

PLAN REFERENCES:
 1.) "PLAN OF CAMP LOTS, MYRON F. PEABODY, SWAINS POND, BARRINGTON N.H." BY: G.L. DAMS DATED: MAY, 1955 S.C.R.D. FOLDER 1, FOLDER 4, PLAN #18

SOILS:
 C&C - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
 SEE WEBSOL USDA-NRCS

NOTES:
 1.) OWNER: GEORGE & ELLEN ROSE 288 CEDAR STREET ASHLAND, MA 01721
 2.) TAX MAP 118, LOT 67
 3.) LOT AREA: 14,289 Sq.Ft. ±, 0.33 Ac. ±
 4.) S.C.R.D. BOOK 5063, PAGE 744
 5.) ZONING: GEN. RES. FRONT SETBACK: 40.0' SIDE SETBACK: 30.0' REAR SETBACK: 30.0' LAKE SETBACK: 75.0' MAX. STRUCTURE HEIGHT: 35.0' MAX. LOT COVERAGE: 40.0%
 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017002850, DATED: MAY 17, 2005.
 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
 8.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED CONDITIONS OF TAX MAP 118, LOT 67 AS OF THE DATE OF THE SURVEY: 11-17-22.

SECTION AREAS:

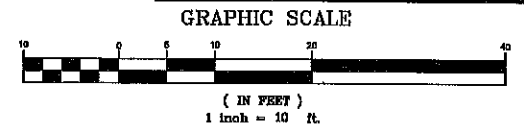
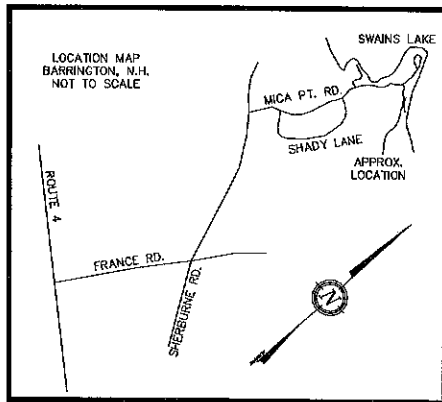
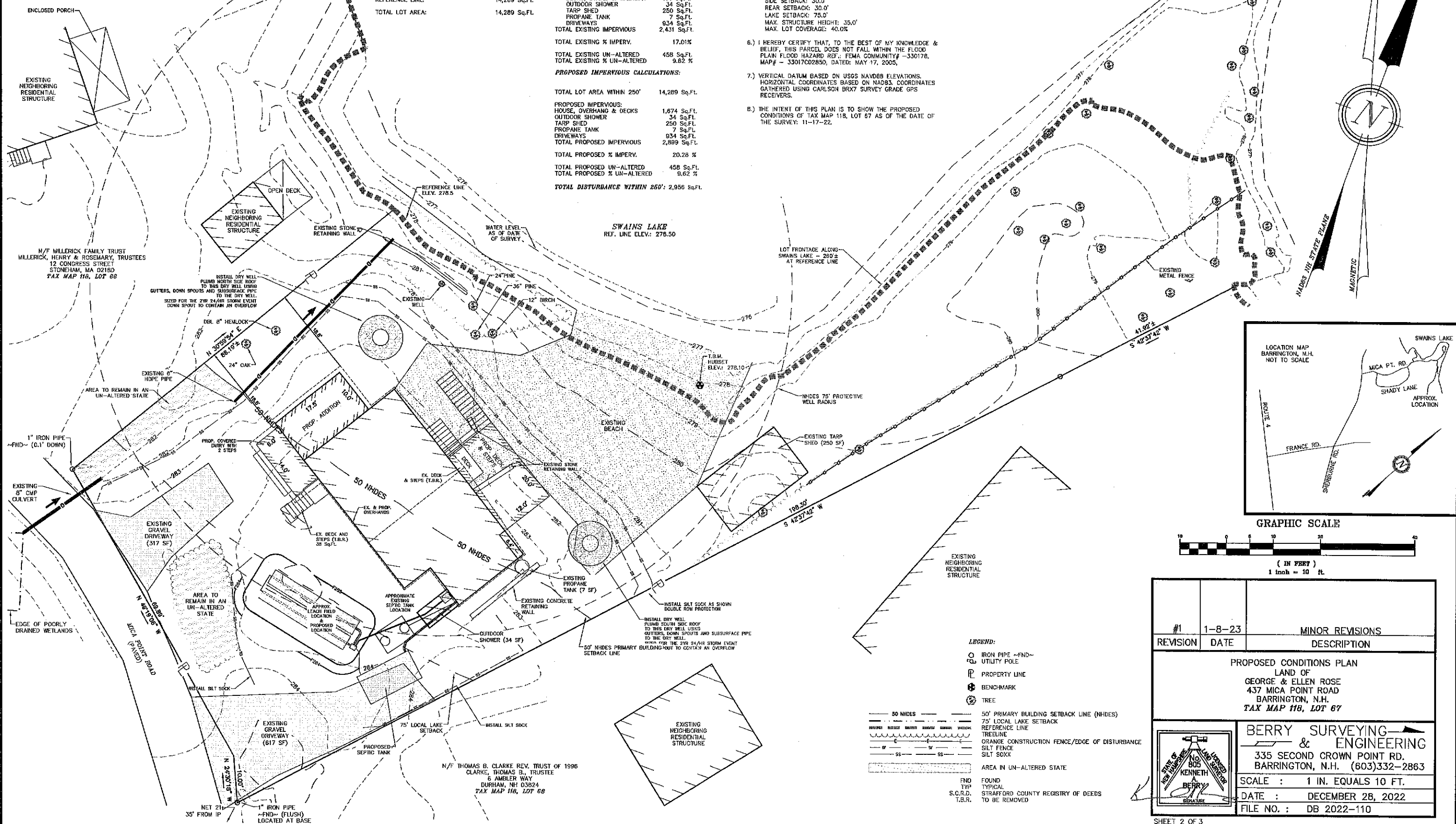
REFERENCE LINE TO 50'	9,528 Sq.Ft.
50' TO 150'	4,761 Sq.Ft.
150' TO 250'	0 Sq.Ft.
TOTAL AREA WITHIN 250' OF REFERENCE LINE:	14,289 Sq.Ft.
TOTAL LOT AREA:	14,289 Sq.Ft.

EXISTING IMPERVIOUS CALCULATIONS:

TOTAL LOT AREA WITHIN 250'	14,289 Sq.Ft.
EXISTING IMPERVIOUS:	1,092 Sq.Ft.
HOUSE & OVERHANG	114 Sq.Ft.
OUTDOOR SHOWER	34 Sq.Ft.
TARP SHED	250 Sq.Ft.
PROFANE TANK	7 Sq.Ft.
DRIVEWAYS	934 Sq.Ft.
TOTAL EXISTING IMPERVIOUS	2,431 Sq.Ft.
TOTAL EXISTING % IMPERV.	17.01%
TOTAL EXISTING UN-ALTERED	458 Sq.Ft.
TOTAL EXISTING % UN-ALTERED	9.82%

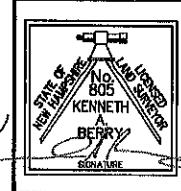
PROPOSED IMPERVIOUS CALCULATIONS:

TOTAL LOT AREA WITHIN 250'	14,289 Sq.Ft.
PROPOSED IMPERVIOUS:	1,674 Sq.Ft.
HOUSE, OVERHANG & DECKS	34 Sq.Ft.
OUTDOOR SHOWER	250 Sq.Ft.
TARP SHED	7 Sq.Ft.
PROFANE TANK	934 Sq.Ft.
DRIVEWAYS	2,899 Sq.Ft.
TOTAL PROPOSED IMPERVIOUS	20.28%
TOTAL PROPOSED % IMPERV.	458 Sq.Ft.
TOTAL PROPOSED UN-ALTERED	9.62%
TOTAL PROPOSED % UN-ALTERED	2,956 Sq.Ft.
TOTAL PROPOSED % UN-ALTERED	



REVISION	DATE	DESCRIPTION
#1	1-8-23	MINOR REVISIONS

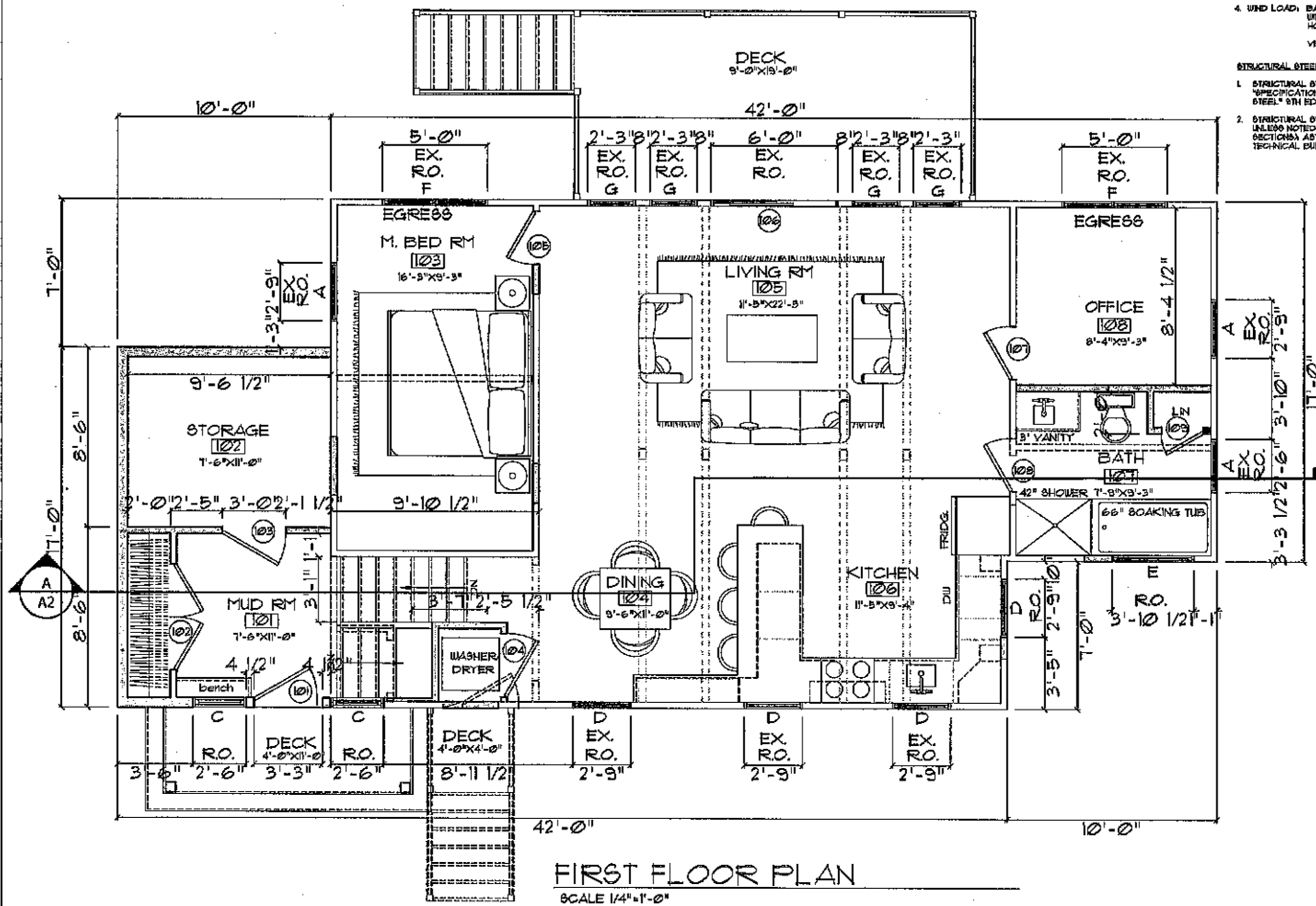
PROPOSED CONDITIONS PLAN
 LAND OF
 GEORGE & ELLEN ROSE
 437 MICA POINT ROAD
 BARRINGTON, N.H.
 TAX MAP 118, LOT 67



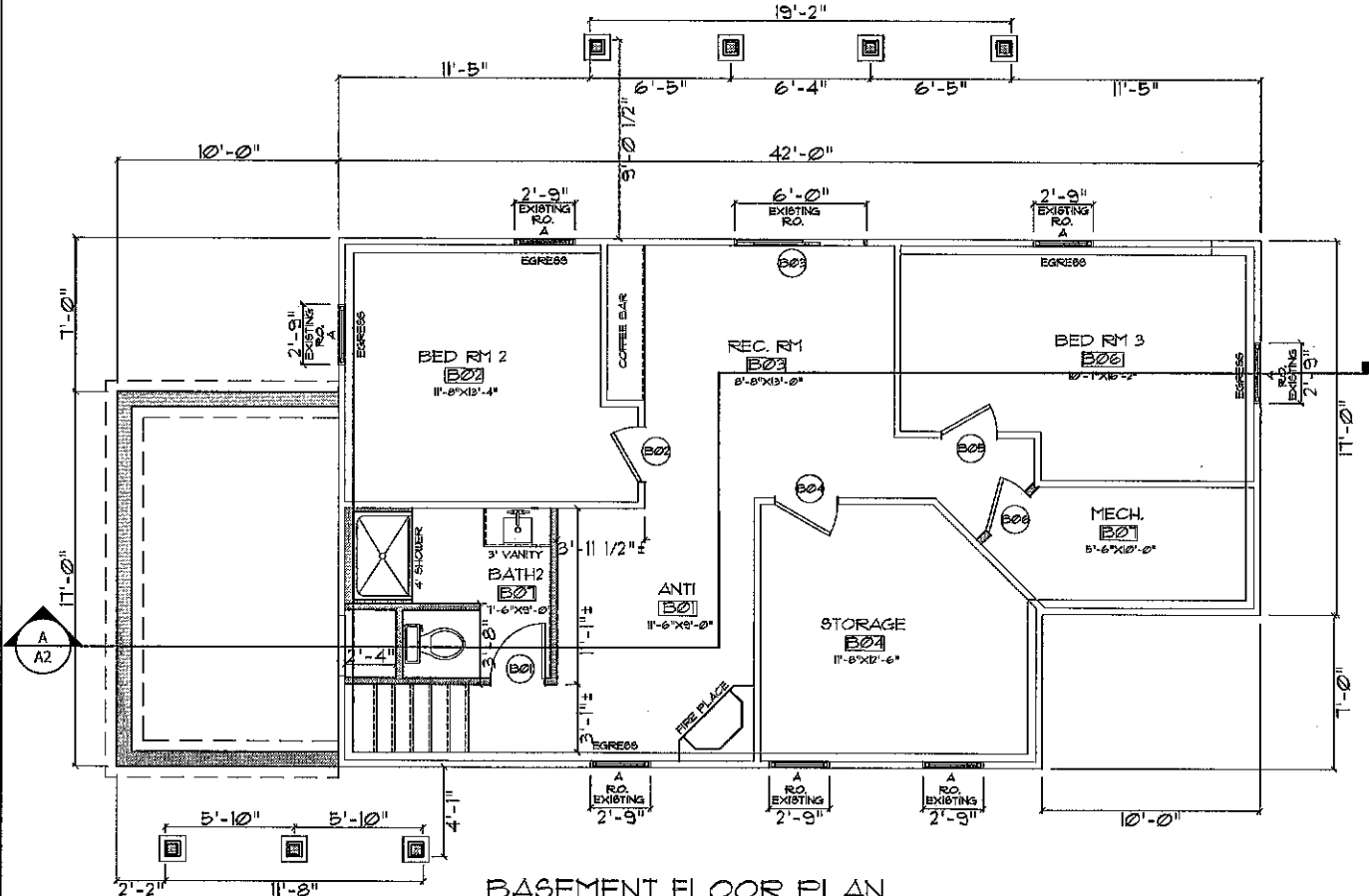
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT RD.
 BARRINGTON, N.H. (603)332-2863
 SCALE : 1 IN. EQUALS 10 FT.
 DATE : DECEMBER 28, 2022
 FILE NO. : DB 2022-110

- LEGEND:**
- IRON PIPE ~FND~ UTILITY POLE
 - PROPERTY LINE
 - BENCHMARK
 - ⊙ TREE
 - 50' NHDES
 - 75' LOCAL LAKE SETBACK
 - REFERENCE LINE
 - TREETLINE
 - ORANGE CONSTRUCTION FENCE/EDGE OF DISTURBANCE
 - SILT FENCE
 - SILT SOXX
 - AREA IN UN-ALTERED STATE
 - FND FOUND
 - TYP TYPICAL
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
 - T.B.R. TO BE REMOVED

N/F THOMAS B. CLARKE REV. TRUST OF 1996
 CLARKE, THOMAS B., TRUSTEE
 5 AMBLER WAY
 DURHAM, NH 03824
 TAX MAP 118, LOT 68



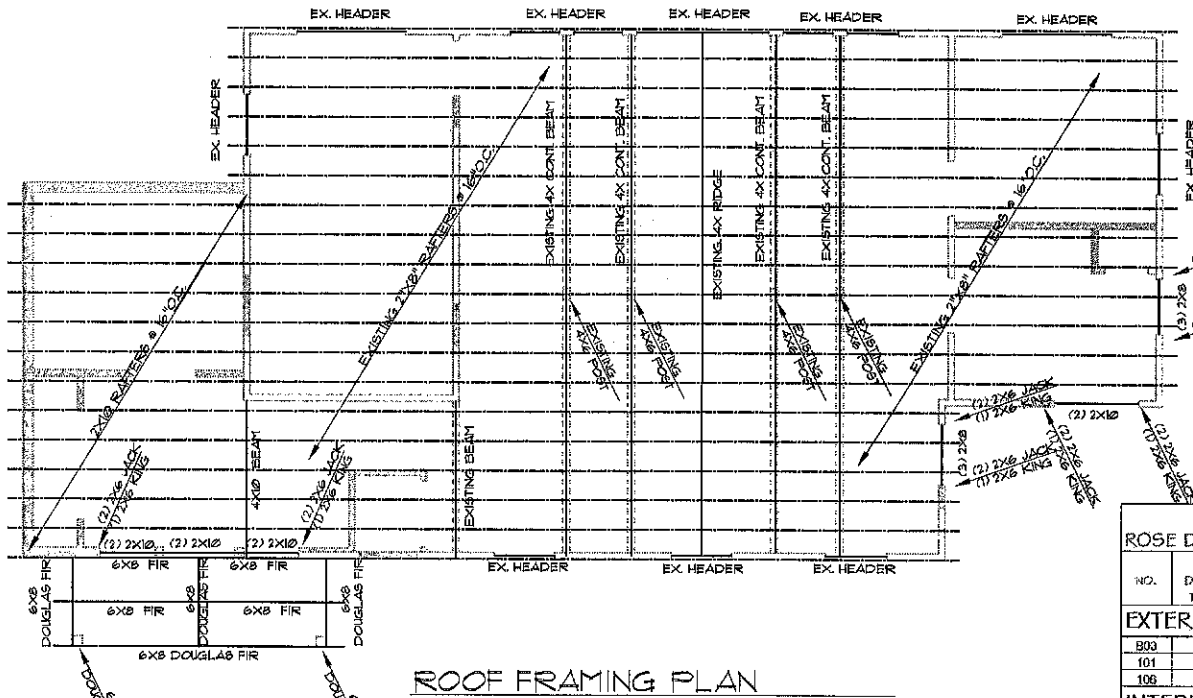
FIRST FLOOR PLAN
SCALE 1/4"=1'-0"



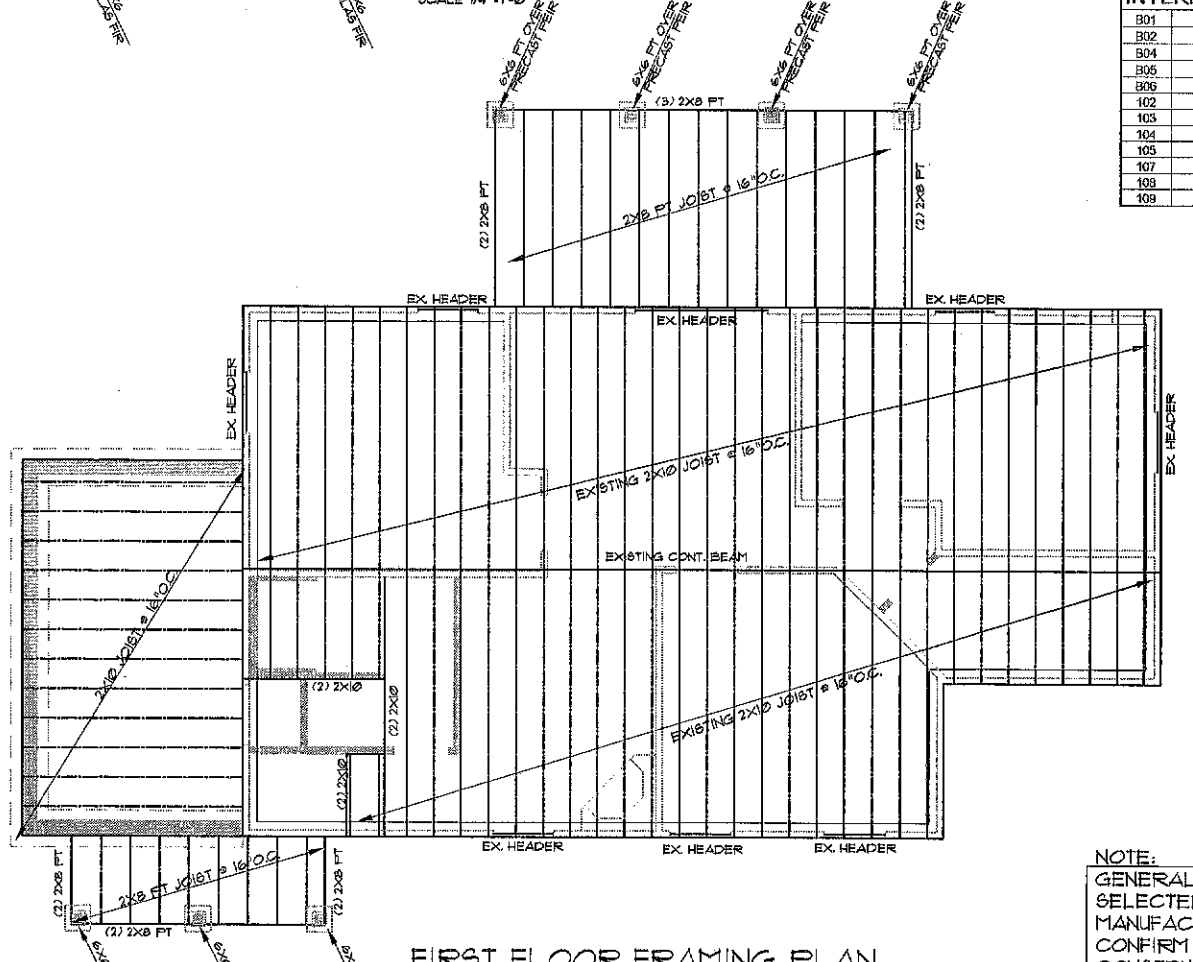
BASEMENT FLOOR PLAN
SCALE 1/4"=1'-0"

- FINISHING DATA**
- BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION (NO 2018), IBC 909 AND ABOVE 1-20 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
 - FLOOR LIVE LOAD: 40 PSF
 - WIND LOAD: GROUND (SNOW) LOAD (PSF) 60 PSF
SNOW LOAD THERMAL FACTOR (CT) 15
EXPOSURE FACTOR (CE) 1.0
ROOF SNOW LOAD (PSF) 60 PSF
 - WIND LOAD: BASIC WIND SPEED 140 MPH
WIND EXPOSURE: C
HORIZONTAL WIND PRESSURE: 22 PSF AVE WALLS
VERTICAL WIND PRESSURE: 18 PSF AVE ROOF
-21 PSF AVE MAIN ROOF
-34 PSF AVE OVERHANGS
- WOOD FINISHING NOTES**
1. 5/8" DIA. # 202 LUMBER NO 3 GRADE OR BETTER 2x4 2x4 LUMBER 6/12 GRADE OR BETTER. SPOKE-TO-TOOTH JOINTS (STJ) OR SPOKE-TO-FLUTE JOINTS (STF) KILN DRIED TO 15 PERCENT MAXIMUM MOISTURE CONTENT.
 2. STRUCTURAL COMPOSITE LUMBER (CL) AND PLY SHALL BE AS NOTED ON THE DRAWINGS AND MANUFACTURED BY APPROVED MANUFACTURERS. ALL CONNECTION HARDWARE SHALL BE GALVANNEAL OR HOT DIPPED GALVANIZED UNLESS NOTED OTHERWISE. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.
- WOOD FINISHING NOTES (CONT.)**
1. 5/8" DIA. # 202 LUMBER NO 3 GRADE OR BETTER 2x4 2x4 LUMBER 6/12 GRADE OR BETTER. SPOKE-TO-TOOTH JOINTS (STJ) OR SPOKE-TO-FLUTE JOINTS (STF) KILN DRIED TO 15 PERCENT MAXIMUM MOISTURE CONTENT.
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3. OAB, 4 PLYWOOD SHALL BE APA PERFORMANCE RATED PLYWOOD 4 OAB SHALL BE NAILED TO ALL FRAMING AND BLOCKING AS FOLLOWS: 60 (2x4) FINALLY NAILS AT 4" O.C. AT PANEL EDGES AND 8" O.C. WITHIN PANELS. SEE SECTION FOR OTHER NAILING REQUIREMENTS.
 4. ALL STRUCTURAL STEEL SHALL BE PRIMED AFTER FABRICATION.
 5. PROVIDE HLT HAS-E OR HD GALV ASK TREATED ROD ANCHORS WITH HLT 1/2" DIA OR HLT'S ADHESIVE EPOXY AS NOTED ON DRAWINGS AS A SYSTEM INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 6. GUEST SHOP DRAWINGS FOR REVIEW.
- WOOD FINISHING NOTES (CONT.)**
1. 5/8" DIA. # 202 LUMBER NO 3 GRADE OR BETTER 2x4 2x4 LUMBER 6/12 GRADE OR BETTER. SPOKE-TO-TOOTH JOINTS (STJ) OR SPOKE-TO-FLUTE JOINTS (STF) KILN DRIED TO 15 PERCENT MAXIMUM MOISTURE CONTENT.
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ROOF FRAMING PLAN
SCALE 1/4"=1'-0"



FIRST FLOOR FRAMING PLAN
SCALE 1/4"=1'-0"

ROSE DOOR SCHEDULE 07.20.22

NO.	DOOR TYPE	DOOR SIZE	REMARKS
B03	B	8'-0" X 6'-10 1/2"	Slider
B01	A	3'-2 1/2" X 6'-10 1/2"	3/4 Lite Glass Door
B08	B	8'-0" X 6'-10 1/2"	Slider

INTERIOR (SLAB SIZES)

B01	C	2'-8" X 8'-5"
B02	C	2'-8" X 8'-5"
B04	C	2'-10" X 8'-5"
B05	C	2'-8" X 8'-5"
B06	C	2'-8" X 8'-5"
B07	C	2'-8" X 8'-5"
B08	C	2'-8" X 8'-5"
B09	C	2'-8" X 8'-5"
B10	C	1'-8" X 8'-0"

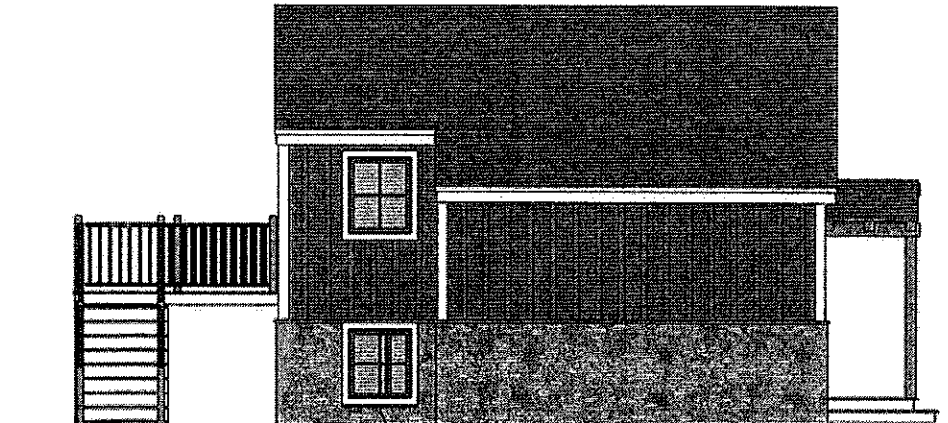
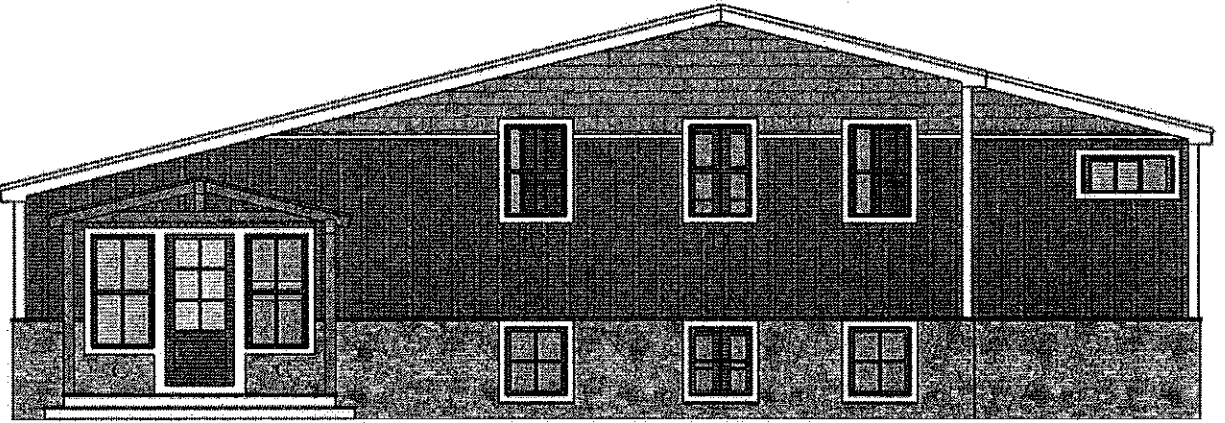
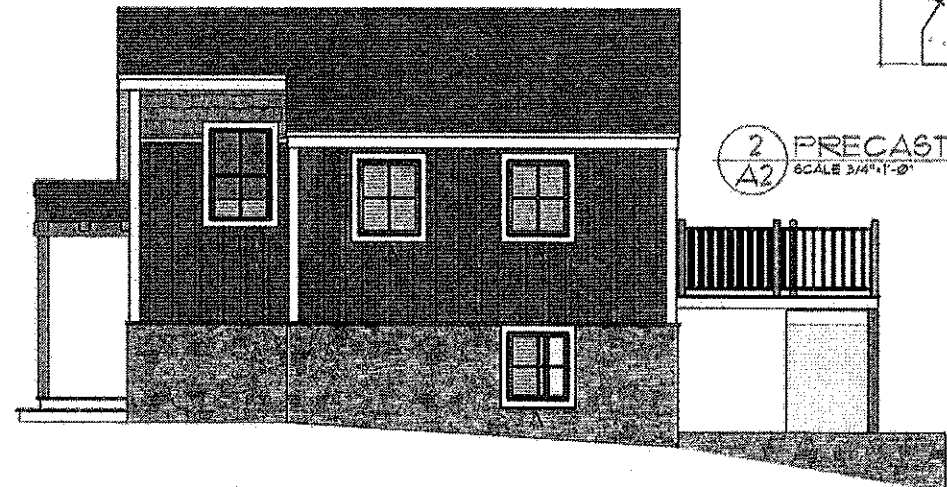
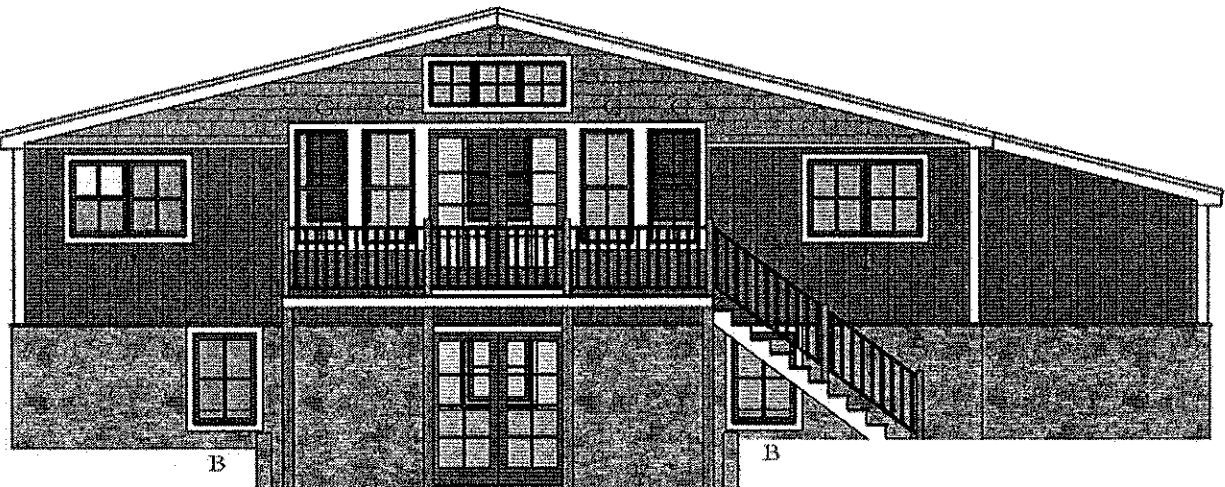
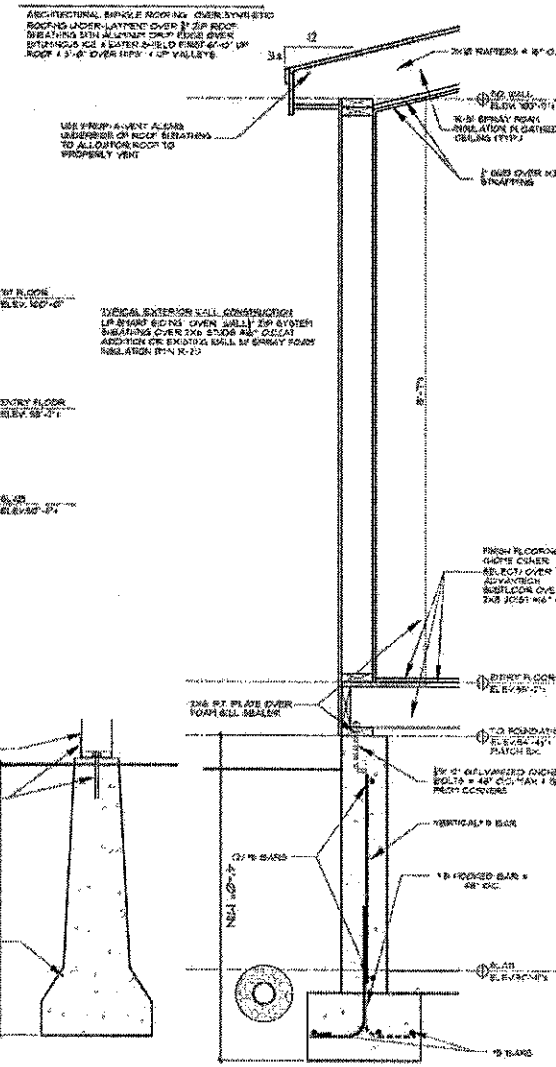
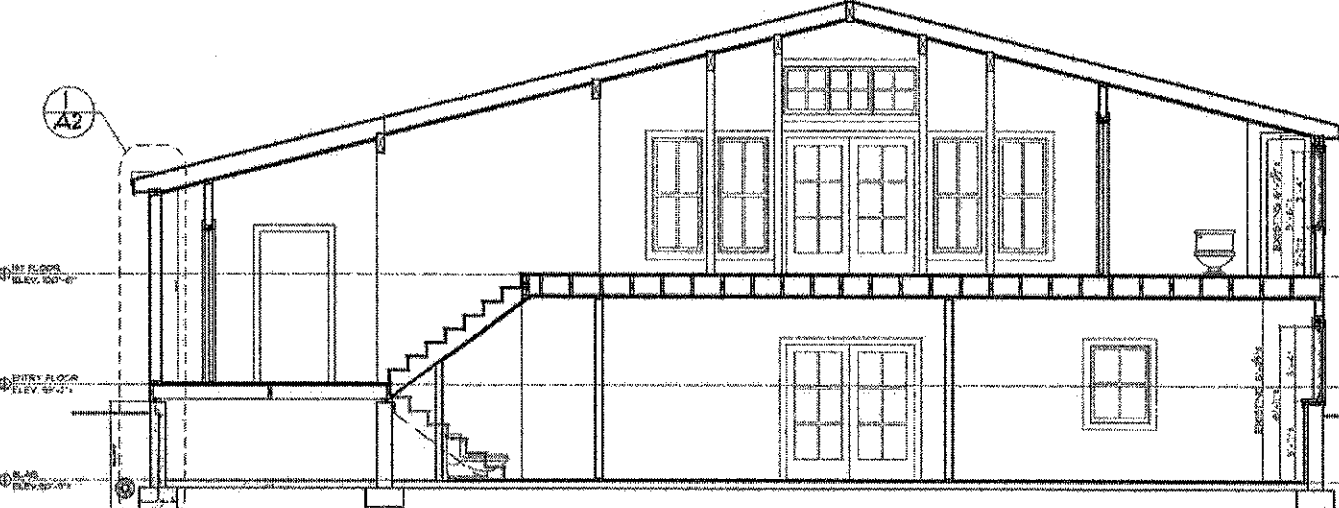
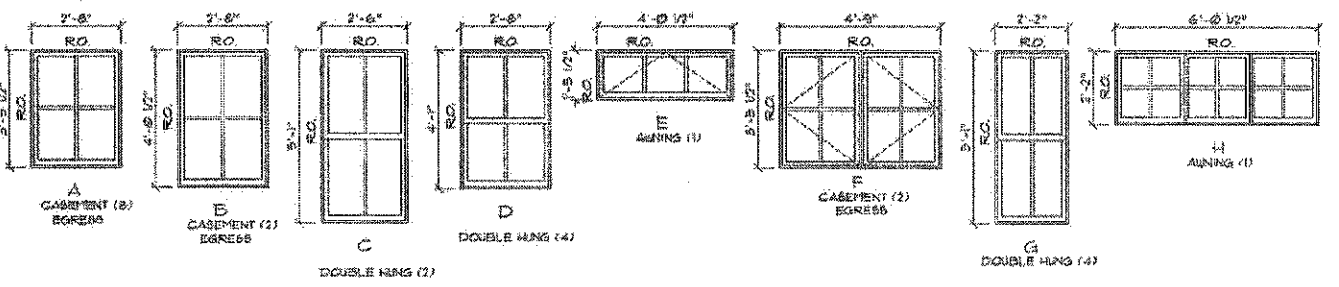
NOTE:
GENERAL CONTRACTOR TO REFER TO SELECTED WINDOW & DOOR MANUFACTURER'S SPECIFICATIONS TO CONFIRM ROUGH OPENINGS PRIOR TO CONSTRUCTION.

1. IF AS THE CONTRACTOR RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND TO BE RESPONSIBLE TO THE ATTENTION OF THE ENGINEER PRIOR TO SETTING FORMS.
2. FRESH CONCRETE CURING CAPACITY = 3000 PSI.
3. BOTTOM OF EXTERIOR FOOTINGS ON SLOPE MUST BE AT LEAST 3 FEET BELOW FINISHED EXTERIOR GRADE FOR PROTECTION AGAINST FLOODING.
4. RETAIN WALLS SHALL BE DESIGNED TO RESIST ALL EXISTING AND FUTURE WATER OR OTHER PRESSURE.
5. EXISTING STRUCTURE: ALL SHALL BE REINFORCED TO MATCH FOR ALL ON GRADE STRUCTURAL FILL SHALL BE A CLEAN SAND-GRAVEL MIXTURE MEETING THE FOLLOWING GRADATION:
- | PERCENT PASSING | PERCENT RETAINED |
|-----------------|------------------|
| 100 | 0-100 |
| NO. 10 | 0-10 |
| NO. 20 | 0-10 |
| NO. 40 | 0-10 |
| NO. 60 | 0-10 |
| NO. 100 | 0-10 |
6. STRUCTURAL FILL SHALL BE PLACED IN LIFTED LAYERS NOT EXCEEDING 8 INCHES IN THICKNESS AND SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D-1557 (MODIFIED PROCTOR TEST).
7. DO NOT BACKFILL FOUNDATION WALLS UNLESS WALLS ARE ADEQUATELY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
8. PROVIDE FOUNDATION DRAINAGE SYSTEM WITH GRAVITY FLOW TO PROPERLY DESIGNED AND APPROVED OUTLET. REFER TO ARCHITECTURAL AND SITE DRAWINGS FOR ADDITIONAL INFORMATION.
9. SLOPE EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFETY & ACCORDANCE WITH LOCAL REQUIREMENTS PROVIDE SHEETING OR SHIELDING IN ACCORDANCE WITH OSHA REGULATIONS.

10. CONCRETE WORK SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 - LATEST) AND REVISIONS THEREOF THROUGH THE AMERICAN CONCRETE INSTITUTE (ACI 308-1000).
11. CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ACI 318-LATEST.
12. CONCRETE FOR DECKING, FORMWORK, FILING, AND FOUNDATION SHALL:
- A. STRENGTH: 3000 PSI 425 DAYS
 - B. AGGREGATE: 3/4"
 - C. SAND: 2800 MAX
 - D. ENTRAINED AIR: 1% TO 7%
 - E. SLUMP: 4" MAX
- EXTERIOR SLABS ON GRADE:
- A. STRENGTH: 3000 PSI 425 DAYS
 - B. AGGREGATE: 3/4"
 - C. SAND: 2800 MAX
 - D. ENTRAINED AIR: 1% TO 7%
 - E. SLUMP: 4" MAX
- INTERIOR SLABS ON GRADE:
- A. STRENGTH: 3000 PSI 425 DAYS
 - B. AGGREGATE: 3/4"
 - C. SAND: 2800 MAX
 - D. ENTRAINED AIR: 1% TO 7%
 - E. SLUMP: 4" MAX

REBAR LAP SPLICE

BAR SIZE	LAP LENGTH
#4	32"
#5	36"



BROTHERS DESIGN BUILD
BY CAPTAIN BOBS LANE
BARRINGTON NH
603.255.5432

213 ROSE RESIDENCE
487 MICA POINT RD
BARRINGTON NH

FOUNDATION NOTES
BUILDING SECTION & WALL DETAILS
ELEVATIONS & WINDOW SCHEDULE

DATE: 07-15-22
SCALE: 1/4" = 1'-0"

A2