



Barrington Zoning Board of Adjustment Zoning Ordinance Variance and Special Exception Application Checklist

Please schedule a meeting with staff before submitting your application.

This checklist has been prepared to assist you in submitting a complete application to the Town of Barrington. At the Pre-Application meeting, staff will check off the items on this list that are required with your submission.

This document constitutes a public disclosure under RSA Chapter 91 - A, Access to Governmental Records and Meetings.

Date 4/21/23 Case No. 112-09-GR/HCO-23-0a
Owner JASON & ANGELLA DYER
Mailing Address 50 EDWARDS J. ROY DRIVE MANCHESTER NH 03104
Phone 603-552-0391 Email PMARCOITTE@APPTIO.COM

PART I - GENERAL REQUIREMENTS

All Graphics shall be to Scale and Dimensioned

Description of Documents Required for Complete Application. No application shall be accepted without all items marked below.

- | Rec' | Rec' | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Zoning Board of Adjustment Application Checklist (<i>this form</i>) |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. ZBA General Information (Article(s) and Section(s) of Ordinance) |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Appeal and Decision |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Fees - \$150.00 Application <input checked="" type="checkbox"/>
\$ 250.00 Legal Notice <input checked="" type="checkbox"/>
\$ 8.00 per US Post Office Certified Letter <input checked="" type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Completed Project Application Form
<input checked="" type="checkbox"/> Variance <input type="checkbox"/> Special Exception <input type="checkbox"/> Appeal |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Notarized Letter of Authorization (from property owner(s) if property owner did not sign the application form) |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Project Narrative |

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- 8. HOA Approval (if applicable)
- 9. Context or Locus Map (Show Surrounding Zoning Districts)
- 10. Existing Conditions Site Plan or Recorded Subdivision Plan to include well and septic location (may be found at Strafford County Registry of Deeds).
- 11. Existing Conditions Photo Exhibit (See instruction page for submitting photos)
Up to four photos may be shown per 8 1/2" X 11" page size
 - a. Show all existing structures on site
- 12. List of Certified Abutters (Include Applicant and all licensed professionals, i.e., engineer, architect, land surveyor, or soil scientist, whose seals are affixed to the plan, as well as any holder of a conservation or agricultural easement)
- 13. Mailing Labels (4 sets)

PART II – REQUIRED PLANS AND RELATED DATA
All Graphics and Plans Shall be to Scale and Dimensioned

- 1. Site Plan - **Drawn and Stamped by Registered Land Surveyor**
 - a. 24" X 36" – 2 Copies
 - b. 11' X 17" – 6 Copy
 - c. 8 1/2 " X 11" – 1 Copy
- 2. Elevations: Show all sides of building and indicate building heights
 - a. 24" X 36" – 2 Copies
 - b. 11' X 17" – 6 Copy
 - c. 8 1/2 " X 11" – 1 Copy
- 3. Floor Plans
 - a. 24" X 36" – 2 Copies
 - b. 11' X 17" – 6 Copy
 - c. 8-1/2 " X 11" – 1 Copy
- 4. All drawings and any revised drawings must be submitted in PDF format
- 5. OTHER: _____
- 6. Your Appointment Date and Time for Submitting the Complete Application is: _____

 Staff Signature Date

Land Use Department
Town of Barrington; 4 Signature Drive; Barrington, NH 03825
 vprice@barrington.nh.gov Phone: 603.664.5798

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PART III - PROJECT DESCRIPTION/VARIANCE DETAILS

Case No. 112-09-GR/HCO-23-VAR

Project Name ZBA PLAN

Location Address NH RTE 9 E 202

Map and Lot MAP 0112 LOT 0009

Zoning District (Include Overlay District if Applicable) 1 F RES GR/HCO

Property Details:

- Single Family Residential
- Multifamily Residential
- Manufactured Housing
- Commercial
- Mixed Use
- Agricultural
- Other

Use: VACANT LOT OF RECORD (PROPOSED SINGLE FAMILY RESIDENCE)

Number of Buildings: 1 PROPOSED HEIGHT: MAX 33'

Setbacks: Front 15' PROPOSED Back 16' PROPOSED Side 23' PROPOSED Side 70'

Description of Request:

Cite the Section of the Zoning Ordinance you are requesting a Variance of Special Exception for. If this is an Appeal from an Administrative Enforcement Order, Planning Board Decision, or Zoning Board of Adjustment Decision, please attach pertinent documentation:

Project Narrative: (Please type and attach a separate sheet of paper)

SEE ATTACHED

Barrington Zoning Ordinance Requirements:

FRONT - 40' SIDE & REAR 30'

Request: (You may type and attach a separate sheet of paper)

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PART IV – If this is a JUSTIFICATION FOR VARIANCE

The Zoning Board of Adjustment may not authorize a zoning ordinance variation unless ALL of the following criteria are met. Please provide evidence that the requested Variance complies by addressing the issues below.

1. Special conditions exist such that literal enforcement of the Ordinance will result in unnecessary hardship to the applicant as defined under applicable law. THE EXISTING VACANT NON-CONFORMING LOT OF RECORD OF 0.40 ACRES CAN NOT COMPLY WITH THE PRESENT ZONING REQUIREMENTS.

2. Granting the variance would be consistent with the spirit of the Ordinance. THE RESIDENTIAL DEVELOPMENT OF THIS LOT WOULD IMPROVE THE PROPERTIES VISUAL LOOK CONSISTENT WITH THE NEIGHBORHOOD AND INCREASE THE TOWNS TAX BASE.

3. Granting the variance will not result in diminution of surrounding property values. THE PROPOSED NEW HOUSE WOULD INCREASE THE VALUE OF THE NEIGHBORHOOD AND CONSISTENT WITH THE RESIDENTIAL USE.

4. Granting of the variance would do substantial justice. THE RESIDENTIAL DEVELOPMENT OF THE PROPERTY WOULD ENHANCE THE VALUE OF THE LOT AND INCREASE THE TOWNS TAX BASE

5. Granting of the variance would not be contrary to the public interest.

GRANTING THIS VARIANCE WOULD BE A FINANCIAL INCREASE TO THE TOWN AND CONSISTANT WITH THE NEIGHBORHOOD.

PART V – If this is a JUSTIFICATION FOR SPECIAL EXCEPTION

Please provide evidence that the requested Special Exception complies by addressing the issues below.

1. No detriment to property values in the vicinity of the proposed development will result on account of: the location or scale of buildings, structures, parking areas, or other access ways; the emission of odors, smoke, gas, dust, noise, glare, heat, vibration, or other pollutants; or unsightly outdoor storage of equipment, vehicles, or other materials.

2. No hazard will be caused to the public or adjacent property on account of potential fire, explosion, or release of toxic materials.

3. No creation of a traffic safety hazard or substantial traffic congestion will result in the vicinity of the proposed development.

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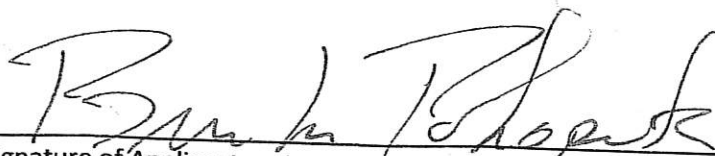
PLANNING AND ZONING OFFICE

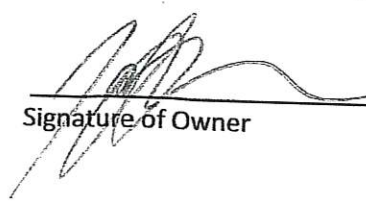
4. No excessive demand on municipal services and facilities, including, but not limited to waste disposal, police and fire protection, and schools.

5. The proposed use will not result in the degradation of existing surface and groundwater quality standards, nor will it have adverse effects on the natural functions of wetlands on the site that would result in the loss of significant habitat or flood control protection.

In addition to the guiding principles specified above, the ZBA may condition the granting of a special exception upon more stringent standards if the Board determines that such conditions are necessary to protect the health and welfare of the town and its residents. Such conditions may include the following and should be addressed in the Narrative:

- 1. Front, side, or rear yards in excess of the minimum requirements of this Ordinance.
- 2. Screening of the premises from the street or adjacent property by walls, fences, or other devices.
- 3. Limitations on the size of buildings and other structures more stringent than minimum or maximum requirements of this Ordinance.
- 4. Limitations on the number of occupants and methods and times of operation.
- 5. Regulation of the design and location of access drives, sidewalks, and other traffic features.
- 6. Location and amount of parking and loading spaces in excess of existing standards.
- 7. Regulation of the number, size, and lighting of signs in excess of existing standards.


Signature of Applicant BRUCE L. POHOPEK 4/21/23
Date


Signature of Owner Jean A. Dyon 4-21-2023
Date

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SITE / CONTEXT PHOTOS

Using Guidelines Below

Provide color photographs showing the site and surrounding buildings/properties in order to provide staff, boards and commissions with a visual impression of the current site conditions.

1. Photos are to be taken looking toward the site and adjacent to the site.
2. Photos should show adjacent improvements and existing on-site conditions.
3. Number the photographs according to view.

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ABUTTER LIST

Town of Barrington, NH

Please Print or Type

Applicant: JASON & ANGELLA DYER Phone 603-552-0391

Project Address: RTE 9 & 202, BARRINGTON NH 03825

List the names and addresses of all parties below. For abutting lot owners, list each owner whose lot adjoins or is directly across the street or a body of water from the subject property. This form may not be completed more than five (5) days prior to the application deadline.

LEGAL OWNER OF SUBJECT LOT

Map	Lot	Zone	Owner Name	Mailing Address
0112	0009	R	JASON & ANGELLA DYER	50 EDWARDS J. ROY DR. MANCHESTER NH 03104

ABUTTING LOT OWNERS

Map	Lot	Owner Name	Owner Mailing Address (NOT property location)
0112	0010	BREYER HILARY ROSE & SCOT 1614 FRANKLIN PIERCE HWY BARRINGTON, NH 03825 ✓	MAP 0112 LOT 0007
0112	0037-0002	GOLDING DAVID & ANNE 11 HARLAN DR BARRINGTON, NH 03825 ✓	MOUNTAIN FULTON & LISA 8 CRICKET LN BARRINGTON, NH 03825 ✓
0112	0037-0004	GRIEVE KATHRYN & BRIAN 1611 FRANKLIN PIERCE HWY BARRINGTON, NH 03825	MAP 0112 LOT 0009 SOUTHEAST LAND TRUST OF N STONEHOUSE FOREST 247 NORTH RIVER RD EPPING, NH 03042 ✓
0112	0037-0003	MENG M KATHRYN 11 HILLCREST DR WESTBURY, NY 11590 ✓	

PROFESSIONALS AND EASEMENT HOLDERS. Engineers, Surveyors, Soil Scientists, and Architects whose seal appears or will appear on the plans (other than any agent submitting this application); holders of conservation, preservation, or agricultural easements; and upstream dam owners/NHDES.

Name of Professional or Easement Holder

Mailing Address

✓ BRUCE L. POMPETZ	A2 FLAGG RD Rochester NH 03869

I, the undersigned, acknowledge that it is the responsibility of the applicant or his/her agent to fill out this form. I understand that any error or omission could affect the validity of any approval. The names and address listed on this form were obtained from the Town of Barrington Assessing Office

on this date: _____, This is page _____ of _____ pages.

Applicant or Agent: Bruce Pompetz

Planning Staff Verification: _____ Date: _____

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4/21/23

**ZONING BOARD OF ADJUSTMENT NARRATIVE
FOR TAX MAP 0112 LOT009 BARRINGTON NH**

Request by the applicant for a variance from Article 4, Section 4.1.1, Table 2. to allow a proposed new residential house to be constructed within the setbacks as shown on the provided plan titled ZBA PLAN FOR JASON DYER, prepared by Pohopek Land Surveyors and dated Dec. 2023.

This new layout is located in the optimum location on this pre-existing / non conforming lot of record.

It is our intention to improve the visual appeal and value of the property of this pre-existing / non conforming lot of record.

Thank You for your consideration in this matter.

Jason & Angella Dyer

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The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

**APPROVAL FOR CONSTRUCTION
OF INDIVIDUAL SEWAGE DISPOSAL SYSTEM (ISDS)**

AS AUTHORIZED BY THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER DIVISION PURSUANT TO RSA 485-A, WATER POLLUTION AND WASTE DISPOSAL AND ENV-WQ 1000, SUBDIVISION AND INDIVIDUAL SEWAGE DISPOSAL SYSTEM DESIGN RULES.

APPLICATION APPROVAL DATE: 6/22/2023

APPROVAL NUMBER: eCA2023062220

I. PROPERTY INFORMATION

Address: NH ROUTE 9 & 202
BARRINGTON NH 03825
Subdivision Approval No.: PRE-1967
Subdivision Name:
County: STRAFFORD
Tax Map/Lot No.: 112/9

II. OWNER INFORMATION

Name: ANGELLA AND JASON DYER
Address: 50 EDWARD J ROY DRIVE
MANCHESTER NH 03104

III. APPLICANT INFORMATION

Name: BRUCE L POHOPEK
Address: 42 FLAGG RD
ROCHESTER NH 03839

IV. DESIGNER INFORMATION

Name: BRUCE L POHOPEK
Address: 42 FLAGG RD
ROCHESTER NH 03839
Permit No.: 00253

V. SPECIFIC TERMS AND CONDITIONS: Applicable to this Approval for Construction
Please read **VI. General Terms and Conditions** on the reverse side of this approval.

- A. TYPE OF SYSTEM:** ENVIROSEPTIC
- B. NO. OF BEDROOMS:** 2
- C. APPROVED FLOW:** 300 GPD
- D. OTHER CONDITIONS AND WAIVERS:**

1. This approval is valid for 4 years from date of approval, per Env-Wq 1004.13.
2. If construction on this lot involves dredge or fill in a jurisdictional wetland or stream, DES Wetlands Bureau approval is required prior to construction per RSA 482-A.
3. No waivers have been approved.

**DYER SEPTIC DESIGN APPROVAL
DATED 6/22/23**

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Travis Guest
Subsurface Systems Bureau

Compose

Inbox 12

Starred

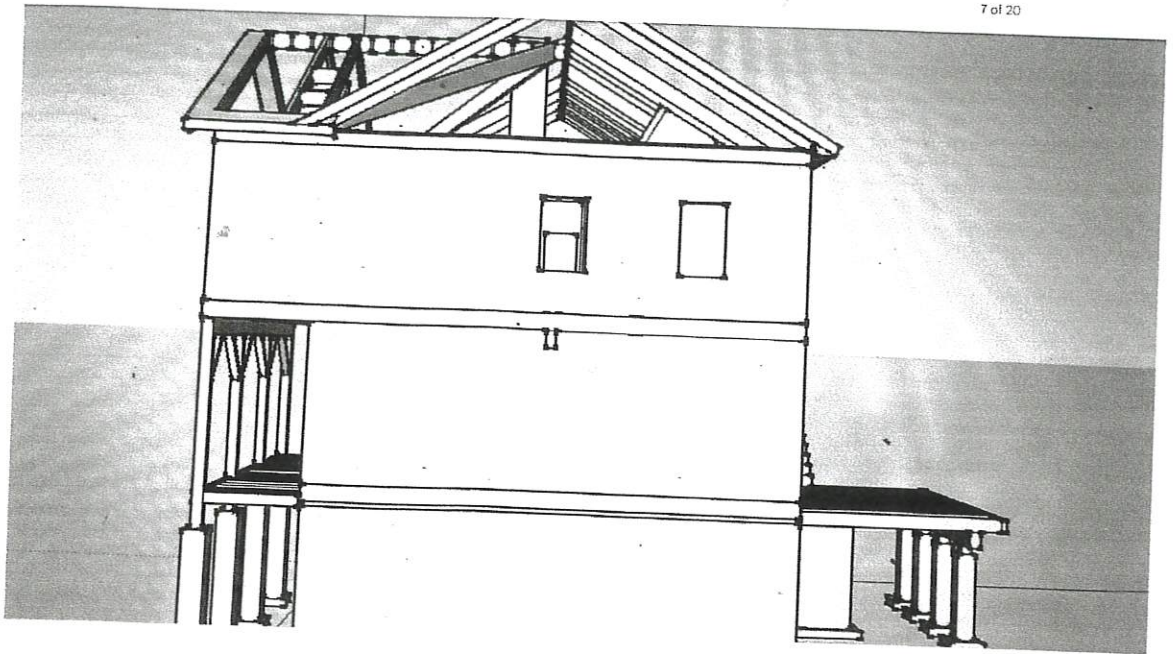
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Sent

Drafts 2

More

Labels



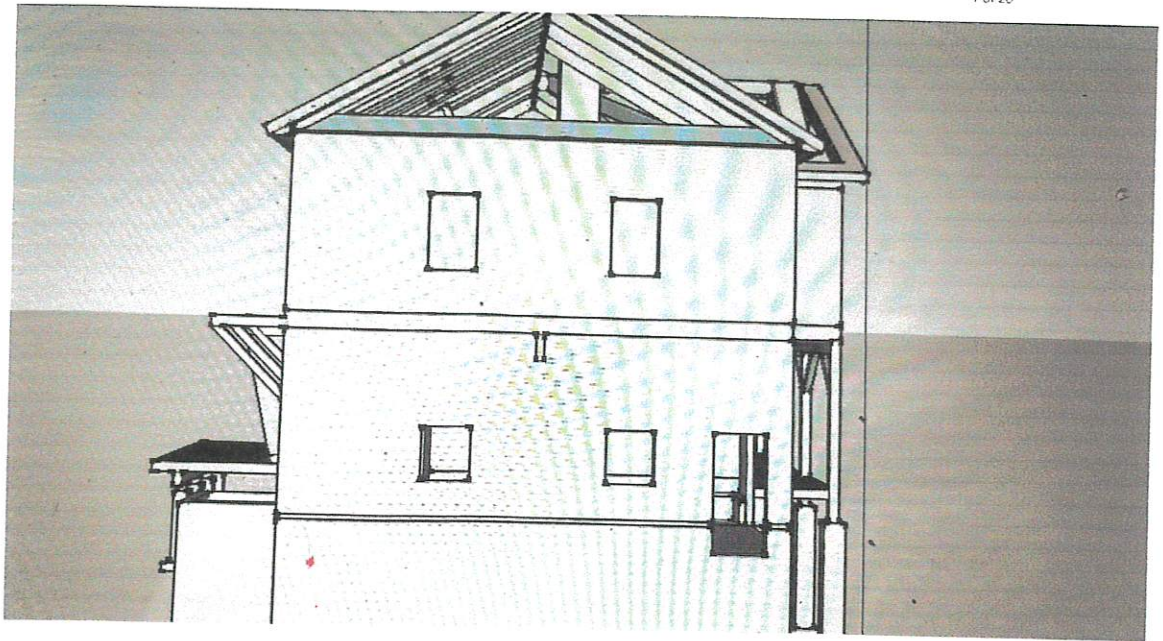
DYER PROPOSED HOUSE, SOUTH
EAST END OF HOVE.

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- Compose
- Inbox 12
- Starred
- Snoozed
- Sent
- Drafts 2
- More
- Labels



DYER LOT, NORTH WEST
END.

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- Inbox
- Starred
- Snoozed
- Sent
- Drafts
- More



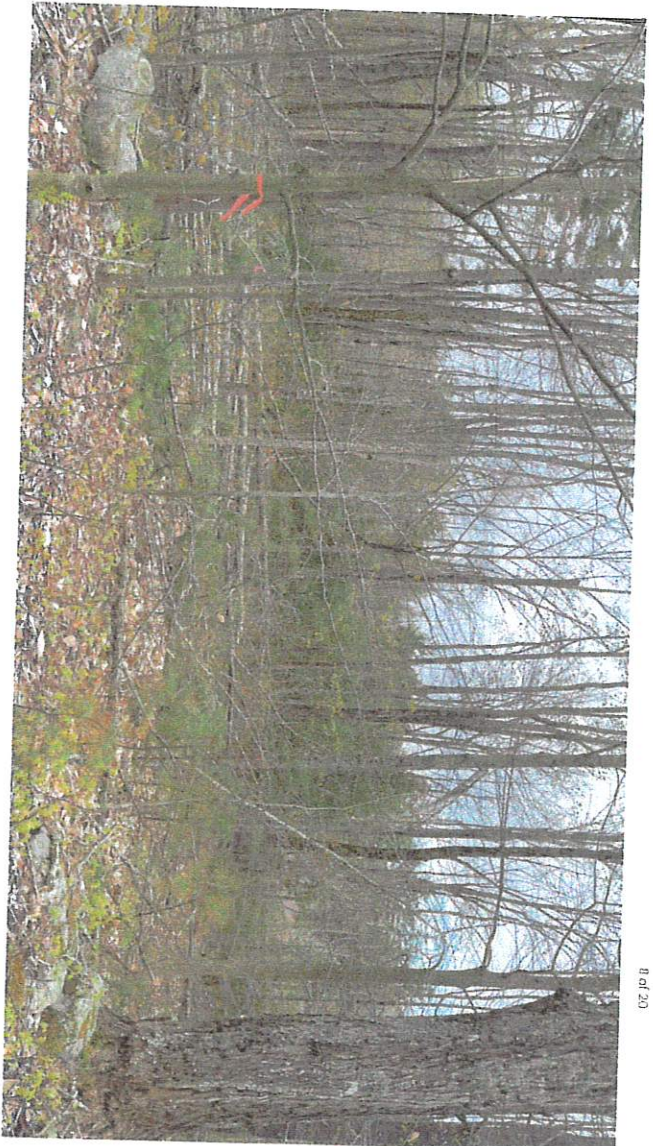
RT# 202 & RT# 9

DYER LOT, FROM ROAD LOOKING
SOUTH ACROSS LOT

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8 of 20

RT# 202 & RT# 9

DYER, LOOKING SOUTH ACROSS
CENTER OF LOT.

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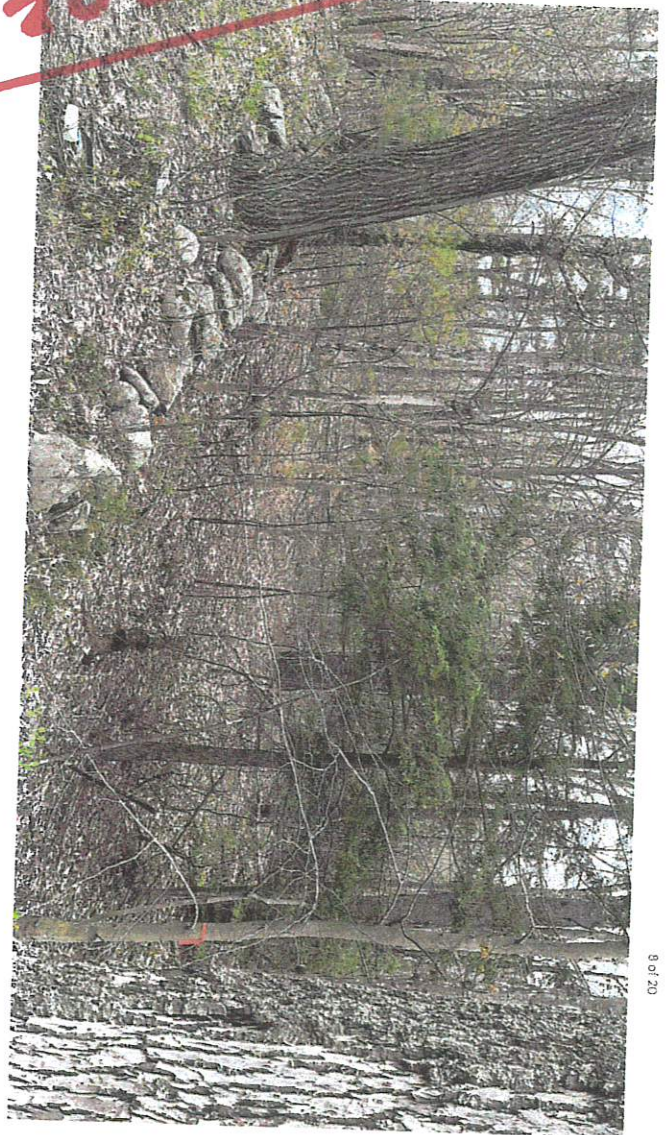
- Inbox
- Starred
- Snoozed
- Sent
- Drafts
- More

Labels

12

2

RTE 202 #9



9 of 20

**DYER LOT LOOKING EAST
TOWARD BARRINGTON CENTER**

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MAY 27 2023

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Compose

Inbox 12

Starred

Snoozed

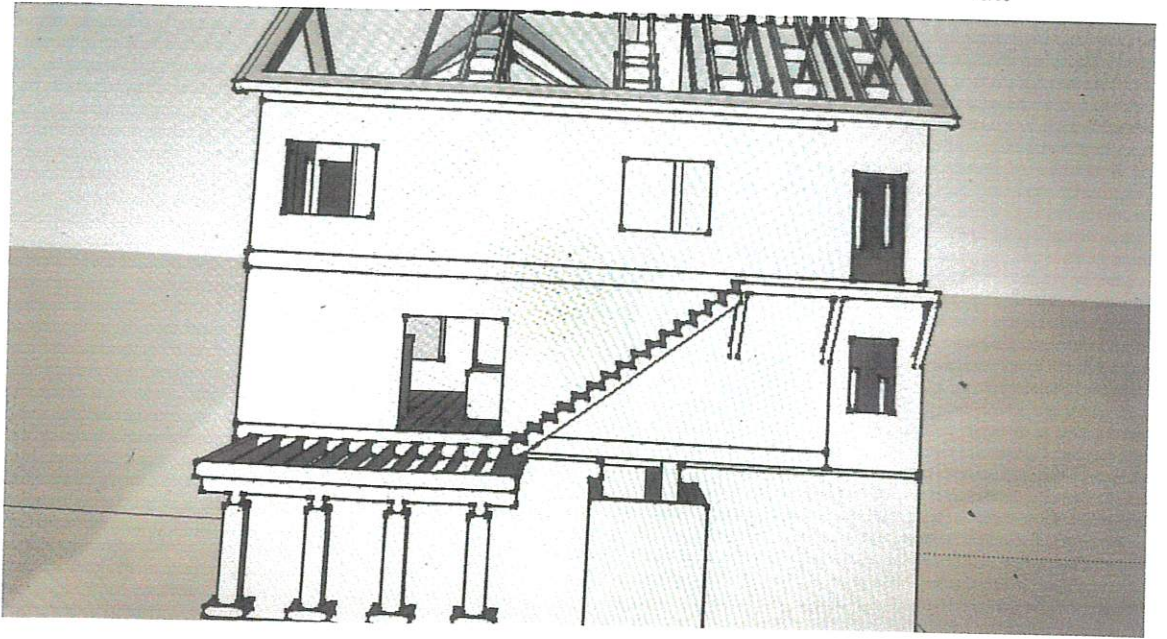
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Labels

7 of 20



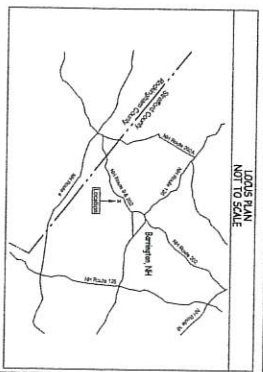
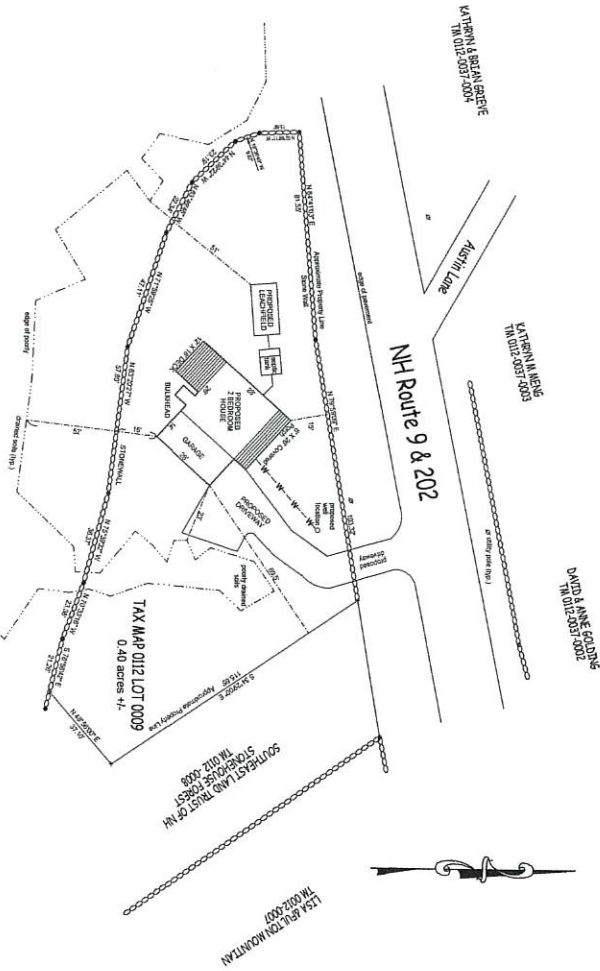
**DYER LOT, REAR OF PROPOSED
HOUSE**

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NOTE: SEE RECORDED PLAN 17A-98 DATED 1970. THIS AN SITE PLAN FOR A PROPOSED RESIDENCE TO BE BUILT ON THIS VACANT LOT. DEED REF: BK 3376 PG 914 PRE-EXISTING, NON-CONFORMING LOT CREATED PRIOR 1960. LOT NEVER BUILT UPON



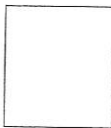
HILARY ROSE & SCOTT BERBER
 ARCHITECTS
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PLAN VIEW SCALE 1" = 20'

PREPARED BY:
 HILARY ROSE & SCOTT BERBER
 ARCHITECTS
 1000 W. BARRINGTON RD.
 BARRINGTON, NH 03825
 PHONE 603-252-2222

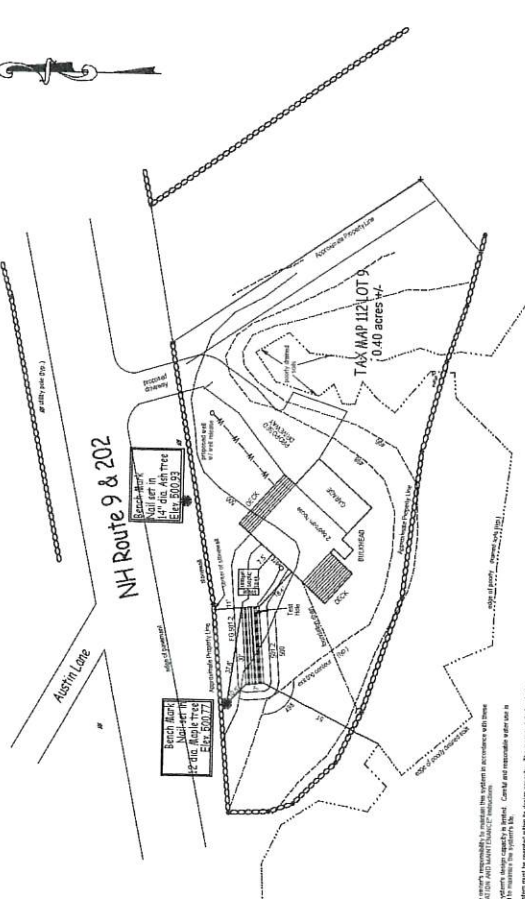
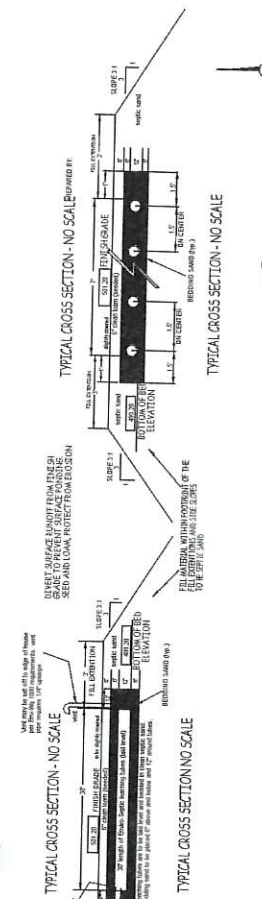
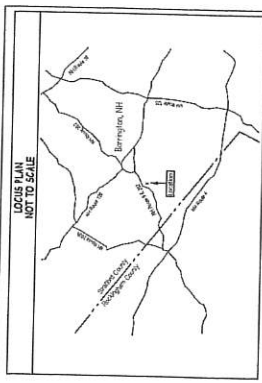


ZBA PLAN
 FOR
JASON DYER
 TAX MAP 012 LOT 0009
 NH Route 9 & 202
 Barrington, NH 03825
 DATE: April 21, 2023

PL 17788-0008
 04/20/23
 09:45:33 AM

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 MAY 17 2023

FOR
 Whitney Scott, Trustee
 LOCKED ON



DESIGN INTENT
 DUE TO THE EHWIT BED BOTTOM SHALL BE SET AT ELEV. 499.2. THIS IS 1'0" OR 12" BELOW ELEVATION 500.2, WHICH IS THE ORIGINAL GROUND ELEVATION AT THE UPPER CORNER OF THE BED. BED FINISH GRADE TO BE SET AT 491.30.

WATER SOURCE
 shall use well and storage.

REGULATION TEST
 shall use 2" diameter, 3" length.

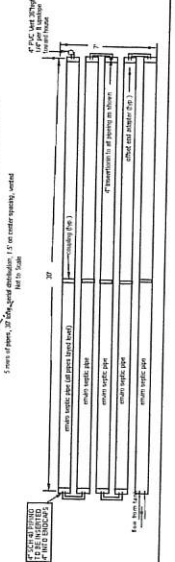
S.E.S. SOILS DATA
 shall use 2" diameter, 3" length.

2 BEDROOM ENVIRO-SEPTIC DESIGN SEPTIC SYSTEM DESIGN
 JASON DYER
 TAX MAP 112 LOT 9
 NH ROUTE 9 & 102
 BARRINGTON, NH 03825
 DATE: MAY 11, 2023

PREPARED BY:
 JAMES P. WATSON
 & SEPTIC DESIGN, LLC
 1000 W. 10th Street
 Barrington, NH 03825
 603.334.3325

PLAN VIEW SCALE 1" = 20'

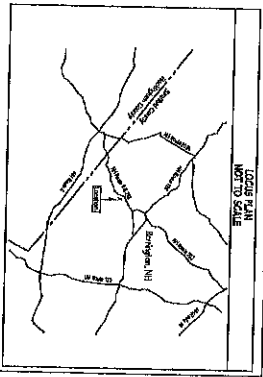
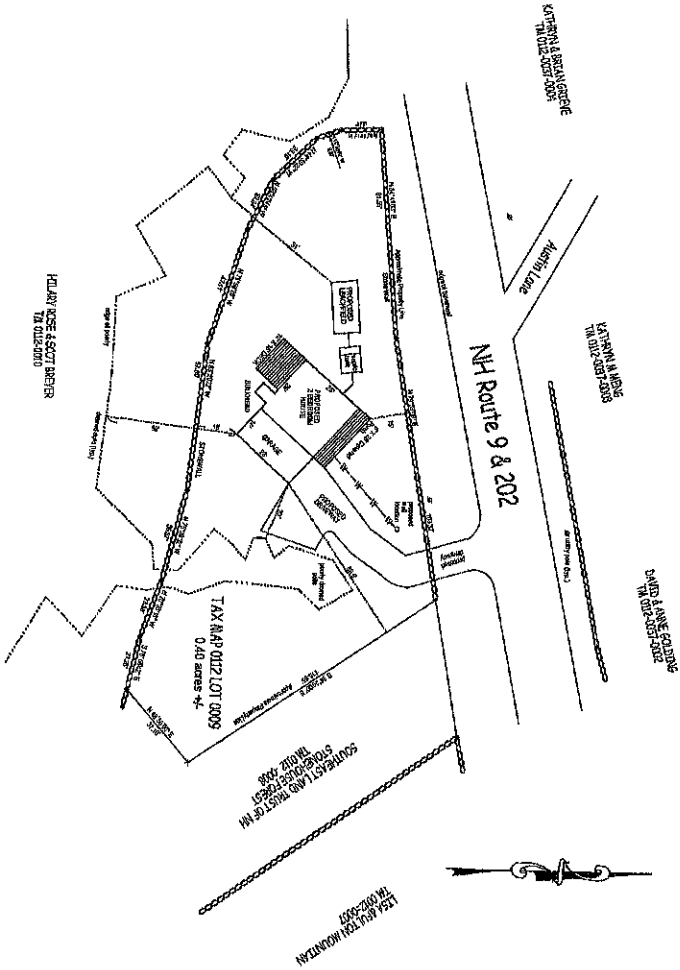
PROPOSED SEWAGE DISPOSAL SYSTEM



- 1) Check for any other utility lines. The design is based on the information provided.
- 2) The design is based on the information provided and is subject to change if the design is not approved.
- 3) The design is based on the information provided and is subject to change if the design is not approved.
- 4) The design is based on the information provided and is subject to change if the design is not approved.
- 5) The design is based on the information provided and is subject to change if the design is not approved.
- 6) The design is based on the information provided and is subject to change if the design is not approved.
- 7) The design is based on the information provided and is subject to change if the design is not approved.
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- 14) The design is based on the information provided and is subject to change if the design is not approved.
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- 18) The design is based on the information provided and is subject to change if the design is not approved.
- 19) The design is based on the information provided and is subject to change if the design is not approved.
- 20) The design is based on the information provided and is subject to change if the design is not approved.
- 21) The design is based on the information provided and is subject to change if the design is not approved.
- 22) The design is based on the information provided and is subject to change if the design is not approved.
- 23) The design is based on the information provided and is subject to change if the design is not approved.
- 24) The design is based on the information provided and is subject to change if the design is not approved.
- 25) The design is based on the information provided and is subject to change if the design is not approved.

DATE: MAY 11, 2023
 JAMES P. WATSON & SEPTIC DESIGN, LLC

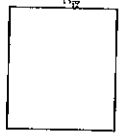
NOTE: SEE RECORDED PLAN 17A-98 DATED 1970. THIS AN SITE PLAN FOR A PROPOSED RESIDENCE TO BE BUILT ON THIS VACANT LOT. DEED REF: BK 3376 PG 914. PRE-EXISTING NON-CONFORMING LOT CREATED PRIOR 1980. LOT NEVER BUILT UPON.



PLAN VIEW SCALE 1" = 20'

ZBA PLAN
 FOR
JASON DYER
 ON
TAX MAP 012 LOT 009
NH Route 9 & 202
 Barrington, NH 03825
 DATE: April 21, 2022

PREPARED BY:
 JASON DYER
 1000 BARRINGTON RD
 BARRINGTON, NH 03825



THIS SET AS SHOWN
 SHALL BE THE BASIS FOR
 ANY PERMITS

ARTICLE 4 DIMENSIONAL REQUIREMENTS

4.1 General Provisions

4.1.1.....Minimum Standards

No building or structure shall be erected, enlarged, altered or moved, nor shall any existing lot size be changed, or new lot created, except in accordance with the standards prescribed in Table 2, Table of Dimensional Standards or as otherwise specified herein.

Table 2.....Table of Dimensional Standards (a)

Zoning District	Min. Lot Size (sq.ft.) (b)	Min. Lot Frontage (ft.) (b)	Min. Yard Setbacks (ft.)(i)			Max. Bldg. Height		Max. Lot Coverage (f)
			Front	Side	Rear	Feet	Stories	
General Residential	80,000(c)	200	40	30	30	35	2.5	40%
Neighborhood Residential	80,000(c)	200	40	30	30	35	2.5	40%
Village District (Residential)	80,000(c)	200	40	30	30	35	2.5	40%
Village District (Non-Residential)	30,000(g)	75	20	15	15	40(j)	3	60%
Town Center	20,000(h)	40	20(k)	15	15	40(j)	3	80%
Regional Commercial	40,000(d)	200	75(e)(l)	30	30	40(j)	3	50%

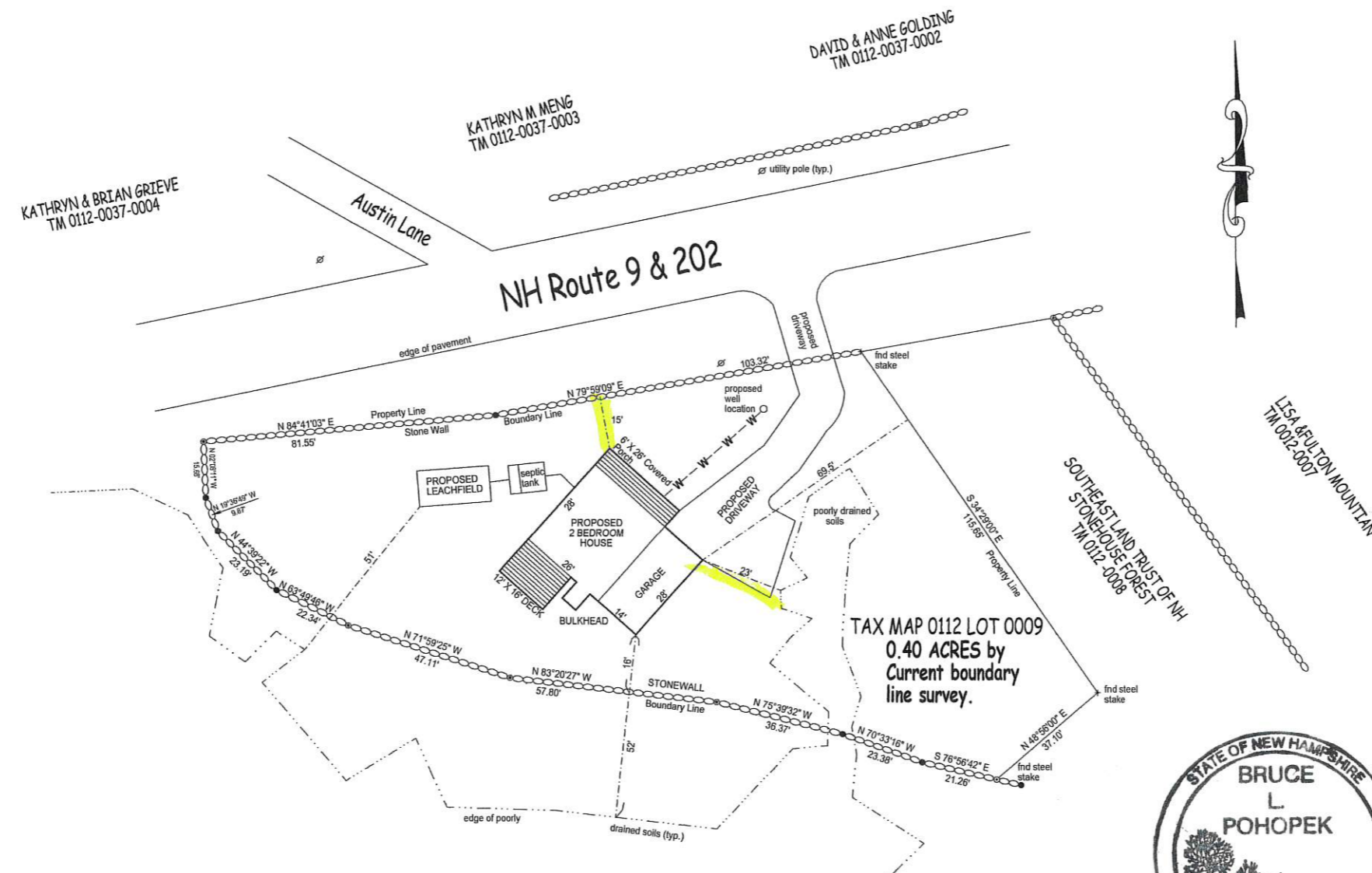
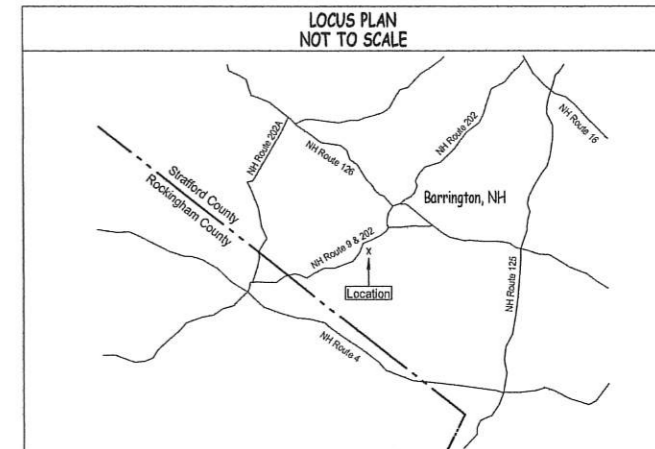
Footnotes:

- (a) All development is subject to the additional and supplemental dimensional standards prescribed in Article 4 of this Ordinance.
- (b) Refer to Article 4.2 for calculating the minimum lot size per dwelling unit within each district.
- (c) Minimum lot sizes and frontage may be reduced as part of a Conservation Subdivision in accordance with Article 6 of this Ordinance.
- (d) Minimum lot sizes for residential dwelling units in the RC district shall be in accordance with Section 4.2 of this Ordinance.
- (e) A greenbelt shall be maintained along the frontage of parcels on Route 125 in accordance with Subsection 4.2.3, Paragraph 4), of this Ordinance.
- (f) Maximum lot coverage means the area of the lot covered by an impervious surface. Calculation of maximum lot coverage in a Planned Unit Development (PUD) shall be in accordance with Subsection 16.3.3. All development is subject to the provisions of Article 12, Groundwater Protection, with regard to the creation of impermeable surfaces.
- (g) The minimum lot size for single-family dwelling units must comply with the provisions of Subsection 4.2.1 of this Ordinance, which are the same requirements for constructing a single-family dwelling in the GR and NR districts, as well as all other applicable provisions. Refer to section 4.2.2 for further specifications regarding minimum lot size and building size requirements in the VD district.
- (h) Refer to Section 4.2.4 for additional provisions regarding minimum lot size and building size in the TC district.
- (i) "Setbacks apply to ground mounted Solar Collection Systems. Increases in the Minimum Yard Setbacks may be required as part of the Site Plan Review or building permit process in order to comply with Life Safety Code requirements. Additional buffers may also be required between residential and nonresidential uses in the VD, RC, and TC districts as specified in Article 4, as well as other sections of this Ordinance.
- (j) No structure may contain occupied residential building space above 35 ft. unless said structure contains a sprinkler system.
- (k) The setback for all new structures shall be fifty (50) feet from the edge of the right-of-way along Route 125 and Route 9. No new structures (except signs) may be placed within this setback area.
- (l) Properties in the Regional Commercial District which do not front on State Highways (i.e., Routes 4 and 125), the minimum front setback is forty (40) feet.

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JUN 27 2023

NOTE: SEE RECORDED PLAN 17A-98 DATED 1970. THIS AN SITE PLAN FOR A PROPOSED RESIDENCE TO BE BUILT ON THIS VACANT LOT. DEED REF: BK 3376 PG 914 PRE-EXISTING, NON-CONFORMING LOT CREATED PRIOR 1960. LOT NEVER BUILT UPON



TAX MAP 0112 LOT 0009
0.40 ACRES by
Current boundary
line survey.



ZBA PLAN
FOR
JASON DYER
ON
TAX MAP 0112 LOT 0009
NH Route 9 & 202
Barrington, NH 03825
DATE: April 21, 2023

PREPARED BY:
POHOPEK LAND SURVEYORS
& SEPTIC DESIGNERS, LLC
42 FLAGG ROAD
ROCHESTER, NH 03839
(603) 330-3282

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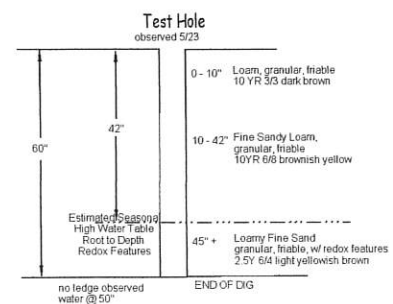
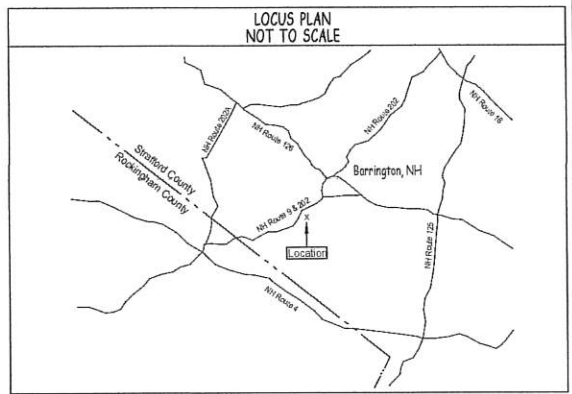
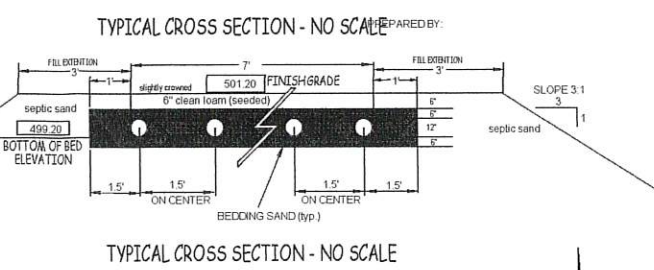
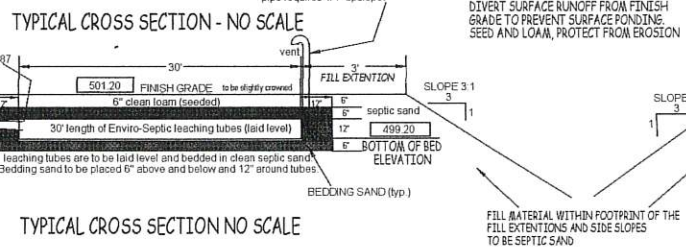
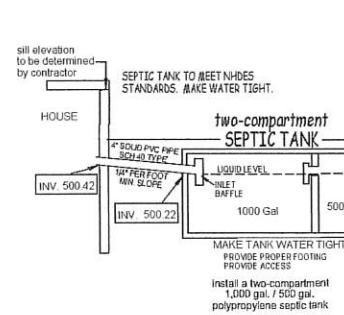
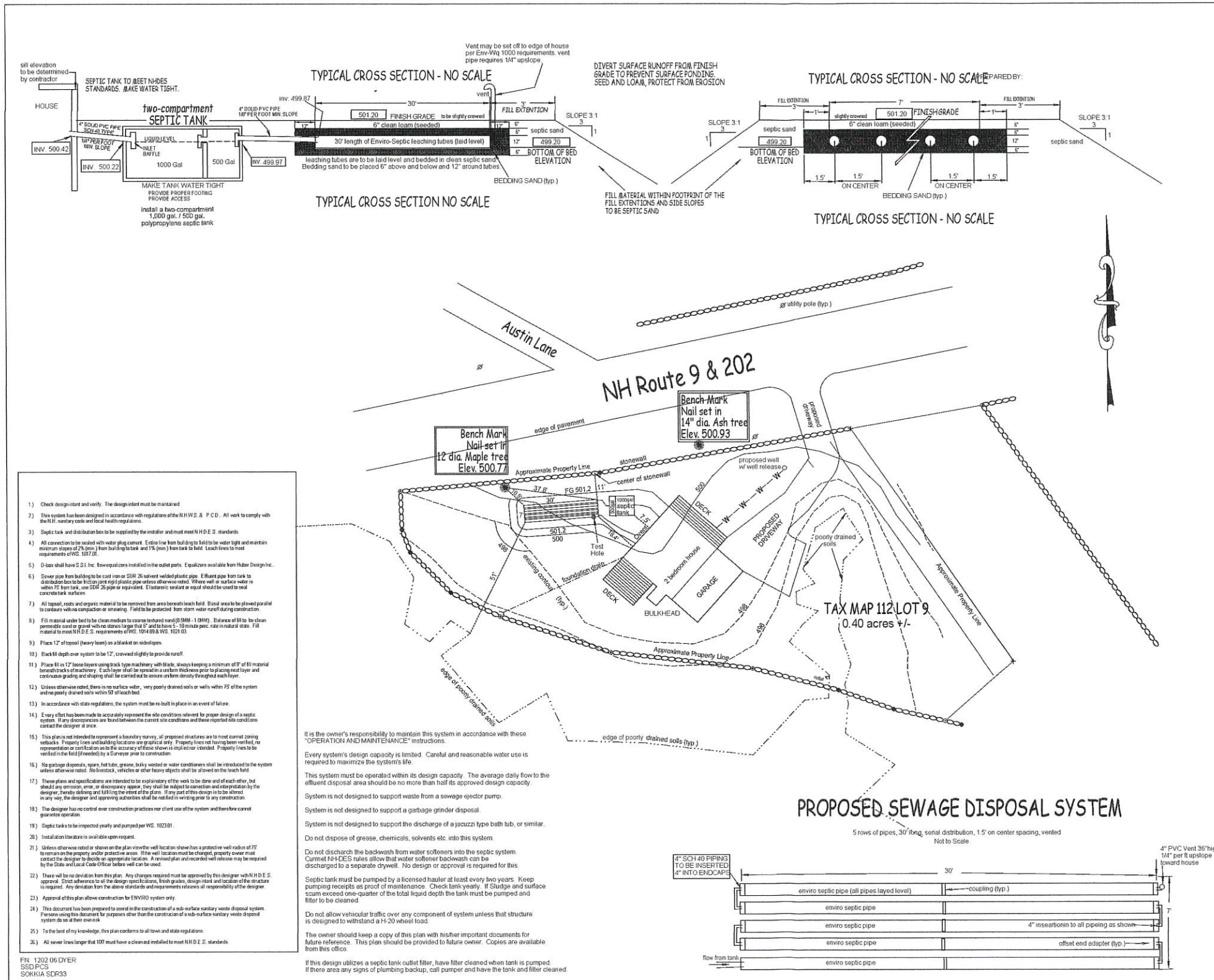
11 2023

LAND USE OFFICE

Revision Block	
date	description
7/11/23	Revised Plan Notation to Boundary LINE



FN: 1202 06 DYER
SSD.FCS
SOKHA SDR33



DESIGN INTENT
 DUE TO THE ESHWT, BED BOTTOM SHALL BE SET AT ELEV. 499.2.
 THIS IS 1.0' OR 12" BELOW ELEVATION 500.2, WHICH IS THE ORIGINAL
 GROUND ELEVATION AT THE UPSLOPE CORNER OF THE BED.
 BED FINISH GRADE TO BE SET AT 501.20

WATER SOURCE on-lot well with well release	S.C.S. SOILS DATA P&B Paxton fine sandy loam 0-8% slopes
PERCOLATION TEST date: 4/23 depth: 24" final rate: 8 min/inch	LOT LOADING LOT AREA = 0.40 LESS WELL RADIUS = 0.25 ACRES X 2000GPD = 500 / 1.6 SOIL FACTOR = 312 GPD ALLOWED

**2 BEDROOM
 ENVIRO-SEPTIC DESIGN
 SEPTIC SYSTEM DESIGN**
 FOR
JASON DYER
 ON
**TAX MAP 112 LOT 9
 NH Route 9 & 202
 Barrington, NH 03825**
 DATE: MAY 17, 2023

PREPARED BY:
**POHOREK LAND SURVEYORS
 & SEPTIC DESIGNERS, LLC**
 42 FLAGG ROAD
 ROCHESTER, NH 03839
 (603) 330-3262

PLAN VIEW SCALE 1" = 20'

- 1) Check design and verify. The design must be maintained.
- 2) This system has been designed in accordance with regulations of the NHDES & P.C.D. All work to comply with the NHDES and P.C.D. regulations.
- 3) Septic tank and distribution box to be installed by the installer and must meet NHDES standards.
- 4) All connections to be sealed with water plug cement. Entire line from building to tank to be water tight and maintain minimum slopes of 2% (min) from building to tank and 1% (min) from tank to field. Leach lines to meet requirements of NHDES 102.12.
- 5) D box shall have 0.21% slope. Inspectors installed in the outlet ports. Equalizers available from Huber Designline.
- 6) Sewer pipe from building to be cast iron or 4" or 6" schedule 40 steel pipe. 4" or 6" schedule 40 steel pipe from tank to distribution box to be 1/2" dia. polypropylene pipe unless otherwise noted. Where well or surface water is within 75 feet tank, use 4" or 6" pipe or equivalent. E. I. S. or equivalent or equal should be used to seal concrete tank surfaces.
- 7) All topsoil, roots and organic material to be removed from area beneath leach field. Eased area to be plowed parallel to contours with no compaction or smearing. Field to be protected from storm water runoff during construction.
- 8) Fill material under leach field to be clean medium to coarse textured sand (SM-S, 1.9mm). Balance of fill to be clean permeable sand or gravel which is larger than 5" and to have 5-10 minute per. size in natural state. Fill material to meet NHDES requirements of W.S. 104.09 & W.S. 102.03.
- 9) Place 12" of topsoil (heavy loam) on a blanket on sideslopes.
- 10) Backfill depth over system to be 12", covered slightly to provide runoff.
- 11) Place fill in 12" base layers using track type machinery with blade. Always keep a minimum of 6" of fill material beneath kind of machinery. Each layer shall be compacted to a uniform thickness prior to placing next layer and continuous grading and shaping shall be carried out to assure uniform density throughout each layer.
- 12) Unless otherwise noted, there is no surface water, very poorly drained soils or wells within 75 feet of the system and no poorly drained soils within 50' of leach field.
- 13) In accordance with state regulations, the system must be re-built in place in an event of failure.
- 14) Every effort has been made to accurately represent the site conditions relevant to proper design of a septic system. If any discrepancies are found between the current site conditions and those reported site conditions contact the designer at once.
- 15) This plan was prepared to represent a boundary survey, all proposed structures are to meet current zoning setbacks. If property lines and building locations are graphic only. Property lines not having been verified, no representation or certification as to the accuracy of their shown is implied or intended. Property lines to be verified on the field (if needed) by a surveyor prior to construction.
- 16) No garbage disposal, stumps, hot tubs, grease, lavatory wastes or water conditioners shall be introduced to the system unless otherwise noted. No livestock, vehicles or other heavy objects shall be allowed on the leach field.
- 17) These plans and specifications are intended to be explanatory of the work to be done and of each other, but should any omission, error, or discrepancy appear, they shall be subject to correction and interpretation by the designer, thereby defining and limiting the intent of the plans. If any part of this design is to be altered in any way, the designer and approving authorities shall be notified in writing prior to any construction.
- 18) The designer has no control over construction practices nor client use of the system and therefore cannot guarantee operation.
- 19) Septic tanks to be inspected yearly and pumped per W.S. 102.01.
- 20) Installation literature is available upon request.
- 21) Unless otherwise noted or shown on the plan view, the well location shown has a protective well radius of 75' for protection on the property and/or public areas. If the well location must be changed, property owner must contact the designer to decide an appropriate location. A revised plan and recorded well release may be required by the State and local Code Officer before well can be used.
- 22) There will be no division from this plan. Any changes required must be approved by this designer with NHDES approval. Strict adherence to all design specifications, lists, grades, design intent and location of the structure is required. Any deviation from the above standards and requirements releases all responsibility of the designer.
- 23) Approval of this plan allows construction for ENVIRO system only.
- 24) This document has been prepared to assist in the construction of a sub-surface sanitary waste disposal system. Persons using this document for purposes other than the construction of a sub-surface sanitary waste disposal system do so at their own risk.
- 25) To the best of my knowledge, this plan conforms to all town and state regulations.
- 26) All sewer lines larger than 100' must have a clean out installed to meet NHDES standards.

It is the owner's responsibility to maintain this system in accordance with these "OPERATION AND MAINTENANCE" instructions.

Every system's design capacity is limited. Careful and reasonable water use is required to maximize the system's life.

This system must be operated within its design capacity. The average daily flow to the effluent disposal area should be no more than half its approved design capacity.

System is not designed to support waste from a sewage ejector pump.

System is not designed to support a garbage grinder disposal.

System is not designed to support the discharge of a jacuzzi type bath tub, or similar.

Do not dispose of grease, chemicals, solvents, etc. into this system.

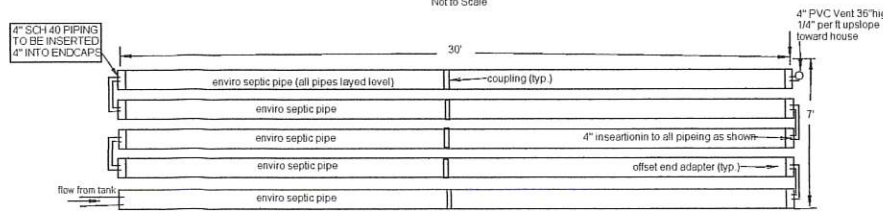
Do not discharge the backwash from water softeners into the septic system. Current NHDES rules allow that water softener backwash can be discharged to a separate drywell. No design or approval is required for this.

Septic tank must be pumped by a licensed hauler at least every two years. Keep pumping receipts as proof of maintenance. Check tanks yearly. If sludge and surface foam exceed one-quarter of the total liquid depth the tank must be pumped and filter to be cleaned.

Do not allow vehicular traffic over any component of system unless that structure is designed to withstand a H-20 wheel load.

The owner should keep a copy of this plan with his/her important documents for future reference. This plan should be provided to future owner. Copies are available from this office.

If this design utilizes a septic tank outlet filter, have filter cleaned when tank is pumped. If there are any signs of plumbing backup, call plumber and have the tank and filter cleaned.



PN 1202 06 DYER
 SSD PCS
 SORKIA SDR33

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 MAY 17 2023
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