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OWNER: VIRTUOUS REALTY, LLC
 607 CALEF HIGHWAY, SUITE 200
 BARRINGTON, NH 03825

APPLICANT: TURBOCAM, INC.
 607 CALEF HIGHWAY, SUITE 200
 BARRINGTON, NH 03825

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
 CPSWQ, CPESC, CESSWI
 BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825
 (603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
 CPSWQ, CPESC, CESSWI
 BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825
 (603) 332-2863

SOIL SCIENTIST: JOHN P. HAYES, III, CSS
 7 LIMESTONE WAY
 NORTH HAMPTON, NH 03862

WETLAND SCIENTIST: DIEDRA BENJAMIN, CWS
 100 LEAVITT ROAD
 PITTSFIELD, NH 03263

LIGHT INDUSTRIAL SITE PLAN AMENDMENTS FOR VIRTUOUS REALTY, LLC 607 CALEF HIGHWAY BARRINGTON, NH TAX MAP 238, LOT 44

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE TOWN OF BARRINGTON LAND USE DEPARTMENT.

FOR TOWN APPROVAL PURPOSES :

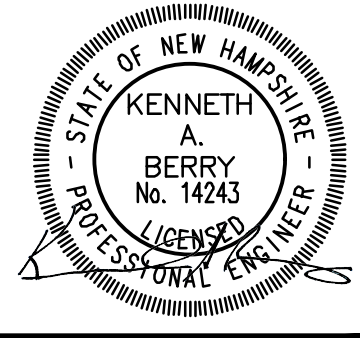
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

OWNER'S SIGNATURE _____ DATE _____

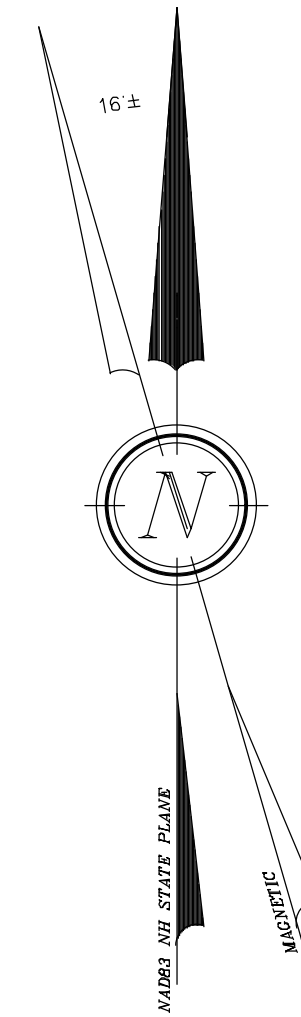
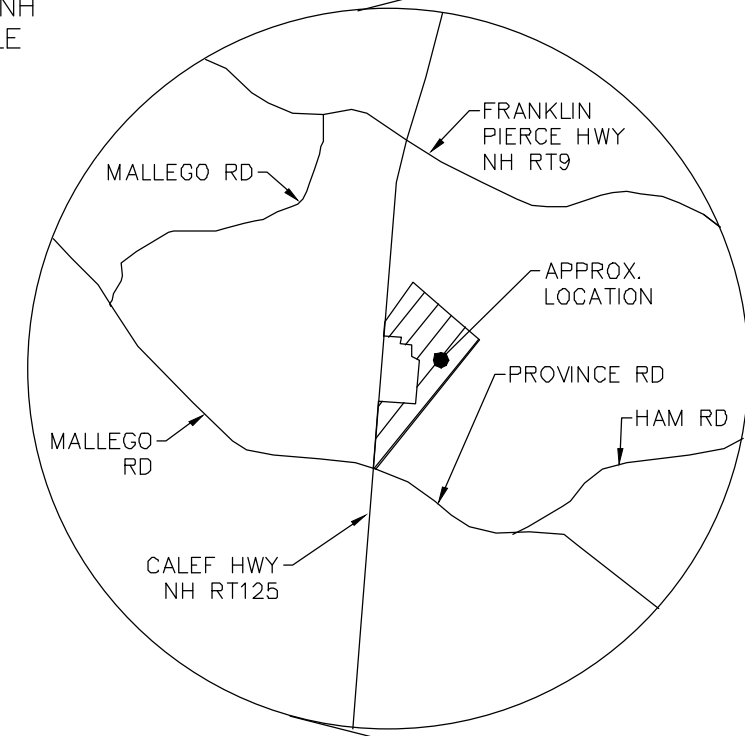
REVISION	DATE	DESCRIPTION

LIGHT INDUSTRIAL SITE PLAN AMENDMENTS
 FOR
 TURBOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : AS SHOWN
 DATE : APRIL 17, 2024
 FILE NO. : DB 2023 - 017



LOCATION PLAN
 BARRINGTON, NH
 NOT TO SCALE



WILDLIFE PROTECTION NOTES (ENV-WQ 1504.17):

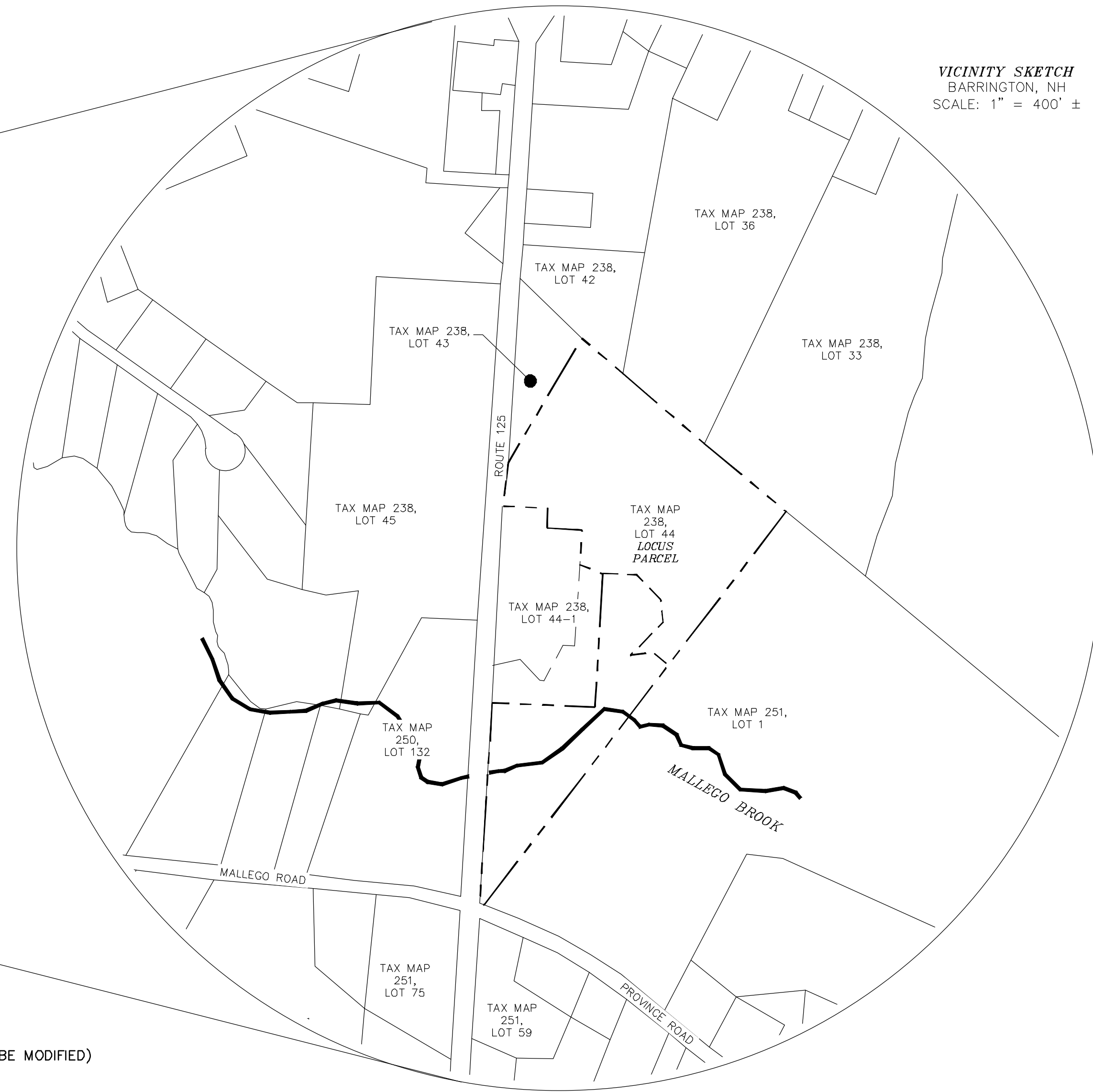
- 1.) ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV, EMAIL SUBJECT LINE: NHB24-0311, INDUSTRIAL SITE PLAN FOR TURBOCAM, INC., WILDLIFE SPECIES OBSERVATION.
- 2.) PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHF&G IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
- 3.) IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHF&G AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHF&G, IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04
- 4.) THE NHF&G, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

REQUIRED PERMITS:

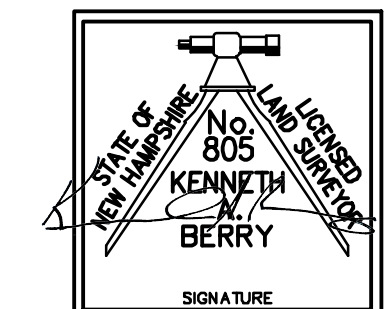
- ~ NHDES ALTERATION OF TERRAIN PERMIT (PENDING)
- ~ US EPA NOI & SWPPP (PENDING)
- ~ NATURAL HERITAGE BUREAU (NHB24-0311)
- ~ NH DIVISION OF HISTORICAL RESOURCES (PENDING)
- ~ NHDOT DRIVEWAY PERMIT 06-027-413 (TO BE MODIFIED)

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE TWICE THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE TOWN OF BARRINGTON.



VICINITY SKETCH
 BARRINGTON, NH
 SCALE: 1" = 400' ±



EXISTING LEGEND:

	IRON BOUND/REBAR ~FND~
	CONCRETE/GRANITE BOUND ~FND~
	UTILITY POLE
	GUY WIRE
	SIGNAGE
	TEST PIT
	TEMPORARY BENCHMARK (T.B.M.)
	WELL
	BUILDING SETBACK LINE
	POORLY DRAINED JURISDICTIONAL WETLAND LINE
	VERY POORLY DRAINED JURISDICTIONAL WETLAND LINE
	50' POORLY DRAINED WETLAND BUFFER
	NRCS SOIL DELINEATION LINE
	SITE SPECIFIC SOIL LINE
	LIMIT OF SOIL SURVEY
	OVERHEAD UTILITIES LINE
	UNDERGROUND UTILITIES LINE
	EXISTING DRAIN CULVERT
	CONTOUR MINOR, EXISTING
	CONTOUR MAJOR, EXISTING
	CONSERVATION EASEMENT LINE
	TREELINE
	NHDES PROTECTIVE WELL RADIUS
	RED PINE PLANTATION
	MATCH LINE
	MATCH POINT
	FIRE DEPARTMENT CONNECTION
	LIGHT, POLE MOUNTED
	SOIL SERIES
	NRCS SOIL LABEL
	STRAFFORD COUNTY REGISTRY OF DEEDS
	TYPICAL FOUND
	POORLY DRAINED JURISDICTIONAL WETLAND HATCH

PROPOSED LEGEND:

	3/4\"/>
	1/2\"/>
	GRANITE BOUND ~TBS~
	DETAIL SHEET / DETAIL
	CONTOUR MINOR, PROPOSED
	CONTOUR MAJOR, PROPOSED
	ROAD CENTERLINE
	SHOULDER
	DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
	UNDERDRAIN
	GUARD RAIL
	PROPOSED EASEMENT LINE
	RIP RAP
	STORMWATER BEST MANAGEMENT PRACTICE (BMP)
	BERM
	DRAIN MANHOLE W/ STRUCTURE
	CATCH BASIN W/ STRUCTURE
	STORMWATER BMP OUTLET STRUCTURE
	J-BOX
	UNDERGROUND UTILITY
	EXISTING LIGHT TYPE "A" MOUNTED ON POLE
	PROPOSED LIGHT TYPE "B" MOUNTED ON POLE
	PROPOSED EFFLUENT FORCE MAIN
	PROPOSED GRAVITY SEWER SERVICE
	EFFLUENT DISPOSAL AREA
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	FLOW ARROW
	SAW CUT & MILL
	SILT FENCE / EROSION MIX BERM
	FIL-TREX 8\"/>
	12\"/>
	SILT SOXX AS SPECIFIED
	PERIMETER CONTROL (SEE E-101)
	CONSTRUCTION FENCE
	PERMANENT WETLAND BUFFER IMPACT
	TEMPORARY WETLAND BUFFER IMPACT
	SNOW STORAGE

ABBREVIATION LEGEND:

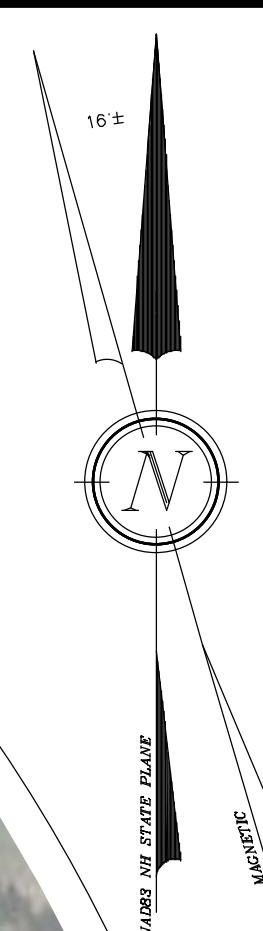
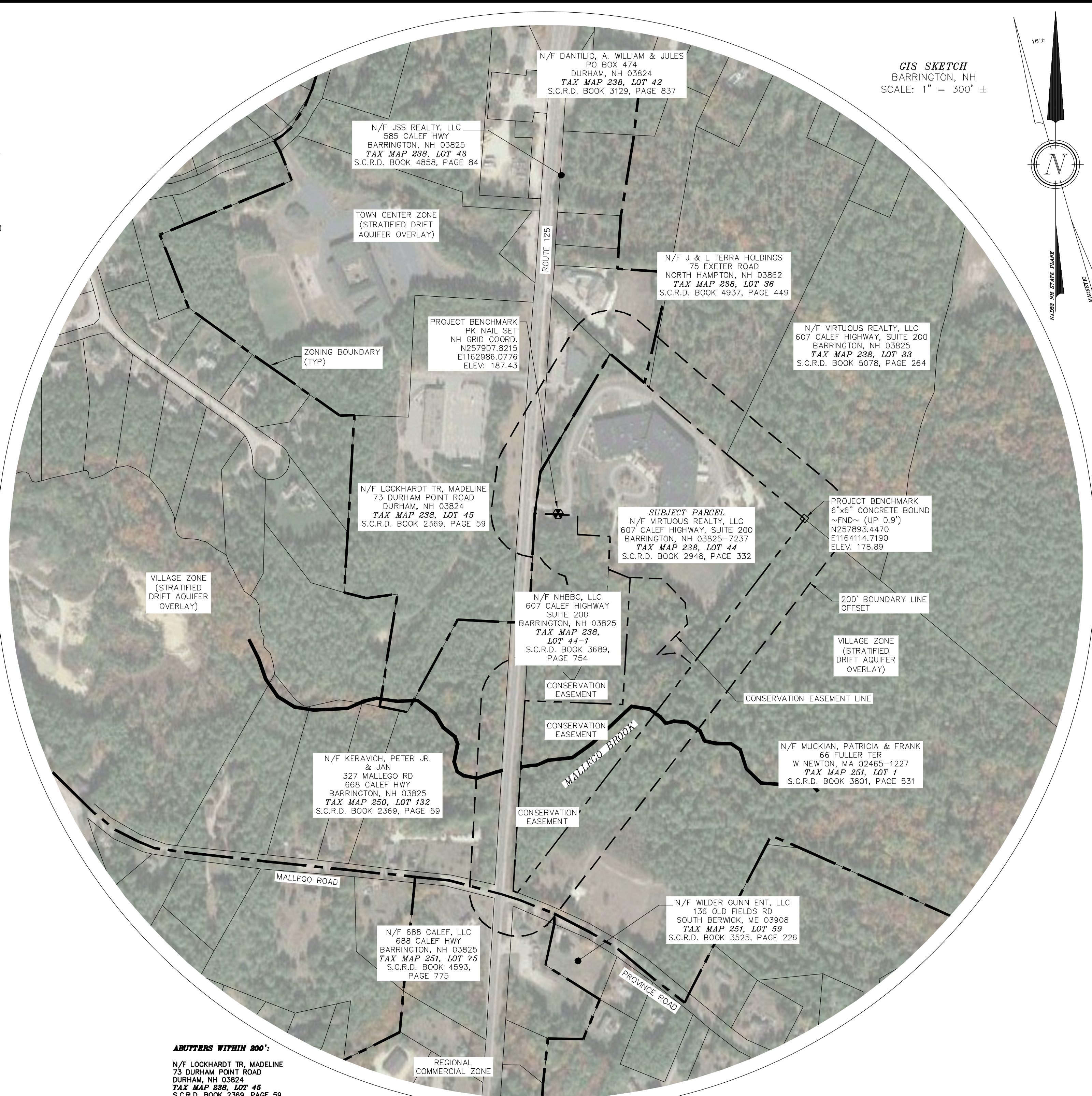
E.O.P.	EDGE OF PAVEMENT
B.C.C.	BITUMINOUS CONCRETE CURB
S.G.C.	SLOPED GRANITE CURB
C.C.C.	CAST-IN-PLACE CONCRETE CURB
BITUM.	BITUMINOUS
E.S.H.W.T	ESTIMATE SEASONAL HIGH WATER TABLE
TYP.	TYPICAL
U.G.E	UNDER GROUND ELECTRIC / UTILITIES
O.H.U.	OVERHEAD ELECTRIC / UTILITIES
CLDI	CONCRETE LINED DUCTILE IRON
DI	DUCTILE IRON
F.P.	FIRE PROTECTION
FDC	FIRE DEPARTMENT CONNECTION
U.D.	UNDER DRAIN
C.O.	CLEAN OUT
TYP.	INVERT
ELEV.	ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
RECB	ROLLED EROSION CONTROL BLANKET
F.G.	FINISHED GRADE
E.G.	EXISTING GRADE
E.T.W.	EDGE OF TRAVELED WAY
T.B.R.	TO BE REMOVED
PL	PROPERTY LINE
EL	EASEMENT LINE
CL	CENTER LINE
CF	CUBIC FEET
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
P.V.C.	POINT OF VERTICAL CURVE
P.V.I.	POINT OF VERTICAL INTERSECTION
P.V.T.	POINT OF VERTICAL TANGENCY
EX.	EXISTING
PROP.	PROPOSED
STA.	STATION
BMP	BEST MANAGEMENT PRACTICE
'/'	FEET / FEET
TP	TEST PIT
FND	FOUND
TBS	TO BE SET

LEGEND:

TREES:

	AR - Acer rubrum / Red Maple 3" caliper (15 TOTAL)
	Cornus Controversa / Pagoda Dogwood 2" caliper (3)
	Picea Glauca / White Spruce 6' height (6)
	EXISTING MAPLE TREE

SSL () ~ {SIZE}	SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
DSL () ~ {SIZE}	DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
SSB () ~ {SIZE}	SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
SBL () ~ {SIZE}	SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
DBL () ~ {SIZE}	DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)



CIS SKETCH
BARRINGTON, NH
SCALE: 1" = 300' ±

ABUTTERS WITHIN 200':

N/F LOCKHARDT TR, MADELINE
73 DURHAM POINT ROAD
DURHAM, NH 03824
TAX MAP 238, LOT 45
S.C.R.D. BOOK 2369, PAGE 59

N/F KERAVICH, PETER JR. & JAN
327 MALLEGO ROAD
688 CALEF HIGHWAY
BARRINGTON, NH 03825
TAX MAP 250, LOT 132
S.C.R.D. BOOK 4593, PAGE 59

N/F 688 CALEF, LLC
688 CALEF HWY
BARRINGTON, NH 03825
TAX MAP 251, LOT 75
S.C.R.D. BOOK 4593, PAGE 775

N/F WILDER GUNN ENT, LLC
136 OLD FIELDS RD
SOUTH BERWICK, ME 03908
TAX MAP 251, LOT 59
S.C.R.D. BOOK 3525, PAGE 226

ABUTTERS WITHIN 200' CONT.:

N/F VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
TAX MAP 238, LOT 36
S.C.R.D. BOOK 4558, PAGE 264

N/F J & L TERRA HOLDINGS
75 EXETER ROAD
NORTH HAMPTON, NH 03862
TAX MAP 238, LOT 98
S.C.R.D. BOOK 4937, PAGE 449

N/F DANTILIO, A. WILLIAM & JULES
PO BOX 474
DURHAM, NH 03824
TAX MAP 238, LOT 42
S.C.R.D. BOOK 3129, PAGE 837

ABUTTERS WITHIN 200' CONT.:

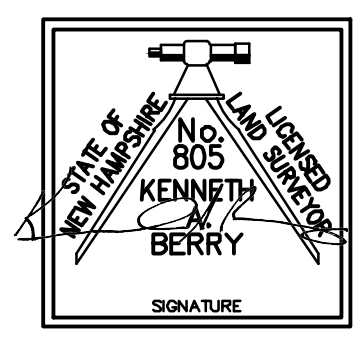
N/F JSS REALTY, LLC
585 CALEF HIGHWAY
BARRINGTON, NH 03825
TAX MAP 238, LOT 43
S.C.R.D. BOOK 4558, PAGE 84

N/F NHBBC, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
TAX MAP 238, LOT 44-1
S.C.R.D. BOOK 3689, PAGE 754

N/F TOWN OF BARRINGTON
P.O. BOX 660
BARRINGTON, NH 03825
S.C.R.D. BOOK 2948, PAGE 337
CONSERVATION EASEMENT

FOR PLANNING BOARD APPROVAL PURPOSES:

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



REVISION	DATE	DESCRIPTION

NEIGHBORHOOD PLAN
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

FOR PLANNING BOARD APPROVAL PURPOSES:

KENNETH A. BERRY
No. 14243
PROFESSIONAL ENGINEER

SITE PLAN NOTES:

- 1.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REF.: FEMA, COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 2.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SPRING OF 2023 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000 UNDER NO SNOW CONDITIONS.
- 3.) AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DWX FORMAT ON DISK TO THE TOWN OF BARRINGTON PLANNING OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
- 4.) TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SPRING OF 2023 UNDER NO SNOW CONDITIONS AND IS SHOWN AT 2 FOOT INTERVALS.
- 5.) DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A CARLSON BRK7 SURVEY GRADE GPS RECEIVERS IN SPRING OF 2023 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988.
- 6.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 7.) ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND WITH THE EXCEPTION OF POSSIBLY ONE DROP POLES REQUIRED BY EVERSOURCE.
- 8.) THE SUBJECT PARCELS ARE SERVED BY ON SITE WATER AND EFFLUENT DISPOSAL.
- 9.) ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 10.) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- 11.) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK.
- 12.) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS. COORDINATE WITH TOWN OF BARRINGTON, LAND USE OFFICE.
- 13.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE TOWN ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 14.) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT. (NOT APPLICABLE)
- 15.) THE FOLLOWING FEDERAL, STATE AND LOCAL PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
 - NHDES ALTERATION OF TERRAIN PERMIT (PENDING)
 - US EPA NOI & SWPPP (PENDING)
 - NATURAL HERITAGE BUREAU NH24-0311
 - NH DIVISION OF HISTORICAL RESOURCES (PENDING)
 - NHDOT DRIVEWAY PERMIT 06-027-413 (TO BE MODIFIED)
- 16.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II, THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER OR AFTER A STORM EVENT OF GREAT THAN 0.25". THIS SITE PLAN PROPOSES 162,000 Sq. Ft., (3.72 Ac.) OF DISTURBANCE.
- 17.) CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233)
- 18.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CONSTRUCTION SHALL ALSO CONFORM TO THE TOWN OF BARRINGTON POLICES AND PRACTICES, AND TOWN OF BARRINGTON SITE PLAN REVIEW REGULATIONS.
- 19.) WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 20.) THERE IS CLEAR SIGHT DISTANCE IN BOTH THE NORTH AND SOUTH DIRECTIONS AT THE DRIVEWAY ENTRANCE OF TURBOCAM ONTO ROUTE 125/CALEF HIGHWAY.
- 21.) EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- 22.) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603) 436-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- 23.) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH BREEZELINE AT (888) 536-9600, AS APPLICABLE.
- 24.) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH BREEZELINE AT (888) 536-9600, AS APPLICABLE.
- 25.) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- 26.) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
- 27.) LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THIS PROJECT.
 - NONE
- 28.) REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITES SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- 29.) SNOW STORAGE AREAS ARE AS SHOWN ON THIS SITE PLAN, WHICH PROVIDES FOR APPROXIMATELY 31,337 SQUARE FEET OF STORAGE. THIS REPRESENTS GREATER THAN A 6:1 RATIO. AREAS ARE SHOWN AS CROSS HATCHED ON THE DETAIL SITE PLAN.
- 30.) THE APPLICANT IS ABLE TO MAKE LIKE CHANGES TO PRODUCTS SO LONG AS THE DESIGN ENGINEER APPROVES THAT THEY MEET THE DESIGN INTENT. THE DESIGN ENGINEER IS TO NOTE THE PROPOSED PRODUCT CHANGE AND SEND REQUEST FOR REVIEW TO THE TOWN ENGINEER FOR APPROVAL.
- 31.) THE SITE WORK HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 9AM-4PM WITH NO SUNDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.
- 32.) IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNERS SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- 33.) IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- 34.) ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 35.) THE FOLLOWING CONDITIONAL USE PERMIT IS REQUESTED FOR THE PROJECT:
 - NONE

STANDARD CONSTRUCTION NOTES:

- 1.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 2.) TWO ON SITE BENCHMARKS ARE PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 3.) EXISTING ARE PROVIDED AT 2' INTERVALS AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 4.) SEE UTILITY PLANS FOR DETAILS ON THE PROPOSED EFFLUENT, WATER, AND UNDERGROUND ELECTRIC LINES SHOWN.
- 5.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
- 6.) CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- 7.) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- 8.) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 9.) THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS (IF APPLICABLE), ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- 10.) AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. DISTURBANCE OUTSIDE AREAS SHOWN TO BE APPROVED BY DESIGN ENGINEER.
- 11.) THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R)
- 12.) ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH (T) SHALL BE THERMOPLASTIC.
- 13.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 14.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASINS.
- 15.) ALL CATCH BASINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS. CATCH BASINS ARE TO HAVE NHDOT TYPE "B" GRATES AND DRAIN MANHOLES ARE TO HAVE LIFTMATE MANHOLE COVERS.
- 16.) ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED. RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED HDPE PIPE "GREEN PIPE" IS ACCEPTABLE FOR THIS PROJECT SITE.
- 17.) ALL BASINS AND DRAINS ARE PROPOSED WITH NO SUMPS OR HOODS. BASINS WITHIN ANY GRASS LINED AREAS OUTSIDE THE ROADWAY WILL HAVE "BEE HIVE" GRATES TO NOT ALLOW FOR ENTRAPMENT OF ANIMALS IN THE STRUCTURE. OUTLET CONTROL STRUCTURES WILL NOT HAVE SUMPS. IF REQUIRED TO BE INSTALLED DURING THE PRE-CASTING PROCESS, THEY ARE TO BE FILLED WITH STONE ON SITE. BASINS ARE TO HAVE NH STANDARD FRAMES AND GRATES MADE IN NORTH AMERICA. PLEASE NOTE SOME GRATES ARE SPECIALIZED FOR THE LOCATION AND USE AND ARE CALLED OUT ON THE GRADING PLANS. GRATES ARE TO BE INSTALLED UNDER FLUSH PRIOR TO BASE PAVE. UPON PROJECT COMPLETION FRAMES AND GRATES ARE TO BE OUT AND RM RAISED TO FINAL PAVEMENT SURFACE. THIS IS TO ENSURE STORMWATER ENTERS THE SYSTEM AS DESIGN DURING THE INTERIM CONSTRUCTION PERIOD.
- 18.) SEE GRADING PLANS AND STORMWATER BMP PLANS.

UTILITY NOTES:

- 1.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 2.) PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DE-WATERED SUBGRADES, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL MEETING THE ENGINEERS SPECIFIC RECOMMENDED CRITERIA.
- 3.) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN TOWN R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- 4.) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
- 5.) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES.
- 6.) ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO TOWN OF BARRINGTON STANDARDS. ALL HIGHWAY CONSTRUCTION WILL MEET THE TOWN OF BARRINGTON STANDARDS. (NOT APPLICABLE)
- 7.) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (800) 662-7764. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- 8.) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FAIRPOINT COMMUNICATIONS AT (603) 427-5525.
- 9.) THE APPLICANT IS ABLE TO MAKE LIKE CHANGES TO PRODUCTS SO LONG AS THE DESIGN ENGINEER APPROVES THAT THEY MEET THE DESIGN INTENT.
- 10.) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH BREEZELINE.
- 11.) PROPANE TO BE PROVIDED VIA ABOVE GROUND TANKS LOCATED NO CLOSER THAN 10' TO ANY STRUCTURE.
- 12.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE COORDINATES GATHERED USING CARLSON BRK7 SURVEY GRADE GPS.
- 13.) CONTRACTOR TO TRANSFER TEMPORARY BENCHMARK TO A SUITABLE BENCHMARK TO CONTROL CONSTRUCTION. ANY ELEVATION DISCREPANCIES ARE TO BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.

EROSION AND SEDIMENT CONTROL NOTES:

- 1.) EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE TOWN OF BARRINGTON, PLANNING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE PROJECT IS COMPLETED.
- 2.) PER EPA CGP 2.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&S PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATIONS DO NOT OCCUR
- 3.) CONTRACTOR IS REQUIRED TO HAVE A CONSTRUCTION ENTRANCE 3" ANGULAR STONE IS REQUIRED.
- 4.) CONTRACTOR IS RESPONSIBLE FOR SWEEPING THE DRIVEWAY TO ENSURE THAT NO SEDIMENT IS BEING TRACKED ONTO CALEF HIGHWAY.
- 5.) CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE INLET PROTECTION ONCE INSTALLED.
- 6.) FUGITIVE DUST IS TO BE CONTROLLED THROUGHOUT THE CONSTRUCTION PROCESS IN ACCORDANCE WITH ENV-A 1000.
- 7.) CONTRACTOR IS TO MEET THE REQUIREMENTS SPECIFIED IN RSA 430:51-57 AND AGR 3800, RELATING TO INVASIVE SPECIES.
- 8.) CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE WATER QUALITY FROM ANY RUNOFF DURING THE CONSTRUCTION PROCESS, IN ACCORDANCE WITH ENV-WQ 1507, IN ORDER TO PREVENT VIOLATIONS OF THE STORMWATER QUALITY STANDARDS.
- 9.) CONTRACTOR CAN USE SILT FENCE, SILT SOXX OR MULCH BERM FOR PERIMETER CONTROL. SPECIFIC PRACTICES MAY BE SPECIFIED, SEE PLAN. SILT FENCE OR SILT SOXX REQUIRED WHEN UPGRADENT DISTURBED SOIL IS GREATER THAN 5% MULCH BERM CAN BE USED WHEN THE UPGRADENT DISTURBED SOIL IS 5% OR LESS.
- 10.) CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN COORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2022 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED FEBRUARY 17, 2022 INCLUDED IN THE SWPPP.
- 11.) COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.
- 12.) THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	RED	WHITE	WHITE	SQUARE (1)
R5-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	RED	WHITE	WHITE	U-CHANNEL (0)
W11-2	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	3	YELLOW	BLACK	BLACK	SQUARE (3)
R7-8	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	GREEN W/ WHITE SYMBOL ON BLUE	GREEN	SQUARE (2)
R7-8a	12"x6"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	WHITE	GREEN	GREEN	SQUARE (0)
				4	GREEN	WHITE	WHITE	U-CHANNEL (2)
				2	GREEN	WHITE	WHITE	U-CHANNEL (1)
W16-9P	24"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	3	YELLOW	BLACK	BLACK	U-CHANNEL (3)



General Plant Maintenance Guide

- General Plant Bed Maintenance:**
- All plant maintenance should be performed by a qualified horticulturalist or licensed arborist. Cleaning the dead material out of the planting bed in the fall helps keep litter from building up around the plants and in some cases killing the plants. Watering the first year during dry periods will help get the plants established. Mulching every year is not necessary. Raking the old mulch and turning it over is all that is needed. When necessary only install one inch of mulch and do not place the mulch closer than 3" to the trunks or stems of woody plants.
- Trees**
- The first year watering during dry periods will be necessary.
 - 3" inches of mulch maybe used. The mulch should be kept 3 inches from the trunk.
 - Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
 - Fertilization should occur prior to Mat 31* or after trees have dropped their leaves for the year.
 - Prune dead wood once a year.
 - Depending on the amount of compaction the bed area receives, deep root aeration may be needed over time.
- Woody Shrubs**
- The first year watering during dry periods will be necessary.
 - 3" inches of mulch maybe used. The mulch should be kept 3 inches from the stems.
 - Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
 - Fertilization should occur prior to Mat 31* or after shrubs have dropped their leaves or gone dormant for the year.
 - Prune dead wood once a year.
- Grasses**
- Grasses only need to be clipped back at the end of the growing season and all the clippings removed from the area.
 - Do not over mulch. Too much mulch will prohibit the grass from developing into a strong clump.
- Perennials**
- All perennials need to be pruned back after the first or second hard frost. A two-step method: first dead head all the flower heads and let drop to the ground for re-seeding. Second cut the stems back to 3" above the ground and remove the stem and leaf litter and place in compost. Do not over mulch. Too much mulch will prohibit the growth and development.
 - Fertilizing perennials once in the spring with a low phosphate fertilizer will help the plants to get started in the spring.

WAIVER REQUESTS:
SITE REVIEW REGULATION ARTICLE 4.12.2 TABLE #8: UTILIZE MEDIUM ACTIVITY LIGHTING LEVELS FOR A LOW ACTIVITY USE & AVERAGE LEVELS ABOVE PRESCRIBED; PENDING
SITE REVIEW REGULATION ARTICLE 4.7.7(2): MINIMUM DRAINAGE PIPE DESIGN VELOCITY: PENDING
SITE REVIEW REGULATION ARTICLE 4.7.7(3): MINIMUM PIPE DEPTH OF 3'; PENDING

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

PROJECT NOTES

FOR TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
74X MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

PLAN REFERENCES:

- 1.) "PLAN OF LAND, THE PLUNKETT FARM, BARRINGTON NEW HAMPSHIRE" BY: FREDERICK E. DREW ASSOCIATES DATED: NOV. 1974 S.C.R.D. POCKET #10, FOLDER #2, PLAN #47
- 2.) "SUBDIVISION PLAN, TURBOCAM, BARRINGTON, NH, OWNED BY, CAROLYN L. GOODWILL REVOCABLE TRUST, PREPARED FOR, VIRTUOUS REALTY, LLC" BY: TFM DATED: NOVEMBER 19, 2003 S.C.R.D. PLAN #74-74
- 3.) "TOPOGRAPHIC SUBDIVISION PLAN, TURBOCAM, BARRINGTON, NH, OWNED BY, CAROLYN L. GOODWILL REVOCABLE TRUST, PREPARED FOR, VIRTUOUS REALTY, LLC" BY: TFM DATED: NOVEMBER 19, 2003 S.C.R.D. PLAN #74-75

PLAN REFERENCES:

- 4.) "CONSERVATION EASEMENT PLAN, TURBOCAM, BARRINGTON, NH, OWNED BY, CAROLYN L. GOODWILL REVOCABLE TRUST, PREPARED FOR, VIRTUOUS REALTY, LLC" BY: TFM DATED: NOVEMBER 19, 2003 S.C.R.D. PLAN #74-76
- 5.) "LOT LINE ADJUSTMENT, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, NH ROUTE 125, CALEF HIGHWAY, BARRINGTON, STRAFFORD COUNTY NEW HAMPSHIRE, PREPARED FOR, WALDRON B. HALEY LIVING, REVOCABLE TRUST OF 1998" BY: NORWAY PLAINS DATED: OCTOBER 2015 S.C.R.D. PLAN #112-099
- 6.) "SUBDIVISION PLAN, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, NH ROUTE 125, CALEF HIGHWAY, BARRINGTON, STRAFFORD COUNTY NEW HAMPSHIRE, PREPARED FOR, WALDRON B. HALEY LIVING, REVOCABLE TRUST OF 1998" BY: NORWAY PLAINS DATED: OCTOBER 19, 2017 S.C.R.D. PLAN #115-022

PLAN REFERENCES:

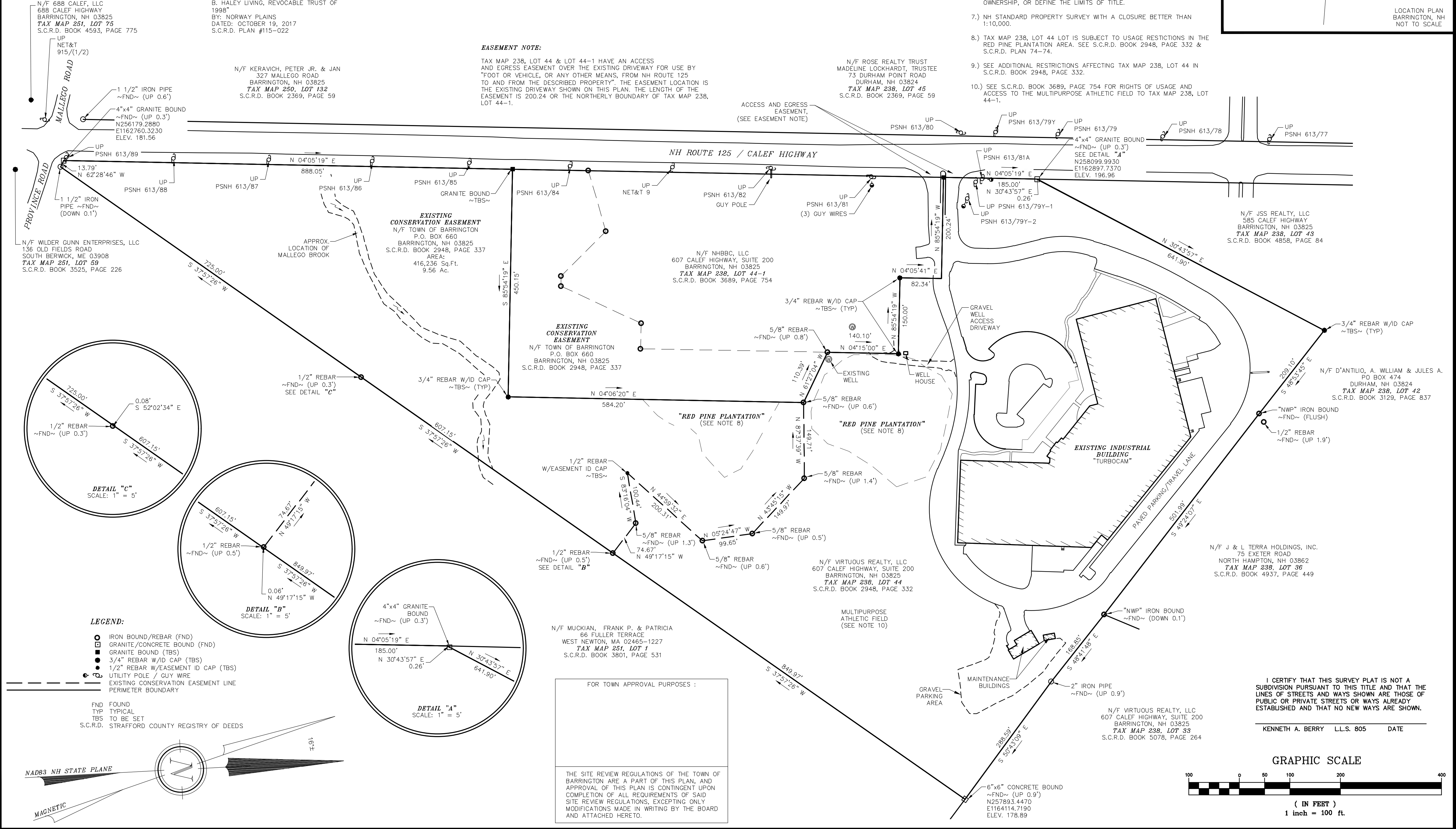
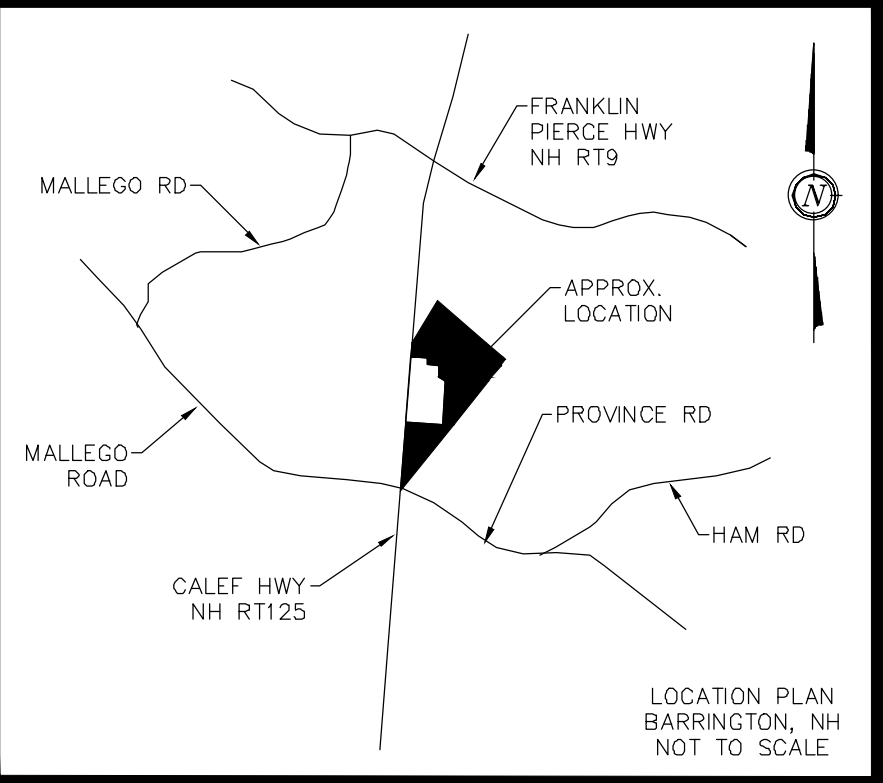
- 7.) "LOT LINE ADJUSTMENT, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, NH ROUTE 125, CALEF HIGHWAY, BARRINGTON, STRAFFORD COUNTY NEW HAMPSHIRE, PREPARED FOR, WALDRON B. HALEY LIVING, REVOCABLE TRUST OF 1998" BY: NORWAY PLAINS DATED: FEBRUARY 2020 S.C.R.D. PLAN #12137
- 8.) "MINOR SUBDIVISION PLAN, PREPARED FOR, J & L TERRA HOLDINGS INC., OF THE PROPERTY IN THE NAME OF, WALDRON B. HALEY REVOCABLE LIVING TRUST OF 1998, OF TAX MAP 238 / LOT 36, LOCATED AT, CALEF HIGHWAY (NH ROUTE 125) & FRANKLIN PIERCE HIGHWAY (NH ROUTE 9), COUNTY OF STRAFFORD, BARRINGTON, NH" BY: DAVID W. VINCENT, LLS DATED: SEPTEMBER 3, 2020 S.C.R.D. PLAN #12454

PLAN REFERENCES:

- 9.) "BOUNDARY PLAN, FOR TURBOCAM, INC., LAND OF NHBC, LLC, NH ROUTE 125/CALEF HIGHWAY, BARRINGTON, N.H., TAX MAP 238, LOT 44-1" BY: BERRY SURVEYING & ENGINEERING DATED: FEBRUARY 5, 2024 NOT RECORDED, ON FILE AT THIS OFFICE
- 10.) "EASEMENT PLAN, FOR TURBOCAM, INC., LAND OF NHBC, LLC, NH ROUTE 125/CALEF HIGHWAY, BARRINGTON, N.H., TAX MAP 238, LOT 44-1" BY: BERRY SURVEYING & ENGINEERING DATED: FEBRUARY 5, 2024 NOT RECORDED, ON FILE AT THIS OFFICE

NOTES:

- 1.) OWNER: VIRTUOUS REALTY, LLC 607 CALEF HIGHWAY, SUITE 200 BARRINGTON, NH 03825
- 1A.) APPLICANT: TURBOCAM, INC. 607 CALEF HIGHWAY, SUITE 200 BARRINGTON, NH 03825
- 2.) TAX MAP 238, LOT 44
- 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
- 4.) S.C.R.D. BOOK 2948, PAGE 332
- 5.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- 6.) THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES OF TAX MAP 238, LOT 44 IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- 7.) NH STANDARD PROPERTY SURVEY WITH A CLOSURE BETTER THAN 1:10,000.
- 8.) TAX MAP 238, LOT 44 LOT IS SUBJECT TO USAGE RESTRICTIONS IN THE RED PINE PLANTATION AREA. SEE S.C.R.D. BOOK 2948, PAGE 332 & S.C.R.D. PLAN 74-74.
- 9.) SEE ADDITIONAL RESTRICTIONS AFFECTING TAX MAP 238, LOT 44 IN S.C.R.D. BOOK 2948, PAGE 332.
- 10.) SEE S.C.R.D. BOOK 3689, PAGE 754 FOR RIGHTS OF USAGE AND ACCESS TO THE MULTIPURPOSE ATHLETIC FIELD TO TAX MAP 238, LOT 44-1.



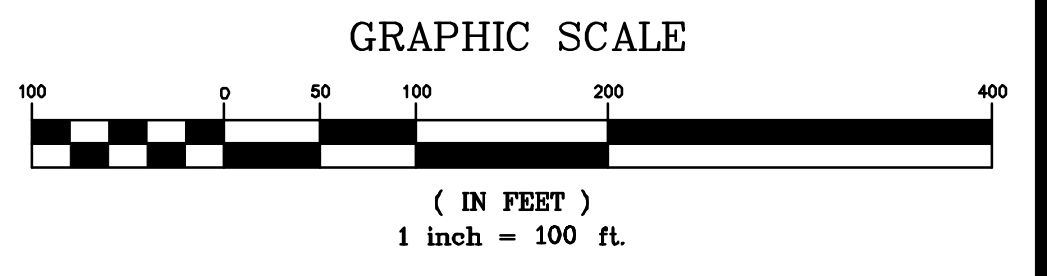
REVISION	DATE	DESCRIPTION

BOUNDARY PLAN FOR TURBOCAM, INC. LAND OF VIRTUOUS REALTY, LLC NH ROUTE 125/CALEF HIGHWAY TAX MAP 238, LOT 44

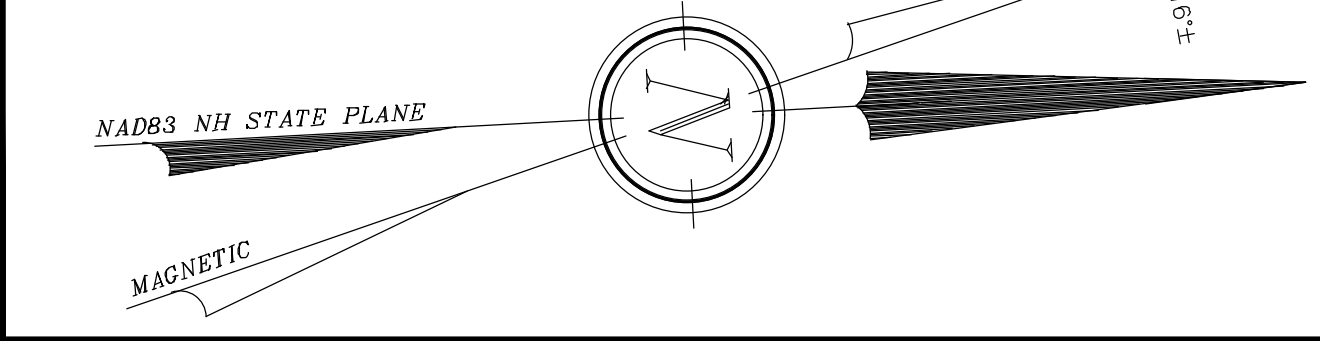
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 100 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE



- LEGEND:
- IRON BOUND/REBAR (FND)
 - GRANITE/CONCRETE BOUND (FND)
 - GRANITE BOUND (TBS)
 - 3/4" REBAR W/D CAP (TBS)
 - 1/2" REBAR W/EASEMENT ID CAP (TBS)
 - UTILITY POLE / GUY WIRE
 - EXISTING CONSERVATION EASEMENT LINE
 - PERIMETER BOUNDARY
- FND FOUND
TYP TYPICAL
TBS TO BE SET
S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS



FOR TOWN APPROVAL PURPOSES:

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

PLAN REFERENCES:

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- 5.) "LOT LINE ADJUSTMENT, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, NH ROUTE 125, CALEF HIGHWAY, BARRINGTON, STRAFFORD COUNTY NEW HAMPSHIRE, PREPARED FOR, WALDRON B. HALEY LIVING, REVOCABLE TRUST OF 1998" BY: NORWAY PLAINS DATED: FEBRUARY 2020 S.C.R.D. PLAN #12137
- 6.) "MINOR SUBDIVISION PLAN, PREPARED FOR, J & L TERRA HOLDINGS INC., OF THE PROPERTY IN THE NAME OF, WALDRON B. HALEY REVOCABLE, LIVING TRUST OF 1998, OF TAX MAP 238 / LOT 36, LOCATED AT, CALEF HIGHWAY (NH ROUTE 125) & FRANKLIN PIERCE HIGHWAY (NH ROUTE 9), COUNTY OF STRAFFORD, BARRINGTON, NH" BY: DAVID W. VINCENT, LLS DATED: SEPTEMBER 3, 2020 S.C.R.D. PLAN #12454
- 7.) "BOUNDARY PLAN, FOR TURBOCAM, INC., LAND OF NHBBC, LLC, NH ROUTE 125/CALEF HIGHWAY, BARRINGTON, N.H., TAX MAP 238, LOT 44-1" BY: BERRY SURVEYING & ENGINEERING DATED: FEBRUARY 5, 2024 NOT RECORDED, ON FILE AT THIS OFFICE
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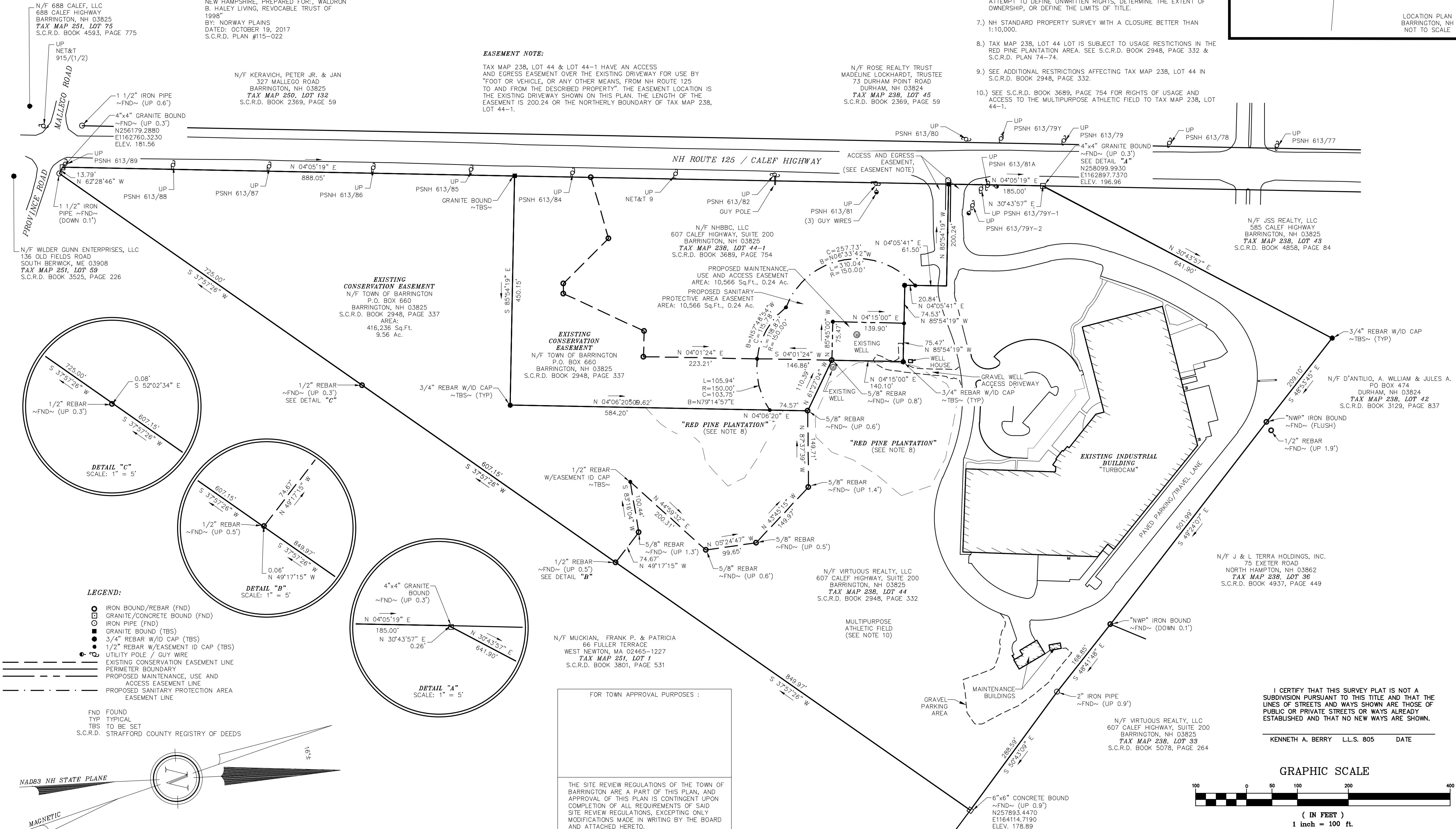
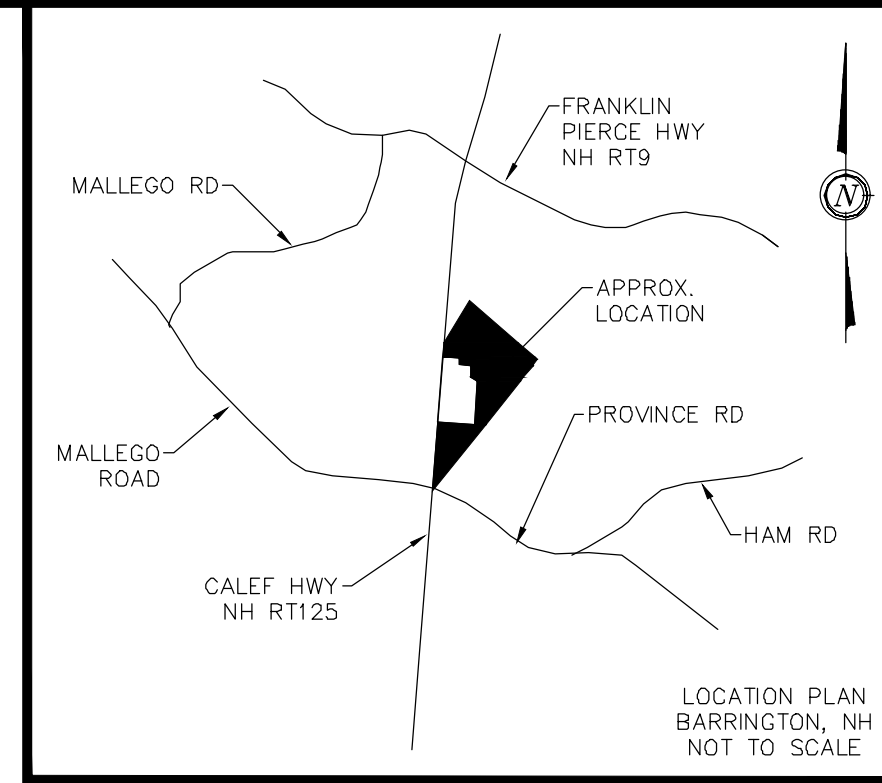
- 9.) "BOUNDARY PLAN, FOR TURBOCAM, INC., LAND OF NHBBC, LLC, NH ROUTE 125/CALEF HIGHWAY, BARRINGTON, N.H., TAX MAP 238, LOT 44-1" BY: BERRY SURVEYING & ENGINEERING DATED: FEBRUARY 5, 2024 NOT RECORDED, ON FILE AT THIS OFFICE
- 10.) "EASEMENT PLAN, FOR TURBOCAM, INC., LAND OF NHBBC, LLC, NH ROUTE 125/CALEF HIGHWAY, BARRINGTON, N.H., TAX MAP 238, LOT 44-1" BY: BERRY SURVEYING & ENGINEERING DATED: FEBRUARY 5, 2024 NOT RECORDED, ON FILE AT THIS OFFICE

PLAN REFERENCES:

- 11.) "CONSERVATION EASEMENT PLAN, TURBOCAM, BARRINGTON, NH, OWNED BY, CAROLYN L. GOODWILL REVOCABLE TRUST, PREPARED FOR, VIRTUOUS REALTY, LLC" BY: TFM DATED: NOVEMBER 19, 2003 S.C.R.D. PLAN #74-76
- 12.) "TOPOGRAPHIC SUBDIVISION PLAN, TURBOCAM, BARRINGTON, NH, OWNED BY, CAROLYN L. GOODWILL REVOCABLE TRUST, PREPARED FOR, VIRTUOUS REALTY, LLC" BY: TFM DATED: NOVEMBER 19, 2003 S.C.R.D. PLAN #74-75
- 13.) "SUBDIVISION PLAN, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, NH ROUTE 125, CALEF HIGHWAY, BARRINGTON, STRAFFORD COUNTY NEW HAMPSHIRE, PREPARED FOR, WALDRON B. HALEY LIVING, REVOCABLE TRUST OF 1998" BY: NORWAY PLAINS DATED: FEBRUARY 2020 S.C.R.D. PLAN #12137
- 14.) "MINOR SUBDIVISION PLAN, PREPARED FOR, J & L TERRA HOLDINGS INC., OF THE PROPERTY IN THE NAME OF, WALDRON B. HALEY REVOCABLE, LIVING TRUST OF 1998, OF TAX MAP 238 / LOT 36, LOCATED AT, CALEF HIGHWAY (NH ROUTE 125) & FRANKLIN PIERCE HIGHWAY (NH ROUTE 9), COUNTY OF STRAFFORD, BARRINGTON, NH" BY: DAVID W. VINCENT, LLS DATED: SEPTEMBER 3, 2020 S.C.R.D. PLAN #12454

NOTES:

- 1.) OWNER: VIRTUOUS REALTY, LLC 607 CALEF HIGHWAY, SUITE 200 BARRINGTON, NH 03825
- 1A.) APPLICANT: TURBOCAM, INC. 607 CALEF HIGHWAY, SUITE 200 BARRINGTON, NH 03825
- 2.) TAX MAP 238, LOT 44
- 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
- 4.) S.C.R.D. BOOK 2948, PAGE 332
- 5.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- 6.) THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES OF TAX MAP 238, LOT 44 IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- 7.) NH STANDARD PROPERTY SURVEY WITH A CLOSURE BETTER THAN 1:10,000.
- 8.) TAX MAP 238, LOT 44 LOT IS SUBJECT TO USAGE RESTRICTIONS IN THE RED PINE PLANTATION AREA. SEE S.C.R.D. BOOK 2948, PAGE 332 & S.C.R.D. PLAN 74-74.
- 9.) SEE ADDITIONAL RESTRICTIONS AFFECTING TAX MAP 238, LOT 44 IN S.C.R.D. BOOK 2948, PAGE 332.
- 10.) SEE S.C.R.D. BOOK 3689, PAGE 754 FOR RIGHTS OF USAGE AND ACCESS TO THE MULTIPURPOSE ATHLETIC FIELD TO TAX MAP 238, LOT 44-1.



EASEMENT NOTE:
TAX MAP 238, LOT 44 & LOT 44-1 HAVE AN ACCESS AND EGRESS EASEMENT OVER THE EXISTING DRIVEWAY FOR USE BY "FOOT OR VEHICLE, OR ANY OTHER MEANS, FROM NH ROUTE 125 TO AND FROM THE DESCRIBED PROPERTY". THE EASEMENT LOCATION IS THE EXISTING DRIVEWAY SHOWN ON THIS PLAN. THE LENGTH OF THE EASEMENT IS 200.24' OR THE NORTHERLY BOUNDARY OF TAX MAP 238, LOT 44-1.

PROPOSED MAINTENANCE, USE AND ACCESS EASEMENT AREA: 10,566 Sq.Ft., 0.24 Ac.
PROPOSED SANITARY PROTECTIVE AREA EASEMENT AREA: 10,566 Sq.Ft., 0.24 Ac.

EXISTING CONSERVATION EASEMENT N/F TOWN OF BARRINGTON P.O. BOX 660 BARRINGTON, NH 03825 S.C.R.D. BOOK 2948, PAGE 337 AREA: 416,236 Sq.Ft. 9.56 Ac.

EXISTING CONSERVATION EASEMENT N/F TOWN OF BARRINGTON P.O. BOX 660 BARRINGTON, NH 03825 S.C.R.D. BOOK 2948, PAGE 337 AREA: 416,236 Sq.Ft. 9.56 Ac.

"RED PINE PLANTATION" (SEE NOTE 8)

"RED PINE PLANTATION" (SEE NOTE 8)

N/F MUCKIAN, FRANK P. & PATRICIA 66 FULLER TERRACE WEST NEWTON, MA 02465-1227 TAX MAP 251, LOT 1 S.C.R.D. BOOK 3801, PAGE 531

N/F VIRTUOUS REALTY, LLC 607 CALEF HIGHWAY, SUITE 200 BARRINGTON, NH 03825 TAX MAP 238, LOT 44 S.C.R.D. BOOK 2948, PAGE 332

N/F J & L TERRA HOLDINGS, INC. 75 EXETER ROAD NORTH HAMPTON, NH 03862 TAX MAP 238, LOT 36 S.C.R.D. BOOK 4937, PAGE 449

N/F JSS REALTY, LLC 585 CALEF HIGHWAY BARRINGTON, NH 03825 TAX MAP 238, LOT 43 S.C.R.D. BOOK 4858, PAGE 84

N/F VIRTUOUS REALTY, LLC 607 CALEF HIGHWAY, SUITE 200 BARRINGTON, NH 03825 TAX MAP 238, LOT 33 S.C.R.D. BOOK 5078, PAGE 264

N/F WILDER GUNN ENTERPRISES, LLC 156 OLD FIELDS ROAD SOUTH BERWICK, ME 03908 TAX MAP 251, LOT 59 S.C.R.D. BOOK 3525, PAGE 226

N/F ROSE REALTY TRUST MADELINE LOCKHART, TRUSTEE 73 DURHAM POINT ROAD DURHAM, NH 03824 TAX MAP 238, LOT 45 S.C.R.D. BOOK 2369, PAGE 59

REVISION	DATE	DESCRIPTION

EASEMENT PLAN FOR TURBOCAM, INC. LAND OF VIRTUOUS REALTY, LLC NH ROUTE 125/CALEF HIGHWAY BARRINGTON, N.H. TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 100 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

GRAPHIC SCALE
(IN FEET)
1 inch = 100 ft.

Licensed Professional Surveyor
No. 805
KENNETH A. BERRY
SIGNATURE

N/F KERVACH, PETER JR. & JAN
327 MALLEGO ROAD
BARRINGTON, NH 03825
TAX MAP 250, LOT 132
S.C.R.D. BOOK 2369, PAGE 59

N/F ROSE REALTY TRUST
MADLINE LOCKHART, TRUSTEE
73 DURHAM POINT ROAD
DURHAM, NH 03824
TAX MAP 238, LOT 45
S.C.R.D. BOOK 2369, PAGE 59

N/F NHBBC, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
TAX MAP 238, LOT 44-1
S.C.R.D. BOOK 3689, PAGE 754

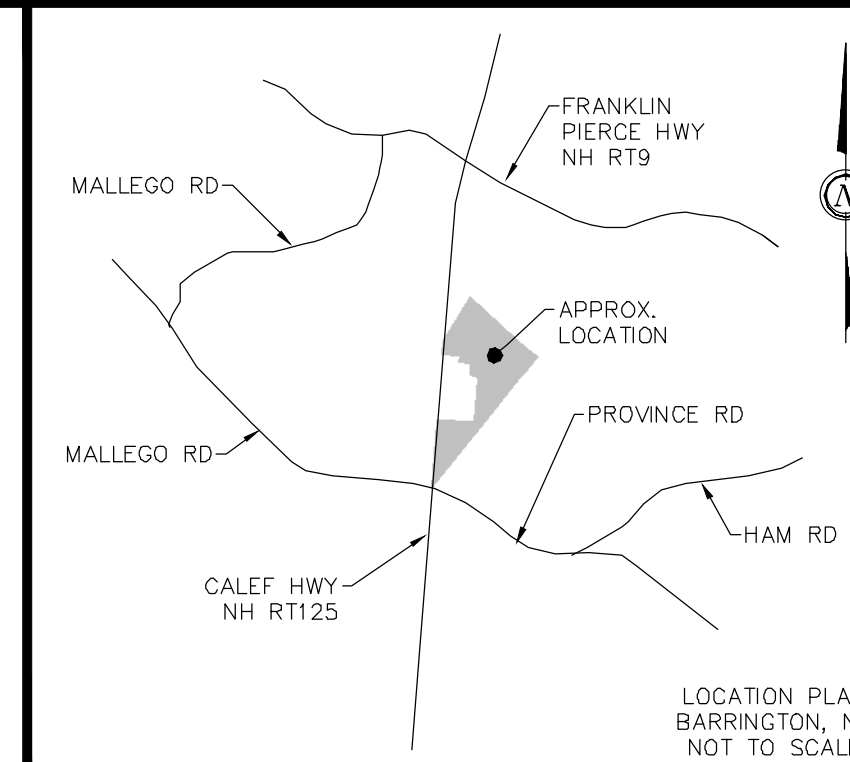
EXISTING CONSERVATION EASEMENT
N/F TOWN OF BARRINGTON
P.O. BOX 660
BARRINGTON, NH 03825
S.C.R.D. BOOK 2948, PAGE 337
AREA:
416,236 Sq.Ft.
9.56 Ac.

EXISTING CONSERVATION EASEMENT
N/F TOWN OF BARRINGTON
P.O. BOX 660
BARRINGTON, NH 03825
S.C.R.D. BOOK 2948, PAGE 337

N/F MUCKIAN, FRANK P. & PATRICIA
66 FULLER TERRACE
WEST NEWTON, MA 02465-1227
TAX MAP 251, LOT 1
S.C.R.D. BOOK 3801, PAGE 531

N/F J & L TERRA HOLDINGS, INC.
75 EXETER ROAD
NORTH HAMPTON, NH 03862
TAX MAP 238, LOT 36
S.C.R.D. BOOK 4937, PAGE 449

N/F VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
TAX MAP 238, LOT 33
S.C.R.D. BOOK 5078, PAGE 264



- NOTES:**
- OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - TAX MAP 238, LOT 44
 - LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - S.C.R.D. BOOK 2948, PAGE 332
 - ZONING: VILLAGE DISTRICT (NON-RESIDENTIAL)
MINIMUM FRONTAGE ~ 75'
MINIMUM LOT SIZE ~ 30,000 Sq. Ft.
GREENBELT BUFFER ALONG ROUTE 125 ~ 50'
FRONT SETBACK ~ 20'
REAR SETBACK ~ 15'
SIDE SETBACK ~ 15'
MAX. BUILDING HEIGHT: 40'
MAX. LOT COVERAGE: 60%
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY # - 330178, MAP # - 33017C0305E, DATED: SEPT. 30, 2015.
 - VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
 - THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SPRING OF 2023, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 10,000.
 - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 238, LOT 44 AS OF THE DATE OF SURVEY, APRIL 2023 - JANUARY 2024.

- LEGEND:**
- IRON BOUND/IRON ROD (FND)
 - IRON PIPE (FND)
 - GRANITE/CONCRETE BOUND (FND)
 - UTILITY POLE / GUY WIRE
 - SINGLE POST SIGN
 - POLE MOUNTED LIGHT
 - TEMPORARY BENCHMARK
 - TESTHOLE
 - WELL

- BUILDING SETBACK LINE
- EXISTING CONSERVATION EASEMENT LINE
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- POORLY DRAINED WETLAND LINE
- VERY POORLY DRAINED WETLAND LINE
- 50' WETLAND BUFFER LINE
- EXISTING TREELINE

- MATCH LINE
- MATCH POINT
- NRCS SOIL BOUNDARY
- NRCS SOIL LABEL
- WATER FLOW ARROWS
- FND FOUND
- TYP TYPICAL
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- POORLY DRAINED WETLAND
- VERY POORLY DRAINED WETLAND

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

OVERVIEW EXISTING CONDITIONS PLAN

REVISION	DATE	DESCRIPTION

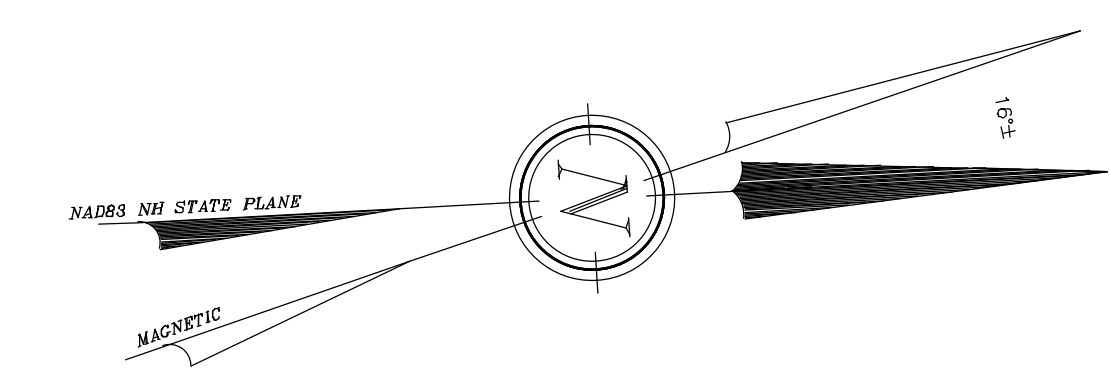
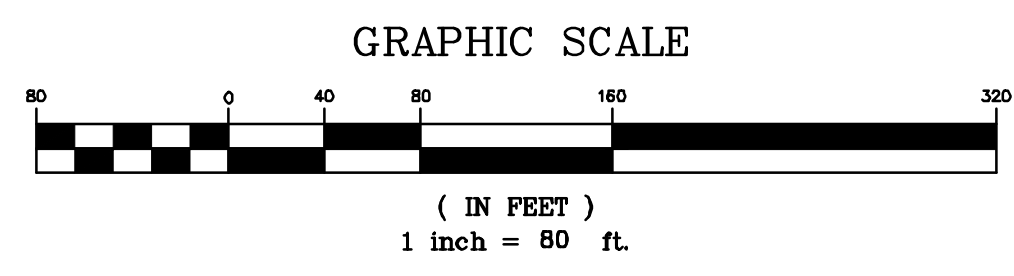
FOR TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

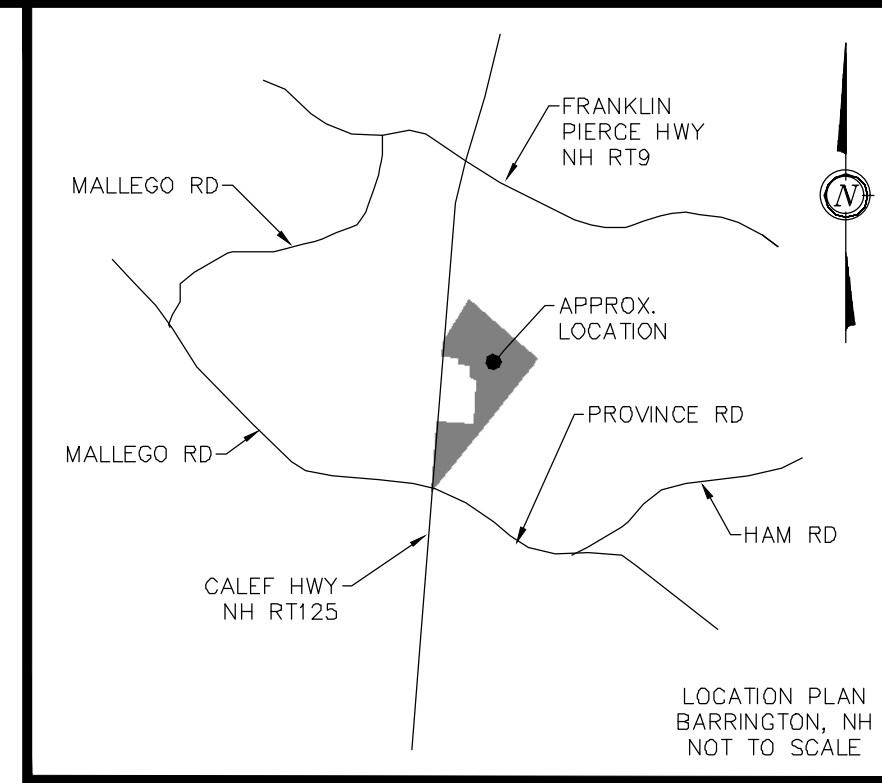
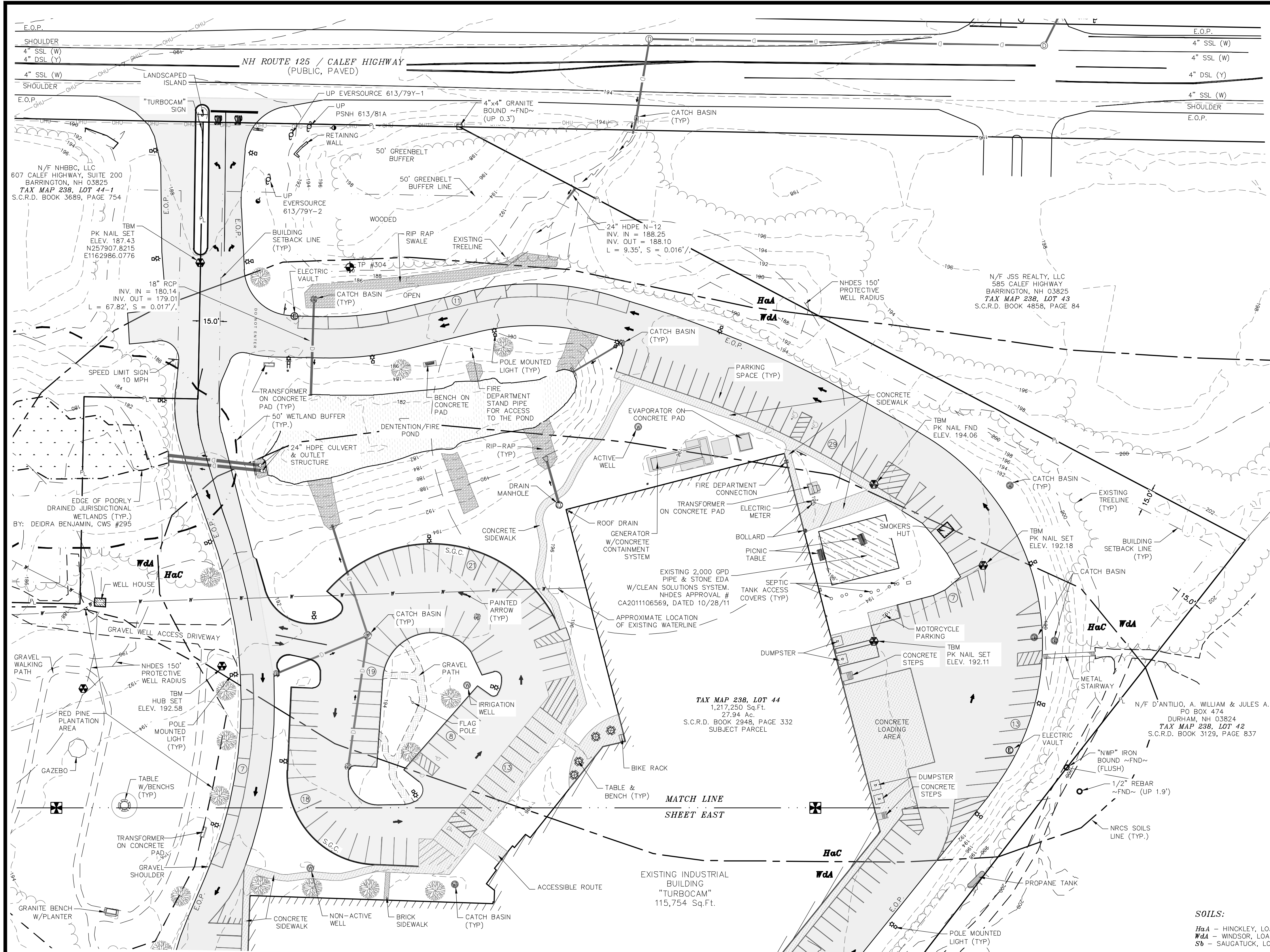
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 80 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

SOILS:
HaA - HINCKLEY, LOAMY SAND, 3 - 8% SLOPES
HaC - HINCKLEY, LOAMY SAND, 8 - 15% SLOPES
WdA - WINDSOR, LOAMY SAND, 0 - 3% SLOPES
Sb - SAUGTUCK, LOAMY SAND

SEE: USDA-NRCS WEBSOIL

- DEIDRA BENJAMIN, CWS #295**
WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, CWS, IN APRIL OF 2023 AND JANUARY OF 2024 UTILIZING THE FOLLOWING STANDARDS:
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
 - FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEWPCC WETLANDS WORKGROUP. WILMINGTON, MA 01887.
 - NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND.PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
 - STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
 - CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL. JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
 - REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION. JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS. ENVIRONMENTAL LABORATORY ERO/CJL TR-12-1.
 - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.





- NOTES:**
- OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - TAX MAP 238, LOT 44
 - LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
S.C.R.D. BOOK 2948, PAGE 332
 - ZONING: VILLAGE DISTRICT (NON-RESIDENTIAL)
MINIMUM FRONTAGE ~ 75'
MINIMUM LOT SIZE ~ 30,000 Sq. Ft.
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MAX. LOT COVERAGE: 60%
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAN FLOOD HAZARD REF: FEMA COMMUNITY# ~ 330178, MAP# ~ 33017C0305E, DATED: SEPT. 30, 2015.
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 - THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SPRING OF 2023, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 10,000.
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 - THE INTENT OF THIS PLAN IS TO SHOW A DETAIL VIEW OF THE EXISTING CONDITIONS OF TAX MAP 238, LOT 44 AS OF THE DATE OF SURVEY, APRIL 2023 - JANUARY 2024.

LEGEND:

- IRON BOUND/IRON ROD (FND)
- IRON PIPE (FND)
- GRANITE/CONCRETE BOUND (FND)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- POLE MOUNTED LIGHT
- TEMPORARY BENCHMARK
- TESTHOLE
- BUILDING SETBACK LINE
- EXISTING CONSERVATION EASEMENT LINE
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- POORLY DRAINED WETLAND LINE
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- 50' WETLAND BUFFER LINE
- EXISTING TREELINE
- MATCH LINE
- MATCH POINT
- NRCS SOIL BOUNDARY
- NRCS SOIL LABEL
- WATER FLOW ARROWS
- FND FOUND
- TYP TYPICAL
- S.C.R.D. STRAFFORD COUNTY REGISTER OF DEEDS

SOILS:

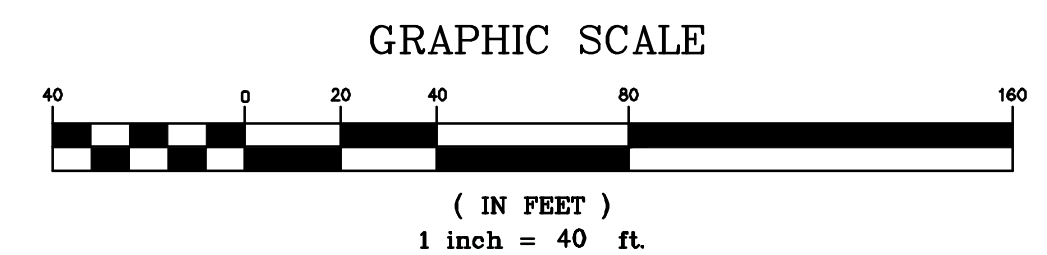
- H_aA - HINCKLEY, LOAMY SAND 3 - 8% SLOPES
 - W_dA - WINDSOR, LOAMY SAND, 0 - 3% SLOPES
 - S_b - SAUGATUCK, LOAMY SAND
- SEE: USDA-NRCS WEBSITE

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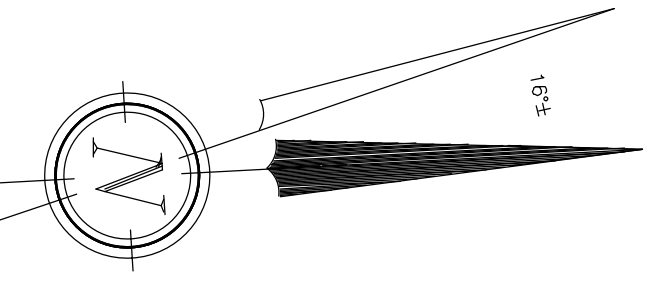
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
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DEIDRA BENJAMIN, CWS #295



N/F J & L TERRA HOLDINGS, INC.
75 EXETER ROAD
NORTH HAMPTON, NH 03862
TAX MAP 238, LOT 36
S.C.R.D. BOOK 4937, PAGE 449



DETAIL EXISTING CONDITIONS PLAN - WEST

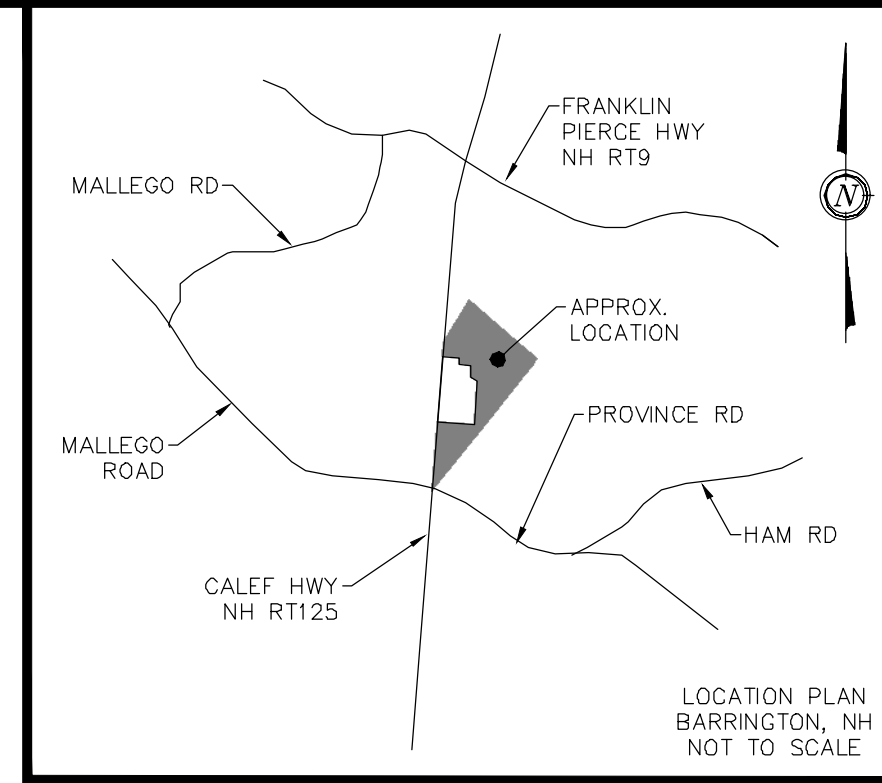
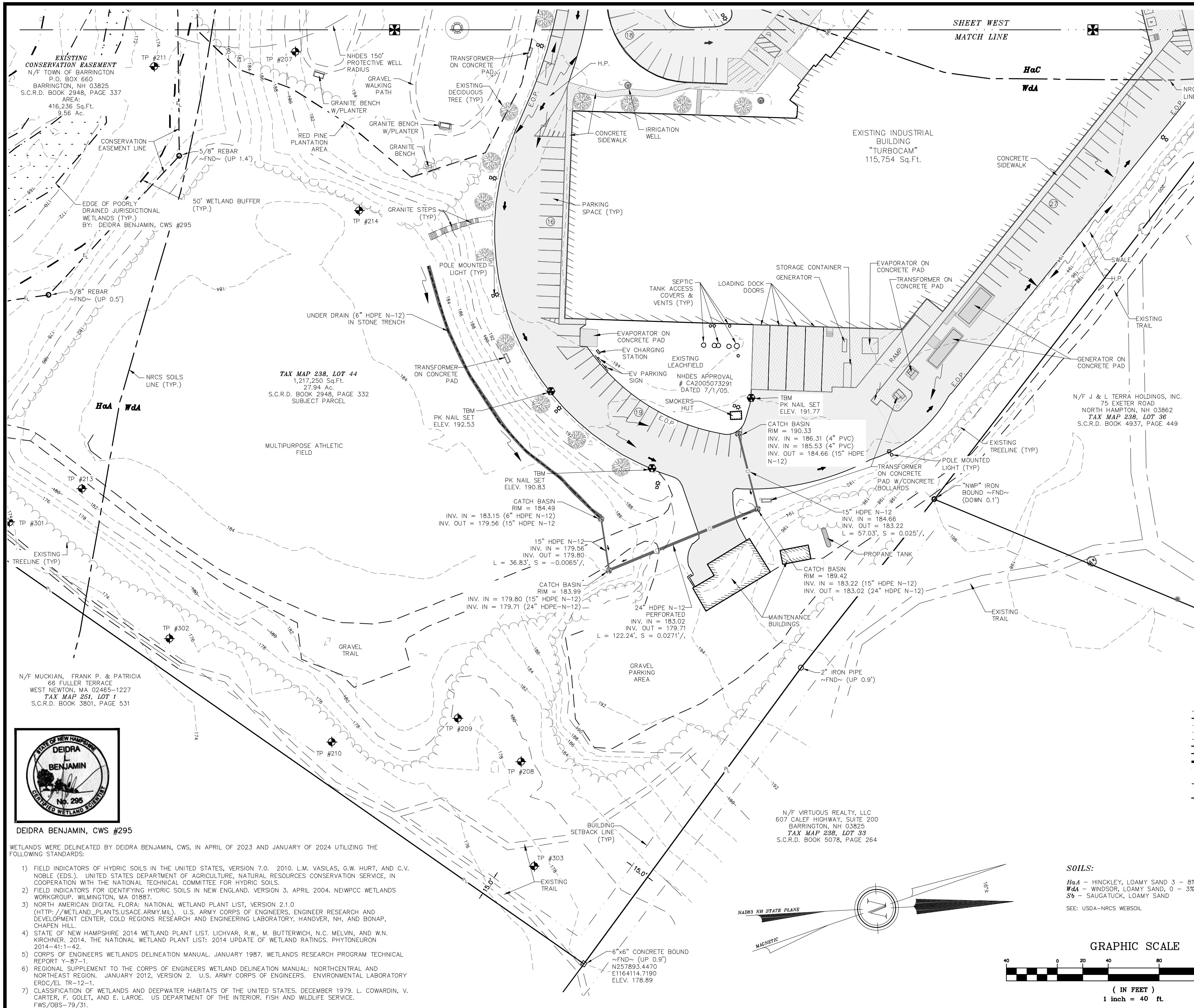
REVISION	DATE	DESCRIPTION

FOR TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

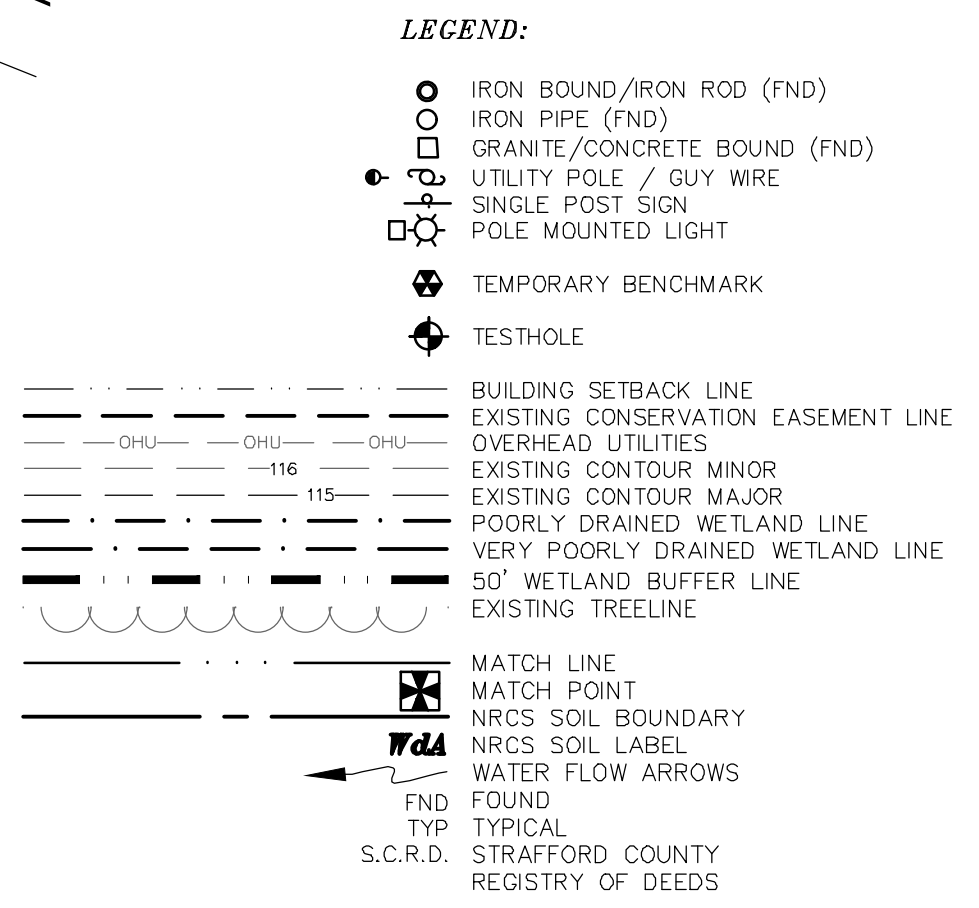
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 40 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

FOR TOWN APPROVAL PURPOSES:

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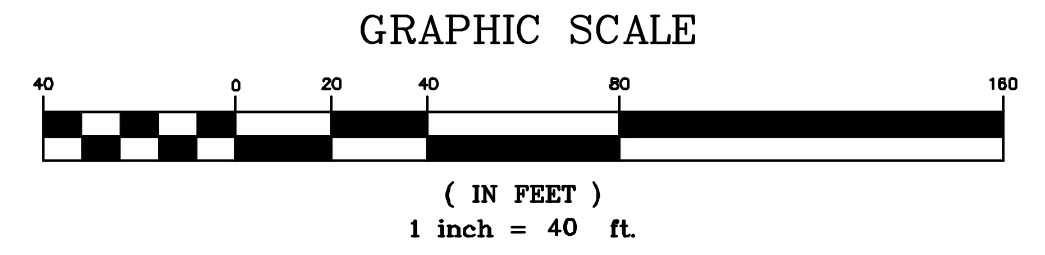
- NOTES:**
- OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - TAX MAP 238, LOT 44
 - LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - S.C.R.D. BOOK 2948, PAGE 332
 - ZONING: VILLAGE DISTRICT (NON-RESIDENTIAL)
MINIMUM FRONTAGE ~ 75'
MINIMUM LOT SIZE ~ 30,000 Sq. Ft.
GREENBELT BUFFER ALONG ROUTE 125 ~ 50'
FRONT SETBACK ~ 20'
REAR SETBACK ~ 15'
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MAX. BUILDING HEIGHT: 40'
MAX. LOT COVERAGE: 60%
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 3301700305E, DATED: SEPT. 30, 2015.
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SOILS:

H_aA - HINCKLEY, LOAMY SAND 3 - 8% SLOPES
W_dA - WINDSOR, LOAMY SAND, 0 - 3% SLOPES
S_b - SAUGATUCK, LOAMY SAND

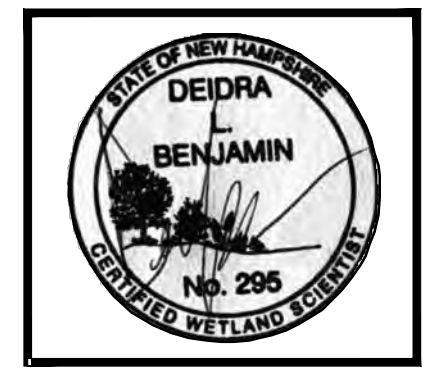
SEE: USDA-NRCS WEBSOIL



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

N/F MUCKIAN, FRANK P. & PATRICIA
66 FULLER TERRACE
WEST NEWTON, MA 02465-1227
TAX MAP 251, LOT 1
S.C.R.D. BOOK 3801, PAGE 531



DEIDRA BENJAMIN, CWS #295

WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, CWS, IN APRIL OF 2023 AND JANUARY OF 2024 UTILIZING THE FOLLOWING STANDARDS:

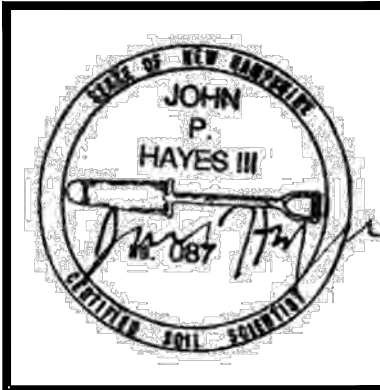
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEWPPCC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. UCHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
- CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
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- CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

DETAIL EXISTING CONDITIONS PLAN - EAST

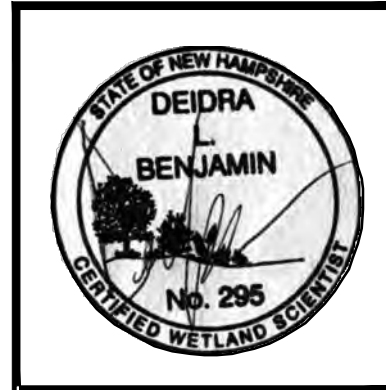
REVISION	DATE	DESCRIPTION

FOR TURBOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
 TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 40 FT.
 DATE : APRIL 17, 2024
 FILE NO. : DB 2023 - 017



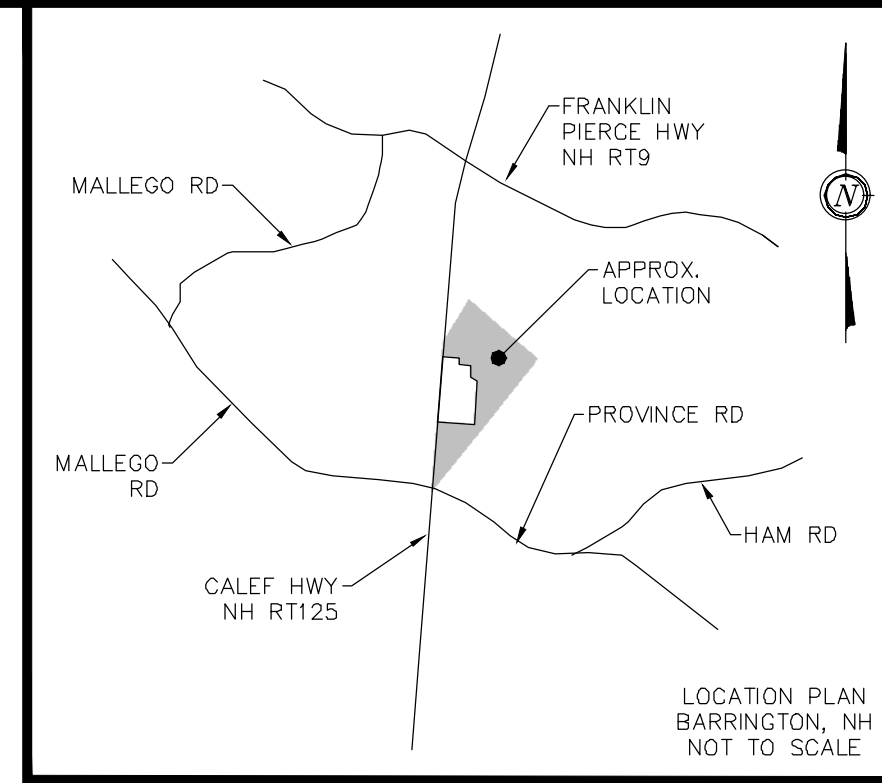
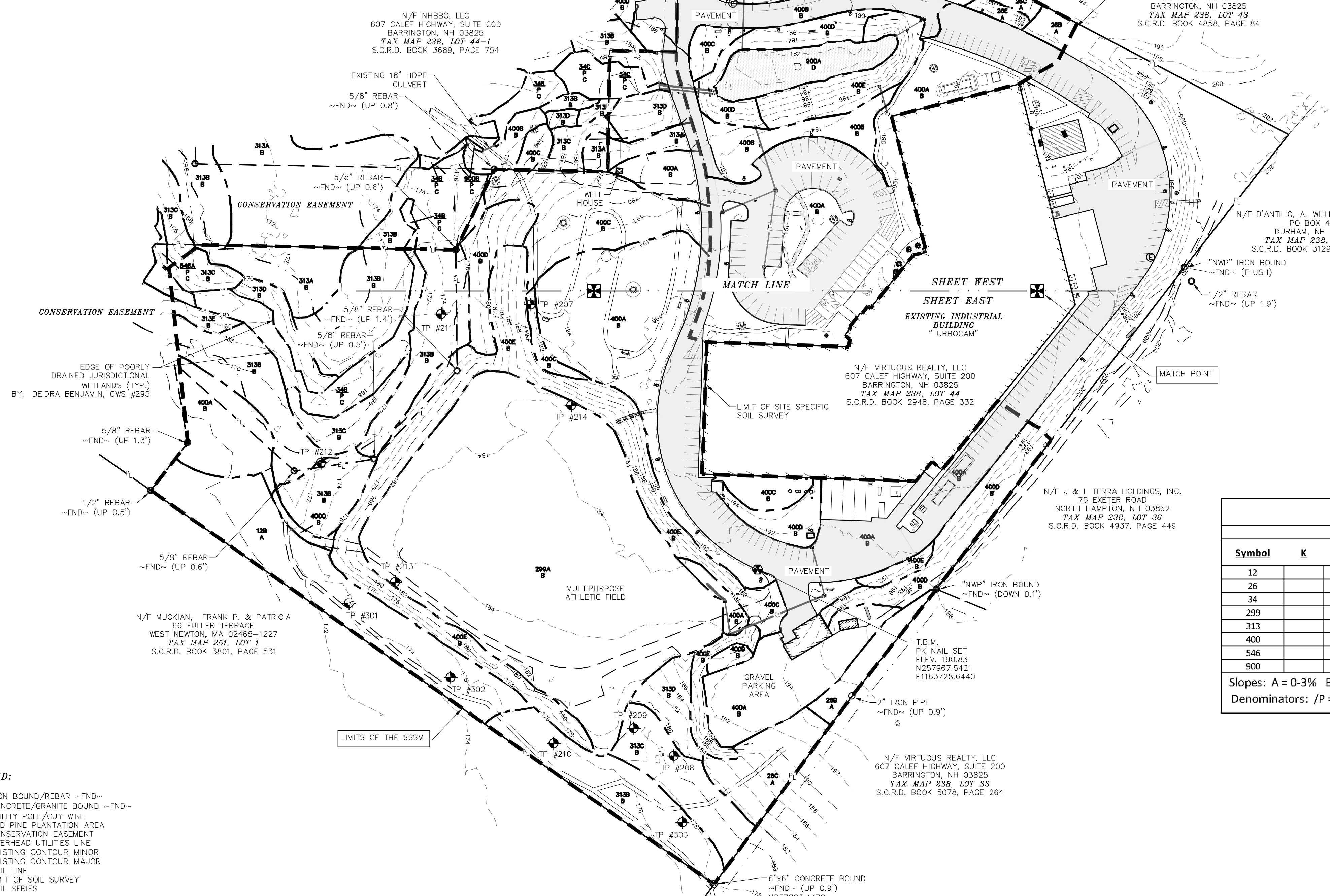
JOHN P. HAYES, III CSS #87



DEIDRA BENJAMIN, CWS #295

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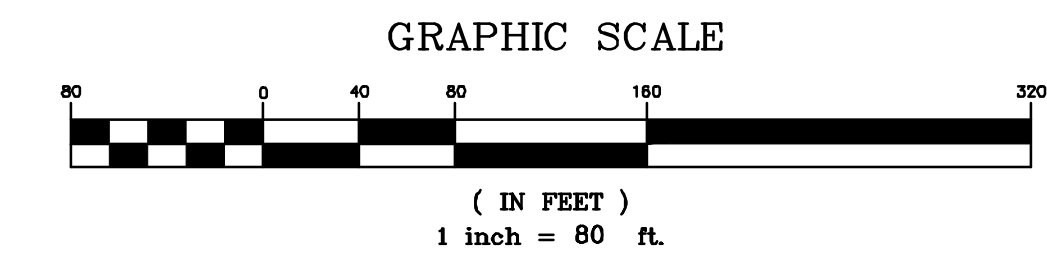
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- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2.) TAX MAP 238, LOT 44
 - 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - 4.) S.C.R.D. BOOK 2948, PAGE 332
 - 5.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REF.: FEMA, COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPT. 30, 2015.
 - 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
 - 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN APRIL OF 2023, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 10,000.
 - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE OVERVIEW OF THE SITE SPECIFIC SOIL SURVEY OF TAX MAP 238, LOT 44 AS OF THE DATE OF THE SURVEY (APRIL 2023 & JANUARY 2024).

SOILS LEGEND				
Site Specific Soils Map 238 Lot 44				
Symbol	K	Slopes	Taxonomic Soil Name	Hydrologic Soil Group
12		B	Hinckley	A
26		A,B,C,D,E	Windsor	A
34		B	Wareham	C
299		A	Udorthents (Smoothed)	B
313		A,B,C,D,E	Deerfield	B
400		A,C,D,E	Udorthents	B
546		A	Walpole	C
900		A	Endoaquents (Sandy or Gravelly)	D

Slopes: A=0-3% B=3-8% C=8-15% D=15-25% E=25-50% F=50%+
Denominators: /P = Poorly Drained /VP = Very Poorly Drained /Rk = Rocky



FOR PLANNING BOARD APPROVAL PURPOSES:

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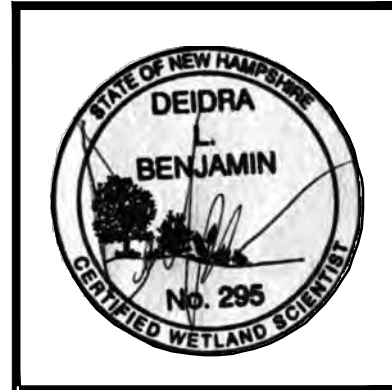
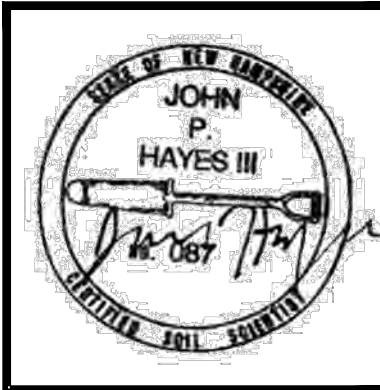
REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - OVERVIEW

FOR TURBOCAM, INC.
LAND OF VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 80 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

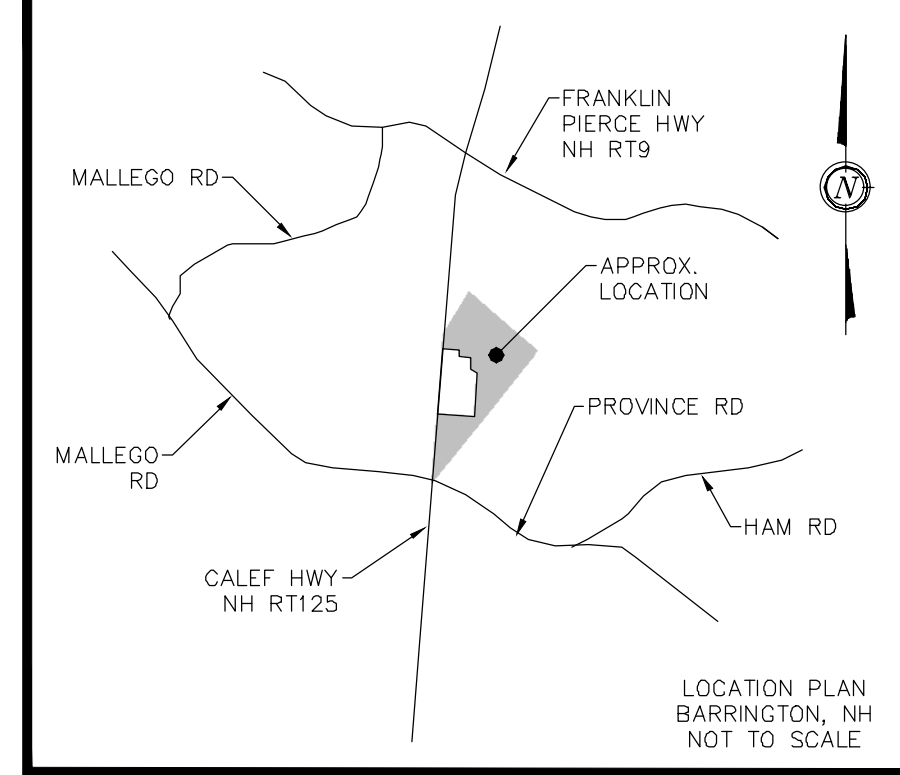
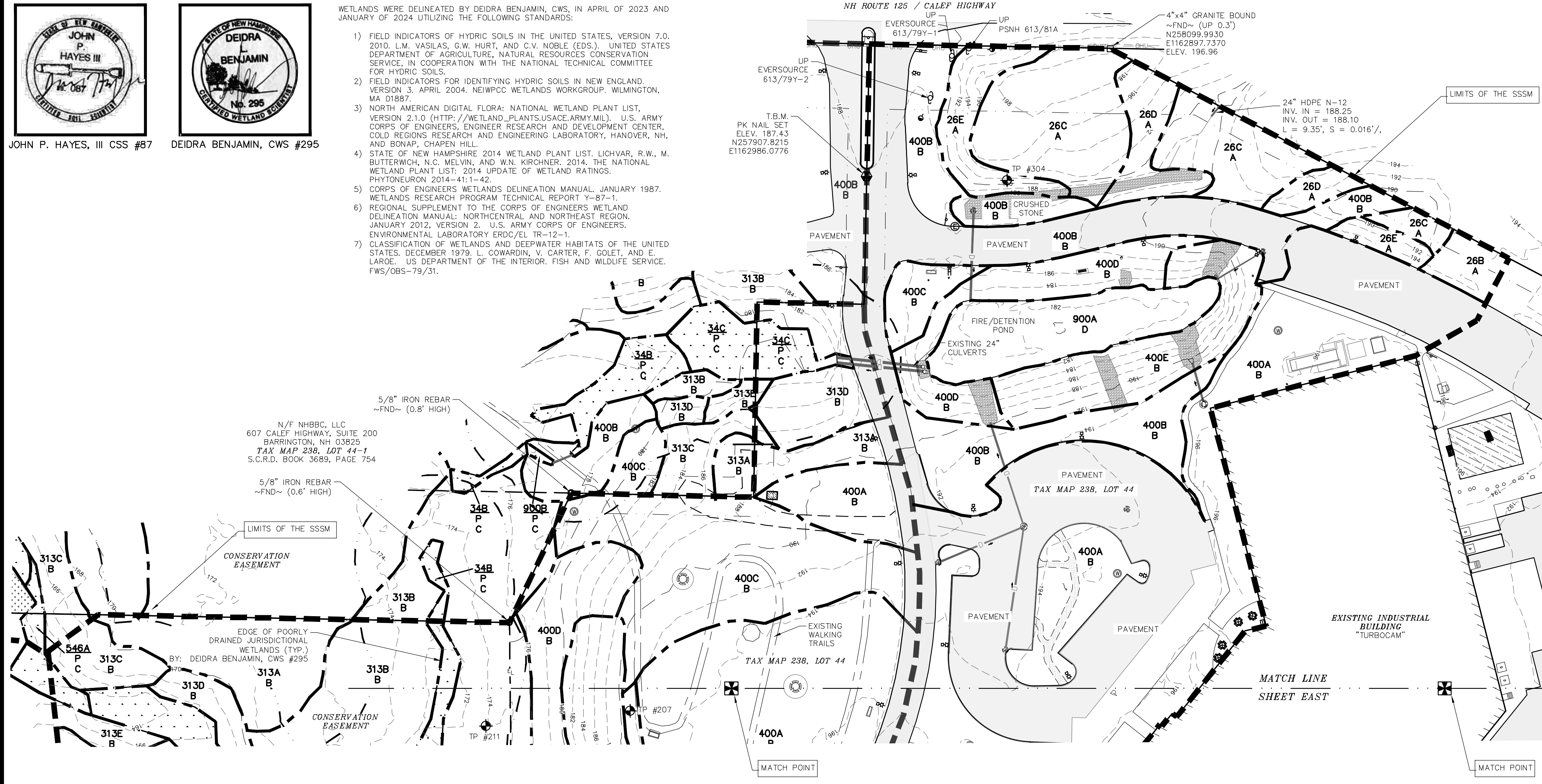
KENNETH A. BERRY
SIGNATURE



JOHN P. HAYES, III CSS #87 DEIDRA BENJAMIN, CWS #295

WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, CWS, IN APRIL OF 2023 AND JANUARY OF 2024 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
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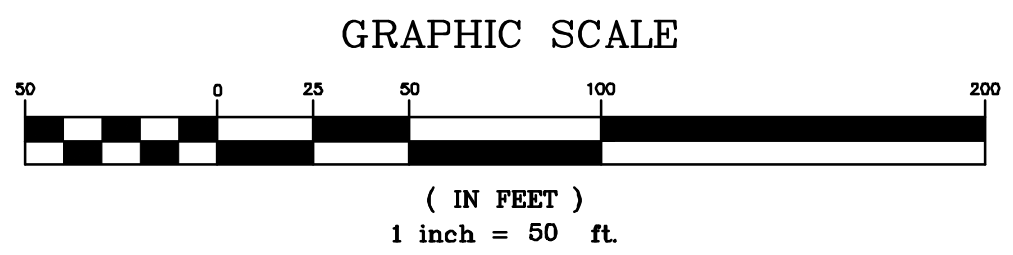


- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
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 - 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - 4.) S.C.R.D. BOOK 2948, PAGE 332
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 - 8.) THE INTENT OF THIS PLAN IS TO SHOW DETAIL OF THE WEST SIDE OF THE SITE SPECIFIC SOIL SURVEY OF TAX MAP 238, LOT 44 AS OF THE DATE OF THE SURVEY (APRIL 2023 & JANUARY 2024).

- LEGEND:**
- IRON BOUND/REBAR ~FND~
 - CONCRETE/GRANITE BOUND ~FND~
 - UTILITY POLE/GUY WIRE
 - RED PINE PLANTATION AREA
 - CONSERVATION EASEMENT
 - OVERHEAD UTILITIES LINE
 - EXISTING CONTOUR MINOR
 - EXISTING CONTOUR MAJOR
 - SOIL LINE
 - LIMIT OF SOIL SURVEY
 - SOIL SERIES
 - 448A
 - TEST HOLE
 - BENCHMARK
 - S.C.R.D. TYP. FND
 - STRAFFORD COUNTY REGISTRY OF DEEDS TYPICAL FOUND
 - POORLY DRAINED JURISDICTIONAL WETLAND

SOILS LEGEND				
Site Specific Soils Map 238 Lot 44				
Symbol	K	Slopes	Taxonomic Soil Name	Hydrologic Soil Group
12		B	Hinckley	A
26		A,B,C,D,E	Windsor	A
34		B	Wareham	C
299		A	Udorthents (Smoothed)	B
313		A,B,C,D,E	Deerfield	B
400		A,C,D,E	Udorthents	B
546		A	Walpole	C
900		A	Endoaquents (Sandy or Gravelly)	D

Slopes: A = 0-3% B = 3-8% C = 8-15% D = 15-25% E = 25-50% F = 50%+
Denominators: /P = Poorly Drained /VP = Very Poorly Drained /RK = Rocky



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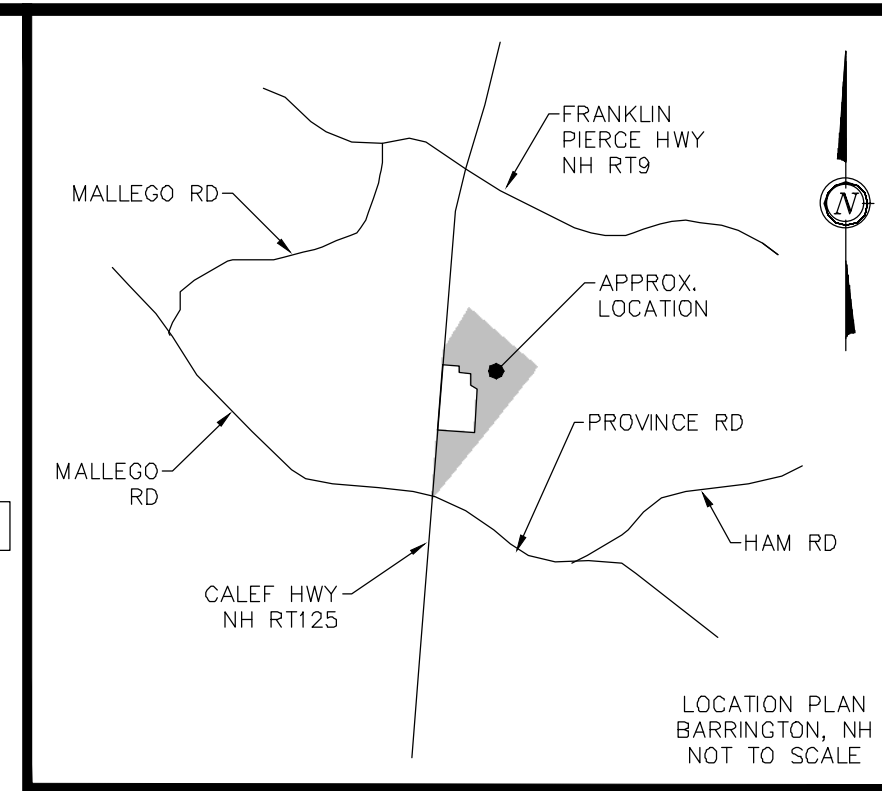
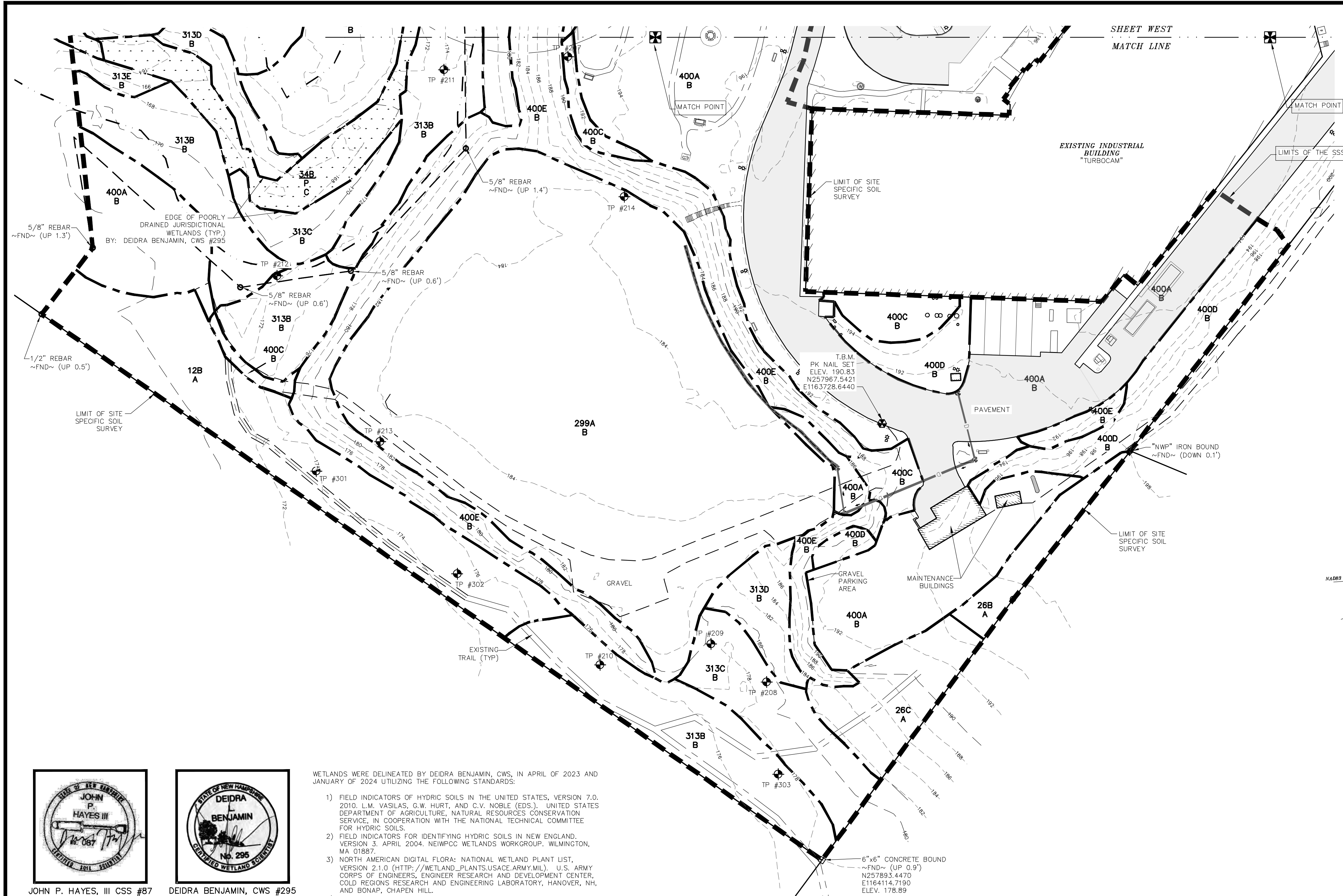
REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - WEST

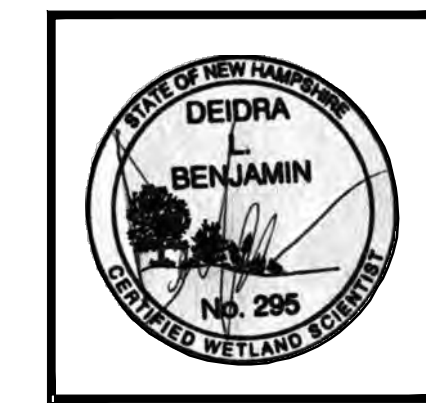
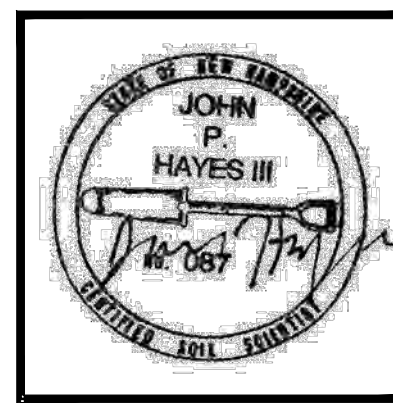
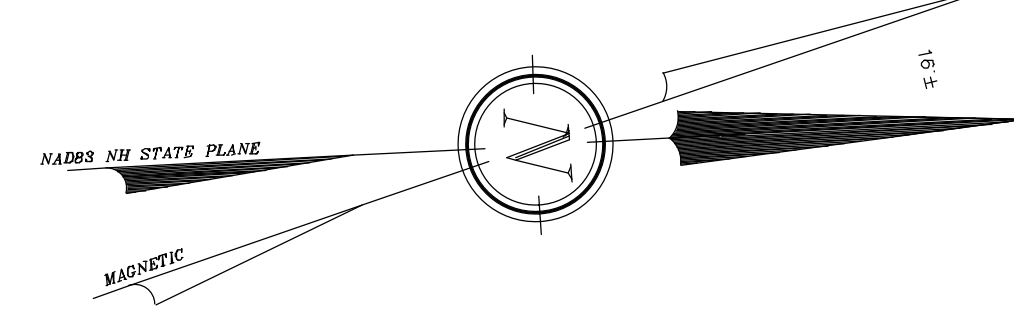
FOR TURBOCAM, INC.
LAND OF VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 50 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

SHEET 9 OF 43



- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM, INC.
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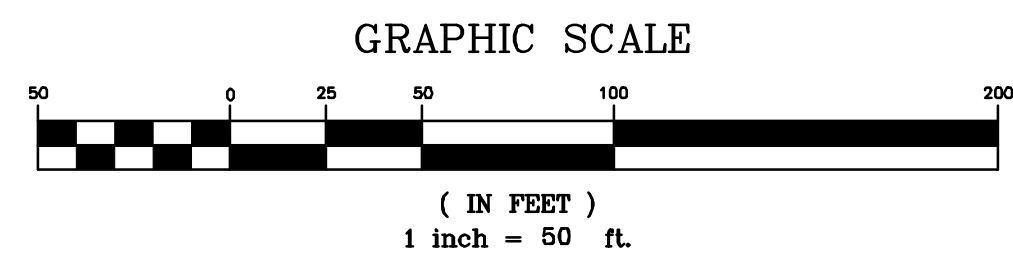
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SOILS LEGEND

Symbol	K	Slopes	Taxonomic Soil Name	Hydrologic Soil Group
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26		A,B,C,D,E	Windsor	A
34		B	Wareham	C
299		A	Udorthents (Smoothed)	B
313		A,B,C,D,E	Deerfield	B
400		A,C,D,E	Udorthents	B
546		A	Walpole	C
900		A	Endoaquents (Sandy or Gravelly)	D

Slopes: A = 0-3% B = 3-8% C = 8-15% D = 15-25% E = 25- 50% F = 50%+
Denominators: /P = Poorly Drained /VP = Very Poorly Drained /Rk = Rocky

- LEGEND:**
- IRON BOUND/REBAR ~FND~
 - CONCRETE/GRANITE BOUND ~FND~
 - UTILITY POLE/GUY WIRE
 - RED PINE PLANTATION AREA
 - CONSERVATION EASEMENT
 - OVERHEAD UTILITIES LINE
 - EXISTING CONTOUR MINOR
 - EXISTING CONTOUR MAJOR
 - SOIL LINE
 - LIMIT OF SOIL SURVEY
 - SOIL SERIES
 - 448A
 - TEST HOLE
 - ⊕ BENCHMARK
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
 - TYP. TYPICAL
 - FND FOUND
 - POORLY DRAINED JURISDICTIONAL WETLAND



FOR PLANNING BOARD APPROVAL PURPOSES:

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REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - EAST

FOR TURBOCAM, INC. LAND OF VIRTUOUS REALTY, LLC NH ROUTE 125/CALEF HIGHWAY BARRINGTON, N.H. TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 50 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

TEST PIT DATA:

DATE : 1/22/24

TEST PIT #207

0-4 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 4-16 7.5YR 5/6 STRONG BROWN, LOAMY SAND, GRANULAR, FRIABLE
 16-30 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 30-40 10YR 6/4 LIGHT YELLOWISH BROWN, SAND, SINGLE GRAIN, LOOSE
 40-65 2.5Y 6/3 LIGHT YELLOWISH BROWN, SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 40"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A"
 TERMINATED @ 65"
 REFUSAL @ N/A

TEST PIT #208

0-10 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 10-18 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 18-36 2.5Y 6/4 LIGHT YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 36-65 2.5YR 4/4 REDDISH BROWN, GRAVELLY SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 36"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 65"
 REFUSAL @ N/A

TEST PIT #209

0-10 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 10-18 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 18-34 2.5Y 6/4 LIGHT YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 34-65 2.5YR 4/4 REDDISH BROWN, GRAVELLY SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 34"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 65"
 REFUSAL @ N/A

TEST PIT #210

0-8 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 8-14 7.5YR 5/6 STRONG BROWN, LOAMY SAND, GRANULAR, FRIABLE
 14-24 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 24-32 10YR 6/4 LIGHT YELLOWISH BROWN, SAND, SINGLE GRAIN, LOOSE
 32-64 2.5Y 6/3 LIGHT YELLOWISH BROWN, GRAVELLY SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 32"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 64"
 REFUSAL @ N/A

TEST PIT #211

0-8 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 8-14 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 14-22 10YR 6/4 LIGHT YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 22-60 2.5Y 6/3 LIGHT YELLOWISH BROWN, SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 22"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ 32"
 TERMINATED @ 60"
 REFUSAL @ N/A

TEST PIT #212

0-8 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 8-16 7.5YR 5/6 STRONG BROWN, LOAMY SAND, GRANULAR, FRIABLE
 16-28 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 28-38 10YR 6/4 LIGHT YELLOWISH BROWN, SAND, SINGLE GRAIN, LOOSE
 38-60 2.5Y 6/3 LIGHT YELLOWISH BROWN, GRAVELLY SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 38"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 60"
 REFUSAL @ N/A

TEST PIT #213

0-10 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 10-24 10 YR 5/4 YELLOWISH BROWN, GRAVELLY SAND, SINGLE GRAIN, LOOSE
 24-42 10YR 3/1 VERY DARK GRAY, LOAMY FINE SAND, MASSIVE, FRIABLE
 42-52 2.5Y 6/3 LIGHT YELLOWISH BROWN, GRAVELLY SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 42"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 52"
 REFUSAL @ N/A
 NOTE: 0-24" IS FILL MATERIAL. SOME CONCRETE IN FILL MATERIAL 10-24"

TEST PIT #214

0-8 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 8-28 10YR 6/4 LIGHT YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 28-36 10YR 3/1 VERY DARK GRAY, LOAMY FINE SAND, GRANULAR, FRIABLE
 36-50 2.5Y 6/3 LIGHT YELLOWISH BROWN, SAND AND FINE SAND WITH REDOX. FEAT. PRESENT, MASSIVE, FRIABLE
 E.S.H.W.T. @ 36"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A"
 TERMINATED @ 50"
 REFUSAL @ N/A

TEST PIT DATA:

DATE : 3/7/24

TEST PIT #301

0-8 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 8-18 10YR 5/6 YELLOWISH BROWN, GRAVELLY LOAMY SAND, GRANULAR, FRIABLE
 18-30 10YR 6/4 LIGHT YELLOWISH BROWN, GRAVELLY LOAMY SAND, GRANULAR, FRIABLE
 30-44 10YR 6/4 LIGHT YELLOWISH BROWN, SAND, SINGLE GRAIN, LOOSE
 44-52 2.5YR 5/3 LIGHT YELLOWISH BROWN, GRAVELLY SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 44"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 52"
 REFUSAL @ N/A

TEST PIT #302

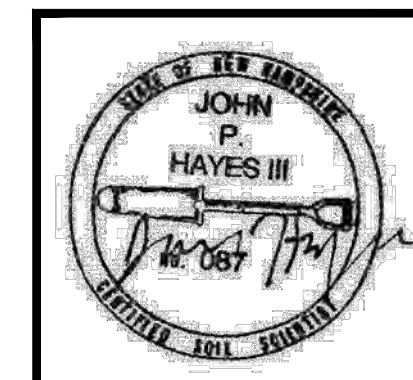
0-8 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 8-18 10YR 5/6 YELLOWISH BROWN, GRAVELLY LOAMY SAND, GRANULAR, FRIABLE
 18-32 10YR 6/4 LIGHT YELLOWISH BROWN, GRAVELLY LOAMY SAND, GRANULAR, FRIABLE
 32-46 10YR 6/4 LIGHT YELLOWISH BROWN, SAND, SINGLE GRAIN, LOOSE
 46-52 2.5YR 5/3 LIGHT YELLOWISH BROWN, GRAVELLY SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 46"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 52"
 REFUSAL @ N/A

TEST PIT #303

0-8 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 8-14 7.5YR 5/6 STRONG BROWN, LOAMY SAND, GRANULAR, FRIABLE
 14-26 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 26-32 10YR 6/4 LIGHT YELLOWISH BROWN, SAND, SINGLE GRAIN, LOOSE
 32-52 2.5YR 6/3 LIGHT YELLOWISH BROWN, SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 32"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 52"
 REFUSAL @ N/A

TEST PIT #304

0-6 10YR 3/2 DARK GRAYISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 6-14 7.5YR 5/6 STRONG BROWN, LOAMY SAND, GRANULAR, FRIABLE
 14-28 10YR 5/6 YELLOWISH BROWN, LOAMY SAND, GRANULAR, FRIABLE
 28-42 10YR 6/4 LIGHT YELLOWISH BROWN, SAND, SINGLE GRAIN, LOOSE
 42-52 2.5YR 6/3 LIGHT YELLOWISH BROWN, SAND WITH REDOX. FEAT. PRESENT, SINGLE GRAIN, LOOSE
 E.S.H.W.T. @ 42"
 RESTRICTIVE LAYER @ N/A
 GROUND WATER @ N/A
 TERMINATED @ 52"
 REFUSAL @ N/A



JOHN P. HAYES, III CSS #87

FOR PLANNING BOARD APPROVAL PURPOSES:

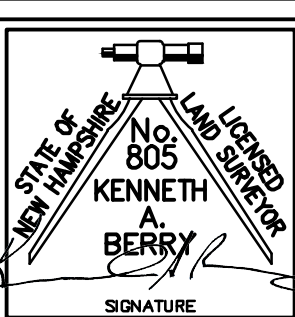
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

TEST PIT DATA

REVISION	DATE	DESCRIPTION

FOR TUREOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
74X MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : NONE
 DATE : APRIL 17, 2024
 FILE NO. : DB 2023 - 017

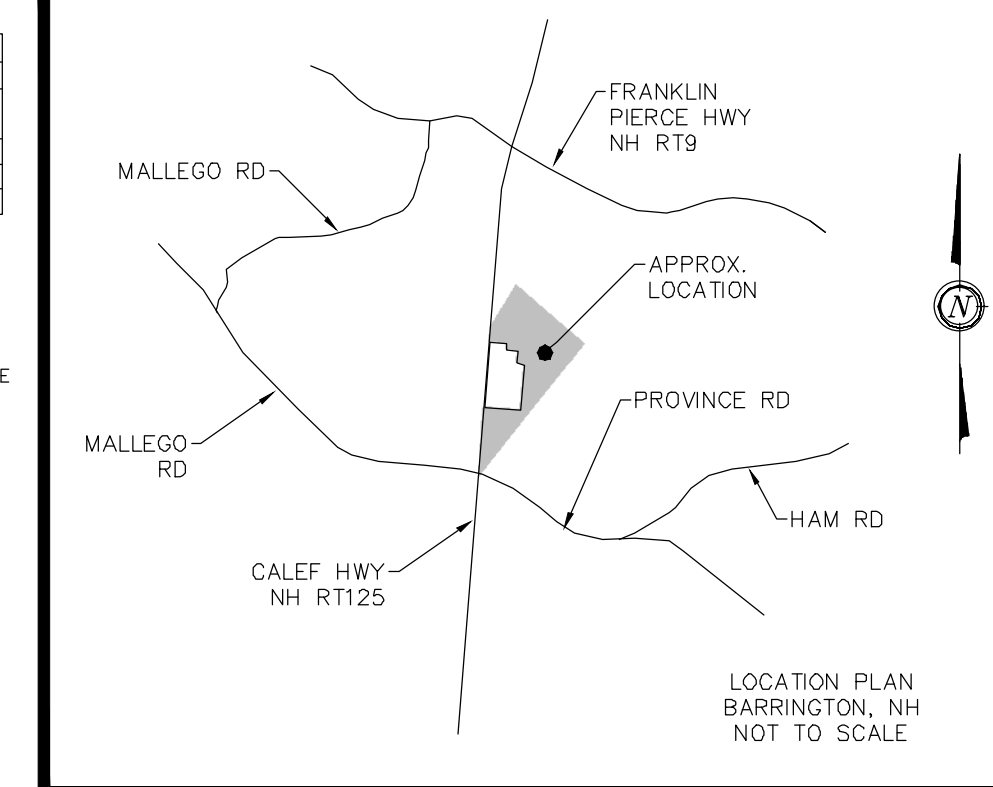


N/F KERAVID, PETER JR. & JAN
327 MALLEGO RD
668 CALEF HWY
BARRINGTON, NH 03825
TAX MAP 250, LOT 132
S.C.R.D. BOOK 2369, PAGE 59

N/F ROSE REALTY TRUST
MADELINE LOCKHART, TRUSTEE
73 DURHAM POINT ROAD
DURHAM, NH 03824
TAX MAP 238, LOT 45
S.C.R.D. BOOK 2369, PAGE 59

WAIVER REQUESTS:
SITE REVIEW REGULATION ARTICLE 4.12.2 TABLE #8: UTILIZE MEDIUM ACTIVITY LIGHTING LEVELS FOR A LOW ACTIVITY USE & AVERAGE LEVELS ABOVE PRESCRIBED: PENDING
SITE REVIEW REGULATION ARTICLE 4.7.7(2): MINIMUM DRAINAGE PIPE DESIGN VELOCITY: PENDING
SITE REVIEW REGULATION ARTICLE 4.7.7(3): MINIMUM PIPE DEPTH OF 3': PENDING

SITE PLAN TABLE OF CONTENTS:
SHEET #12: OVERVIEW SITE PLAN
SHEET #13: DETAILED SITE PLAN - WEST
SHEET #14: DETAILED SITE PLAN - MIDDLE
SHEET #15: DETAILED SITE PLAN - EAST



- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2.) TAX MAP 238, LOT 44
 - 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - 4.) S.C.R.D. BOOK 2948, PAGE 332
 - 5.) ZONING: VILLAGE DISTRICT (NON-RESIDENTIAL)
MINIMUM FRONTAGE ~ 75'
MINIMUM LOT SIZE ~ 30,000 Sq. Ft.
GREENBELT BUFFER ALONG ROUTE 125 ~ 50'
FRONT SETBACK ~ 20'
REAR SETBACK ~ 15'
SIDE SETBACK ~ 15'
MAX. BUILDING HEIGHT: 40'
MAX. LOT COVERAGE: 60%
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA, COMMUNITY# 330178, MAP# - 33017C0305E, DATED: SEPT. 30, 2015.
 - 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
 - 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SPRING OF 2023, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 10,000.
 - 9.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - 10.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 11.) SEE PROJECT NOTES SHEET #2 FOR COMPLETE SITE PLAN NOTES.
 - 12.) SEE EASEMENT PLAN FOR CORRESPONDING EASEMENTS.

PARKING REQUIREMENTS:

LOT 44:
INDUSTRIAL:
INDUSTRY & LIGHT INDUSTRY - 1.5 SPACES PER 1,000 Sq.Ft.:
115,754 Sq.Ft. / 1,000 Sq.Ft. = 115.75 x 1.5 = 174 SPACES
TOTAL REQUIRED = 174 SPACES
TOTAL EXISTING = 208 SPACES
PROPOSED PARKING: 99 NEW SPACES (EAST PARKING LOT) + 25 NEW SPACES (WEST PARKING LOT) = 113 EXISTING SPACES(WEST PARKING LOT) = 113 SPACES
PROPOSED NEW PARKING = 113 SPACES
TOTAL PROPOSED PARKING = 321 SPACES LOT 44

LOT 44-1:
INDUSTRIAL:
INDUSTRY & LIGHT INDUSTRY - 1.5 SPACES PER 1,000 Sq.Ft.:
65,109 Sq.Ft. / 1,000 Sq.Ft. x 1.5 = 98 SPACES
TOTAL REQUIRED = 98 SPACES
TOTAL PROPOSED = 66 SPACES ON LOT 44-1
32 SPACES PROVIDED ON LOT 44 TOWARDS AMOUNT REQUIRED ON LOT 44-1.
TOTAL PROPOSED PARKING = 387 SPACES LOT 44-1 & 44

ACCESSIBLE PARKING SPACES REQUIRED LOT 44-1 = 4
ACCESSIBLE PARKING SPACES PROVIDED LOT 44-1 = 4
ACCESSIBLE PARKING SPACES PROVIDED LOT 44 = 8
ACCESSIBLE PARKING SPACES PROVIDED LOT 44 = 8

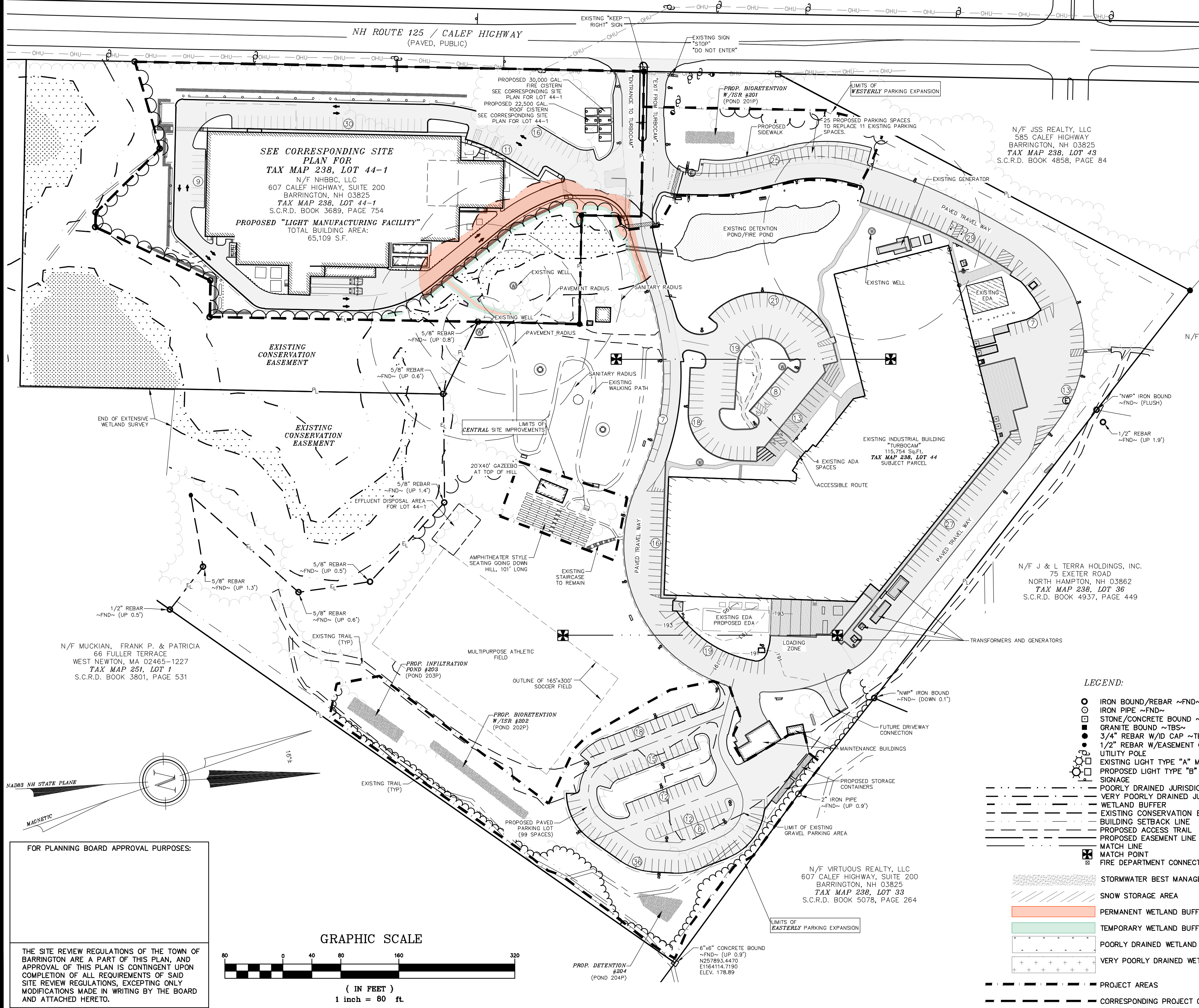
LOT COVERAGE:

EXISTING BUILDING: MAIN BUILDING (115,754 S.F.), WELL HOUSE (48 S.F.), GAZEBO (159 S.F.), (2) MAINTENANCE BUILDINGS (1,867 S.F.) & SMOKER HUT (57 S.F.). TOTAL: 117,865 S.F., 9.68%
EXISTING IMPERVIOUS (GRAVEL, CONCRETE PADS, CONCRETE WALKS, CURB & PAVEMENT): 182,193 Sq.Ft., 14.97%
TOTAL EXISTING COVERAGE: 300,058 Sq.Ft., 24.65%

PROPOSED BUILDING: WELL HOUSE (-48 S.F.), NEW WELL HOUSE (400 S.F.), NEW GAZEBO (800 S.F.), (2) 8'x40' STORAGE CONTAINERS (640 S.F.)
TOTAL: 1,792 S.F. + 117,865 S.F. = 119,657 Sq.Ft., 9.83%
PROPOSED IMPERVIOUS (GABION BASKETS (1,783 S.F.), PAVEMENT (48,973 S.F.) & GRAVEL TO BECOME PAVEMENT (-18,543 S.F.)
TOTAL: 32,213 S.F. + 182,193 S.F. = 214,406 Sq.Ft., 17.61%
TOTAL PROPOSED COVERAGE: 334,063 Sq.Ft., 27.44%

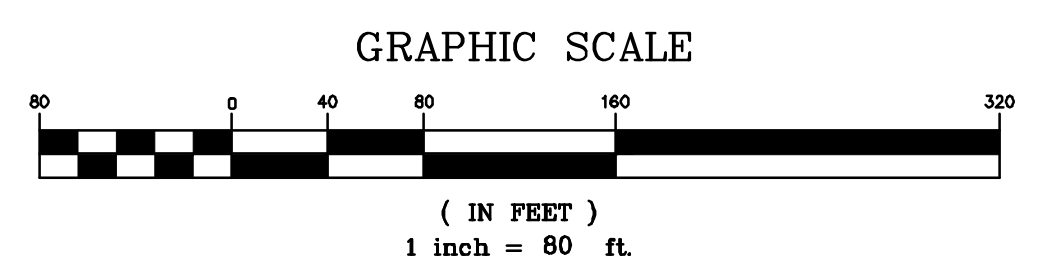
SNOW STORAGE:

- STORAGE CALCULATION (6:1 RATIO USED)
- PAVED AREA = 174,308 Sq.Ft. / 6 = 29,051 Sq. Ft.
- 31,337 Sq. Ft. PROVIDED
- THIS CALCULATION BASED ON THE TOTAL SITE.
- SNOW SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS ONCE IDENTIFIED AREAS ARE FULL.



LEGEND:

- IRON BOUND/REBAR ~FND~
- IRON PIPE ~FND~
- STONE/CONCRETE BOUND ~FND~
- GRANITE BOUND ~TBS~
- 3/4" REBAR W/D CAP ~TBS~
- 1/2" REBAR W/EASEMENT CAP ~TBS~
- UTILITY POLE
- EXISTING LIGHT TYPE "A" MOUNTED ON POLE
- PROPOSED LIGHT TYPE "B" MOUNTED ON POLE
- SIGNAGE
- POORLY DRAINED JURISDICTIONAL WETLAND
- VERY POORLY DRAINED JURISDICTIONAL WETLAND
- WETLAND BUFFER
- EXISTING CONSERVATION EASEMENT LINE
- BUILDING SETBACK LINE
- PROPOSED ACCESS TRAIL
- PROPOSED EASEMENT LINE
- MATCH LINE
- FIRE DEPARTMENT CONNECTION
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- SNOW STORAGE AREA
- PERMANENT WETLAND BUFFER IMPACT
- TEMPORARY WETLAND BUFFER IMPACT
- POORLY DRAINED WETLAND
- VERY POORLY DRAINED WETLAND
- PROJECT AREAS
- CORRESPONDING PROJECT ON LOT 44.1

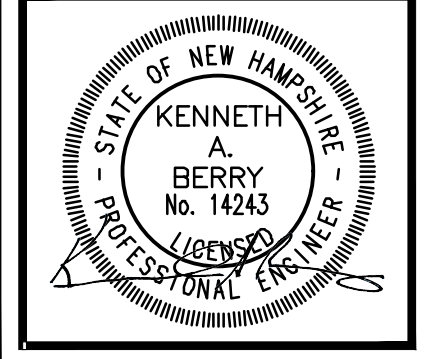


FOR PLANNING BOARD APPROVAL PURPOSES:

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

OVERVIEW SITE PLAN
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
74X MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 80 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

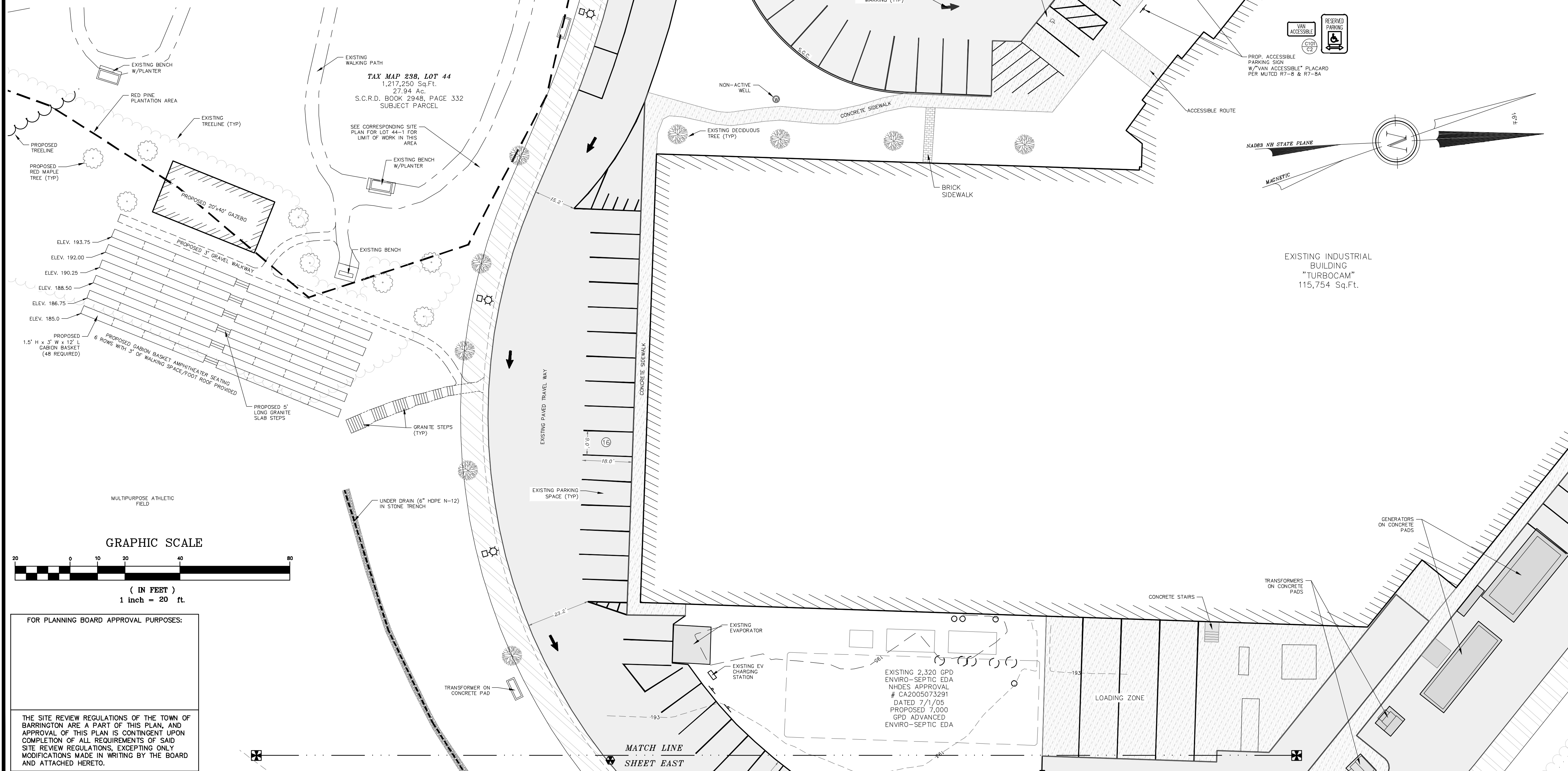


NOTES:

- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 2.) TAX MAP 238, LOT 44
- 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
- 4.) S.C.R.D. BOOK 2948, PAGE 332
- 5.) SEE OVERVIEW SITE PLAN AND PROJECT NOTES SHEET FOR COMPLETE SITE PLAN NOTES.
- 6.) SEE EASEMENT PLAN FOR CORRESPONDING EASEMENTS.

LEGEND:

- IRON BOUND/REBAR ~FND~
- IRON PIPE ~FND~
- STONE/CONCRETE BOUND ~FND~
- GRANITE BOUND ~TBS~
- 3/4" REBAR W/ID CAP ~TBS~
- 1/2" REBAR W/EASEMENT CAP ~TBS~
- UTILITY POLE
- EXISTING LIGHT TYPE "A" MOUNTED ON POLE
- PROPOSED LIGHT TYPE "A" MOUNTED ON POLE
- SIGNAGE
- POORLY DRAINED JURISDICTIONAL WETLAND
- VERY POORLY DRAINED JURISDICTIONAL WETLAND
- WETLAND BUFFER
- EXISTING CONSERVATION EASEMENT LINE
- BUILDING SETBACK LINE
- PROPOSED ACCESS TRAIL
- PROPOSED EASEMENT LINE
- MATCH LINE
- ⊠ FIRE DEPARTMENT CONNECTION
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- SNOW STORAGE AREA
- PERMANENT WETLAND BUFFER IMPACT
- TEMPORARY WETLAND BUFFER IMPACT
- POORLY DRAINED WETLAND
- VERY POORLY DRAINED WETLAND

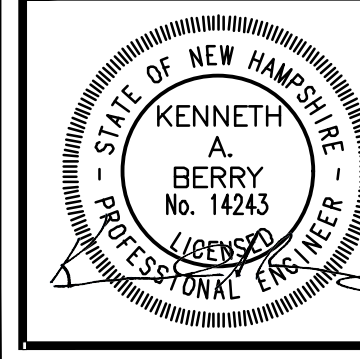


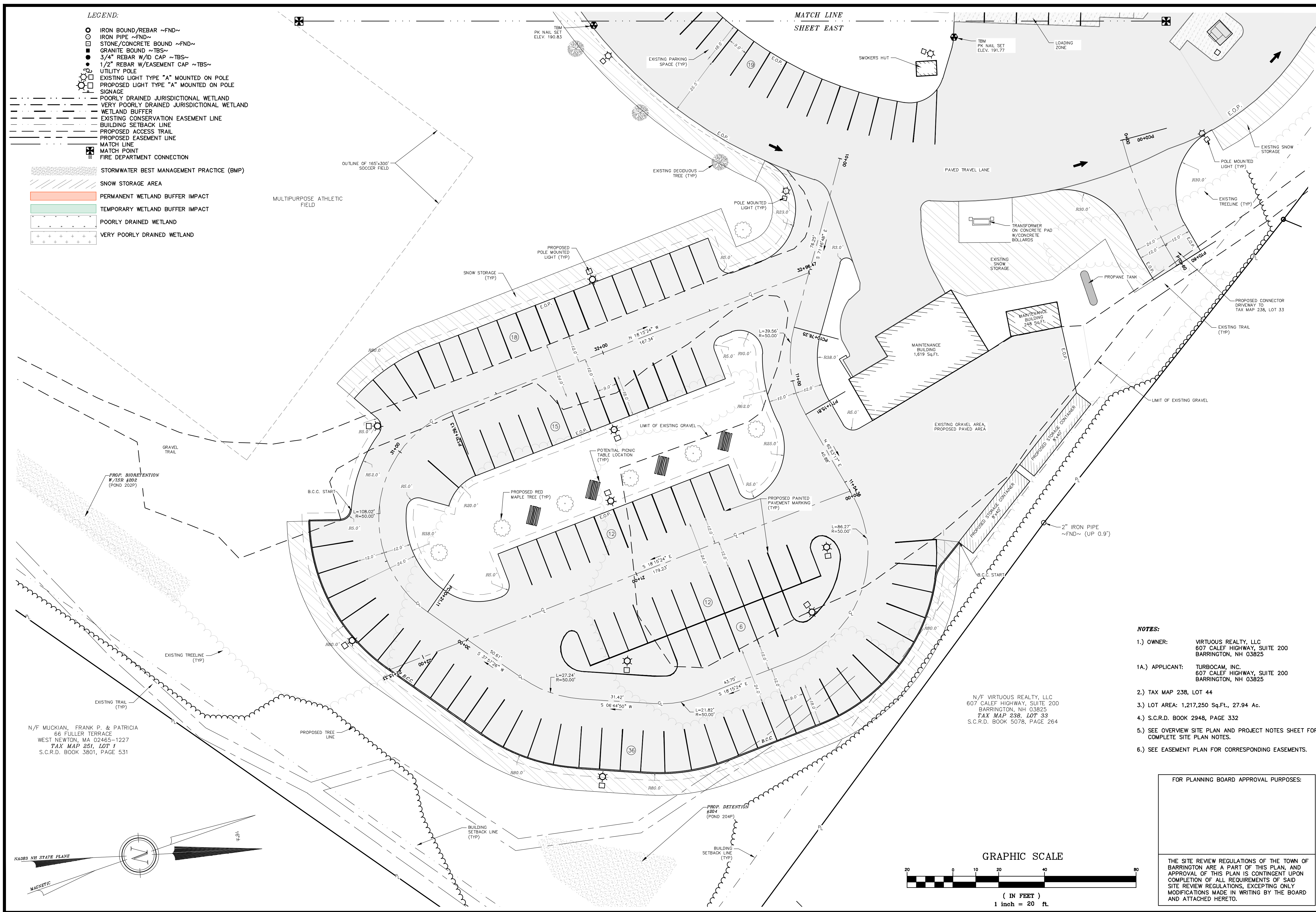
REVISION	DATE	DESCRIPTION

SITE PLAN - DETAIL MIDDLE

FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017





LEGEND:

- IRON BOUND/REBAR ~FND~
- IRON PIPE ~FND~
- STONE/CONCRETE BOUND ~FND~
- GRANITE BOUND ~TBS~
- 3/4" REBAR W/ID CAP ~TBS~
- 1/2" REBAR W/EASEMENT CAP ~TBS~
- UTILITY POLE
- EXISTING LIGHT TYPE "A" MOUNTED ON POLE
- PROPOSED LIGHT TYPE "A" MOUNTED ON POLE
- SIGNAGE
- POORLY DRAINED JURISDICTIONAL WETLAND
- VERY POORLY DRAINED JURISDICTIONAL WETLAND
- WETLAND BUFFER
- EXISTING CONSERVATION EASEMENT LINE
- BUILDING SETBACK LINE
- PROPOSED ACCESS TRAIL
- PROPOSED EASEMENT LINE
- MATCH LINE
- FIRE DEPARTMENT CONNECTION
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- SNOW STORAGE AREA
- PERMANENT WETLAND BUFFER IMPACT
- TEMPORARY WETLAND BUFFER IMPACT
- POORLY DRAINED WETLAND
- VERY POORLY DRAINED WETLAND

N/F MUCKIAN, FRANK P. & PATRICIA
66 FULLER TERRACE
WEST NEWTON, MA 02465-1227
TAX MAP 251, LOT 1
S.C.R.D. BOOK 3801, PAGE 531

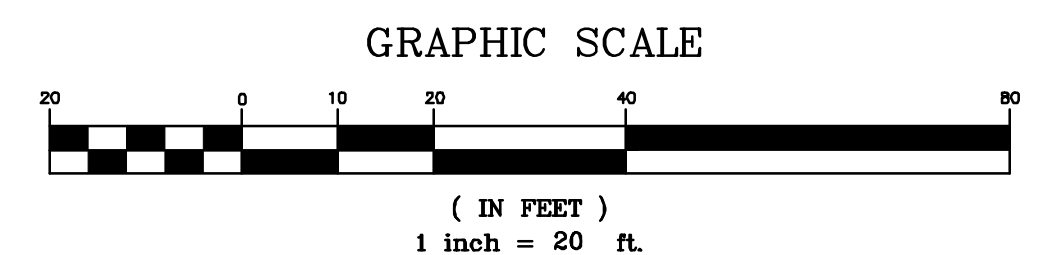
N/F VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
TAX MAP 238, LOT 33
S.C.R.D. BOOK 5078, PAGE 264

NOTES:

- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 2.) TAX MAP 238, LOT 44
- 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
- 4.) S.C.R.D. BOOK 2948, PAGE 332
- 5.) SEE OVERVIEW SITE PLAN AND PROJECT NOTES SHEET FOR COMPLETE SITE PLAN NOTES.
- 6.) SEE EASEMENT PLAN FOR CORRESPONDING EASEMENTS.

FOR PLANNING BOARD APPROVAL PURPOSES:

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

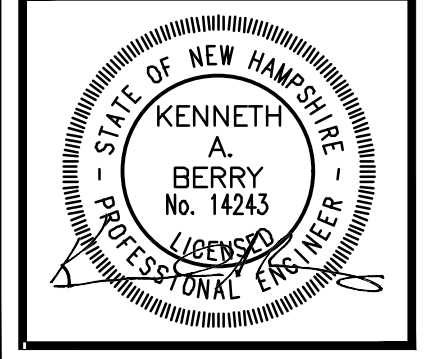


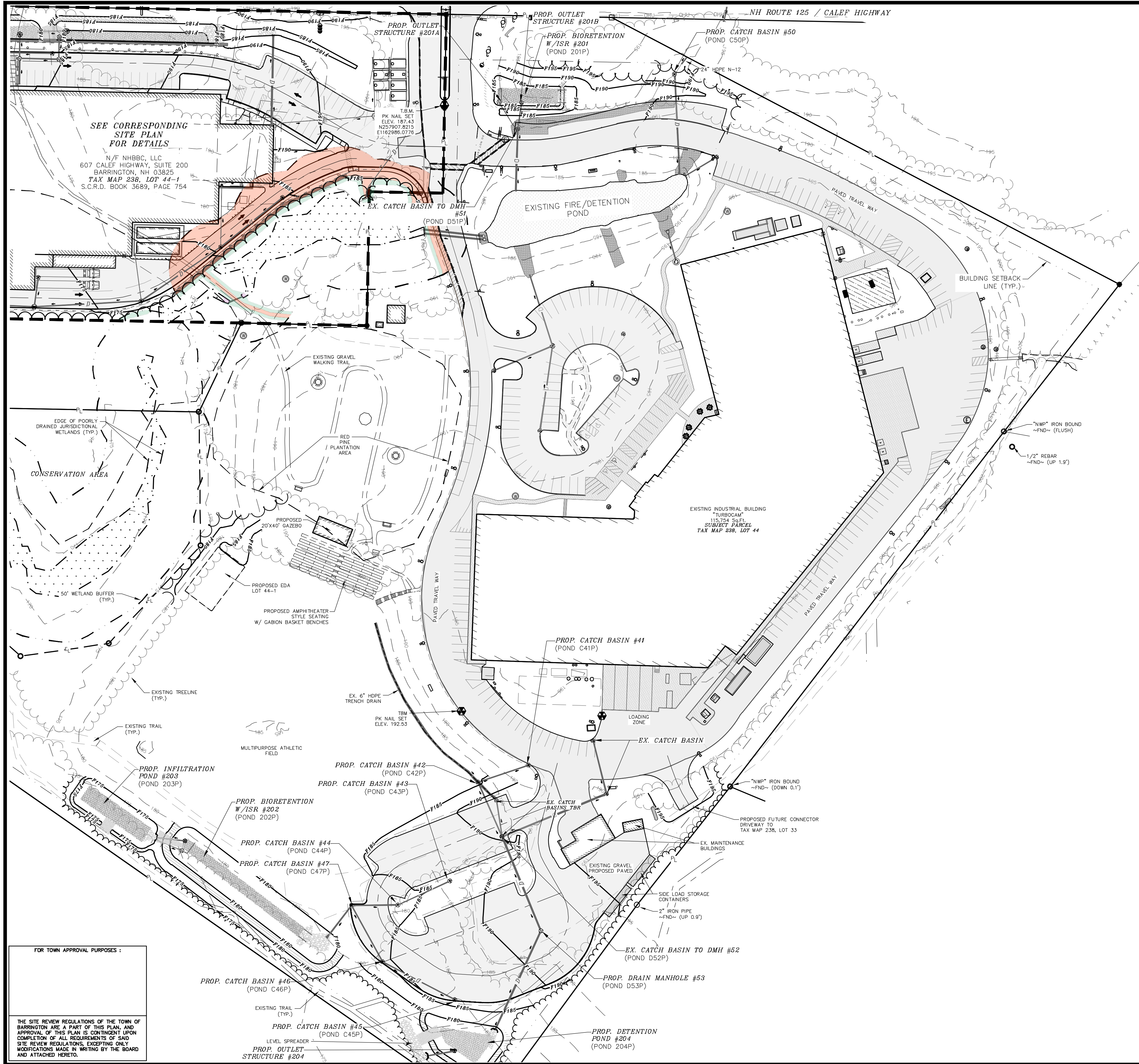
SITE PLAN - DETAIL EAST

REVISION	DATE	DESCRIPTION

FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

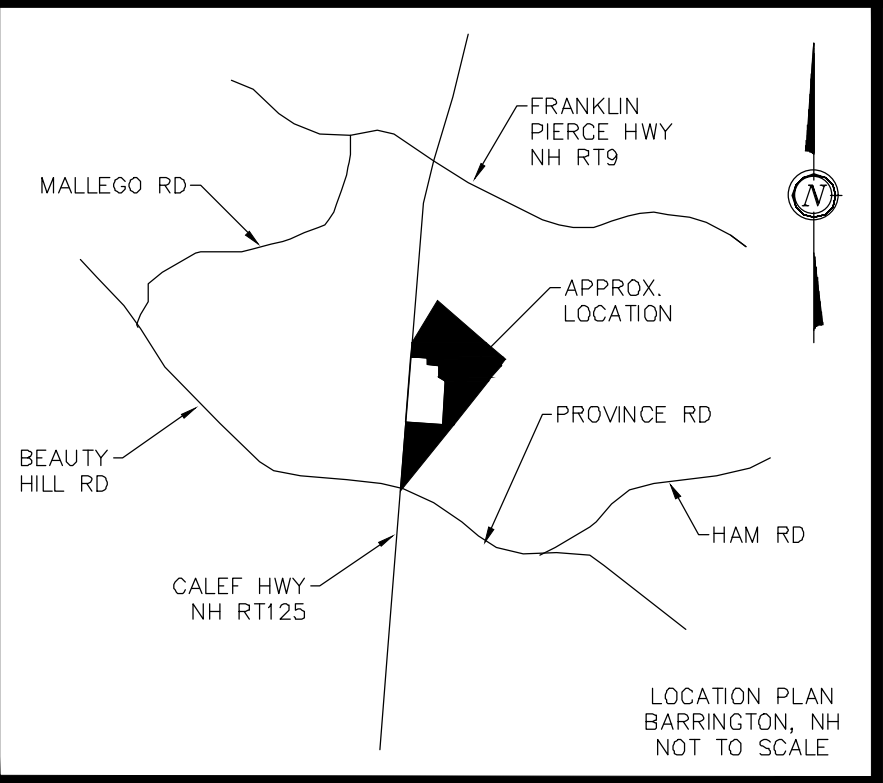
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017



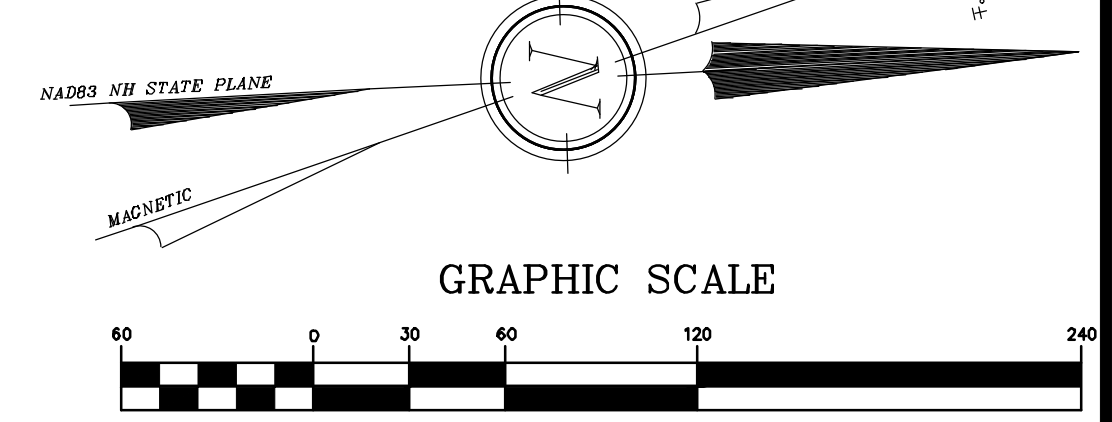


GRADING PLAN TABLE OF CONTENTS:

SHEET #16: OVERVIEW GRADING & DRAINAGE
 SHEET #17: GRADING PLAN PARKING WEST
 SHEET #18: GRADING PLAN PARKING EAST
 SHEET #19: PARKING EAST PROFILES
 SHEET #20: DRAIN LINE PIPE PROFILES



- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2.) TAX MAP 238, LOT 44
 - 3.) THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING AND DRAINAGE ACTIVITIES IN SUPPORT OF THE SITE PLAN. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 5' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 4.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK), B&S&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 5.) ALL BASINS AND DRAINS ARE PROPOSED WITH NO SUMPS OR HOODS. BASINS WITHIN ANY GRASS LINED AREAS OUTSIDE THE ROADWAY WILL HAVE "BEE HIVE" GRATES TO NOT ALLOW FOR ENTRAPMENT OF ANIMALS IN THE STRUCTURE. OUTLET CONTROL STRUCTURES WILL NOT HAVE SUMPS. IF REQUIRED TO BE INSTALLED DURING THE PRE-CASTING PROCESS, THEY ARE TO BE FILLED WITH STONE ON SITE. BASINS ARE TO HAVE NH STANDARD FRAMES AND GRATES MADE IN NORTH AMERICA. PLEASE NOTE SOME GRATES ARE SPECIALIZED FOR THE LOCATION AND USE AND ARE CALLED OUT ON THE GRADING PLANS. GRATES ARE TO BE INSTALLED BINDER FLUSH PRIOR TO BASE PAVE. UPON PROJECT COMPLETION FRAMES AND GRATES ARE TO BE CUT AND RIM RAISED TO FINAL PAVEMENT SURFACE. THIS IS TO ENSURE STORMWATER ENTERS THE SYSTEM AS DESIGN DURING THE INTERIM CONSTRUCTION PERIOD.
 - 6.) SEE SHEET #2 FOR GRADING AND DRAINAGE NOTES

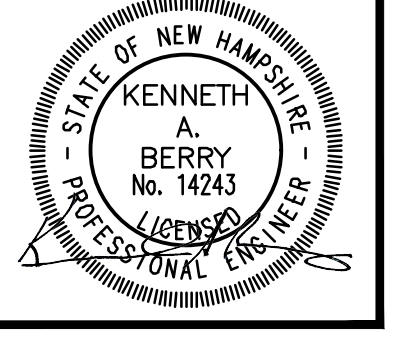


- EXISTING LEGEND:**
- IRON BOUND/IRON ROD (FND)
 - IRON PIPE (FND)
 - STONE BOUND (FND)
 - UTILITY POLE / GUY WIRE
 - SINGLE POST SIGN
 - ⊕ TEMPORARY BENCHMARK
 - ⊕ TESTHOLE
 - BUILDING SETBACK LINE
 - EXISTING CONSERVATION EASEMENT LINE
 - OVERHEAD UTILITIES
 - EXISTING CONTOUR MINOR
 - EXISTING CONTOUR MAJOR
 - POORLY DRAINED WETLAND LINE
 - VERY POORLY DRAINED WETLAND LINE
 - 50' WETLAND BUFFER LINE
 - FND FOUND
 - TYP TYPICAL
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

- PROPOSED LEGEND:**
- (E101 E6) DETAIL SHEET / DETAIL
 - F176 CONTOUR MINOR, PROPOSED
 - F175 CONTOUR MAJOR, PROPOSED
 - BUILDING SETBACK LINE
 - TREELINE
 - ROAD CENTERLINE
 - SHOULDER
 - PAVEMENT SEAM
 - DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
 - UNDERDRAIN
 - E175.31 EXISTING SPOT GRADE
 - F175.31 PROPOSED SPOT GRADE
 - FLOW ARROW
 - RIP RAP
 - STORMWATER BEST MANAGEMENT PRACTICE (BMP)
 - BERM
 - DRAIN MANHOLE W/STRUCTURE
 - CATCH BASIN W/ STRUCTURE
 - STORMWATER BMP OUTLET STRUCTURE

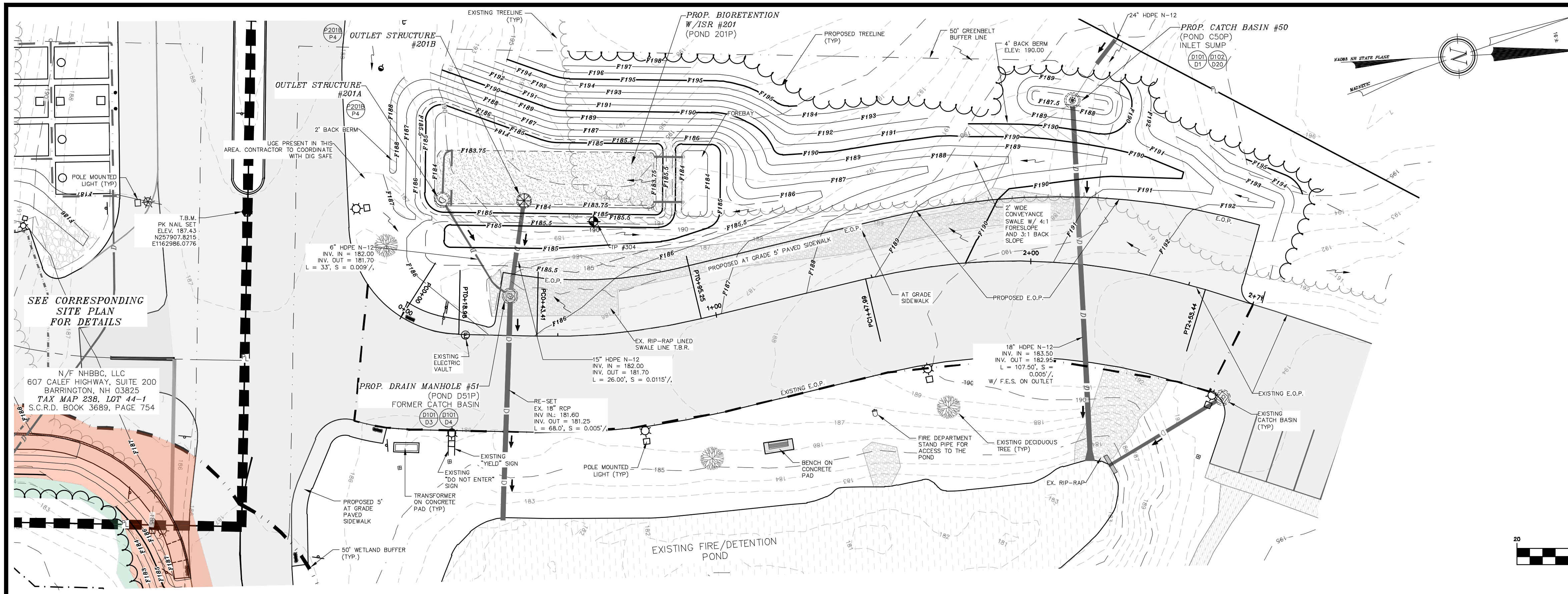
OVERVIEW GRADING & DRAINAGE PLAN
 FOR
 TURBOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
 TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 60 FT.
 DATE : APRIL 17, 2024
 FILE NO. : DB 2023 - 017



FOR TOWN APPROVAL PURPOSES :

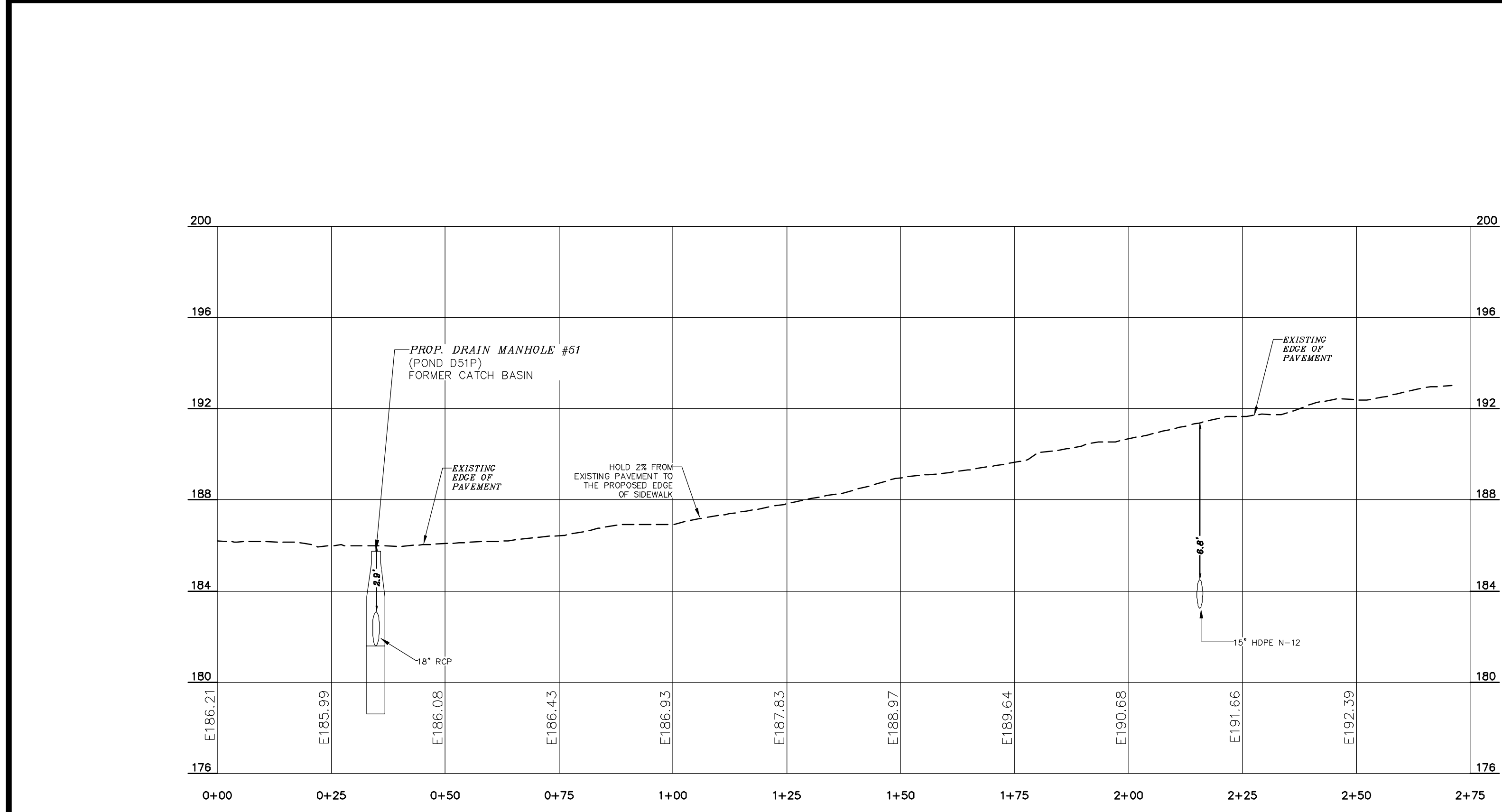
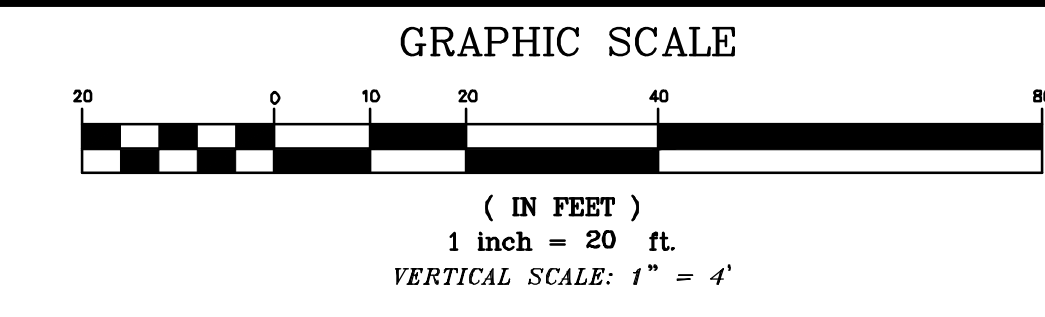
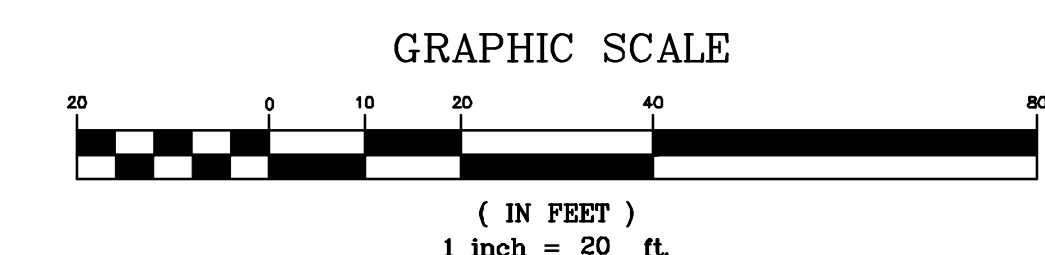
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



- NOTES:**
- 1) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2) TAX MAP 238, LOT 44
 - 3) THE INTENT OF THIS PLAN IS TO PROVIDE DETAIL OF GRADING AND DRAINAGE ACTIVITIES IN SUPPORT OF THE SITE PLAN. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 4) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX). BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 5) ALL BASINS AND DRAINS ARE PROPOSED WITH NO SUMPS OR HOODS. BASINS WITHIN ANY GRASS LINED AREAS OUTSIDE THE ROADWAY WILL HAVE "BEE HIVE" GRATES TO NOT ALLOW FOR ENTRAPMENT OF ANIMALS IN THE STRUCTURE. OUTLET CONTROL STRUCTURES WILL NOT HAVE SUMPS. IF REQUIRED TO BE INSTALLED DURING THE PRE-CASTING PROCESS, THEY ARE TO BE FILLED WITH STONE ON SITE. BASINS ARE TO HAVE NH STANDARD FRAMES AND GRATES MADE IN NORTH AMERICA. PLEASE NOTE SOME GRATES ARE SPECIALIZED FOR THE LOCATION AND USE AND ARE CALLED OUT ON THE GRADING PLANS. GRATES ARE TO BE INSTALLED BINDER FLUSH PRIOR TO BASE PAVE. UPON PROJECT COMPLETION FRAMES AND GRATES ARE TO BE CUT AND RIM RASSED TO FINAL PAVEMENT SURFACE. THIS IS TO ENSURE STORMWATER ENTERS THE SYSTEM AS DESIGN DURING THE INTERIM CONSTRUCTION PERIOD.
 - 6) SEE SHEET #2 FOR GRADING AND DRAINAGE NOTES

STRUCTURES TABLE:

PROP. DRAIN MANHOLE #51 (POND D51P) 4" STRUCTURE W/ FLAT TOP & NH STANDARD RIM RM = 185.75 (FLUSH) INV. IN = 181.70 (6" HDPE N-12) (P201 OSA) INV. IN = 181.70 (15" HDPE N-12) (P201 O58) INV. OUT = 181.60 (18" RCP 95-31) (DET POND)
PROP. CATCH BASIN #50 (POND C50P) 4" STRUCTURE W/ TYPE "BEE HIVE" GRATE RM = 187.50 (FLUSH) INV. OUT = 183.50 (15" HDPE N-12) (DET. POND)



- EXISTING LEGEND:**
- IRON BOUND/IRON ROD (FND)
 - IRON PIPE (FND)
 - STONE BOUND (FND)
 - UTILITY POLE / GUY WIRE
 - ⊕ SINGLE POST SIGN
 - ⊕ TEMPORARY BENCHMARK
 - ⊕ TESTHOLE
 - BUILDING SETBACK LINE
 - EXISTING CONSERVATION EASEMENT LINE
 - OVERHEAD UTILITIES
 - EXISTING CONTOUR MINOR
 - EXISTING CONTOUR MAJOR
 - POORLY DRAINED WETLAND LINE
 - VERY POORLY DRAINED WETLAND LINE
 - 50' WETLAND BUFFER LINE
 - FND FOUND
 - TYP TYPICAL
 - S.C.R.D. STRAFFORD COUNTY
 - REGISTRY OF DEEDS

- PROPOSED LEGEND:**
- (E101/E6) DETAIL SHEET / DETAIL
 - F175 --- CONTOUR MINOR, PROPOSED
 - F176 --- CONTOUR MAJOR, PROPOSED
 - TREELINE
 - PAVEMENT SEAM
 - DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
 - UNDERDRAIN
 - EXISTING SPOT GRADE
 - PROPOSED SPOT GRADE
 - FLOW ARROW
 - RIP RAP
 - STORMWATER BEST MANAGEMENT PRACTICE (BMP)
 - BERM
 - DRAIN MANHOLE W/STRUCTURE
 - CATCH BASIN W/ STRUCTURE
 - STORMWATER BMP OUTLET STRUCTURE

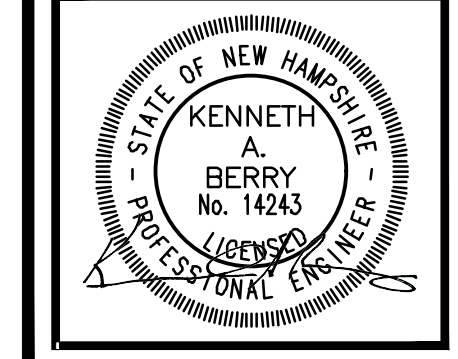
FOR PLANNING BOARD APPROVAL PURPOSES:

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

ROADSIDE PARKING GRADING PLAN - WEST

FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017



STRUCTURES TABLE:

PROP. CATCH BASIN #41 (POND C41P)
4'x STRUCTURE W/ TYPE "B" GRATE
RM = 191.00 (FLUSH)
INV. IN = 184.00 (15" HDPE N-12) (CB #42)
INV. OUT = 180.25

PROP. CATCH BASIN #42 (POND C42P)
4'x STRUCTURE W/ FLAT TOP & DOME GRATE
RM = 184.50 (FLUSH)
INV. IN = 183.15 (6" HDPE N-12) (TRENCH DRAIN)
INV. IN = 180.25 (15" HDPE N-12) (CB #41)
INV. OUT = 180.15 (15" HDPE N-12) (DMH #52)

PROP. DRAIN MANHOLE #52 (POND D52P)
4'x STRUCTURE W/ NH STANDARD RIM
STA. 32+39.50 (RL 12.85')
RM = 193.11 (FLUSH)
INV. IN = 179.81 (15" HDPE N-12) (CB #42)
INV. IN = 179.71 (24" HDPE N-12) (EX. CB #23)
INV. OUT = 179.71 (24" HDPE N-12) (DMH #53)

PROP. DRAIN MANHOLE #53 (POND D53P)
4'x STRUCTURE W/ NH STANDARD RIM
STA. 20+36.75 (L 31.50')
RM = 193.90 (FLUSH)
INV. IN = 179.10 (24" HDPE N-12) (DMH #52)
INV. OUT = 179.00 (24" HDPE N-12) (POND #204)

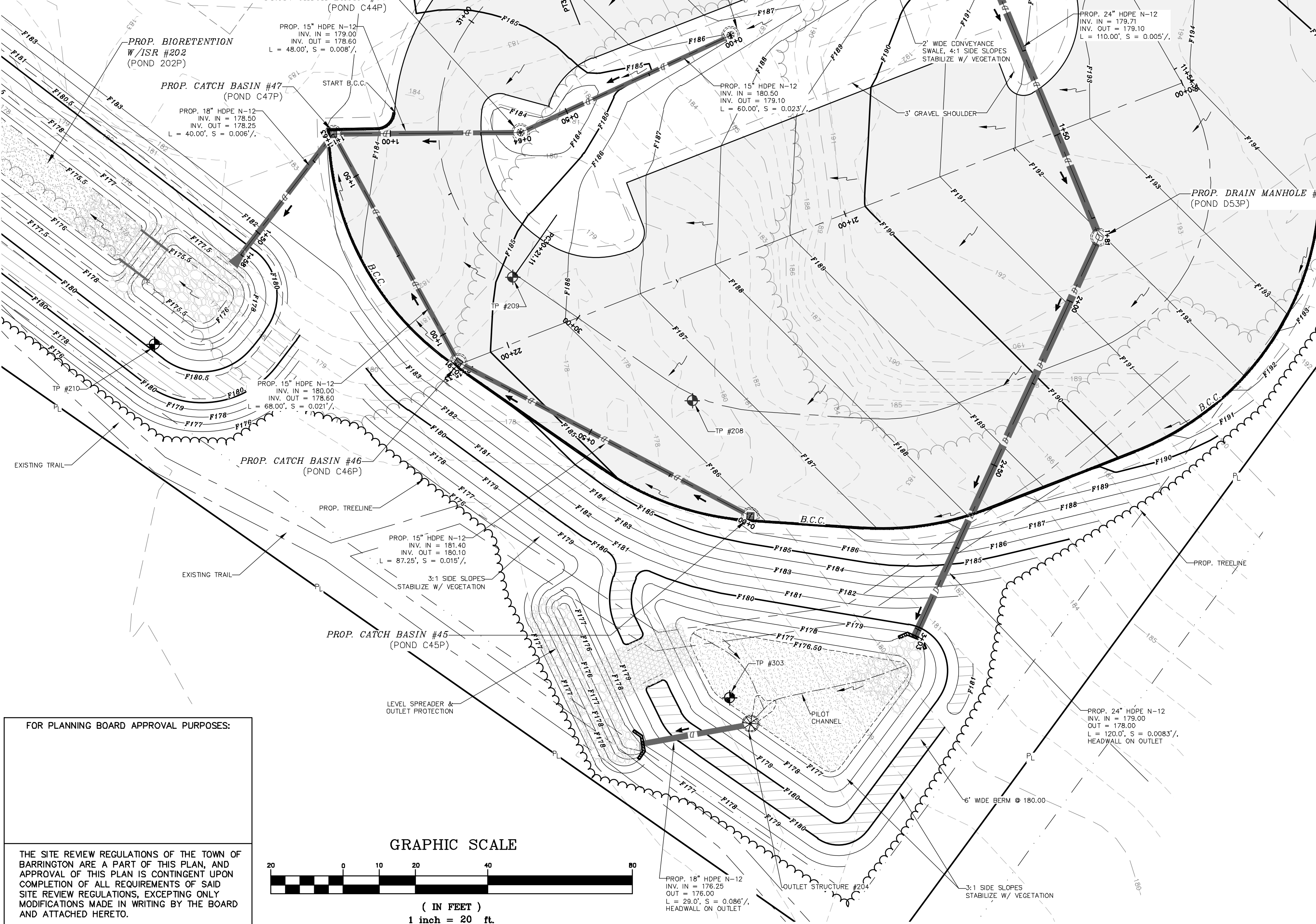
PROP. CATCH BASIN #43 (POND C43P)
4'x STRUCTURE W/ FLAT TOP & DOME GRATE
STA. 31+57.00 (RL 37.85')
RM = 186.00 (FLUSH)
INV. OUT = 181.50 (15" HDPE N-12) (CB #42)

PROP. CATCH BASIN #44 (POND C44P)
4'x STRUCTURE W/ FLAT TOP & DOME GRATE
STA. 30+65.80 (RL 22.75')
RM = 183.50 (FLUSH)
INV. IN = 179.10 (15" HDPE N-12) (CB #43)
INV. OUT = 179.00 (15" HDPE N-12) (CB #47)

PROP. CATCH BASIN #45 (POND C45P)
4'x STRUCTURE W/ TYPE "B" GRATE
STA. 21+54.65 (L 67.30')
RM = 185.90 (FLUSH)
INV. OUT = 181.40 (15" HDPE N-12) (CB #46)

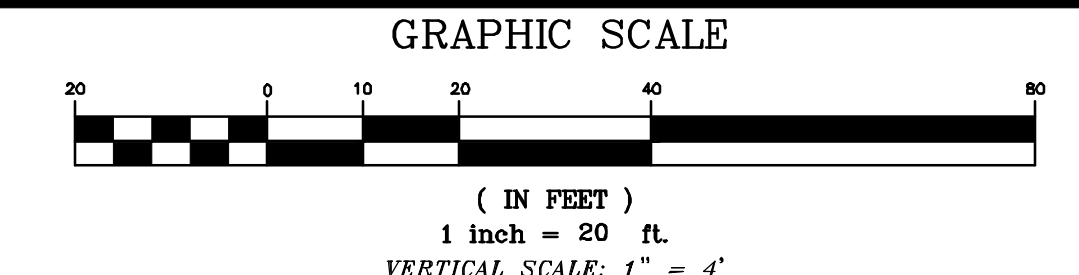
PROP. CATCH BASIN #46 (POND C46P)
4'x STRUCTURE W/ FLAT TOP & DOME GRATE
STA. 22+15.50 (RL 0.50')
RM = 184.50 (FLUSH)
INV. IN = 180.10 (15" HDPE N-12) (CB #45)
INV. OUT = 180.00 (15" HDPE N-12) (CB #47)

PROP. CATCH BASIN #47 (POND C47P)
4'x STRUCTURE W/ TYPE "B" GRATE
STA. 22+15.50 (RL 0.50')
RM = 183.75 (FLUSH)
INV. IN = 178.60 (15" HDPE N-12) (CB #44)
INV. IN = 178.60 (15" HDPE N-12) (CB #46)
INV. OUT = 178.50 (18" HDPE N-12) (P-202)

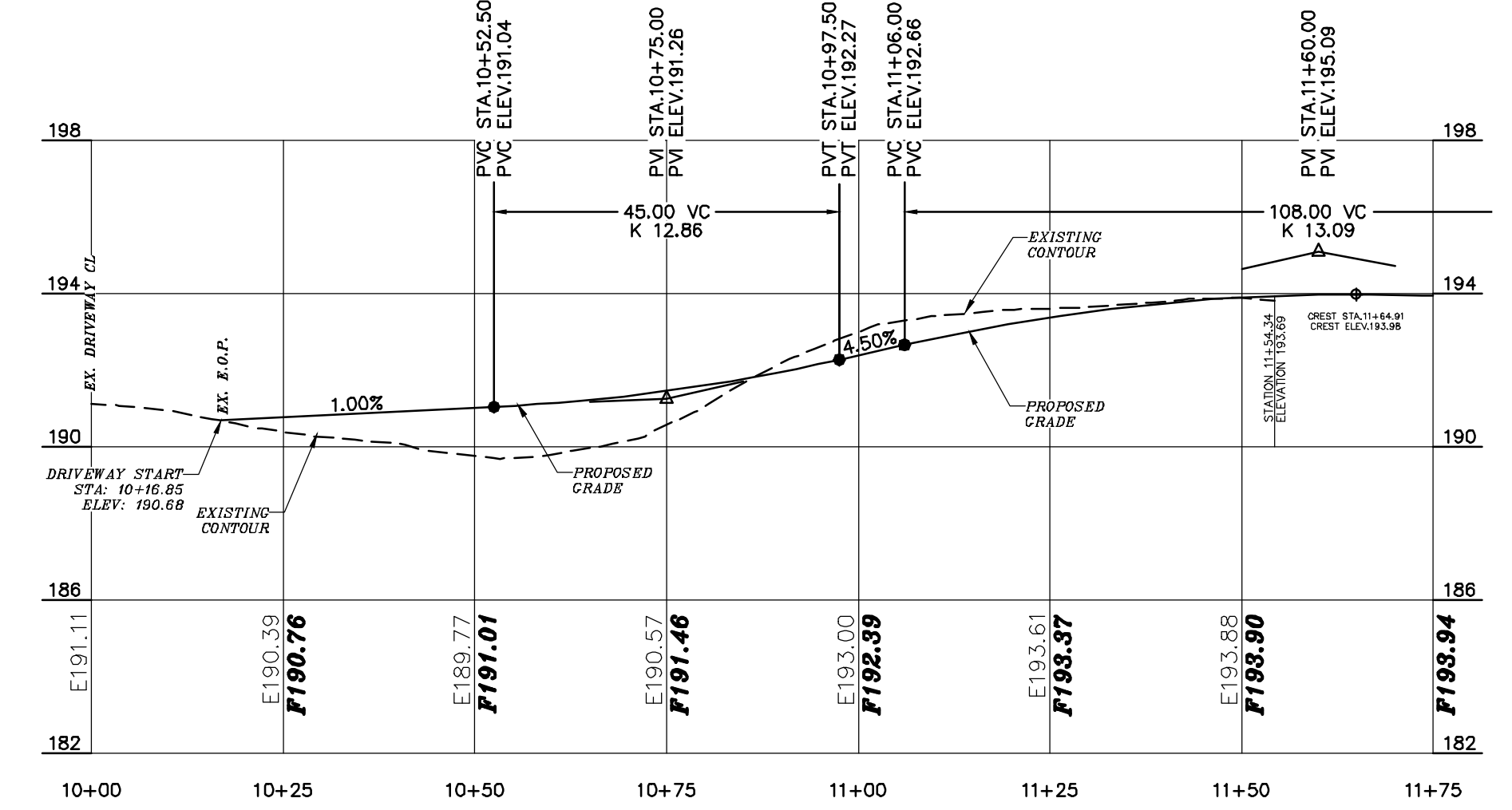


- NOTES:**
- OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - TAX MAP 238, LOT 44
 - THE INTENT OF THIS PLAN IS TO PROVIDE DETAIL OF GRADING AND DRAINAGE ACTIVITIES IN SUPPORT OF THE SITE PLAN. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOX), BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - ALL BASINS AND DRAINS ARE PROPOSED WITH NO SLUMPS OR HOODS. BASINS WITHIN ANY GRASS LINED AREAS OUTSIDE THE ROADWAY WILL HAVE "BEE HIVE" GRATES TO NOT ALLOW FOR ENTRAPMENT OF ANIMALS IN THE STRUCTURE. OUTLET CONTROL STRUCTURES WILL NOT HAVE SLUMPS. IF REQUIRED TO BE INSTALLED DURING THE PRE-CASTING PROCESS, THEY ARE TO BE FILLED WITH STONE ON SITE. BASINS ARE TO HAVE NH STANDARD FRAMES AND GRATES MADE IN NORTH AMERICA. PLEASE NOTE SOME GRATES ARE SPECIALIZED FOR THE LOCATION AND USE AND ARE CALLED OUT ON THE GRADING PLANS. GRATES ARE TO BE INSTALLED BINDER FLUSH PRIOR TO BASE PAVE. UPON PROJECT COMPLETION FRAMES AND GRATES ARE TO BE CUT AND RIM RAISED TO FINAL PAVEMENT SURFACE. THIS IS TO ENSURE STORMWATER ENTERS THE SYSTEM AS DESIGN DURING THE INTERIM CONSTRUCTION PERIOD.
 - SEE SHEET #2 FOR GRADING AND DRAINAGE NOTES

PLAN VIEW PARKING LOT



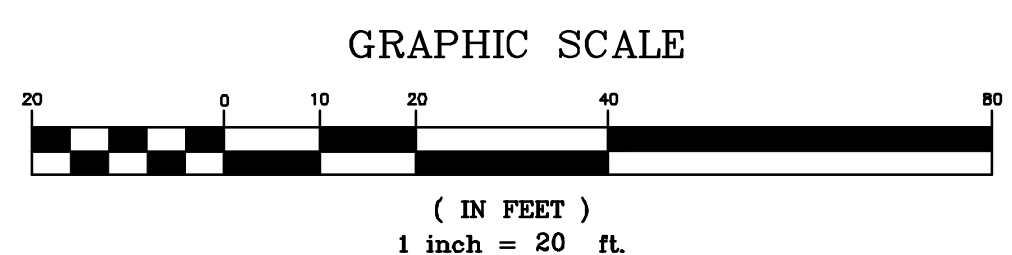
PROFILE VIEW PARKING ENTRANCE 10+00-11+50



SEE NEXT SHEET FOR REMAINING PROFILES

FOR PLANNING BOARD APPROVAL PURPOSES:

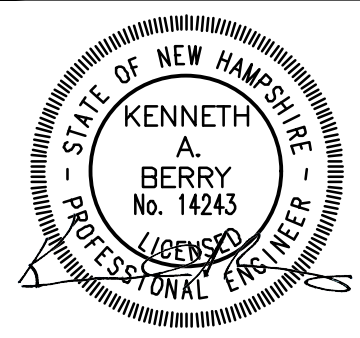
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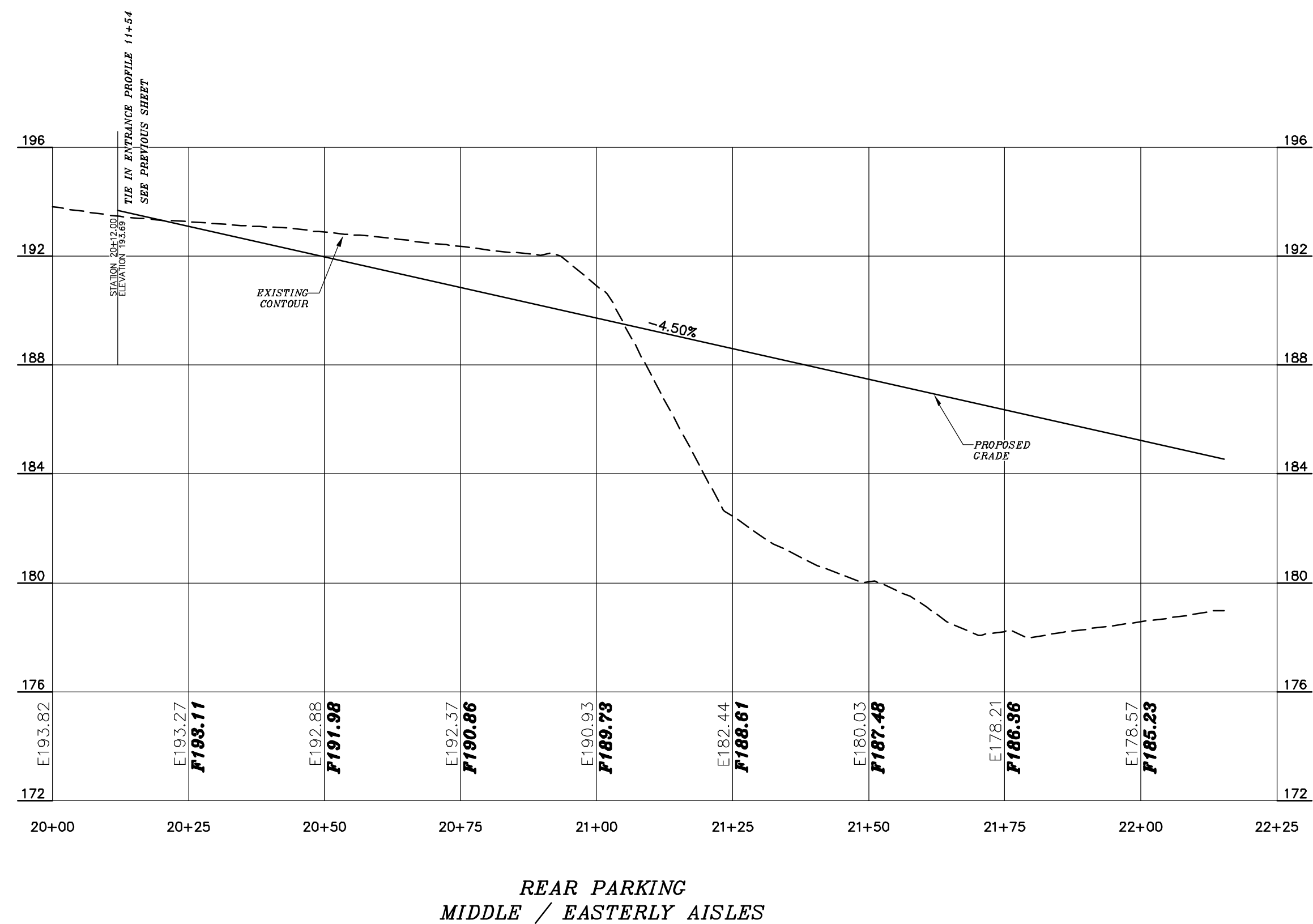


REVISION	DATE	DESCRIPTION

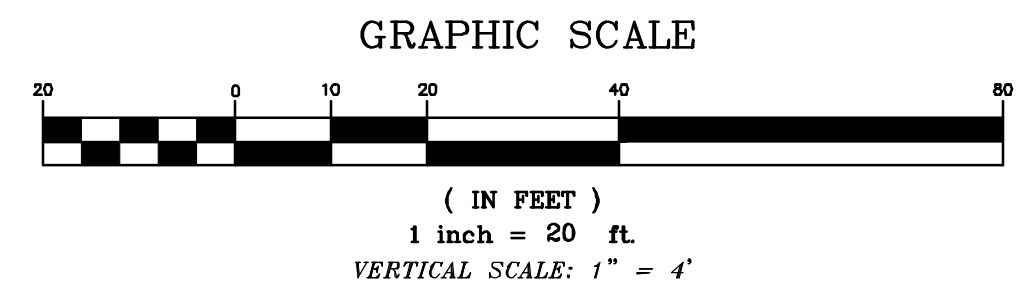
PARKING LOT GRADING PLAN - EAST
FOR TURBOCAM, INC.
LAND OF VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

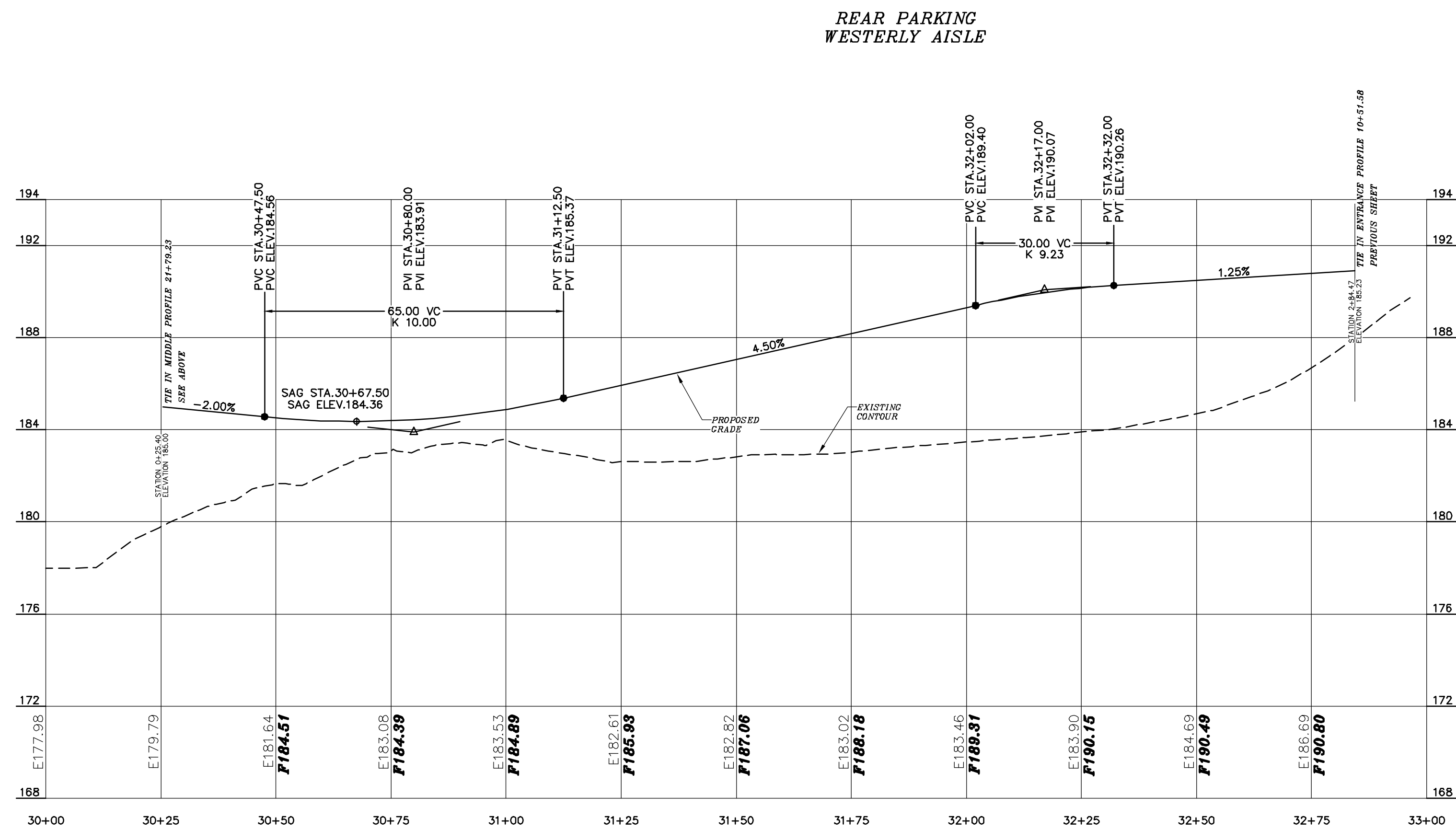




- NOTES:
- OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - TAX MAP 238, LOT 44
 - THE INTENT OF THIS PLAN IS TO PROVIDE DETAIL OF GRADING AND DRAINAGE ACTIVITIES IN SUPPORT OF THE SITE PLAN. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX), BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
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 - SEE SHEET #2 FOR GRADING AND DRAINAGE NOTES



REAR PARKING
MIDDLE / EASTERLY AISLES



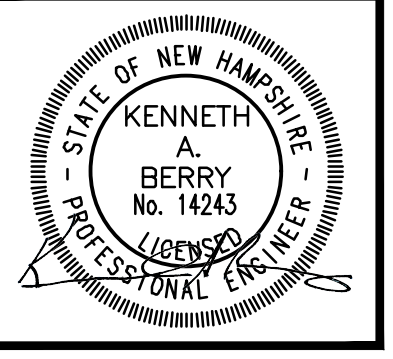
FOR PLANNING BOARD APPROVAL PURPOSES:

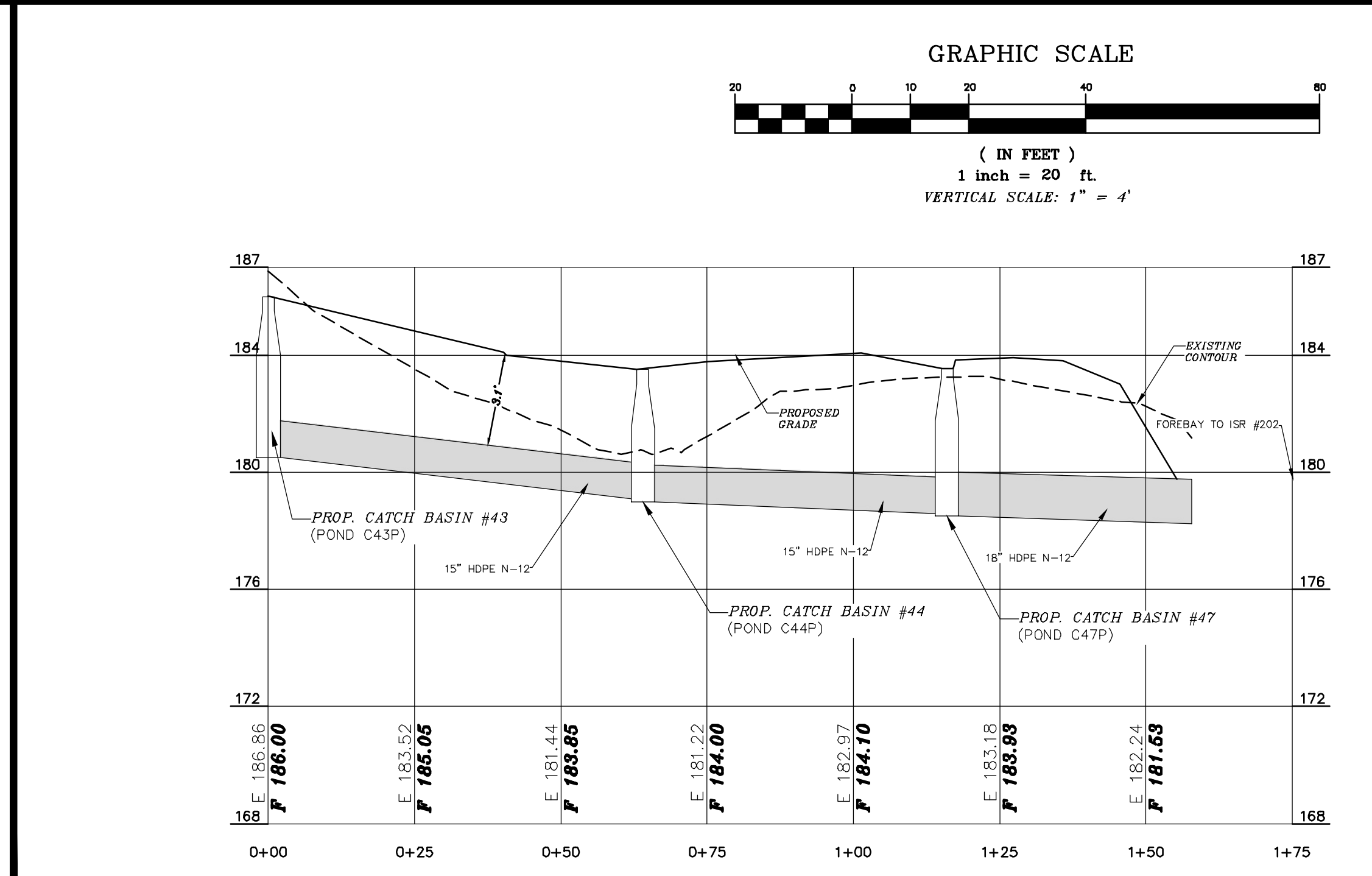
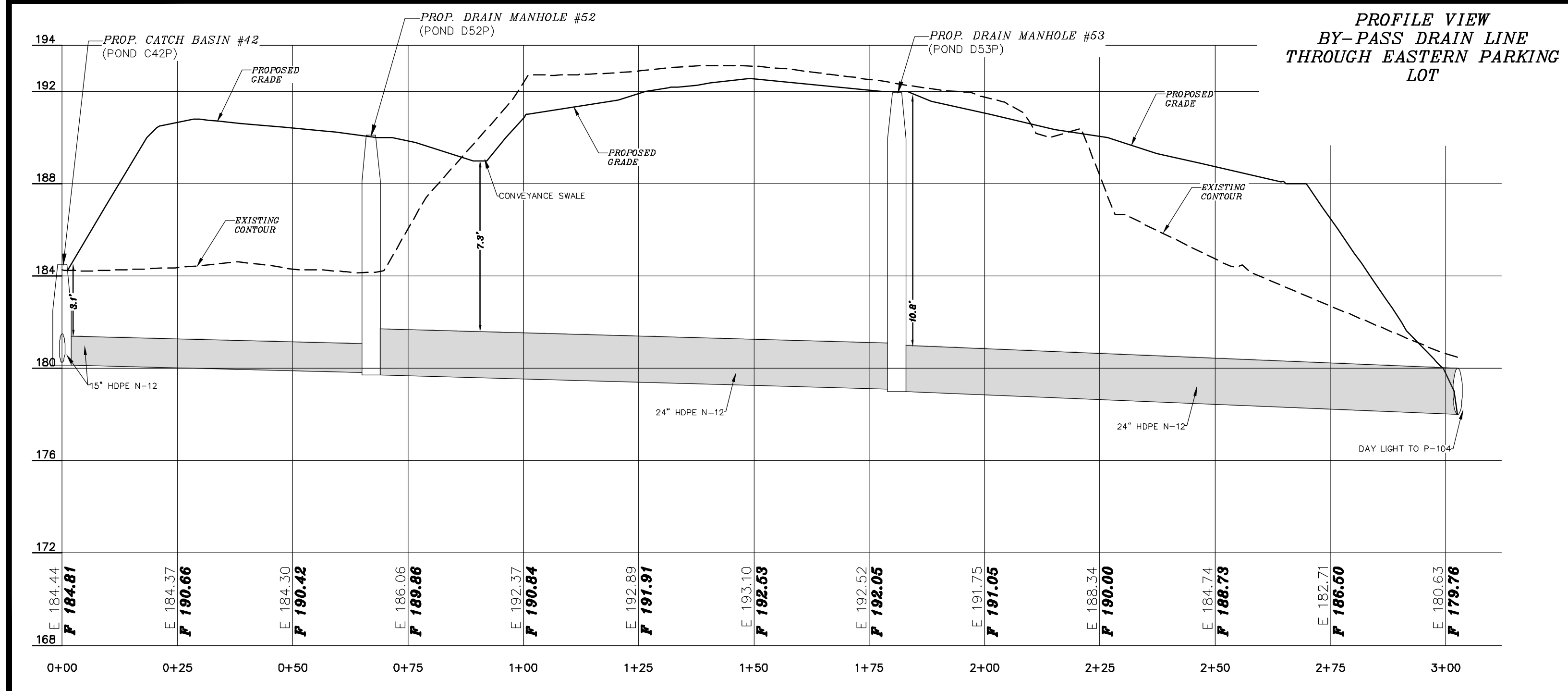
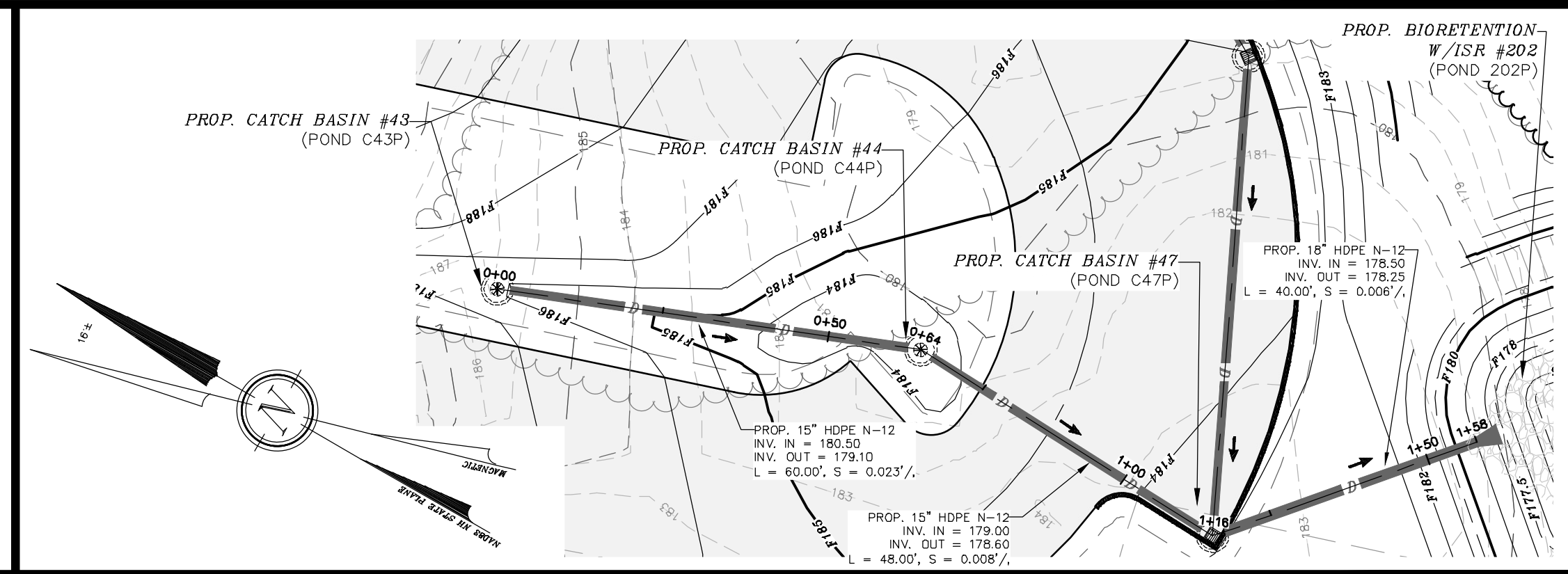
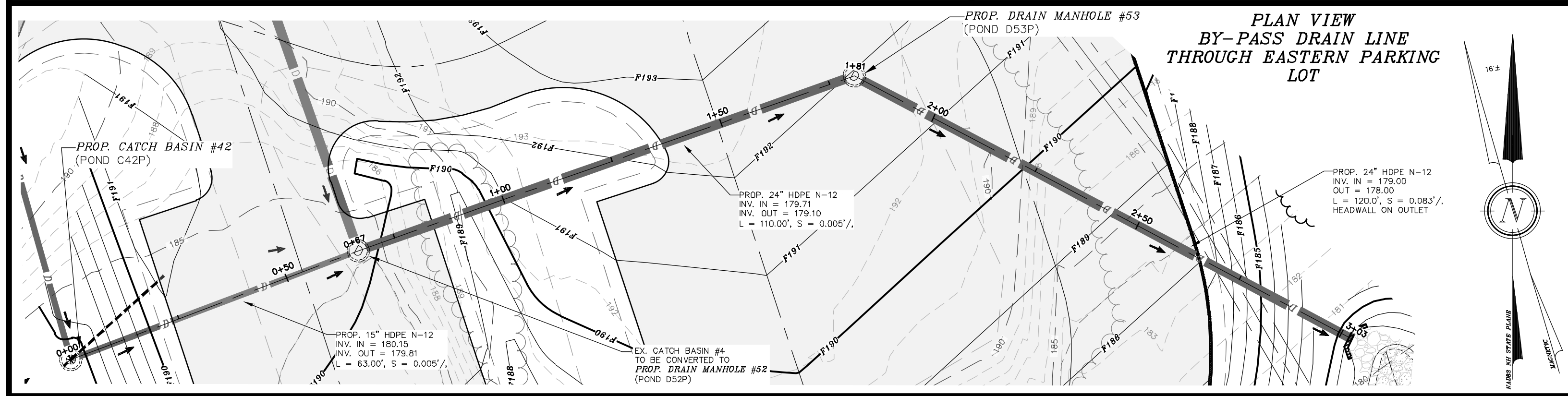
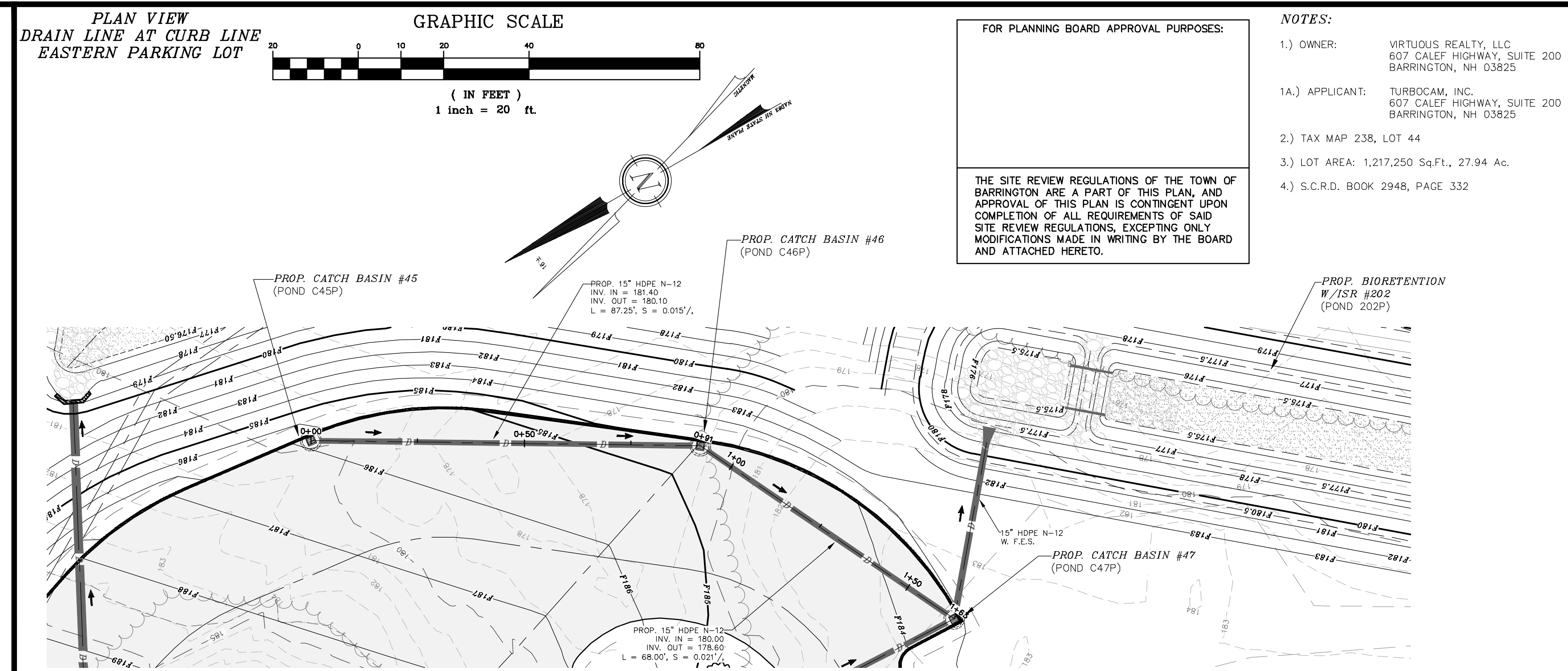
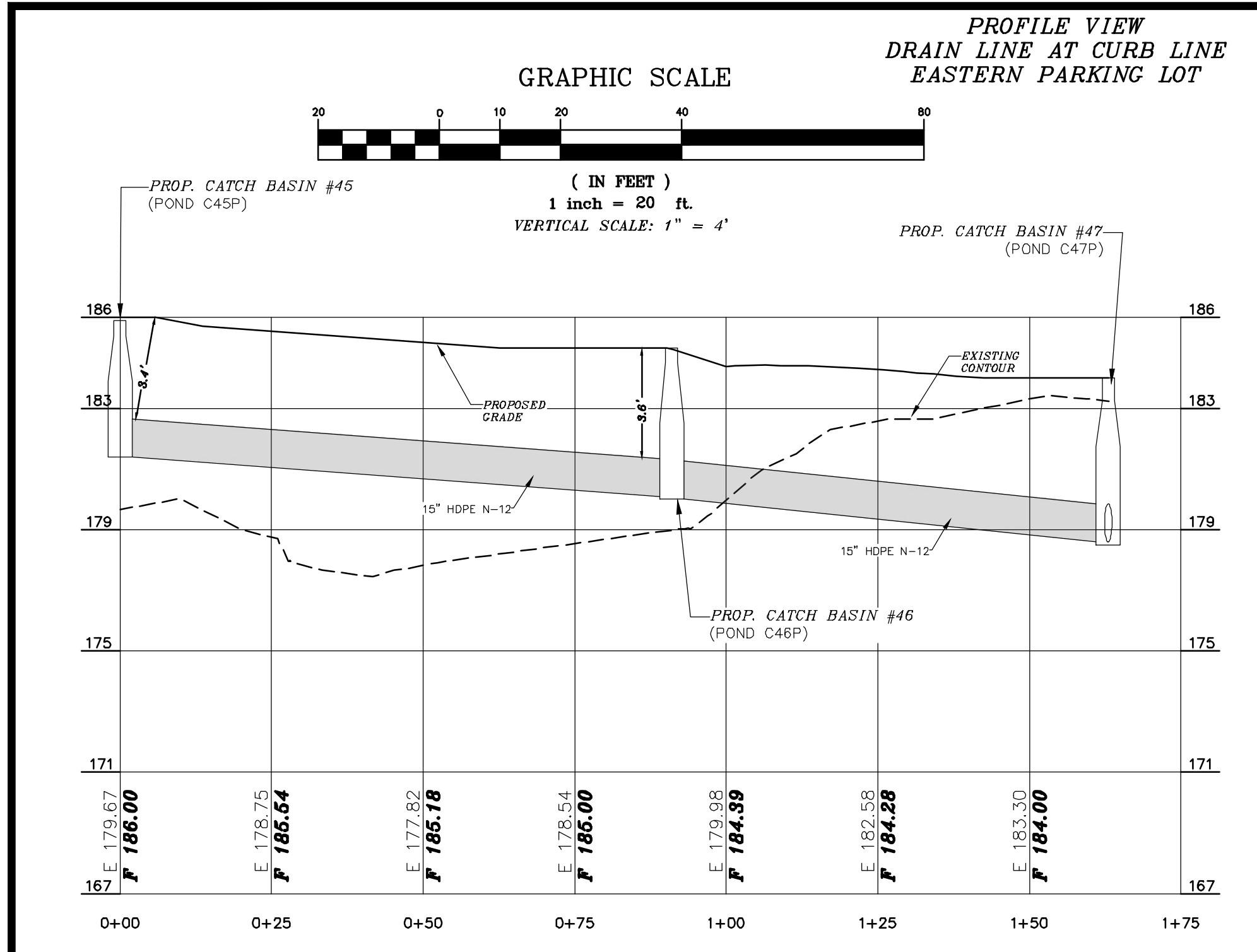
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REVISION	DATE	DESCRIPTION

EASTERLY PARKING LOT PROFILES
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017





REVISION	DATE	DESCRIPTION

DRAIN LINE PROFILES
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

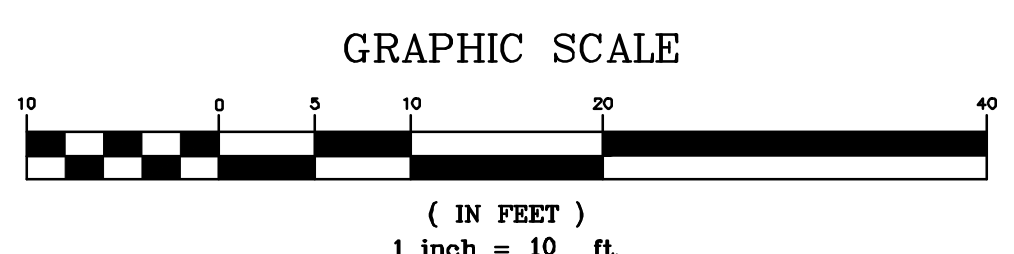
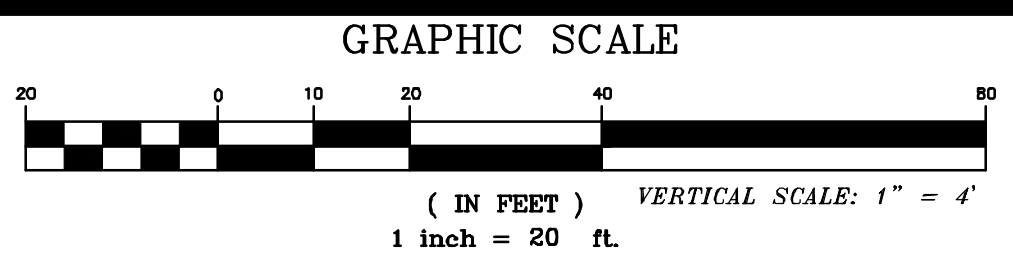
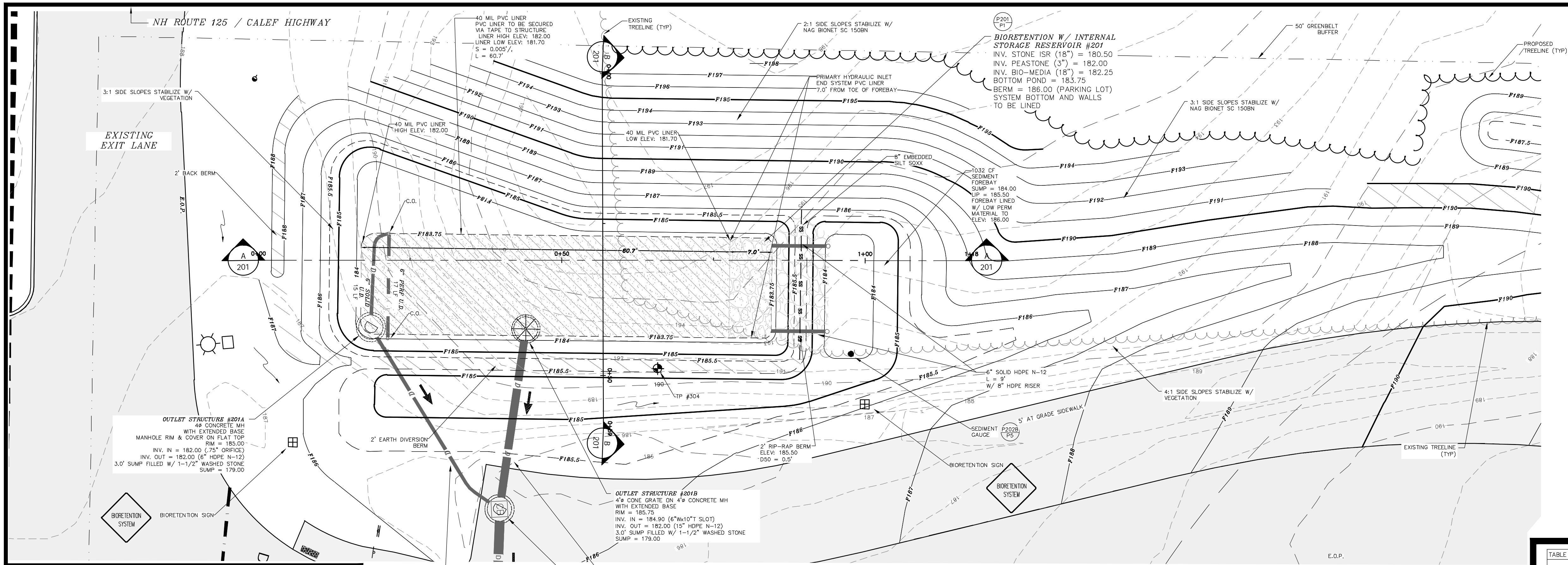
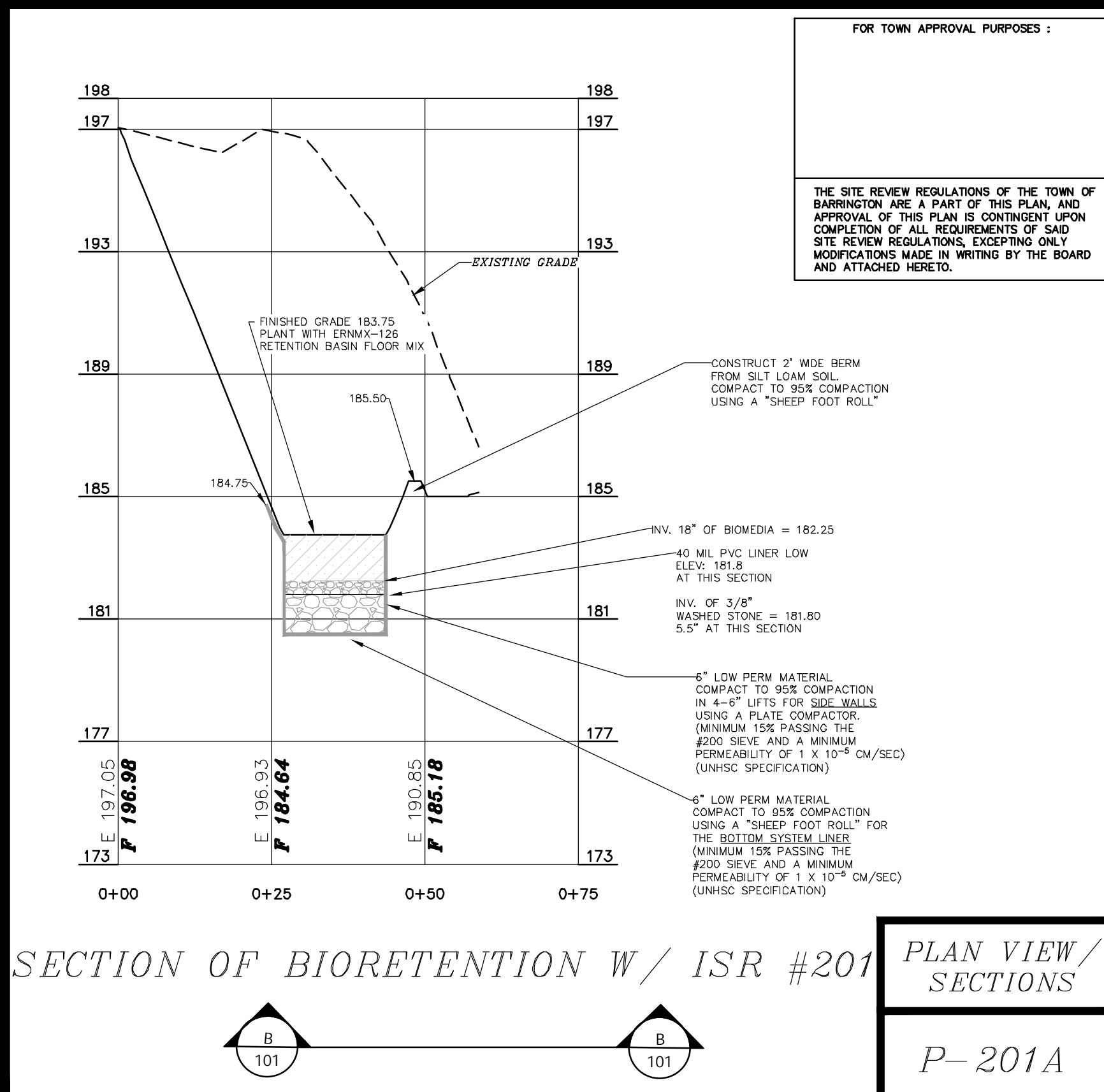
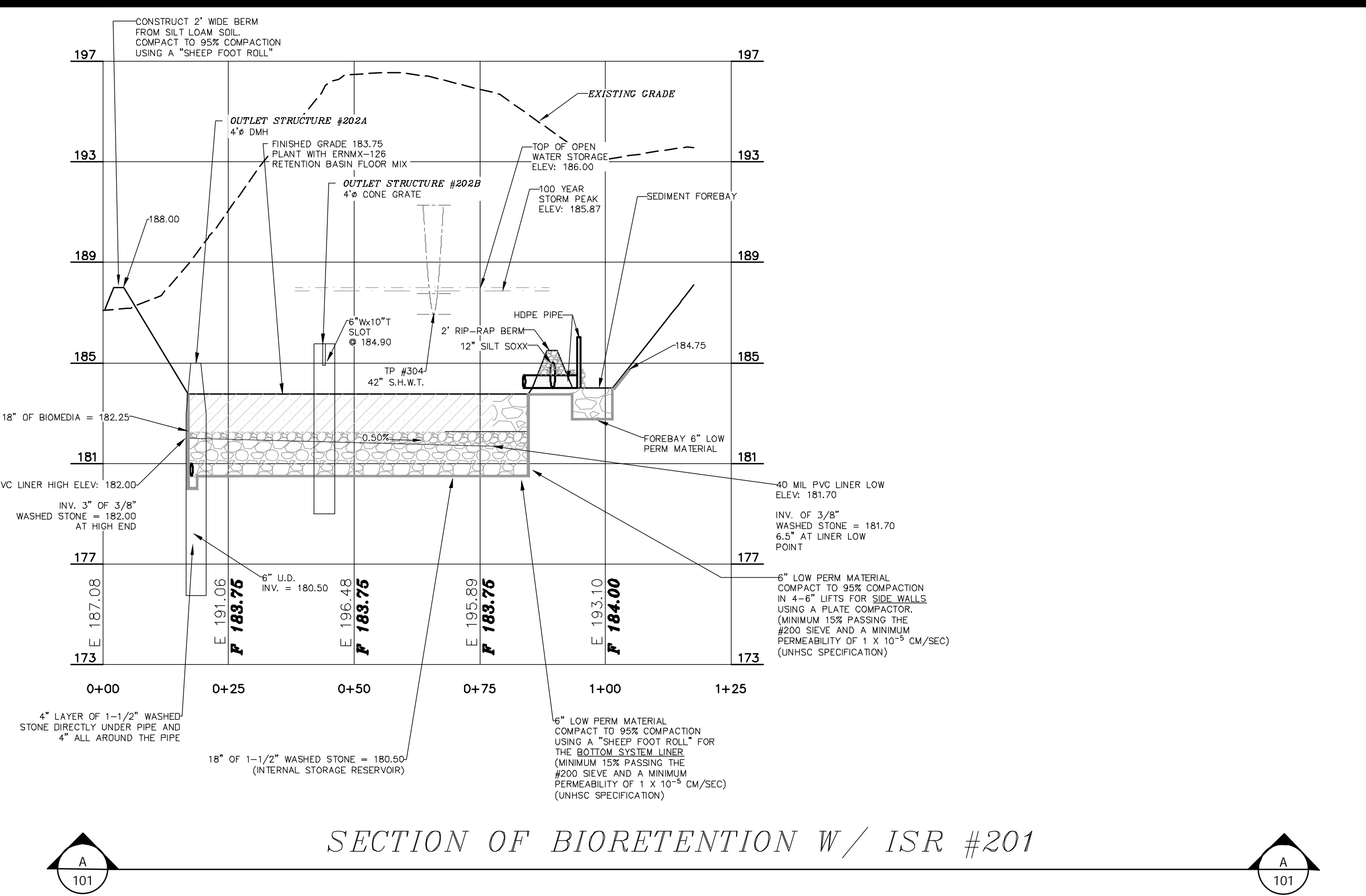


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN 50 SIZE	SIZE OF STONE (INCHES)	10
100%	9	12
85%	8	11
50%	6	9
15%	2	3



REVISION	DATE	DESCRIPTION

FOR TURBOCAM, INC.
LAND OF VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
74X MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE: AS SHOWN
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

KENNETH A. BERRY
No. 14243
REGISTERED PROFESSIONAL ENGINEER

SECTION OF BIORETENTION W/ ISR #201
PLAN VIEW / SECTIONS
P-201A

UNH STORMWATER CENTER SPECIFICATIONS
ACCEPTABLE PARTICLE SIZE DISTRIBUTION OF FINAL BIORETENTION SOIL MIX

MEDIA TYPE	SIEVE #	SIZE (IN)	% PASSING
COURSE SAND	4	0.187	100
MEDIUM SAND	10	0.075	95
FINE SAND	40	0.017	15-40
SILTS	200	0.003	10-20
CLAYS	<200	PAN	0-5

3/8" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

1-1/2" WASHED CRUSHED STONE*

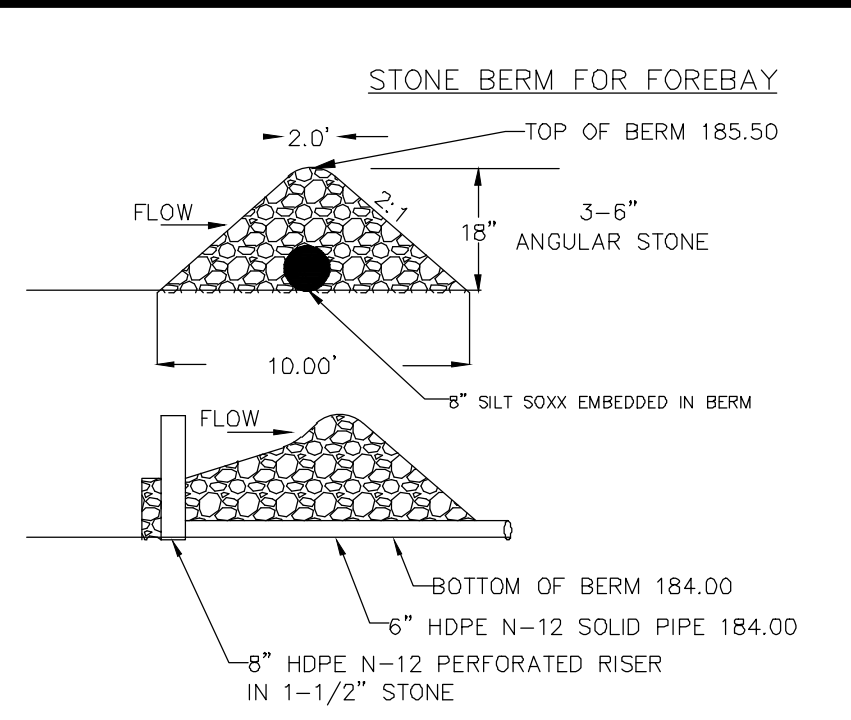
SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
3/8"	0 - 5

BIORETENTION SOIL MEDIA COMPONENTS
-AMOUNTS MIXED BY TOTAL VOLUME
*60-85% SAND
*15-25% LOAM OR TOPSOIL
*3-8% ORGANIC MATTER
*5% WATER TREATMENT RESIDUALS OR 0.5% IRON FILINGS
WATER TREATMENT RESIDUALS OR IRON FILINGS ARE REQUIRED DUE TO THE CLASS "A" RECEIVING WATERS
REFER TO THE "UNHSC STANDARD DETAIL, BIORETENTION ISR STORMWATER SYSTEM", FEBRUARY 2020 FOR FURTHER PUBLISHED GENERAL CONSTRUCTION GUIDELINES
DESIGN REFERENCES
1 UNH STORMWATER CENTER.
<https://scholars.unh.edu/stormwater/73/>

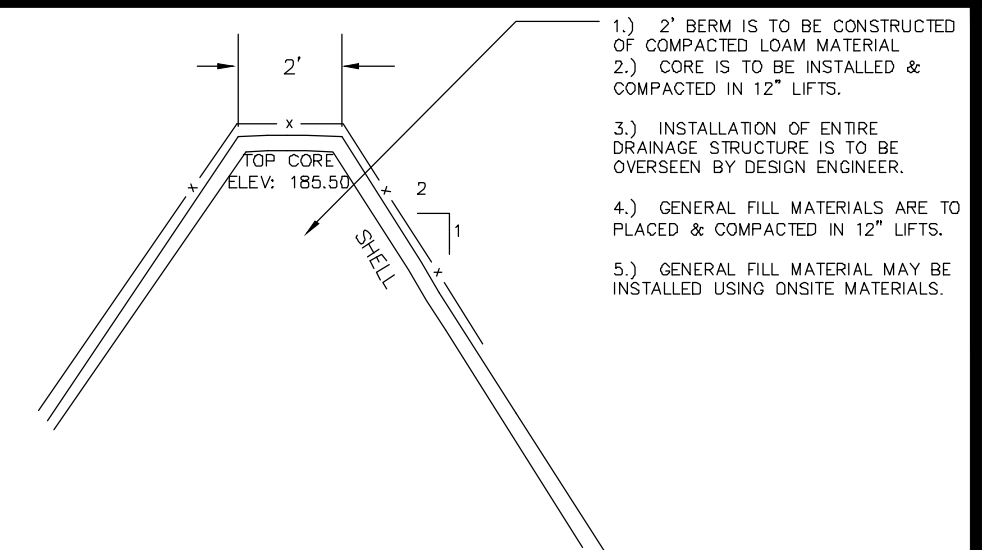
STABILIZATION NOTE:
SEE NOTE #6, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE WORKING DAY UPON COMPLETION OF FINAL GRADE.
CONSTRUCTION NOTE: THE DESIGN ENGINEER IS TO BE ON SITE PRIOR TO AND DURING THE PLACEMENT OF THE RESERVOIR STONE, AND TO WITNESS THE INSTALLATION OF THE UNDER-DRAIN AND LINER. PLEASE PROVIDE 48 HOURS NOTICE PRIOR TO REQUESTED INSPECTION.
PVC LINER TO BE 40 TO 60 MIL, PREFERABLY SEAMLESS. IF SEAMS ARE UNAVOIDABLE, THE SEAMS SHOULD BE SEALED

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS
* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

P1



P2 P3

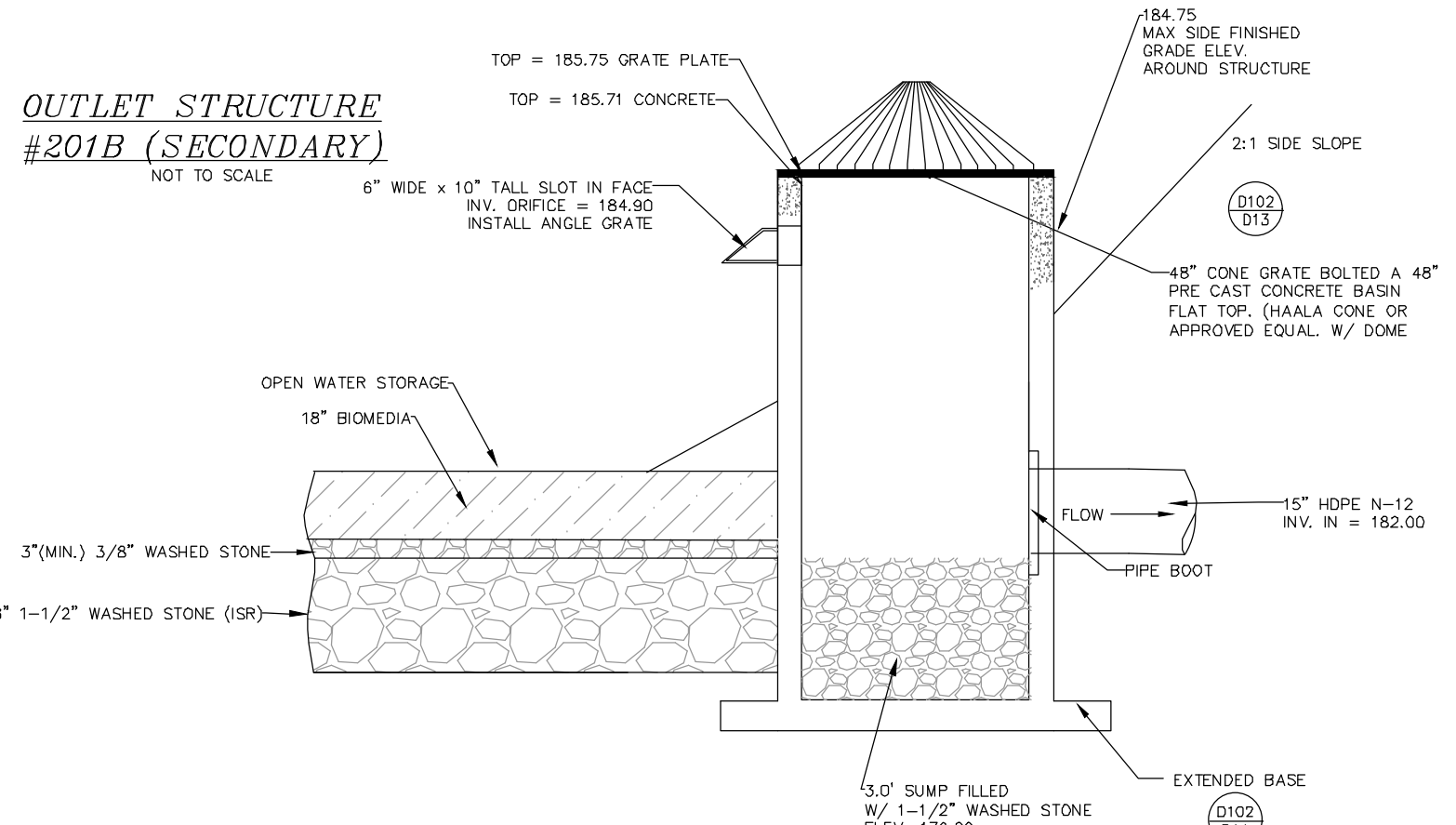
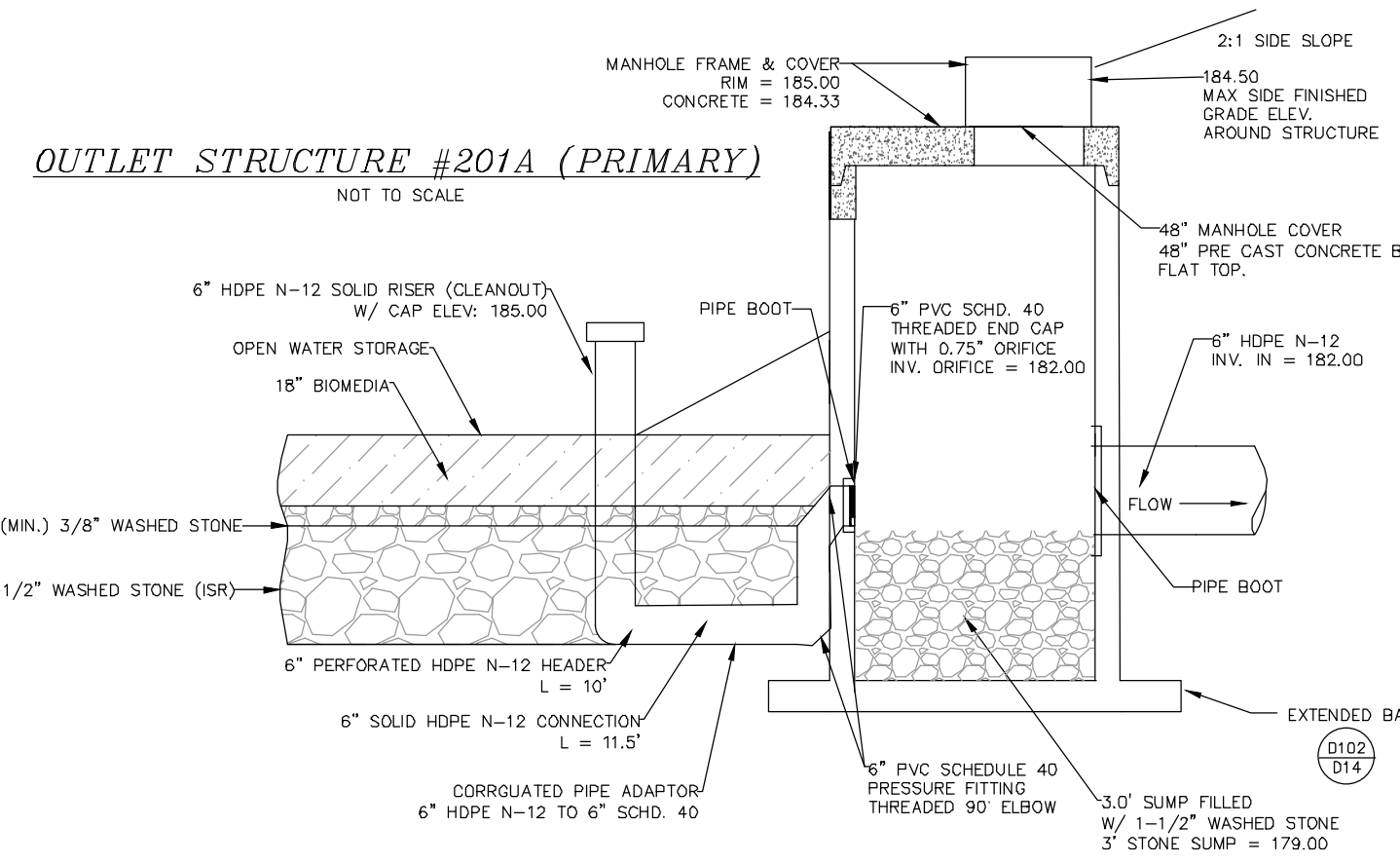
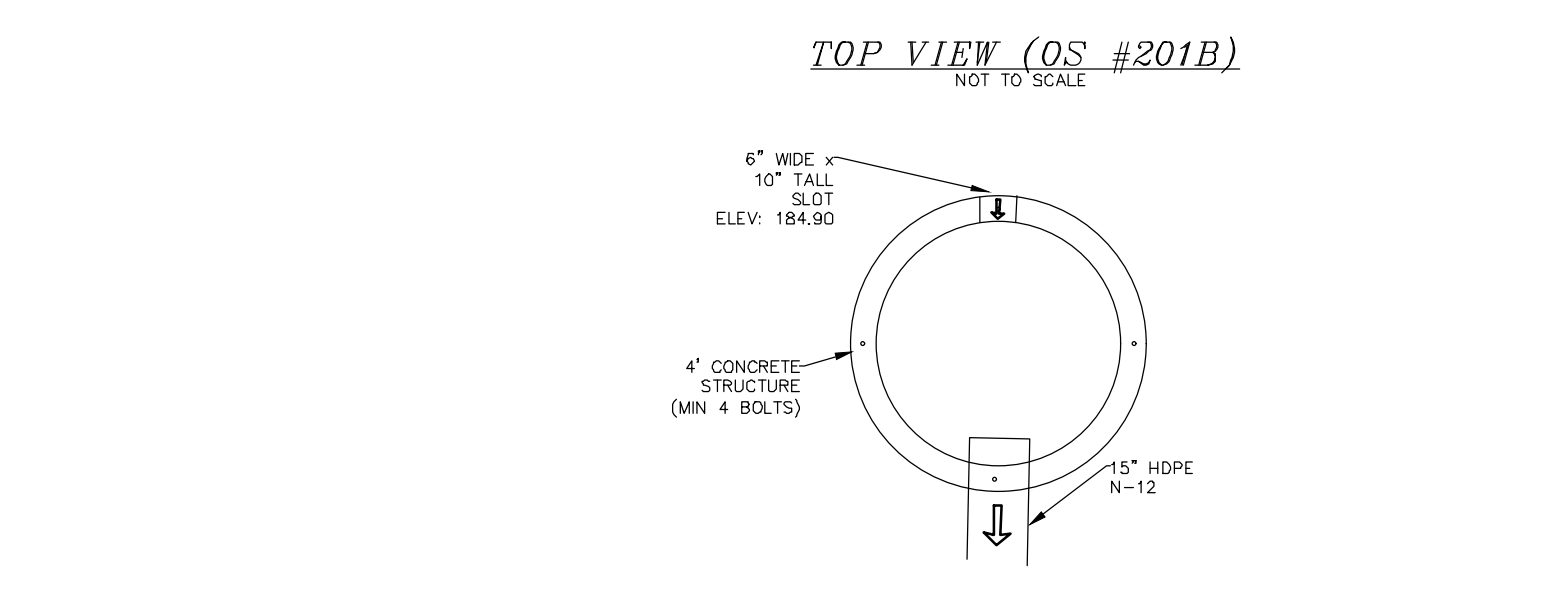
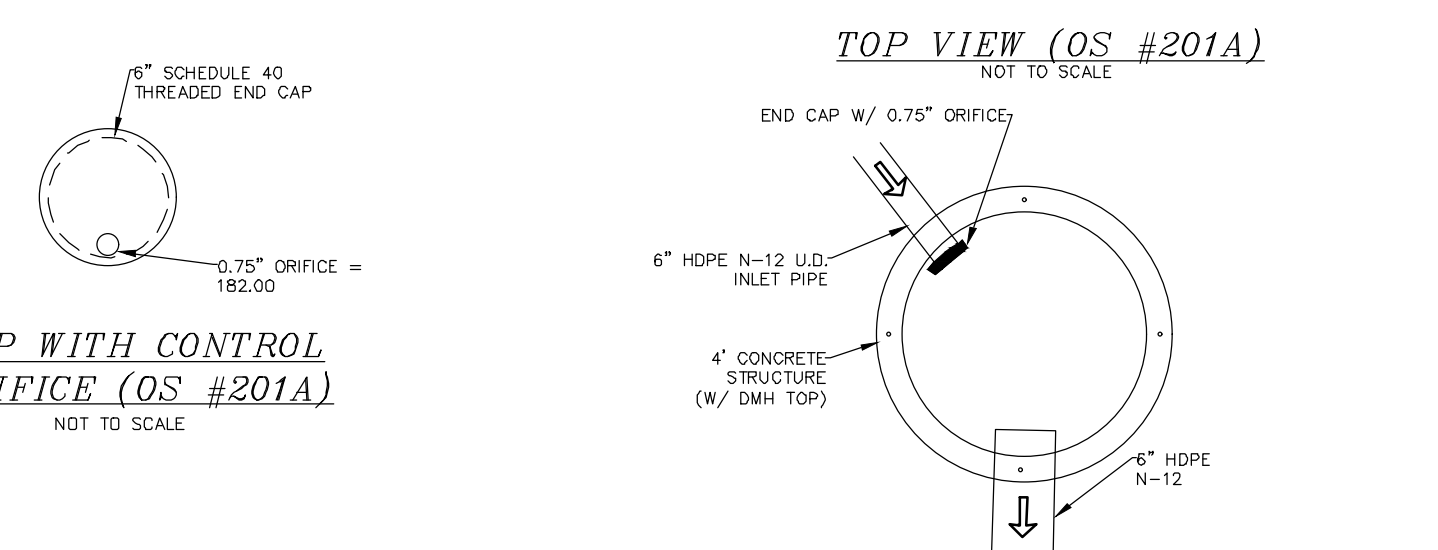


BIORETENTION W/ ISR BERM CONSTRUCTION
NOT TO SCALE

BIORETENTION W/ ISR CONSTRUCTION SPECIFICATIONS

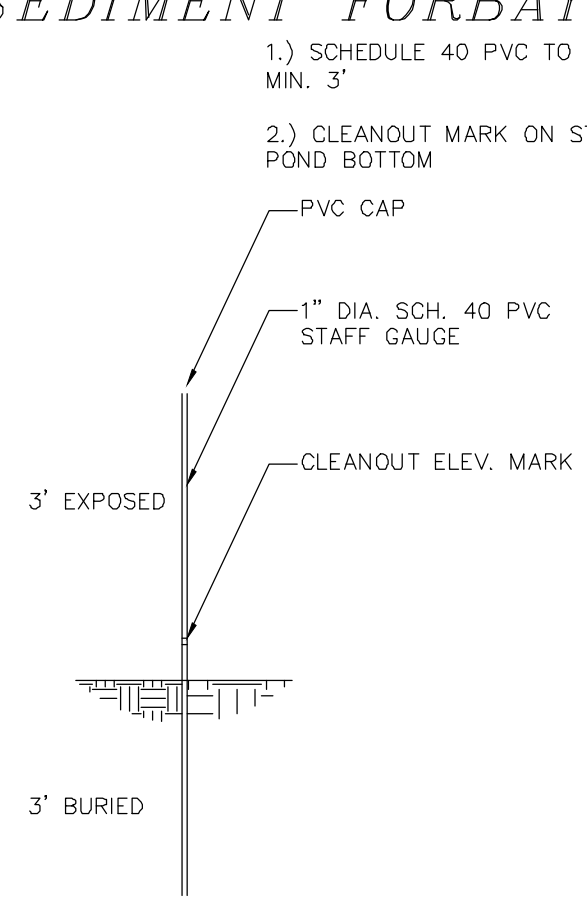
BIORETENTION W/ ISR STRUCTURES & DETAILS
NOT TO SCALE

P4



SEDIMENT FORBAY GAUGE DETAIL

P5



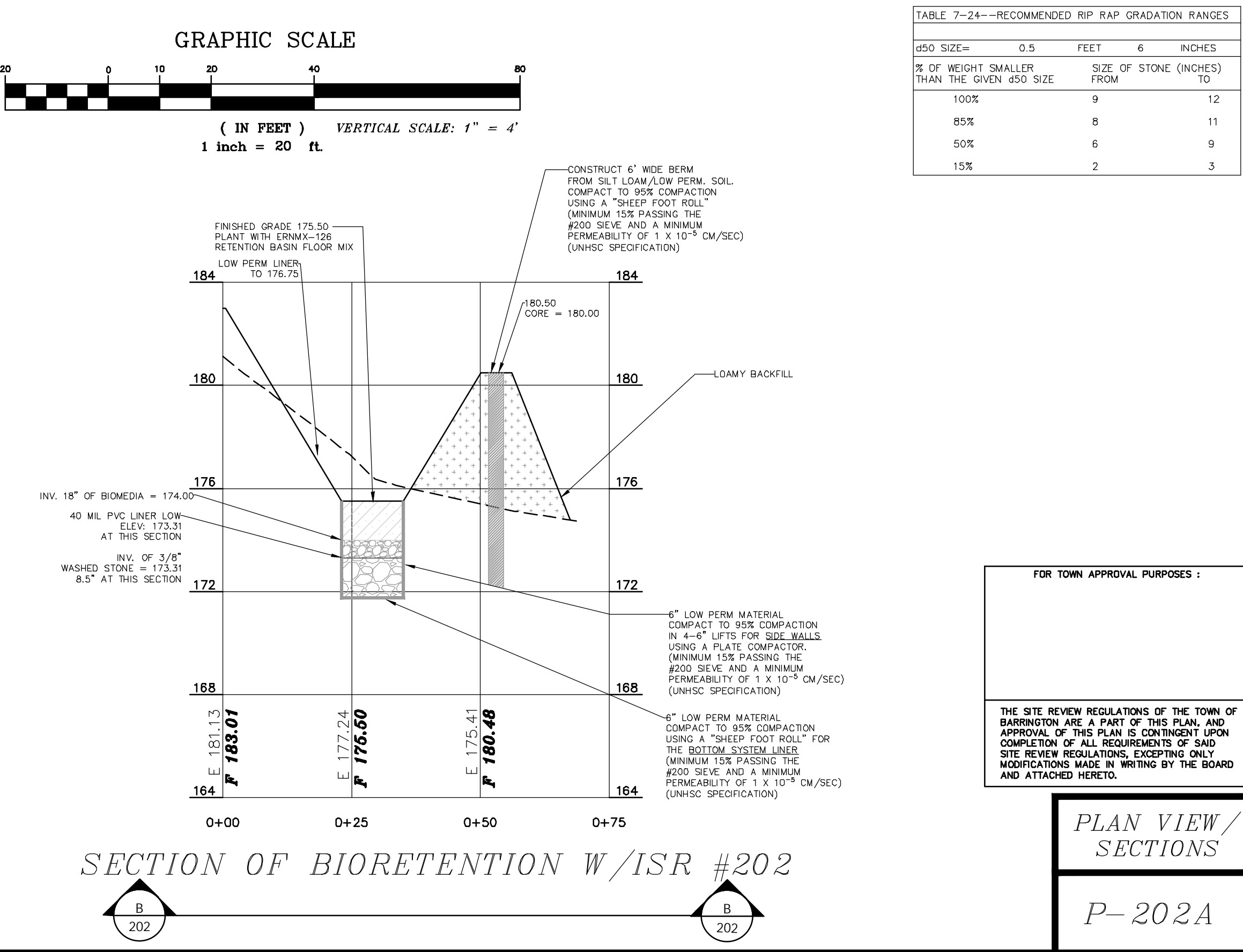
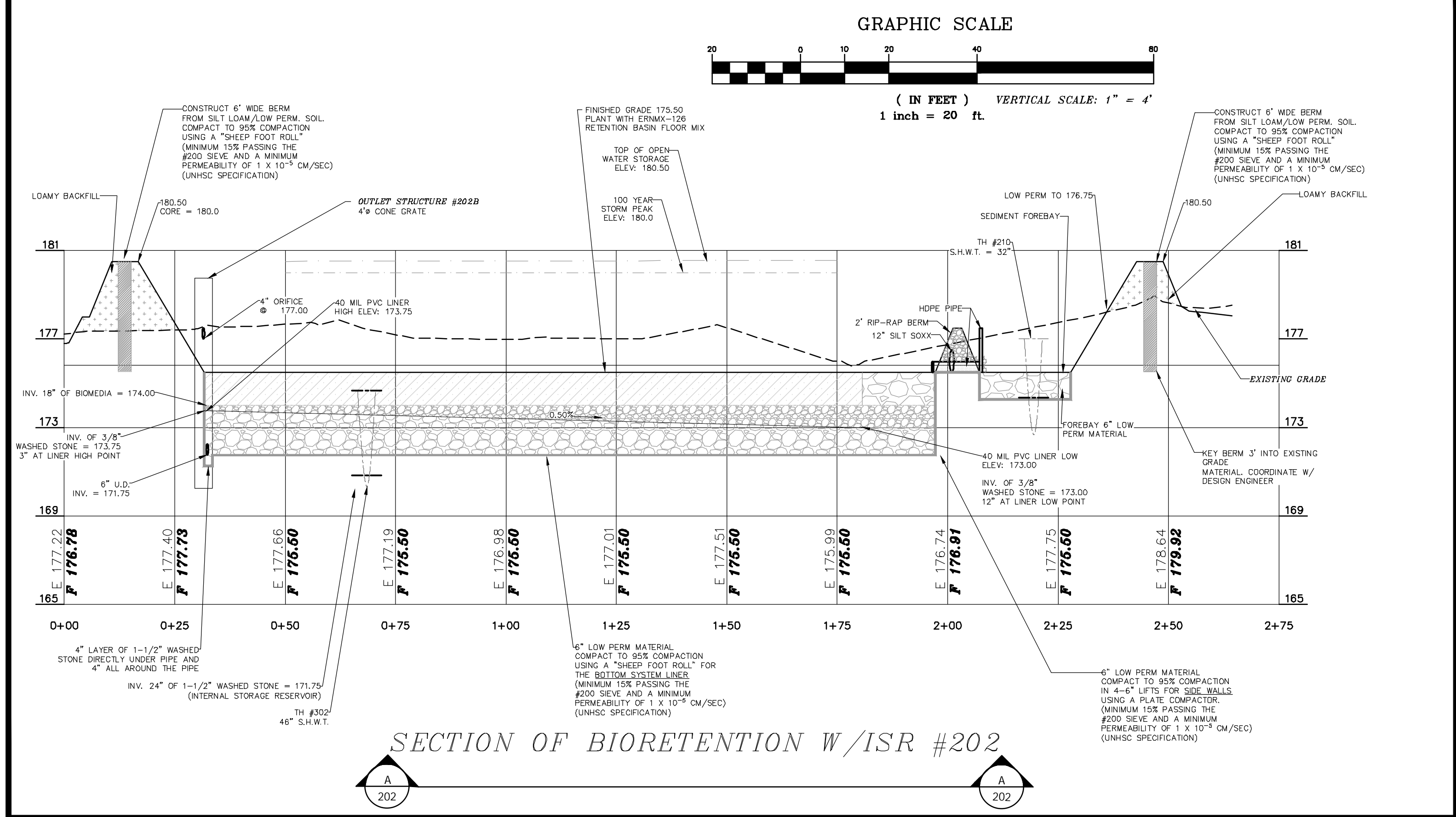
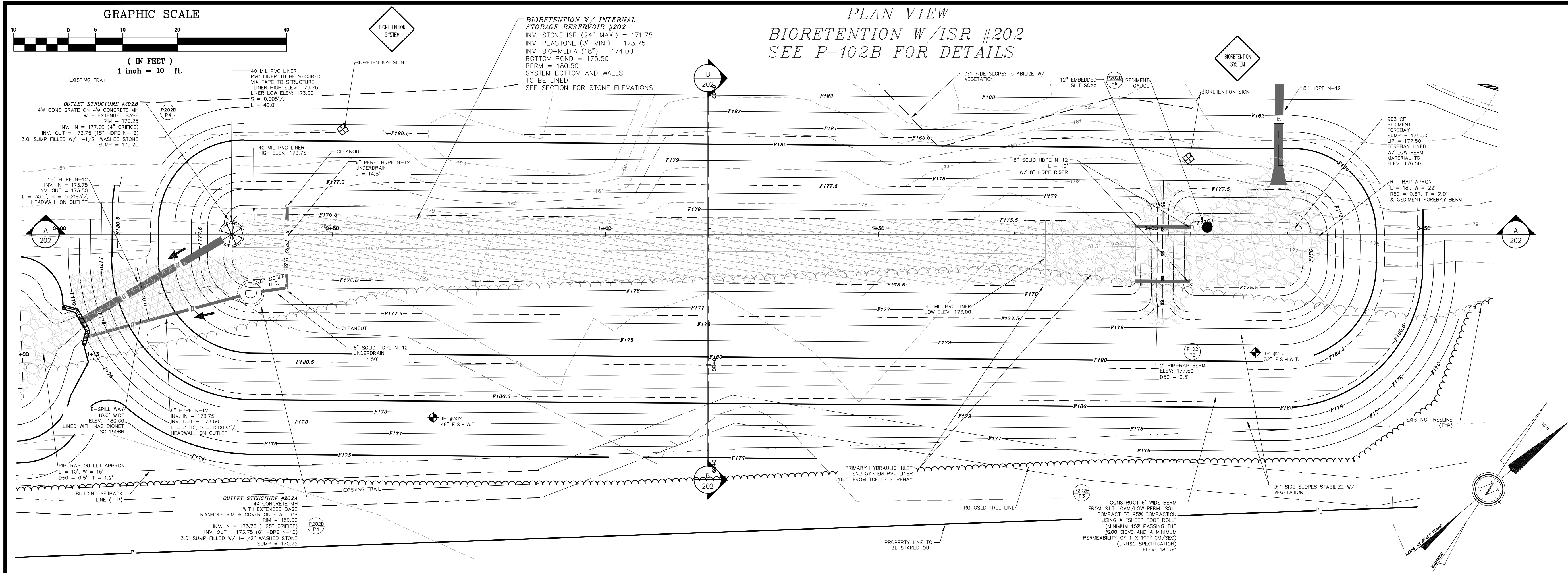
FOR TOWN APPROVAL PURPOSES :
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : N/A
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

FOR TOWN APPROVAL PURPOSES :
FOR TUREOCAM, INC.
LAND OF VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
74X MAP 286, LOT 44

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

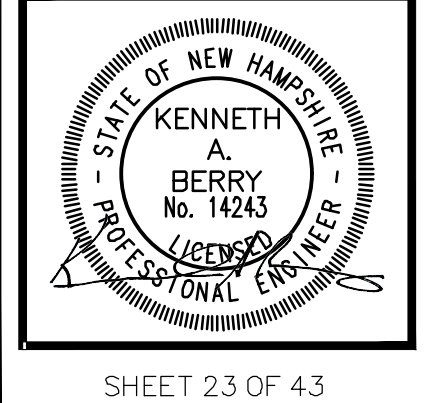
DETAILS
P-201B



REVISION	DATE	DESCRIPTION

FOR TOWN OF
TUBERCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
74X MAP 286, LOT 44

BERRY SURVEYING
& ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS SHOWN
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017



PLAN VIEW/
SECTIONS
P-202A

UNH STORMWATER CENTER SPECIFICATIONS
ACCEPTABLE PARTICLE SIZE DISTRIBUTION OF
FINAL BIORETENTION SOIL MIX

MEDIA TYPE	SIEVE #	SIZE (IN)	% PASSING
COURSE SAND	4	0.187	100
MEDIUM SAND	10	0.075	95
FINE SAND	40	0.017	15-40
SILTS	200	0.003	10-20
CLAYS	<200	PAN	0-5

3/8" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

1-1/2" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
3/8"	0 - 5

STABILIZATION NOTE:
SEE NOTE #6, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE
WORKING DAY UPON COMPLETION OF FINAL GRADE.

CONSTRUCTION NOTE: THE DESIGN ENGINEER IS TO BE ON SITE PRIOR TO AND DURING THE
PLACEMENT OF THE RESERVOIR STONE, AND TO WITNESS THE INSTALLATION OF THE UNDER-DRAIN
AND LINER. PLEASE PROVIDE 48 HOURS NOTICE PRIOR TO REQUESTED INSPECTION.

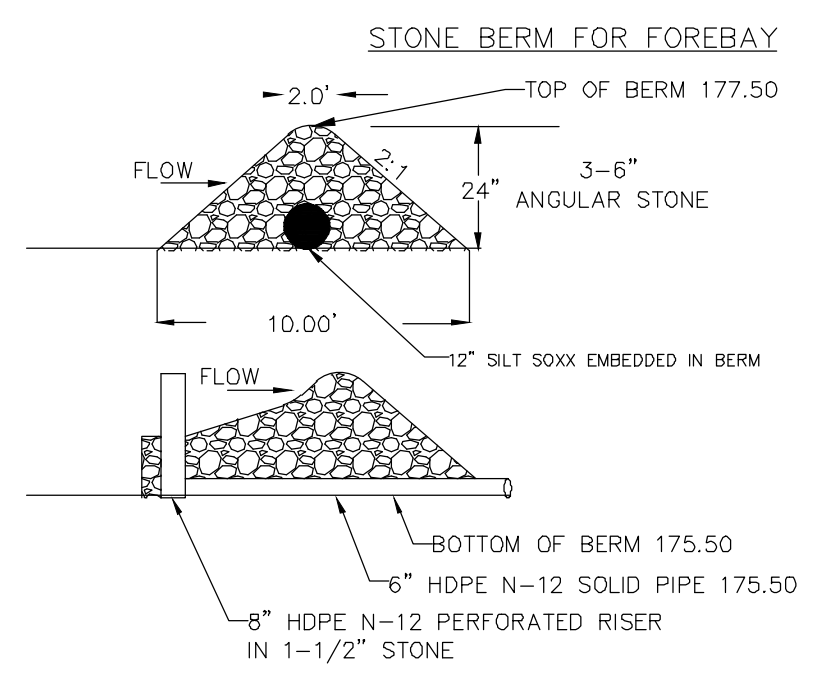
PVC LINER TO BE 40 TO 60 MIL. THE SEAMS SHALL BE SEALED

*TESTING TO DETERMINE HYDRAULIC CONDUCTIVITY AND NEED FOR BOTTOM/SIDE SYSTEM LINER TO BE
DETERMINED DURING CONSTRUCTION PROCESS.*

*EQUIVALENT TO STANDARD WASHED
STONE - SECTION 702 OF NHDOT
STANDARD SPECIFICATIONS

*EQUIVALENT TO STANDARD WASHED
STONE - SECTION 702 OF NHDOT
STANDARD SPECIFICATIONS

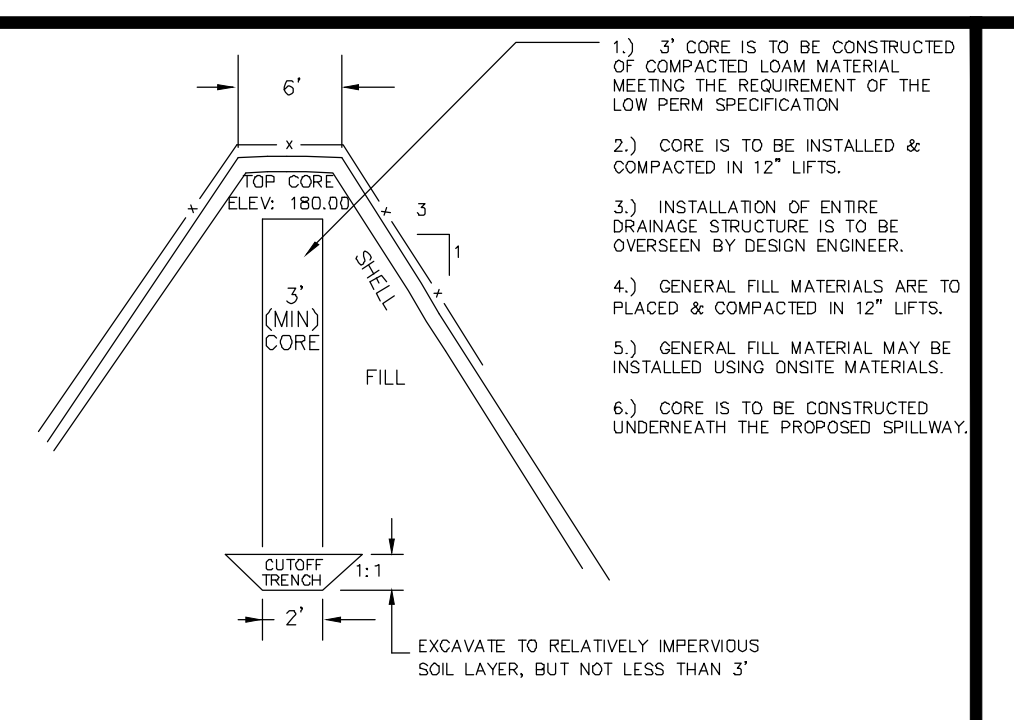
P1



P2 P3

LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



BIORETENTION W/ ISR BERM CONSTRUCTION
NOT TO SCALE

BIORETENTION SOIL MEDIA COMPONENTS
-AMOUNTS MIXED BY TOTAL VOLUME
*60-85% SAND
*15-25% LOAM OR TOPSOIL
*3-8% ORGANIC MATTER
*5% WATER TREATMENT RESIDUALS OR 0.5% IRON FILINGS

WATER TREATMENT RESIDUALS OR IRON FILINGS ARE
REQUIRED DUE TO THE CLASS "A" RECEIVING WATERS

REFER TO THE "UNHSC STANDARD DETAIL, BIORETENTION
ISR STORMWATER SYSTEM", FEBRUARY 2020 FOR
FURTHER PUBLISHED GENERAL CONSTRUCTION GUIDELINES

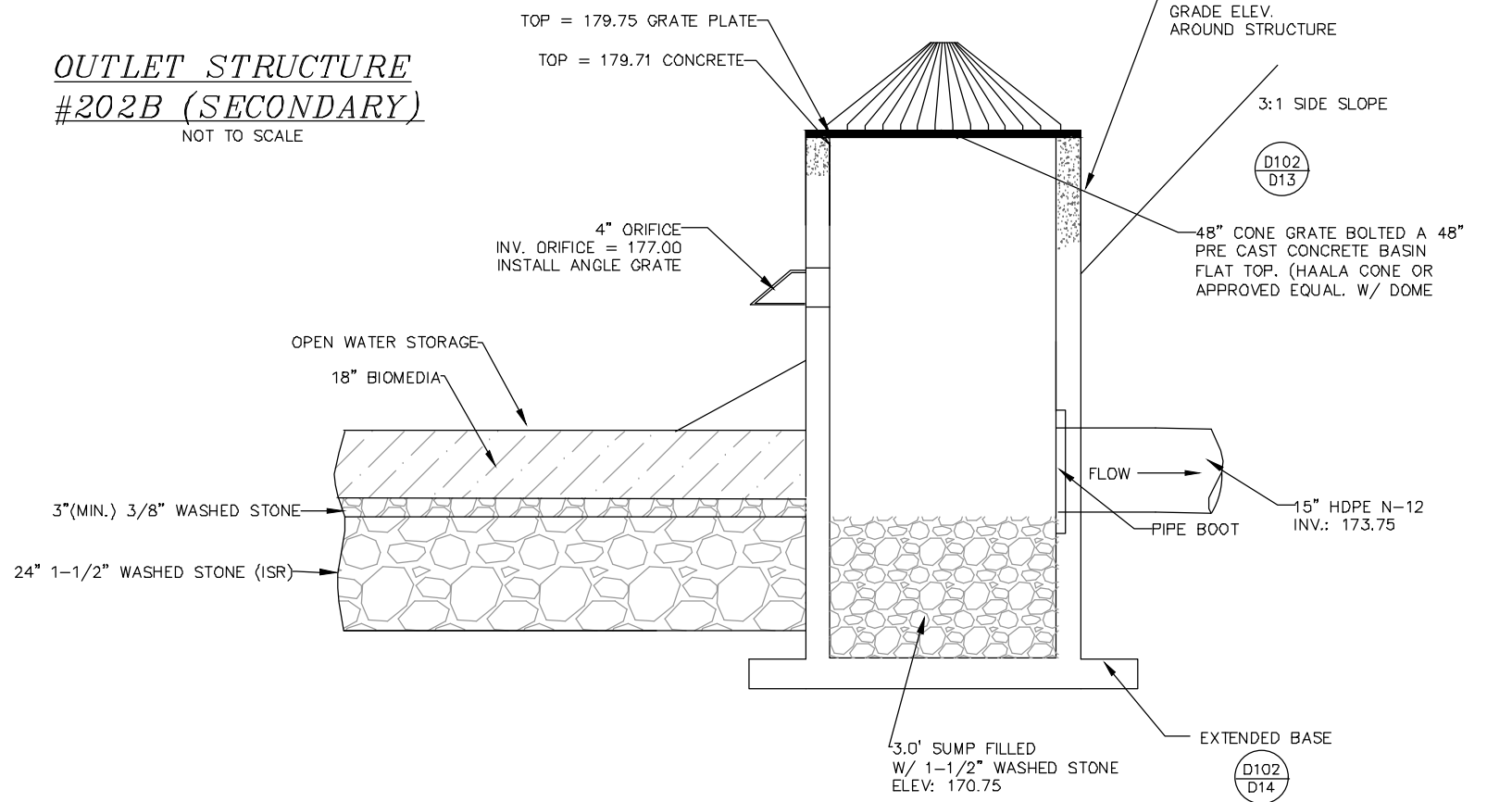
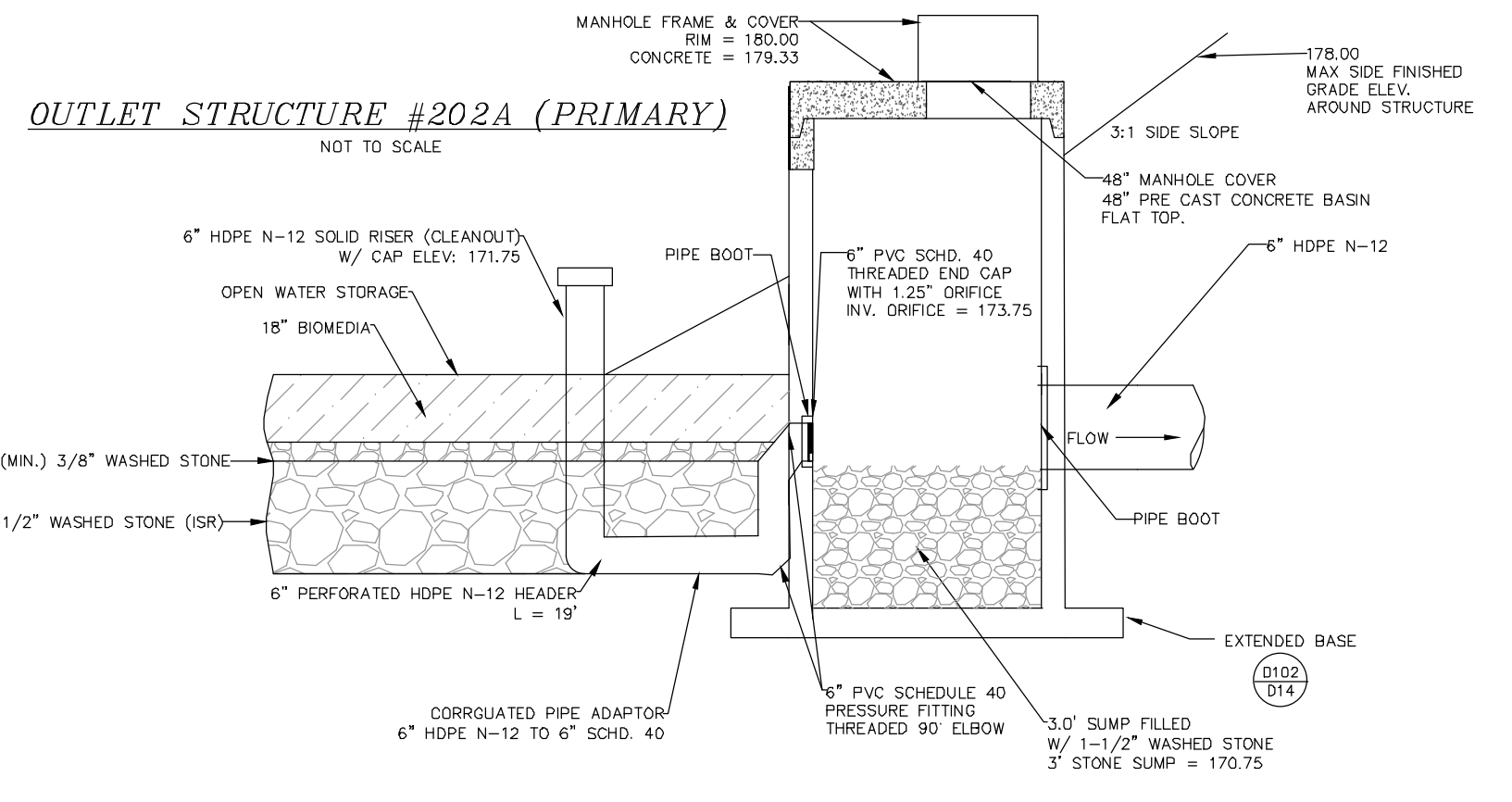
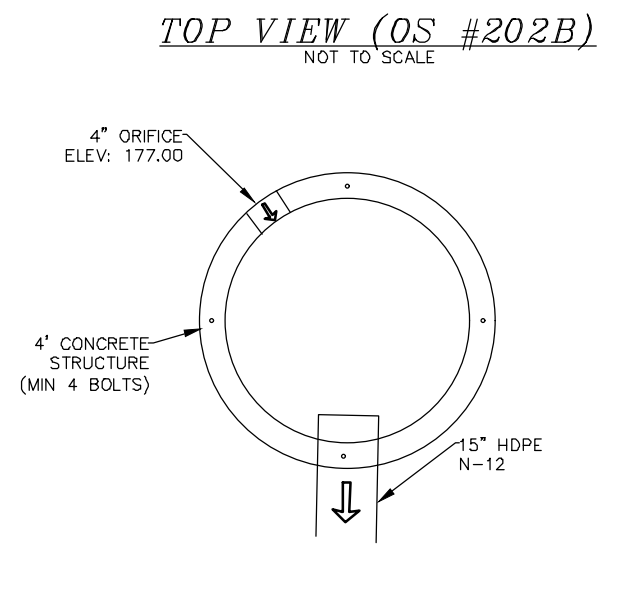
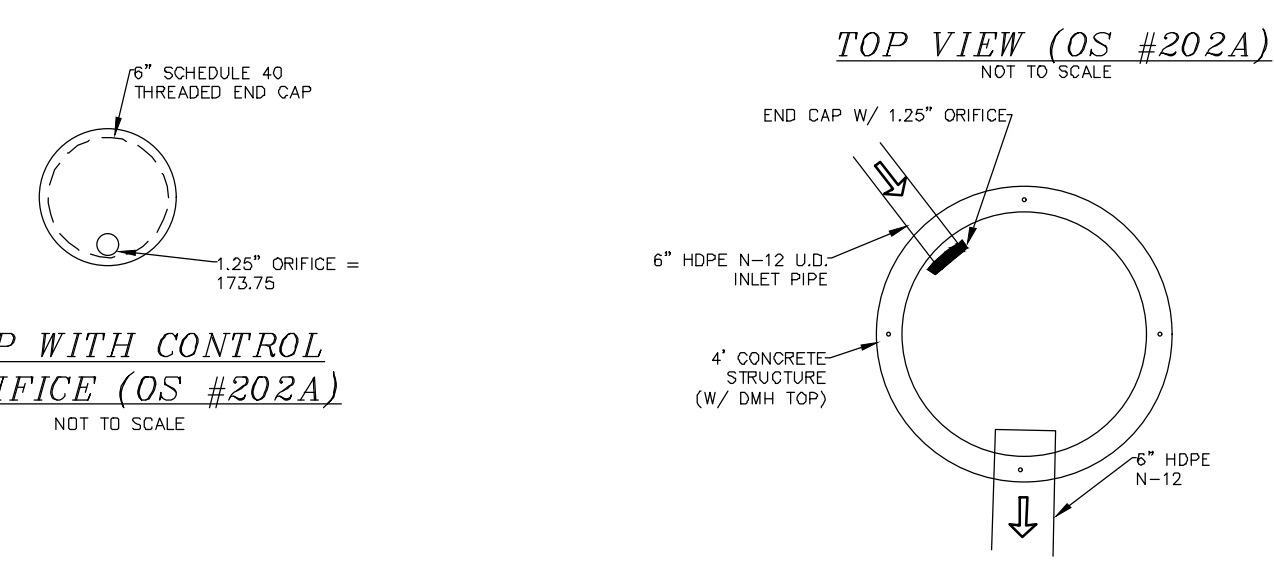
DESIGN REFERENCES

1 UNH STORMWATER CENTER.
https://scholars.unh.edu/stormwater/73/

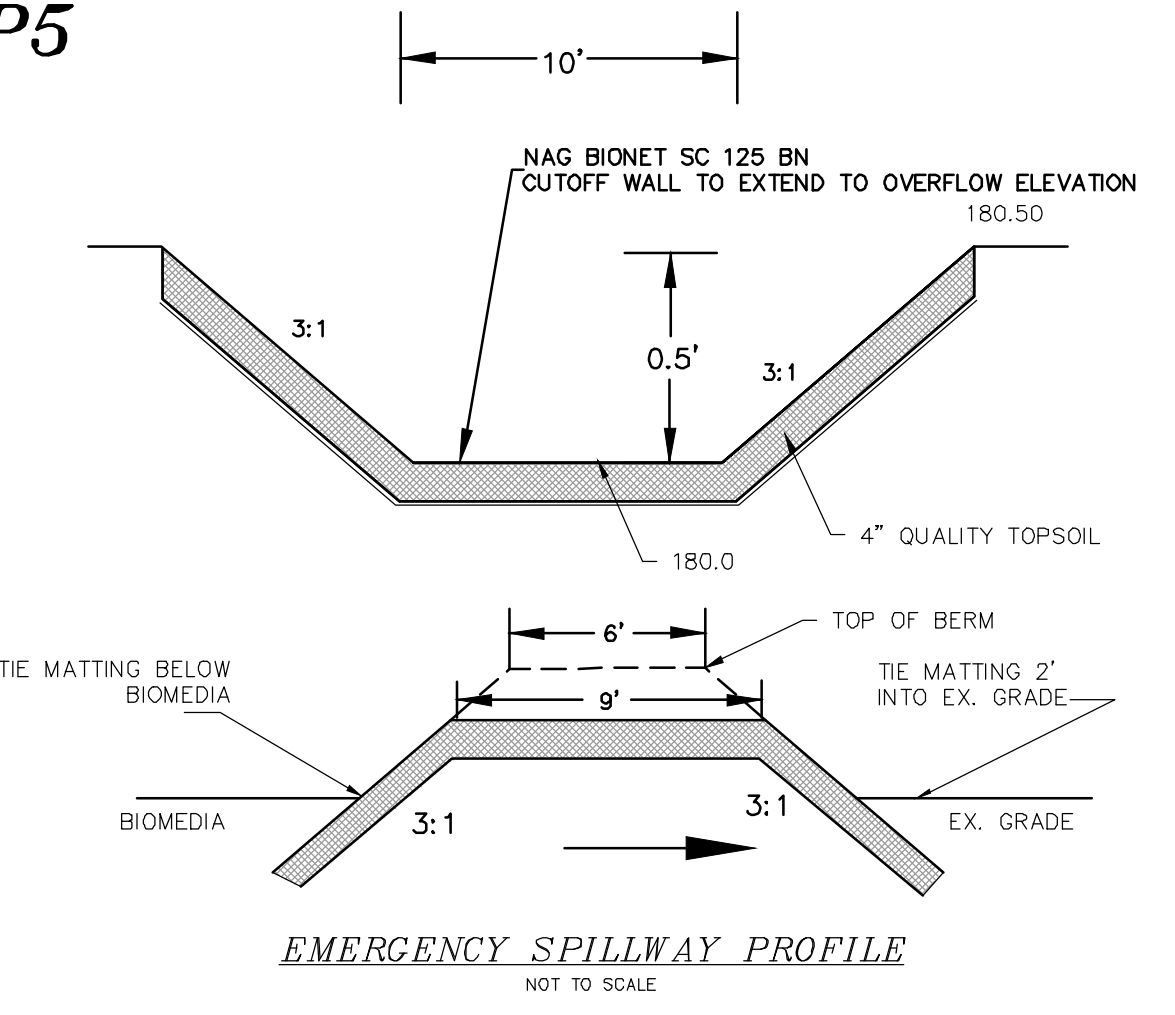
BIORETENTION W/ ISR CONSTRUCTION SPECIFICATIONS

BIORETENTION W/ ISR STRUCTURES & DETAILS
NOT TO SCALE

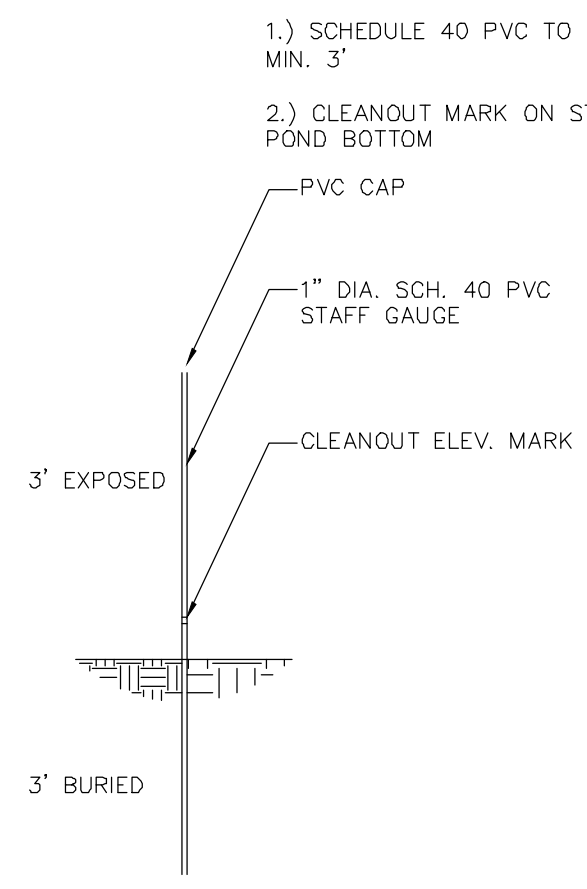
P4



P5



SEDIMENT FORBAY GAUGE DETAIL **P6**



- SCHEDULE 40 PVC TO BE DRIVEN OR PLACED IN GROUND A MIN. 3'
- CLEANOUT MARK ON STAFF TO BE RED PAINT SET 6" ABOVE POND BOTTOM

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

DETAILS
P-202B

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : N/A
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

SHEET 24 OF 43

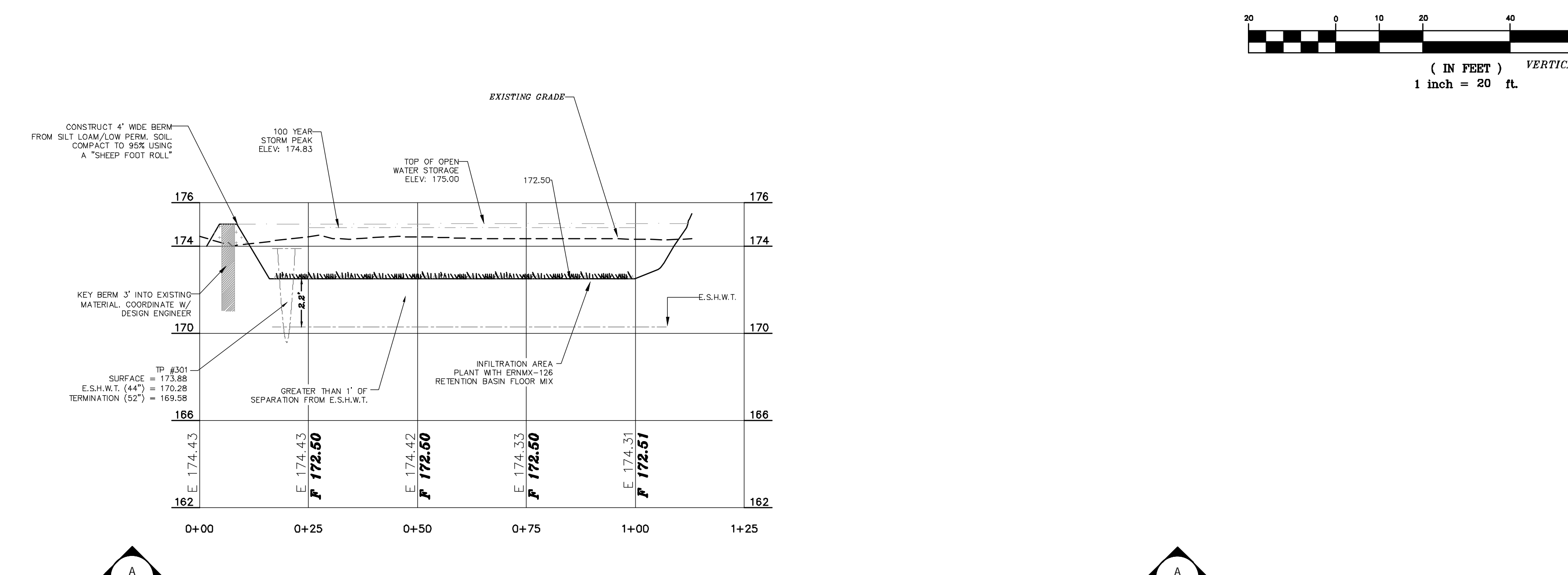
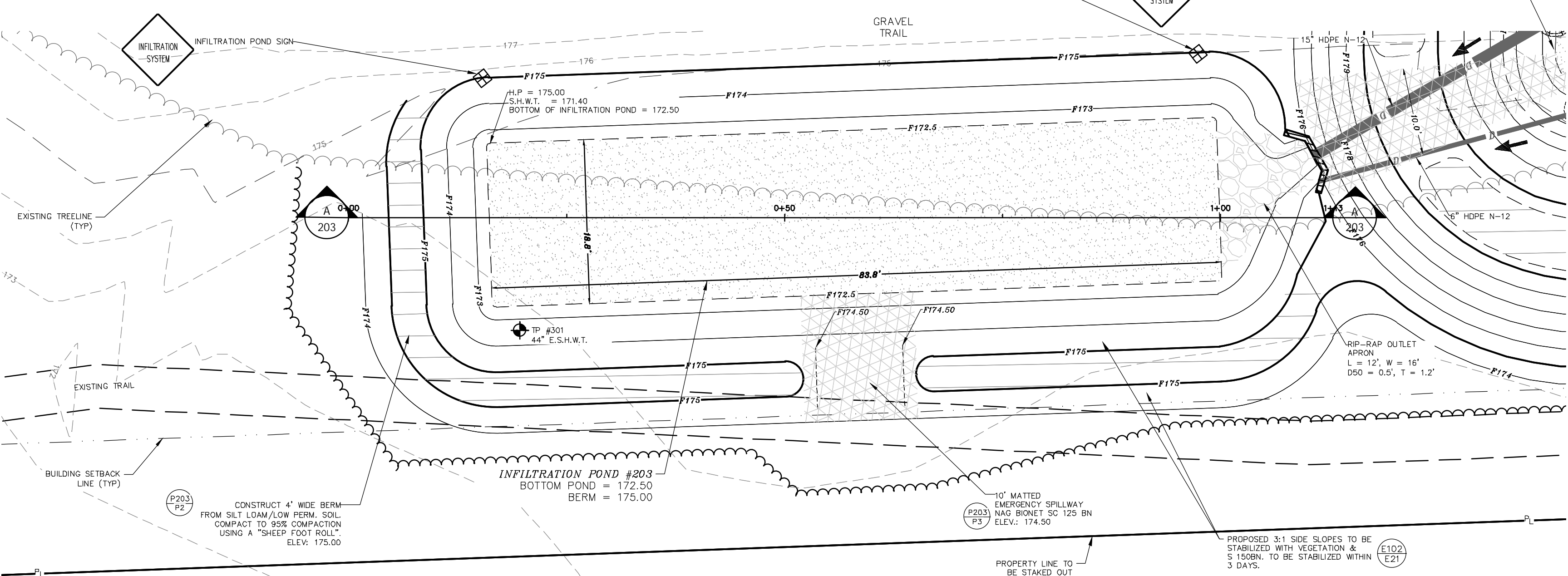
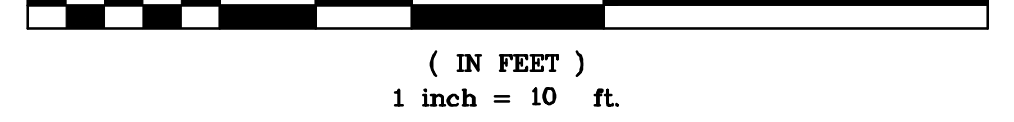
BIORETENTION W/ ISR #202 DETAILS

FOR TUREOCAM, INC.
LAND OF VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 286, LOT 44

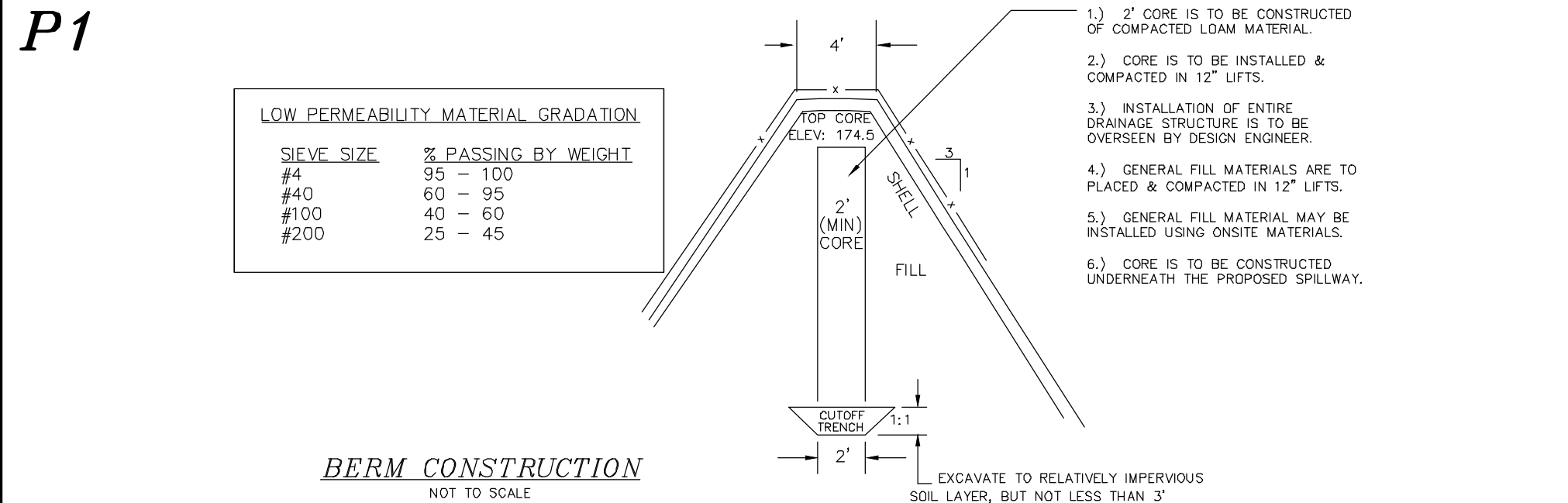
REVISION	DATE	DESCRIPTION

PLAN VIEW
INFILTRATION POND #203

EXISTING LEGEND:	PROPOSED LEGEND:
○ IRON BOUND/IRON ROD (FND)	⊕ TEMPORARY BENCHMARK (T.B.M.)
○ IRON PIPE (FND)	--- DETAIL SHEET / DETAIL
□ STONE BOUND (FND)	--- CONTOUR MINOR, PROPOSED
○ UTILITY POLE / GUY WIRE	--- CONTOUR MAJOR, PROPOSED
○ SINGLE POST SIGN	--- ROAD CENTERLINE
○ TEMPORARY BENCHMARK	--- SHOULDER
○ WELL	--- PAVEMENT SEAM
○ TESTHOLE	--- DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
--- PERIMETER BOUNDARY LINE	--- UNDERDRAIN
--- EXISTING CONSERVATION EASEMENT LINE	--- GUARD RAIL
--- BUILDING SETBACK LINE	--- EXISTING SPOT GRADE
--- NHDES PROTECTIVE WELL RADIUS	--- PROPOSED SPOT GRADE
--- OVERHEAD UTILITIES	--- FLOW ARROW
--- EXISTING CONTOUR MINOR	--- RIP RAP
--- EXISTING CONTOUR MAJOR	--- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
--- POORLY DRAINED WETLAND LINE	--- BERM
--- VERY POORLY DRAINED WETLAND LINE	
--- 50' WETLAND BUFFER LINE	
--- TREE LINE	
FND FOUND	○ DRAIN MANHOLE W/ STRUCTURE
TYP TYPICAL	○ CATCH BASIN W/ STRUCTURE
S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS	○ STORMWATER BMP OUTLET STRUCTURE



SECTION OF INFILTRATION POND #203



P2 STABILIZATION NOTE:
SEE NOTE #6, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE WORKING DAY UPON COMPLETION OF FINAL GRADE.

INFILTRATION SURFACE PROTECTION NOTE:
SEE EROSION AND SEDIMENT CONTROL PLAN
IT IS RECOMMENDED THAT THE CONTRACTOR TAKE MEASURES TO PROTECT THE INFILTRATION SURFACE FROM SEDIMENTATION CAUSED BY EROSION ON THE SIDE SLOPES

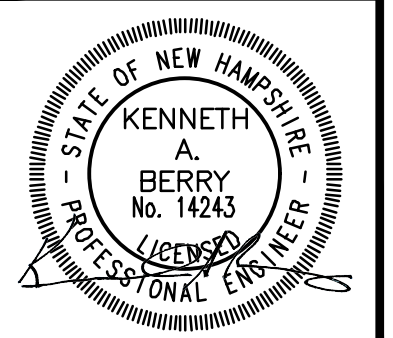


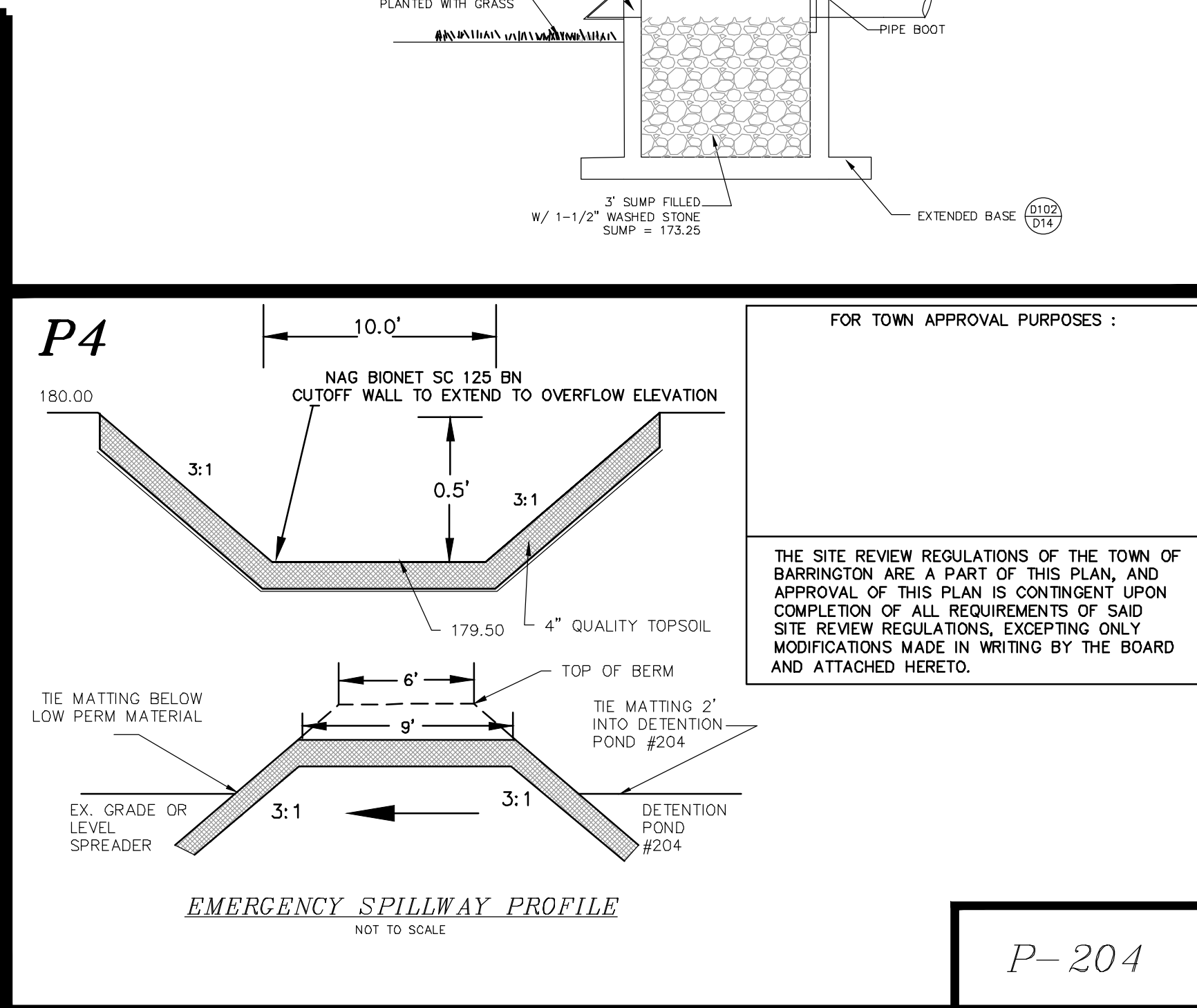
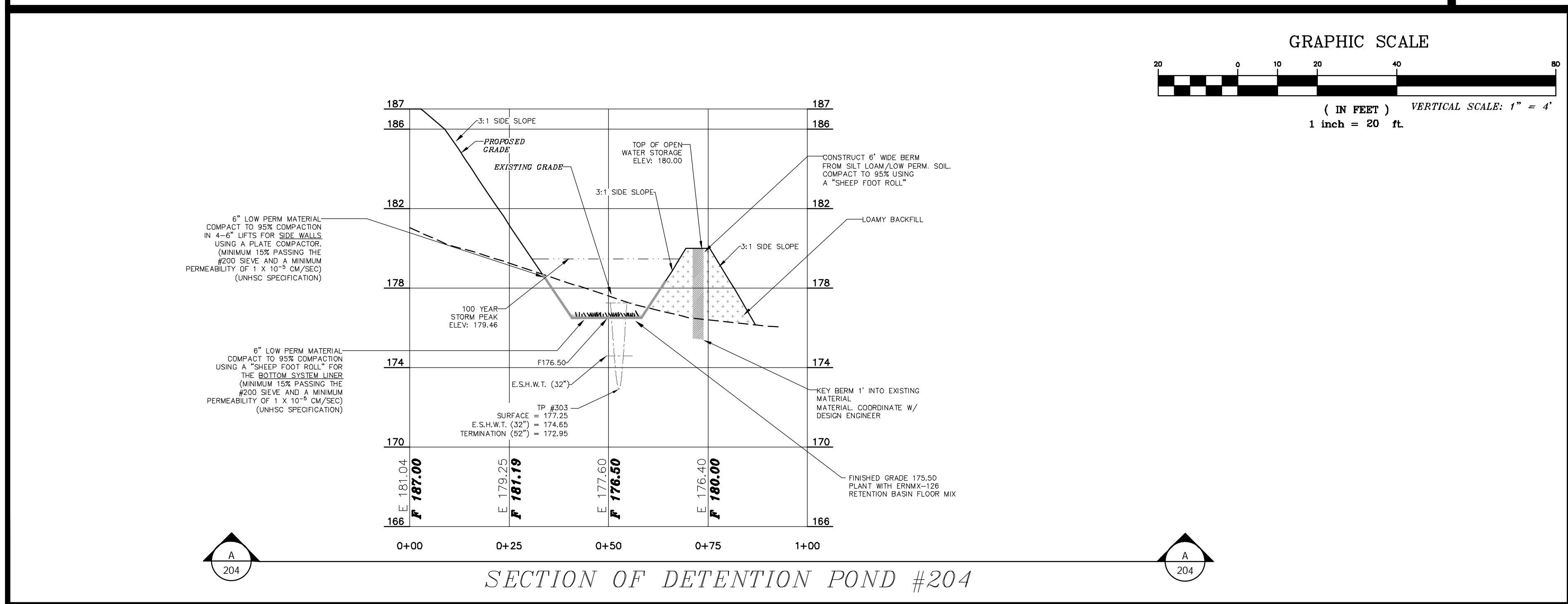
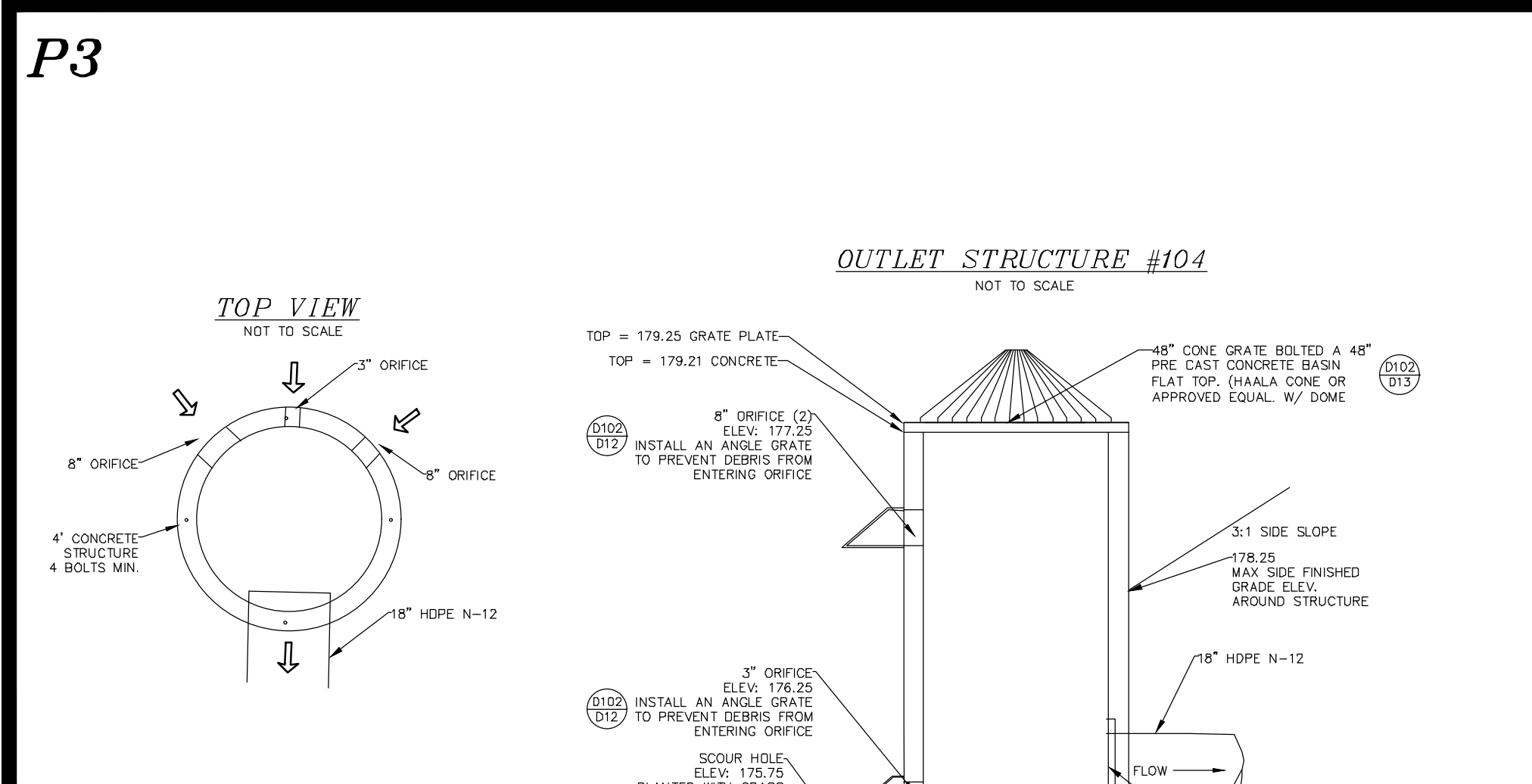
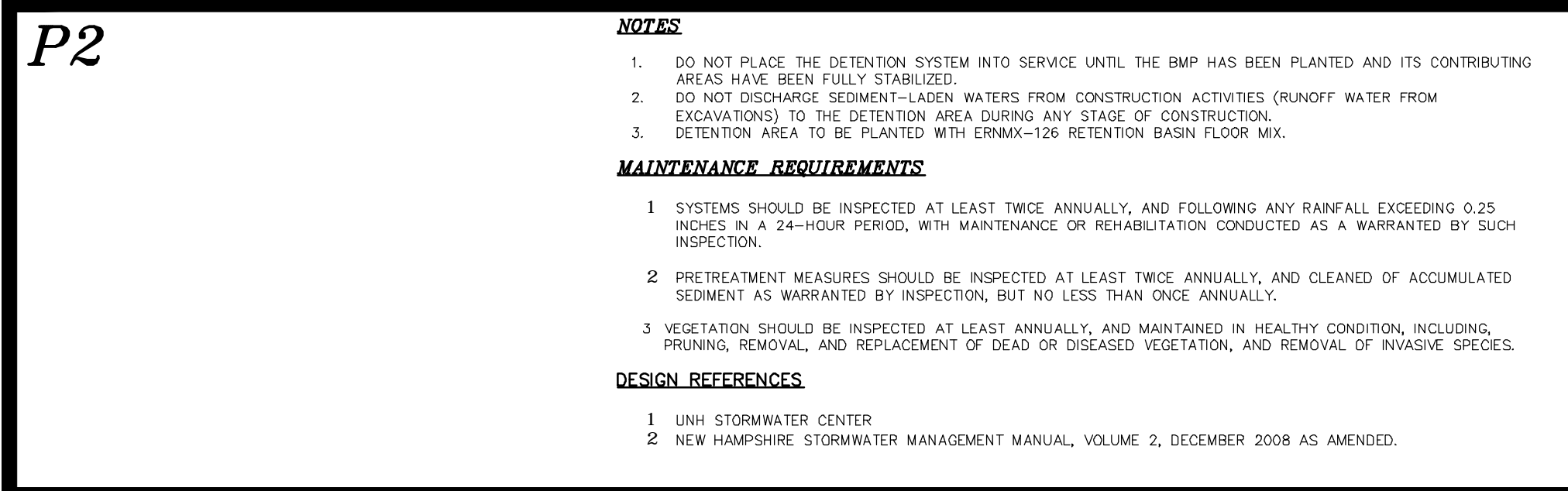
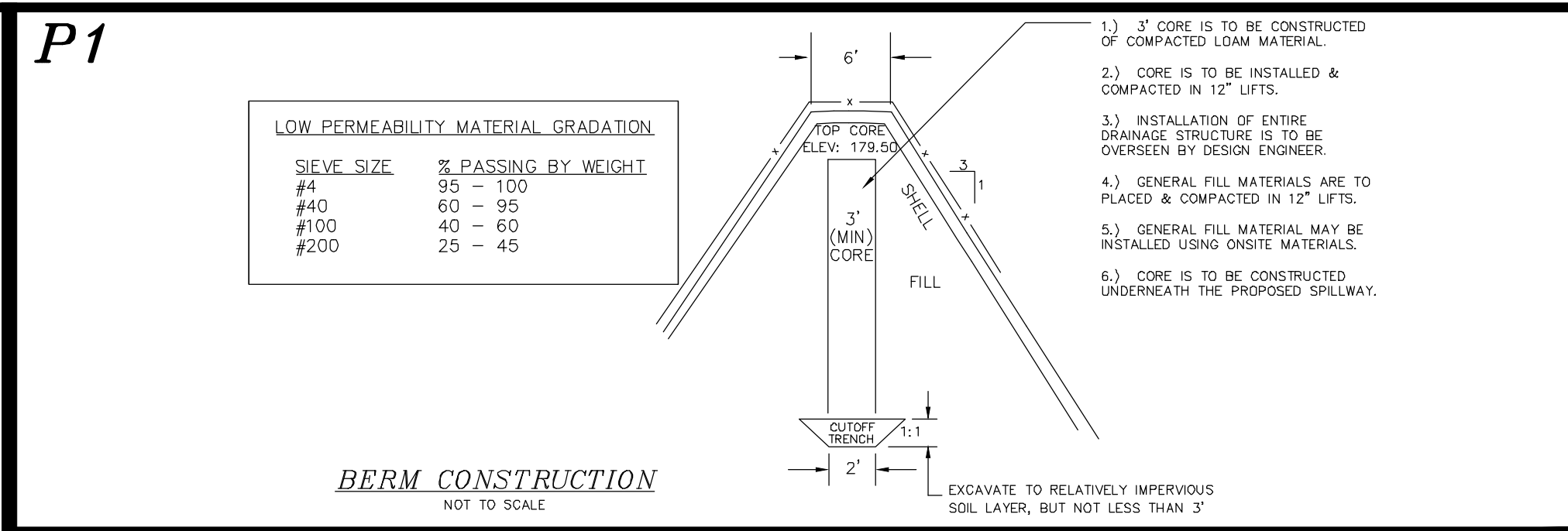
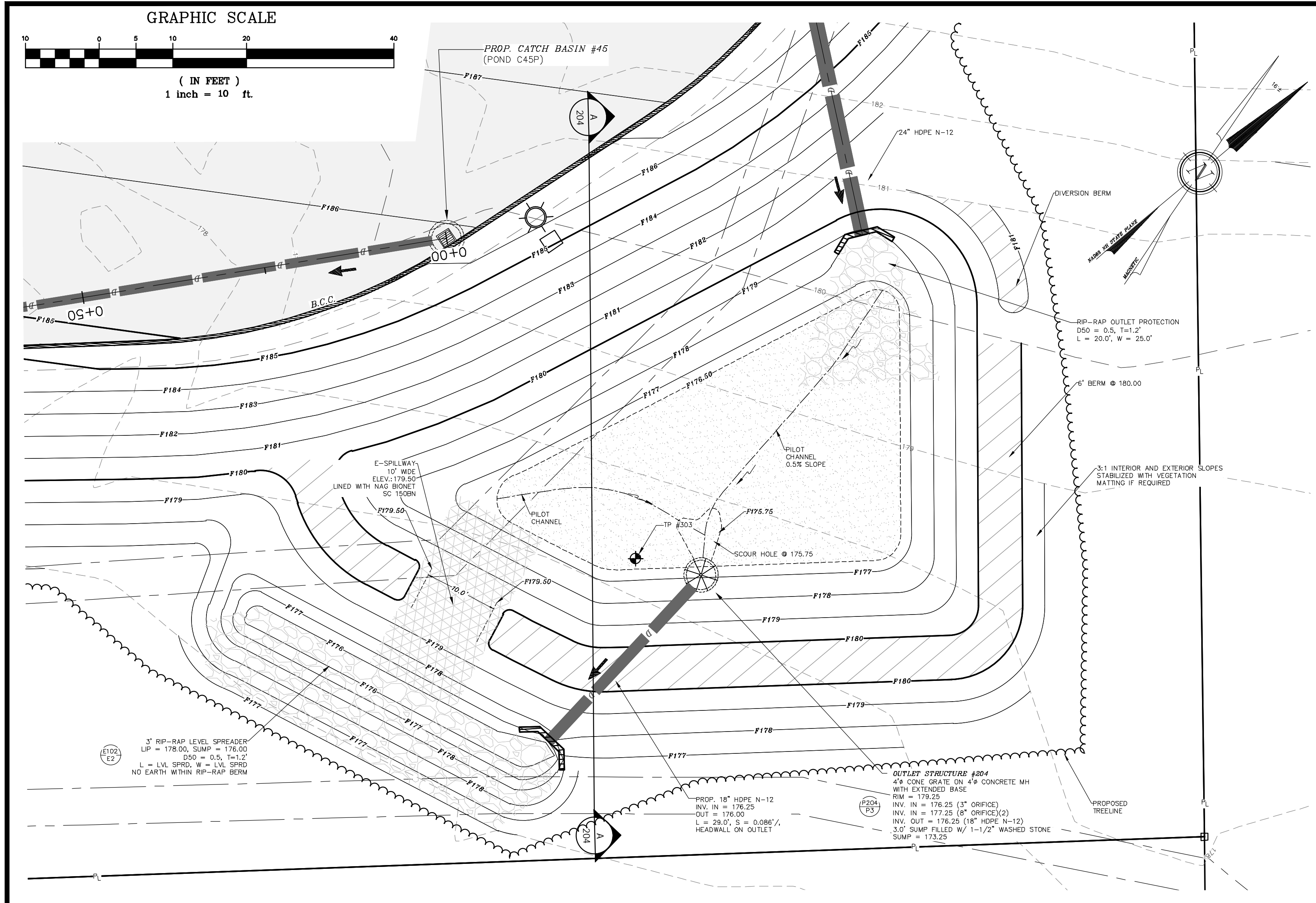
EMERGENCY SPILLWAY PROFILE

REVISION	DATE	DESCRIPTION

INFILTRATION POND #203
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017





REVISION	DATE	DESCRIPTION

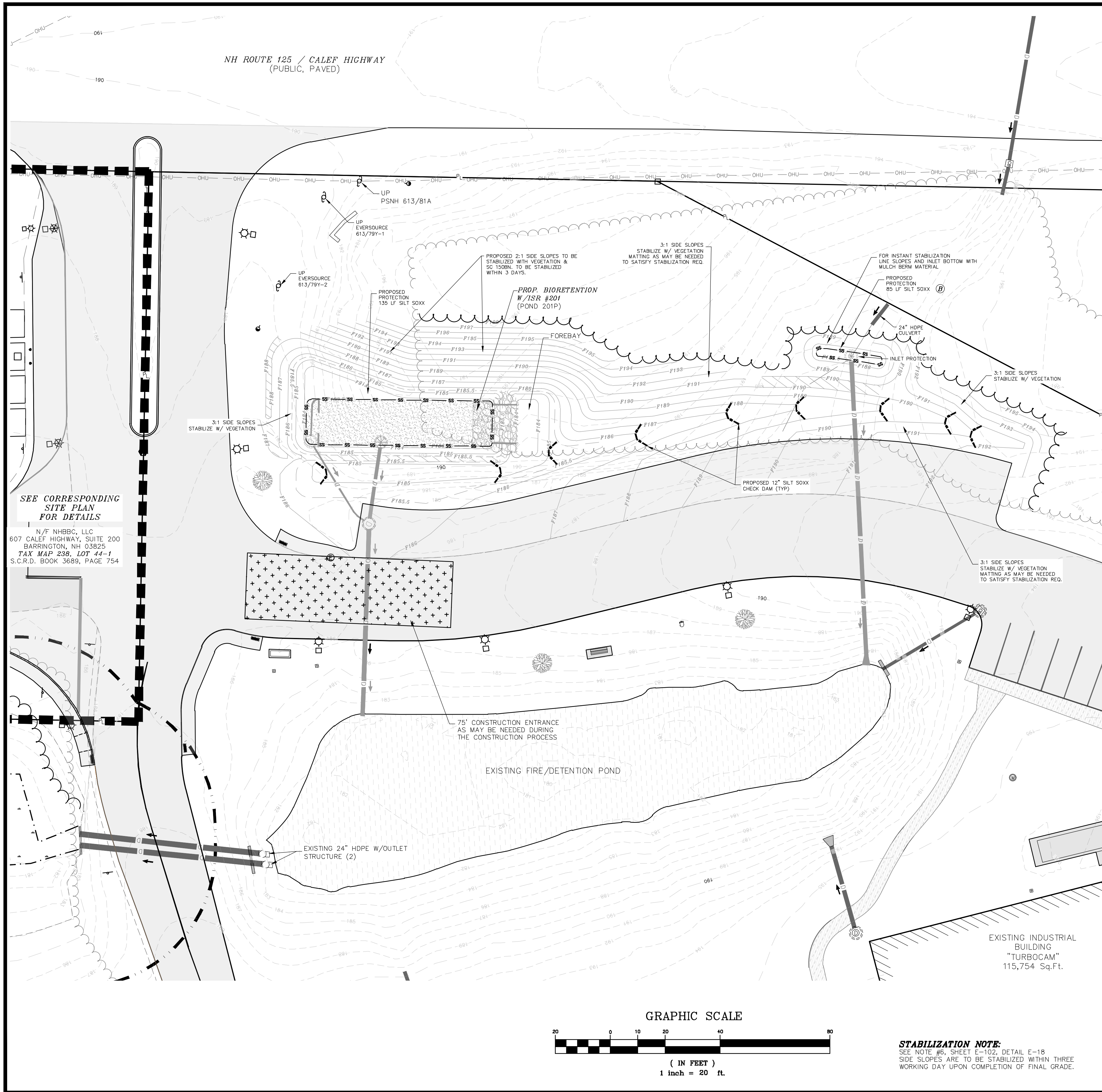
DETENTION POND #204
FOR TUREOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
74X MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 10 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

P-204

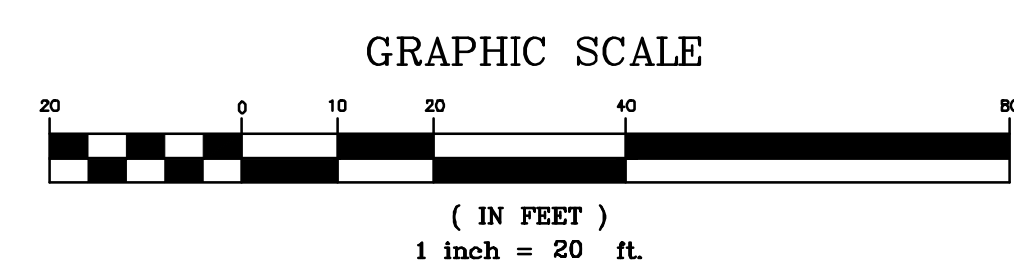
SHEET 26 OF 43



NH ROUTE 125 / CALEF HIGHWAY
(PUBLIC, PAVED)

SEE CORRESPONDING
SITE PLAN
FOR DETAILS

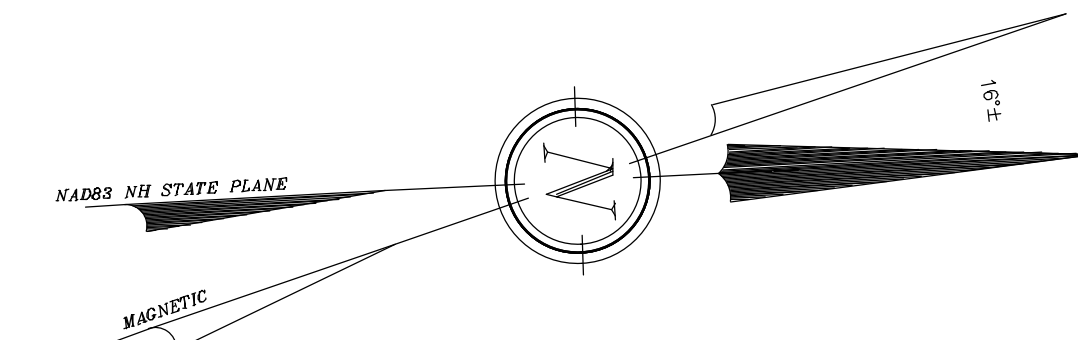
N/F NHBBC, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
TAX MAP 238, LOT 44-1
S.C.R.D. BOOK 3689, PAGE 754



STABILIZATION NOTE:
SEE NOTE #6, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE
WORKING DAY UPON COMPLETION OF FINAL GRADE.

NOTES:

- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 2.) TAX MAP 238, LOT 44
- 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
- 4.) S.C.R.D. BOOK 2948, PAGE 332
- 5.) EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE TOWN OF BARRINGTON, LAND USE DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE PROJECT IS COMPLETED.
- 6.) PER EPA CGP Z.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&S PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATIONS DO NOT OCCUR.
- 7.) CONTRACTOR IS REQUIRED TO HAVE A CONSTRUCTION ENTRANCE 3" ANGULAR STONE IS REQUIRED.
- 8.) CONTRACTOR IS RESPONSIBLE FOR SWEEPING THE DRIVEWAY TO ENSURE THAT NO SEDIMENT IS BEING TRACKED ONTO CALEF HIGHWAY OR THE REMAINDER OF THE EXISTING TURBOCAM SITE.
- 9.) CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE INLET PROTECTION ONCE INSTALLED.
- 10.) FUGITIVE DUST IS TO BE CONTROLLED THROUGHOUT THE CONSTRUCTION PROCESS IN ACCORDANCE WITH ENV-A 1000.
- 11.) CONTRACTOR IS TO MEET THE REQUIREMENTS SPECIFIED IN RSA 430:51-57 AND AGR 3800, RELATING TO INVASIVE SPECIES.
- 12.) CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE WATER QUALITY FROM ANY RUNOFF DURING THE CONSTRUCTION PROCESS, IN ACCORDANCE WITH ENV-WQ 1507, IN ORDER TO PREVENT VIOLATIONS OF THE STORMWATER QUALITY STANDARDS.
- 13.) CONTRACTOR CAN USE SILT FENCE, SILT SOXX OR MULCH BERM FOR PERIMETER CONTROL. SPECIFIC PRACTICES MAY BE SPECIFIED, SEE PLAN. SILT FENCE OR SILT SOXX REQUIRED WHEN UPGRADIENT DISTURBED SOIL IS GREATER THAN 5%. MULCH BERM CAN BE USED WHEN THE UPGRADIENT DISTURBED SOIL IS 5% OR LESS.



SOILS & DEWATERING:

313	DEERFIELD	LOAMY SAND	K= 0.15
12	HINCKLEY	LOAMY SAND	K= 0.17
26	WINDSOR	LOAMY SAND	K= 0.17

SEE SITE SPECIFIC SOILS MAP (SSSM)
SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. &
ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2022 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED FEBRUARY 17, 2022 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

LEGEND:

- GRANITE/CONCRETE BOUND ~FND~
- ⊕ PROPOSED CATCH BASIN W/ STRUCTURE
- ⊗ PROPOSED STORMWATER BMP OUTLET STRUCTURE
- ⊙ TEMPORARY BENCHMARK (T.B.M.)
- ⊕ DETAIL SHEET / DETAIL
- POORLY DRAINED JURISDICTIONAL WETLAND
- 50' WETLAND BUFFER
- CONTOUR MINOR, EXISTING
- CONTOUR MAJOR, EXISTING
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- CENTER LINE
- EXISTING DRAINAGE LINE
- PROPOSED DRAINAGE LINE
- RIP RAP
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- BERM
- SILT FENCE / EROSION MIX BERM
- FILTERBOX 8" - 12" SILT SOXX AS SPECIFIED
- ORANGE CONSTRUCTION PERIMETER FENCE
- PERIMETER CONTROL
- ⊕ STORMWATER BMP PROTECTION
- ⊙ PERIMETER CONTROL
- ⊙ RESIDENTIAL/ROADWAY CONSTRUCTION

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

EROSION AND SEDIMENT CONTROL PLAN

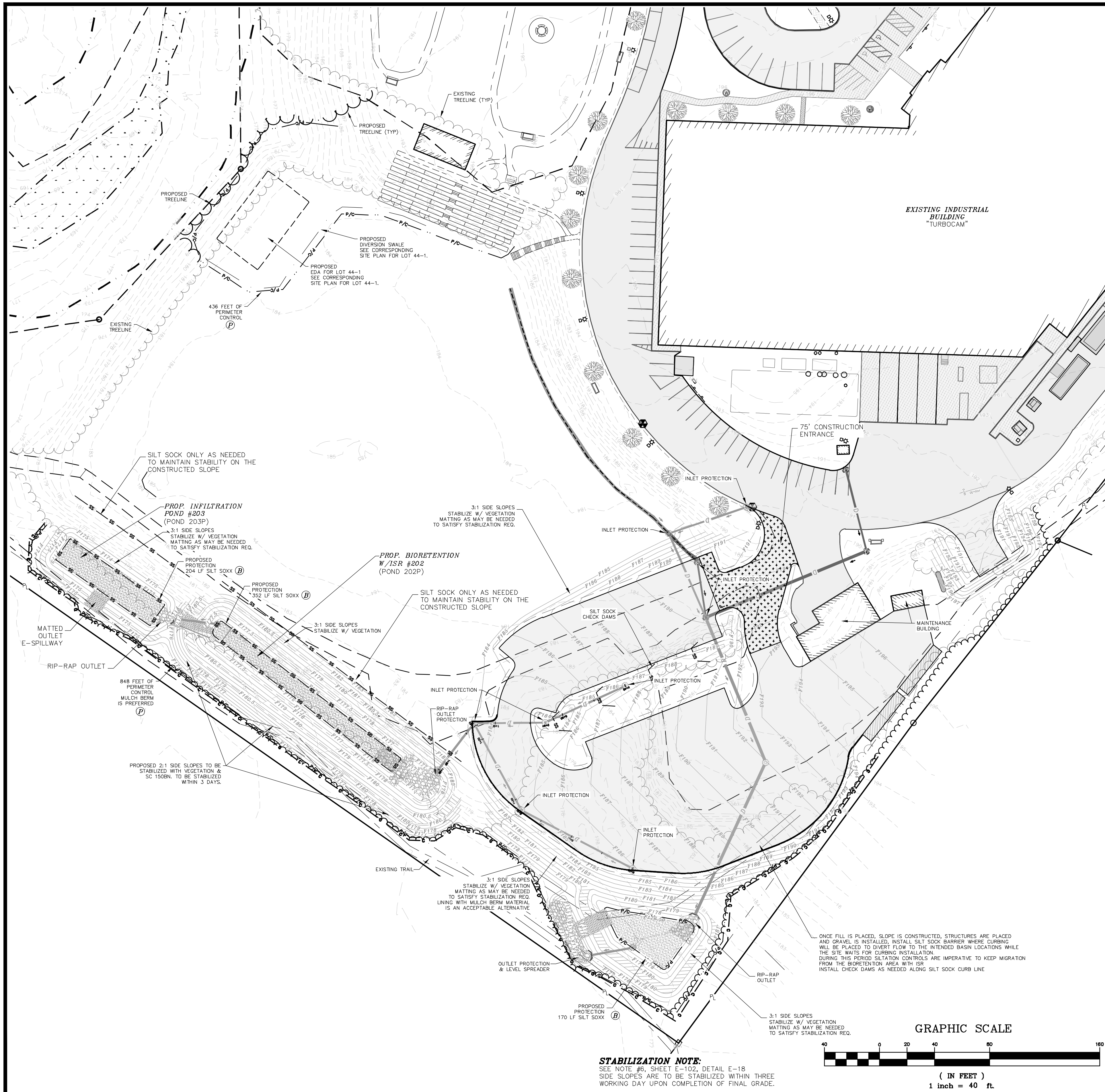
REVISION	DATE	DESCRIPTION

FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

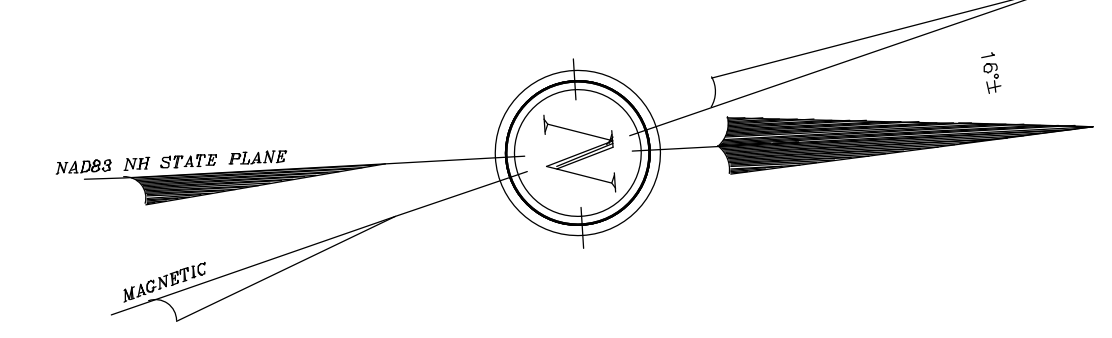
KENNETH A. BERRY
No. 14243
PROFESSIONAL ENGINEER

SHEET 27 OF 43



NOTES:

- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 1A.) APPLICANT: TURBOCAM, INC.
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
- 2.) TAX MAP 238, LOT 44
- 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
- 4.) S.C.R.D. BOOK 2948, PAGE 332
- 5.) EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE TOWN OF BARRINGTON, LAND USE DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE PROJECT IS COMPLETED.
- 6.) PER EPA CGP 2.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&SC PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATIONS DO NOT OCCUR.
- 7.) CONTRACTOR IS REQUIRED TO HAVE A CONSTRUCTION ENTRANCE 3" ANGULAR STONE IS REQUIRED.
- 8.) CONTRACTOR IS RESPONSIBLE FOR SWEEPING THE DRIVEWAY TO ENSURE THAT NO SEDIMENT IS BEING TRACKED ONTO CALEF HIGHWAY OR THE REMAINDER OF THE EXISTING TURBOCAM SITE.
- 9.) CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE INLET PROTECTION ONCE INSTALLED.
- 10.) FUGITIVE DUST IS TO BE CONTROLLED THROUGHOUT THE CONSTRUCTION PROCESS IN ACCORDANCE WITH ENV-A 1000.
- 11.) CONTRACTOR IS TO MEET THE REQUIREMENTS SPECIFIED IN RSA 430:51-57 AND AGR 3800, RELATING TO INVASIVE SPECIES.
- 12.) CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE WATER QUALITY FROM ANY RUNOFF DURING THE CONSTRUCTION PROCESS, IN ACCORDANCE WITH ENV-WQ 1507, IN ORDER TO PREVENT VIOLATIONS OF THE STORMWATER QUALITY STANDARDS.
- 13.) CONTRACTOR CAN USE SILT FENCE, SILT SOXX OR MULCH BERM FOR PERIMETER CONTROL. SPECIFIC PRACTICES MAY BE SPECIFIED, SEE PLAN. SILT FENCE OR SILT SOXX REQUIRED WHEN UPGRADING DISTURBED SOIL IS GREATER THAN 5%. MULCH BERM CAN BE USED WHEN THE UPGRADING DISTURBED SOIL IS 5% OR LESS.



SOILS & DEWATERING:

313	DEERFIELD	LOAMY SAND	K= 0.15
12	HINCKLEY	LOAMY SAND	K= 0.17
26	WINDSOR	LOAMY SAND	K= 0.17

SEE SITE SPECIFIC SOILS MAP (SSSM)
SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

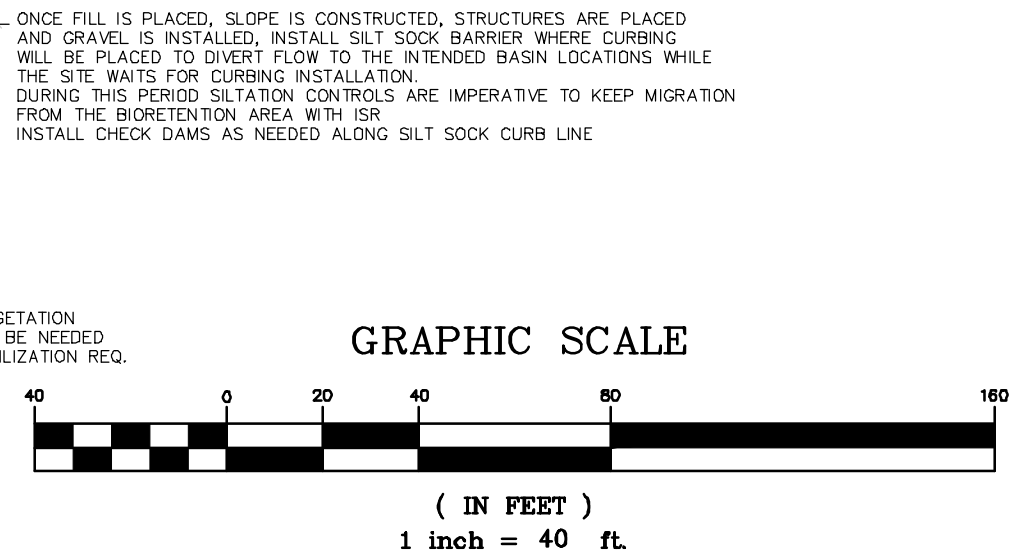
CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2022 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED FEBRUARY 17, 2022 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

LEGEND:

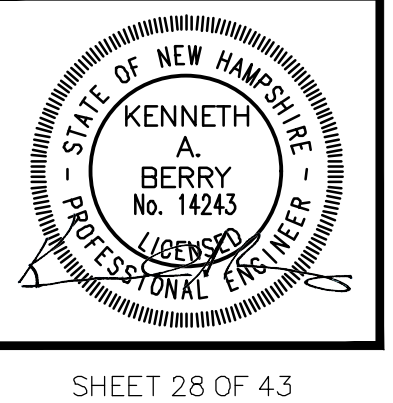
- GRANITE/CONCRETE BOUND ~FND~
- PROPOSED CATCH BASIN W/ STRUCTURE
- PROPOSED STORMWATER BMP OUTLET STRUCTURE
- TEMPORARY BENCHMARK (T.B.M.)
- DETAIL SHEET / DETAIL
- POORLY DRAINED JURISDICTIONAL WETLAND
- 50' WETLAND BUFFER
- CONTOUR MINOR, EXISTING
- CONTOUR MAJOR, EXISTING
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- CENTER LINE
- EXISTING DRAINAGE LINE
- PROPOSED DRAINAGE LINE
- RIP RAP
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- BERM
- SILT FENCE / EROSION MIX BERM
- FILTERTEX 8" - 12" SILT SOXX AS SPECIFIED
- ORANGE CONSTRUCTION PERIMETER FENCE
- PERIMETER CONTROL
- STORMWATER BMP PROTECTION
- RESIDENTIAL/ROADWAY CONSTRUCTION



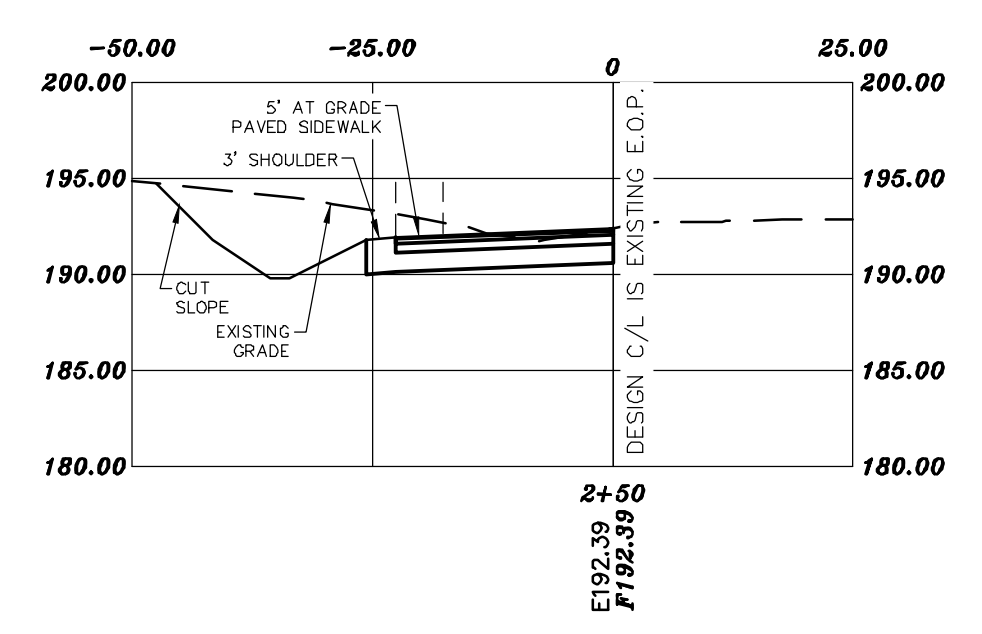
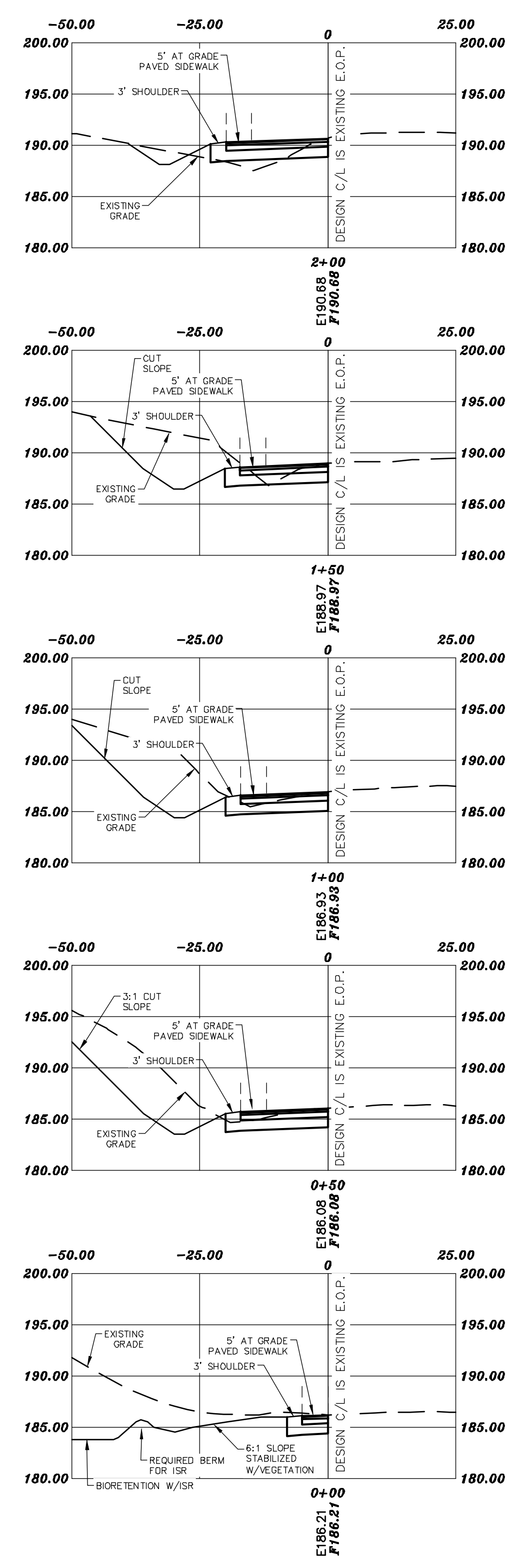
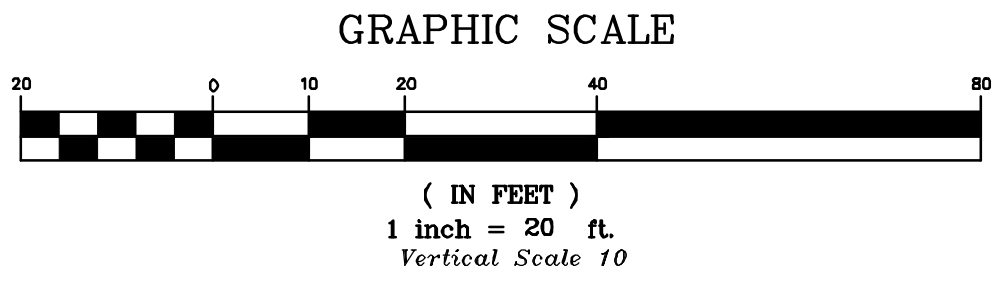
STABILIZATION NOTE:
SEE NOTE #3, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE WORKING DAY UPON COMPLETION OF FINAL GRADE.

EROSION AND SEDIMENT CONTROL PLAN
 FOR
 TURBOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
 TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 40 FT.
 DATE : APRIL 17, 2024
 FILE NO. : DB 2023 - 017



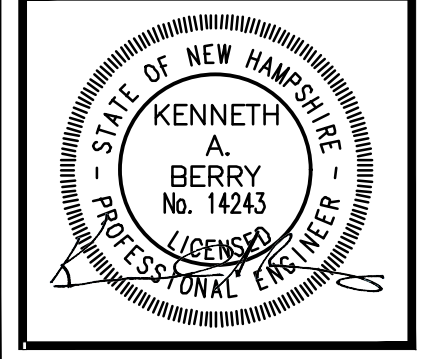
FOR TOWN APPROVAL PURPOSES :
 THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

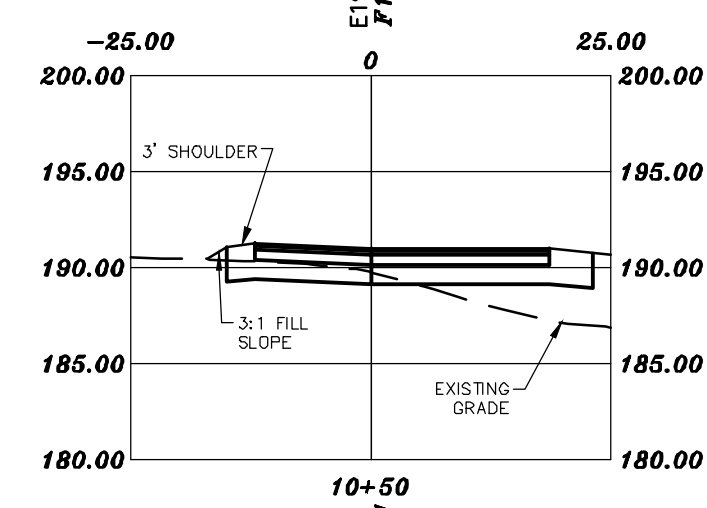
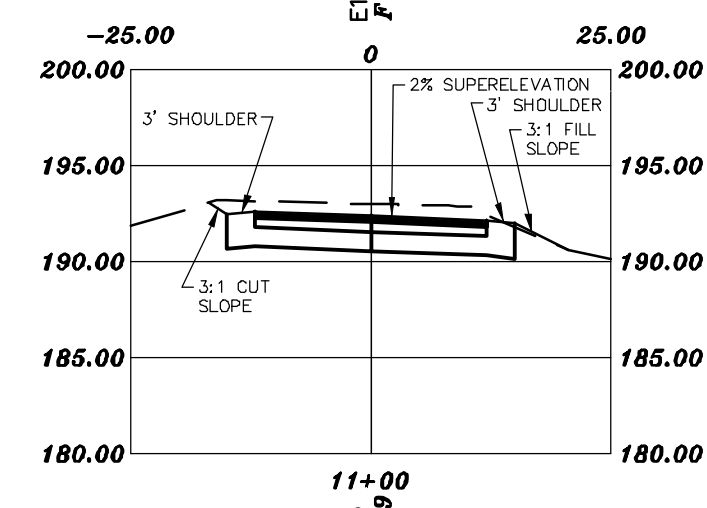
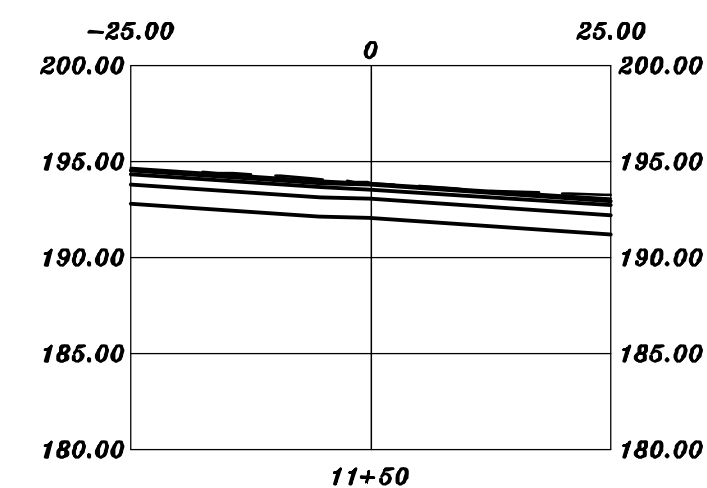
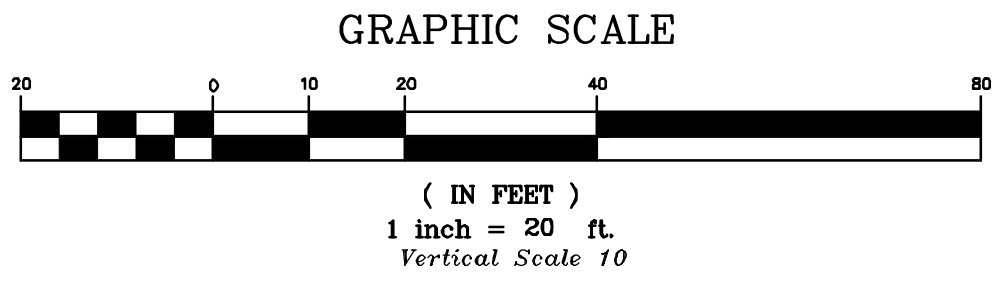


REVISION	DATE	DESCRIPTION

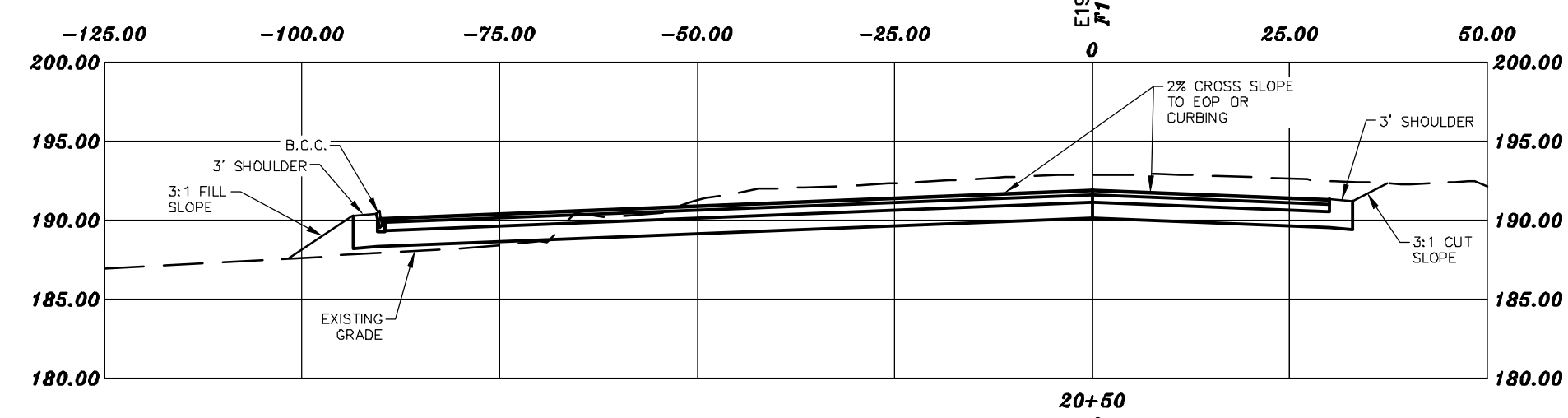
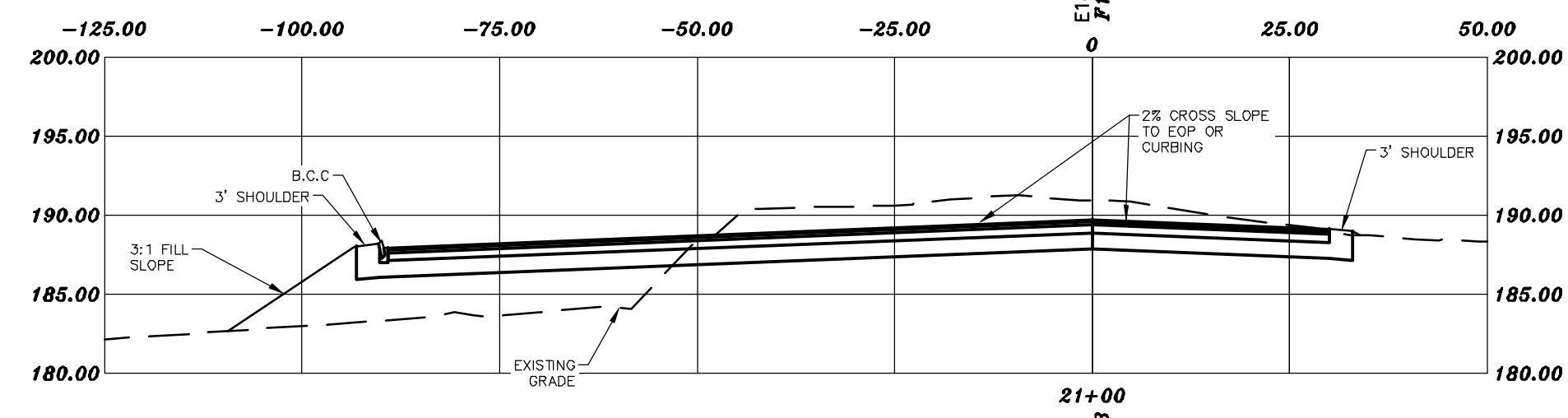
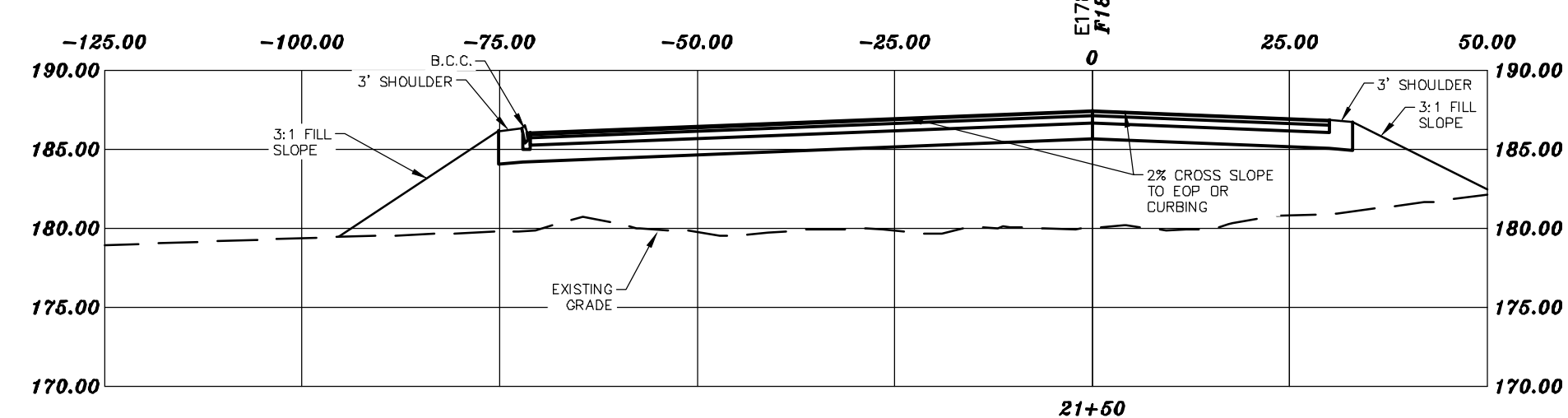
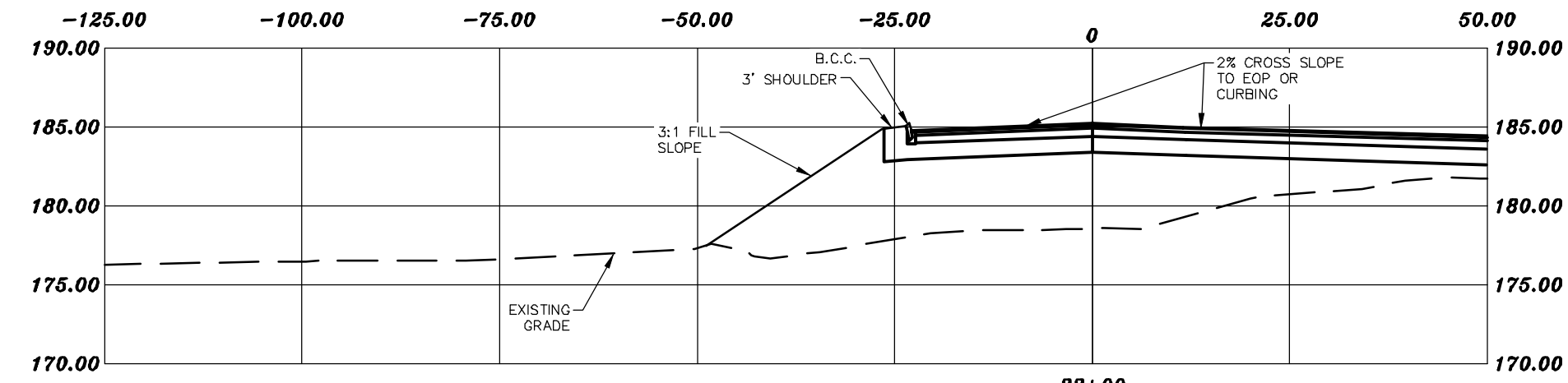
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

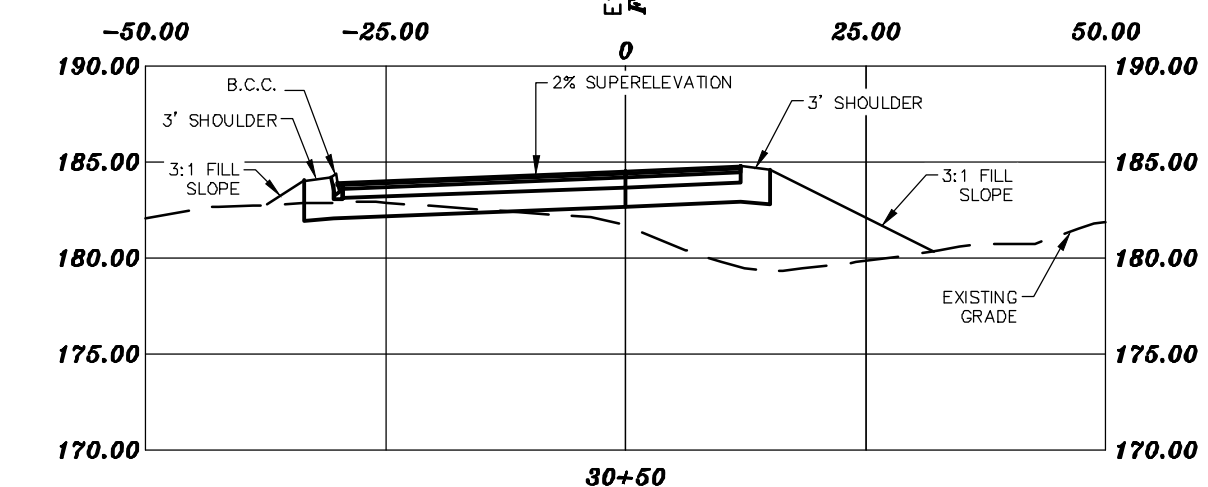
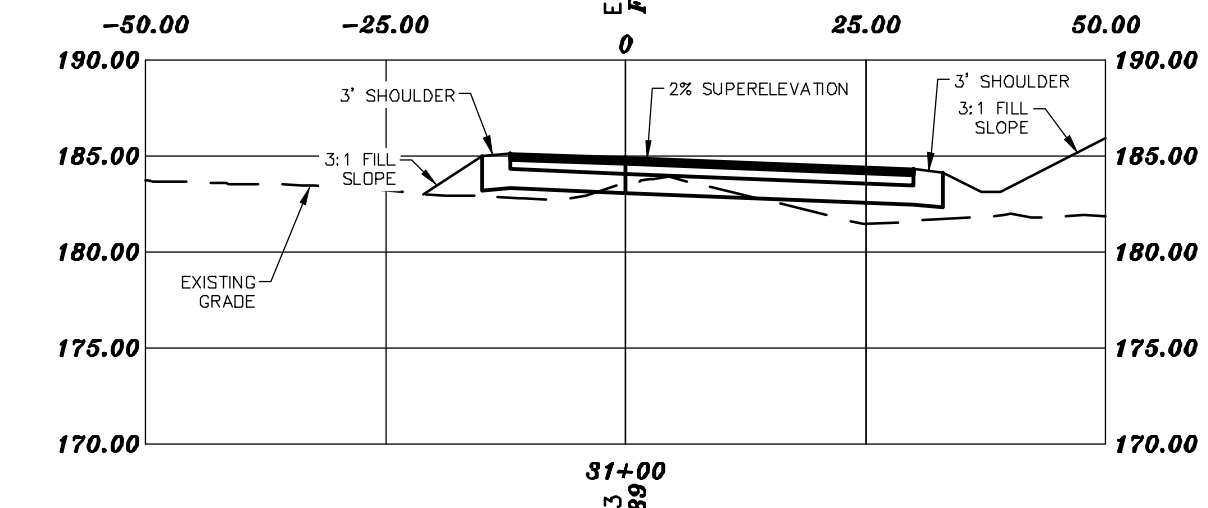
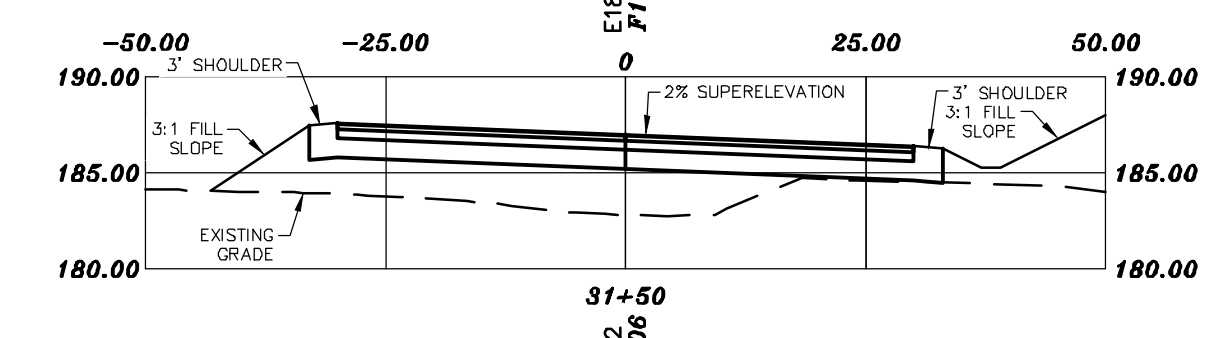
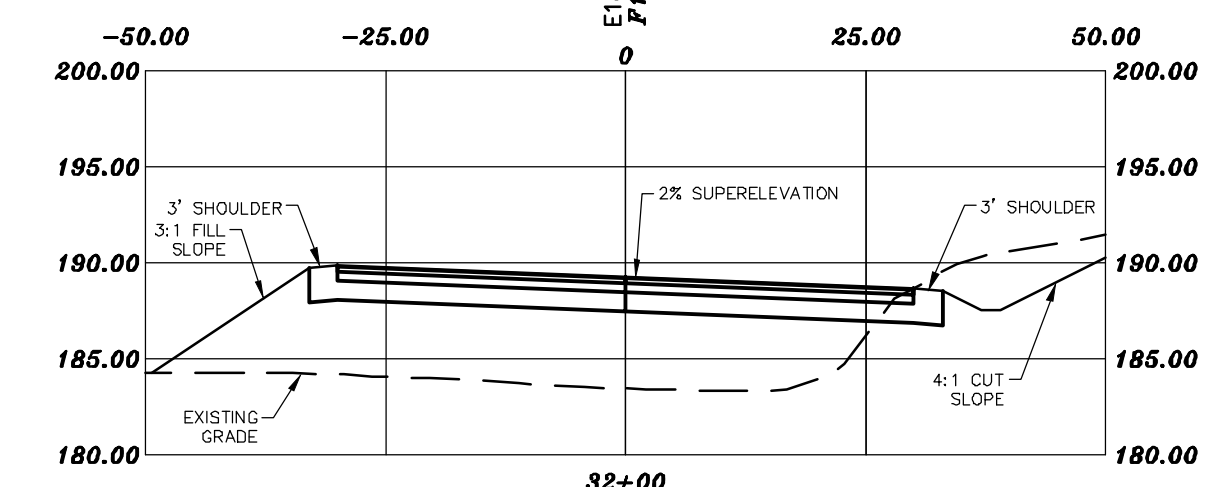
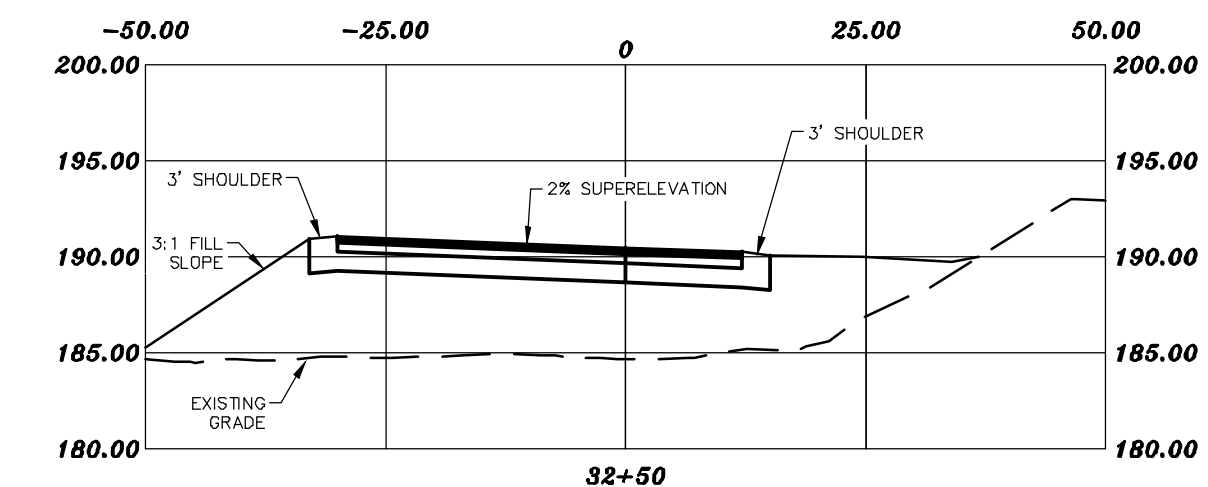




REAR PARKING
ENTRANCE AISLE



REAR PARKING
MIDDLE / EASTERLY AISLES

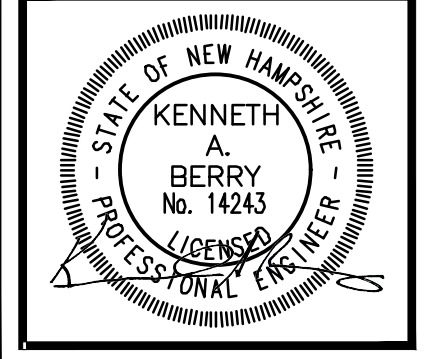


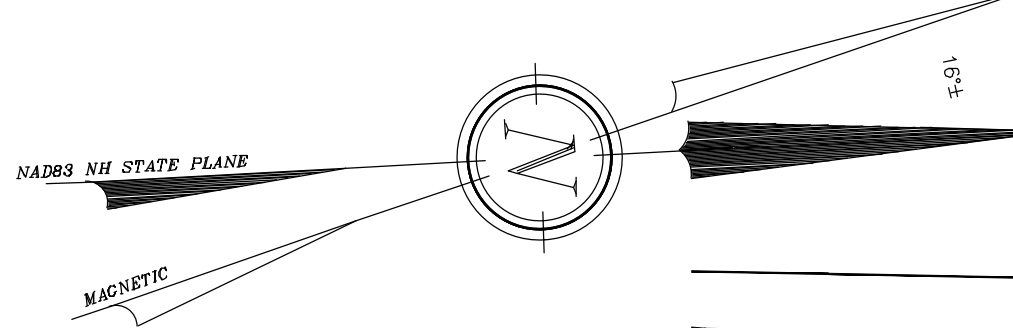
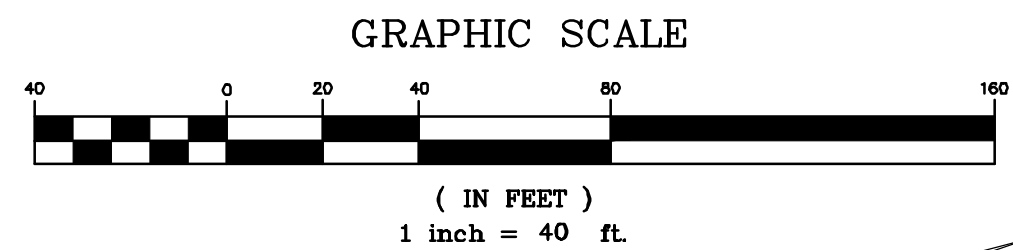
REAR PARKING
WESTERLY AISLE

REVISION	DATE	DESCRIPTION

PARKING CROSS SECTIONS 10+00 - END
FOR
TUBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
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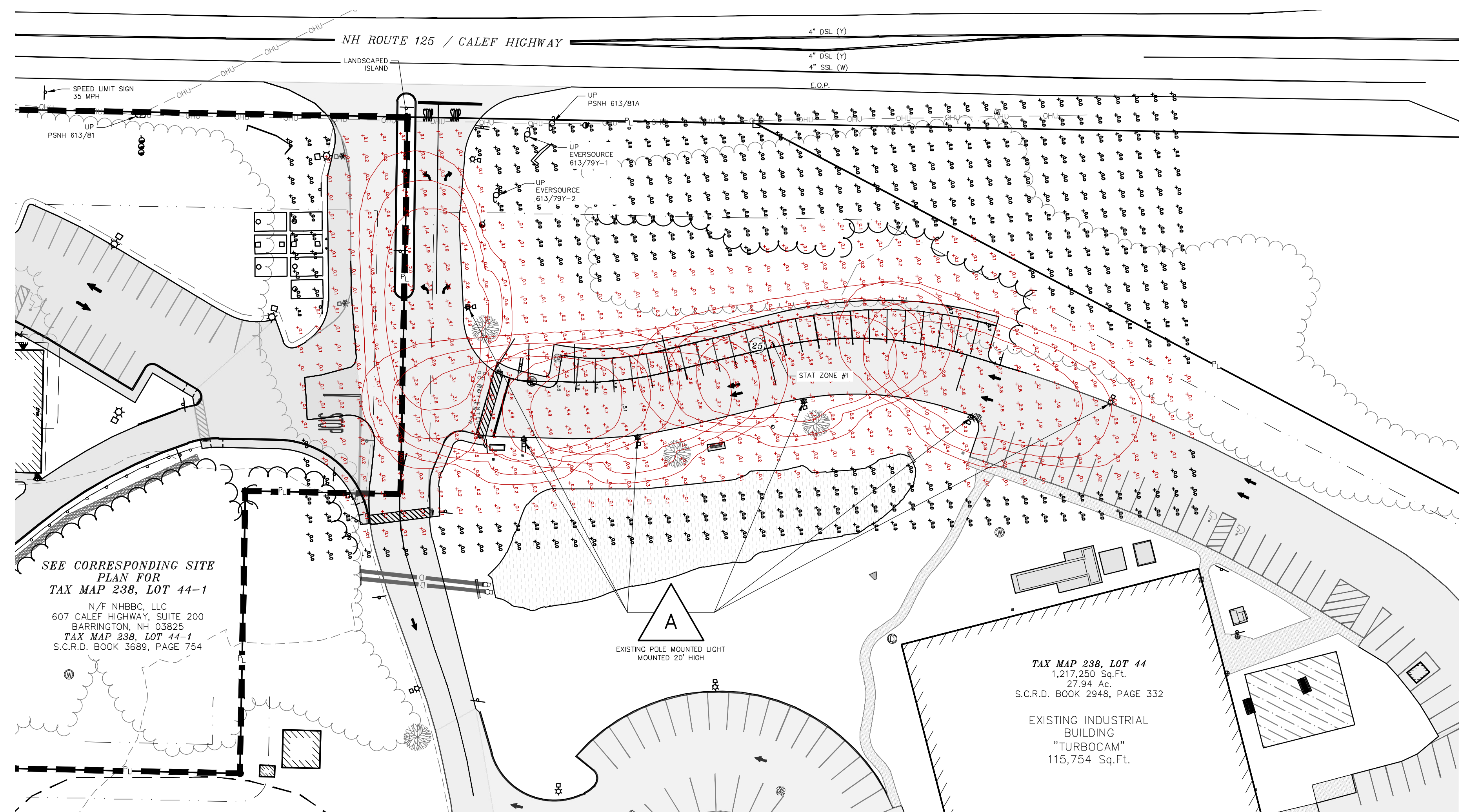
Schedule: Based on original design specifications

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
⊠	A		5	HADCO Independence	V15A-TS-N-D-150S-208V	V15A-TS-N-D-150S-208V	1	15,000		150

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
STAT ZONE #1	+	2 fc	3.6 fc	0.7 fc	5.1:1	2.9:1

WAIVER REQUEST:
 SITE REVIEW REGULATION ARTICLE 4.12.2 TABLE #8: UTILIZE MEDIUM ACTIVITY LIGHTING LEVELS FOR A LOW ACTIVITY USE & AVERAGE LEVELS ABOVE PRESCRIBED; PENDING



SEE CORRESPONDING SITE PLAN FOR TAX MAP 238, LOT 44-1
 N/F NHBBC, LLC
 607 CALEF HIGHWAY, SUITE 200
 BARRINGTON, NH 03825
 TAX MAP 238, LOT 44-1
 S.C.R.D. BOOK 3689, PAGE 754

TAX MAP 238, LOT 44
 1,217,250 Sq.Ft.
 27.94 Ac.
 S.C.R.D. BOOK 2948, PAGE 332
 EXISTING INDUSTRIAL BUILDING "TURBOCAM"
 115,754 Sq.Ft.

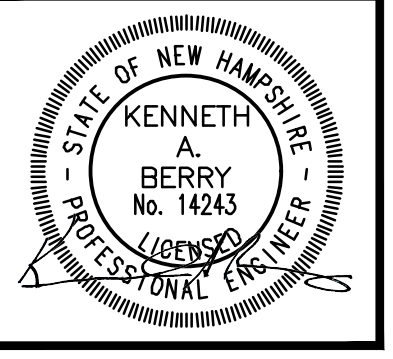
- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM INTERNATIONAL
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2.) TAX MAP 238, LOT 44
 - 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - 4.) S.C.R.D. BOOK 2948, PAGE 332
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING LIGHTING FOR THE PROPOSED PARKING AREA ON THE WEST SIDE OF A SITE PLAN PREPARED FOR TAX MAP 238, LOT 44.

- LEGEND:**
- ⊠ GRANITE/CONCRETE BOUND ~FND~
 - ⊠ REBAR ~FND~
 - ⊠ UTILITY POLE
 - ⊠ EXISTING LIGHT TYPE "A" MOUNTED LIGHT POLE ● 20'
 - ⊠ SIGNAGE
 - EXISTING CONSERVATION EASEMENT LINE

REVISION	DATE	DESCRIPTION

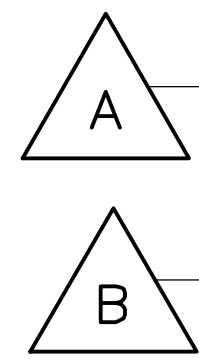
LIGHTING PLAN WEST
 FOR
 TURBOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
 TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 40 FT.
 DATE : APRIL 17, 2024
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FOR PLANNING BOARD APPROVAL PURPOSES:

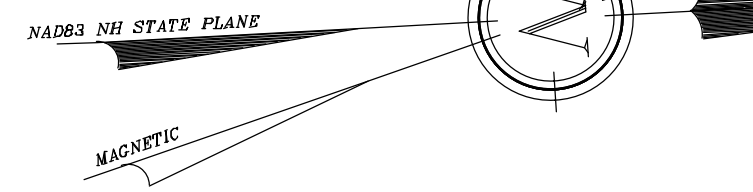
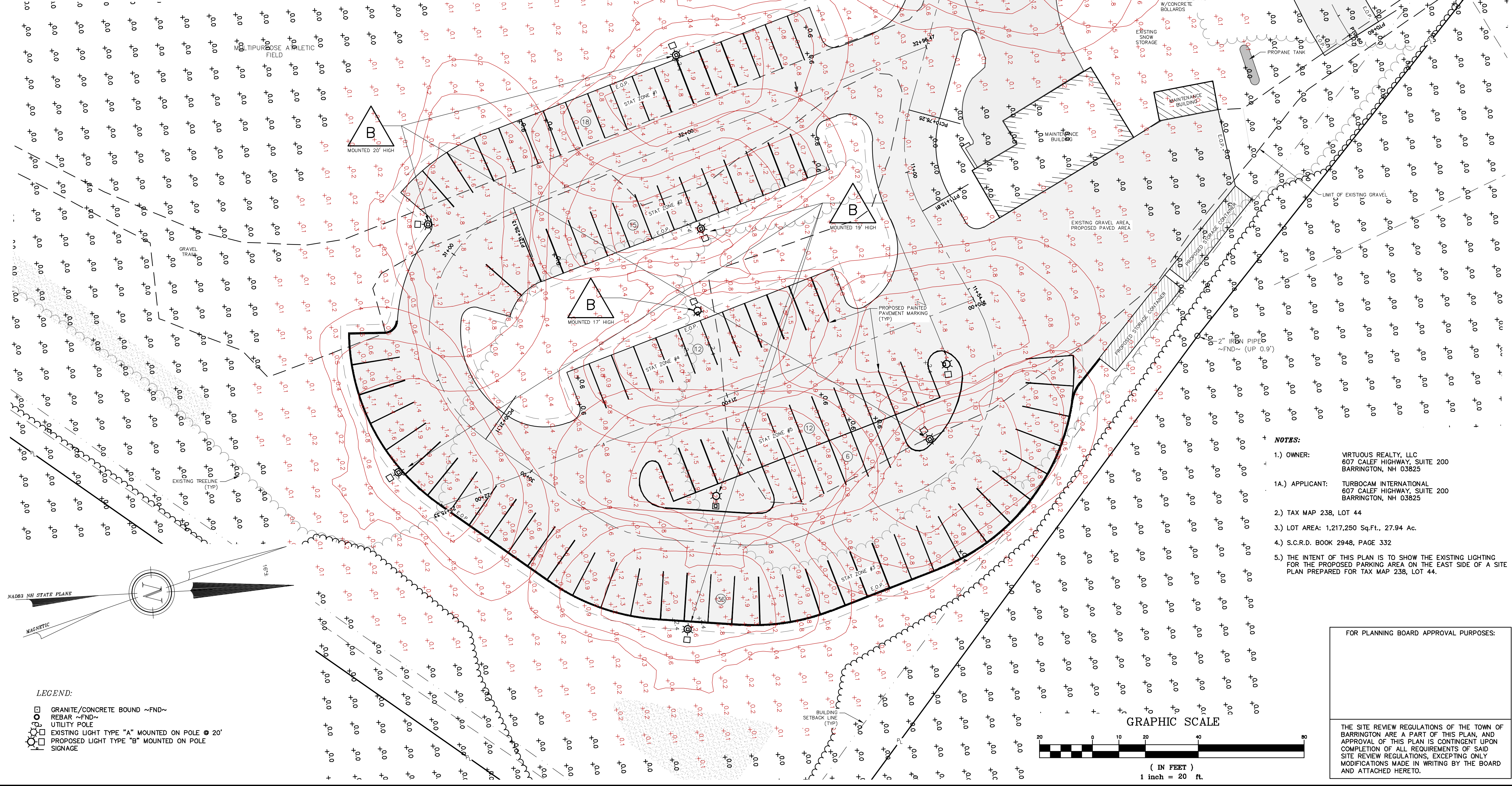
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
A	A		3	HADCO Independence	V15A-TS-N-D-1505-20BV	V15A-TS-N-D-1505-20BV	1	15,000		150
B	B		9	Lithonia Lighting	DSX1 LED P1 30K T3M SOLAR	DSX1 LED P1 30K T3M SOLAR	1	6279	1	54

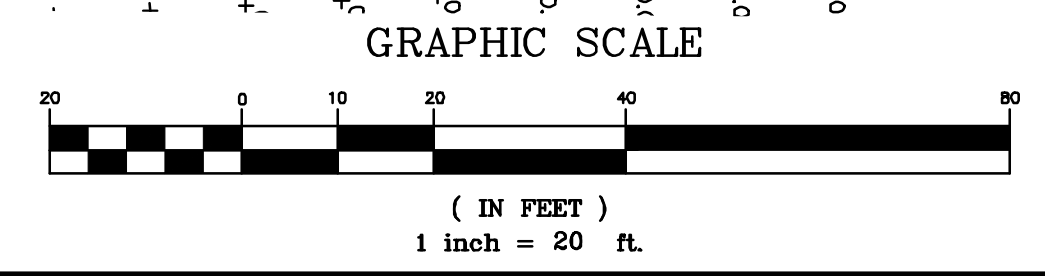
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
STAT ZONE #1	+	1.2 fc	2.4 fc	0.6 fc	4.0:1	2.0:1
STAT ZONE #2	+	1.2 fc	2.4 fc	0.6 fc	4.0:1	2.0:1
STAT ZONE #3	+	1.1 fc	2.4 fc	0.4 fc	6.0:1	2.8:1
STAT ZONE #4	+	1.5 fc	2.4 fc	0.6 fc	4.0:1	2.5:1
STAT ZONE #5	+	1.2 fc	2.4 fc	0.6 fc	4.0:1	2.0:1

WAIVER REQUEST:
 SITE REVIEW REGULATION ARTICLE 4.12.2 TABLE #8: UTILIZE MEDIUM ACTIVITY LIGHTING LEVELS FOR A LOW ACTIVITY USE & AVERAGE LEVELS ABOVE PRESCRIBED: PENDING



LEGEND:

- GRANITE/CONCRETE BOUND ~FND~
- REBAR ~FND~
- UTILITY POLE
- EXISTING LIGHT TYPE "A" MOUNTED ON POLE @ 20'
- PROPOSED LIGHT TYPE "B" MOUNTED ON POLE
- SIGNAGE



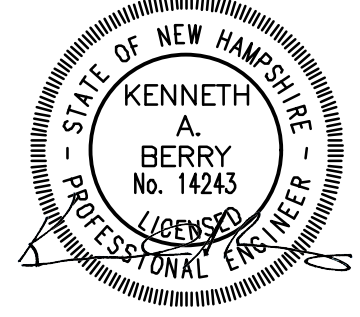
- NOTES:**
- 1) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A) APPLICANT: TURBOCAM INTERNATIONAL
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2) TAX MAP 238, LOT 44
 - 3) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - 4) S.C.R.D. BOOK 2948, PAGE 332
 - 5) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING LIGHTING FOR THE PROPOSED PARKING AREA ON THE EAST SIDE OF A SITE PLAN PREPARED FOR TAX MAP 238, LOT 44.

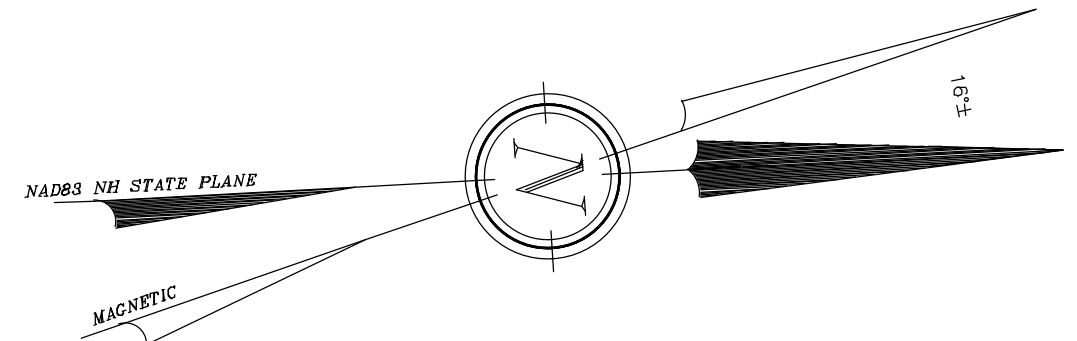
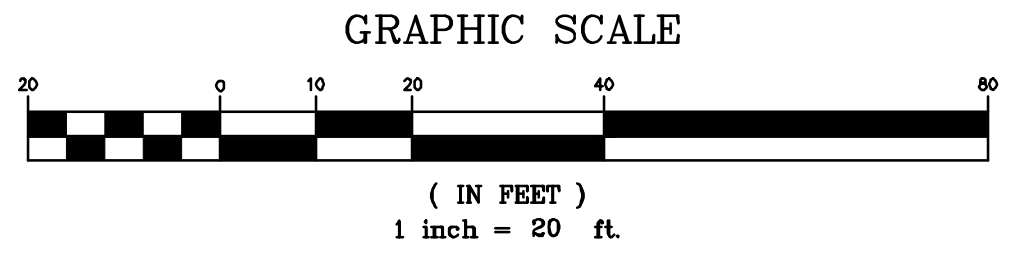
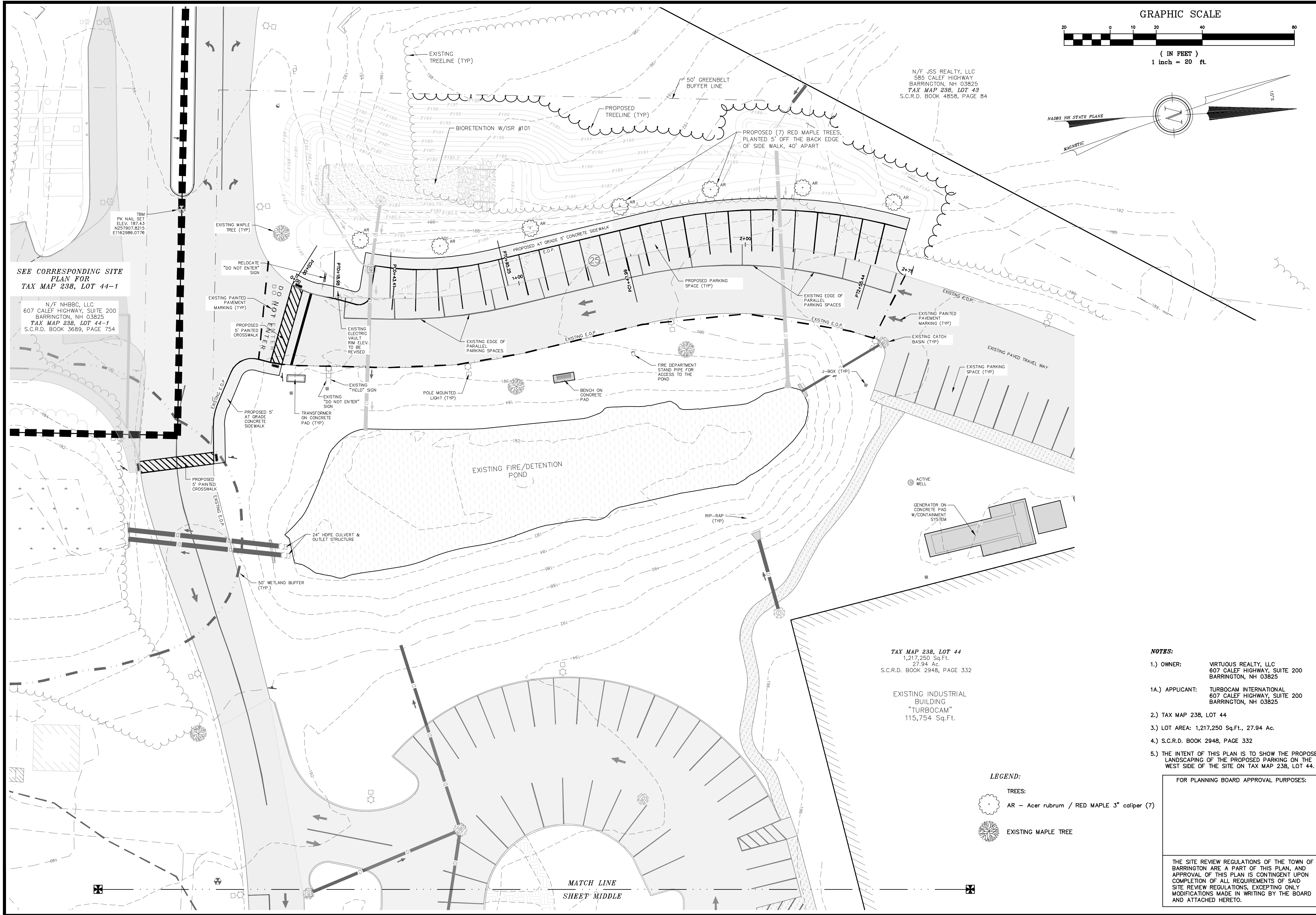
FOR PLANNING BOARD APPROVAL PURPOSES:
 THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

FOR
 TURBOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : APRIL 17, 2024
 FILE NO. : DB 2023 - 017





N/F JSS REALTY, LLC
585 CALEF HIGHWAY
BARRINGTON, NH 03825
TAX MAP 238, LOT 43
S.C.R.D. BOOK 4858, PAGE 84

SEE CORRESPONDING SITE PLAN FOR TAX MAP 238, LOT 44-1

N/F NHBBC, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
TAX MAP 238, LOT 44-1
S.C.R.D. BOOK 3689, PAGE 754

TBM
PK NAIL SET
ELEV. 187.43
N257907.8215
E1142986.0776

TAX MAP 238, LOT 44
1,217,250 Sq.Ft.
27.94 Ac.
S.C.R.D. BOOK 2948, PAGE 332

EXISTING INDUSTRIAL BUILDING
"TURBOCAM"
115,754 Sq.Ft.

- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM INTERNATIONAL
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2.) TAX MAP 238, LOT 44
 - 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - 4.) S.C.R.D. BOOK 2948, PAGE 332
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED LANDSCAPING OF THE PROPOSED PARKING ON THE WEST SIDE OF THE SITE ON TAX MAP 238, LOT 44.

- LEGEND:**
- TREES:
 - AR - Acer rubrum / RED MAPLE 3" caliper (7)
 - EXISTING MAPLE TREE

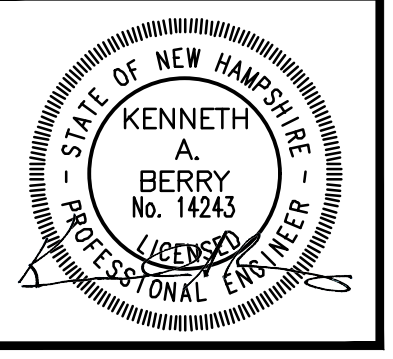
FOR PLANNING BOARD APPROVAL PURPOSES:

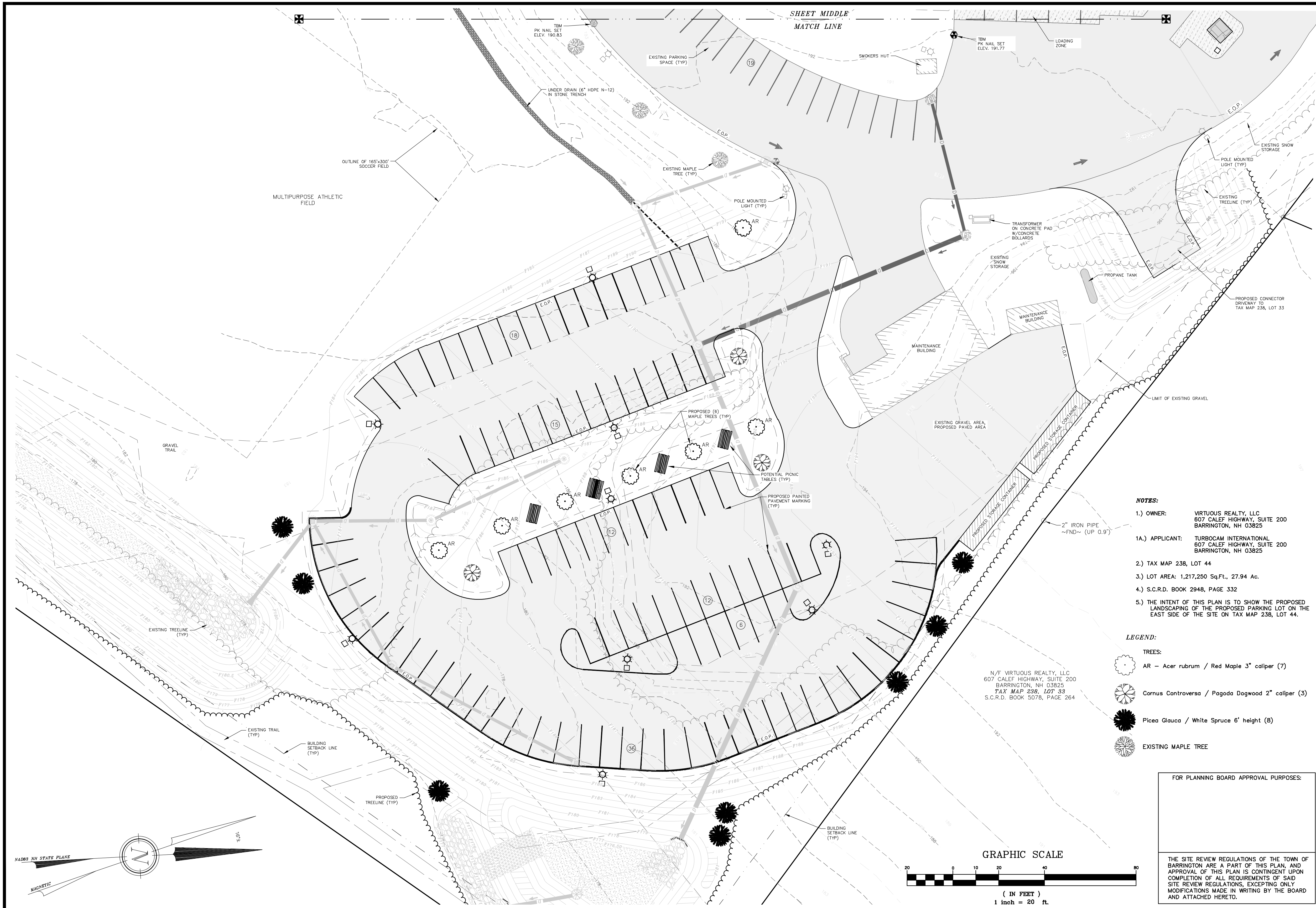
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REVISION	DATE	DESCRIPTION

LANDSCAPING PLAN - WEST
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017



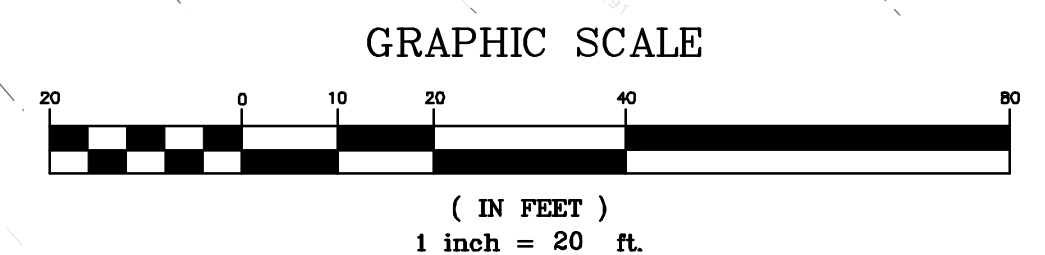


- NOTES:**
- 1.) OWNER: VIRTUOUS REALTY, LLC
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 1A.) APPLICANT: TURBOCAM INTERNATIONAL
607 CALEF HIGHWAY, SUITE 200
BARRINGTON, NH 03825
 - 2.) TAX MAP 238, LOT 44
 - 3.) LOT AREA: 1,217,250 Sq.Ft., 27.94 Ac.
 - 4.) S.C.R.D. BOOK 2948, PAGE 332
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED LANDSCAPING OF THE PROPOSED PARKING LOT ON THE EAST SIDE OF THE SITE ON TAX MAP 238, LOT 44.

- LEGEND:**
- TREES:**
- AR - Acer rubrum / Red Maple 3" caliper (7)
 - Cornus Controversa / Pagoda Dogwood 2" caliper (3)
 - Picea Glauca / White Spruce 6' height (8)
 - EXISTING MAPLE TREE

FOR PLANNING BOARD APPROVAL PURPOSES:

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

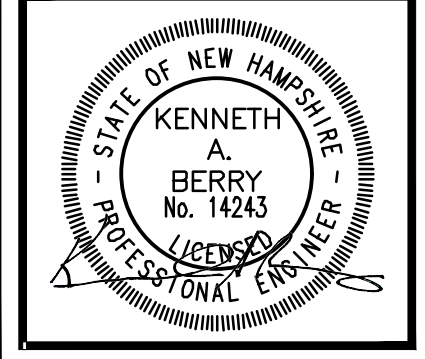


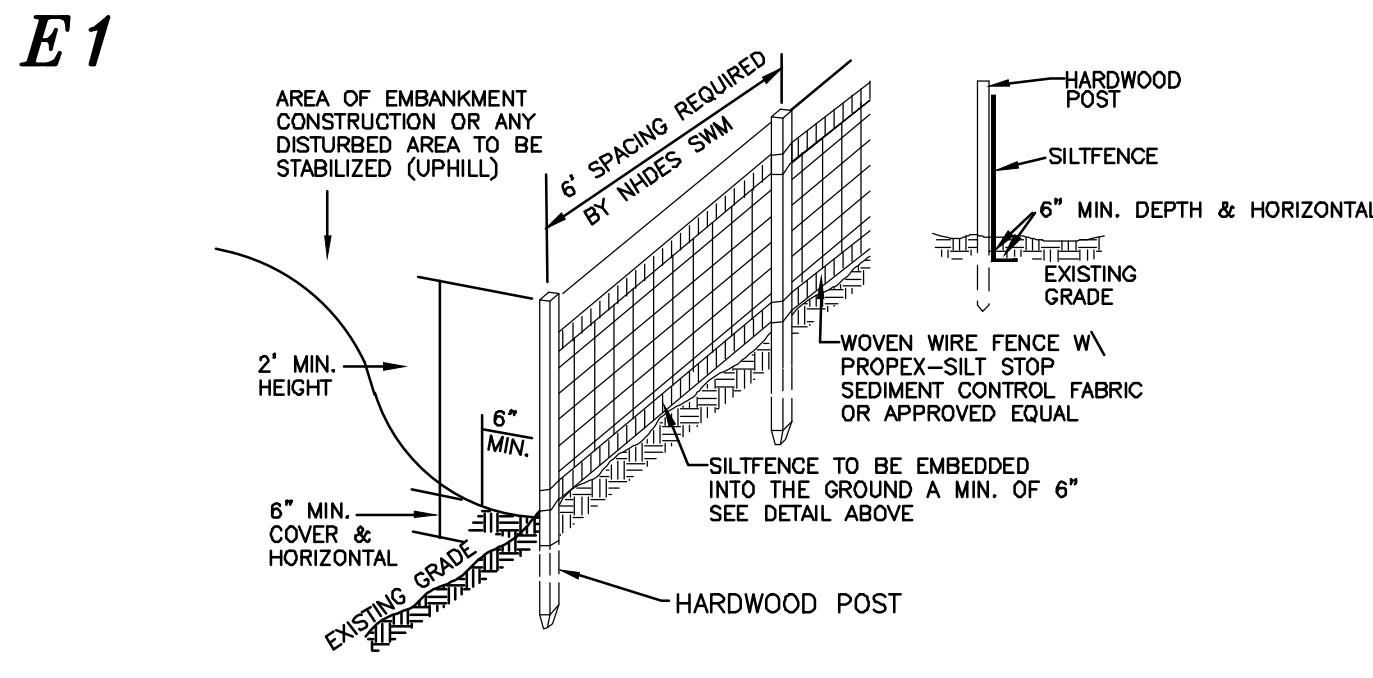
REVISION	DATE	DESCRIPTION

LANDSCAPING PLAN - EAST

FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

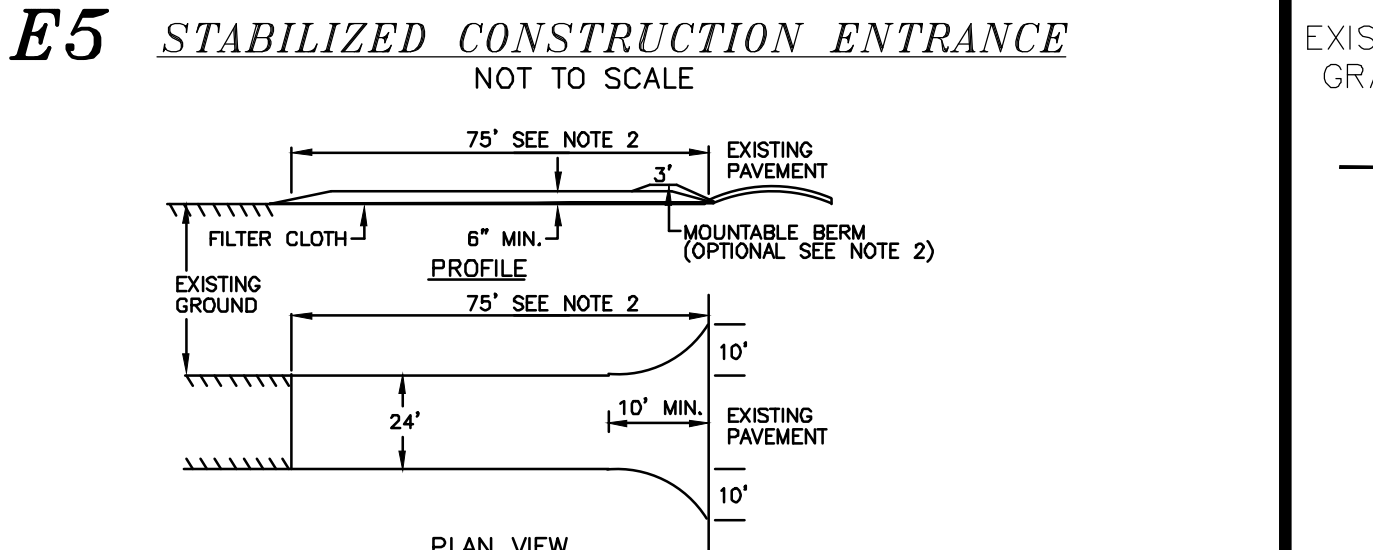
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017



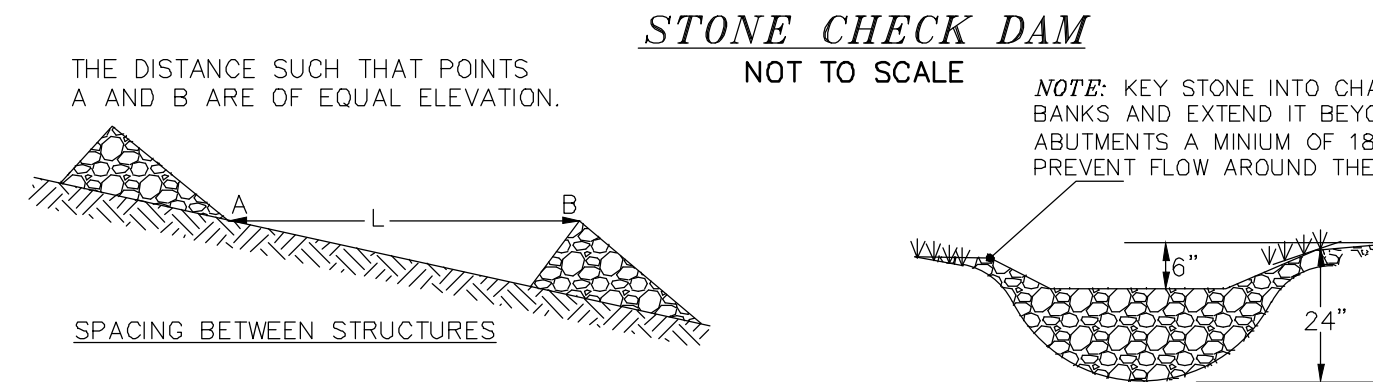


- SILT FENCE CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 6" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
 - PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
 - SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
 - THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
 - TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

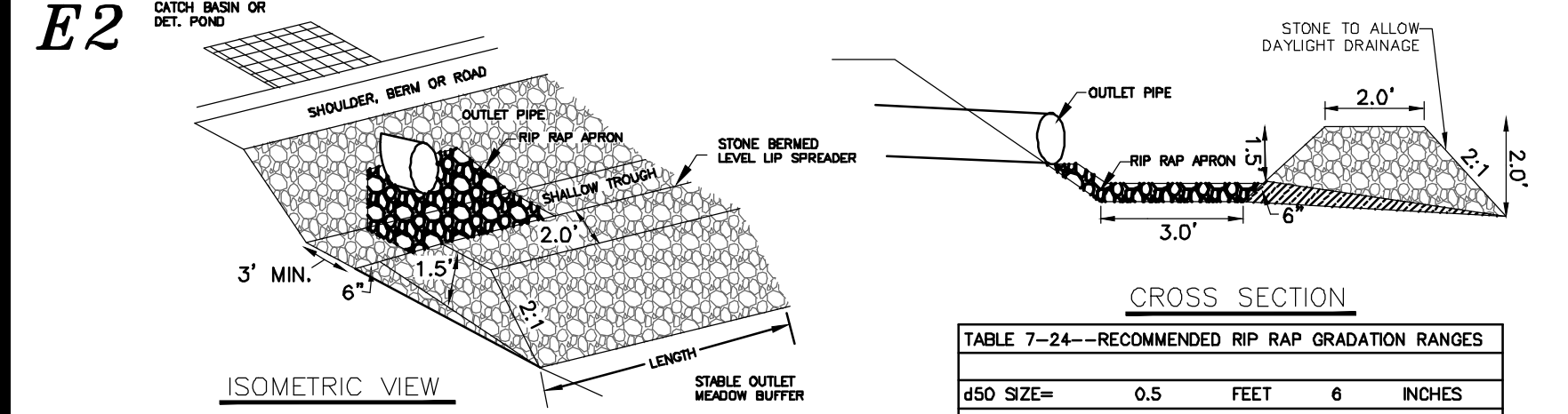
- SILT FENCE MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- SILT FENCE DETAIL**
NOT TO SCALE



- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH ANGULAR STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- THE THICKNESS OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.



- CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
- THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
- THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGES.
- THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
- CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
- TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
- TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.

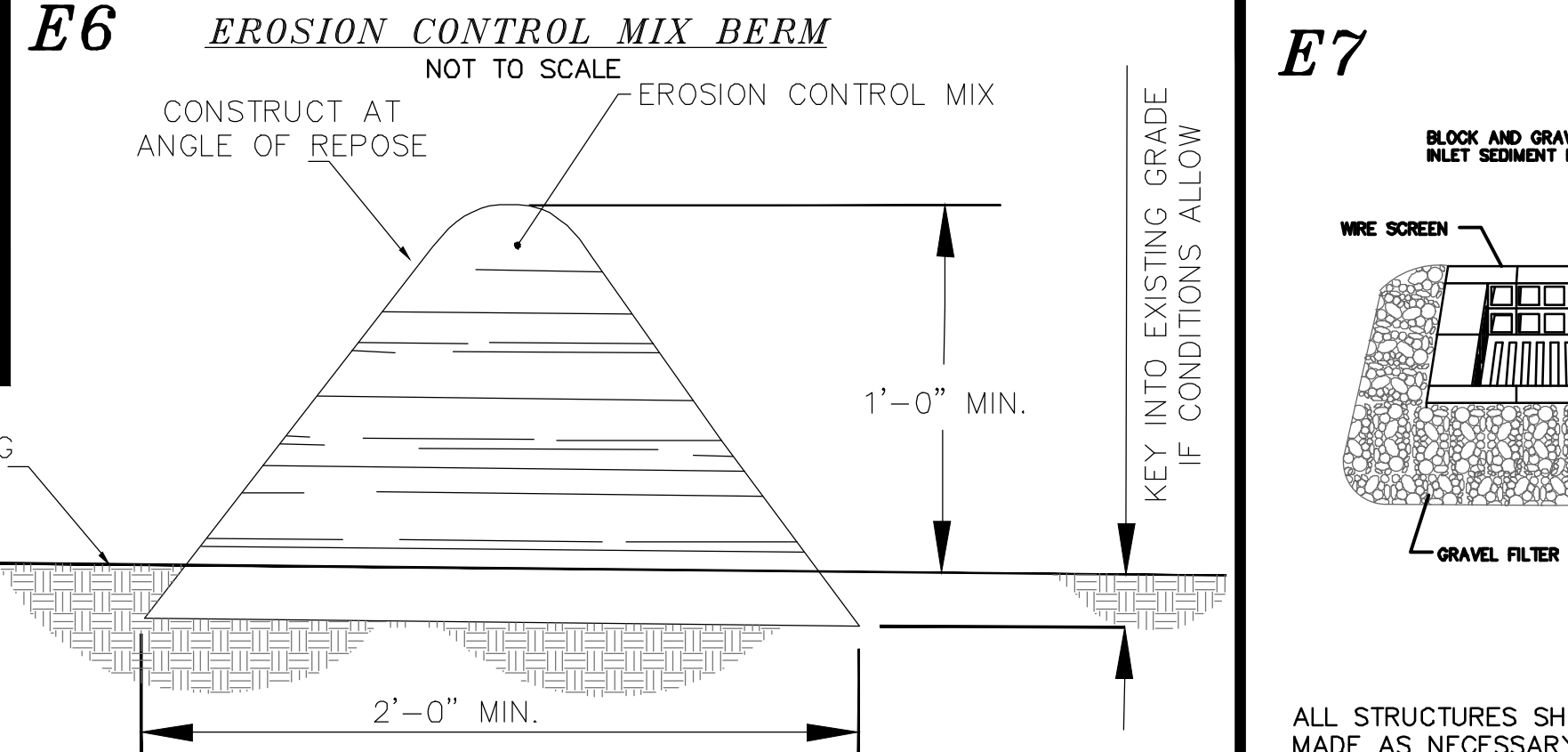


CROSS SECTION

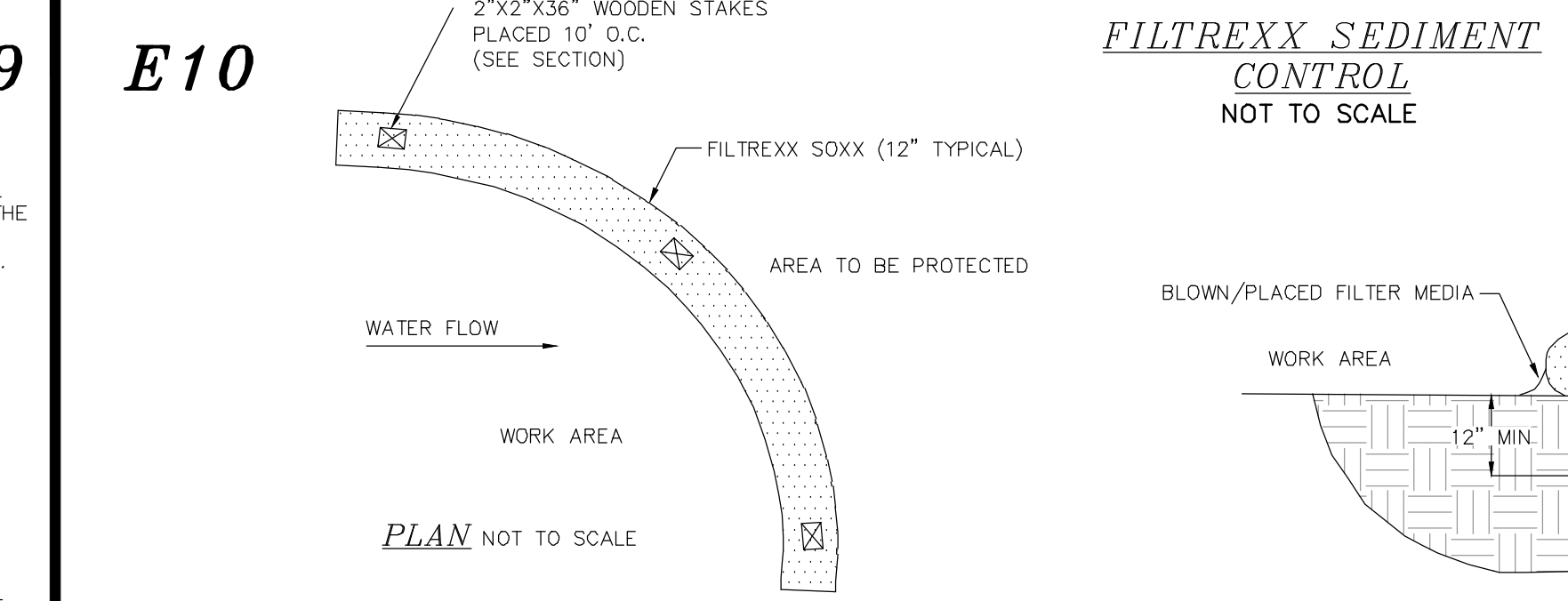
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

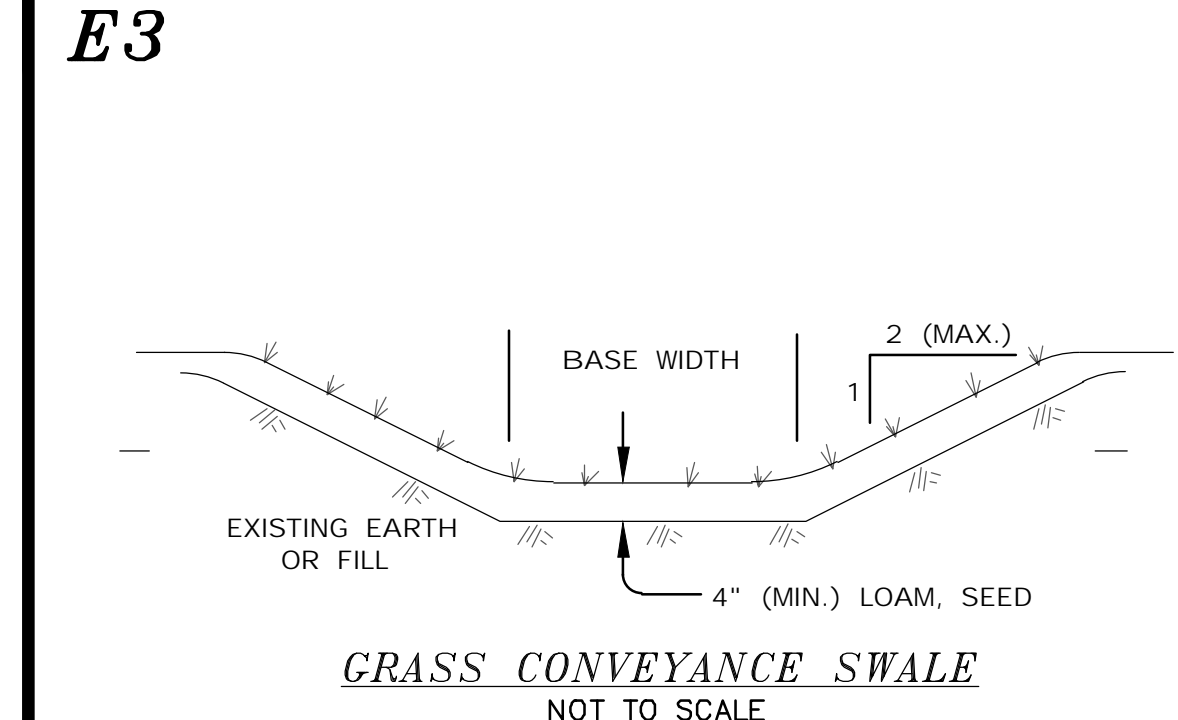
- CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
 - LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
 - THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
 - THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
 - MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.
 - REFERENCE IS MADE TO NHDES SWM VOL. 2, 4-6, STONE BERM LEVEL SPREADERS, PAGE 162
- STONE BERM LEVEL SPREADER**
NOT TO SCALE



- EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:
- BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
 - THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
 - THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5% (WHICH MAY BE EVALUATED ON SITE).
 - THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
 - WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
 - THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
 - THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
 - THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
 - THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
 - TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.



- FILTREXX SEDIMENT CONTROL**
NOT TO SCALE
- Filtrexx International, LLC
35481 Grafton Eastern Rd | Grafton, Oh 44044
440-926-2607 | fax: 440-926-4021
www.filtrexx.com
OR APPROVED EQUAL
- NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOXX APPLICATIONS. THIS DUPLICATION MAY BE SPECIFIED AS 12" SILT SOXX AND GRASS CONSTRUCTION FENCE AS NOTED.
- SECTION** NOT TO SCALE

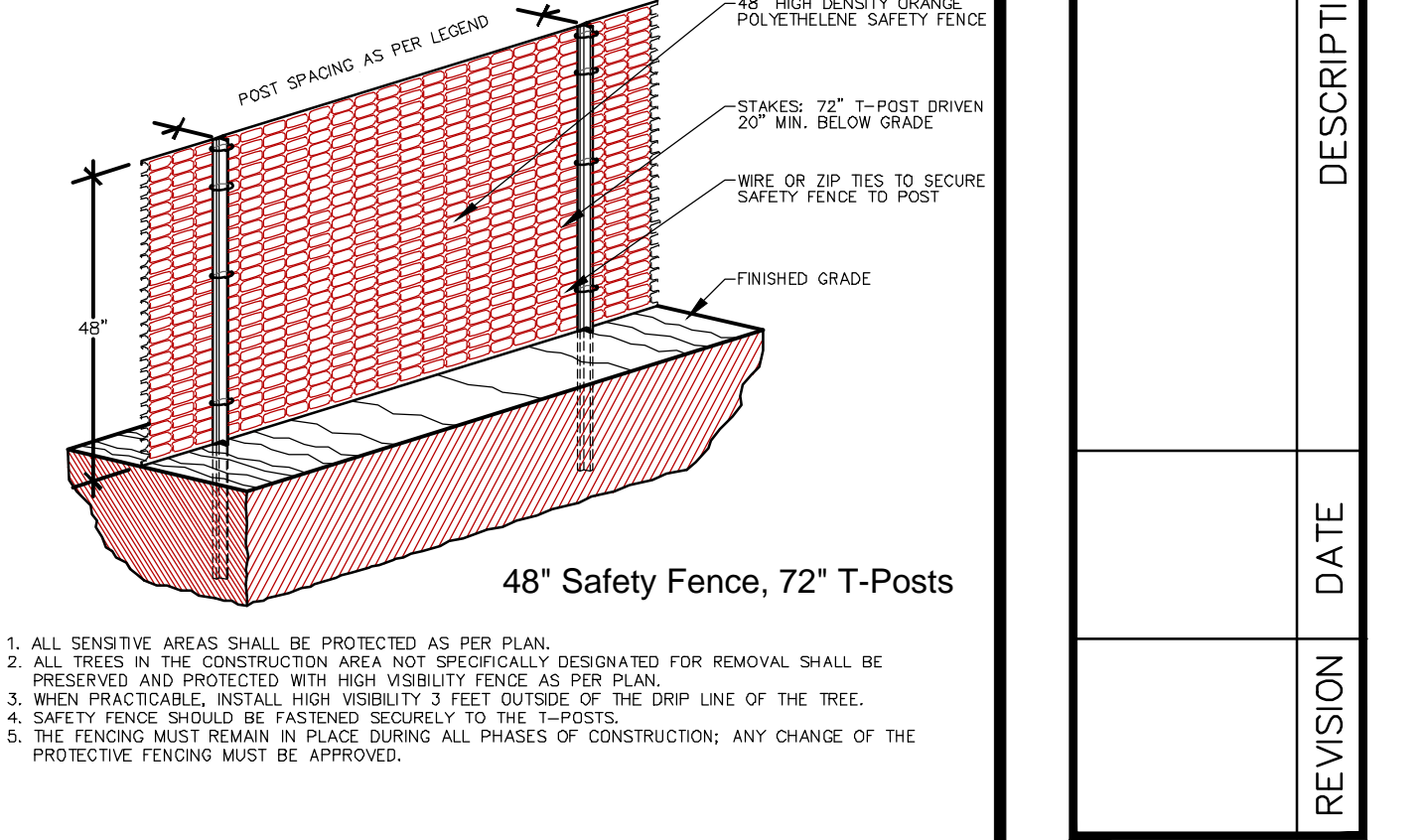


- GRASS CONVEYANCE SWALE**
NOT TO SCALE
- INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.
- MOW GRASS ANNUALLY TO A DEPTH OF 4".
- INSTALL STABILIZATION MATTING DURING CONSTRUCTION
- TO BE CONSTRUCTED IAW NH SWM #2 CHAPTER 4, #5 TREATMENT SWALES, PAGE 123.

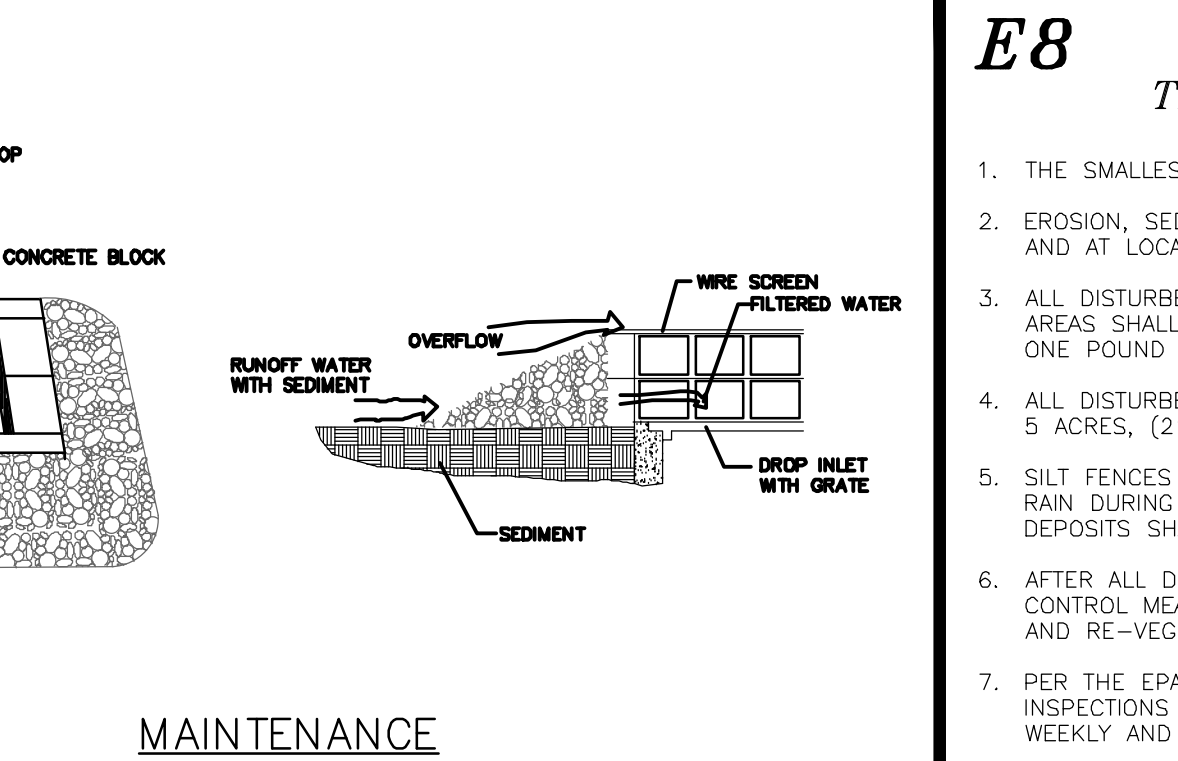
E4 CONSTRUCTION SAFETY FENCE
NOT TO SCALE

LEGEND

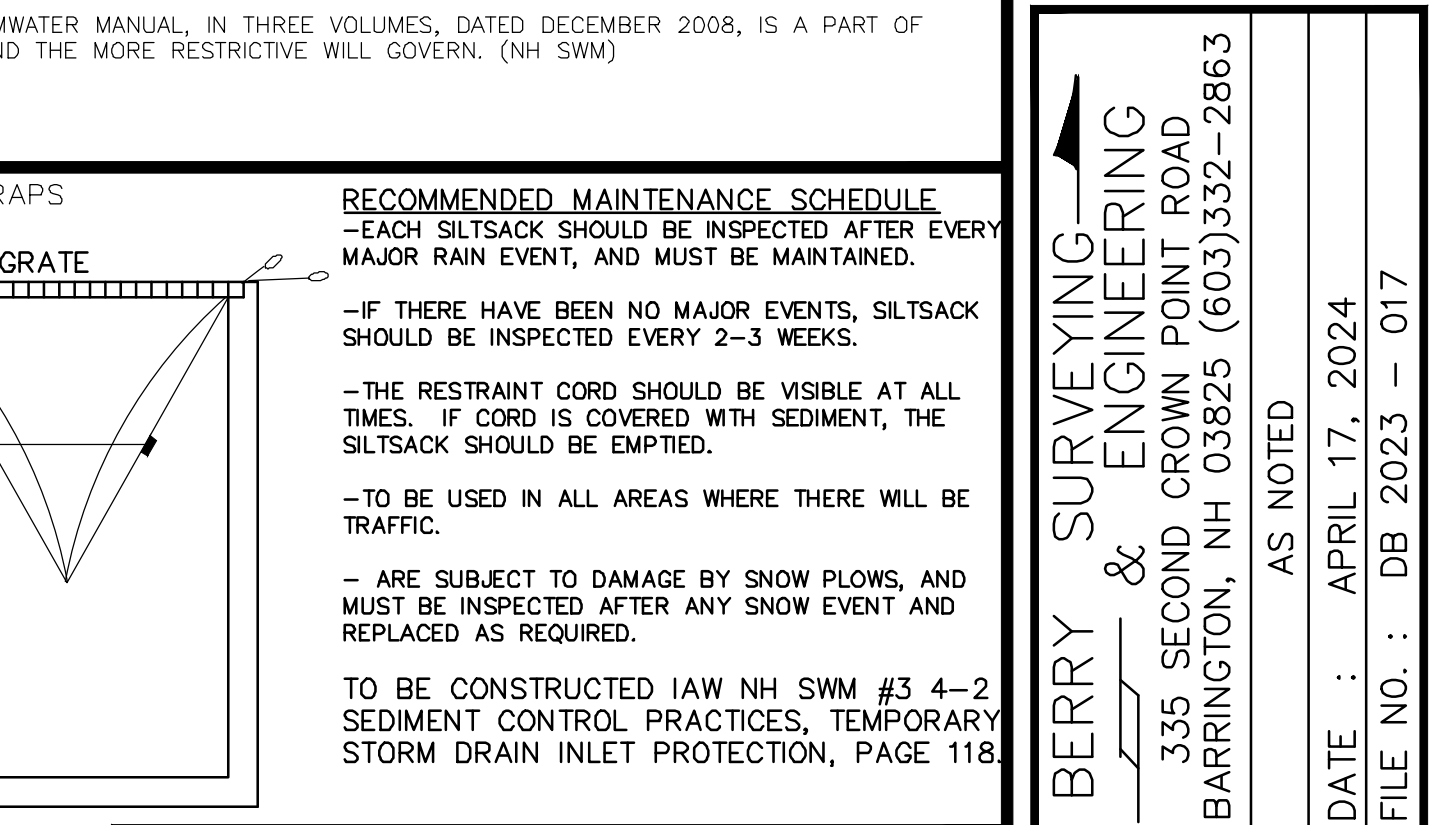
SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



- ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
 - ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
 - WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
 - SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
 - THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.
- 48" Safety Fence, 72" T-Posts**
- E8 TEMPORARY EROSION CONTROL MEASURES**
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
 - EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
 - ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDING WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
 - ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,800 Sq. Ft.) WILL BE DISTURBED.
 - SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
 - AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
 - PER THE EPA CGP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
 - DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
 - ROADWAYS, DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
 - STABILIZATION MEANS:
 - A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
 - THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
 - THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)



- MAINTENANCE**
- ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.
- BLOCK & GRAVEL DROP INLET SEDIMENT FILTER**
NOT TO SCALE
- TO BE USED IN ALL AREAS WHERE THERE WILL BE NO TRAFFIC.



- SILTSACK DETAIL**
NOT TO SCALE
- FOR TOWN APPROVAL PURPOSES :
- THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
- E-101**

REVISION	DATE	DESCRIPTION

EROSION & SEDIMENT CONTROL DETAILS

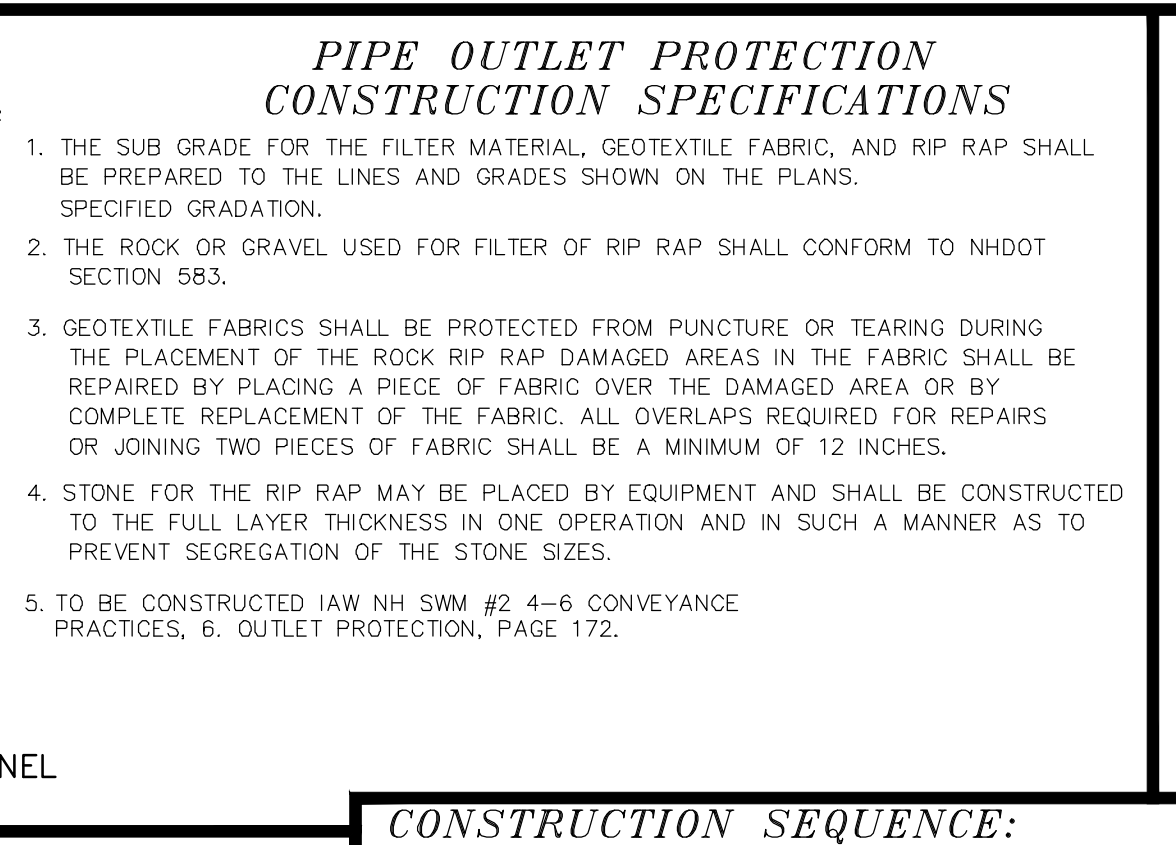
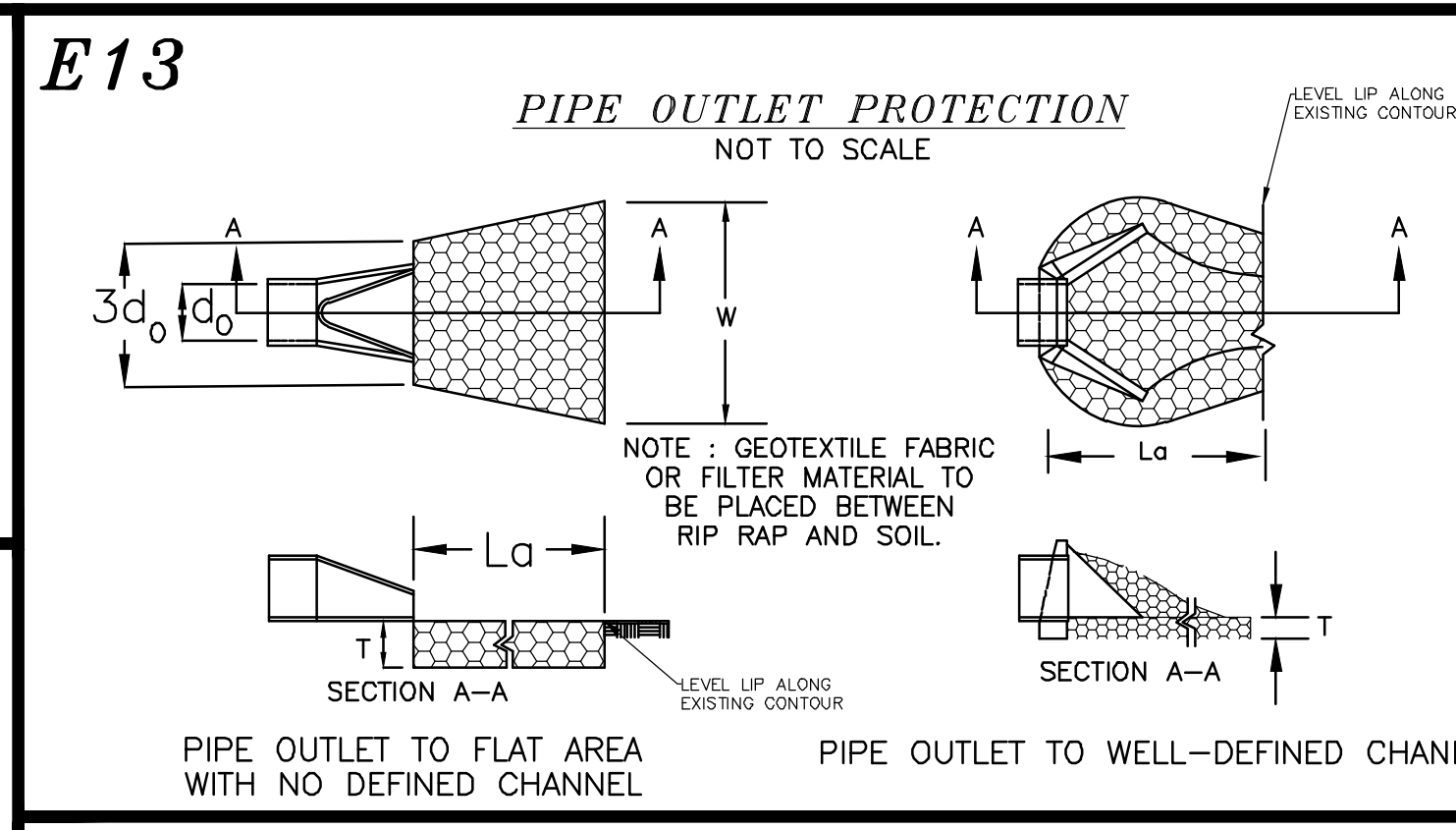
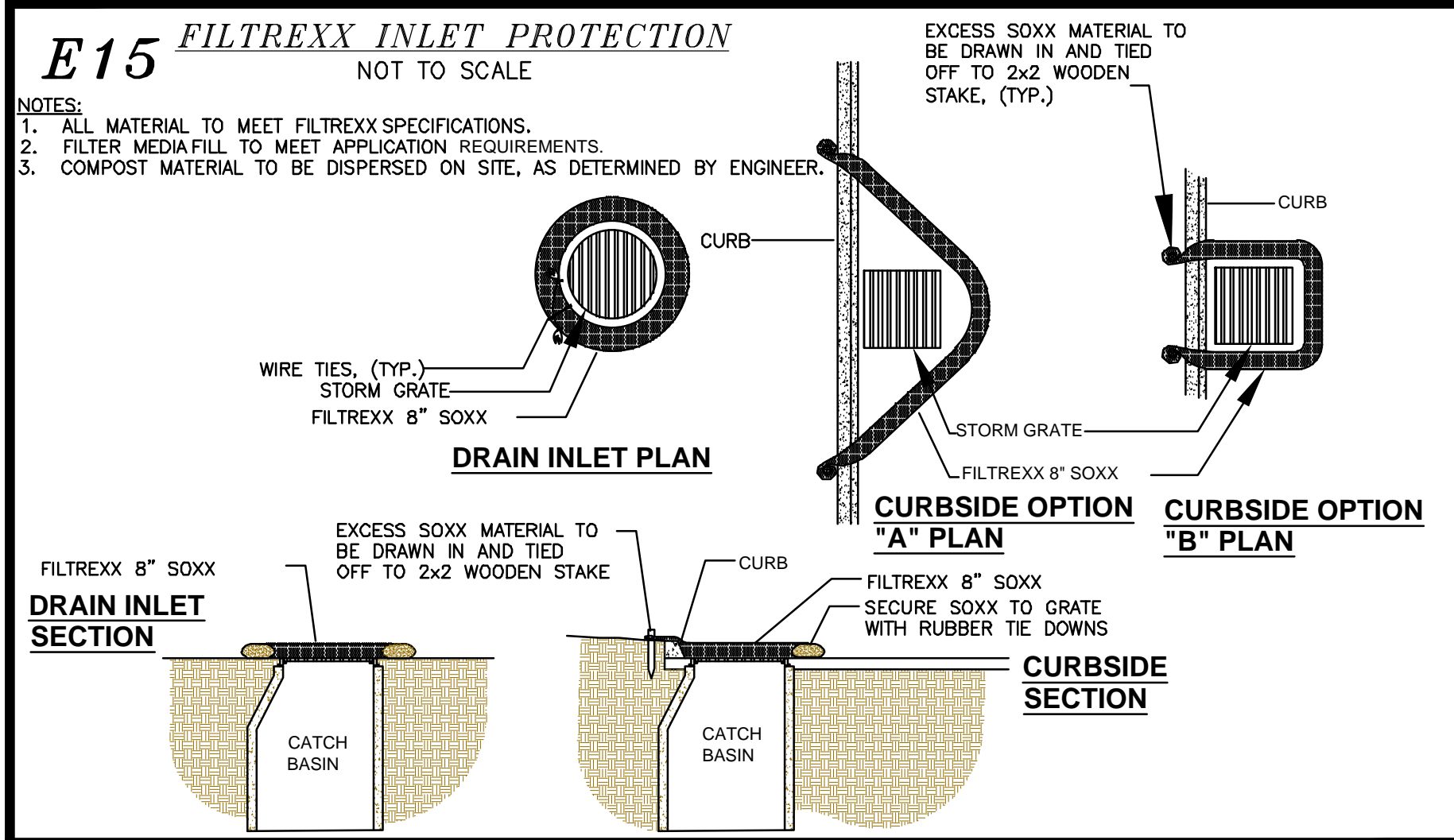
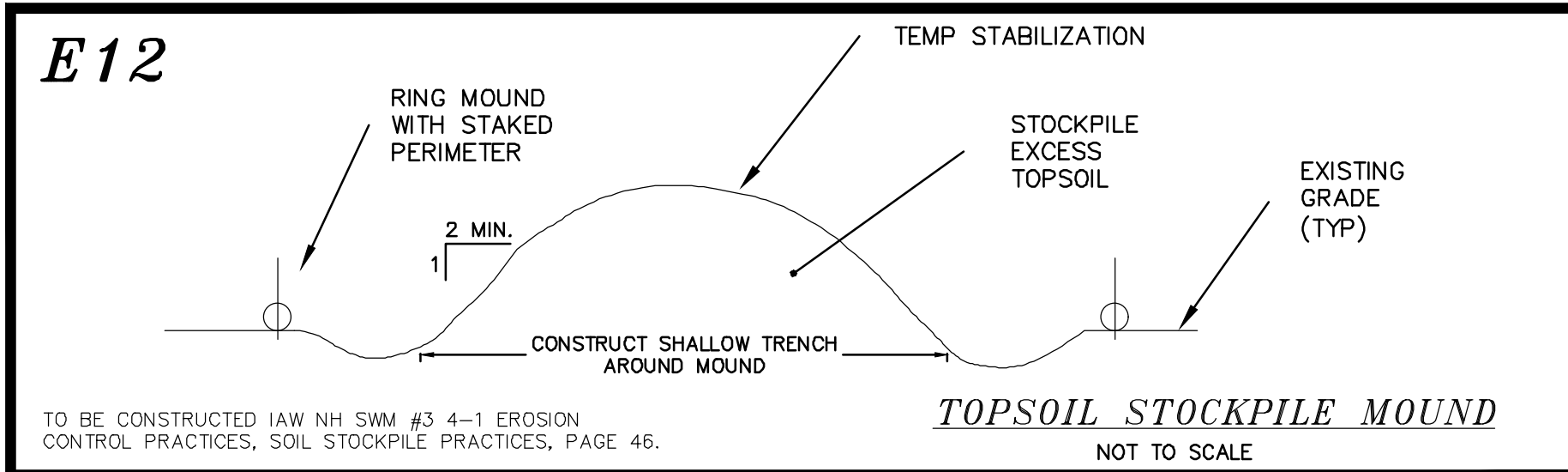
FOR
TURBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
74X MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

AS NOTED
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

SHEET 35 OF 43



E14 TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.67 FEET	8 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	12	16
85%	10	14
50%	8	12
15%	2	4
d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

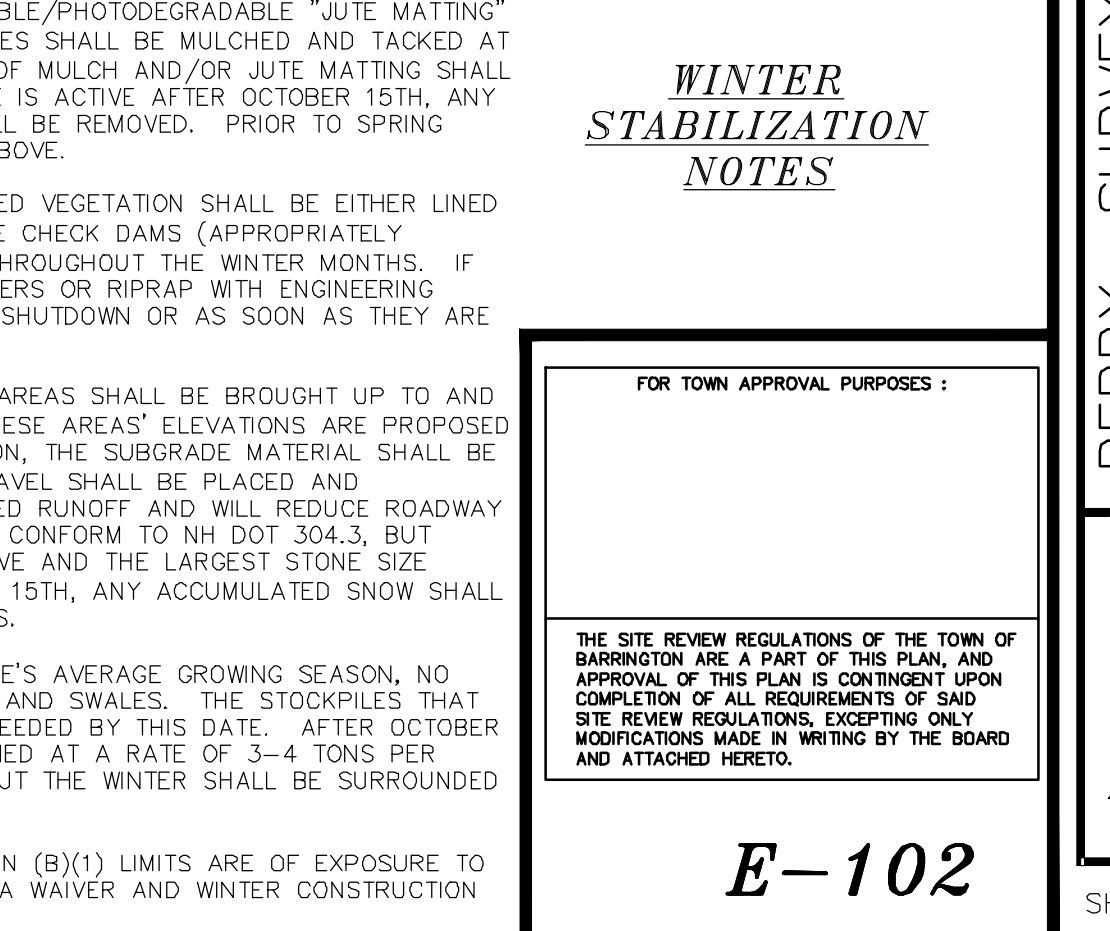
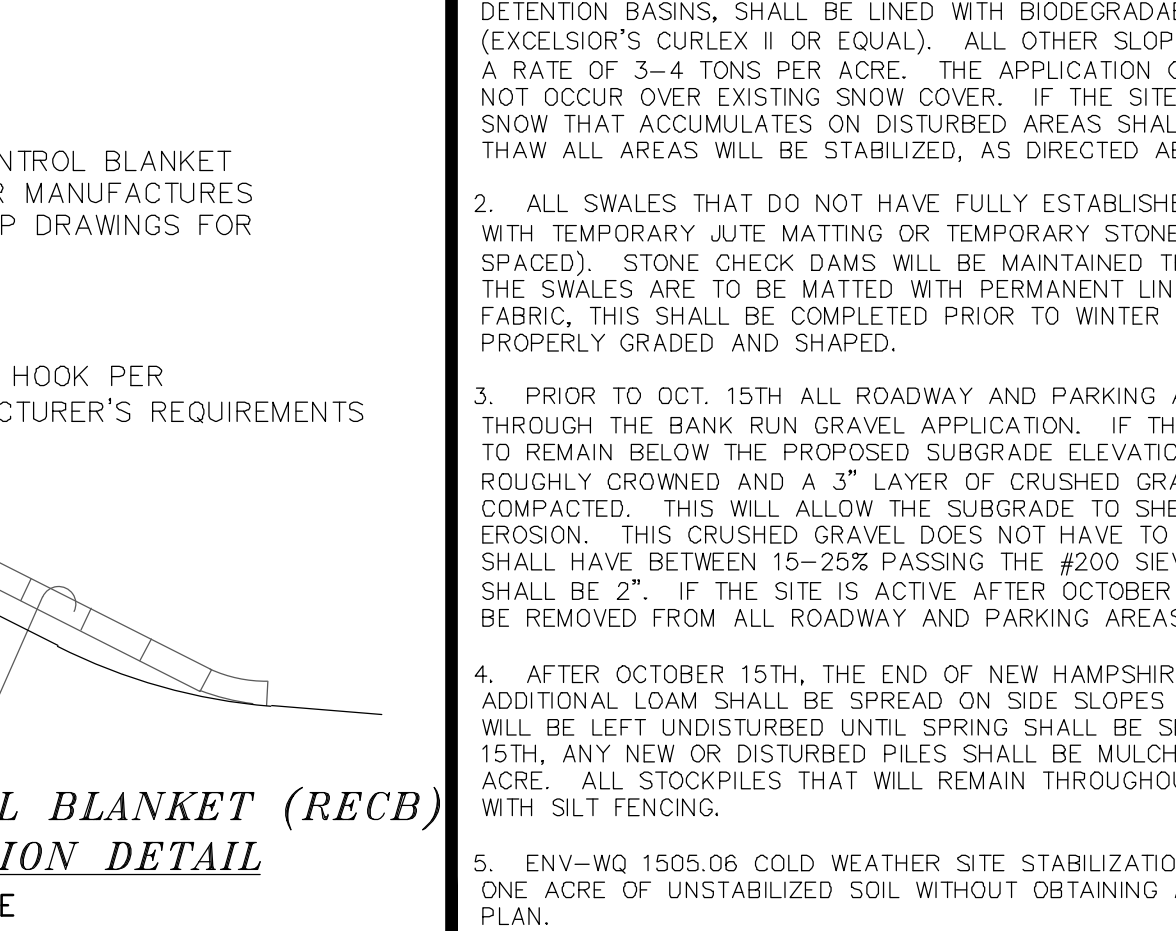
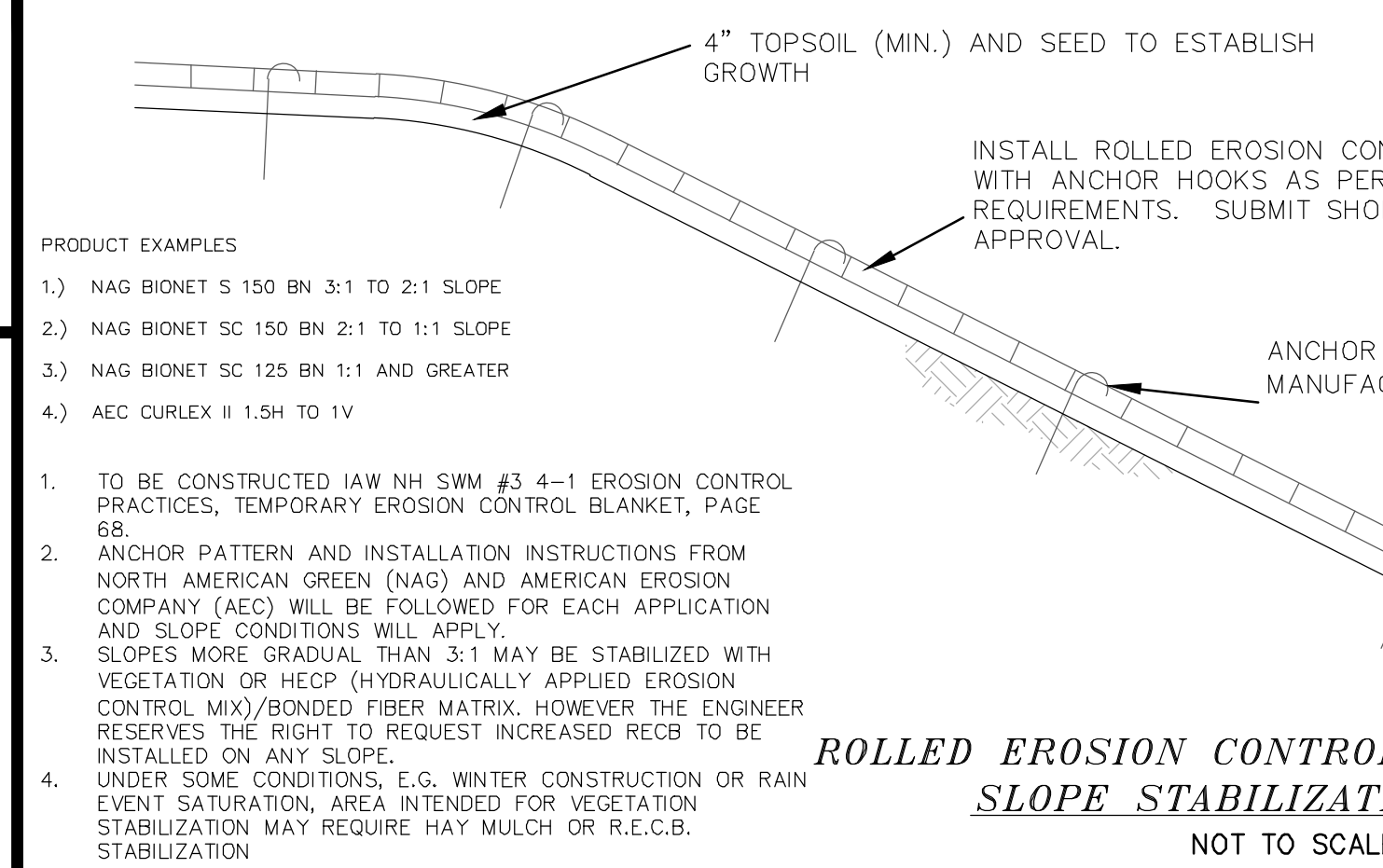
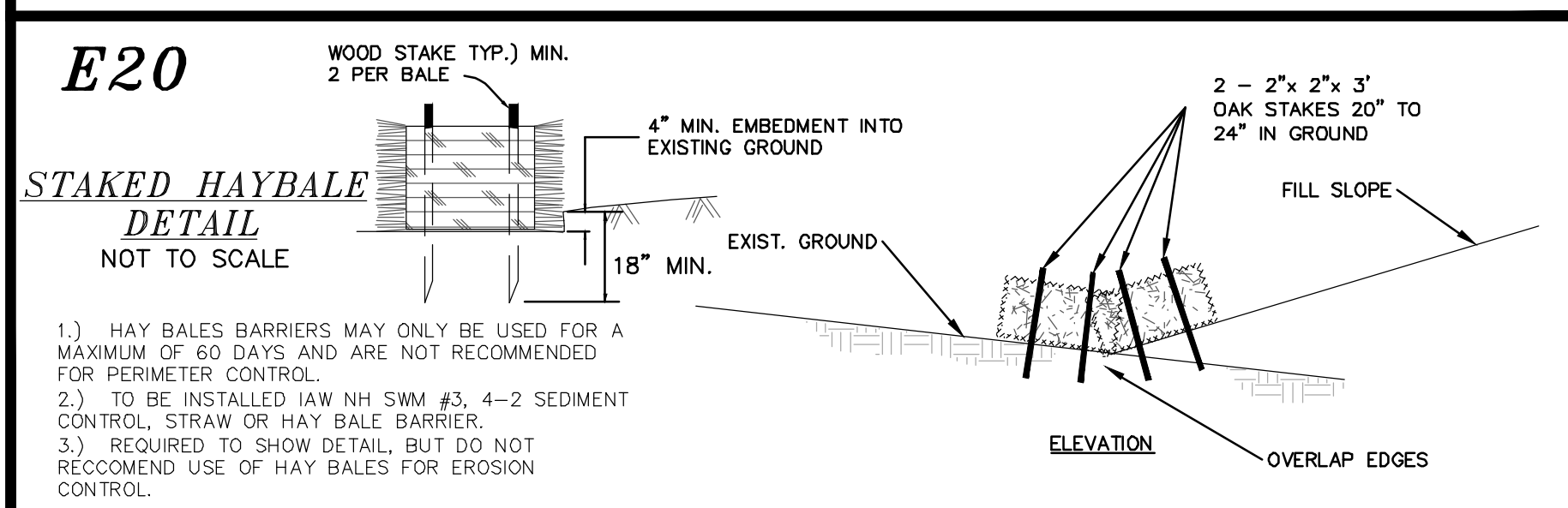
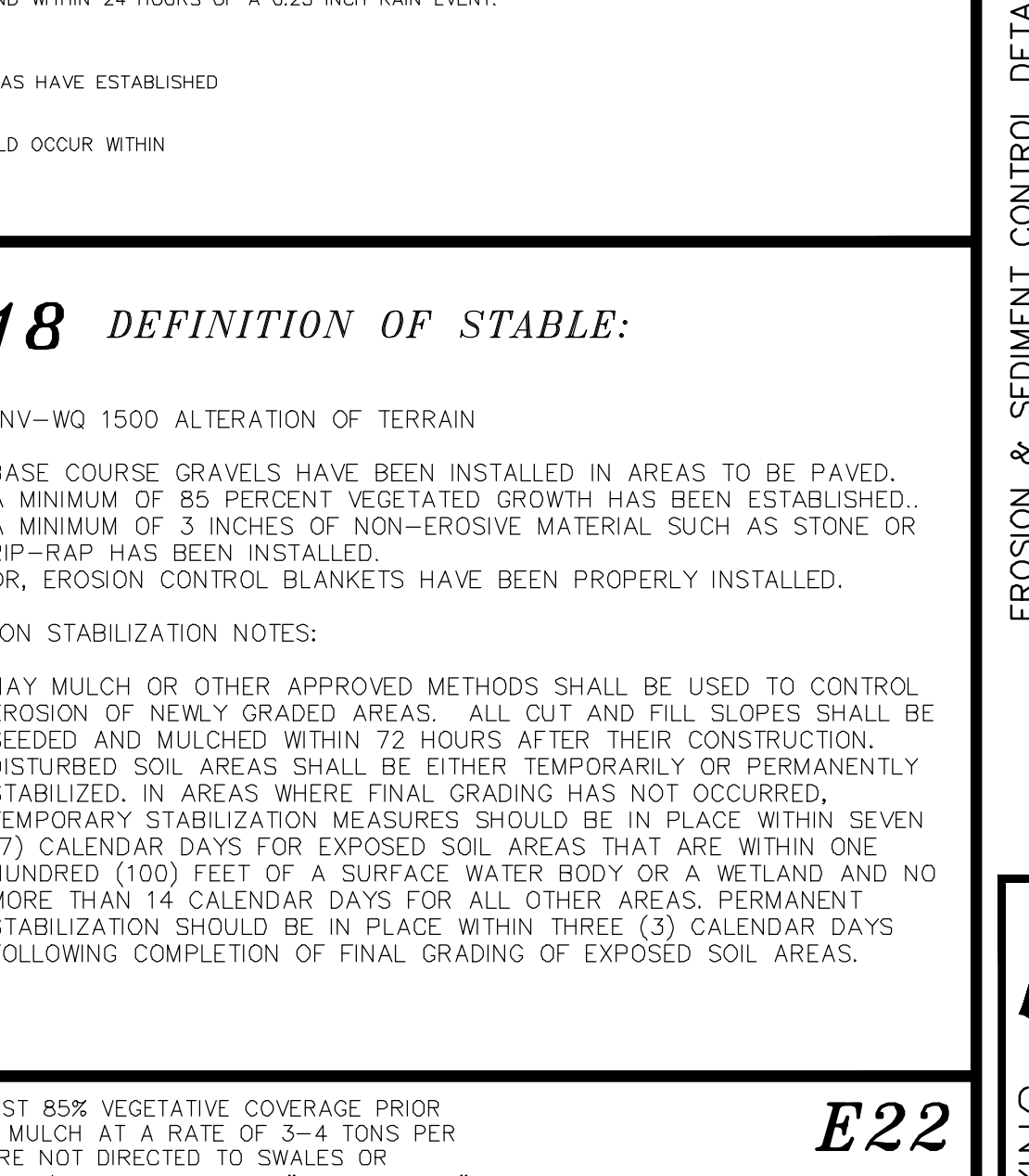
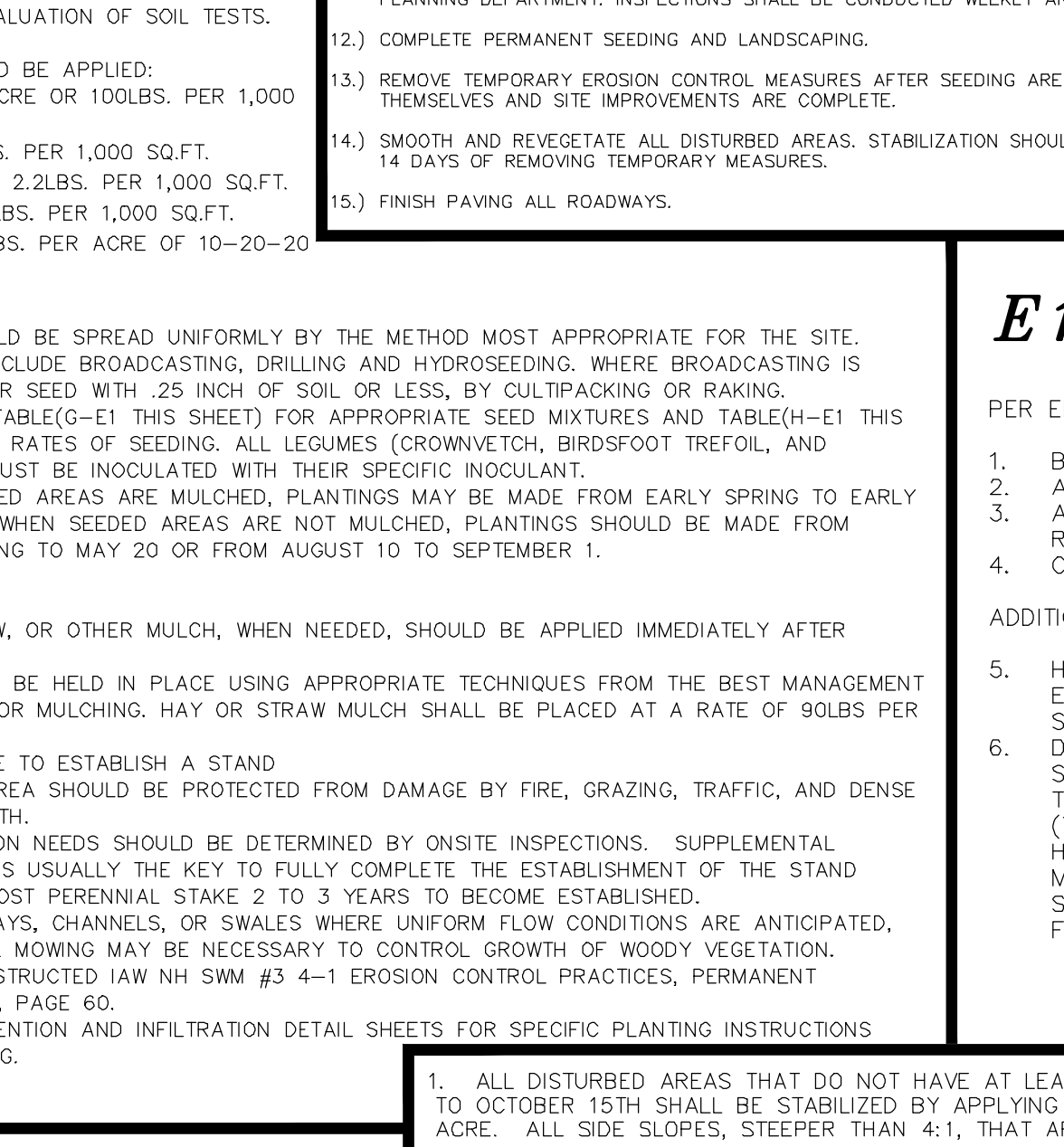
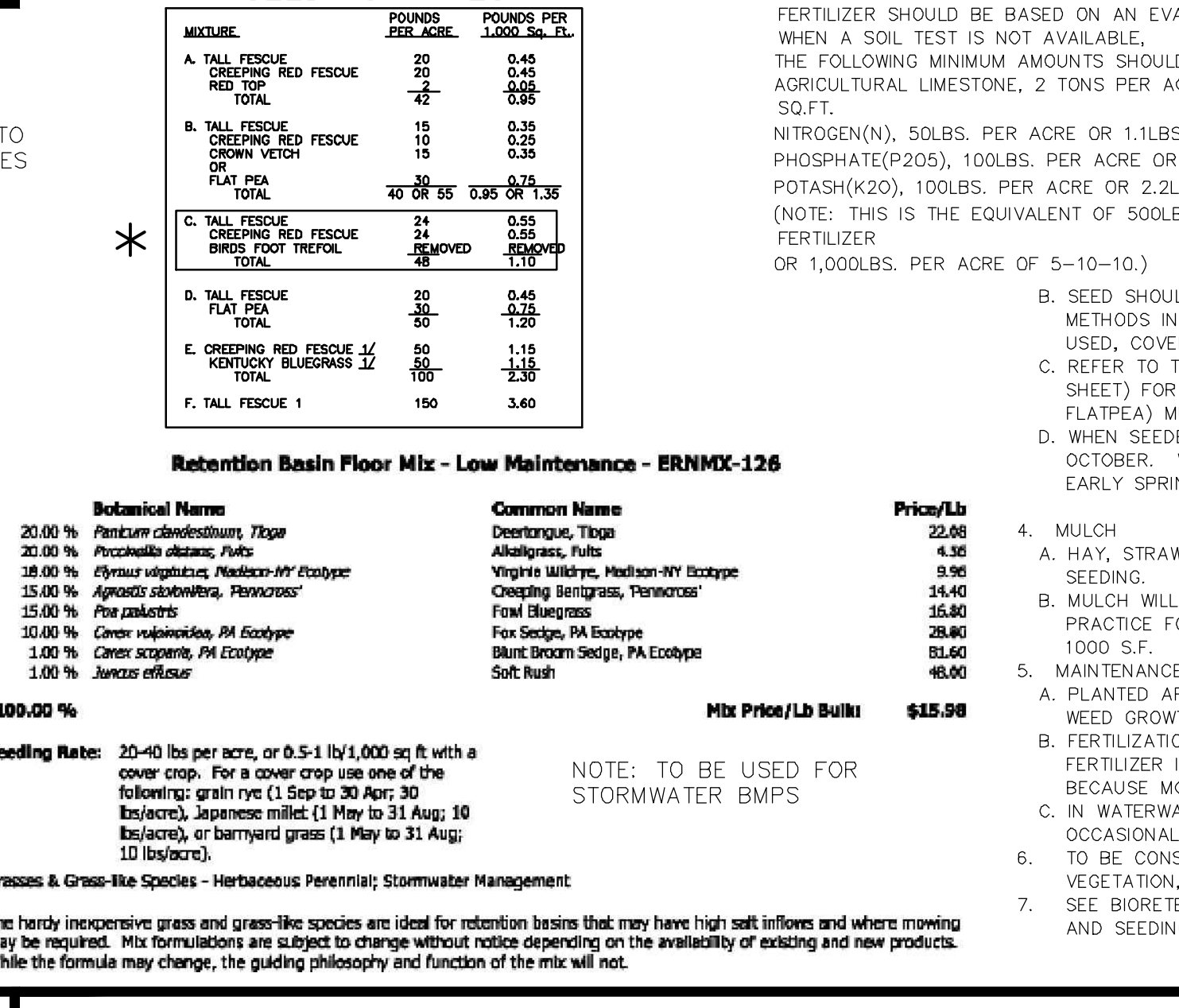
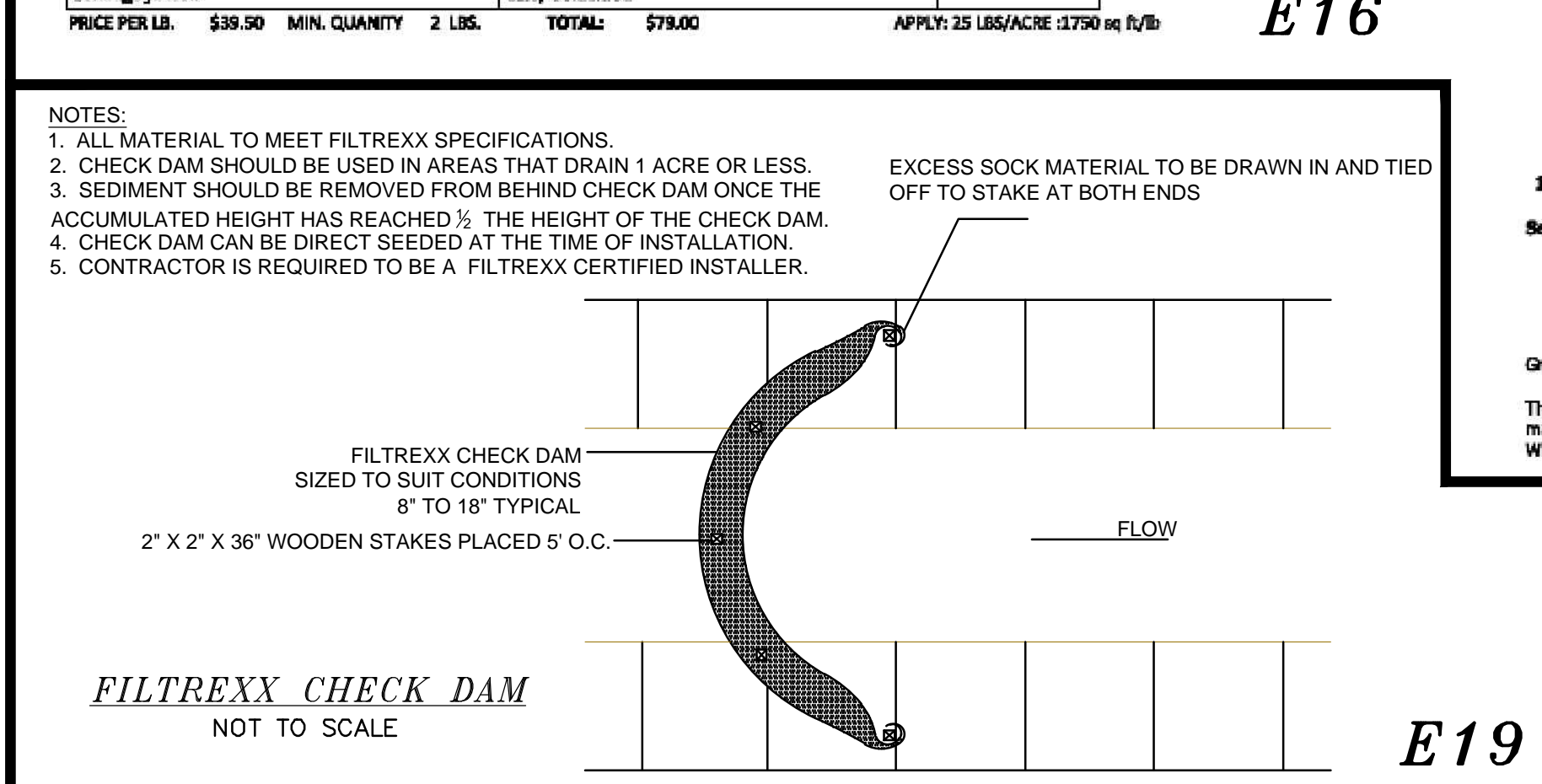
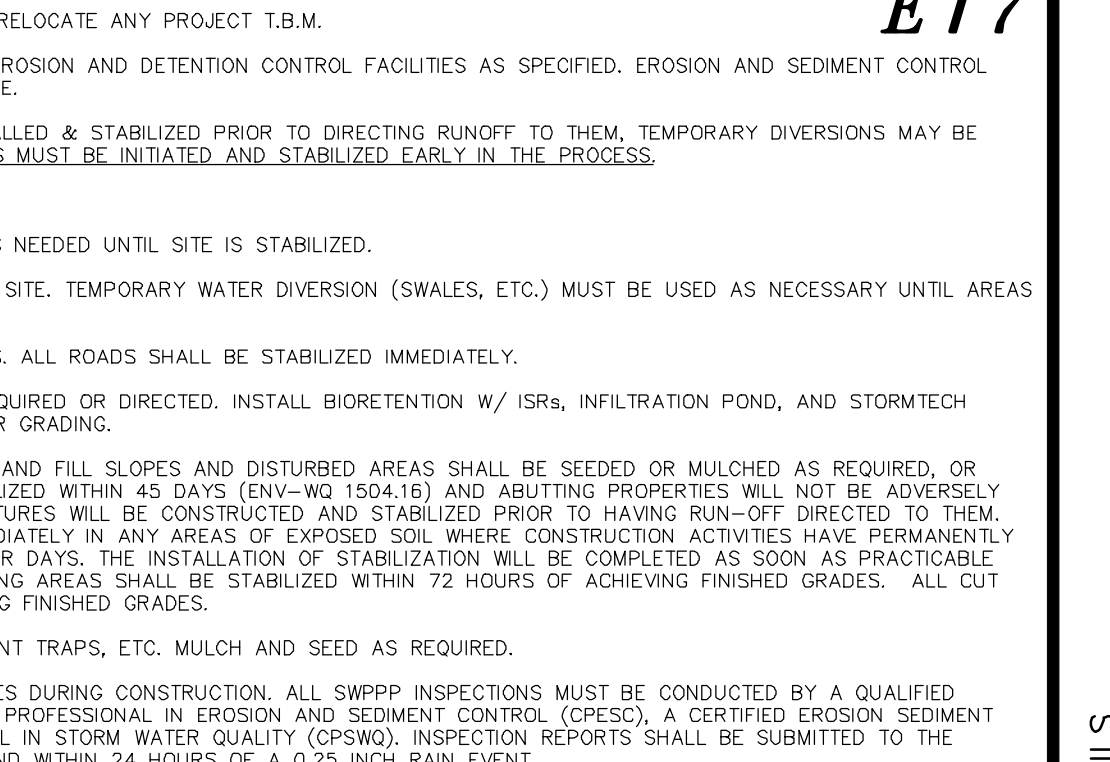
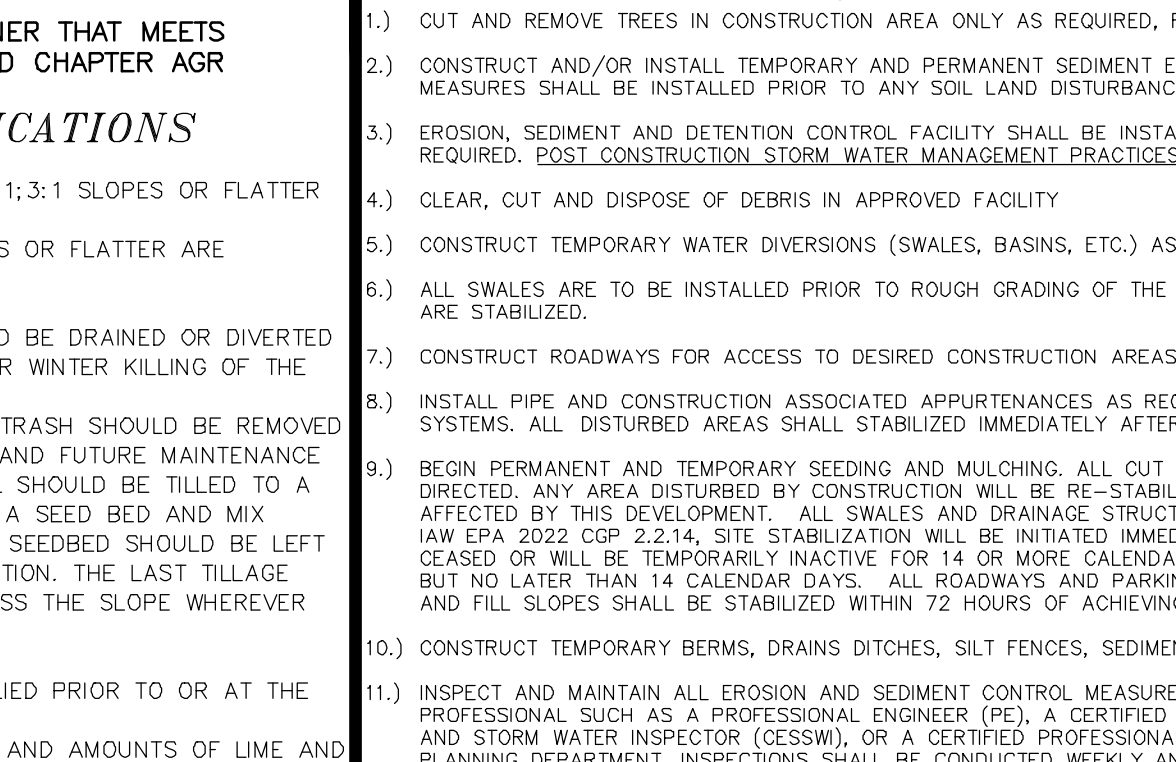
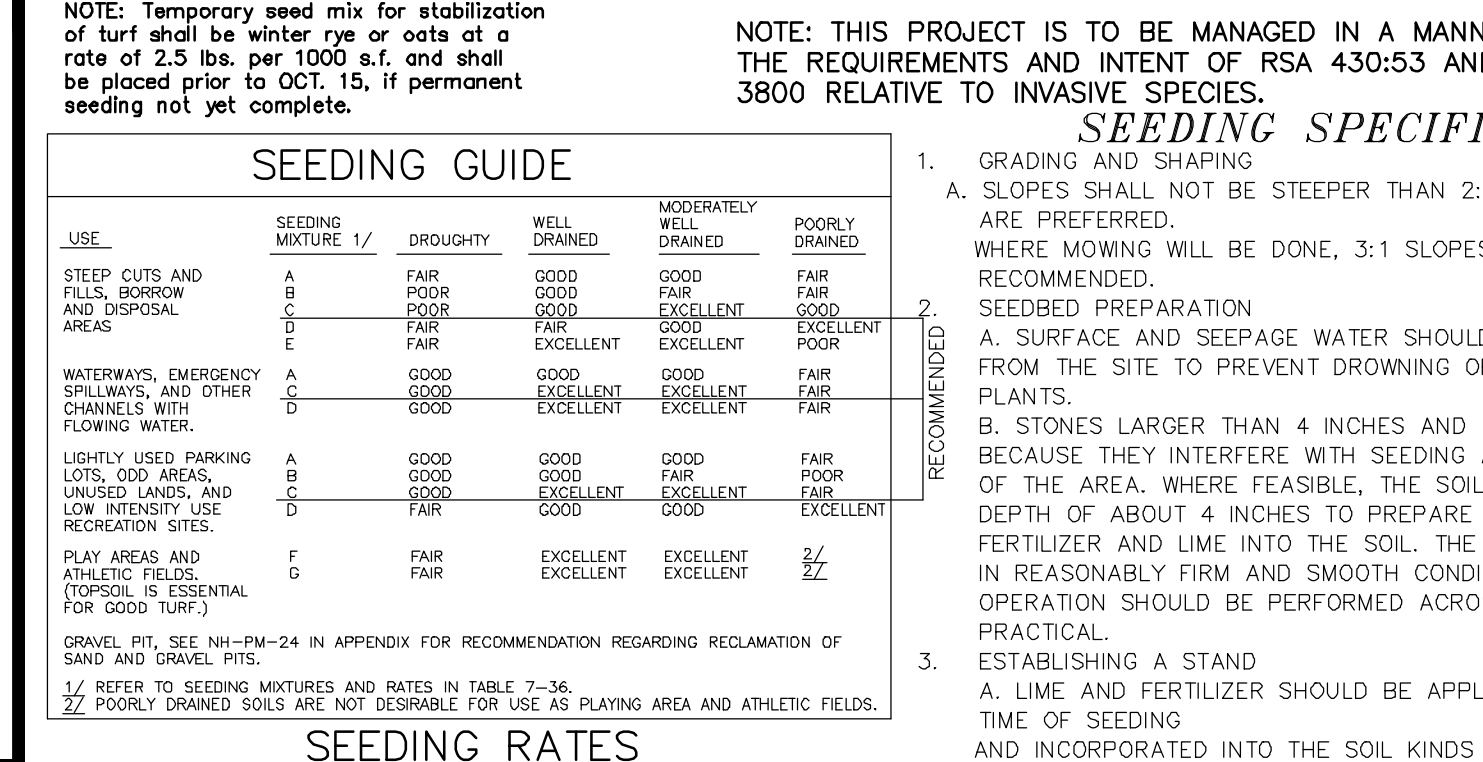
E16 New England Conservation/Wildlife Mix

Botanical Name	Common Name	Indicator
<i>Elymus virginicus</i>	Virginia Wild Rye	FACW
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Andropogon gerardi</i>	Big Bluestem	FAC
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Desmodium canadense</i>	Showy Tick Trefoil	FAC
<i>Asclepias tuberosa</i>	Butterfly Milkweed	NI
<i>Bidens frondosa</i>	Beggar Ticks	FACW
<i>Eupatorium purpuraceum (Bastardium maculatum)</i>	Purple Joe Pye Weed	FAC
<i>Rudbeckia hirta</i>	Black Eyed Susan	FACU
<i>Aster pilosus (Symphyotrichum pilosum)</i>	Heath (or Hairy) Aster	UPL
<i>Solidago juncea</i>	Early Goldenrod	

PRICE PER LB. \$39.50 MIN. QUANTITY 2 LBS. TOTAL: \$79.00 APPLX: 25 LBS/ACRE 1790 sq ft/lb

CONSERVATION MIX TO BE PROVIDED BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.

NOTE: CONSERVATION MIX TO BE USED ON ALL 2:1 SLOPES LINED WITH RECB.



EROSION & SEDIMENT CONTROL DETAILS

FOR TURBOCAM, INC. LAND OF VIRTUOUS REALTY, LLC NH ROUTE 125/CALEF HIGHWAY BARRINGTON, N.H. TAX MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE: AS NOTED
 DATE: APRIL 17, 2024
 FILE NO.: DB 2023 - 017

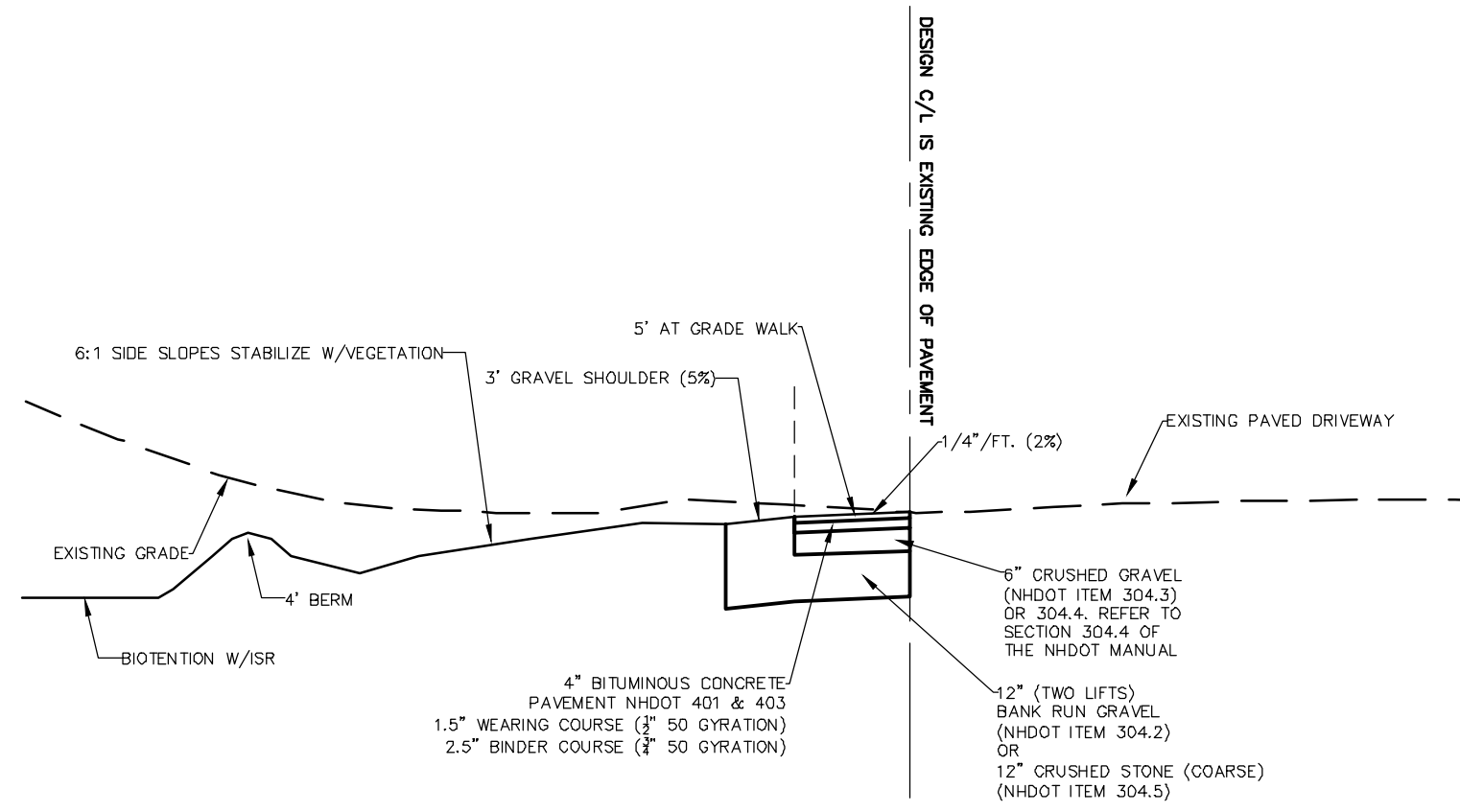
E-102

SHEET 36 OF 43

CROSS SECTION NOTES

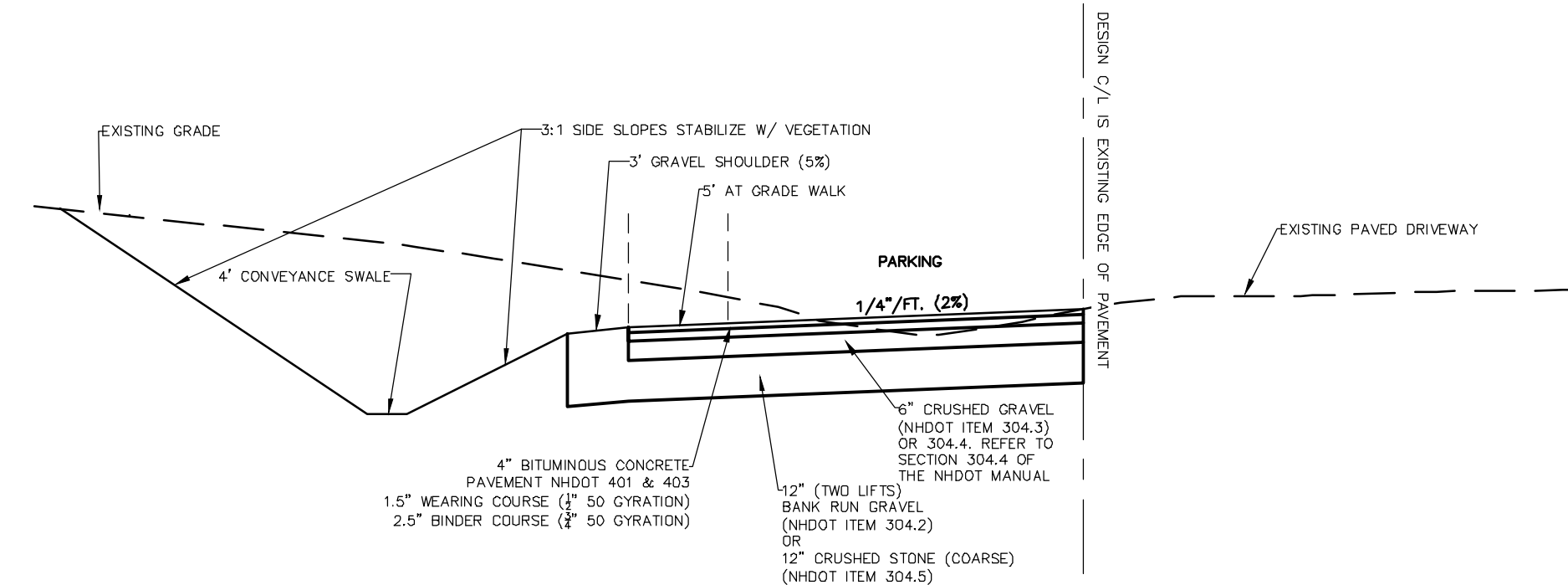
1. ALL ROADWAY FILL TO BRING ROAD TO SUBGRADE SHALL BE INSTALLED IN LIFTS NO GREATER THAN 12".
2. ALL FILL SHALL BE COMPACTED TO 95% MINIMUM. COMPACTION TESTS TO BE CONDUCTED AT THE START OF THE PROJECT AND NO FURTHER THAN 100 FEET APART.
3. GUARD RAIL REQUIRED AS NOTED ON PLAN & PROFILE SHEETS.
4. TEST PITTING WAS DONE WITHIN THE ROADWAY ALIGNMENT BY JOHN P. HAYES III.

COMPACTED SUBGRADE - CONTRACTOR SHALL SCARIFY SUBGRADE TO A DEPTH OF 30 INCHES BELOW F-GRADE. ALL STONES GREATER THAN 6" IN DIAMETER SHALL BE REMOVED FROM THE SCARIFIED LAYER. ANY IMPORTED FILL SHALL BE FREE OF ORGANICS AND FROST AND SHALL HAVE NO ROCKS LARGER THAN 6" IN DIAMETER. FILL MATERIAL SHALL BE APPROVED BY THE TOWNS AGENT AND/OR THE TOWNS ENGINEER.



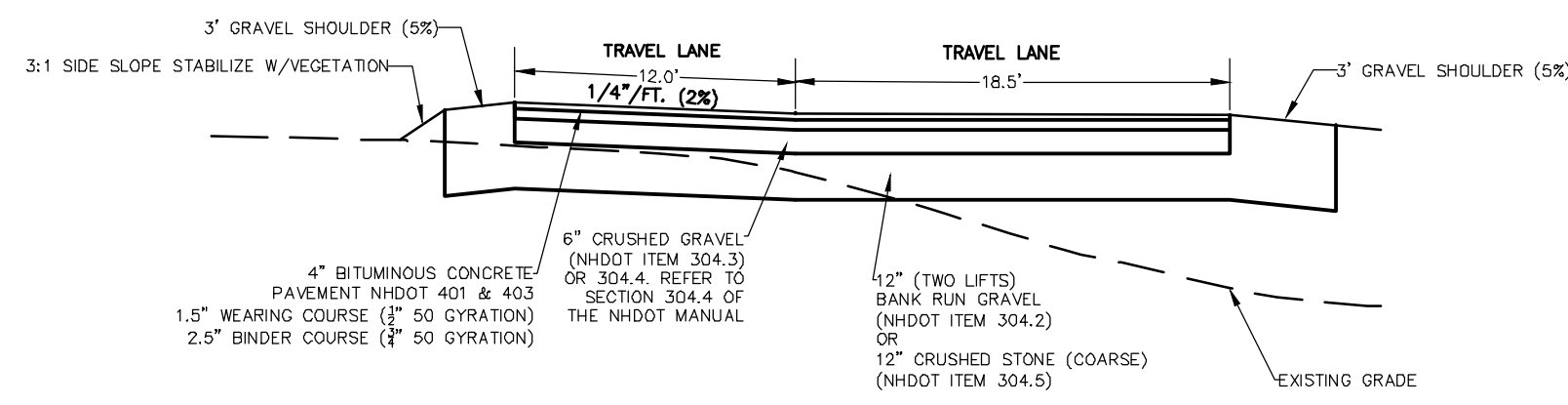
TYPICAL DRIVEWAY SECTION 0+00

NOT TO SCALE



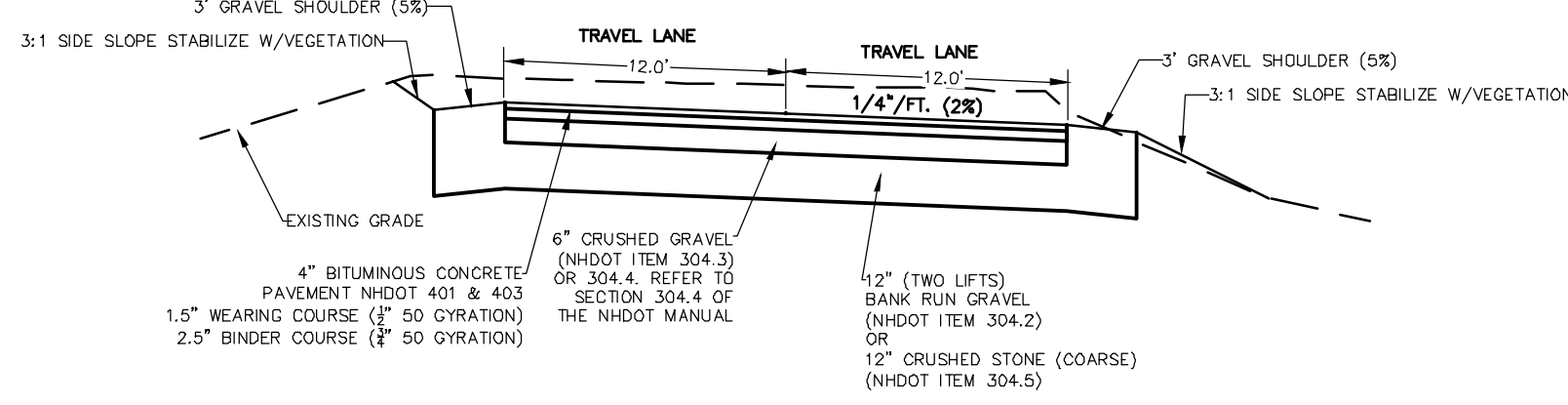
TYPICAL DRIVEWAY SECTION 2+50

NOT TO SCALE



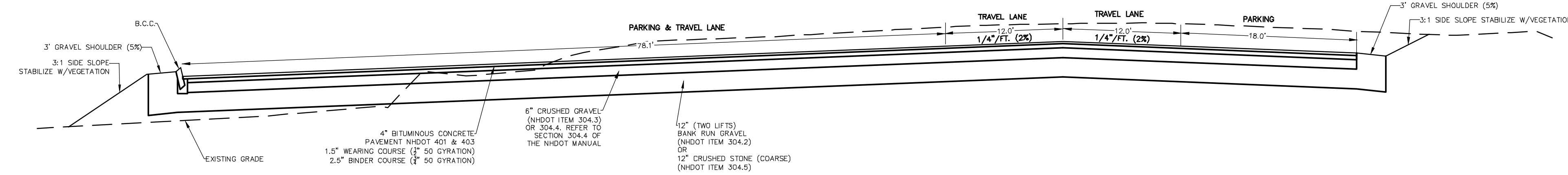
TYPICAL PARKING LOT SECTION 10+50

NOT TO SCALE



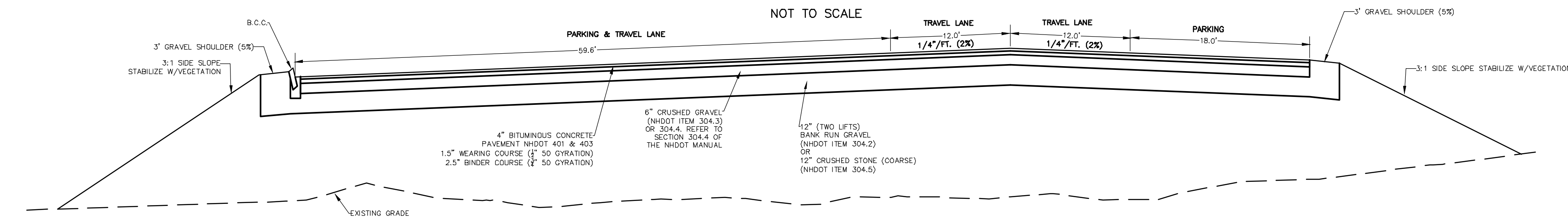
TYPICAL PARKING LOT SECTION 11+00

NOT TO SCALE



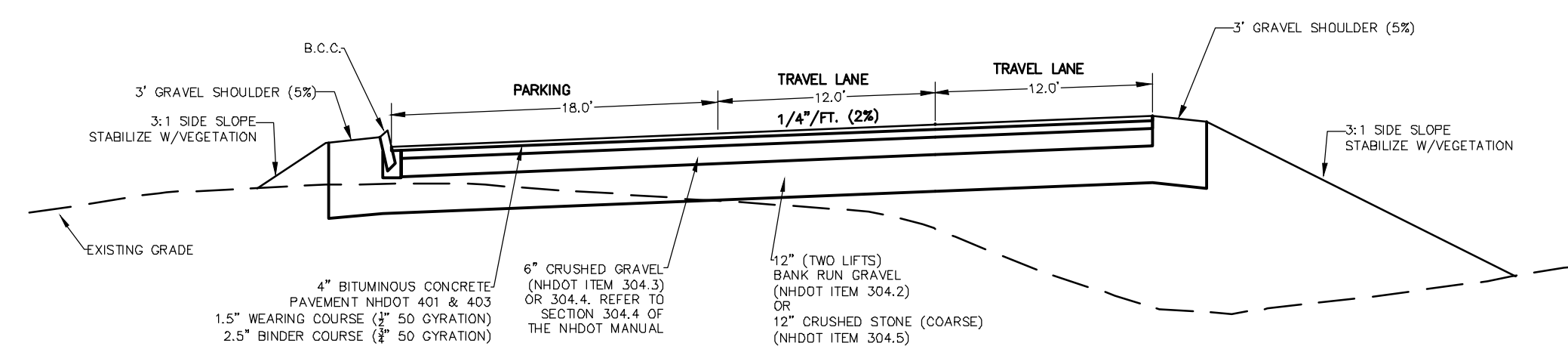
TYPICAL PARKING LOT SECTION 20+50

NOT TO SCALE



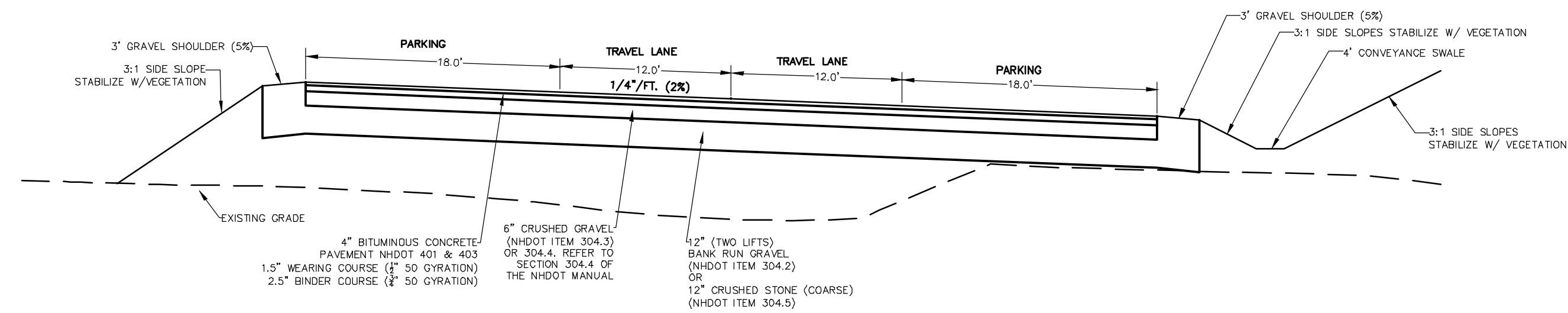
TYPICAL PARKING LOT SECTION 21+50

NOT TO SCALE



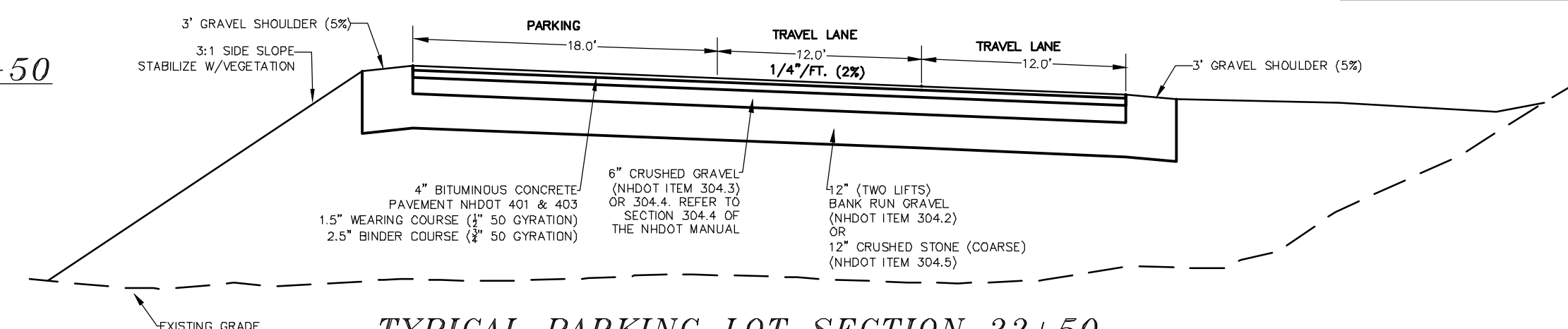
TYPICAL PARKING LOT SECTION 30+50

NOT TO SCALE



TYPICAL PARKING LOT SECTION 31+50

NOT TO SCALE



TYPICAL PARKING LOT SECTION 32+50

NOT TO SCALE

FOR TOWN APPROVAL PURPOSES:

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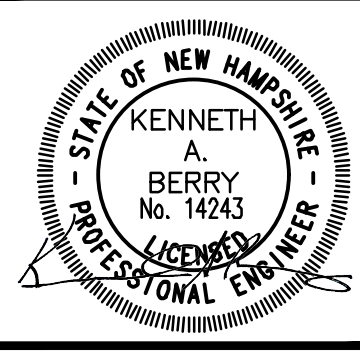
REVISION	DATE	DESCRIPTION

CONSTRUCTION DETAILS

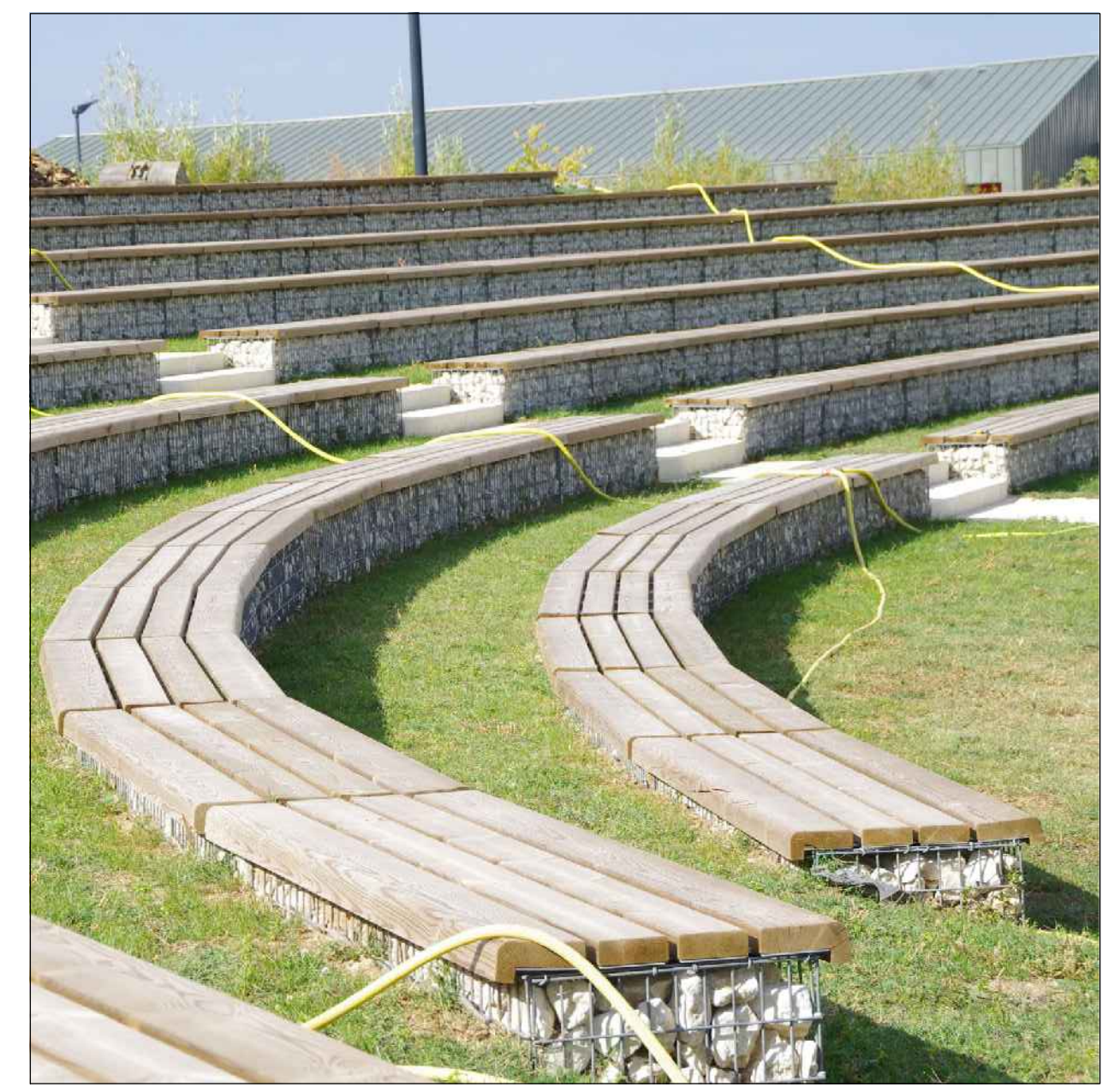
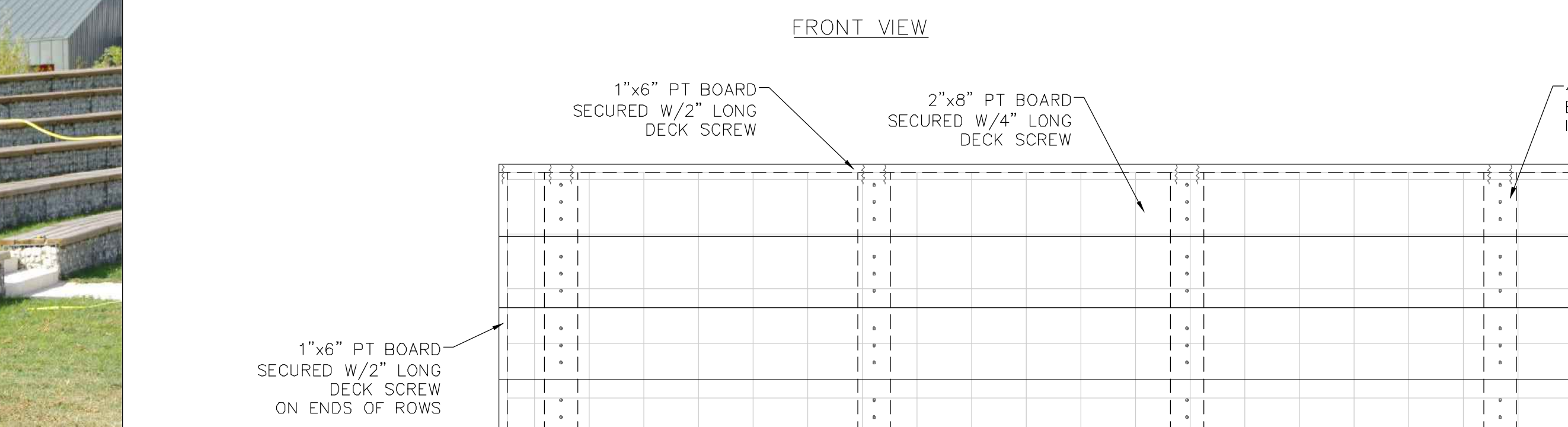
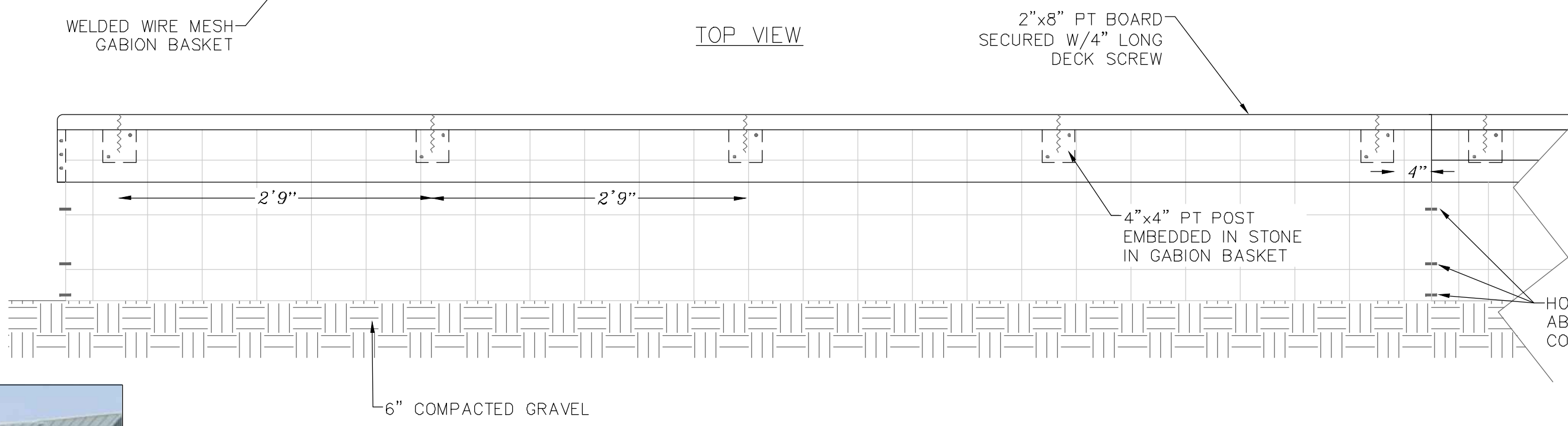
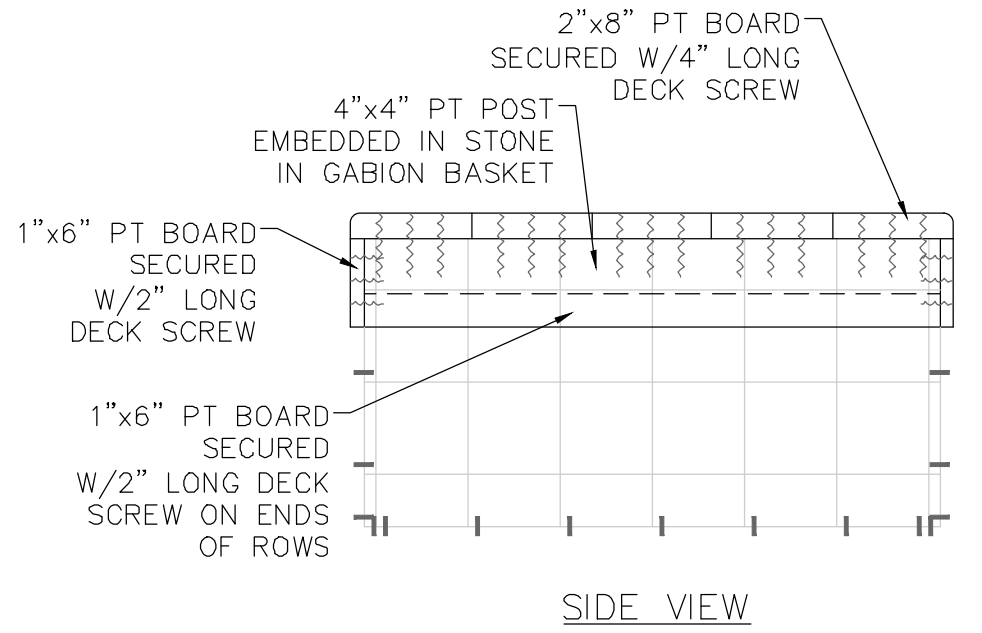
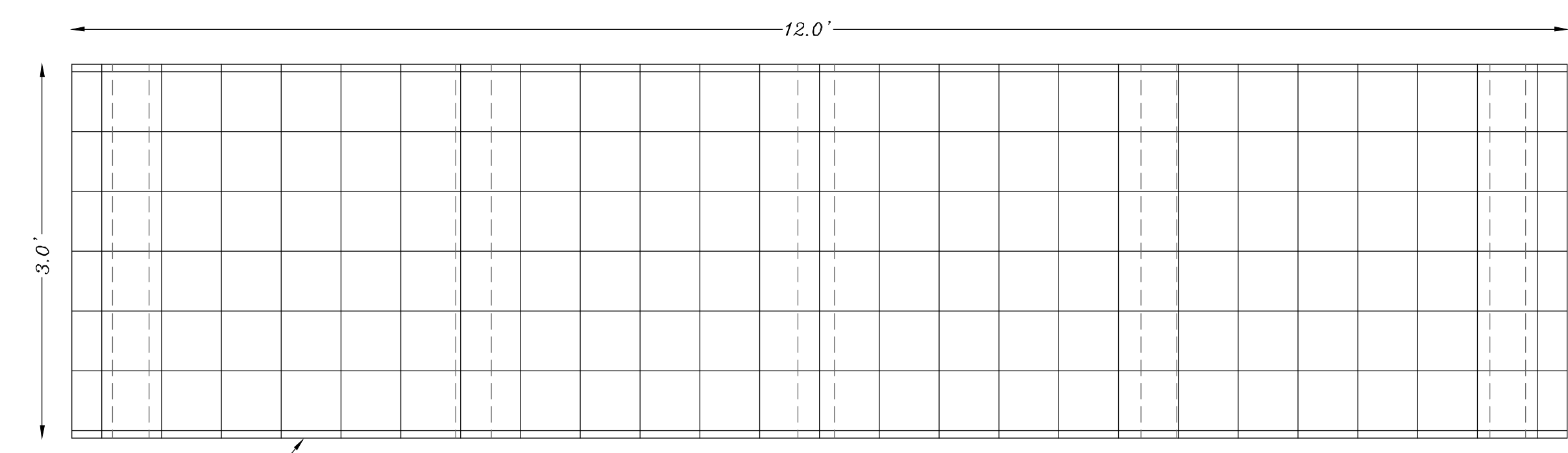
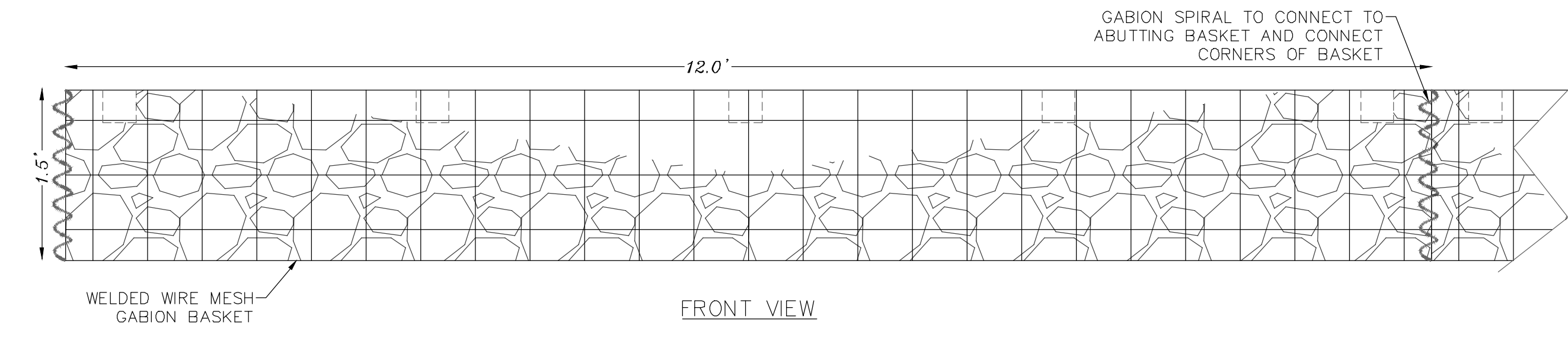
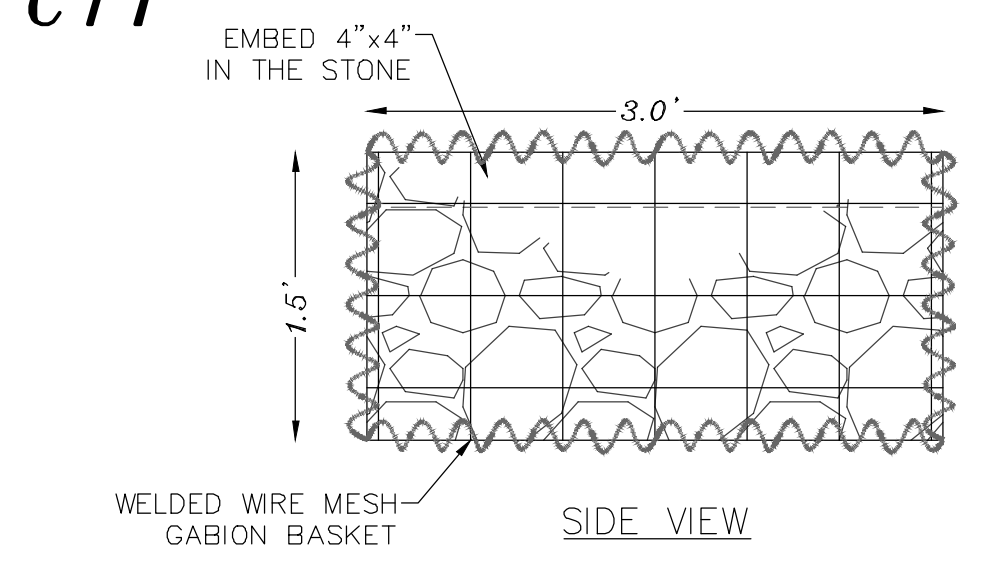
FOR
 TURBOCAM, INC.
 LAND OF
 VIRTUOUS REALTY, LLC
 NH ROUTE 125/CALEF HIGHWAY
 BARRINGTON, N.H.
 TAX MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863

AS NOTED
 DATE : APRIL 17, 2024
 FILE NO. : DB 2023 - 017

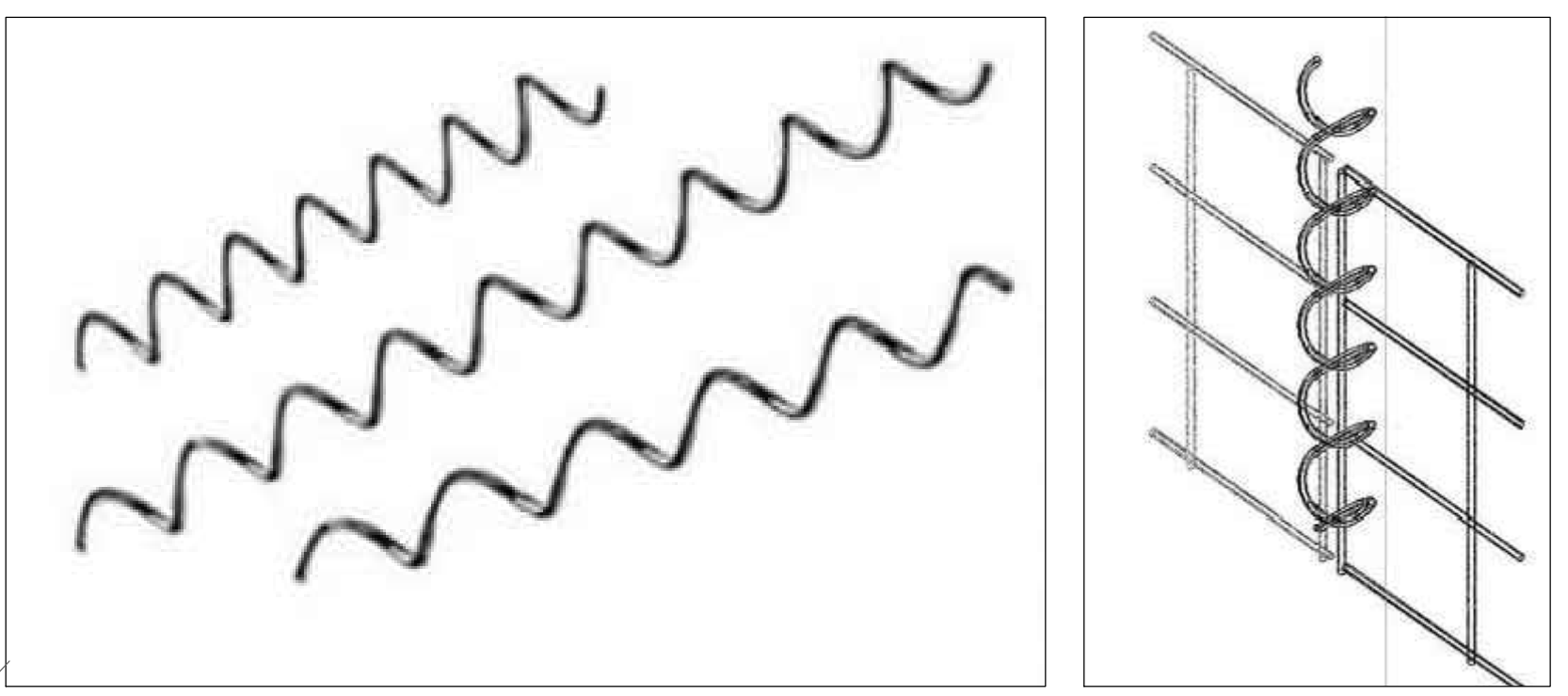


C11



Pneumatic Hog Ring Type 1140	
Description: The 1140 hog ring is a popular hog ring that is used primarily in the concrete control industry. It is manufactured out of high quality wire and then tapered together with high strength polymer resin. It forms a tight fit to provide safety or sharp tips for piercing.	
Popular applications: Gabion Baskets Large Bag Closure Wire to Wire	
Open:	1-1/2" Crown (1.500" / 38.10mm)
Close:	9/16" Diameter (0.5625" / 14.29mm)
Wire:	11 gauge (0.120" / 3.048mm)
Type description:	1140 Series Hog Ring Pneumatic Model
Article code:	1140-14
Application Tool:	C1311 or SC50HP
Ring Design:	C style
Material Options:	Galvanized, Aluminum, Stainless, GalIn
Points:	Blunt or Sharp
Fasteners per ring:	48 rings
Fasteners per box:	1,440 rings
Weight per box:	16.3 lbs (7.38 kg)
Boxes per skid:	96 boxes
Weight per skid:	1,528 lbs (718.96 kg)

PANEL CONNECTION OPTIONS



NOTES:

GABION ASSEMBLY
Open the bundle and unfold each unit.
Lift the sides, the ends and the diaphragms of each unit into vertical position.
Attach the sides of four corners together with locking wire fastener or lacing wire and the diaphragms to the front and back of the gabion.

Foundation Preparation
The foundation on which the gabions are to be placed shall be cut or filled and graded to lines and grades shown on plan drawings. Surface irregularities, loose material, vegetation and all foreign matter shall be removed from the foundation. When fill is required, it shall consist of material conforming to the specified requirements. Gabions and bedding or specified geotextiles should not be placed until the foundation preparation is completed and the subgrade surfaces have been inspected and approved.

Installation and Filling
Empty gabion baskets shall be assembled individually and placed on the approved surface to the lines and grades as shown or as directed, with the position of all creases and that the tops of all sides are level. All gabion baskets shall be properly staggered horizontally and vertically as shown in the construction drawings. Finished gabion structures shall have no gaps along the perimeter of the contact surfaces between adjoining units. All adjoining empty gabion units shall be connected along the perimeter of their contact surfaces in order to obtain a monolithic structure. All lacing wire terminals shall be securely fastened. All joining shall be made through selvedge-selvedge or selvedge-edge wire connection; mesh-mesh wire connection is prohibited except in the case where baskets are offset or stacked and selvedge-mesh or mesh-mesh wire connection would be necessary. As a minimum, a fastener shall be installed at each mesh opening at the location where mesh wire meets selvedge or edge wire.

Deformation and bulging of the gabion units, especially on the wall face, shall be corrected prior to additional stone filling. Care shall be taken, when placing the stone by hand or machine, to assure that the PVC coating on the gabions will not be damaged if PVC is utilized. All stone on the exposed face shall be hand placed to ensure a neat compact appearance.

The initial line of gabion basket units shall be placed on the prepared filter layer surface and adjoining empty baskets set to line and grade, and common sides with adjacent units thoroughly laced or fastened. They shall be placed in a manner to remove any kinks or bends in the mesh and to uniform alignment. The basket units then shall be partially filled to provide anchorage against deformation and displacement during the filling operation. The stone shall be placed in the units as specified or directed by the manufacturer.
Uniformly overfilled by about 1-3 inches to account for future structural settlements and for additional layers. Gabions can be filled by any kind of earth filling equipment. The maximum height from which the stones may be dropped into the baskets shall be 3'.

Gabion stone placement.
When excavation and foundation preparation are completed, the pre-assembled gabions shall be placed in their proper location according to the plans provided. Gabions shall then be connected together and aligned prior to filling with stone. The stone fill shall have a gradation as listed or specified within the contract specifications or as listed within this specification. The stone fill shall be placed into the gabion units in 1' lifts. Cells shall be filled to a depth not exceeding 1' at a time. The fill layer should never be more than 1' higher than any adjoining cell. Connecting wires shall be installed from the front to back and side to side of the individual cells at each 1' vertical interval for gabions with a depth of 3'. The voids shall be minimized by using well graded stone fill and by hand placement of the facing in order to achieve a dense, compact stone fill. All corners shall be securely connected to the adjoining basket of the same layer before filling the units. When more than one layer of gabions is required, in order for the individual units to become incorporated into one continuous structure, the next layer of gabions shall be connected to the layer underneath after this layer has been securely closed. Gabions shall be uniformly overfilled by about 1-2 inches to account for structural settlement.

Lid Closing:
The lids of the gabion units shall be tightly secured along all edges, ends and diaphragms in the same manner as described for assembling. Adjacent lids may be securely attached at the same time. The panel edges shall be pulled to be connected using the appropriate closing tools where necessary. Single point leverage tools, such as crowbars will not be acceptable. All end wire shall then be turned in.

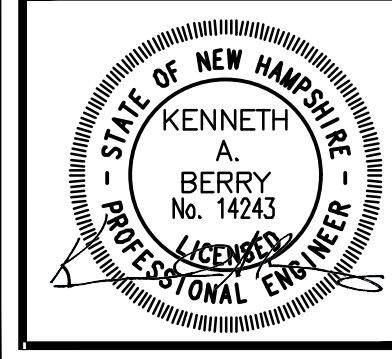
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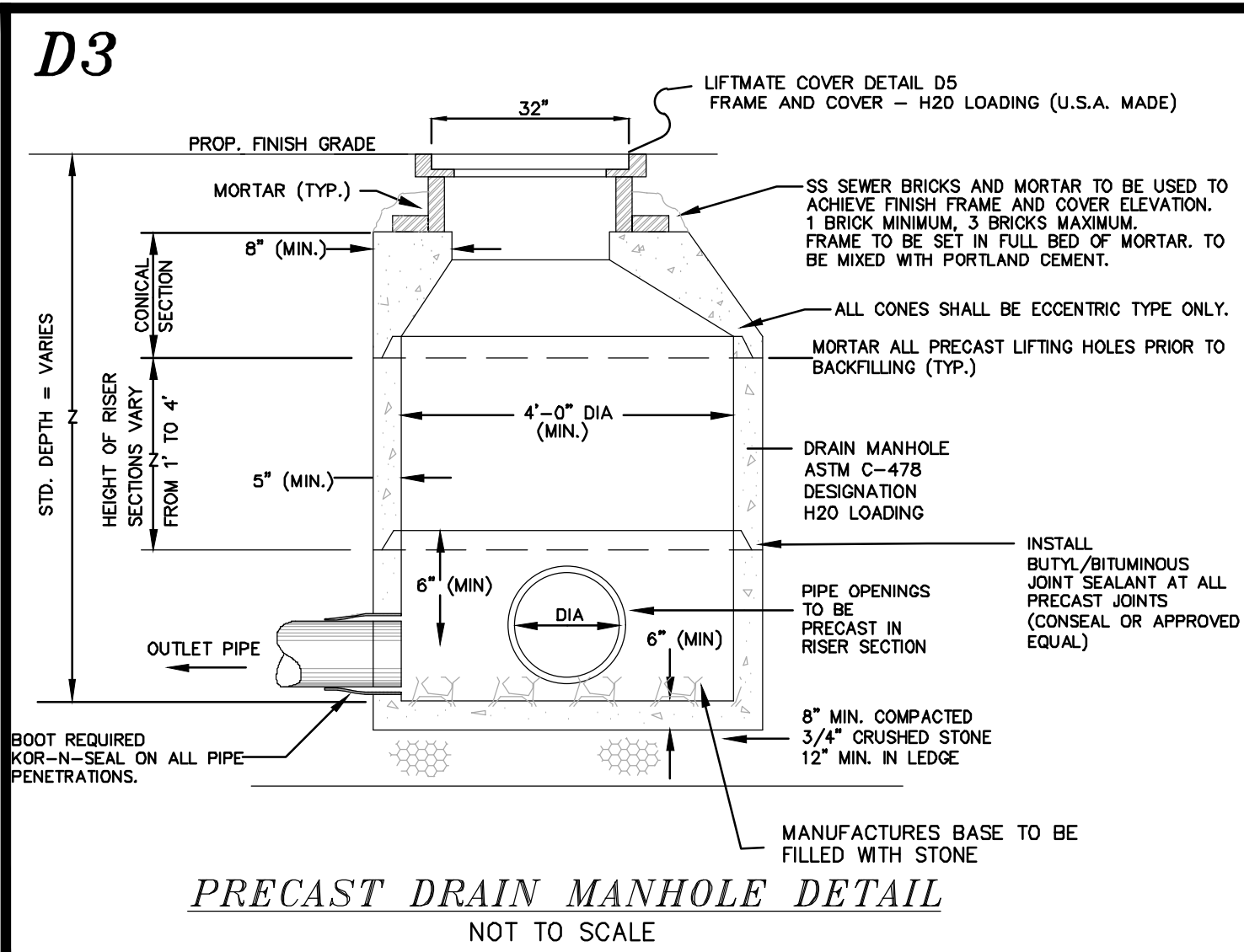
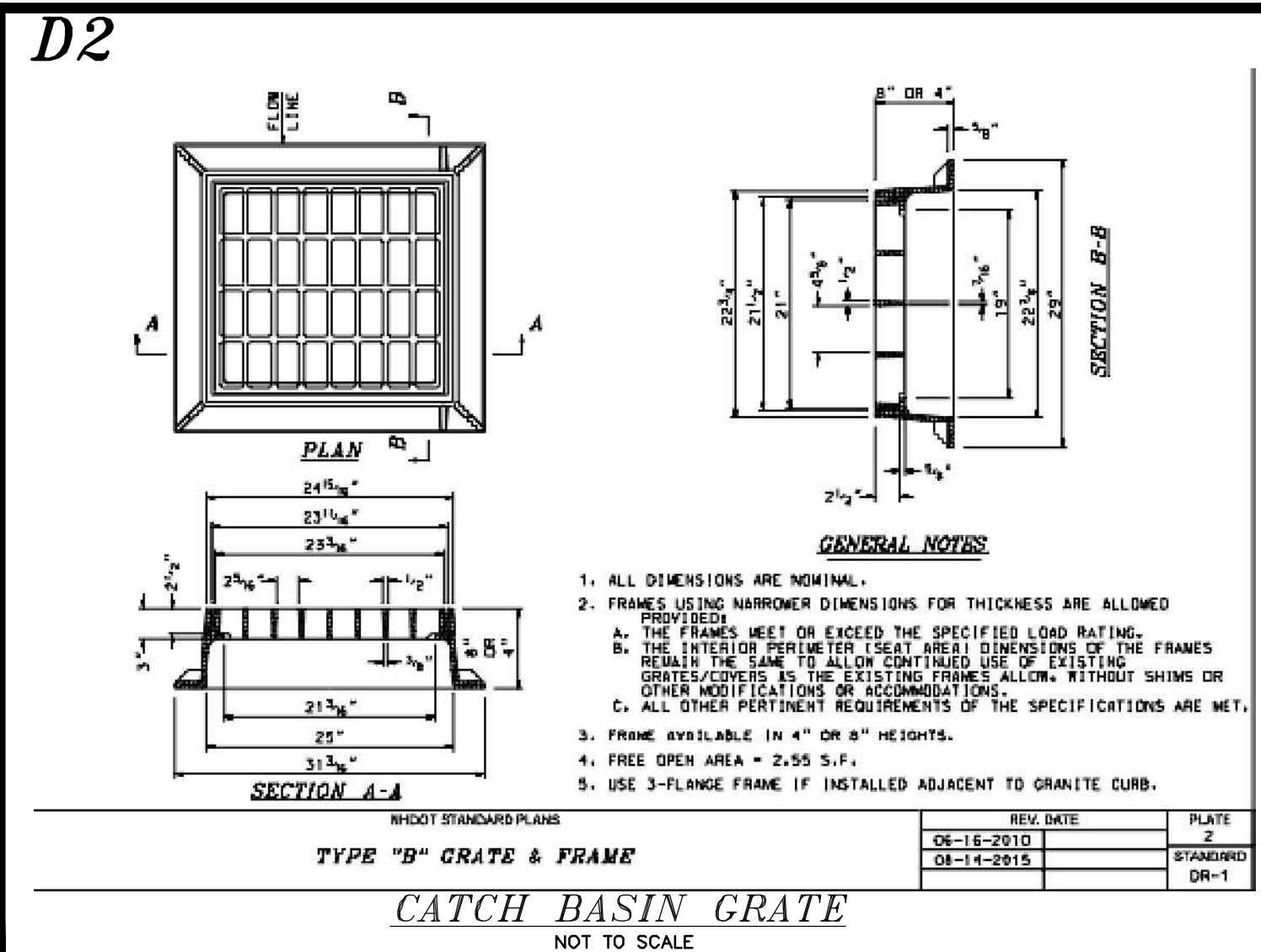
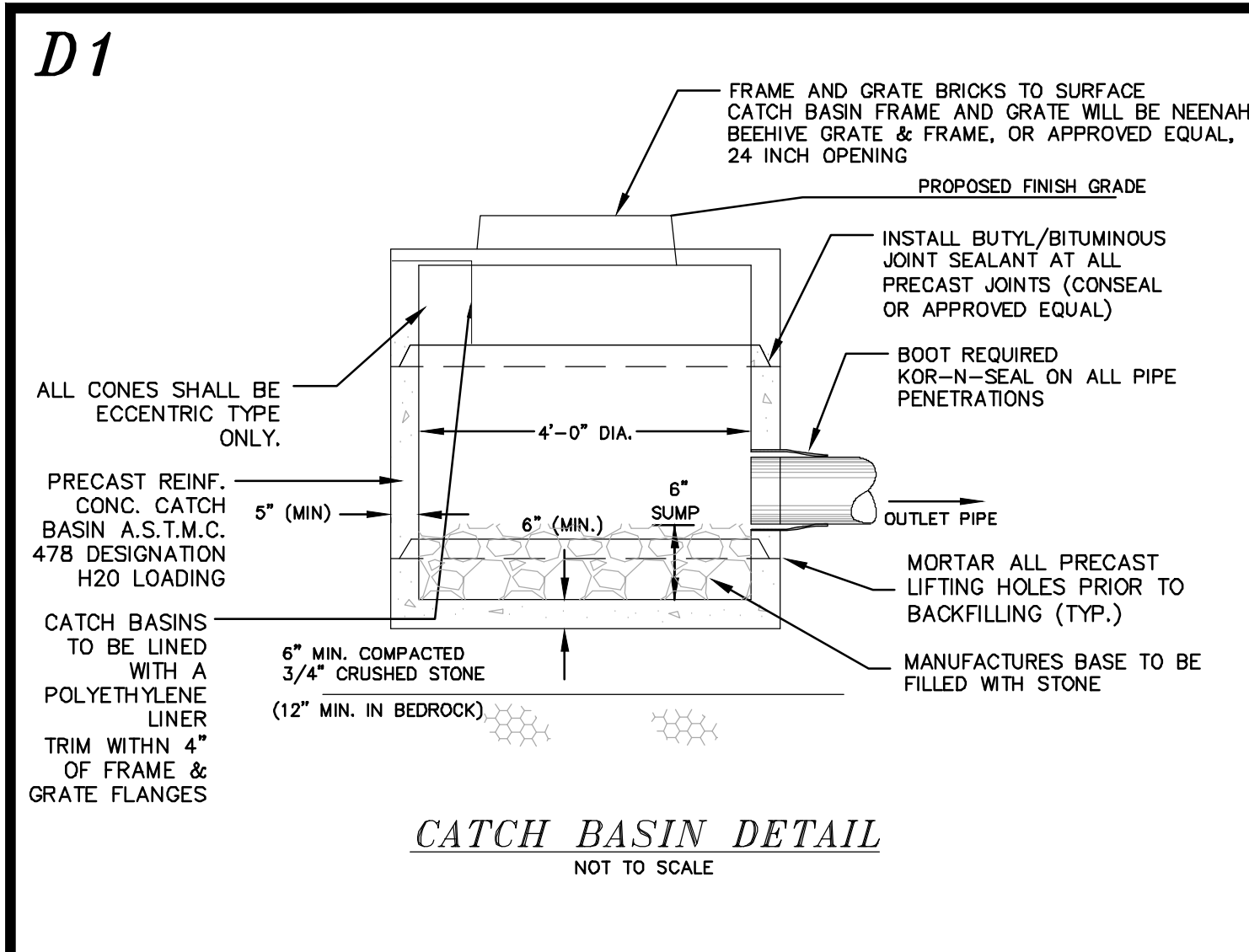
- 1.) INSTALL 4"x4" PT POSTS INTO THE STONES IN THE BASKET SO THEY ARE FLUSH WITH THE TOP OF THE BASKET. INSTALL TOP PANEL WITH EITHER HOG RINGS OR SPIRAL
- 2.) CONSTRUCT THE WOODEN BENCH ATTACHING IT TO THE 4"x4" POSTS EMBEDDED IN THE STONE IN THE BASKET.
- 3.) THE 3' & 4.5' BASKETS ARE TO BE CONSTRUCTED THE SAME AS THE 12' BASKETS. SPACE THE 4"x4" POSTS 4" FROM EACH END AND SPACE THEM EQUALLY, WITH A MINIMUM OF (3) 4"x4" POSTS.
- 4.) BASKET SUPPLIES ARE AVAILABLE FROM, GABION SUPPLY, INFO@GABIONSUPPLY.COM, 866-391-6295.

FOR TOWN APPROVAL PURPOSES:
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CONSTRUCTION DETAILS
FOR
TUBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
74X MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
AS NOTED
DATE : APRIL 17, 2024
FILE NO. : DB 2023 - 017





D4 Manhole Castings L-6

New Hampshire Standard

32" Manhole Frame & Cover

Non-flammable materials and low opening designation of 30" for its use in wetlands. The table below lists the weight and dimensions of the castings.

Features:

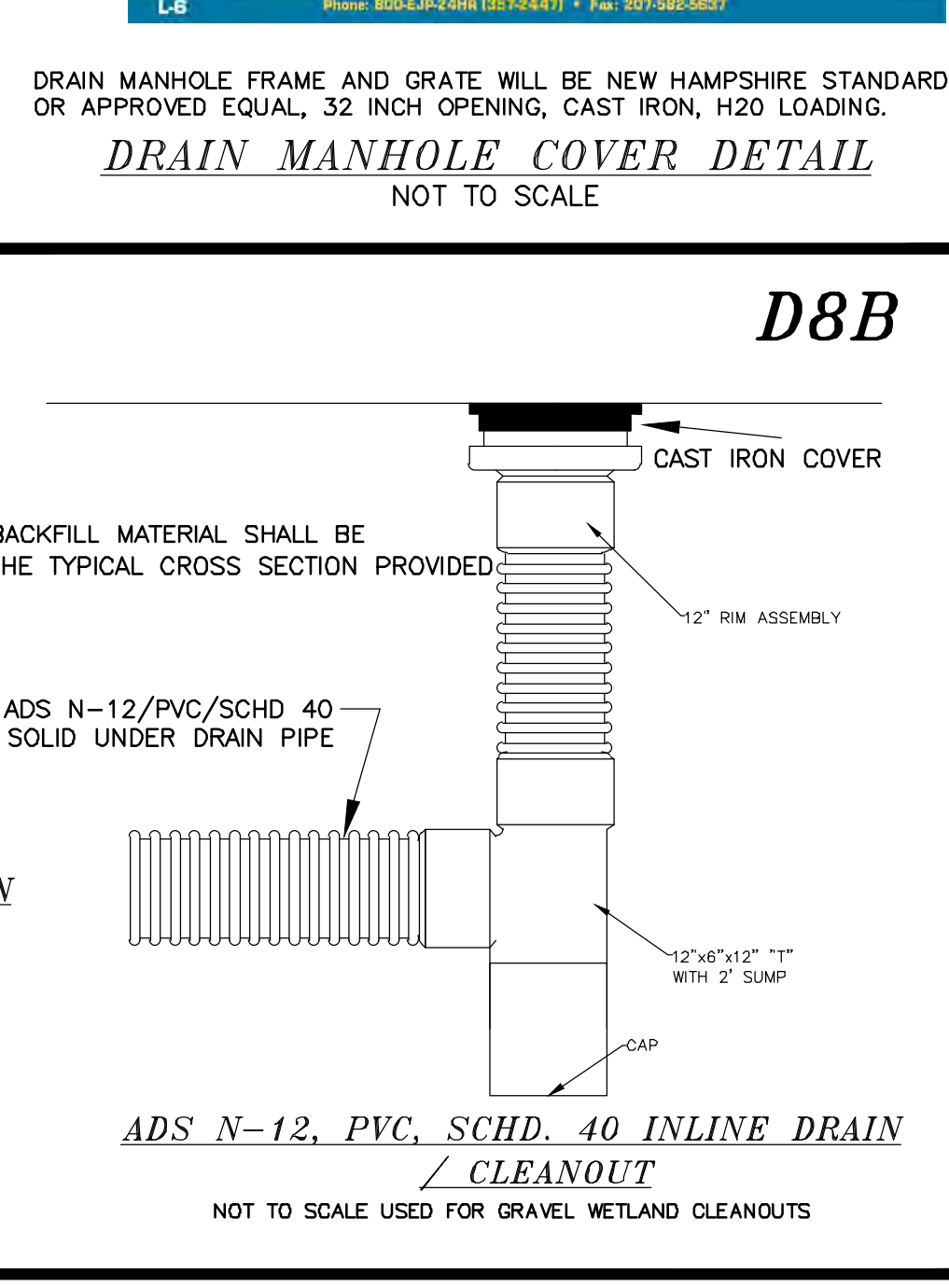
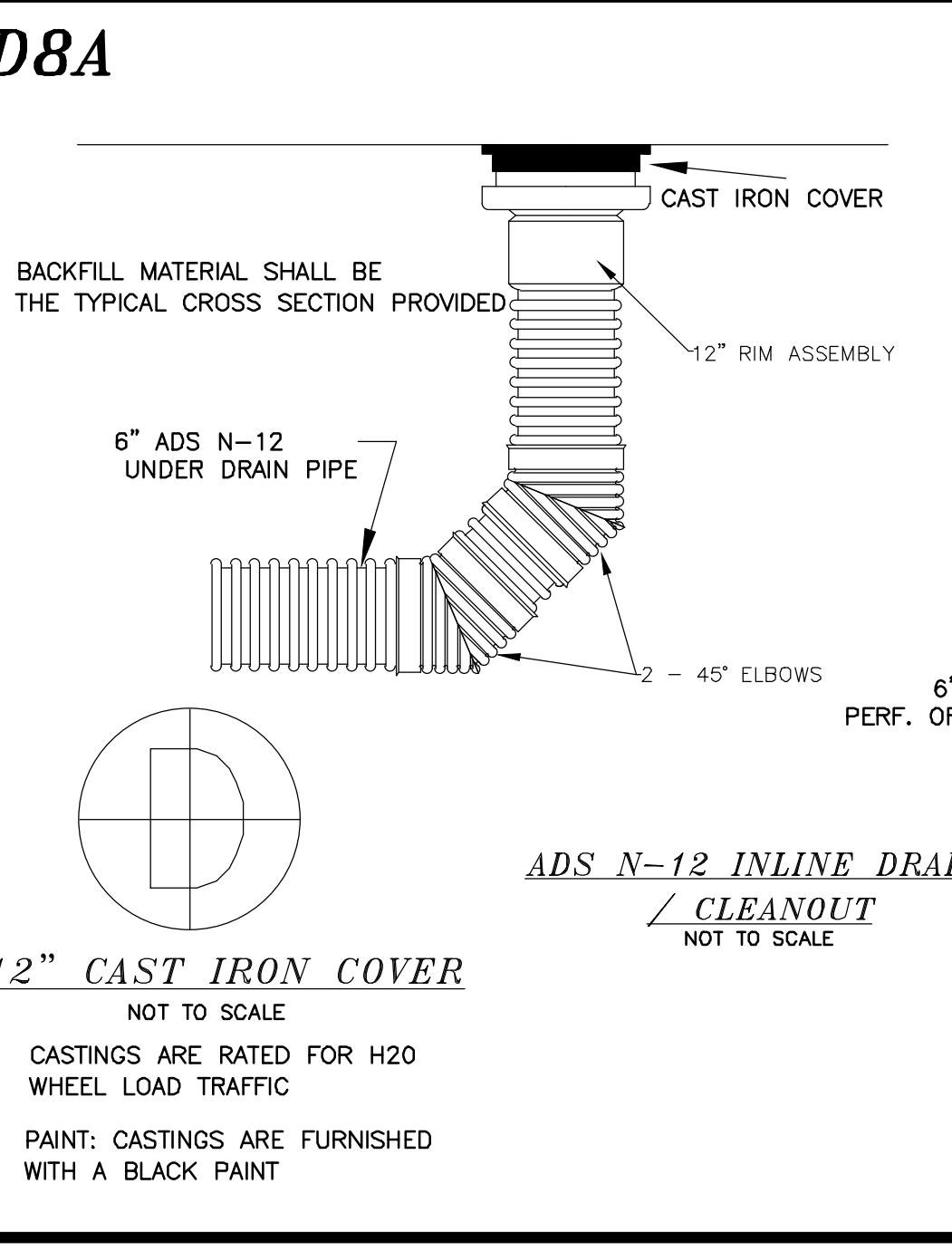
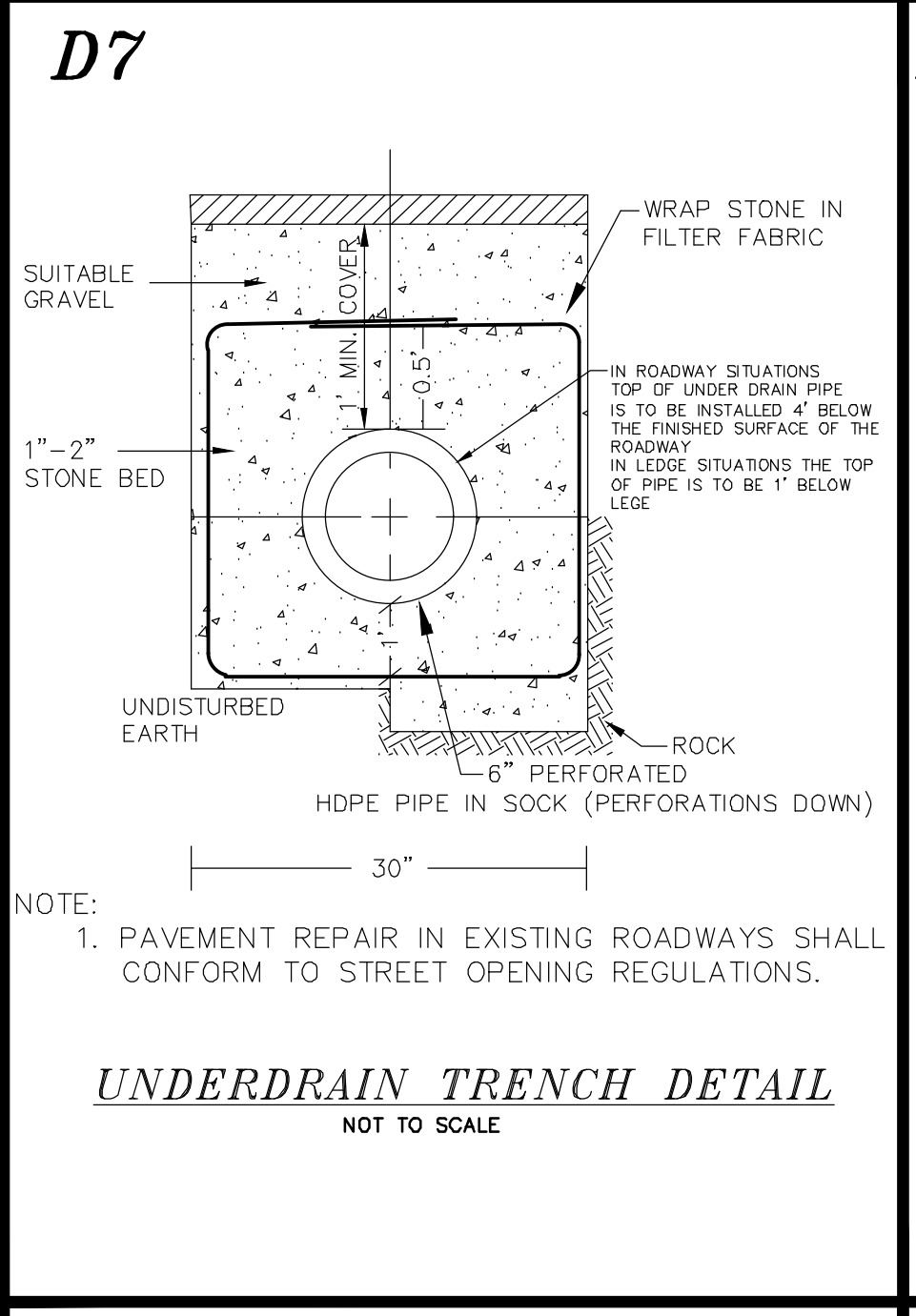
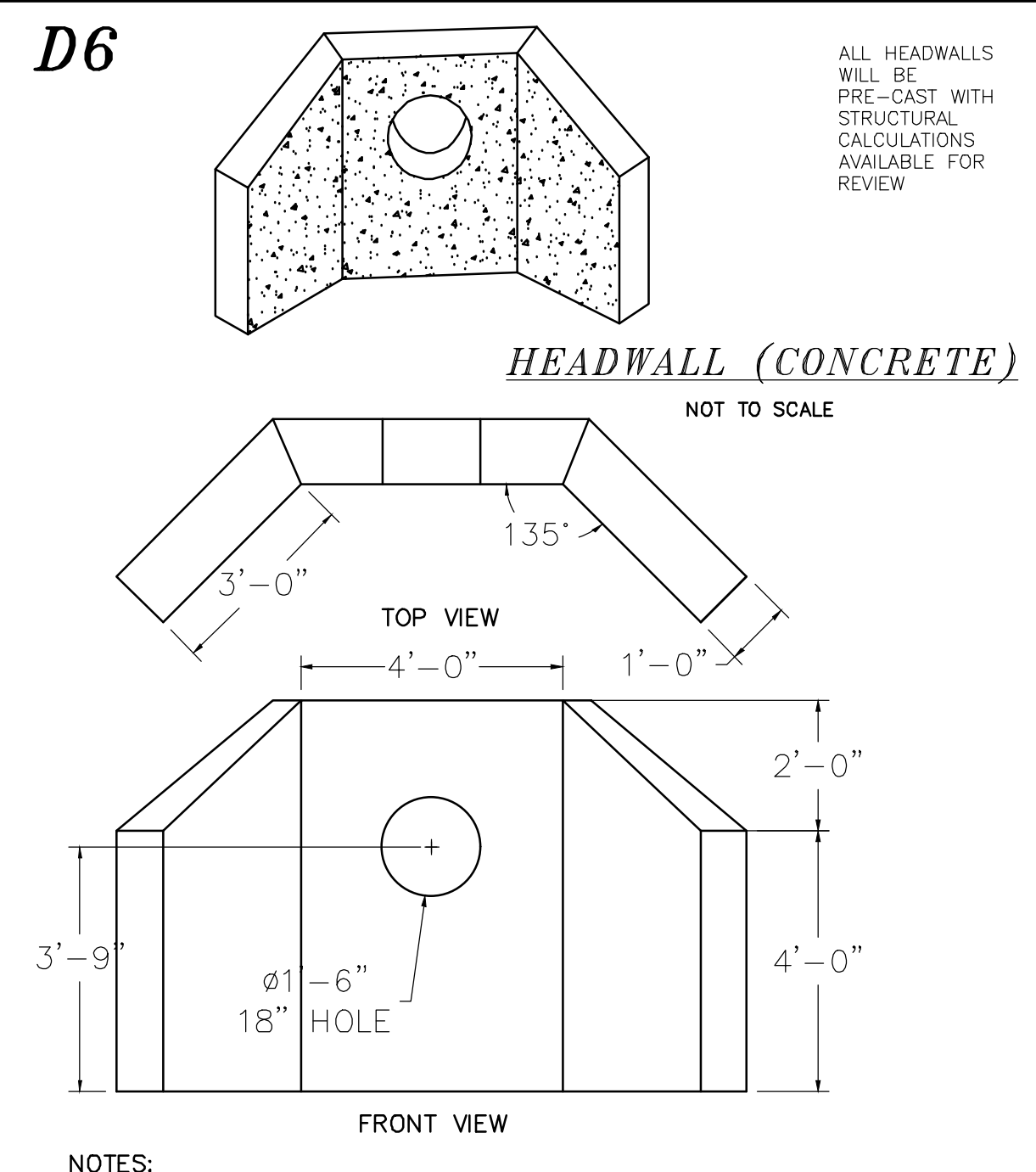
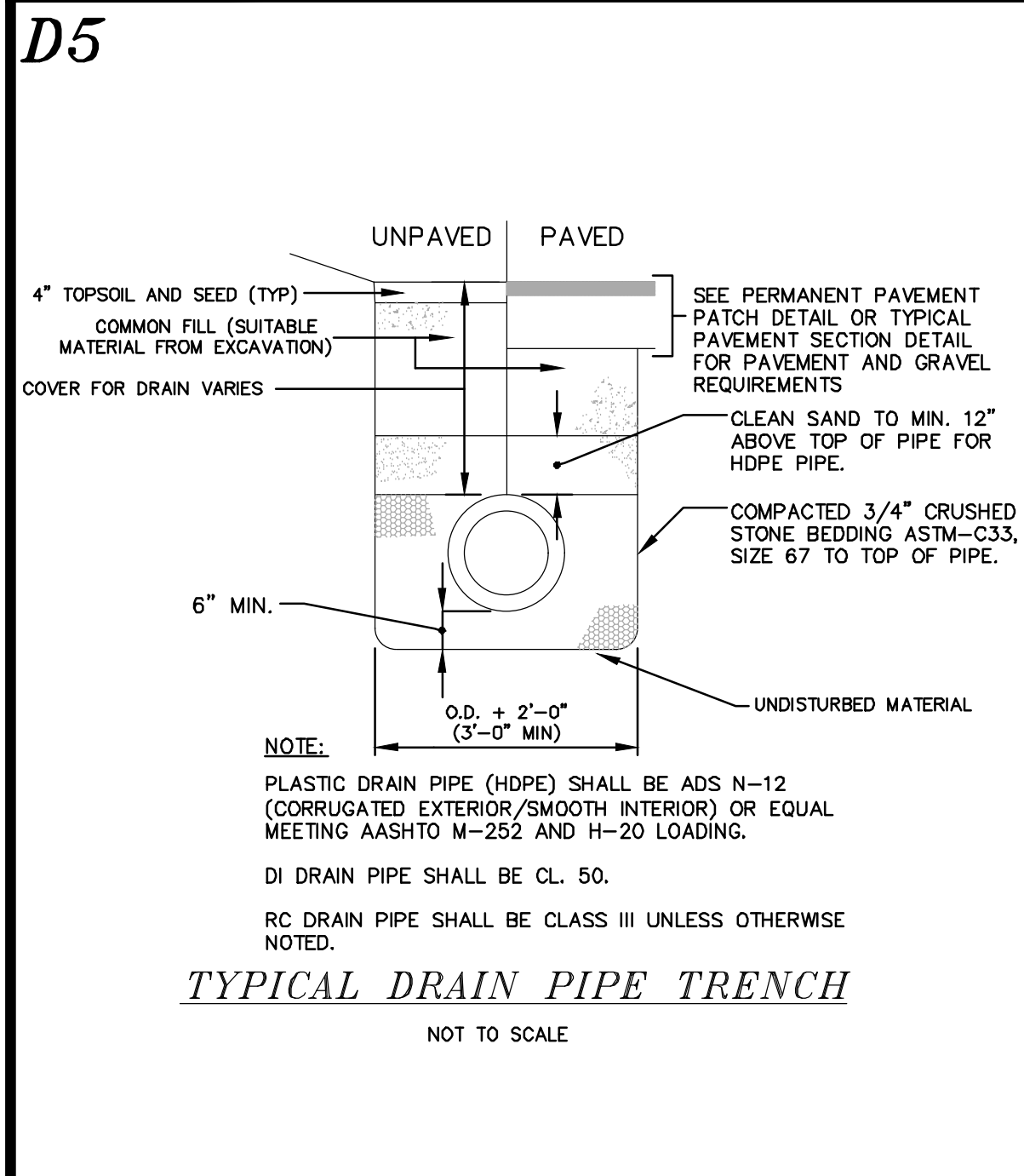
- 2" landing
- Cover available plain or marked SEWER, DRAIN, or WATER
- Non-slip cover
- Dimensional surface design
- Sound proof available

Specifications:

- Fully machined frame and cover
- 32" load rated
- Grey cast iron meets ASTM A48 Class 30
- UVF rating in water base asphalt paint coated

DESCRIPTION	UNIT WEIGHT	PRODUCT NUMBER
32" 4" Manhole Frame	521.00	324000
32" Manhole Cover	252.00	325000
32" Manhole Cover - Plain	252.00	325100
32" Manhole Cover - Drain	252.00	325200
32" Manhole Cover - Water	252.00	325300
32" Manhole Cover - Plain	252.00	325400

Phone: 800-EP-2406 (877-544-611) • Fax: 207-566-0527



D9 ADS N-12 FLARED END SECTIONS

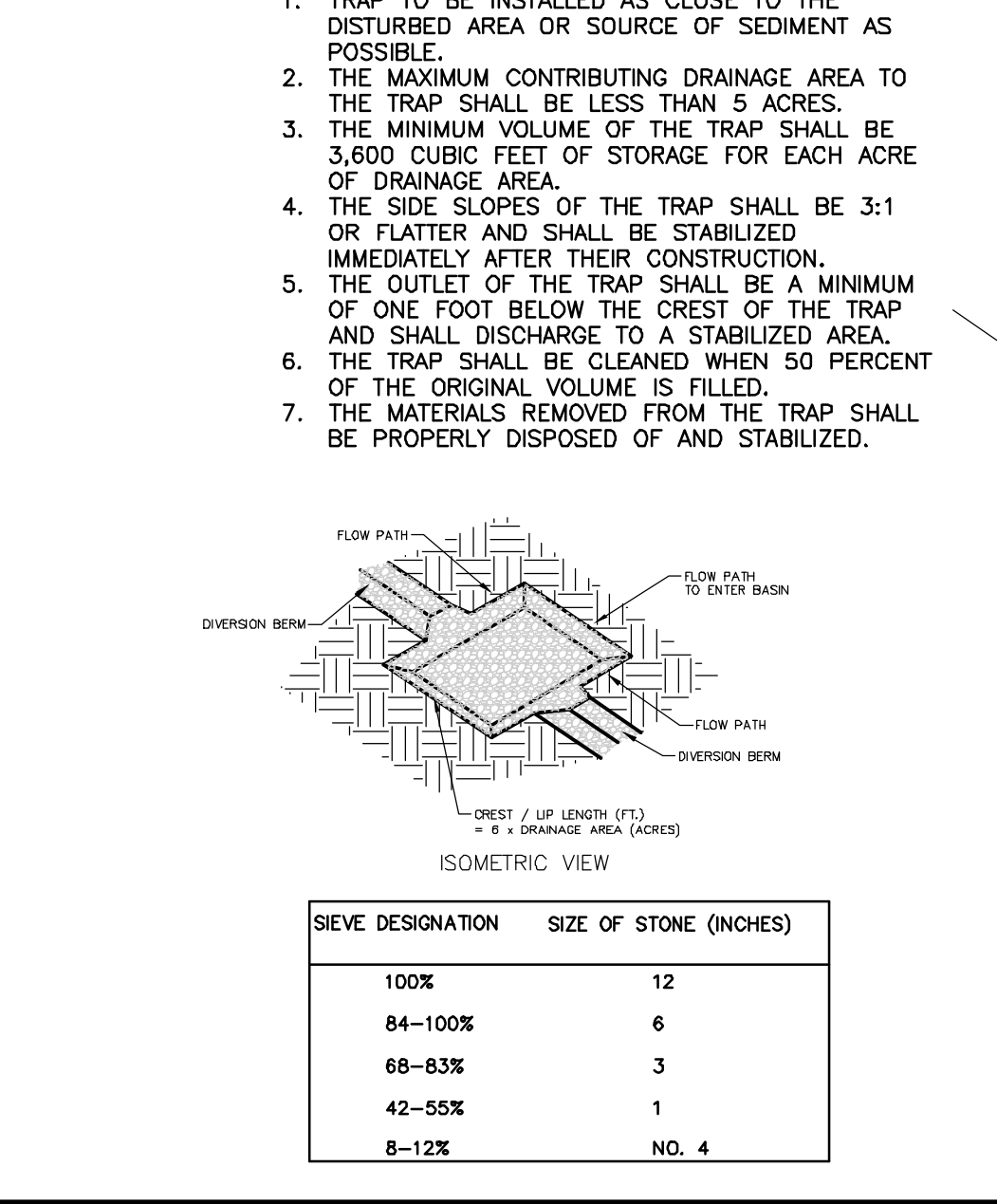
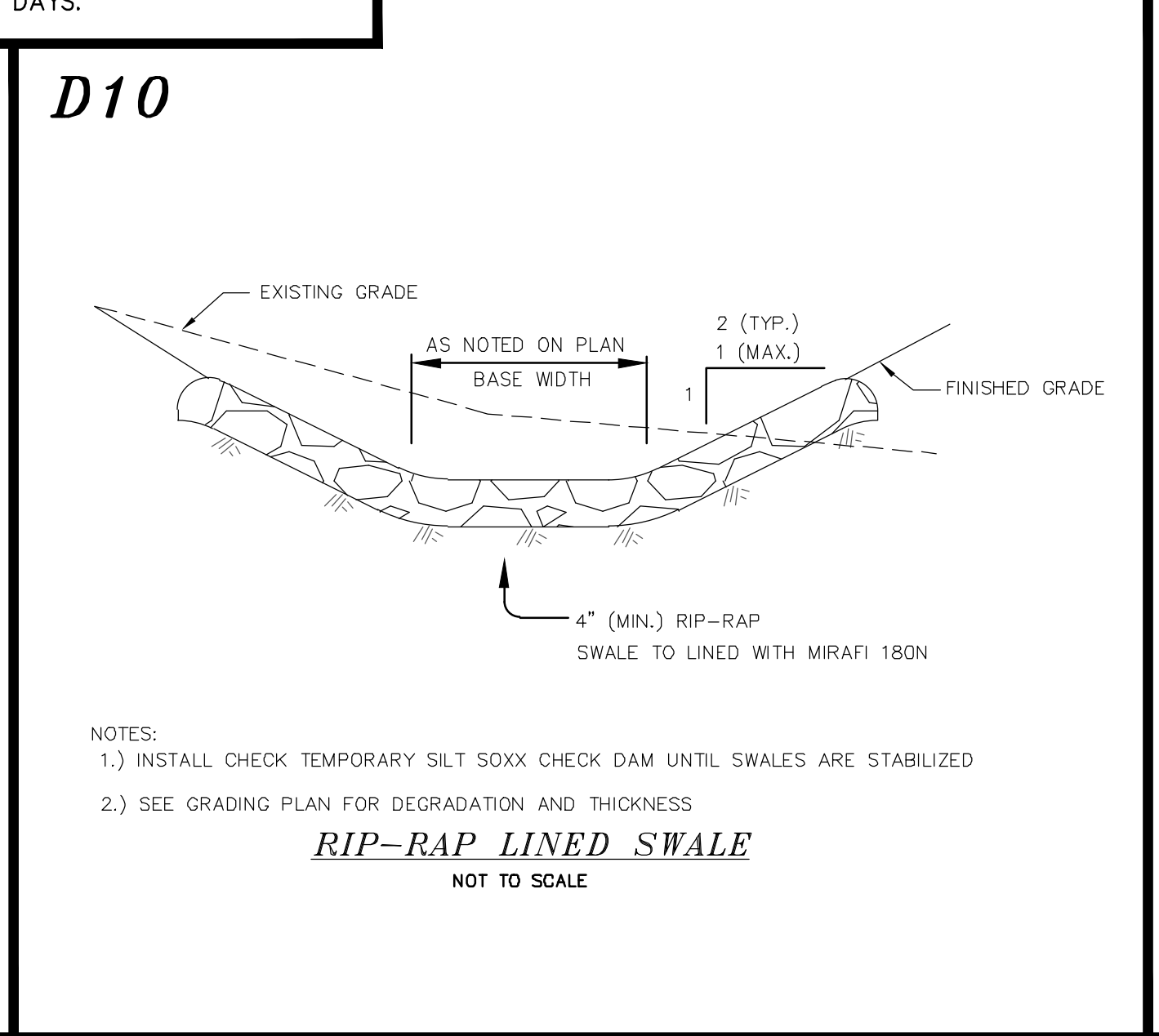
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

RIGHT SIDE VIEW

FRONT VIEW



D11

FOR TOWN APPROVAL PURPOSES:

REFERENCE IS MADE TO A LONG TERM MAINTENANCE MANUAL PREPARED BY BERRY SURVEYING & ENGINEERING, WHICH IS ON FILE AT THE TOWN OF BARRINGTON PLANNING DEPARTMENT, AND CAN BE FOUND AT THE OFFICE OF BERRY SURVEYING & ENGINEERING, (603) 332-2863

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D-101

DRAINAGE CONSTRUCTION DETAILS

FOR TURBOCAM, INC. LAND OF VIRTUOUS REALTY, LLC NH ROUTE 125/CALEF HIGHWAY BARRINGTON, N.H. 74X MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

SHEET 40 OF 43

D12 ANGLE GRATE

NOT TO SCALE

NOTE:
MUST BE HAALA INDUSTRIES INC.
OR EQUAL.

Angle Grates For Manholes



AG0808-58
Part No. AG0808-58

Save Trees

Angle Grates are designed to cover inlet orifices and prevent small to medium debris from passing through. The top angled design helps to minimize the amount of debris that settles on top after the water recedes. All grates are made from plate for a clean and smooth contact surface.

- Plate design for a clean appearance
- Standard 2" openings (other sizes can be made)
- Angled topfront plate to maximize debris deflection
- Mounting flanges on 3 sides allows grate to be mounted at floor level inverts
- Galvanized steel construction. Can be made from aluminum or stainless steel.

D13 CONE GRATE

NOT TO SCALE

NOTE:
MUST BE HAALA INDUSTRIES INC.
OR EQUAL.

Cone Grates Top Mount



CG12TM
Part No. CG12TM

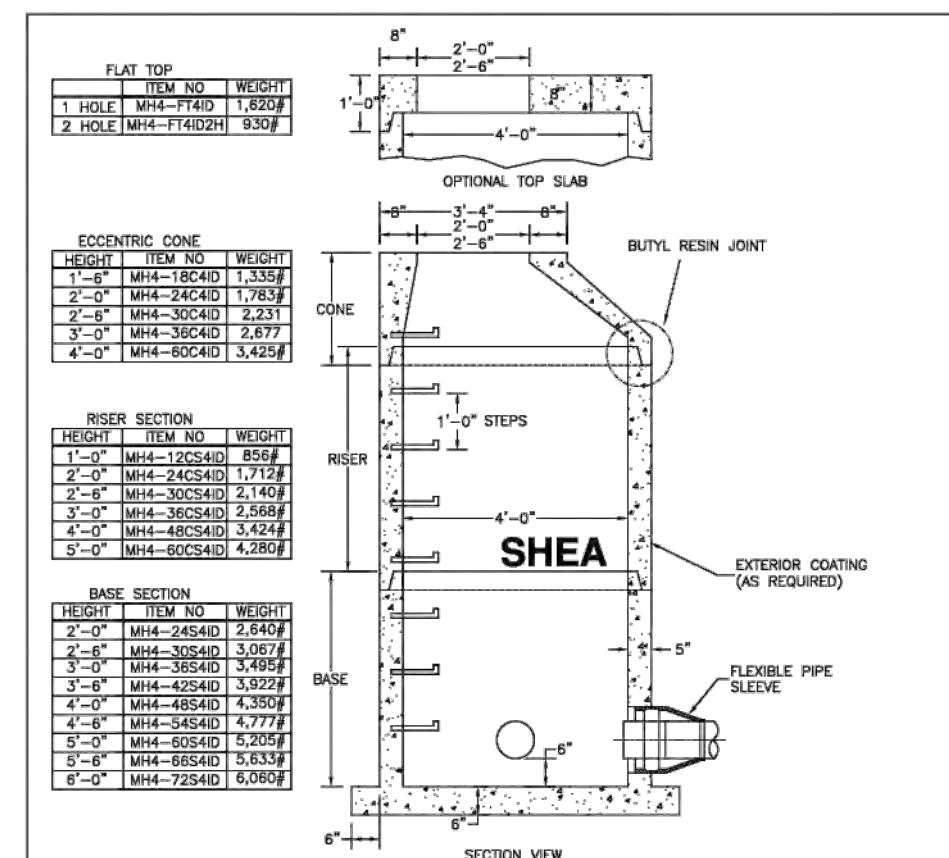
Save Trees

Top Mount Cone Grates are designed to mount on the top of round manhole inlet or outlet structures to keep debris from entering the storm water system. Top mount cone grates are easy to install and allow for at grade manhole installations but can be used in a variety of applications. Grates 96" and larger are made as a two piece, bolt together design.

- Plate and bar hybrid design is both clean and cost effective
- Made from 1/2" plate with 3/4" or 1" round bars depending on grate size
- Anti vortex plate can be added upon request
- Hinged and lockable access doors can be added upon request
- Galvanized steel construction. Can be made from aluminum or stainless steel.

D14 48" MANHOLE ROUND EXTENDED BASE

NOT TO SCALE

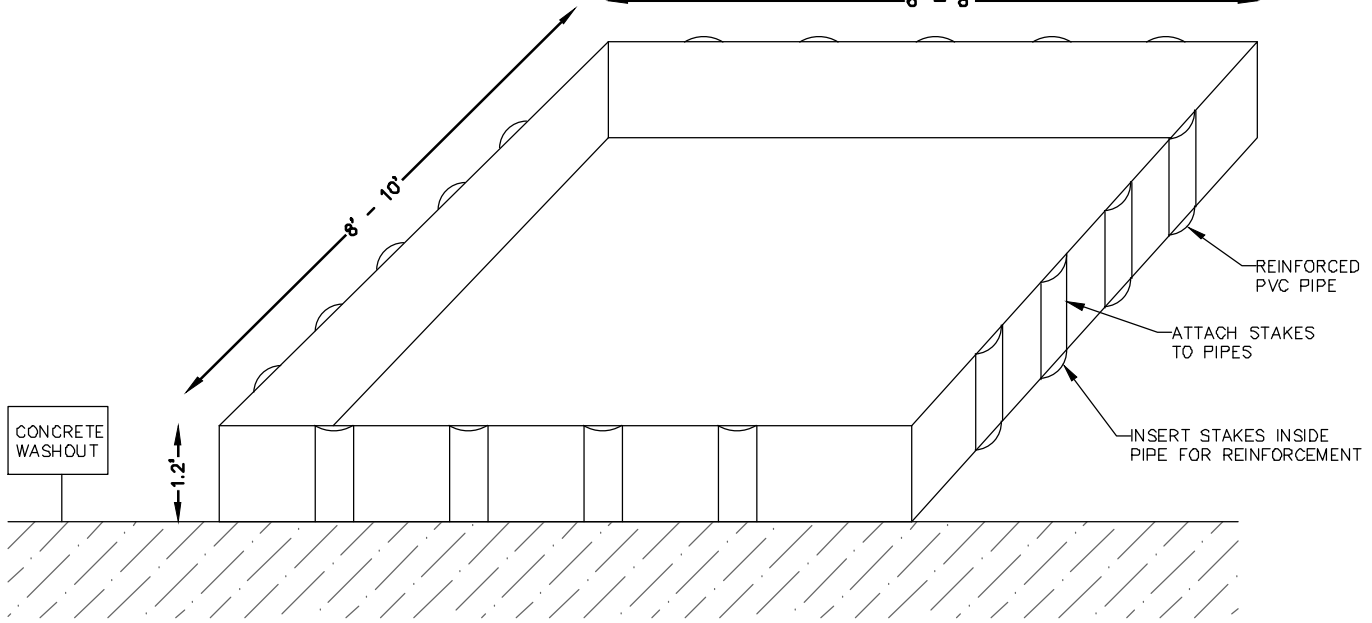


- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 (SEE 0.15 SQ. IN. LINEAL FT. AND 0.12 SQ. IN. SQ. IN. AREA BOTTOM).
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44. ASTM C695 SPEC. FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
 4. BUTYL RUBBER SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
 5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC SUMP CONFORMS TO LATEST ASTM C936 SPEC.

SHEA New England's Premier Precaster
800-686-7432 (SHEA) www.sheaprecast.com
773 Salem Street - Wilmington, MA 01897 Cranberry Hwy - Rochester, MA 01824
171 North Hill Road - Amherst, MA 01001 160 Old Temple Rd - Holliston, MA 01906
Mail to: PO Box 520 - Wilmington, MA 01887
Page: 02.1.2

D15 CONCRETE WASHOUT

NOT TO SCALE



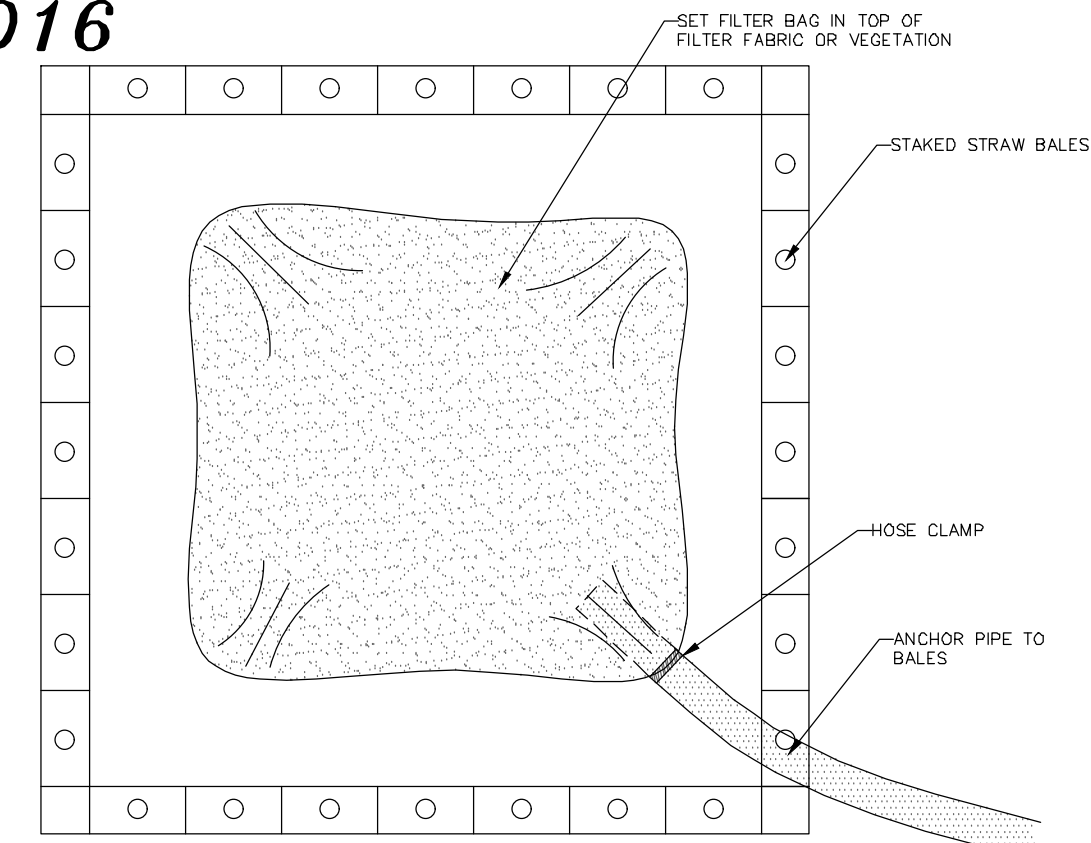
- NOTES:
- 1.) CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO ANY CONCRETE POURS.
 - 2.) SIGNS SHALL BE INSTILLED TO CLEARLY INDICATE WHERE THE LOCATION OF THE WASHOUT AREA IS.
 - 3.) CONTRACTOR IS IRRESPONSIBLE TO MAINTAIN AND REPLACE WASHOUT AREA AS NEEDED.
 - 4.) RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
 - 5.) DO NOT WASH CONCRETE TRUCKS OUT INTO DRAINAGE AREAS, SWALES, STREETS OR UNDISTURBED AREAS.
 - 6.) WASHOUT AREA SHALL BE PLACED AWAY FROM DRAINAGE FEATURES AND OUTSIDE AND WETLAND BUFFERS.

CONCRETE WASHOUT

NOT TO SCALE

D16 DE-WATERING BASIN

NOT TO SCALE



- NOTES:
- 1.) ENSURE DISCHARGE POINT IS STABILIZED WITH VEGETATION OR PROPER EROSION AND SEDIMENT CONTROL PRACTICES.
 - 2.) USE DIFFUSER NOZZLE OR LOW DISCHARGE RATE TO PREVENT SCOURING.
 - 3.) TO BE PLACED AT AN UPLAND LOCATION THAT WILL ALLOW WATER TO DRAIN INTO THE GROUND.
 - 4.) SIZE OF DE-WATERING AREA TO BE 10' X 10', ADJUST SIZE DEPENDING ON VOLUME AND USE.
 - 5.) ADDITIONAL BALES MAY BE USED TO INCREASE RETENTION AND FILTERING.

DE-WATERING BASIN

NOT TO SCALE

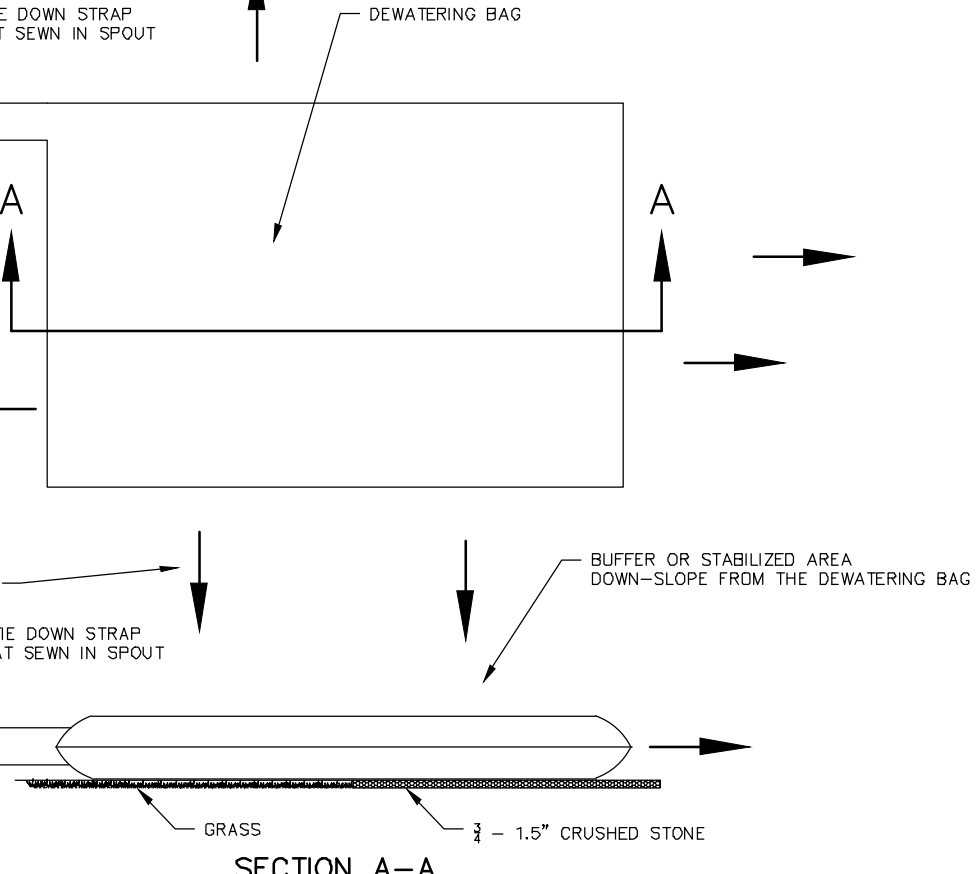
D17 BEST MANAGEMENT PRACTICES FOR BLASTING (NOT ANTICIPATED)

BEST MANAGEMENT PRACTICES FOR BLASTING (NOT ANTICIPATED)

ENV-WQ 1510.03 LOADING PRACTICES. THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:

- (A) THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
 - (1) THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
 - (2) GROUNDWATER CONDITIONS;
 - (B) THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
 - (C) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
 - (1) USED IN THE BOREHOLE;
 - (2) RETURNED TO THE DELIVERY VEHICLE; OR
 - (3) PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
 - (D) SPILLAGE AROUND THE BOREHOLE SHALL BE:
 - (1) PLACED IN THE BOREHOLE; OR
 - (2) CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
 - (E) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
 - (F) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
 - (G) EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.
- PRE-BLAST SURVEY WILL INCLUDE ALL ADJUTING PROPERTIES AND FOLLOW STATE AND LOCAL REQUIREMENTS.

D18 DEWATERING (DANDY) BAG



1. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, CONSTRUCTION DEWATERING, PAGE 14.
2. TO BE INSTALLED UPSLOPE OF BUFFER OR STABILIZED AREA.

DEWATERING (DANDY) BAG

NOT TO SCALE

D19 PERIMETER CONTROL

PERIMETER CONTROL

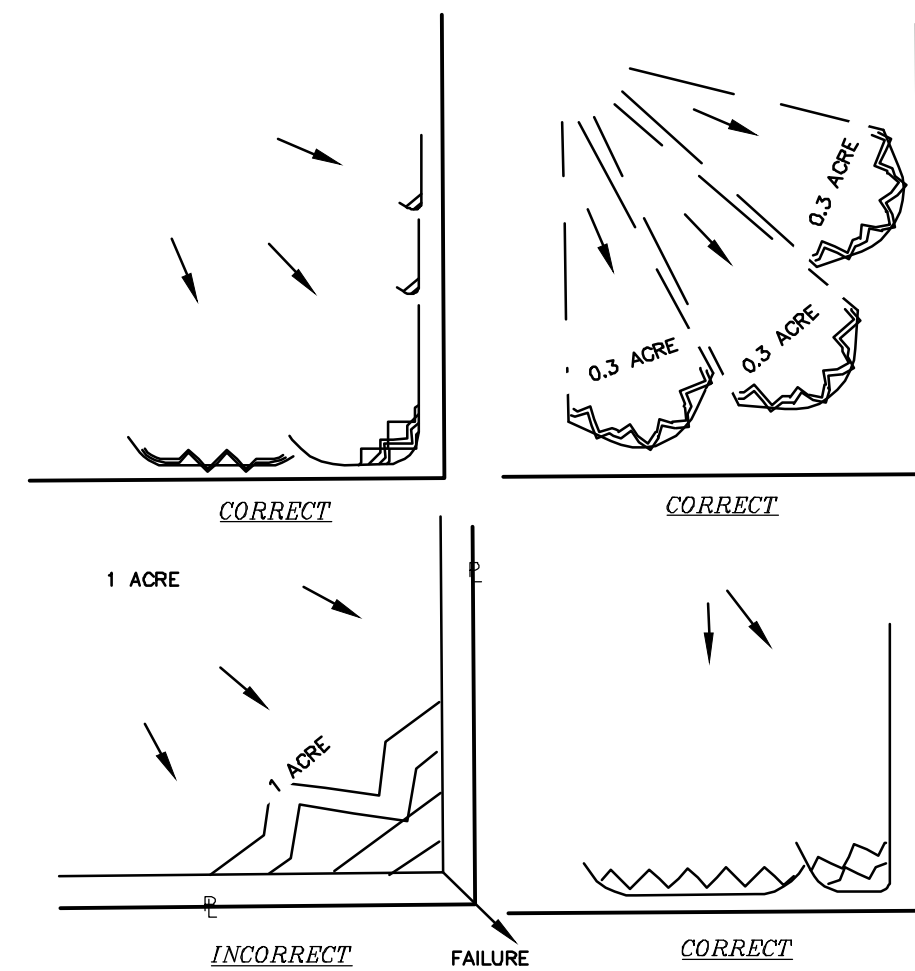
NOT TO SCALE

DESIGN CONSIDERATIONS:

1. THE MAXIMUM LENGTH OF SLOPE ABOVE PERIMETER CONTROL IS 100 FEET.
2. SILT FENCE OR SILT SOXX REQUIRED WHEN UPGRADIENT DISTURBED SOIL IS GREATER THAN 5% (50% SLOPE MAX). MULCH BERM CAN BE USED WHEN THE UPGRADIENT DISTURBED SOIL IS 5% OR LESS.
3. THE MAXIMUM CONTRIBUTING DRAINAGE AREA OF ONE-QUARTER ACRE PER 100-FOOT OF PRACTICE LENGTH.
4. PERIMETER CONTROL IS TO BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES, INCLUDING GRUBBING AND CLEARING.

NOTES

1. DO NOT LAYOUT PERIMETER CONTROL ALONG SLOPING PROPERTY PERIMETER WITHOUT INSTALLING "J HOOKS" AT HIGH CONCENTRATION AREAS. RUNOFF WILL CONCENTRATE AND CAUSE FAILURES ALONG THE PERIMETER.
2. "J HOOKS" CAN BE USED TO HELP LIMIT THE CONCENTRATION OF RUNOFF AND PROVIDE MORE STABILITY TO THE PERIMETER.
3. SILT FENCE AND EROSION CONTROL MULCH BERM MAY BE USED INTERCHANGEABLY. IN SPECIFIED AREA, SILT FENCE MAY NOT BE SUBSTITUTED FOR FILTREXX SILT SOXX OR APPROVED ALTERNATIVE.
4. SEE HAMPSHIRE STORM WATER MANUAL: VOLUME 3, PAGE 99 FOR FURTHER DETAILS AND SPECIFICATIONS

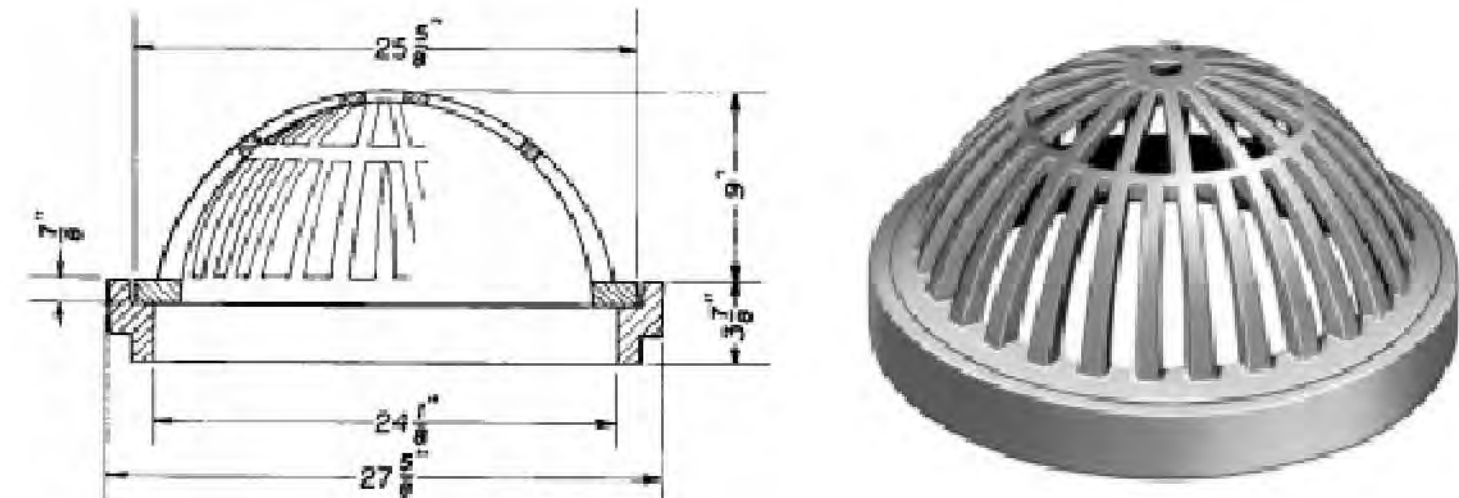


D20 CATCH BASIN IN GRASSED AREA FRAME & GRATE DETAIL

R-4353 Beehive Grate, Frame

Light Duty

CATALOG NUMBER	GRATE TYPE	SQ. FT. OPEN	WEIR PERIMETER LINEAL FEET
R-4353	Beehive	9.8	8.7



Also available with 2 - 7/8" tall frame, if requested.

CATCH BASIN IN GRASSED AREA FRAME & GRATE DETAIL

NOT TO SCALE

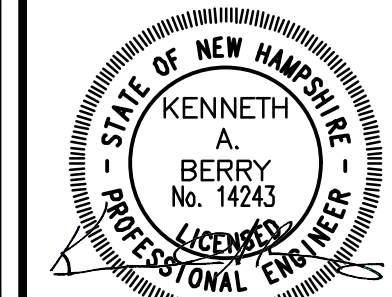
DRAINAGE CONSTRUCTION DETAILS

FOR
TUBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE: APRIL 17, 2024
FILE NO.: DB 2023 - 017

FOR TOWN APPROVAL PURPOSES:
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

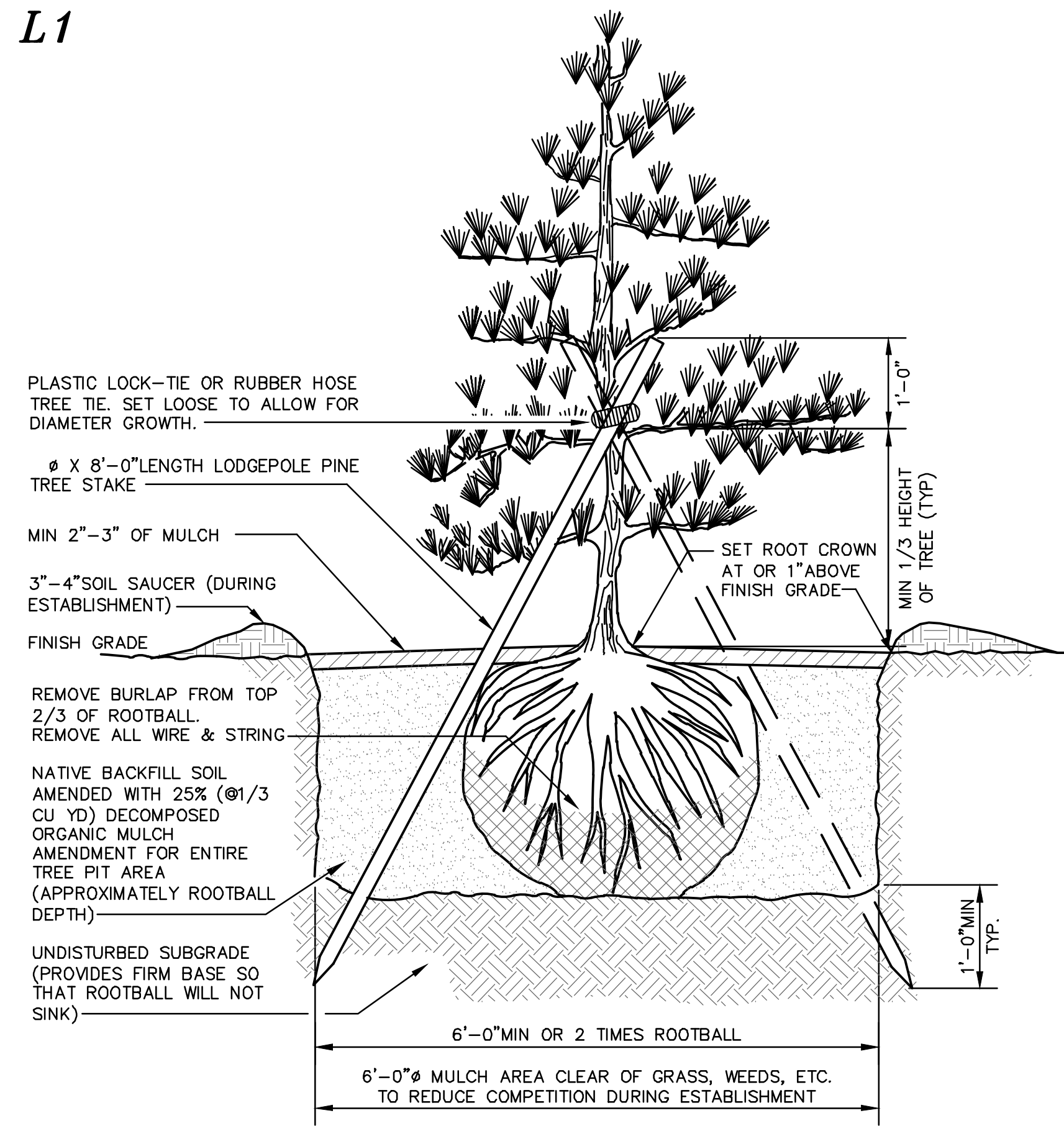
REFERENCE IS MADE TO A LONG TERM MAINTENANCE MANUAL PREPARED BY BERRY SURVEYING & ENGINEERING, WHICH IS ON FILE AT THE TOWN OF BARRINGTON PLANNING DEPARTMENT, AND CAN BE FOUND AT THE OFFICE OF BERRY SURVEYING & ENGINEERING, (603) 332-2863.



D-102

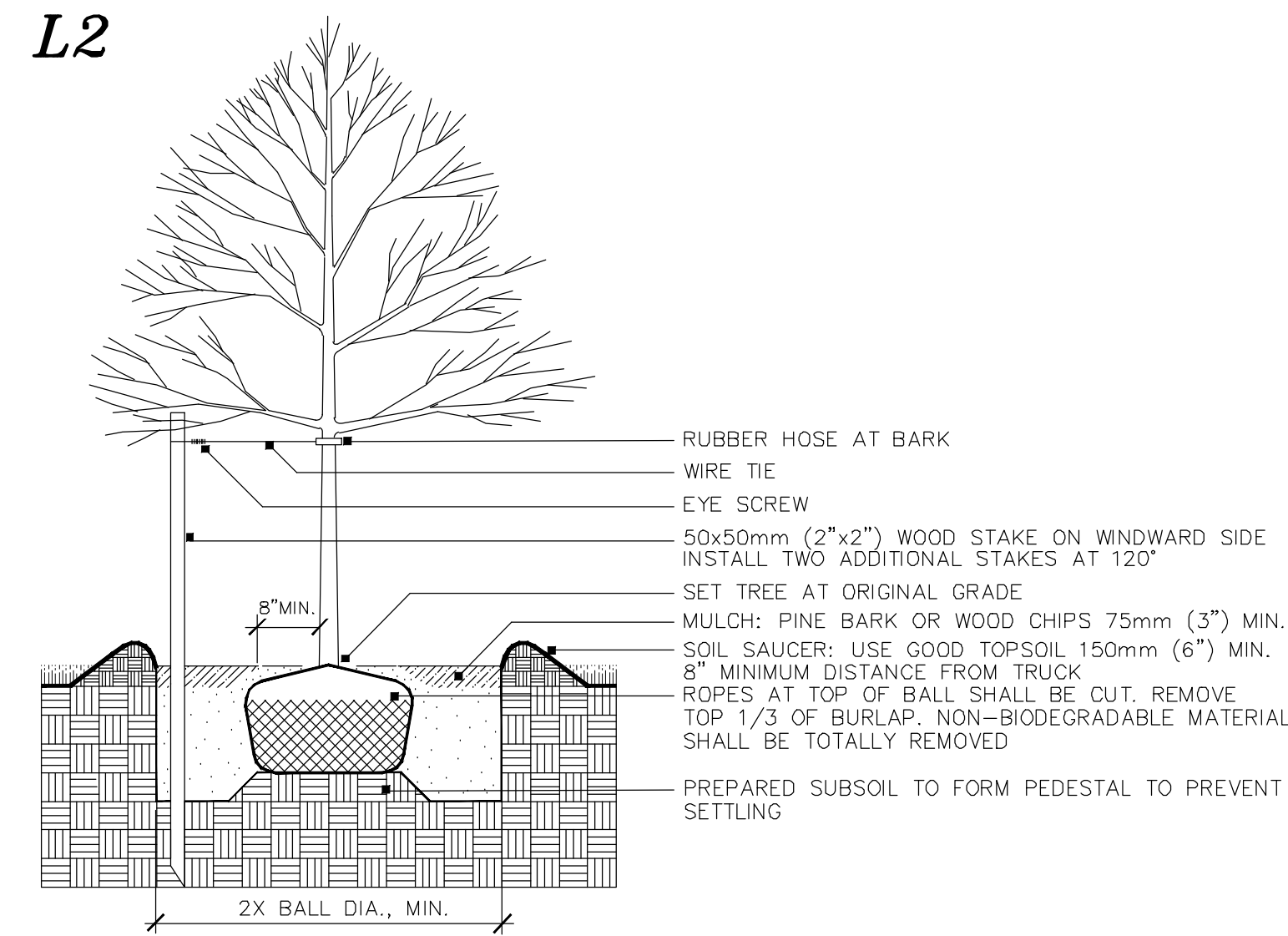
SHEET 41 OF 43

L1



CONIFEROUS TREE PLANTING

L2



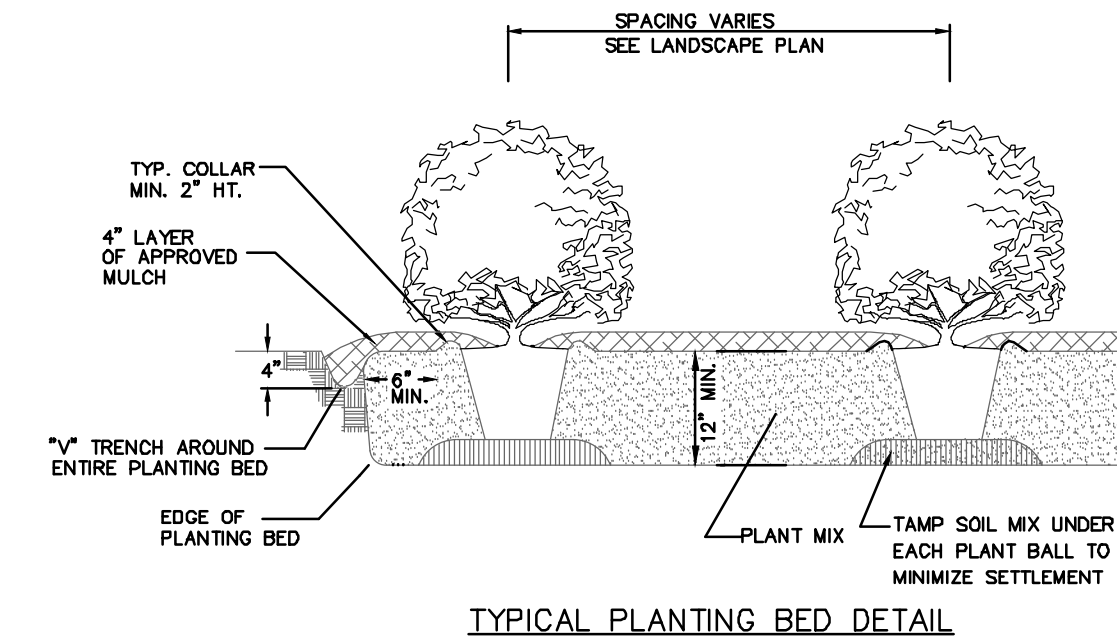
DECIDUOUS TREE PLANTING

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

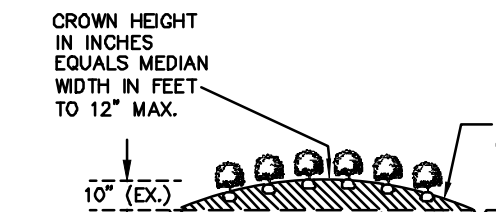
L3

NOTES:

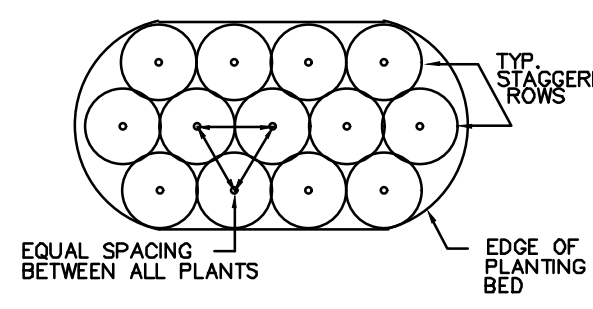
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL



TYPICAL BED CROWNING



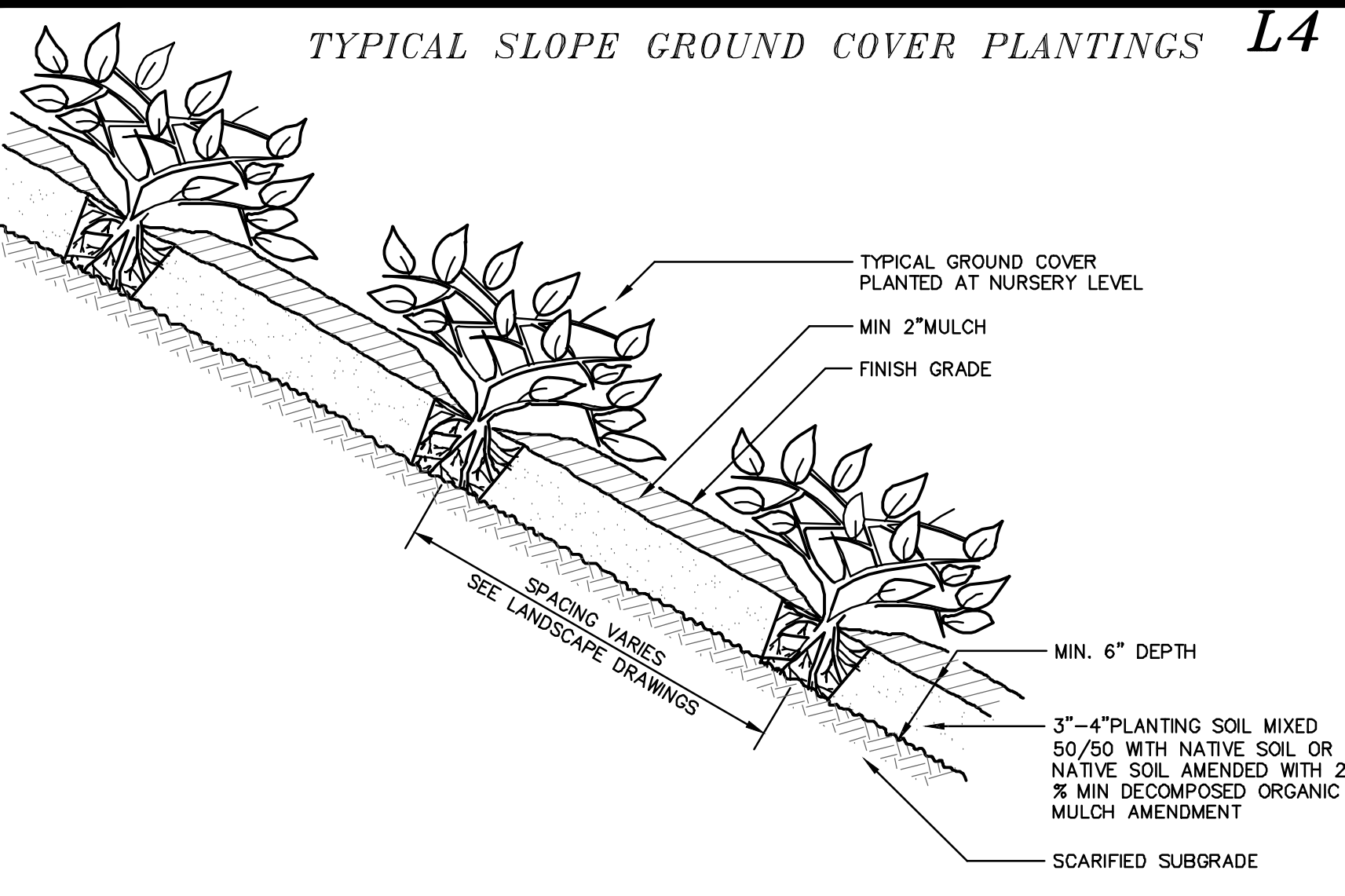
TYPICAL PLANTING BED PLAN

SHRUB & HEDGE PLANTING

NOTES:

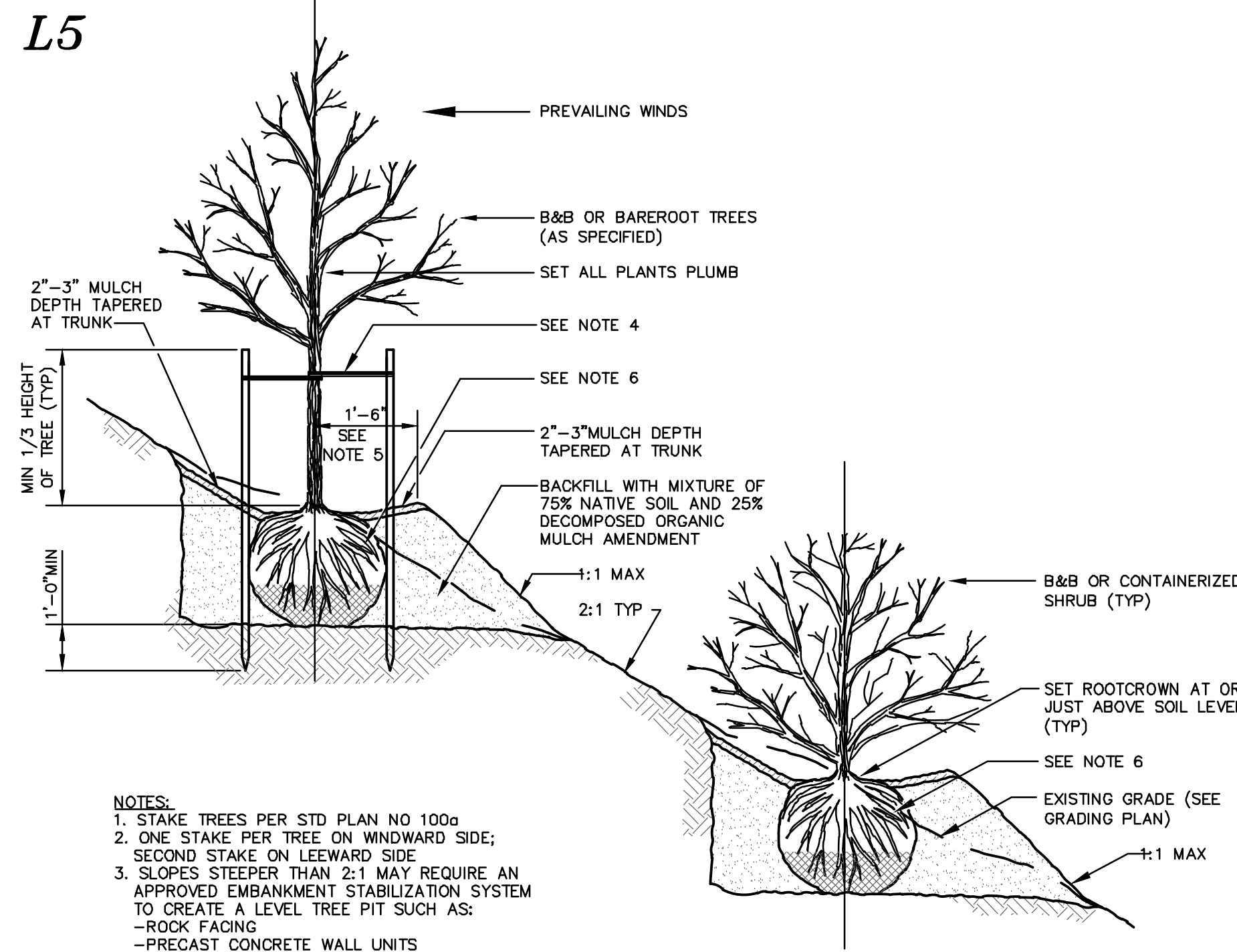
- 1.) CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- 2.) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- 3.) PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 4.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 5.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 6.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 7.) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 8.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- 9.) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- 10.) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- 11.) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- 12.) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- 13.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- 14.) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- 15.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- 16.) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- 17.) SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- 18.) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- 19.) TREES ARE TO BE 2-2.5" CALIPER 6" OFF THE ROOT BALL.
- 20.) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 21.) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 22.) PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
- 23.) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.

TYPICAL SLOPE GROUND COVER PLANTINGS L4



PERENNIAL PLANTING DETAIL

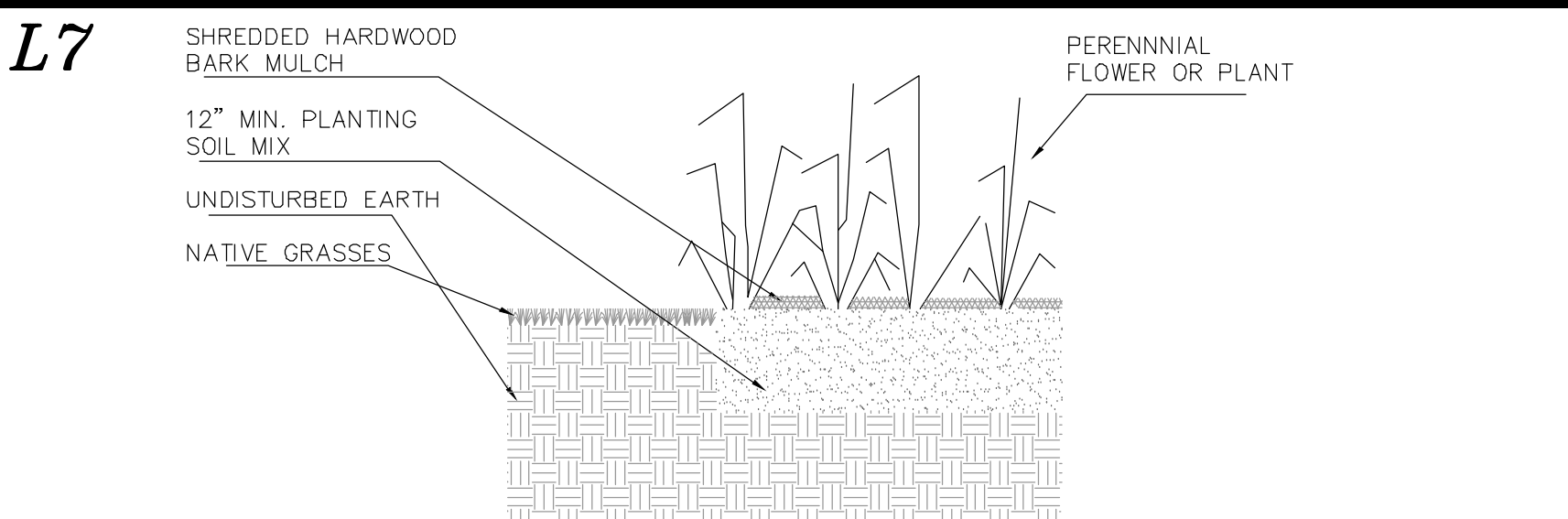
L5



TREE PLANTING ON SLOPES

- NOTES:
1. STAKE TREES PER STD PLAN NO 100a
 2. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEEWARD SIDE
 3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
 - ROCK FACING
 - PRECAST CONCRETE WALL UNITS
 - TIMBER WALL
 - MANUFACTURED SLOPE RETENTION UNITS
 4. CHAINLOCK TREE TIE LOOP EACH TIE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
 5. SHAPE SOIL TO PROVIDE 3' DIAMETER OR ROOTBALL DIAMETER, WHICHEVER IS GREATER, WATERING RING.
 6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

L7

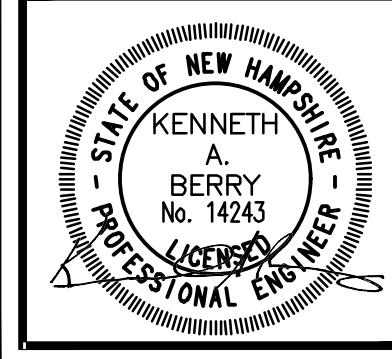


REVISION	DATE	DESCRIPTION

LANDSCAPING CONSTRUCTION DETAILS

FOR TURBOCAM, INC. LAND OF VIRTUOUS REALTY, LLC NH ROUTE 125/CALEF HIGHWAY BARRINGTON, N.H. TAX MAP 286, LOT 44

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE: AS NOTED
 DATE: APRIL 17, 2024
 FILE NO.: DB 2023 - 017



FOR TOWN APPROVAL PURPOSES:

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



AMERICAN BUMBLE BEE

IDENTIFICATION/DESCRIPTION:

BOMBUS PENNSYLVANICUS IS A LARGE BUMBLE BEE WITH THE QUEEN MEASURING 1 IN, THE WORKER FROM 0.5 IN, AND THE MALE FROM 0.75 IN IN LENGTH. THE QUEEN IS MOSTLY BLACK, INCLUDING THE LEGS, SPURS AND TEGULAE (BASE OF WING). TEGULAE 1, OR THE MOST ANTERIOR BACK PORTION OF THE QUEEN IS OFTEN YELLOW ESPECIALLY IN THE MIDDLE. WORKER BEES' MIDDLE TEGULAE ARE YELLOW. THE TAIL BLACK, AND FACE LONG. THEIR CHEEKS ARE SLIGHTLY LONGER THAN BROAD, AND THE CLYPEUS (NOSE) HAS LARGE PUNCTURES EXCEPT ON THE MID LINE. THE HAIR ON THE TOP OF THE HEAD IS BLACK, SHORT AND EVEN. MALES HAVE A YELLOW ABDOMEN WITH A BLACK HEAD AND BLACK STRIPING IN THE LOWER THORAX.



SPOTTED TURTLE

IDENTIFICATION/DESCRIPTION:

A SMALL 3-5 INCH TURTLE RECOGNIZED BY NUMEROUS YELLOW SPOTS COVERING A DARK CARAPACE. THE NUMBER OF SPOTS IS VARIABLE. SPOTS CAN ALSO BE FOUND ON THE HEAD AND LIMBS.



NORTHERN BLACK RACER

IDENTIFICATION/DESCRIPTION:

A SLENDER BLACK SNAKE MEASURING 36-60 INCHES. BLACK RACERS ARE GLOSSY BLACK ON THE TOP AND BOTTOM WITH A WHITE THROAT AND CHIN. YOUNG RACERS ARE PATTERNED WITH BROWN OR REDDISH PATCHES ON A LIGHTER BASE OF GRAY.



SMOOTH GREEN SNAKE

IDENTIFICATION/DESCRIPTION:

A THIN, SLENDER BRIGHT-GREEN SNAKE MEASURING 10-20 INCHES. THE UNDERSIDE IS WHITE OR A PALE YELLOW.



LITTLE BROWN BAT

IDENTIFICATION/DESCRIPTION:

THE LITTLE BROWN BAT IS A SMALL MAMMAL WITH A BODY LENGTH OF 2 1/2 - 4" AND WEIGHING APPROXIMATELY 1/8 TO 1/2 AN OUNCE. THE WINGSPAN OF LITTLE BROWN BATS RANGE FROM 9 - 11". BATS ARE THE ONLY MAMMALS THAT ENGAGE IN TRULY ACTIVE FLIGHT. AS THEIR NAME SUGGESTS THEY ARE GLOSSY BROWN ABOVE WITH A LIGHTER GRAY COLOR BELOW. THESE BATS CAN LIVE 20 TO 30 YEARS.



NORTHERN LONG-EARED BAT

IDENTIFICATION/DESCRIPTION:

THE NORTHERN LONG-EARED BAT IS A MEDIUM-SIZED BAT WITH A BODY LENGTH OF 3 TO 3.7 INCHES BUT A WINGSPAN OF 9 TO 10 INCHES. THEIR FUR COLOR CAN BE MEDIUM TO DARK BROWN ON THE BACK AND TANNY TO PALE-BROWN ON THE UNDERSIDE. AS ITS NAME SUGGESTS, THIS BAT IS DISTINGUISHED BY ITS LONG EARS, PARTICULARLY AS COMPARED TO OTHER BATS IN ITS GENUS, MYOTIS.



TRI-COLORED BAT

IDENTIFICATION/DESCRIPTION:

THE TRICOLOR BAT, FORMERLY KNOWN AS THE EASTERN PIPISTRELLE (PIPISTRELLUS SUBFLAVUS), IS A SMALL BAT WEIGHING 0.2 TO 0.3 OUNCES (5 TO 8 GR) AND HAS A WINGSPAN OF 8 TO 10 INCHES. THE TERM "TRICOLOR" REFERS TO THE BAT'S YELLOWISH-BROWN COAT THAT IS DARK AT THE BASE, YELLOWISH-BROWN IN THE MIDDLE, AND DARK AT THE TIPS. THE WING MEMBRANES ARE BLACKISH, BUT THE FACE AND EARS HAVE A PINKISH COLOR. AN OBVIOUS IDENTIFYING CHARACTERISTIC OF THIS SPECIES IS THE PINK COLOR OF THE SKIN ON THE RADIUS BONE. THE FEET ARE ALSO RELATIVELY LARGE COMPARED TO ITS BODY SIZE.



EASTERN SMALL-FOOTED BAT

IDENTIFICATION/DESCRIPTION:

THE EASTERN SMALL-FOOTED BAT HAS BROWNISH FUR, OFTEN WITH A GOLDEN SHEEN, THAT CONTRASTS WITH ITS BLACKISH FACE AND EARS, AND BLACKISH-BROWN WINGS AND TAIL MEMBRANE. IT CAN BE DISTINGUISHED FROM OTHER MYOTIS SPECIES BY ITS BLACK MASK AND SMALL SIZE. THE BODY IS LITTLE MORE THAN 3/2 INCHES LONG, INCLUDING A 1 1/2-INCH TAIL. ITS SMALL FEET, WHICH PROVIDE THE COMMON NAME, ARE LESS THAN A HALF-INCH AND ITS WINGSPAN RANGES FROM 8 1/2 TO 9 1/2 INCHES. THIS SPECIES FLIES SLOWLY AND ERRATICALLY, USUALLY ABOUT ONE TO THREE YARDS ABOVE THE GROUND.



PLEASE REPORT OBSERVATIONS OF RARE TURTLES

The NH Fish & Game Department is requesting observations of the following turtle species

Turtles may be attracted to disturbed ground during nesting season (May 15th - June 30th)

Turtles are most active from April 15th - October 15th



Blanding's turtle
(State Endangered)

Large, dark/black domed shell with lighter speckles.
Distinct yellow throat/chin.
Aquatic but often moves on land.



Spotted turtle
(State Threatened)

Small, mostly aquatic with black or dark brown with yellow spots.
Fairly flat shell compared to Blanding's turtle.
Spots vary in color and number.

Fis 1401.03 (a) No person shall take or possess a spotted turtle (Clemmys guttata)...Blanding's turtle (Emydoidea blandingii)...or any egg or part thereof.

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) anytime.
Please report promptly, noting specific location and date - Photographs strongly encouraged



Wood Turtle

(New Hampshire Species of Special Concern)

Turtles may be attracted to disturbed ground during nesting season (May 15th - June 30th)

Turtles are most active from April 15th - October 15th



Identifying traits

- Neck and forelimbs are orange.
- Characterized by its highly sculpted shell with each large scute taking on an irregular pyramidal shape.
- Adults can be 5-8 inches long.

Habitat Use

- wooded areas near streams
- uplands surrounding streams



NOTE: It is illegal to remove a wood turtle from the wild.

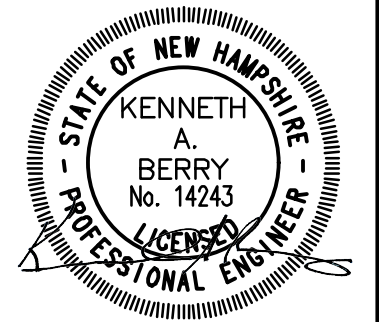
Observations shall be reported to NH Fish & Game at NHFGReview@wildlife.nh.gov or at 603-271-2461
Photo documentation, location and date/time of observation is helpful.

State laws pertaining to this species RSA 207:1, FIS 804.02, Fis 1401.03 (a)

WILDLIFE IDENTIFICATION PLAN

FOR
TUBOCAM, INC.
LAND OF
VIRTUOUS REALTY, LLC
NH ROUTE 125/CALEF HIGHWAY
BARRINGTON, N.H.
TAX MAP 238, LOT 44

BERRY SURVEYING & ENGINEERING
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