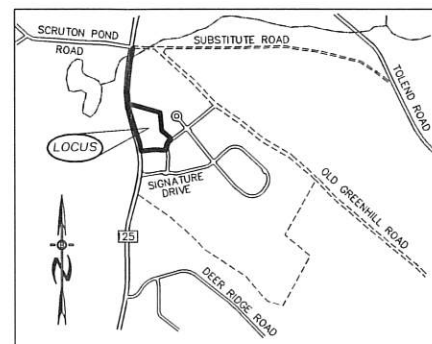


# STONEARCH DEVEL. CORP. COMMERCIAL SITE PLAN ROUTE 125 TAX MAP 223, LOTS 26-58&59




LOCATION MAP  
1"=1500'

### PLAN INDEX


TITLE SHEET	
LOT LINE ADJUSTMENT PLAN	1
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**PLEASE REPORT OBSERVATIONS OF RARE TURTLES**  
The NH Fish & Game Department is requesting observations of the following turtle species



**Blanding's turtle**  
(State Endangered)

Large, dark/black domed shell with lighter speckles.  
Distinct yellow throat/chin.  
Aquatic but often moves on land.



**Spotted turtle**  
(State Threatened)

Small, mostly aquatic with black or dark brown with yellow spots.  
Fairly flat shell compared to Blanding's turtle.  
Spots vary in color and number.

Report sightings immediately to NHFS Wildlife Division at 603-271-2461 (ext #4) or to NHFS Wildlife Biologist Melissa Doperalski 603-479-1129 (ext) anytime.  
Please report sightings, nesting activity, location and date. \*Photograph sightings encouraging!

BLANDINGS & SPOTTED TURTLES HAVE BEEN REPORTED IN THE AREA. IF SPOTTED OR BLANDING'S TURTLES ARE FOUND LAYING EGGS IN THE WORK AREA, PLEASE CONTACT MELISSA DOPERALSKI AT 271-1738 OR JOSH MEGYESY AT 271-1125 FOR FURTHER INSTRUCTIONS

**TOWN NOTES**  
IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.

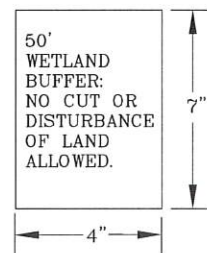
REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SITE REVIEW REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

**New Hampshire Fish and Game Permit Conditions:**

- Blanding's turtles (state endangered) and spotted turtles (state threatened) have been identified in the vicinity of the project site. All operators and personnel working on or entering the site shall be made aware of the potential presence of these species and shall be provided flyers that help to identify these species, along with NHFG contact information. Rare species information (e.g. identification, observation and reporting of observations, when to contact NHFG immediately and NHFG contact information) shall be posted on site at all times and communicated during morning tailgate meetings prior to work commencement. See This Sheet.
- Turtles may be attracted to disturbed ground during nesting season (May 15th - June 30th). All turtle species nests are protected by NH laws. If a nest is observed or suspected, contact Melissa Winters (603-479-1129) or Josh Megyesy (978-578-0802) at NHFG immediately for further consultation. Turtle nests or turtles exhibiting nesting behavior shall not be disturbed.
- A 50-ft no cut, no disturb buffer shall be maintained around all wetlands on-site as depicted on the plan of reference. Placards marking these areas as "no cut, no disturb" shall be placed every 50 feet along the buffer boundary. See This Sheet. The 50-ft no cut, no disturb buffer and placards shall be maintained and conserved in perpetuity in accordance with FIS 1003.02 (e).
- No sumps shall be included in the design of catch basins when located near or within grassy areas to avoid the entrapment of rare wildlife species. See Plan sheet 7 for specs.
- All manufactured erosion and sediment control products, with the exception of turf reinforcement mats, utilized for, but not limited to, slope protection, runoff diversion, slope interruption, perimeter control, inlet protection, check dams, and sediment traps shall not contain plastic, or multifilament or monofilament polypropylene netting or mesh with an opening size of greater than 1/2 inches.
- All observations of threatened or endangered species on the project site shall be reported immediately to the NHFG nongame and endangered wildlife environmental review program by phone at 603-271-2461 and by email at: HYPERLINK "mailto:NHFGreview@wildlife.nh.gov" NHFGreview@wildlife.nh.gov, with the email subject line containing the NHB DataCheck tool results letter assigned number, the project name, and the term Wildlife Species Observation.
- Photographs of the observed species and nearby elements of habitat or areas of land disturbance shall be provided to NHFG in digital format at the above email address for verification, as feasible.
- In the event a threatened or endangered species is observed on the project site during the term of the permit, the species shall not be disturbed, handled, or harmed in any way prior to consultation with NHFG and implementation of corrective actions recommended by NHFG.
- Site operators shall be allowed to relocate wildlife encountered if discovered within the active work zone and if in direct harm from project activities. Wildlife shall be relocated in close proximity to the capture location but outside of the work zone and in the direction the individual was heading. NHFG shall be contacted immediately if this action occurs.
- The NHFG, including its employees and authorized agents, shall have access to the property during the term of the permit.



WETLAND BUFFER PLACARD DETAIL. PLACARDS TO BE HARDENED PLASTIC OR ALUMINUM, AND SCREWED TO TREES OR MOUNTED ON PERMANENT SET POSTS.



WETLAND/SOIL CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.  
8 CONTINENTAL DRIVE,  
BLDG 2 UNIT H  
EXETER, NH 03833  
1-603-778-0644

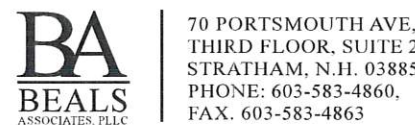
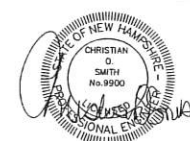
LAND SURVEYORS:



Serving Your Professional Surveying & Mapping Needs  
102 Kent Place, Newmarket, NH 03857-0163  
Voice (603) 659-6560, Data (603) 659-4118

CIVIL ENGINEERS:

70 PORTSMOUTH AVE,  
THIRD FLOOR, SUITE 2  
STRATHAM, N.H. 03885  
PHONE: 603-583-4860,  
FAX: 603-583-4863

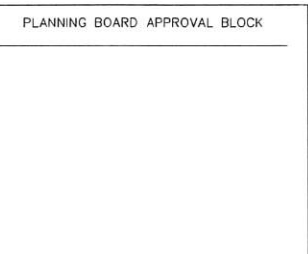



### PLAN SET LEGEND

UTILITY POLE	OVERHEAD ELEC. LINE	— OHE —
DRAIN MANHOLE	UNDERGROUND ELEC. LINE	— UGE —
EXISTING CATCH BASIN	DRAINAGE LINE	— D —
EXIST. SPOT GRADE	STONE WALL	— S —
SINGLE POST SIGN	TREE LINE	— T —
TEST PIT	ABUT. PROPERTY LINES	— A —
30k GAL. FIRE CISTERN	EXIST. PROPERTY LINES	— E —
PROP. SEPTIC RESERVE AREA	PROP. PROPERTY LINES	— P —
PROP. WELL W/ PROTECTIVE RAD.	BUILDING SETBACK LINES	— B —
	EXIST. CONTOUR	— C —
	PROP. CONTOUR	— P —
	SOIL LINES	— S —
	SILT FENCE OR EROSION CONTROL BERM	— F —

### REQUIRED PERMITS

NHDES SEPTIC APPROVAL NUMBER: (PENDING)  
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: (PENDING)

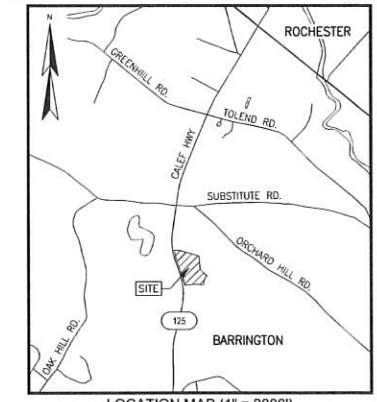


### COVER SHEET

COMMERCIAL DEVELOPMENT  
ROUTE 125  
BARRINGTON, NH  
TAX MAP 223, LOTS 26, 58, 59

DATE:	OCT. 2023	SCALE:	N/A
PROJ. NO:	NH-1144.5	SHEET NO.	0

OCT 25 2023



- LEGEND**
- EXISTING LOT LINE
  - - - PROPOSED LOT LINE
  - · - · - APPROXIMATE ABUTTERS LOT LINE
  - · - · - LOT LINE TO BE REMOVED
  - · - · - EXISTING EASEMENT LINE
  - · - · - PROPOSED EASEMENT LINE
  - · - · - SETBACK LINE
  - // — OVERHEAD WIRE
  - · - · - 50' WETLAND SETBACK
  - · - · - EDGE OF DELINEATED WETLAND
  - ▲ WETLAND AREA
  - UTILITY POLE
  - BOUND FOUND (BND. FND.)
  - 4"x4" GRANITE BOUND TO BE SET
  - 5/8" REBAR W/ID CAP TO BE SET
  - BND. FND. BOUND FOUND
  - CONC. CONCRETE

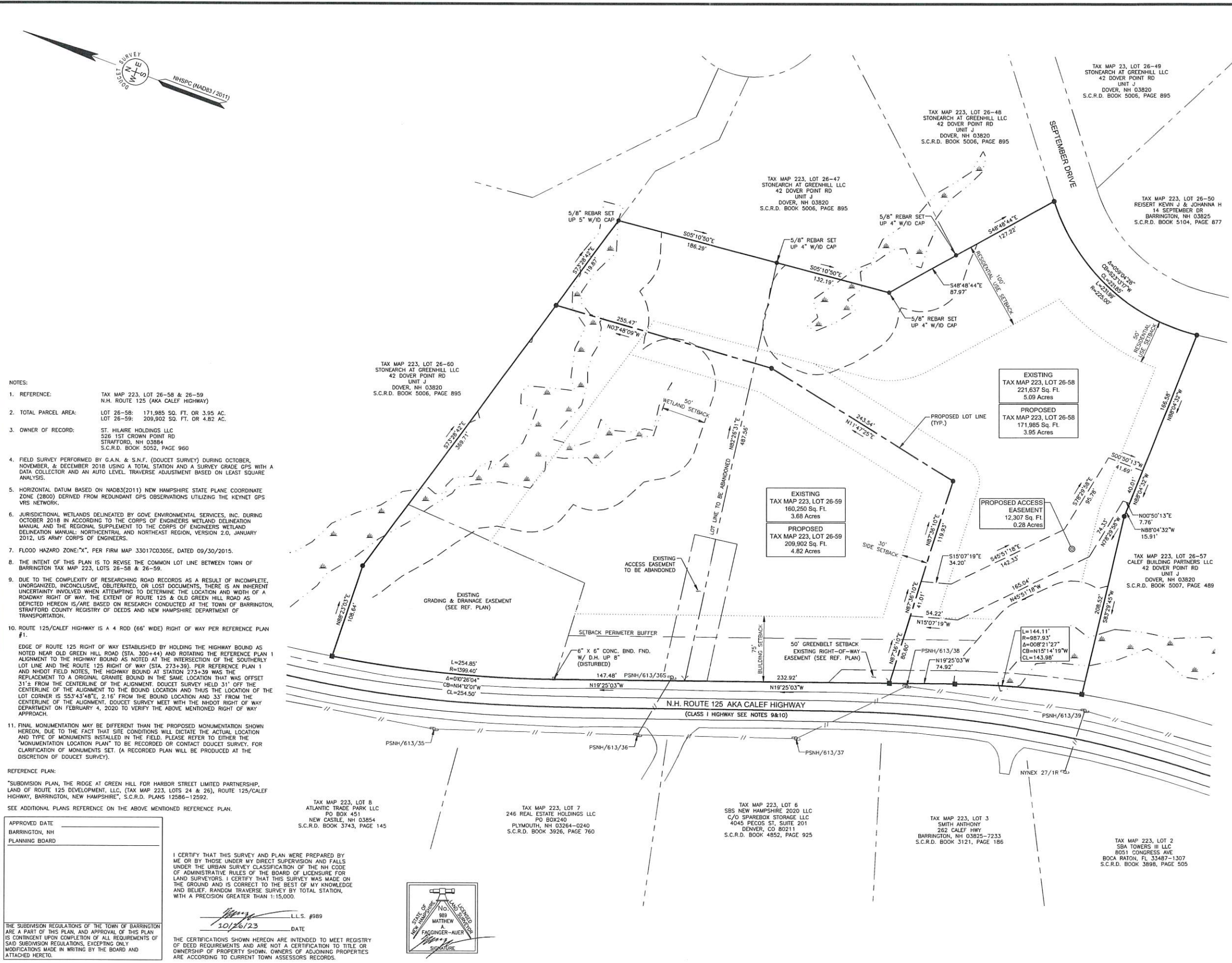


**BOUNDARY LINE ADJUSTMENT PLAN**  
 LAND OF  
 ST. HILAIRE HOLDING LLC  
 TAX MAP 223, LOT 26-58  
 TAX MAP 223, LOT 26-59  
 CALEF HIGHWAY (ROUTE 125)  
 BARRINGTON, NEW HAMPSHIRE

THIS DRAWING IS NOT FOR RECORDING		
NO.	DATE	DESCRIPTION

DRAWN BY:	W.D.C.	DATE:	AUGUST 28, 2023
CHECKED BY:	M.W.F.	DRAWING NO.:	8294A
JOB NO.:	8294	SHEET:	1 OF 1

**DOUCET SURVEY**  
 Serving Your Professional Surveying & Mapping Needs  
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 Offices in Bedford & Keene, NH and Kennebunk, ME  
<http://www.doucetsurvey.com>



- NOTES:**
- REFERENCE: TAX MAP 223, LOT 26-58 & 26-59 N.H. ROUTE 125 (AKA CALEF HIGHWAY)
  - TOTAL PARCEL AREA: LOT 26-58: 171,985 SQ. FT. OR 3.95 AC. LOT 26-59: 209,902 SQ. FT. OR 4.82 AC.
  - OWNER OF RECORD: ST. HILAIRE HOLDINGS LLC 526 1ST CROWN POINT RD STRAFFORD, NH 03854 S.C.R.D. BOOK 5052, PAGE 960
  - FIELD SURVEY PERFORMED BY G.A.N. & S.N.F. (DOUCET SURVEY) DURING OCTOBER, NOVEMBER, & DECEMBER 2018 USING A TOTAL STATION AND A SURVEY GRADE GPS WITH A DATA COLLECTOR AND AN AUTO LEVEL TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
  - HORIZONTAL DATUM BASED ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (2800) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
  - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2018 IN ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
  - FLOOD HAZARD ZONE: "X", PER FIRM MAP 33017CO305E, DATED 09/30/2015.
  - THE INTENT OF THIS PLAN IS TO REVISE THE COMMON LOT LINE BETWEEN TOWN OF BARRINGTON TAX MAP 223, LOTS 26-58 & 26-59.
  - DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF ROUTE 125 & OLD GREEN HILL ROAD AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE TOWN OF BARRINGTON, STRAFFORD COUNTY REGISTRY OF DEEDS AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
  - ROUTE 125/CALEF HIGHWAY IS A 4 ROD (66' WIDE) RIGHT OF WAY PER REFERENCE PLAN #1.  
 EDGE OF ROUTE 125 RIGHT OF WAY ESTABLISHED BY HOLDING THE HIGHWAY BOUND AS NOTED NEAR OLD GREEN HILL ROAD (STA. 300+44) AND ROTATING THE REFERENCE PLAN 1 ALIGNMENT TO THE HIGHWAY BOUND AS NOTED AT THE INTERSECTION OF THE SOUTHERLY LOT LINE AND THE ROUTE 125 RIGHT OF WAY (STA. 273+39). PER REFERENCE PLAN 1 AND NHDOT FIELD NOTES, THE HIGHWAY BOUND AT STATION 273+39 WAS THE REPLACEMENT TO AN ORIGINAL GRANITE BOUND IN THE SAME LOCATION THAT WAS OFFSET 31'± FROM THE CENTERLINE OF THE ALIGNMENT. DOUCET SURVEY HELD 31' OFF THE CENTERLINE OF THE ALIGNMENT TO THE BOUND LOCATION AND THUS THE LOCATION OF THE LOT CORNER IS S53°43'48"E, 2.16' FROM THE BOUND LOCATION AND 33' FROM THE CENTERLINE OF THE ALIGNMENT. DOUCET SURVEY MEET WITH THE NHDOT RIGHT OF WAY DEPARTMENT ON FEBRUARY 4, 2020 TO VERIFY THE ABOVE MENTIONED RIGHT OF WAY APPROACH.
  - FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY, FOR CLARIFICATION OF MONUMENTS SET. (A RECORDED PLAN WILL BE PRODUCED AT THE DISCRETION OF DOUCET SURVEY).

**REFERENCE PLAN:**  
 "SUBDIVISION PLAN, THE RIDGE AT GREEN HILL FOR HARBOR STREET LIMITED PARTNERSHIP, LAND OF ROUTE 125 DEVELOPMENT, LLC, (TAX MAP 223, LOTS 24 & 26), ROUTE 125/CALEF HIGHWAY, BARRINGTON, NEW HAMPSHIRE", S.C.R.D. PLANS 12586-12592.  
 SEE ADDITIONAL PLANS REFERENCE ON THE ABOVE MENTIONED REFERENCE PLAN.

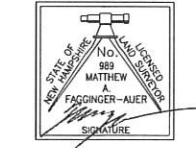
APPROVED DATE  
 BARRINGTON, NH  
 PLANNING BOARD

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

\_\_\_\_\_  
 L.L.S. #989  
 10/26/23 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



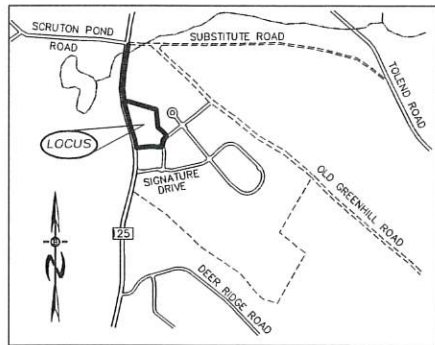
TAX MAP 223, LOT B ATLANTIC TRADE PARK LLC PO BOX 451 NEW CASTLE, NH 03854 S.C.R.D. BOOK 3743, PAGE 145

TAX MAP 223, LOT 7 246 REAL ESTATE HOLDINGS LLC PO BOX 240 PLYMOUTH, NH 03264-0240 S.C.R.D. BOOK 3926, PAGE 760

TAX MAP 223, LOT 6 SBS NEW HAMPSHIRE 2020 LLC C/O SPAREBOX STORAGE LLC 4045 PECOS ST, SUITE 201 DENVER, CO 80211 S.C.R.D. BOOK 4852, PAGE 925

TAX MAP 223, LOT 3 SMITH ANTHONY 262 CALEF HWY BARRINGTON, NH 03825-7233 S.C.R.D. BOOK 3121, PAGE 186

TAX MAP 223, LOT 2 SBA TOWERS III LLC 8051 CONGRESS AVE BOCA RATON, FL 33487-1307 S.C.R.D. BOOK 3898, PAGE 505



LOCATION MAP  
1"=1500'

LEGEND

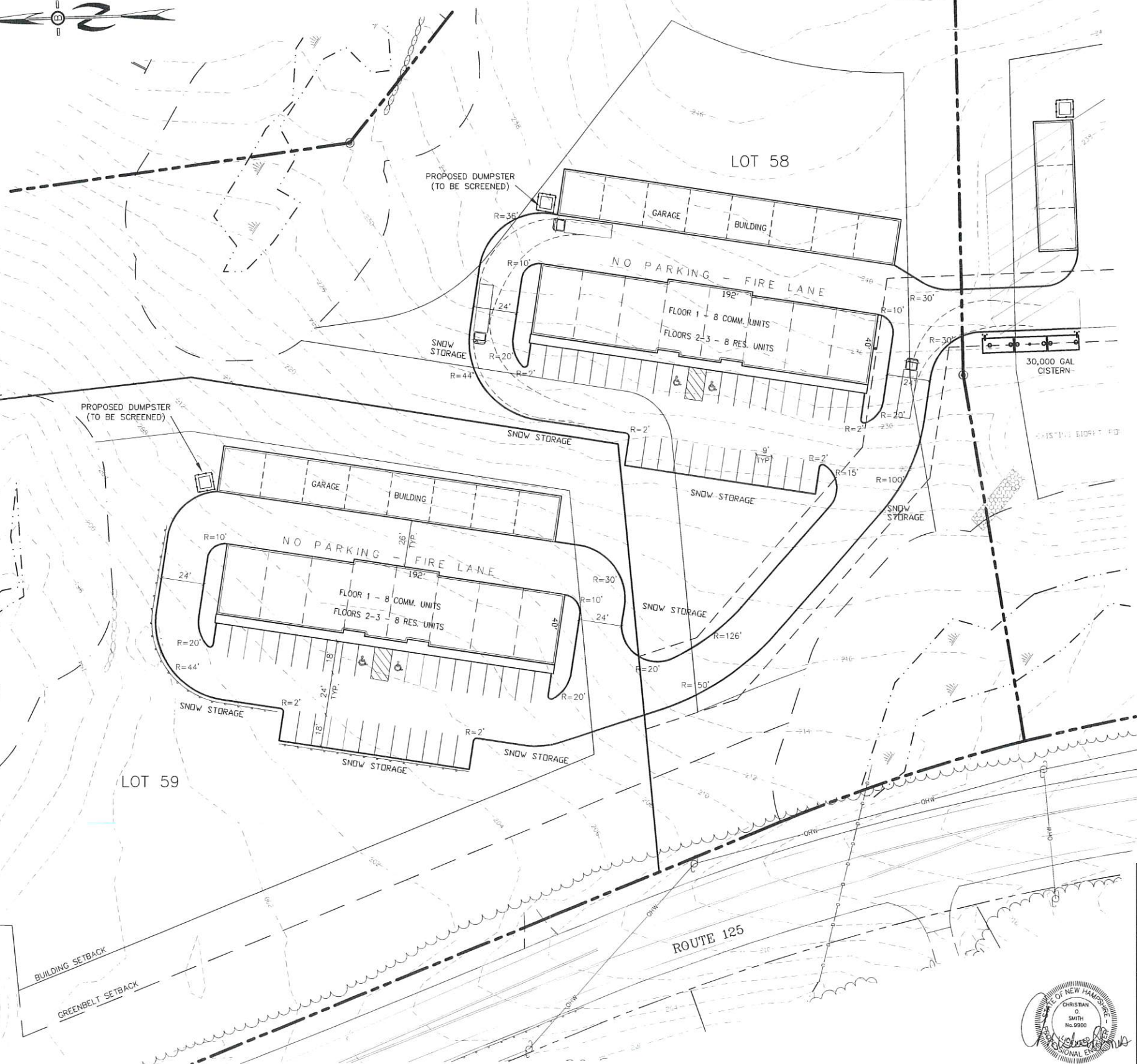
- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- WETLAND SETBACK LINE
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE

**PARKING CALCULATIONS / BUILDING:**  
 OFFICE SPACE = 3456 SF  
 1/300 SF = 3456 SF/300 = 12  
 RESIDENTIAL USE  
 2/UNIT = 8x2 = 16  
 PROVIDED = 16 INTERNAL + 32 EXTERNAL  
 TOTAL SPACES REQUIRED= 28  
 TOTAL SPACES PROVIDED= 48



UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION

WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).



PREPARED FOR:  
 STONEARCH DEVEL. CORP.  
 42J DOVER POINT ROAD  
 DOVER, NH 03820

**BA BEALS ASSOCIATES, PLLC**  
 70 PORTSMOUTH AVE,  
 THIRD FLOOR, SUITE 2  
 STRATHAM, N.H. 03885  
 PHONE: 603-583-4860,  
 FAX: 603-583-4863

- NOTES**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE
  - THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
  - THE INTENT OF THIS PROPOSAL CONSISTS OF 2, 7,700 SF MIXED-USE BUILDINGS TO INCLUDE COMMERCIAL AND RESIDENTIAL WITH DETACHED GARAGE STORAGE BUILDINGS, WITH ASSOCIATED PARKING.
  - ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
  - ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
  - PROJECT IS BASED ON USGS DATUM NAVD 1985.
  - THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS UNDER THESE REGULATIONS.
  - SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
  - AN AMENDED ALTERATION OF TERRAIN PERMIT RSA 485-A-17 IS REQUIRED.
  - THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD ZONE.
  - LOT 58 IMPERVIOUS AREA= 40,088 SF OR 23%  
 LOT 59 IMPERVIOUS AREA= 35,425 SF OR 17%

**ZONING REQUIREMENTS**

ZONE: REGIONAL COMMERCIAL

USE:	REGIONAL COMMERCIAL
MIN. LOT SIZE =	40,000 SF
MIN. FRONTAGE =	200'
MAX. HEIGHT =	40'
<b>BUILDING SETBACKS:</b>	
FRONT	75'
SIDE & REAR	30'
WETLANDS	50'
<b>LEACH FIELD SETBACKS</b>	
POORLY DRAINED SOILS	50'
VERY POORLY DRAINED SOILS	75'

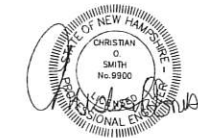
PLANNING BOARD APPROVAL BLOCK


REVISIONS:	DATE:

**PARKING/PAVEMENT PLAN**

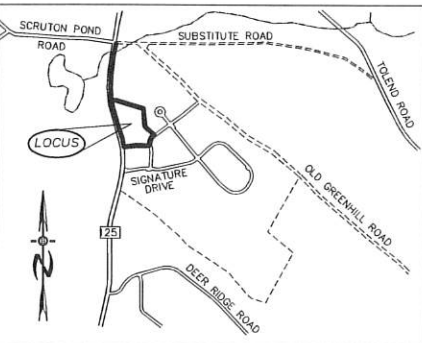
COMMERCIAL DEVELOPMENT  
 ROUTE 125  
 BARRINGTON, NH  
 TAX MAP 223, LOTS 26.58-26.59

DATE:	OCT. 2023	SCALE:	1"=30'
PROJ. NO:	NH-1144.5	SHEET NO.:	3

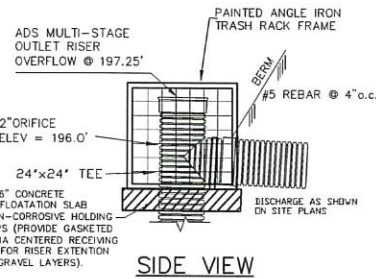


OCT 25 2023

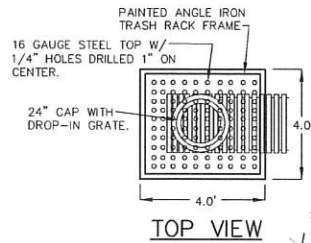
LAND USE OFFICE



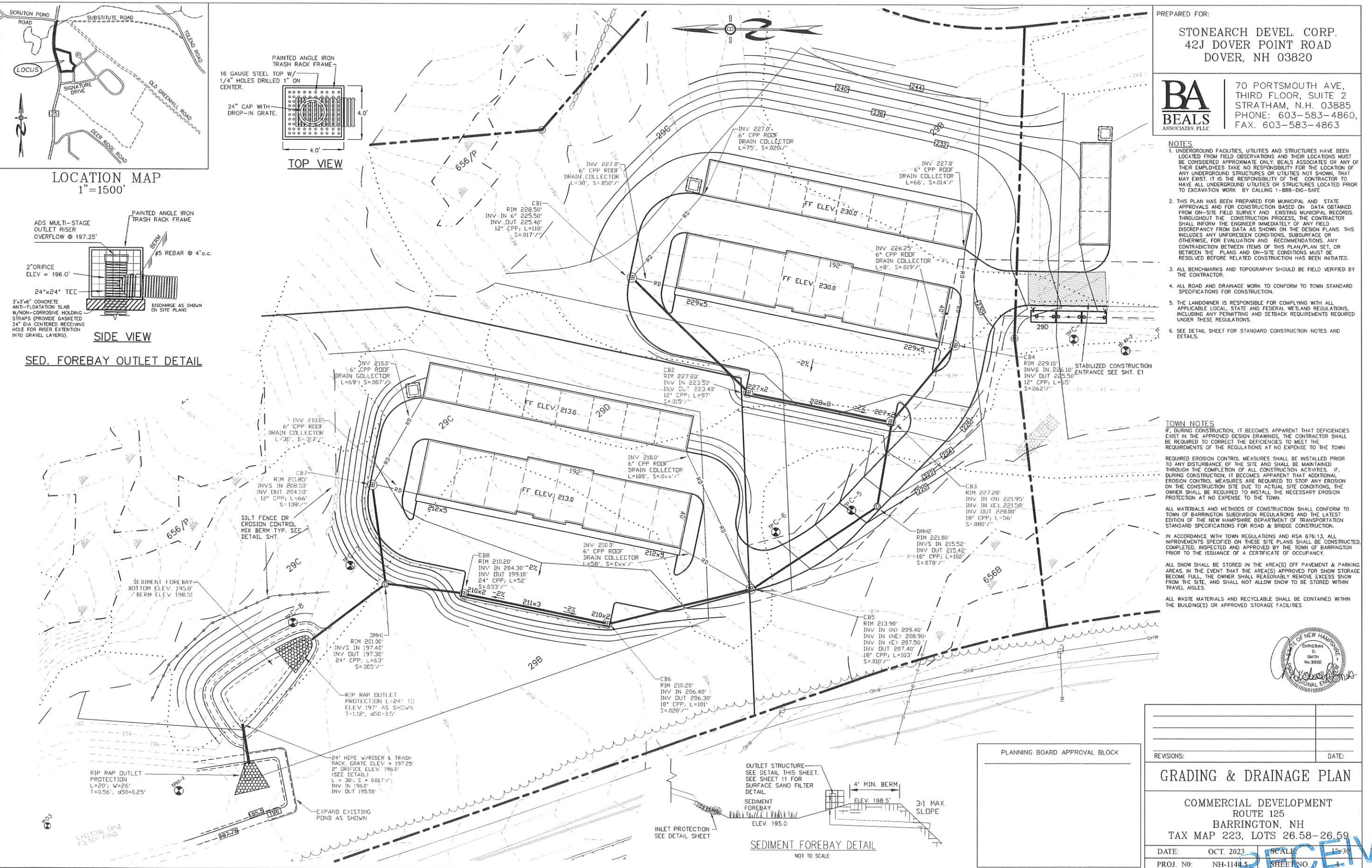
LOCATION MAP  
1" = 1500'



SED. FOREBAY OUTLET DETAIL



TOP VIEW



PREPARED FOR:  
**STONEARCH DEVEL. CORP.**  
 42J DOVER POINT ROAD  
 DOVER, NH 03820

**BA BEALS ASSOCIATES, PLLC**  
 70 PORTSMOUTH AVE.  
 THIRD FLOOR, SUITE 2  
 STRATHAM, N.H. 03885  
 PHONE: 603-583-4860  
 FAX: 603-583-4863

- NOTES**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
  - THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
  - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
  - ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
  - THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
  - SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.

- TOWN NOTES**
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SUBDIVISION REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL SNOW SHALL BE STORED IN THE AREA(S) OFF PAVEMENT & PARKING AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.
- ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES.



PLANNING BOARD APPROVAL BLOCK

REVISIONS:	DATE:
<b>GRADING &amp; DRAINAGE PLAN</b>	
COMMERCIAL DEVELOPMENT ROUTE 125 BARRINGTON, NH TAX MAP 223, LOTS 26.58-26.59	
DATE: OCT. 2023	SCALE: 1" = 30'
PROJ. NO: NH-1148.5	SHEET NO: 1

RECEIVED

OCT 25 2023

LAND USE OFFICE