



Town of Barrington
 PO Box 660/333 Calef Hwy
 Barrington, NH 03825
www.barrington.nh.gov
 (603) 664-5183

APPLICATION FOR CLASS VI/PRIVATE ROAD BUILDING PERMIT

OWNER INFORMATION

Please include a separate e-mail address for each owner to avoid processing delays.

Name: MARY ELLIOTT	Address: 63 Birch Lane Barrington NH
Phone:	E-Mail: elliottmeg@aol.com
Name:	Address:
Phone:	E-Mail:

PROPERTY DETAILS

Address/Road: 63 Birch Lane	Map/Lot/Sublot: 117/008/000
Ownership Deed: Book: 4597 Page: 484	Road Classification: <input type="checkbox"/> Class VI Rd <u>or</u> <input checked="" type="checkbox"/> Private Rd

PROJECT NARRATIVE

Describe the details of the building project

**Put Dormer to provide conventional access to existing second floor.
 (Frame dormer over proposed new stairs constructed to meet current codes)**

Copy of Building Permit Application Attached

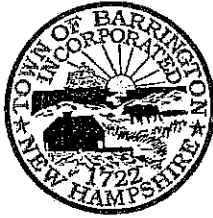
PERMIT CATEGORY

Review the Class VI/Private Road Building Policy at www.barrington.nh.gov/ClassVI/PrivateRoadBuildingPolicy to apply the correct requirements to your project. Use the checkboxes to indicate completed/attached information.

<input type="checkbox"/> Category 1	<input type="checkbox"/> Category 2	<input checked="" type="checkbox"/> Category 3
<input type="checkbox"/> Class VI & Private Road Building Policy Application <input checked="" type="checkbox"/> Municipal Disclaimer of Maintenance and Liability <ul style="list-style-type: none"> Generated by Town staff upon receipt of completed application Recording required by applicant after approval and prior to issuance of permit 	Category 1 requirements and: <input checked="" type="checkbox"/> Planning Board Review and Comment <input checked="" type="checkbox"/> Select Board Decision – Consent Agenda	Category 1 requirements and: <input checked="" type="checkbox"/> Detailed Property Map <input type="checkbox"/> Road Improvements <input checked="" type="checkbox"/> Option 1 <u>or</u> <input type="checkbox"/> Option 2 <input type="checkbox"/> Road Maintenance Agreement <ul style="list-style-type: none"> Permit and Bond for Improvements (if applicable per Select Board decision) Department Head Recommendations Planning Board Review and Comment Select Board Public Hearing and Decision Application Fee (if approved, plus building permit fee)

See letter
 Waiver Requested (see policy requirements, include waiver narrative on a separate sheet)

Applicant Signature: Mary Elliott	Date: 4/11/2023
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 Barrington, NH 03825
www.barrington.nh.gov
 (603) 664-5183

APPLICATION FOR CLASS VI/PRIVATE ROAD BUILDING PERMIT

FOR ADMINISTRATIVE USE ONLY

Received Date: 4/17/23	Staff Initials: <i>UP</i>
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APPLICATION REVIEW	
<input checked="" type="checkbox"/> Correct Category	<input checked="" type="checkbox"/> Map Meets Requirements
<input checked="" type="checkbox"/> Road Improvement Details	<input type="checkbox"/> Missing Information – Applicant Notified

ANTICIPATED TIMELINE	
DATE	<i>If not applicable, please use N/A</i>
4/17/23	Application Reviewed and Sent to Department Heads <i>(as soon as possible upon receipt)</i>
4/25/23	Department Head Recommendations Due <i>(minimum 1 week following email to Department Heads)</i>
	Planning Board Review <i>(Department Head recommendations, if applicable, must be provided to Planning Department no less than 1 week prior to next meeting. Schedule for next meeting following 1 full week.)</i>
	Select Board Public Hearing or Consent Agenda <i>(minimum 1 week following Planning Board memo receipt)</i>

COMPLETION DATES	
DATE	<i>If not applicable, please use N/A</i>
	Abutter's List Created <i>(upon receipt)</i>
	Police Recommendations Received
	Fire Recommendations Received
	Road Agent Recommendations Received
	Share Department Heads Feedback with Property Owner
	Planning Board Recommendations Received
	Public Hearing Notice for Select Board Meeting Sent to Abutters <i>(minimum 1 week prior to meeting)</i>
	Waiver Signed by Select Board Chair or Designee
	Recorded Waiver Book: _____ Page: _____
	Recorded Road Maintenance Agreement Book: _____ Page: _____
	Permit Issued
	Department Head Sign-Off on Road Improvements
	Building Inspector Verification Conditions of Approval are Met
	Certificate of Occupancy Issued

ATTACHMENTS	
<i>Provide a copy of the following to the applicant for their review.</i>	
<ul style="list-style-type: none"> • Sample Agreement and Release Regarding Building Permit for Property Abutting a Private/Class VI Road • Class VI/Private Road Policy – updated 2/14/2022 	

4/11/23

I believe the road is acceptable
to your requirements.

It is paved with 20 FT width
with shoulders.

It meets option #1 requirements

May Elliott 4/11/23

TOWN OF BARRINGTON, NEW HAMPSHIRE
Agreement and Release Regarding
Building Permit for Property Abutting a Private/Class VI Road

NOW COME Mary Elliott

(Hereinafter referred to jointly or severally as "owner") with a residential address of 61 Magnolia Lane, Newmarket, NH 03857, and

The Town of Barrington, New Hampshire (hereinafter referred to as "town"), a municipal corporation existing under the laws of the State of New Hampshire with an address of 4 Signature Drive, and agree as follows:

WHEREAS, owner owns certain real property (Tax Map 117, Lot 8 Plot) which abuts Birch Lane Road, conveyed to said owner by a Deed recorded at Book 4597, Page 484 at the Strafford County Registry of Deeds; and

WHEREAS, the relevant portion of said Birch Lane Road upon which owner's real property fronts is a private/Class VI road that has not been approved by the Barrington Planning Board, so that the owner's property is therefore subject to the building restrictions imposed under RSA 674:41;

NOW THEREFORE, the town and owner on behalf of themselves, their heirs, legal representatives, successors and assigns, covenant and agree as follows:

1. The town shall allow owner a building permit to construct a single family residence on the property identified above subject to the terms and conditions of a building permit to be issued by the town and the Policy of the Board of Selectmen Regarding Construction on Class VI and Private Roads as amended on July 20, 2015.
2. The parties understand and agree that town assumes no responsibility for maintenance, including but not limited to snowplowing, of said Birch Lane Road, and no liability for any damages arising from the use of said road.
3. Owner agrees to be responsible for maintaining access to the subject property and does hereby forever release and discharge the town, its officers, agents and employees: (1) from the obligation of maintaining said Birch Lane Road; and (2) from any loss, damage, claim or expense of any kind or nature whatsoever arising directly or indirectly from the condition of said road, including but not limited to any loss damage, claim or expense arising from failure to provide any municipal services such as police, fire and ambulance services.
4. Owner hereby assumes responsibility for transporting any children who may now or in the future reside on the property to the nearest regular school bus stop.
5. The parties understand and agree that this Agreement and Release shall be recorded at the Strafford County Registry of Deeds before the building permit is issued, as required under RSA 674:41, I (c)(3).
6. The owner(s) agree to stipulate and pass this Agreement at any transfer of this property.

Witness Print Name
(not needed if e-signed)

Owner Print Name

Witness Sign/Date
(not needed if e-signed)

Owner Signature/Date

Witness Print Name
(not needed if e-signed)

Owner Print Name

Witness Sign/Date
(not needed if e-signed)

Owner Signature/Date

TOWN OF Barrington

Witness Print Name
(not needed if e-signed)

By: _____
Select person, Chair or Vice Chair

Witness Sign/Date
(not needed if e-signed)

Select person Signature/Date

117-6
0.37 Ac

6

53'

7

75'
91'S

8

103'
131'S

117-7
0.3 Ac

117-8
0.38 Ac

117-9
0.67 Ac

LANE

84'

95.6'

16.41'

57-212'

205'S
176'D

61.32'

(PVT)

117'

136'D

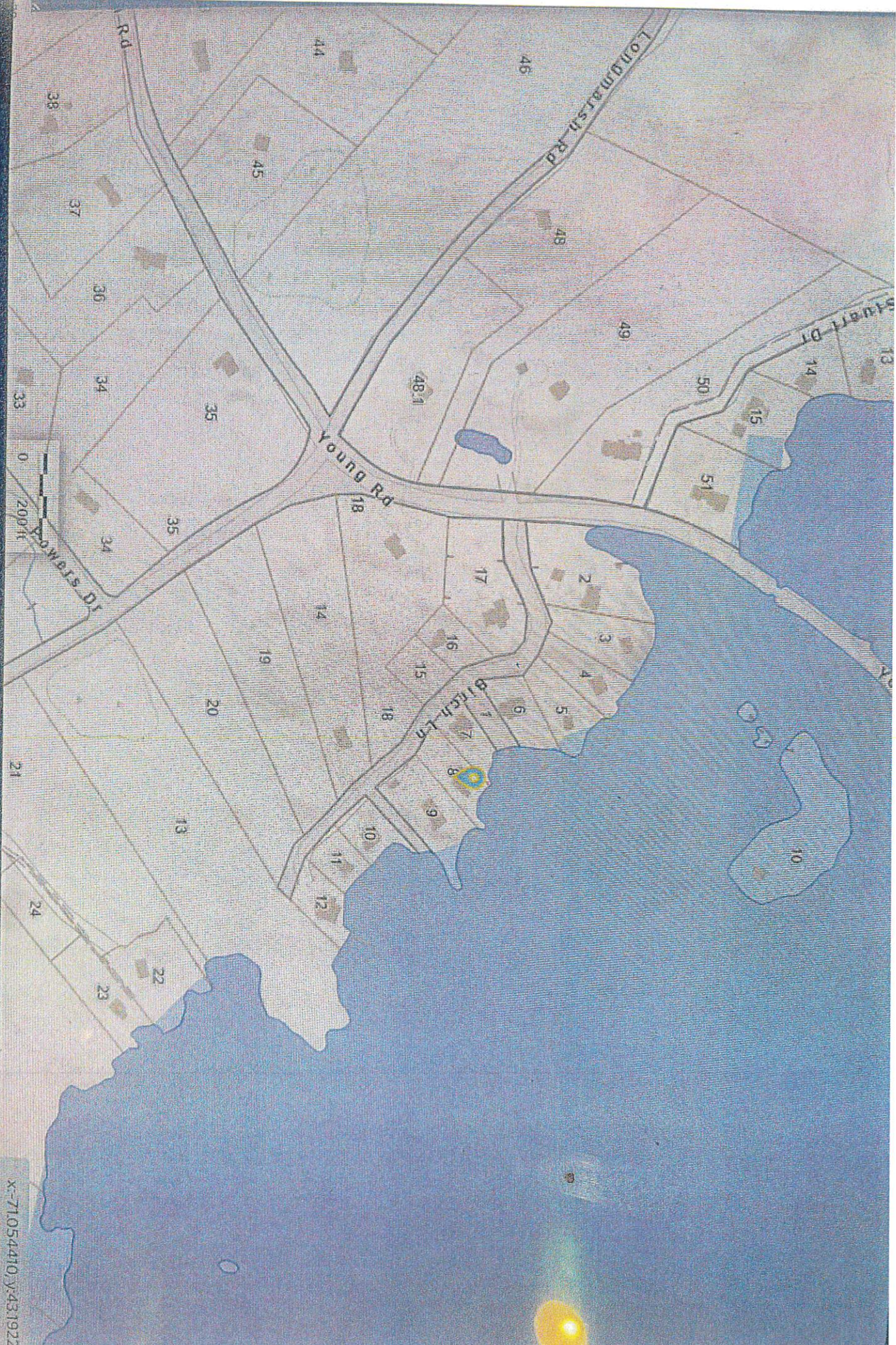
117-18
2.2 Ac

47'

48'

117-10
0.31 Ac

Mary G. Henth
MARY G. HENTH

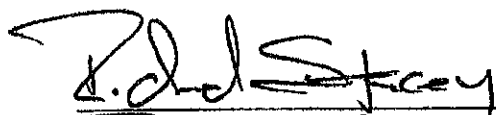


x:-71054410,y:431922


Catherine A. Berube
Register of Deeds, Strafford County

Birch Lane, Barrington Road Maintenance Agreement

Birch Lane Association maintains Birch Lane. The Town of Barrington is not responsible for the road maintenance or snow removal. Owners periodically pay to the association monies determined by the association to maintain and remove snow on Birch Lane, Barrington NH.



Resident
Richard Stacey
Date 4-15-2023



Vice President
Andy Gunkler
Date 4-15-2023

Witness: Mary Elmett 4/15/2023



Minor Building Permit Application

Town of Barrington, New Hampshire
 Building Department
 P.O. Box 660, Barrington, NH
 Telephone: (603) 664-5183

Issue Date: _____

Permit #: _____

(This area for office use only)

Map # _____

Lot # _____

Block # _____

Zoning _____

Location of Construction (Address): 103 Birch Lane
 Property Owner: ELLIOTT MARY Revocable Trust Home Phone: _____
 Mailing Address: 61 MAGNOLIA LANE Cell Phone: 603 231 1773
 City: Newmarket State: NH Zip Code: 03057 Daytime Phone: _____
 Email Address: MELLIOTT@thegovegroup.com

Contractor: Self Phone: _____
 Mailing Address: 61 MAGNOLIA LANE Cell #: 603 231 1773
 City: Newmarket State: NH Zip Code: 03057
 Email Address: MELLIOTT@thegovegroup.com

Cost of Construction: \$5,000 Building Inspectors Estimated Cost of Construction: _____
 Permit Fee: _____ Permit fee is based on \$8.50 per \$1,000.00 of Construction Cost (\$50.00 Minimum)
 AND \$25 flat application fee, \$50 electric permit fee, \$50 plumbing permit fee, \$50 mechanical permit fee.

Primary Use of Property Is: Residential Commercial Mixed Use (both Res. & Com)
 Proposed Construction is for:
 (Please Check all that Apply) Deck Door Garage Exterior Renovations
 Enclose Deck/Porch Shed Siding Interior Renovations
 Pool / Hot Tub Roof Windows Residential Addition
 Other Downer to provide conventional access to existing 2nd floor

Description of work to be performed: FRAME A DOWNER OVER THE PROPOSED NEW STAIRS constructed to meet current codes
 Proposed Use: SAFETY

Property & Setback Information

Setbacks from Lot Line to Construction: Front: <u>NO</u> Right: _____ Rear: <u>CHANGED</u>	Subsurface Disposal Information: Septic System Design: More Than 20 Years Old Circle One: Yes <u>No</u> Unknown	Total Square Footage of Proposed Building: Site Located In "Special Flood Hazard Area": Yes _____ No <u>(No)</u> Site Located In Shoreland Protection Zone: Yes _____ No _____
Lot Size: <u>.38 Acres</u>	Shoreland Water Quality Protection Zone: Circle One: Yes <u>(Yes)</u> No	Subdivision Approval # _____ Subdivision Name: _____

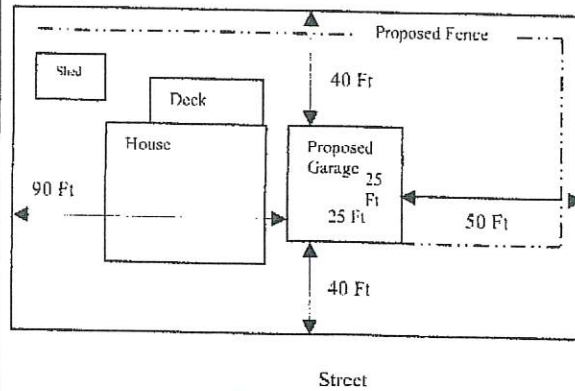
Applicant Signature: X Mary Elliott Date: 4/11/23
 Revised: 01-2021 Page 3

Plot Plan

Instructions:

- 1) Show the Property lines and road(s).
- 2) Show the proposed Structure and all existing structures.
- 3) Show the Measurements from the proposed structure to all lot lines, measure straight through existing structures if needed.
- 4) Include the dimensions of the proposed structure.
- 5) Show Location of Septic Tank & Leach Field.
- 6) Show Location of all Wetlands, Rivers, Streams, Lakes and Ponds

Sample Plan:



Attached

Applicant Signature: _____

Mary Elbert

Date: _____

4/4/23

117-6
0.37 Ac

6

53'

7

75'
91'S

8

103'
131'S

117-7
0.3 Ac

117-8
0.38 Ac

117-9
0.67 Ac

LANE

84'

95.6'

57'-12'

16.41'

61.32'

205'S
176'D

117-18
2.2 Ac

(PVT)

117'

136'D

Mary Elliott
MARY ELLIOTT

117-10
0.31 Ac

48'

47'

7'



It is the responsibility of the property owner and all contractors to obtain and post the necessary permits in a conspicuous location prior to commencement of any construction related activity.

Electrical, mechanical and plumbing work requires submission of a separate permit applications.

Permits are non-transferable. If this is an "After the Fact" permit, it may be subject to a fee two times the normal permit fee.

It is the responsibility of the contractor / property owner to obtain all required inspections. This signed application constitutes consent of the owner / applicant to provide access for inspections related to this permit at the subject property. Any work that is concealed prior to the inspection may be required to be removed for inspection.

Inspections are required for:

- 1) Reinforcing steel prior to pouring
- 2) Foundation & drainage prior to backfilling
- 3) Rough-In: Framing
- 4) Insulation & penetration firestop
- 5) Drywall Installation (fire rated assemblies only)
- 6) Final Inspection

Required inspections for electrical, plumbing and mechanical installations are provided on the applicable permit application(s).

PLEASE BE ADVISED: Any deviation from the specifications submitted will require an amendment to this permit or additional permits. Permits expire one (1) year from the issue date. The Building Inspector/Code Officer may grant an extension of time if a written request is submitted prior to the expiration date. Permits become invalid if work is not started within 180 days or if work is abandoned/suspended for a period of 180 days.

The STATE OF NEW HAMPSHIRE requires that ENERGY CODE COMPLIANCE CERTIFICATION be obtained for any heated building, structure or addition thereto. Certification may be required prior to altering, renovating or winterizing an existing structure. More information can be found at the web site: www.puc.state.nh.us and follow the link for Energy Codes.

*** I hereby certify that the building site is/is not (choose one) located in a "Special Flood Hazard Area" as designated by the Federal Emergency Management Agency and its flood insurance rate maps.

X Applicant signature: Max Elwell

*** I hereby certify that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S. C. 1334, Barrington Flood Plain Development Ordinance.

X Applicant signature: Max Elwell

*** All work must be performed in accordance with International Building Code/2009, International Residential Code for One & Two Family Dwelling/2009, 2011 NEC National Electrical Code, 2009 International Plumbing Code, NFPA 101 Life Safety Code/2009, NH Energy Code, International Mechanical Code/ 2009 and State of NH Subdivision & Individual Sewage Disposal System Design Rules.

*** I certify that the information that I have given is accurate to the best of my knowledge. No change from the above information will be made without the approval of the Code Enforcement Officer. I understand that this is NOT A PERMIT and that work CANNOT COMMENCE until a PERMIT is issued. It is my responsibility to contact the Code Enforcement Officer for the appropriate inspections.

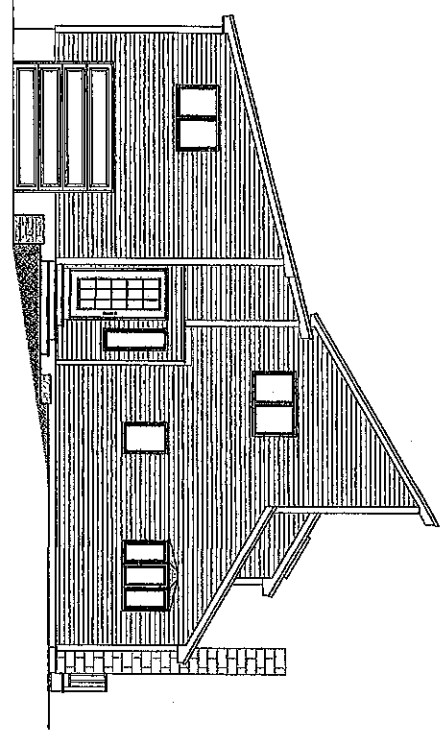
*** I hereby certify that the boundary lines shown on the accompanying plot plan are the property lines of my property and that the acreage and setbacks are correctly shown.

*** I further acknowledge that the proposed structure or improvements shall not be occupied or utilized without a Certificate of Occupancy and only after all necessary inspections have been requested and completed.

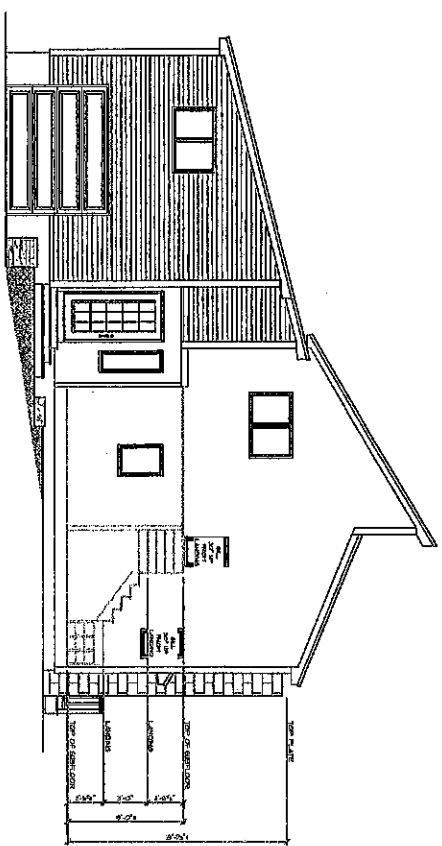
X Owner Signature: Max Elwell Date: 4/4/23

X Contractor Signature _____ Date: _____

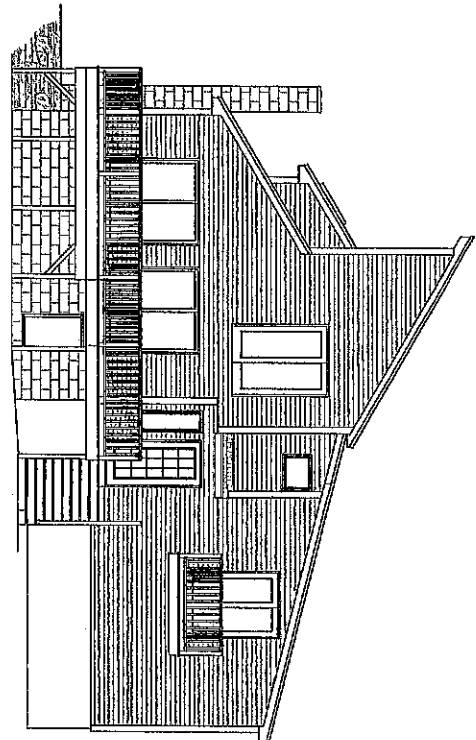
EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



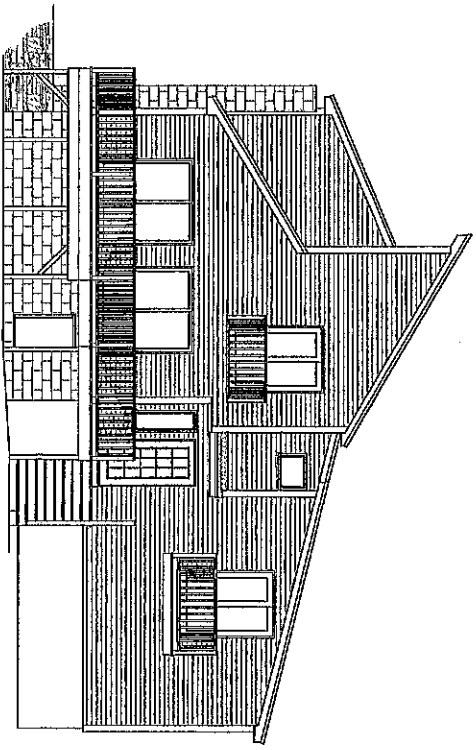
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



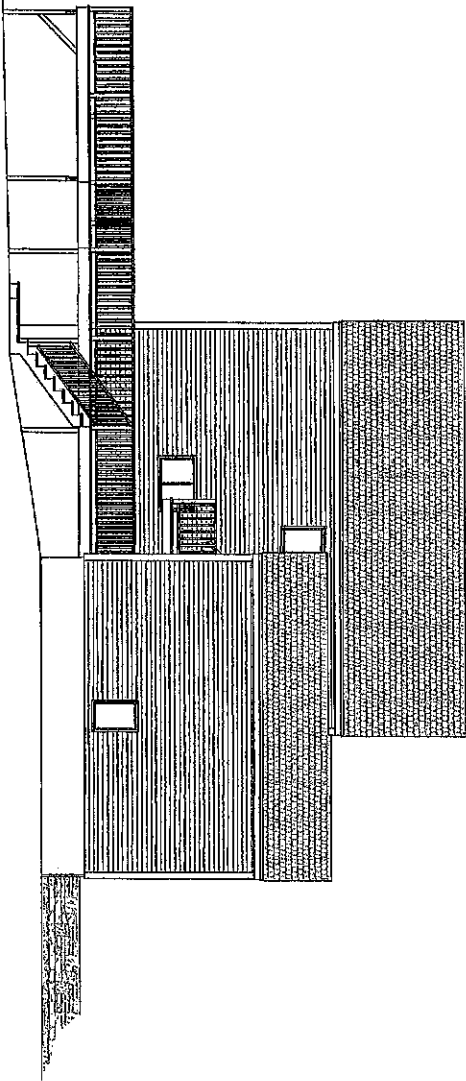
EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



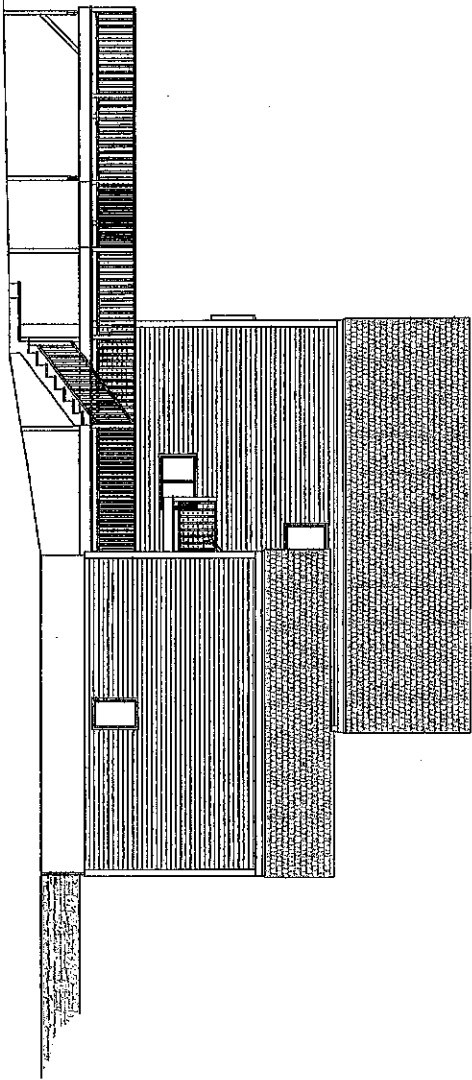
REAR ELEVATION
SCALE: 1/4" = 1'-0"



SHEET NUMBER A1	PLAN NUMBER 1236	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825		DATE 08/20/21	DESCRIPTION DRAFT PLANS	NEUMARKET PLAINS, LLC, HOME DESIGN SERVICE NEW-MARKETPLAINS.LLC@COMCAST.NET WWW.NEUMARKETPLAINS.LLC.COM 603-659-0885	MEMBER AIA AMERICAN INSTITUTE OF ARCHITECTS
		DATE 09/28/21	DESCRIPTION REVISED PLANS				
		DATE 10/04/21	DESCRIPTION FINAL PLANS				
		DATE 10/04/21	DESCRIPTION FINAL PLANS				

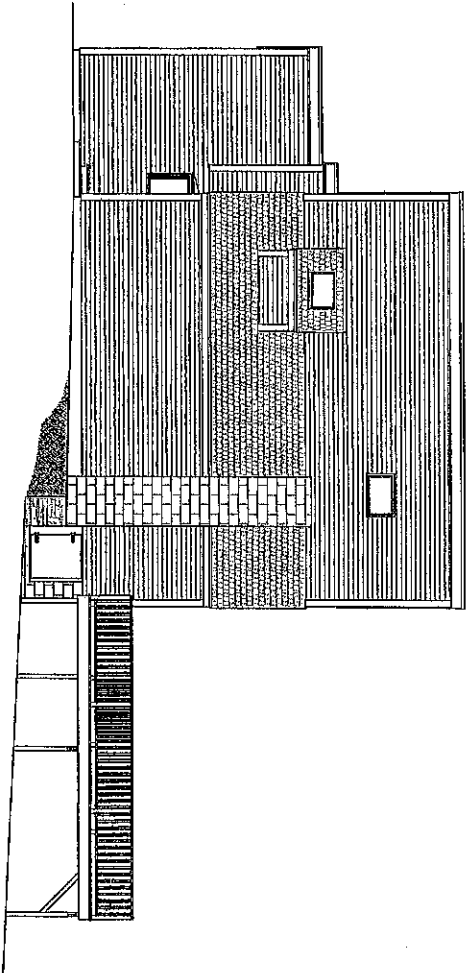


EXISTING LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

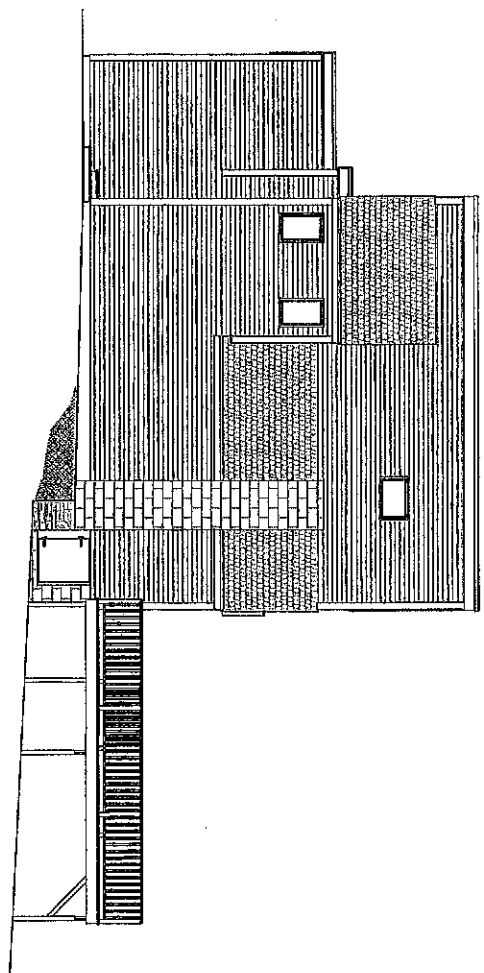


LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

24x36 ARCH D 1236 PLAN NUMBER A2 SHEET NUMBER	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825	DATE 08/30/21 09/28/21 10/04/21	DESCRIPTION DRAFT PLANS REVISED PLANS FINAL PLANS	NEWMARKET PLAINS, LLC. HOME DESIGN SERVICE NEWMARKETPLAIN6LLC@COMCAST.NET WWW.NEWMARKETPLAIN6LLC.COM 603-859-0888	MEMBER AIA BID AMERICAN INSTITUTE OF ARCHITECTS NATIONAL BOARD OF CERTIFICATION DESIGN	

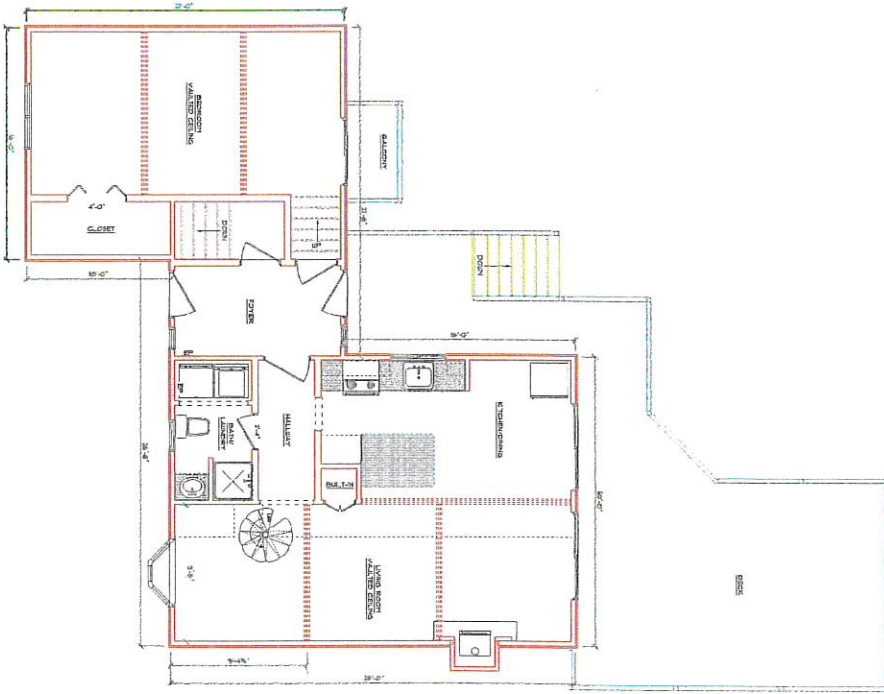


EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

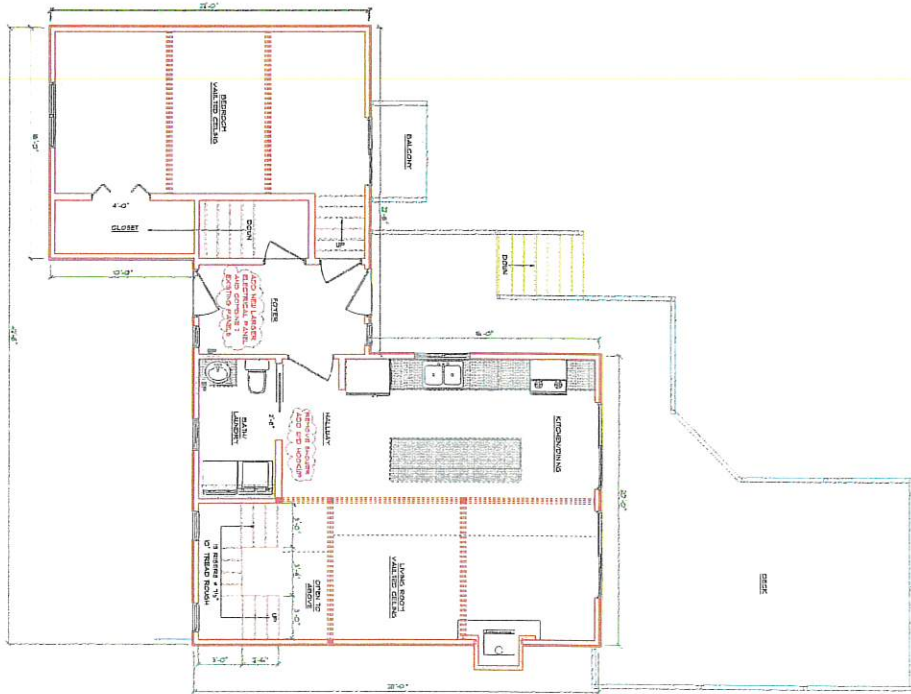


RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PLAN NUMBER 1236	SHEET NUMBER A3	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825	DATE	DESCRIPTION	NEWMARKET PLANS, LLC. HOME DESIGN SERVICE NEWMARKETPLAN@LLC.COMCAST.NET WWW.NEWMARKETPLAN@LLC.COM 603-659-0995	MEMBER AIA AMERICAN INSTITUTE OF ARCHITECTS
			08/30/21	DRAFT PLANS		
			09/28/21	REVISED PLANS		
			10/04/21	FINAL PLANS		

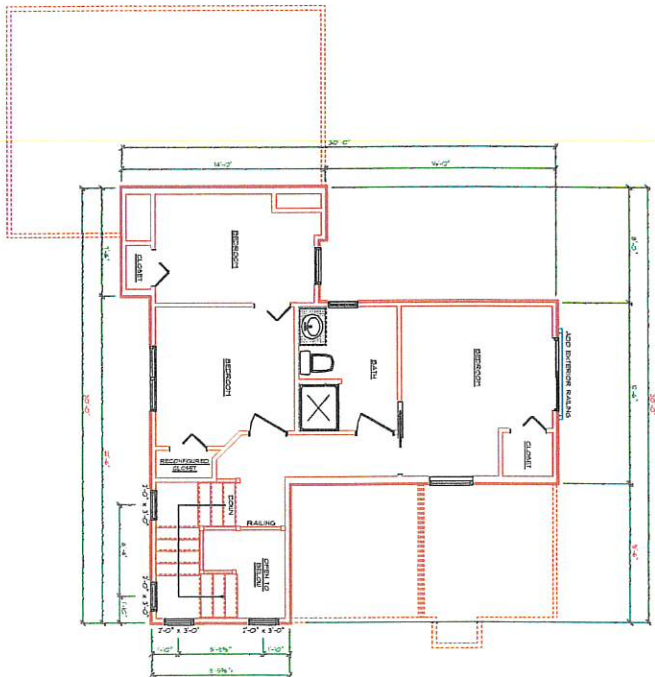
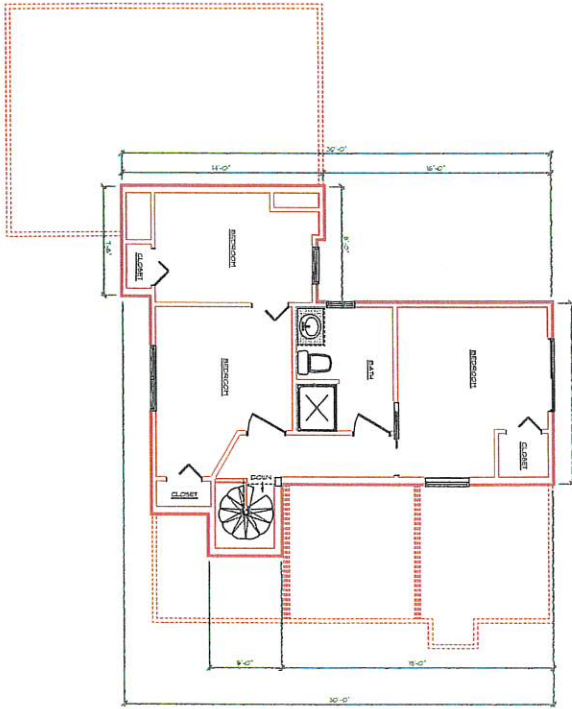


**EXISTING LEVEL ONE/
UPPER BEDROOM PLAN**
990 SQUARE FEET
SCALE: 1/4" = 1'-0"



**LEVEL ONE/
UPPER BEDROOM PLAN**
990 SQUARE FEET
SCALE: 1/4" = 1'-0"

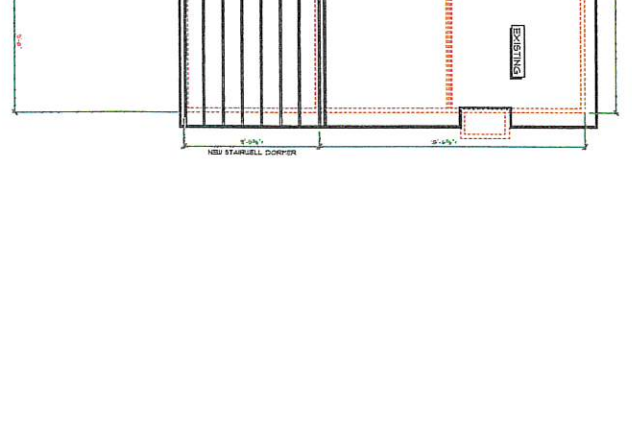
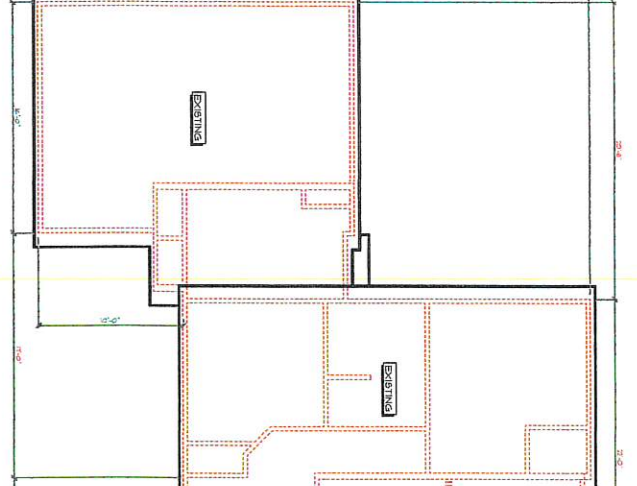
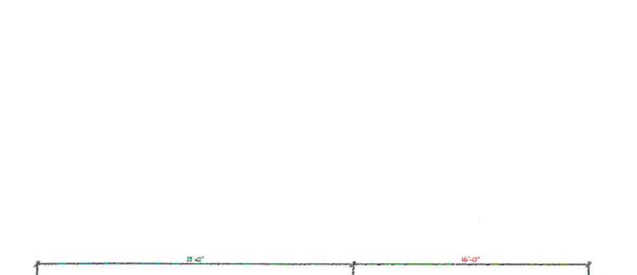
1236	A4	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825	DATE	DESCRIPTION	NEWMARKET PLAINS, LLC. HOME DESIGN SERVICE NEWMARKETPLAINSLLC@COMCAST.NET WWW.NEWMARKETPLAINSLLC.COM 603-699-0985	MEMBER AIA BD <small>AMERICAN INSTITUTE OF ARCHITECTS</small>
			08/20/21	DRAFT PLANS		
			09/28/21	REVISED PLANS		
			10/04/21	FINAL PLANS		



PLAN NUMBER 1236	SHEET NUMBER A5	MARY ELLIOTT 63 BIRCH LANE BARRINGTON, NH 03825	DATE	DESCRIPTION	NEWMARKET PLANS, LLC. HOME DESIGN SERVICE NEWMARKETPLANSLLC@COMCAST.NET WWW.NEWMARKETPLANSLLC.COM 603-658-0885	MEMBER A I B D <small>ASSOCIATION OF BUILDERS PROVIDING DESIGN</small>
			08/30/21	DRAFT PLANS		
			09/28/21	REVISED PLANS		
			10/04/21	FINAL PLANS		

ROOF AND CEILING NOTES

1. UNLESS SHOWN OTHERWISE, ALL CEILING SHALL BE 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED. ALL CEILING SHALL BE FINISHED WITH A FINISH APPROPRIATE TO THE ROOM.
2. UNLESS SHOWN OTHERWISE, ALL CEILING SHALL BE 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED.
3. UNLESS SHOWN OTHERWISE, ALL CEILING SHALL BE 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED.
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18. UNLESS SHOWN OTHERWISE, ALL CEILING SHALL BE 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED.
19. UNLESS SHOWN OTHERWISE, ALL CEILING SHALL BE 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED.
20. UNLESS SHOWN OTHERWISE, ALL CEILING SHALL BE 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED.



HURRICANE ANCHOR
NOT TO SCALE

PROTECTIVE ICE BARRIER
NOT TO SCALE

SLOPED CORNICE
NOT TO SCALE

ROOF PLAN
SCALE: 1/4" = 1'-0"

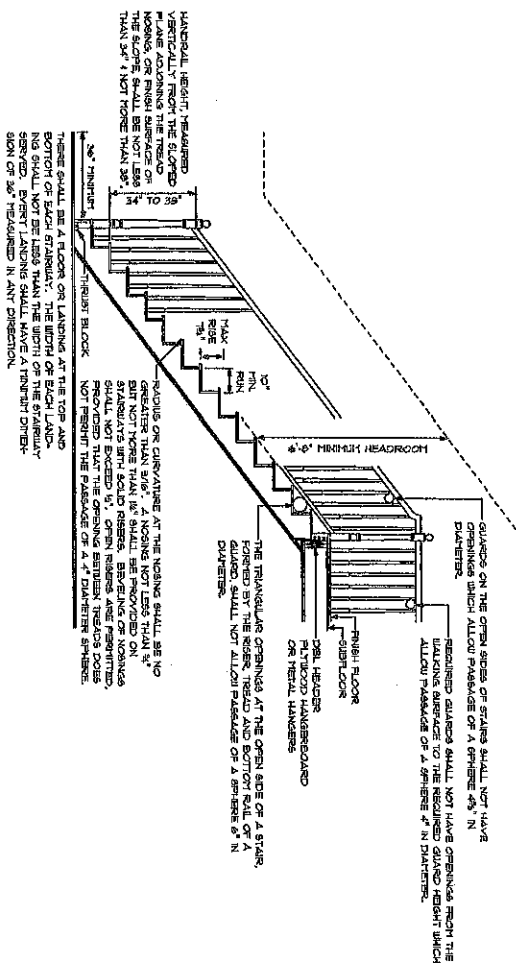
2024 ADDITION TO GARAGE AND PORCH
100% COMPLETE
DATE: 08/20/24
BY: [Signature]

DATE	DESCRIPTION
08/20/24	DRAFT PLANS
09/25/24	REVISED PLANS
10/04/24	FINAL PLANS

NEWMARKET PLAINS, LLC.
HOME DESIGN SERVICE

NEWMARKETPLAINSLLC@COMCAST.NET
WWW.NEWMARKETPLAINSLLC.COM
603-659-0385

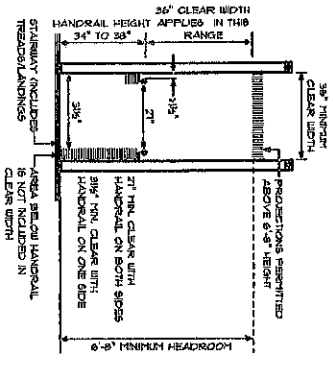
MEMBER
AI
BD
AMERICAN INSTITUTE OF BUILDING DESIGNERS



GENERIC STAIR DETAILS

SCALE: 1/2" = 1'-0"

STAIR AND BALUSTER STILES ARE DISASSEMBLY ONLY STILES AND FINISH PER BUILDING SPECIFICATIONS



STAIR CLEARANCES

SCALE: 1/2" = 1'-0"

GUARDS ON THE OPEN SIDES OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 45 IN DIAMETER.
REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE BALUSTRADING TO THE REQUIRED GUARD RAIL WHICH ALLOW PASSAGE OF A SPHERE 4 IN DIAMETER.

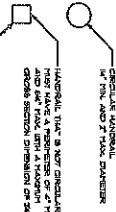
THE TRAVELLING OPENINGS AT THE OPEN SIDE OF A STAIR, ON THE STAIR DECK, SHALL NOT EXCEED 4 IN DIAMETER.
THE TRAVELLING OPENINGS AT THE OPEN SIDE OF A STAIR, ON THE STAIR DECK, SHALL NOT EXCEED 4 IN DIAMETER.

HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE TOP OF FINISH FLOOR TO THE TOP OF HANDRAIL SHALL NOT EXCEED 36 IN. HANDRAIL CLEARANCE FROM THE TOP OF FINISH FLOOR TO THE TOP OF HANDRAIL SHALL NOT EXCEED 36 IN. HANDRAIL SHALL BE A MINIMUM OF 1 1/2 IN. THICK. HANDRAIL SHALL BE FASTENED TO THE STAIR DECK OR TO THE STAIR STRINGERS AT THE TOP AND BOTTOM OF EACH LANDING. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY.
RADIUS OR CURVATURE AT THE JOINING SHALL BE NO GREATER THAN 3/16\"/>

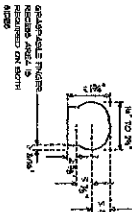
HANDRAILS

HANDRAILS SHALL BE PROVIDED ON AT LEAST ON EACH OF STAIRS CONTAINED IN OR ATTACHED TO EACH UNIT. HANDRAILS SHALL BE PROVIDED ON AT LEAST ON EACH OF STAIRS CONTAINED IN OR ATTACHED TO EACH UNIT. HANDRAILS SHALL BE PROVIDED ON AT LEAST ON EACH OF STAIRS CONTAINED IN OR ATTACHED TO EACH UNIT.

TYPE I HANDRAIL

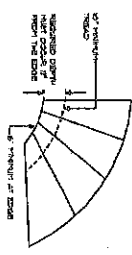
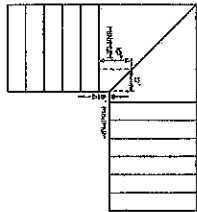


TYPE II HANDRAIL



TYPE I HANDRAILS WITH A CURVED CROSS SECTION SHALL BE PROVIDED ON STAIRS WITH A CURVED CROSS SECTION. TYPE II HANDRAILS SHALL BE PROVIDED ON STAIRS WITH A RECTANGULAR CROSS SECTION. THE CROSS SECTION OF THE HANDRAIL SHALL BE AS SHOWN IN THE DETAIL. THE HANDRAIL SHALL BE FASTENED TO THE STAIR DECK OR TO THE STAIR STRINGERS AT THE TOP AND BOTTOM OF EACH LANDING. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY.

TYPE II HANDRAILS WITH A RECTANGULAR CROSS SECTION SHALL BE PROVIDED ON STAIRS WITH A RECTANGULAR CROSS SECTION. THE CROSS SECTION OF THE HANDRAIL SHALL BE AS SHOWN IN THE DETAIL. THE HANDRAIL SHALL BE FASTENED TO THE STAIR DECK OR TO THE STAIR STRINGERS AT THE TOP AND BOTTOM OF EACH LANDING. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY.



UNDER TREADS

NOT TO SCALE

UNDER DETAILS/SPECIAL STAIRWAYS

NOT TO SCALE

UNDER TREADS

NOT TO SCALE

MEMBERS
AI
BD
ARCHITECTS

NEWMARKET PLANS, LLC.
HOME DESIGN SERVICE
NEWMARKETPLANSLLC.COM • 603.659.0388
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603-659-0388

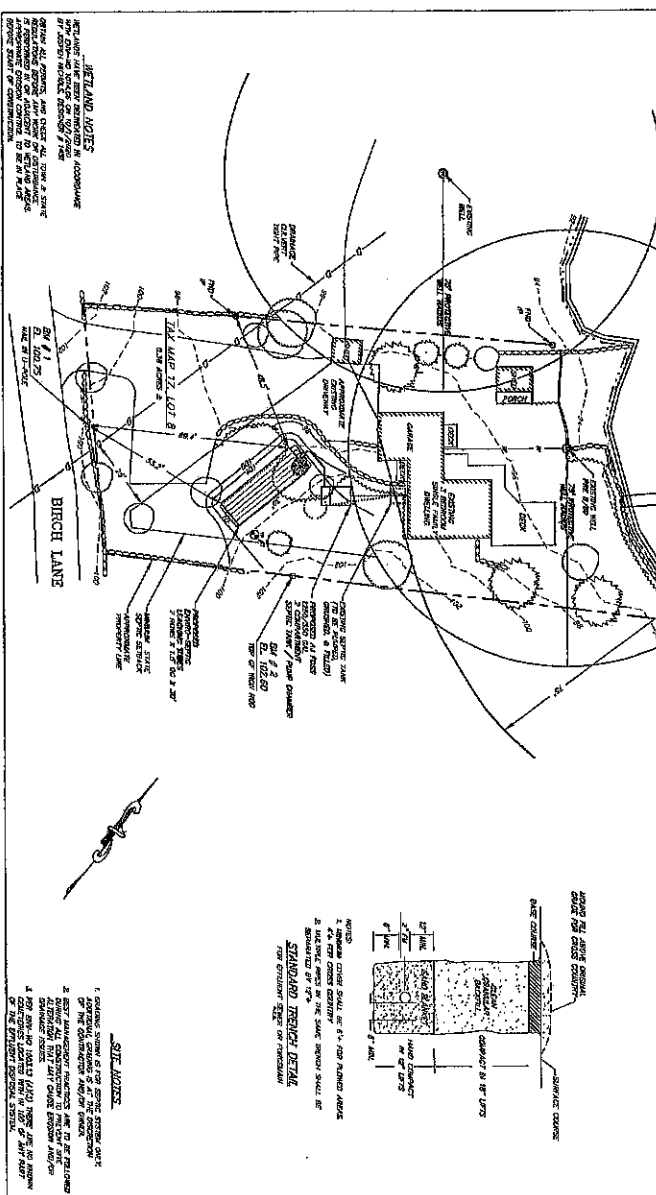
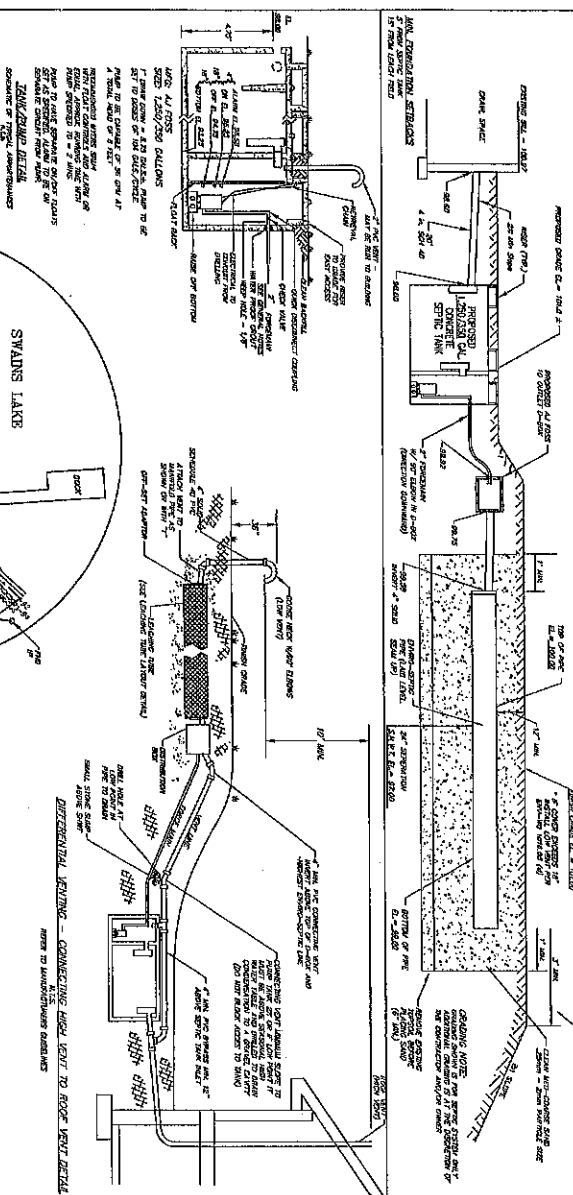
DATE	DESCRIPTION
08/20/21	DRAFT PLANS
09/22/21	REVISED PLANS
10/04/21	FINAL PLANS

MARY ELLIOTT
63 BIRCH LANE
BARRINGTON, NH 03825

SHEET NUMBER
A7

PLAN NUMBER
1236

CROSS SECTION - DISPOSAL SYSTEM



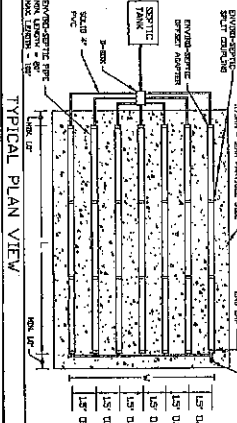
INSTALLATION NOTES

- 1. THE DISPOSAL SYSTEM IS DESIGNED TO OPERATE AT A RATE OF 100 GPD PER PERSON PER DAY.
- 2. THE DISPOSAL SYSTEM IS DESIGNED TO OPERATE AT A RATE OF 100 GPD PER PERSON PER DAY.
- 3. THE DISPOSAL SYSTEM IS DESIGNED TO OPERATE AT A RATE OF 100 GPD PER PERSON PER DAY.
- 4. THE DISPOSAL SYSTEM IS DESIGNED TO OPERATE AT A RATE OF 100 GPD PER PERSON PER DAY.

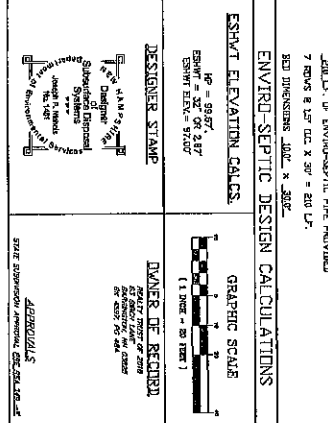
GENERAL NOTES

- 1. THE DISPOSAL SYSTEM IS DESIGNED TO OPERATE AT A RATE OF 100 GPD PER PERSON PER DAY.
- 2. THE DISPOSAL SYSTEM IS DESIGNED TO OPERATE AT A RATE OF 100 GPD PER PERSON PER DAY.
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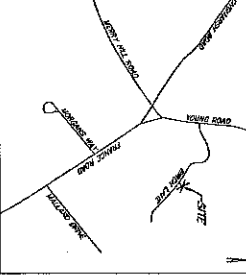
ENVIRO-SEPTIC PIPE DETAIL



TYPICAL PLAN VIEW



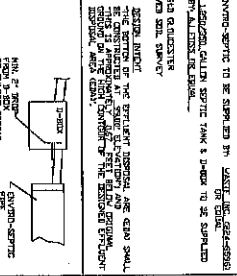
LOCUS MAP



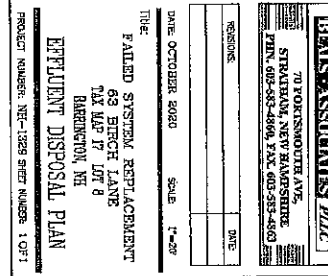
GENERAL NOTES

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ENVIRO-SEPTIC PIPE DETAIL



TYPICAL PLAN VIEW



DESIGNER'S STAMP

DESIGNER'S STAMP

DESIGNER'S STAMP

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Office Checklist for Class VI/Private Road Application

Date: 4/17/23

Address of Property: <u>63 BIRCH LANE</u>		MAP <u>117</u> LOT <u>008</u>
Document Number	Document Description	Check List
1	Application of class VI/Private roads	<input checked="" type="checkbox"/> Yes
2	Narrative	<input checked="" type="checkbox"/> Yes
3	Municipal Disclaimer of Maintenance Responsibility and Liability Release and Indemnification Agreement	<input checked="" type="checkbox"/> Yes
4	*Detailed property map	<input type="checkbox"/> Yes <u>N/A</u>
5	Tax Map from GIS in color	<input checked="" type="checkbox"/> Yes
6	Details of road improvements or waiver request—need it in writing from applicant	<input type="checkbox"/> Yes <u>N/A</u>
7	Road Maintenance Agreement (Needs to be recorded at SCRD)	<input checked="" type="checkbox"/> Yes <u>Recorded</u>
8	** Additional Information	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> <u>N/A</u>
9	Building Application	<input checked="" type="checkbox"/> Yes
10	After Items 1-9 complete; Give Checklist and full application with supporting documents to Land Use Office for Department Head review	<input checked="" type="checkbox"/> Yes <u>4/17/23 JP</u>

* Detailed Property Map (Category 3) Submit a map drawn to scale showing:

- i. The location and size of the lot and its relation to the Class VI or private road and the Class V or better road which allows access to the Class VI or private road.
- ii. The specific location of all proposed structures with setbacks.
- iii. The location and length of the driveway giving access to the structures from the Class VI or private road.

** Any other pertinent information which would allow the Select Board to make an informed decision. For example, the location and condition/capacity of any existing bridges or culverts, impacts to wetlands, road grade, etc. (Can be included in the narrative or with additional supporting documentation.)