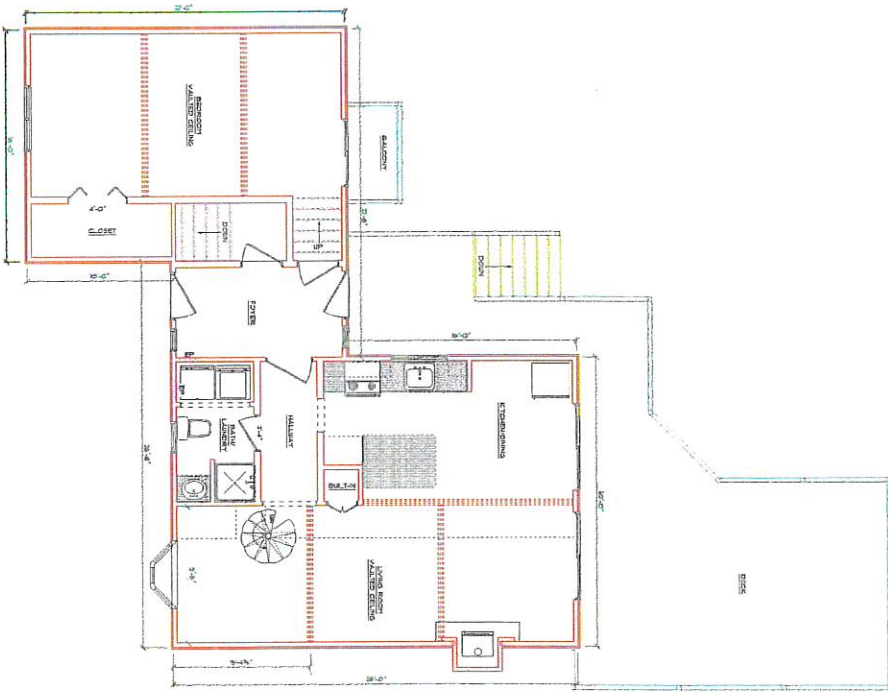
SCALE: 1/4" = 1'-0"



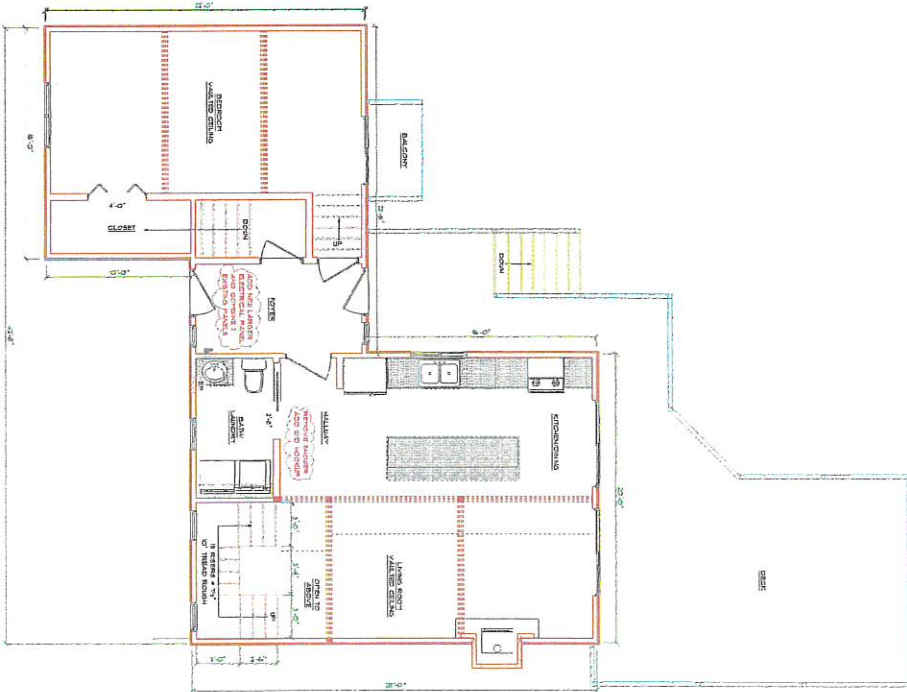
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PLAN NUMBER <b>1236</b>	SHEET NUMBER <b>A3</b>	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825	DATE	DESCRIPTION	NEUMARKET PLANS, LLC. HOME DESIGN SERVICE  NEUMARKETPLANSLLC@COMCAST.NET WWW.NEUMARKETPLANSLLC.COM 603-658-0885	MEMBER <b>AIA</b> BID <small>AMERICAN INSTITUTE OF          ARCHITECTS          REGISTERED DESIGNER</small>
			08/30/21	DRAFT PLANS		
			09/28/21	REVISED PLANS		
			10/04/21	FINAL PLANS		

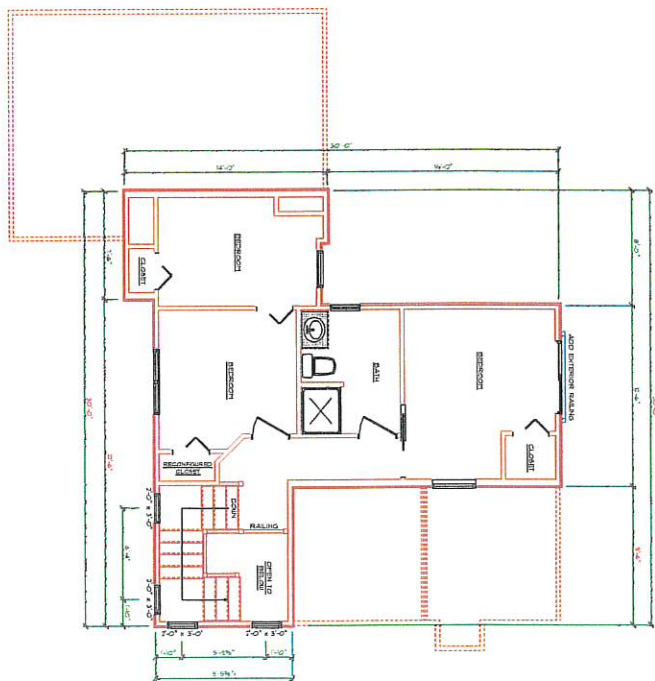
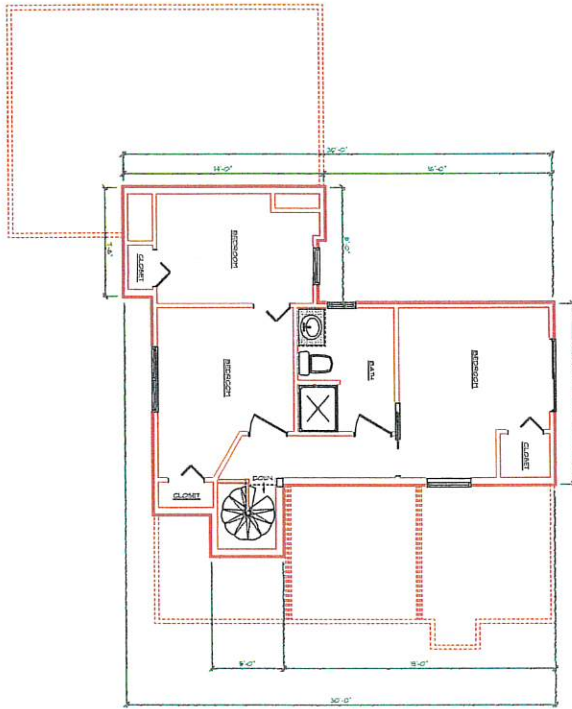


**EXISTING LEVEL ONE/  
UPPER BEDROOM PLAN**  
930 SQUARE FEET  
SCALE: 1/4" = 1'-0"



**LEVEL ONE/  
UPPER BEDROOM PLAN**  
930 SQUARE FEET  
SCALE: 1/4" = 1'-0"

MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825	SHEET NUMBER <b>A4</b>	PLAN NUMBER <b>1236</b>	DATE 08/20/21 09/28/21 10/04/21	DESCRIPTION DRAFT PLANS REVISED PLANS FINAL PLANS	<b>NEWMARKET PLAINS, LLC.</b> HOME DESIGN SERVICE NEWMARKETPLAINSLLC@COMCAST.NET WWW.NEWMARKETPLAINSLLC.COM 603-659-0985	MIDDLETOWN <b>A1</b> <b>BD</b> <small>ARCHITECT ASSOCIATES P.C.          BETHLEHEM, PENNSYLVANIA</small>
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MEMBER <b>A I B D</b> <small>ASSOCIATION OF          BUILDING DESIGNERS</small>	<b>NEWMARKET PLAINS, LLC.</b> HOME DESIGN SERVICE NEWMARKETPLAINSLLC@COMCAST.NET WWW.NEWMARKETPLAINSLLC.COM 603-659-0385		DATE 08/20/21 09/28/21 10/04/21	DESCRIPTION DRAFT PLANS REVISED PLANS FINAL PLANS
	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825			
	SHEET NUMBER <b>A5</b>			
	PLAN NUMBER <b>1236</b>			



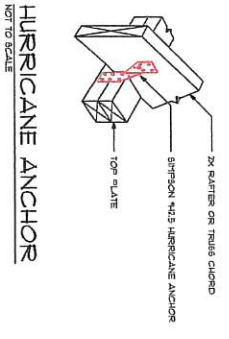
# ROOF AND CEILING NOTES

1. All finish ceiling suspended on collapsed steel bar joists to cover all existing walls. Use a continuous perimeter of heavy channel iron joists that will not allow any wood framing to protrude at ceiling level. All other joists shall be supported by appropriate structural members.
2. Load-bearing partitions between roof rafters, trusses and ceiling joists shall be supported by a continuous perimeter of heavy channel iron joists that will not allow any wood framing to protrude at ceiling level.
3. Rafters shall be fastened to the floor joists on top of each other with a double row of 4" x 4" lag bolts. All valley and end wall rafters shall be valleyed over top rafters and valleyed rafters shall be anchored at the ridge by a double row of rafters. Rafters shall be fastened to the floor joists on top of each other with a double row of 4" x 4" lag bolts. All valley and end wall rafters shall be valleyed over top rafters and valleyed rafters shall be anchored at the ridge by a double row of rafters. Rafters shall be fastened to the floor joists on top of each other with a double row of 4" x 4" lag bolts. All valley and end wall rafters shall be valleyed over top rafters and valleyed rafters shall be anchored at the ridge by a double row of rafters.
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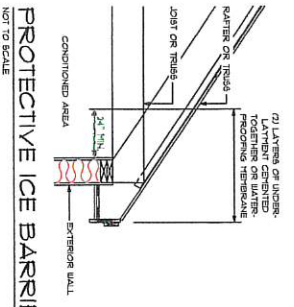
# ROOF PLAN



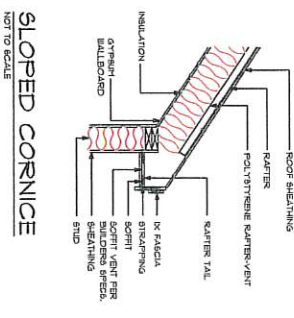
# HURRICANE ANCHOR



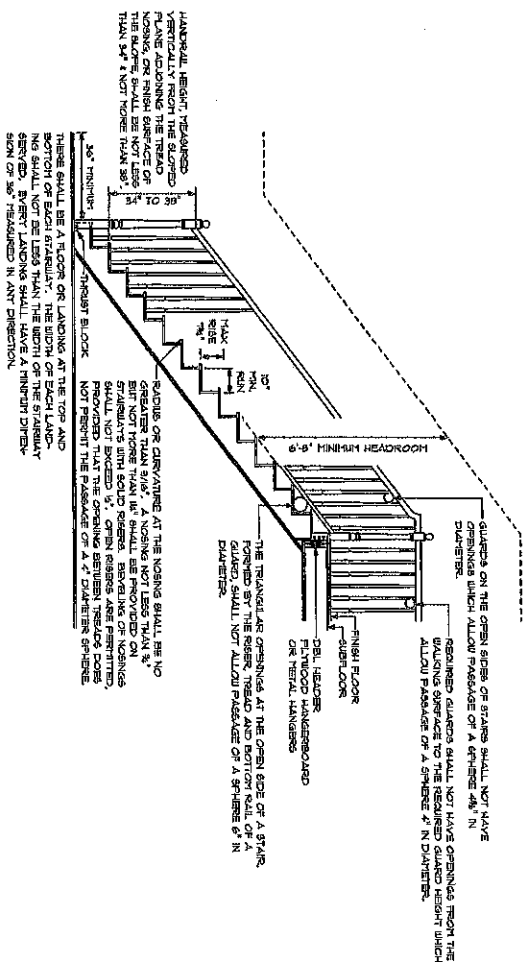
# PROTECTIVE ICE BARRIER



# SLOPED CORNICE



<b>NEWMARKET PLAINS, LLC.</b> HOME DESIGN SERVICE NEWMARKETPLAINSLLC.COM#601.681.8211 WWW.NEWMARKETPLAINSLLC.COM 603-659-0885		MEMBER <b>A I</b> <b>B D</b> AMERICAN INSTITUTE OF BUILDING DESIGNERS
DATE 08/20/21 09/28/21 10/04/21	DESCRIPTION DRAFT PLANS REVISED PLANS FINAL PLANS	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825
SHEET NUMBER <b>A6</b>	PLAN NUMBER <b>1236</b>	74x36 ARCH D

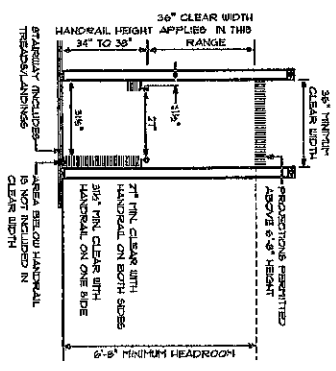


**GENERIC STAIR DETAILS**

SCALE: 1/2" = 1'-0"  
 STAIR AND BALUSTER STILES ARE DIAGNOSTIC ONLY  
 STILES AND FINISH PER BUILDING SPECIFICATIONS

**STAIR CLEARANCES**

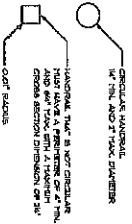
SCALE: 1/2" = 1'-0"



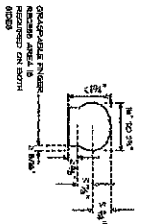
**HANDRAILS**

HANDRAILS SHALL BE PROVIDED ON AT LEAST ON EACH SIDE OF EACH CONDUIT...  
 1. THE USE OF A VERTICAL STRINGER OR STAIRING SHALL BE ALLOWED OVER THE LOWER TRAIL.  
 2. WHEN HANDRAILS ARE PROVIDED ON BOTH SIDES OF A STAIR, THE HANDRAILS SHALL BE PERMITTED TO EXCEED THE HANDRAIL HEIGHT.  
 3. HANDRAILS ARE PERMITTED TO BE CONTIGUOUS WITH THE BALUSTIN FROM A POINT DISTANT FROM THE LOWER TRAIL TO A WALL SHALL HAVE A FINISH THAT IS PERMITTED TO EXCEED THE HANDRAIL HEIGHT.  
 4. THE USE OF A VERTICAL STRINGER OR STAIRING SHALL BE ALLOWED OVER THE LOWER TRAIL.

**TYPE I HANDRAIL**



**TYPE II HANDRAIL**



**UNDER TREADS**

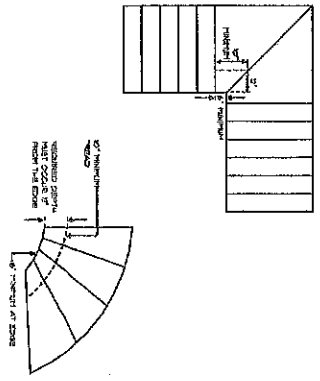
UNDER TREADS SHALL BE PROVIDED AT THE BOTTOM OF EACH STAIR...  
 1. THE USE OF A VERTICAL STRINGER OR STAIRING SHALL BE ALLOWED OVER THE LOWER TRAIL.  
 2. WHEN HANDRAILS ARE PROVIDED ON BOTH SIDES OF A STAIR, THE HANDRAILS SHALL BE PERMITTED TO EXCEED THE HANDRAIL HEIGHT.  
 3. HANDRAILS ARE PERMITTED TO BE CONTIGUOUS WITH THE BALUSTIN FROM A POINT DISTANT FROM THE LOWER TRAIL TO A WALL SHALL HAVE A FINISH THAT IS PERMITTED TO EXCEED THE HANDRAIL HEIGHT.  
 4. THE USE OF A VERTICAL STRINGER OR STAIRING SHALL BE ALLOWED OVER THE LOWER TRAIL.

**SPECIAL STAIRWAYS**

SPECIAL STAIRWAYS ARE PERMITTED...  
 1. THE USE OF A VERTICAL STRINGER OR STAIRING SHALL BE ALLOWED OVER THE LOWER TRAIL.  
 2. WHEN HANDRAILS ARE PROVIDED ON BOTH SIDES OF A STAIR, THE HANDRAILS SHALL BE PERMITTED TO EXCEED THE HANDRAIL HEIGHT.  
 3. HANDRAILS ARE PERMITTED TO BE CONTIGUOUS WITH THE BALUSTIN FROM A POINT DISTANT FROM THE LOWER TRAIL TO A WALL SHALL HAVE A FINISH THAT IS PERMITTED TO EXCEED THE HANDRAIL HEIGHT.  
 4. THE USE OF A VERTICAL STRINGER OR STAIRING SHALL BE ALLOWED OVER THE LOWER TRAIL.

**UNDER DETAILS/SPECIAL STAIRWAYS**

NOT TO SCALE



<p>NEWMARKET PLAINS, LLC. HOME DESIGN SERVICE</p> <p>NEWMARKETPLAINS.LLC@COMCAST.NET WWW.NEWMARKETPLAINS.LLC.COM 603-655-0585</p>		<p>DATE DESCRIPTION</p> <p>08/07/21 DRAFT PLANS</p> <p>09/29/21 REVISED PLANS</p> <p>10/04/21 FINAL PLANS</p>	<p>MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825</p>	<p>SHEET NUMBER A7</p>	<p>PLAN NUMBER 1236</p>
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beyond the property, especially if there are snowbankings there. The width of the road could be brought up to standard by pulling the dirt away from the edges and installing gravel.

- At the end of the project, any damage to the road as a result of the project should be repaired.
- Applicant should also join the local road association if not already done.

**II. BOARD ACTION:** Motion on recommendation language to be submitted in memo form by Town Planner to the Select Board. This would go on the next Select Board regularly scheduled meeting.