

Town of Barrington
 PO Box 660/333 Calef Hwy
 Barrington, NH 03825
www.barrington.nh.gov
 (603) 664-5183

APPLICATION FOR CLASS VI/PRIVATE ROAD BUILDING PERMIT

OWNER INFORMATION

Please include a separate e-mail address for each owner to avoid processing delays.

Name: Derek Melissa Ceppetelli	Address: 100 Small Rd
Phone: 603-969-5925	E-Mail: MBDCEPP@MetroCast.net
Name: Melissa Ceppetelli	Address: 100 Small Rd
Phone: 603 817 0395	E-Mail: MBDCEPP@MetroCast.net

PROPERTY & ASSOCIATION DETAILS

Address/Road: 100 Small Rd	Map/Lot/Sublot: 106 4
Ownership Deed: Book: 4564 Page: 900	Road Classification: <input type="checkbox"/> Class VI Rd or <input checked="" type="checkbox"/> Private Rd
Is There a Road Association: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Are You a Member? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Road Association & Contact: Sharin Sansoucie	
Association Email: Mrs Soup2000@outlook.com	Association Phone: 603 234-9343

PROJECT NARRATIVE

Describe additional details of the building project.

We are building a garage 22x22,

Copy of Building Permit Application Attached - Required

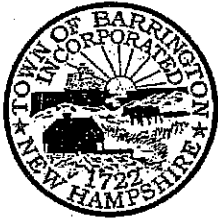
PERMIT CATEGORY

Review the Class VI/Private Road Building Policy at www.barrington.nh.gov/classviprivateroadbuildingpolicy to apply the correct requirements to your project. Use the checkboxes to indicate completed/attached information.

<input type="checkbox"/> Category 1 <input type="checkbox"/> Class VI & Private Road Building Policy Application <ul style="list-style-type: none"> Municipal Disclaimer of Maintenance and Liability <ul style="list-style-type: none"> Generated by Town staff upon receipt of completed application Recording required by applicant after approval and prior to issuance of permit 	<input checked="" type="checkbox"/> Category 2 Category 1 requirements and: <ul style="list-style-type: none"> Planning Board Review and Comment Select Board Decision - Consent Agenda 	<input type="checkbox"/> Category 3 Category 1 requirements and: <ul style="list-style-type: none"> Detailed Property Map Road Improvements <ul style="list-style-type: none"> Option 1 or Option 2 Road Maintenance Agreement <ul style="list-style-type: none"> Permit and Bond for Improvements (if applicable per Select Board decision) Department Head Recommendations Planning Board Review and Comment Select Board Public Hearing and Decision Application Fee (if approved, plus building permit fee)
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Waiver Requested (see policy requirements, include waiver narrative on a separate sheet)

Applicant Signature: *D.J. Ceppo* Date: 5/4/23



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 Barrington, NH 03825
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 (603) 664-5183

APPLICATION FOR CLASS VI/PRIVATE ROAD BUILDING PERMIT

FOR ADMINISTRATIVE USE ONLY

Received Date: <u>5/10/23</u>	Staff Initials: <u>ZP</u>
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APPLICATION REVIEW	
<input checked="" type="checkbox"/> Correct Category	<input type="checkbox"/> Map Meets Requirements
<input checked="" type="checkbox"/> Road Improvement Details	<input type="checkbox"/> Missing Information -- Applicant Notified

ANTICIPATED TIMELINE	
DATE	<i>If not applicable, please use N/A</i>
<u>N/A</u>	Application Reviewed and Sent to Department Heads <i>(as soon as possible upon receipt)</i>
<u>N/A</u>	Department Head Recommendations Due <i>(minimum 1 week following email to Department Heads)</i>
<u>5/16/23</u>	Planning Board Review <i>(Department Head recommendations, if applicable, must be provided to Planning Department no less than 1 week prior to next meeting. Schedule for next meeting following 1 full week.)</i>
	Select Board Public Hearing or Consent Agenda <i>(minimum 1 week following Planning Board memo receipt)</i>

COMPLETION DATES	
DATE	<i>If not applicable, please use N/A</i>
	Abutter's List Created <i>(upon receipt)</i>
	Police Recommendations Received
	Fire Recommendations Received
	Road Agent Recommendations Received
	Share Department Heads Feedback with Property Owner
	Planning Board Recommendations Received
	Public Hearing Notice for Select Board Meeting Sent to Abutters <i>(minimum 1 week prior to meeting)</i>
	Waiver Signed by Select Board Chair or Designee
	Recorded Waiver Book: _____ Page: _____
	Recorded Road Maintenance Agreement Book: _____ Page: _____
	Permit Issued
	Department Head Sign-Off on Road Improvements
	Building Inspector Verification Conditions of Approval are Met
	Certificate of Occupancy Issued

ATTACHMENTS	
<i>Provide a copy of the following to the applicant for their review.</i>	
<ul style="list-style-type: none"> • Sample Agreement and Release Regarding Building Permit for Property Abutting a Private/Class VI Road • Class VI/Private Road Policy - updated 2/14/2022 	

TOWN OF BARRINGTON, NEW HAMPSHIRE
Agreement and Release Regarding
Building Permit for Property Abutting a Private/Class VI Road

NOW COME Derek & Melissa Ceppetelli
(Hereinafter referred to jointly or severally as "owner") with a residential address of 100 Small Road, Barrington, NH 03825, and
The Town of Barrington, New Hampshire (hereinafter referred to as "town"), a
municipal corporation existing under the laws of the State of New Hampshire with an
address of 4 Signature Drive, and agree as follows:

WHEREAS, owner owns certain real property (Tax Map 106, Lot 4 Plot) which abuts
Small Road Road, conveyed to said owner by a Deed recorded at
Book 4564, Page 900 at the Strafford County Registry of Deeds: and

WHEREAS, the relevant portion of said Small Road Road upon which owner's
real property fronts is a private/Class VI road that has not been approved by the Barrington
Planning Board, so that the owner's property is therefore subject to the building restrictions
imposed under RSA 674:41;

NOW THEREFORE, the town and owner on behalf of themselves, their heirs, legal
representatives, successors and assigns, covenant and agree as follows:

1. The town shall allow owner a building permit to construct a single family residence on the property identified above subject to the terms and conditions of a building permit to be issued by the town and the Policy of the Board of Selectmen Regarding Construction on Class VI and Private Roads as amended on July 20, 2015.
2. The parties understand and agree that town assumes no responsibility for maintenance, including but not limited to snowplowing, of said Small Road Road, and no liability for any damages arising from the use of said road.
3. Owner agrees to be responsible for maintaining access to the subject property and does hereby forever release and discharge the town, its officers, agents and employees: (1) from the obligation of maintaining said Small Road Road; and (2) from any loss, damage, claim or expense of any kind or nature whatsoever arising directly or indirectly from the condition of said road, including but not limited to any loss damage, claim or expense arising from failure to provide any municipal services such as police, fire and ambulance services.
4. Owner hereby assumes responsibility for transporting any children who may now or in the future reside on the property to the nearest regular school bus stop.
5. The parties understand and agree that this Agreement and Release shall be recorded at the Strafford County Registry of Deeds before the building permit is issued, as required under RSA 674:41, I (c)(3).
6. The owner(s) agree to stipulate and pass this Agreement at any transfer of this property.

Witness Print Name
(not needed if e-signed)

Owner Print Name

Witness Sign/Date
(not needed if e-signed)

Owner Signature/Date

Witness Print Name
(not needed if e-signed)

Owner Print Name

Witness Sign/Date
(not needed if e-signed)

Owner Signature/Date

TOWN OF Barrington

Witness Print Name
(not needed if e-signed)

By: _____
Select person, Chair or Vice Chair

Witness Sign/Date
(not needed if e-signed)

Select person Signature/Date

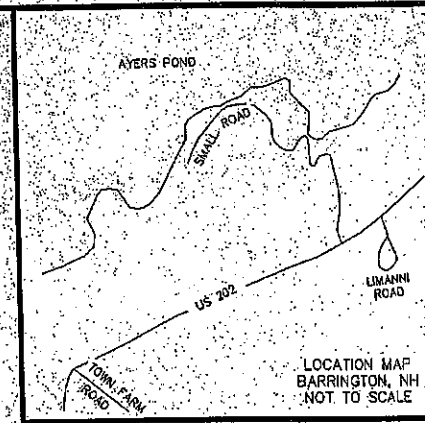
PLAN REFERENCES:

- 1.) SUBDIVISION OF CAMP LOTS, AYERS POND-BARRINGTON, NH F.E. SMALL, ROCHESTER, NH BY: J. W. JONES & CO. ENGINEERS DATED: SEPTEMBER 15, 1922 S.C.R.D.: POCKET 4 FOLDER 1 PLAN #1

EXISTING IMPERVIOUS CALCULATIONS:

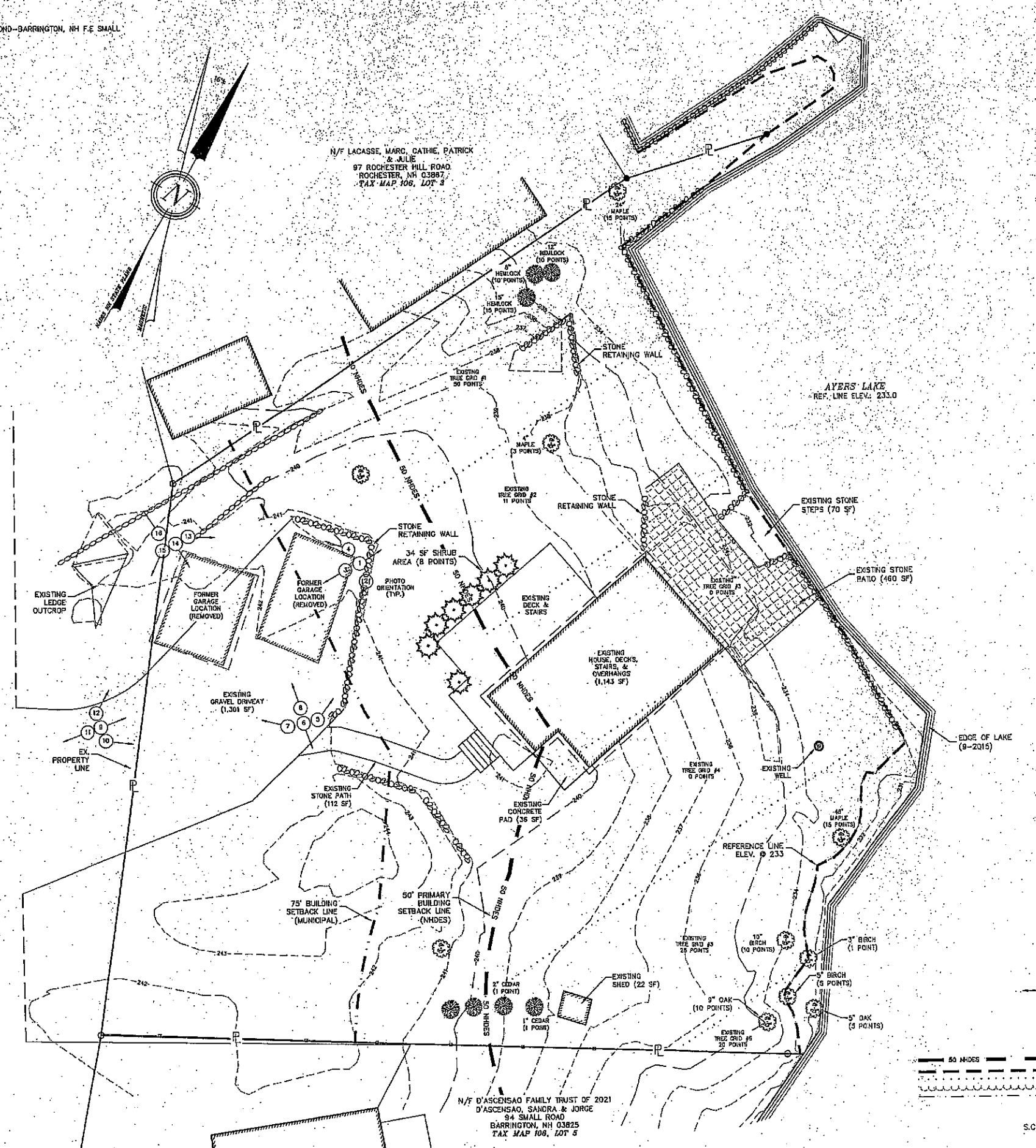
TOTAL LOT AREA WITHIN 250'	13,290 Sq.Ft.
TOTAL EXISTING IMPERVIOUS	3,144 Sq.Ft.
TOTAL EXISTING % IMPERV.	23.66%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL EXISTING UN-ALTERED	0 Sq.Ft.
TOTAL EXISTING % UN-ALTERED	0%

SOILS:
H10 - HOLLIS-GLOUCESTER, EXTREMELY ROCKY FINE SANDY LOAMS, 8 TO 25% SLOPES
SEE WEBSOIL.USDA-NRCS

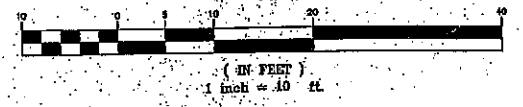


- NOTES:**
- 1.) OWNER: DEREK & MELISSA CEPPELELLI 100 SMALL ROAD BARRINGTON, NH 03825
 - 2.) TAX MAP 106, LOT 4.
 - 3.) LOT AREA: 13,290 Sq.Ft. ±, 0.31 Ac. ±
 - 4.) S.C.R.D., BOOK 2564, PAGE 900
 - 5.) ZONING: GEN. RES. FRONT SETBACK: 40.0' SIDE SETBACK: 30.0' REAR SETBACK: 30.0' LAKE SETBACK (BUILDING): 75'
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330222, MAP# - 33017C0105D, DATED: MAY 17, 2005.
 - 7.) VERTICAL DATUM BASED ON USGS NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 106, LOT 4 AS OF THE DATE OF THE SURVEY: 12-15-22.

THIS IS NOT A BOUNDARY SURVEY.



RECEIVED
APR 25 2023
LAND USE OFFICE



LEGEND:

- IRON PIPE ~FND~ UTILITY POLE
- ⊙ PHOTO POINT
- ⊕ PROPERTY LINE
- ⊕ BENCHMARK
- TREE
- 50' HEDGES
- 50' PRIMARY BUILDING SETBACK LINE (NHDES)
- REFERENCE LINE
- TREE GRID
- TREELINE
- BUILDING SETBACK LINE
- FND FOUND
- TYP TYPICAL
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

REVISION	DATE	DESCRIPTION
		EXISTING CONDITIONS FROM LAND OF DEREK & MELISSA CEPPELELLI 100 SMALL ROAD BARRINGTON, N.H. TAX MAP 106, LOT 4
		BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863
		SCALE: 1 IN. EQUALS 10 FT.
		DATE: DECEMBER 30, 2022
		FILE NO.: DB 2022-104

PLAN REFERENCES:

- 1) "SUBDIVISION OF CAMP LOTS, AYERS POND-BARRINGTON, NH F.E. SMALL ROCHESTER, NH"
- BY: I.W. JONES & CO. ENGINEERS
- DATED: SEPTEMBER 15, 1922
- S.C.R.D.: POCKET 4 FOLDER 1 PLAN #1

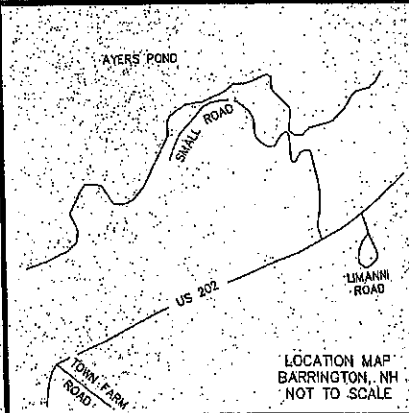
SOILS:
 H1D - HOLLIS-GLOUCESTER, EXTREMELY ROCKY FINE SANDY LOAMS, 8 TO 25% SLOPES
 SEE WEBSOL. USDA-NRCS

EXISTING IMPERVIOUS CALCULATIONS:

TOTAL LOT AREA WITHIN 250'	13,290 Sq.Ft.
TOTAL EXISTING IMPERVIOUS	3,144 Sq.Ft.
TOTAL EXISTING % IMPERV.	23.69%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL EXISTING UN-ALTERED	0 Sq.Ft.
TOTAL EXISTING % UN-ALTERED	0%

PROPOSED IMPERVIOUS CALCULATIONS:

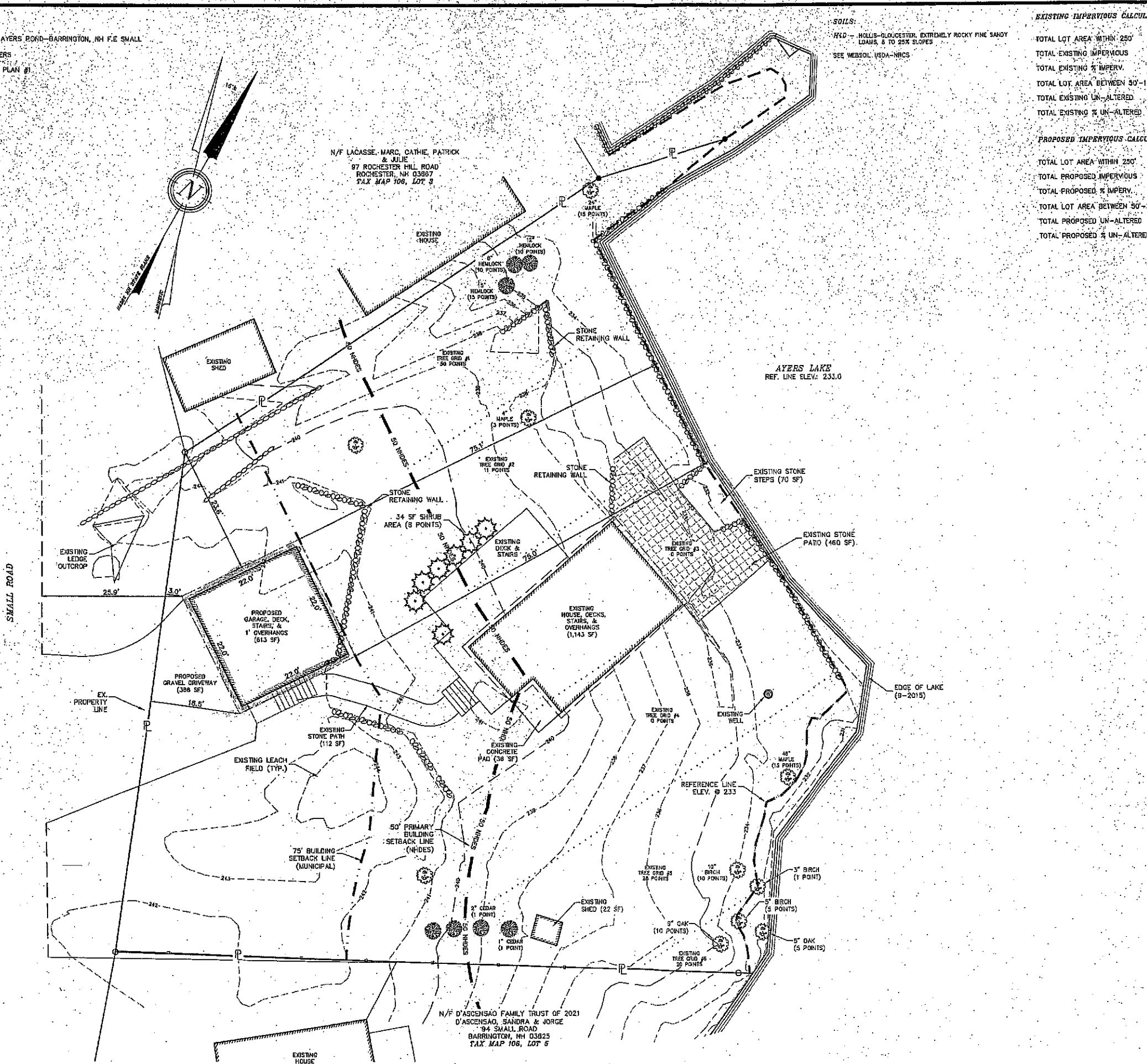
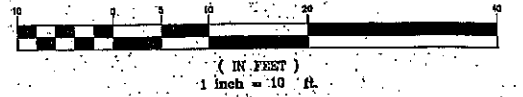
TOTAL LOT AREA WITHIN 250'	13,290 Sq.Ft.
TOTAL PROPOSED IMPERVIOUS	2,842 Sq.Ft.
TOTAL PROPOSED % IMPERV.	21.38%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL PROPOSED UN-ALTERED	0 Sq.Ft.
TOTAL PROPOSED % UN-ALTERED	0%



- NOTES:**
- OWNER: DEREK & MELISSA CEPPELELLI
100 SMALL ROAD
BARRINGTON, NH 03825
 - TAX MAP 106, LOT 4
 - LOT AREA: 13,290 Sq.Ft.; 0.31 Ac.±
 - S.C.R.D., BOOK 4564, PAGE 900
 - ZONING: GEN.-RES.
FRONT SETBACK: 40.0'
SIDE SETBACK: 30.0'
REAR SETBACK: 30.0'
LAKE SETBACK (BUILDING): 75'
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330222, MAP# - 33017001050, DATED: MAY 17, 2005.
 - VERTICAL DATUM BASED ON USGS NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED CONDITIONS OF TAX MAP 106, LOT 4.

THIS IS NOT A BOUNDARY SURVEY

RECEIVED
 APR 25 2023
 LAND USE OFFICE

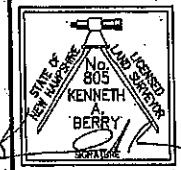


REVISION	DATE	DESCRIPTION

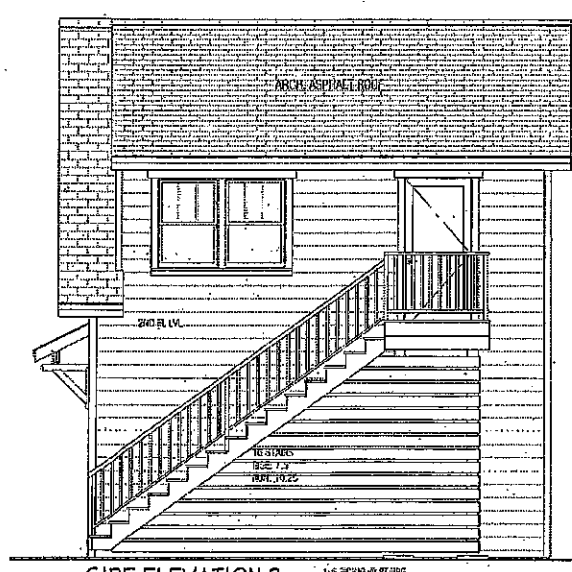
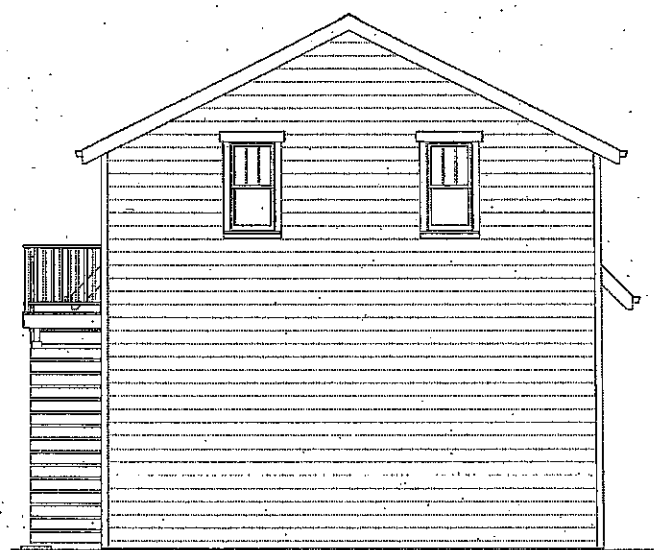
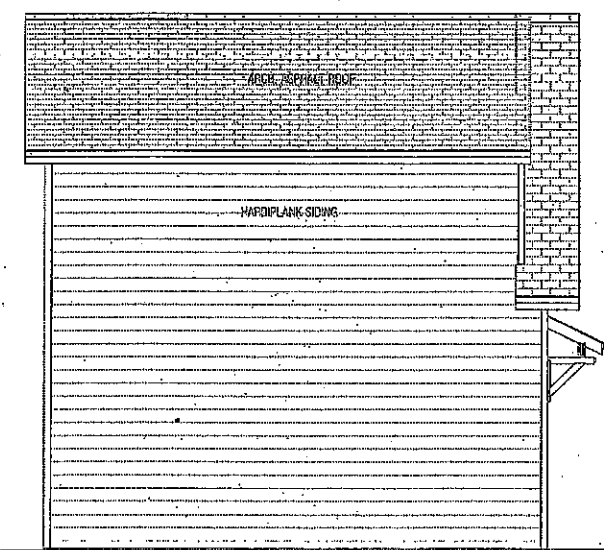
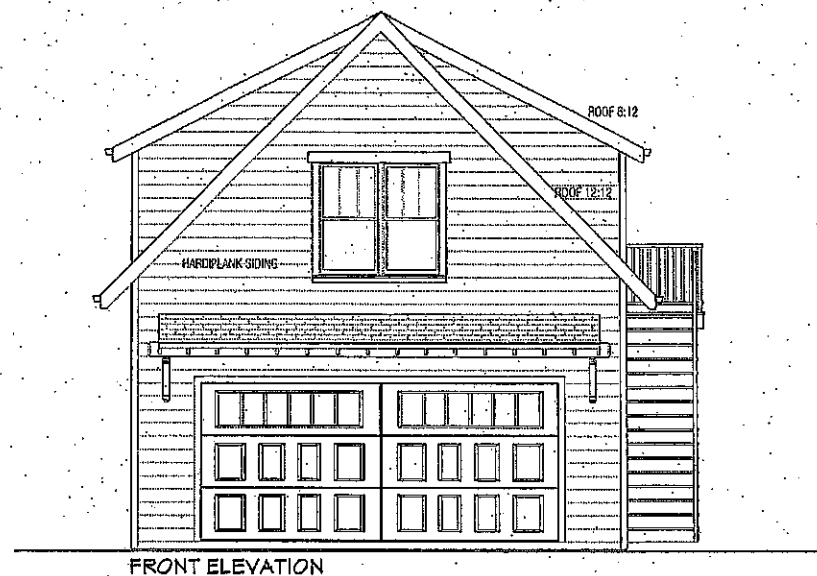
PROPOSED CONDITIONS PLAN
 LAND OF
 DEREK & MELISSA CEPPELELLI
 100 SMALL ROAD
 BARRINGTON, N.H.
 TAX MAP 106, LOT 4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT RD.
 BARRINGTON, N.H. (603)332-2863

SCALE : 1 IN. EQUALS 10 FT.
 DATE : DECEMBER 30, 2022
 FILE NO. : DB 2022-104



- ROOF NOTES**
1. DESIGN COMPLETE OVER SHEET CONSTRUCTION AND CONSTRUCTION AND ASBESTOS REMOVAL TO BE DONE BY OTHERS.
 2. FINISH FLOOR SHALL BE 1/2" ABOVE FINISH FLOOR LEVEL. FINISH FLOOR SHALL BE 1/2" ABOVE FINISH FLOOR LEVEL. FINISH FLOOR SHALL BE 1/2" ABOVE FINISH FLOOR LEVEL.
 3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
 4. PROVIDE INSULATION PER LOCAL CODE REQUIREMENTS FOR CEILING AND WALLS. PROVIDE INSULATION PER LOCAL CODE REQUIREMENTS FOR CEILING AND WALLS.
 5. USE 2" X 4" STUDS FOR ROOF TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES.
 6. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES.
 7. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES.
 8. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES. PROVIDE 1/2" OSB SHEATHING OVER TRUSSES.
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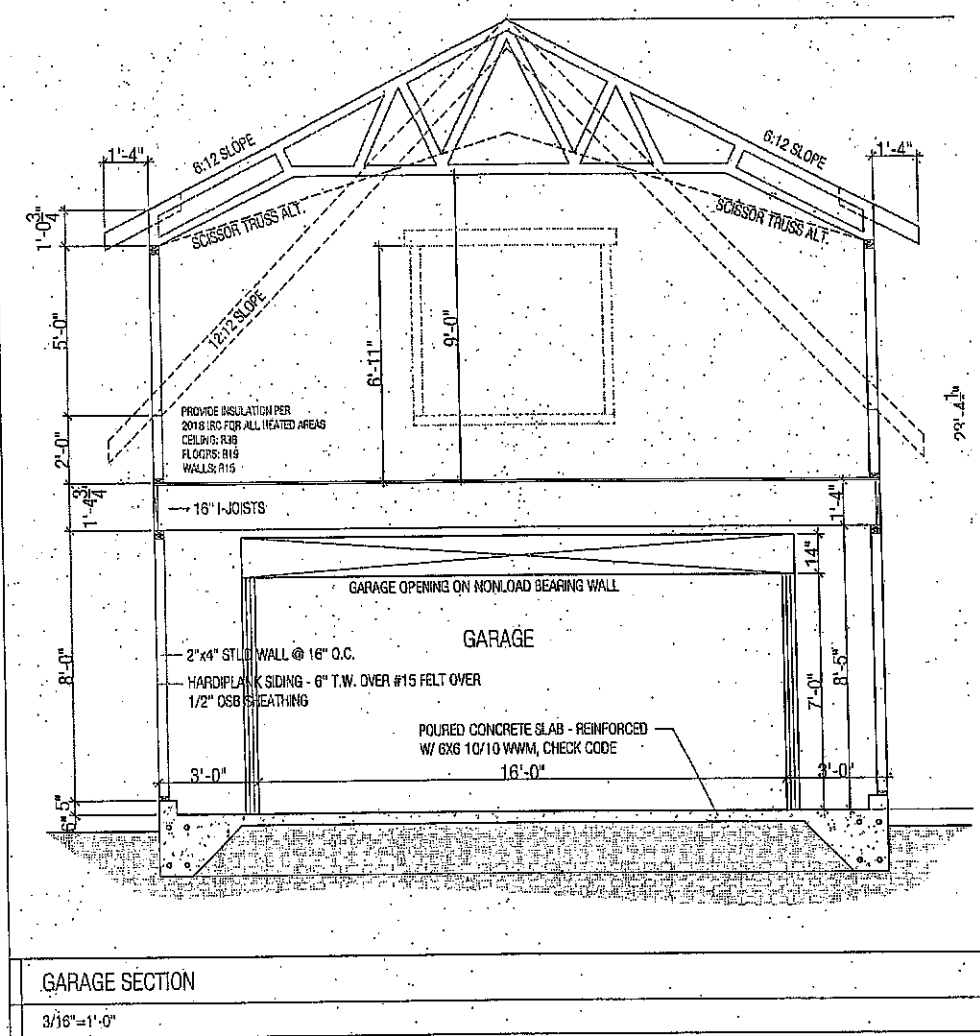
- STAIR NOTES**
1. STAIRS SHALL BE 36" WIDE TO 4" MINIMUM CLEARANCE.
 2. STAIRS SHALL BE 12" TYPICAL RISE AND 16" TYPICAL RUN.
 3. STAIRS SHALL BE 12" TYPICAL RISE AND 16" TYPICAL RUN.
 4. STAIRS SHALL BE 12" TYPICAL RISE AND 16" TYPICAL RUN.
 5. STAIRS SHALL BE 12" TYPICAL RISE AND 16" TYPICAL RUN.

ELECTRICAL SYMBOLS KEY

SWITCH	SWITCH WITH DIMMER	SWITCH WITH DIMMER AND DIMMER CONTROL	SWITCH WITH DIMMER AND DIMMER CONTROL
LED RECESSED CAN	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
INCANDESCENT RECESSED WATERPROOF CAN	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
RECESSED WALL WASHER LIGHT	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
UNDER CABINET LIGHT	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
SURFACE MOUNTED	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
SURFACE MOUNTED LED	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
VANITY LIGHT FIXTURE	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
WALL SWITCH	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
INCANDESCENT WALL MOUNTED WATERPROOF FIXTURE	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
FULL CABINET LIGHT	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
CLEAR FAN - LIGHT COMBO	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
POSSIBLE FIXTURE	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
BATH EXHAUST	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
LIGHT & BATH EXHAUST	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
STANDARD WALL OUTLET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
GROUND FAULT INTERRUPT OUTLET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
FLOOR OUTLET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
WALL SWITCHED OUTLET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
220 VOLT OUTLET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
WEATHERPROOF EXT. GFI OUTLET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
GARAGE DOOR OPENER / LIGHT	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
EXTERIOR FLOOD LIGHTS	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
SMOKE DETECTOR	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
GARAGE FIREWORKS DETECTOR	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
ELECTRIC VEHICLE CHARGE POINT	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET
REPRESENT	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET	RECESSED CAN UNDER CABINET

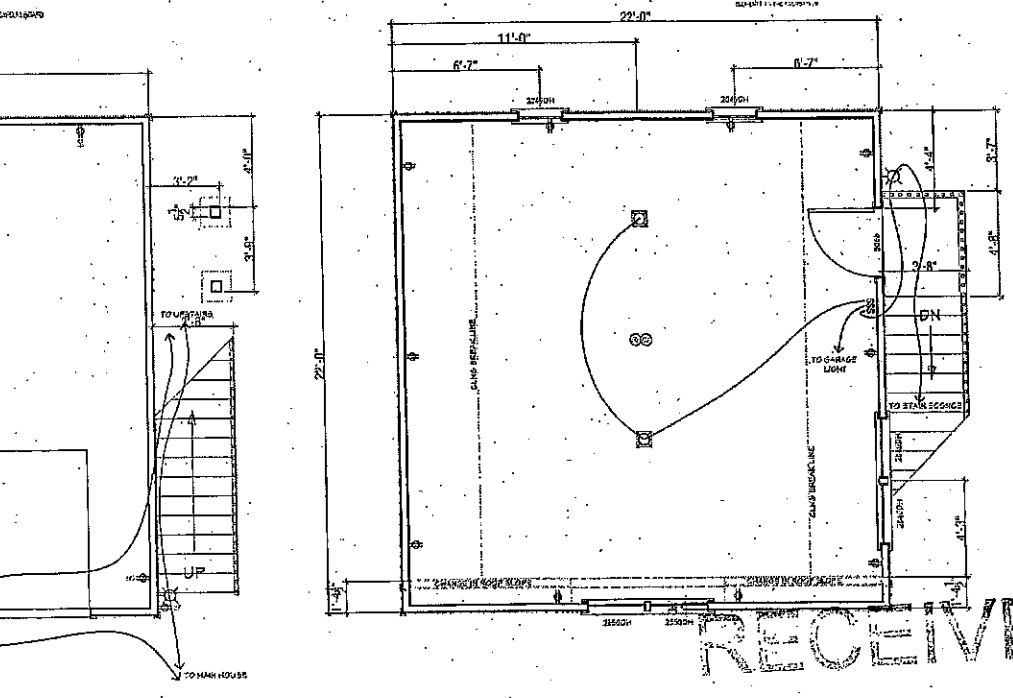
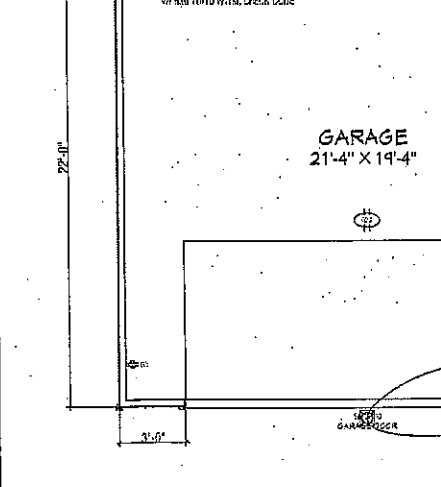
ROOF TRUSS NOTES

1. TRUSSES SHALL BE 2" X 4" STUDS WITH 1/2" OSB SHEATHING OVER TRUSSES.
2. TRUSSES SHALL BE 2" X 4" STUDS WITH 1/2" OSB SHEATHING OVER TRUSSES.
3. TRUSSES SHALL BE 2" X 4" STUDS WITH 1/2" OSB SHEATHING OVER TRUSSES.
4. TRUSSES SHALL BE 2" X 4" STUDS WITH 1/2" OSB SHEATHING OVER TRUSSES.
5. TRUSSES SHALL BE 2" X 4" STUDS WITH 1/2" OSB SHEATHING OVER TRUSSES.



FOUNDATION NOTES

1. FOUNDATION SHALL BE 16" WIDE WITH 4" MINIMUM CLEARANCE.
2. FOUNDATION SHALL BE 16" WIDE WITH 4" MINIMUM CLEARANCE.
3. FOUNDATION SHALL BE 16" WIDE WITH 4" MINIMUM CLEARANCE.
4. FOUNDATION SHALL BE 16" WIDE WITH 4" MINIMUM CLEARANCE.
5. FOUNDATION SHALL BE 16" WIDE WITH 4" MINIMUM CLEARANCE.



HOME PATTERNS crafted simplicity
 30 Elm Place, Hastings on Hudson, NY 10706
 (864) 278 0068 INFO@HOMEPATTERNS.COM

Revisions/Additions By Others:
 Date of issue: April 9, 2023

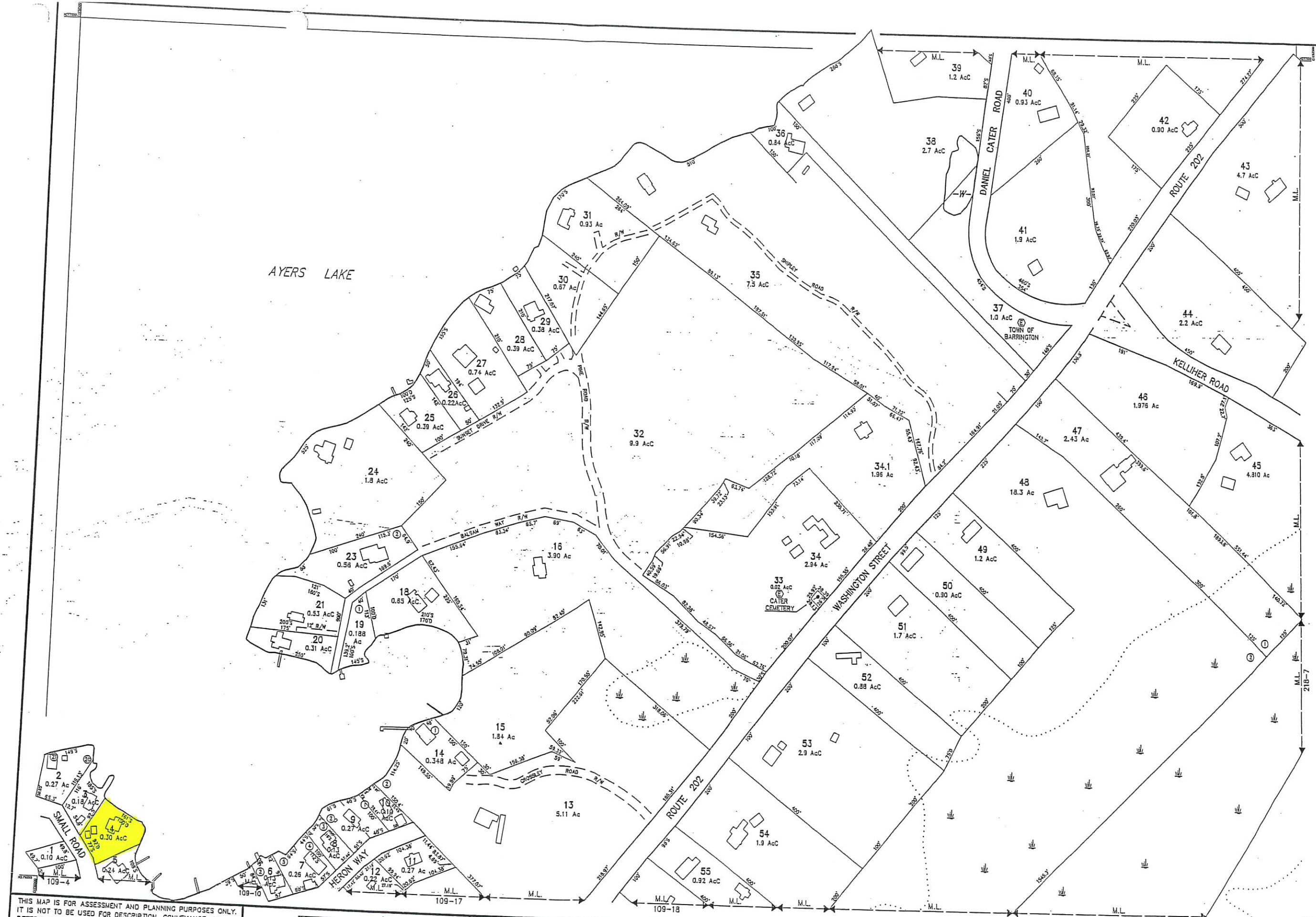
DO NOT COPY
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License Use #23-057
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 Licensed Location:
 100 Small Rd,
 Barrington, NH 03825

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APR 25 2023

sheet no. G1



THIS MAP IS FOR ASSESSMENT AND PLANNING PURPOSES ONLY.
 IT IS NOT TO BE USED FOR DESCRIPTION, CONVEYANCE, OR
 DETERMINATION OF LEGAL TITLE.

THE HORIZONTAL DATUM IS THE NEW HAMPSHIRE STATE
 PLANE COORDINATE SYSTEM, NAD 83.

PHOTOGRAPHY DATE: APRIL 25, 2003 COMPLETION DATE: NOVEMBER 2003



AREA SURVEYED	.....	Ac
AREA CALCULATED	.....	AcC
RECORD DIMENSION	.....	100'
SCALED DIMENSION	.....	100'
MATCH LINE	.....	M.L.
WATER	.....	W

LEGEND

- EXCEPT PROPERTY. (Symbol)
- SUBDIVISION LOT NO. (Symbol)
- BUILDING. (Symbol)
- RIGHT OF WAY/ACCESS. (Symbol)
- COMMON OWNERSHIP. (Symbol)
- WETLANDS. (Symbol)

SCALE 1" = 100'

REVISOR TO : APRIL 1, 2019

PROPERTY MAPS

BARRINGTON

NEW HAMPSHIRE

INDEX DIAGRAM

208	105	207
107	109	211
108	109	

MAP NO. **106**

NO PARCEL 17, 22



Minor Building Permit Application

Town of Barrington, New Hampshire
 Building Department
 P.O. Box 660, Barrington, NH
 Telephone: (603) 664-5183

Issue Date: _____
 Permit #: _____
 (This area for office use only)

Map #: _____
 Lot #: _____
 Block #: _____
 Zoning: _____

Location of Construction (Address): 100 Small Rd

Property Owner: Derek & Melissa Ceppetelli Home Phone: 603-969-5925

Mailing Address: 100 Small Rd Cell Phone: 603-969-5925

City: Barrington State: NH Zip Code: 03825 Daytime Phone: 603-969-5925

Email Address: MBDCepp@metrocast.net

Contractor: Derek Ceppetelli Phone: 603-969-5925

Mailing Address: 100 Small Rd Cell #: 603 969 5925

City: Barrington State: NH Zip Code: 03825

Email Address: MBDCepp@metrocast.net

Cost of Construction: 150,000 Building Inspectors Estimated Cost of Construction: _____

Permit Fee: _____ Permit fee is based on \$8.50 per \$1,000.00 of Construction Cost (\$50.00 Minimum)

AND \$25 flat application fee, \$50 electric permit fee, \$50 plumbing permit fee, \$50 mechanical permit fee.

Primary Use of Property Is: Residential Commercial Mixed Use (both Res. & Com)

Proposed Construction is for: Deck Door Garage Exterior Renovations

(Please Check all that Apply) Enclose Deck/Porch Shed Siding Interior Renovations

Pool / Hot Tub Roof Windows Residential Addition

Other _____

Description of work to be performed: Building a 22x22 garage

Proposed Use: Park cars in the garage.

Property & Setback Information		
Setbacks from Lot Line to Construction:	Subsurface Disposal Information:	Total Square Footage of Proposed Building:
Front: <u>40.0'</u> Right: <u>30.0'</u>	Septic System Design: More Than 20 Years Old Circle One: Yes <input checked="" type="radio"/> Unknown	<u>22x22</u>
Rear: <u>30.0'</u> Left: <u>30.0'</u>		Site Located In "Special Flood Hazard Area": Yes <input type="radio"/> No <input checked="" type="radio"/>
<u>Lake setback 75' (Building)</u>	Shoreland Water Quality Protection Zone: Circle One: Yes <input type="radio"/> No <input type="radio"/>	Site Located In Shoreland Protection Zone: Yes <input type="radio"/> No <input checked="" type="radio"/>
Lot Size: <u>13,290 sq-ft</u>		Subdivision Approval # _____ Subdivision Name: _____

Applicant Signature: Derek Ceppetelli Date: 5/4/23

Revised: 01-2021 Page 3

PLAN REFERENCES:

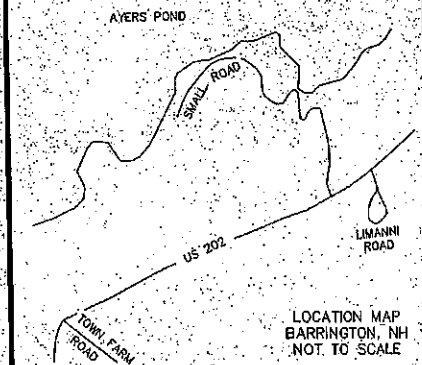
1.) SUBDIVISION OF CAMP LOTS, AYERS POND-BARRINGTON, NH F.F.E. SMALL ROCHESTER, NH
 BY: I.W. JONES & CO. ENGINEERS
 DATED: SEPTEMBER 15, 1922
 S.C.R.D.: "POCKET 4 FOLDER 1 PLAN #1"

EXISTING IMPERVIOUS CALCULATIONS:

TOTAL LOT AREA WITHIN 250' 13,290 Sq.Ft.
 TOTAL EXISTING IMPERVIOUS 3,144 Sq.Ft.
 TOTAL EXISTING % IMPERV. 23.66%
 TOTAL LOT AREA BETWEEN 50'-150' 6,950 Sq.Ft.
 TOTAL EXISTING UN-ALTERED 0 Sq.Ft.
 TOTAL EXISTING % UN-ALTERED 0%

SOILS:

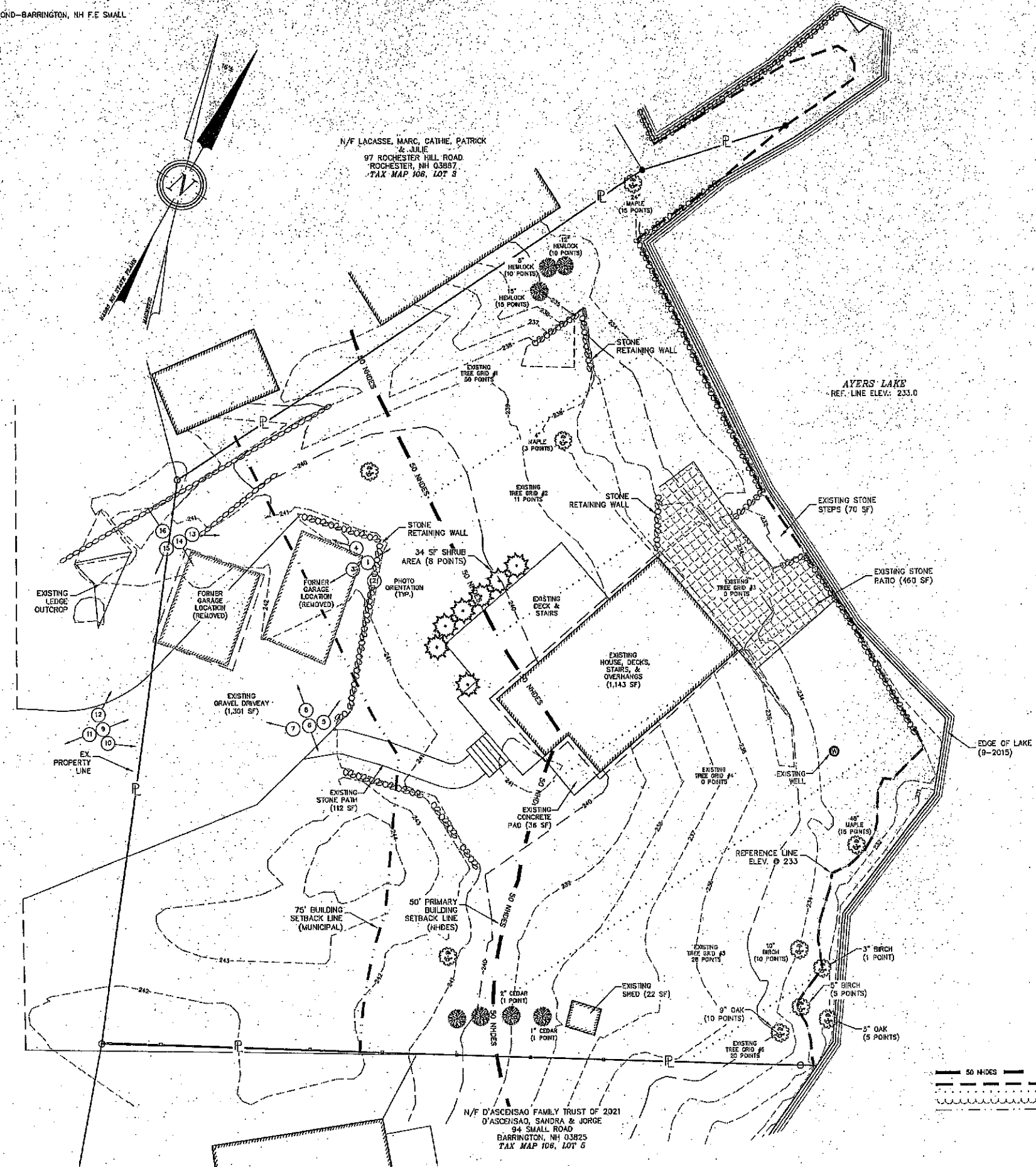
H1D - HOLLIS-GLOUCESTER, EXTREMELY ROCKY FINE SANDY LOAMS, 8 TO 28% SLOPES
 SEE WEBSOL USDA-NRCS



NOTES:

- 1.) OWNER: DEREK & MELISSA CEPPEJELLI
 100 SMALL ROAD
 BARRINGTON, NH 03825
- 2.) TAX MAP 106, LOT 4
- 3.) LOT AREA: 13,290 Sq.Ft., 0.31 Ac.±
- 4.) S.C.R.D. BOOK 4564, PAGE 900
- 5.) ZONING: GEN. RES.
 FRONT SETBACK: 40.0'
 SIDE SETBACK: 30.0'
 REAR SETBACK: 30.0'
 LAKE SETBACK (BUILDING): 75'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF. FEMA COMMUNITY# -330222, MAP# - 33017001050, DATED: MAY 17, 2005,
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 106, LOT 4 AS OF THE DATE OF THE SURVEY: 12-15-22.

THIS IS NOT A BOUNDARY SURVEY



RECEIVED

APR 25 2023

LAND USE OFFICE

GRAPHIC SCALE



(IN FEET)
 1 inch = 10 ft.

LEGEND:

- IRON PIPE -FIND- UTILITY POLE
- ⊙ PHOTO POINT
- ⊔ PROPERTY LINE
- ⊕ BENCHMARK
- TREE
- 50' PRIMARY BUILDING SETBACK LINE (NHDES)
- REFERENCE LINE
- TREE GRID
- TREE LINE
- BUILDING SETBACK LINE
- FOUND TYPICAL STRAFFORD COUNTY REGISTRY OF DEEDS

REVISION	DATE	DESCRIPTION
		EXISTING CONDITIONS PLAN
LAND OF DEREK & MELISSA CEPPEJELLI 100 SMALL ROAD BARRINGTON, N.H. TAX MAP 106, LOT 4		
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863		
SCALE : 1 IN. EQUALS 10 FT.		
DATE : DECEMBER 30, 2022		
FILE NO. : DB 2022-104		

PLAN REFERENCES:

- 1) "SUBDIVISION OF CAMP LOTS, AYERS POND-BARRINGTON, NH F.E. SMALL ROCHESTER, NH"
 BY: I.W. JONES & CO. ENGINEERS
 DATED: SEPTEMBER 15, 1922
 S.C.R.D.: POCKET 4 FOLDER 1 PLAN #1

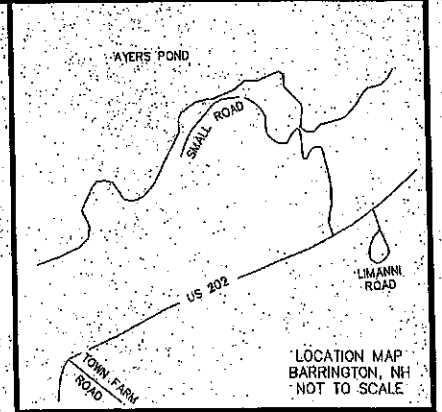
SOILS:
 H4D - HOLLS-GLOUCESTER, EXTREMELY ROCKY FINE SANDY LOAMS, 8 TO 25% SLOPES
 SEE WEBSOL. USDA-NRCS

EXISTING IMPERVIOUS CALCULATIONS:

TOTAL LOT AREA WITHIN 250'	13,290 Sq.Ft.
TOTAL EXISTING IMPERVIOUS	3,144 Sq.Ft.
TOTAL EXISTING % IMPERV.	23.66%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL EXISTING UN-ALTERED	0 Sq.Ft.
TOTAL EXISTING % UN-ALTERED	0%

PROPOSED IMPERVIOUS CALCULATIONS:

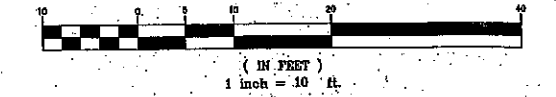
TOTAL LOT AREA WITHIN 250'	13,290 Sq.Ft.
TOTAL PROPOSED IMPERVIOUS	2,842 Sq.Ft.
TOTAL PROPOSED % IMPERV.	21.38%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL PROPOSED UN-ALTERED	0 Sq.Ft.
TOTAL PROPOSED % UN-ALTERED	0%



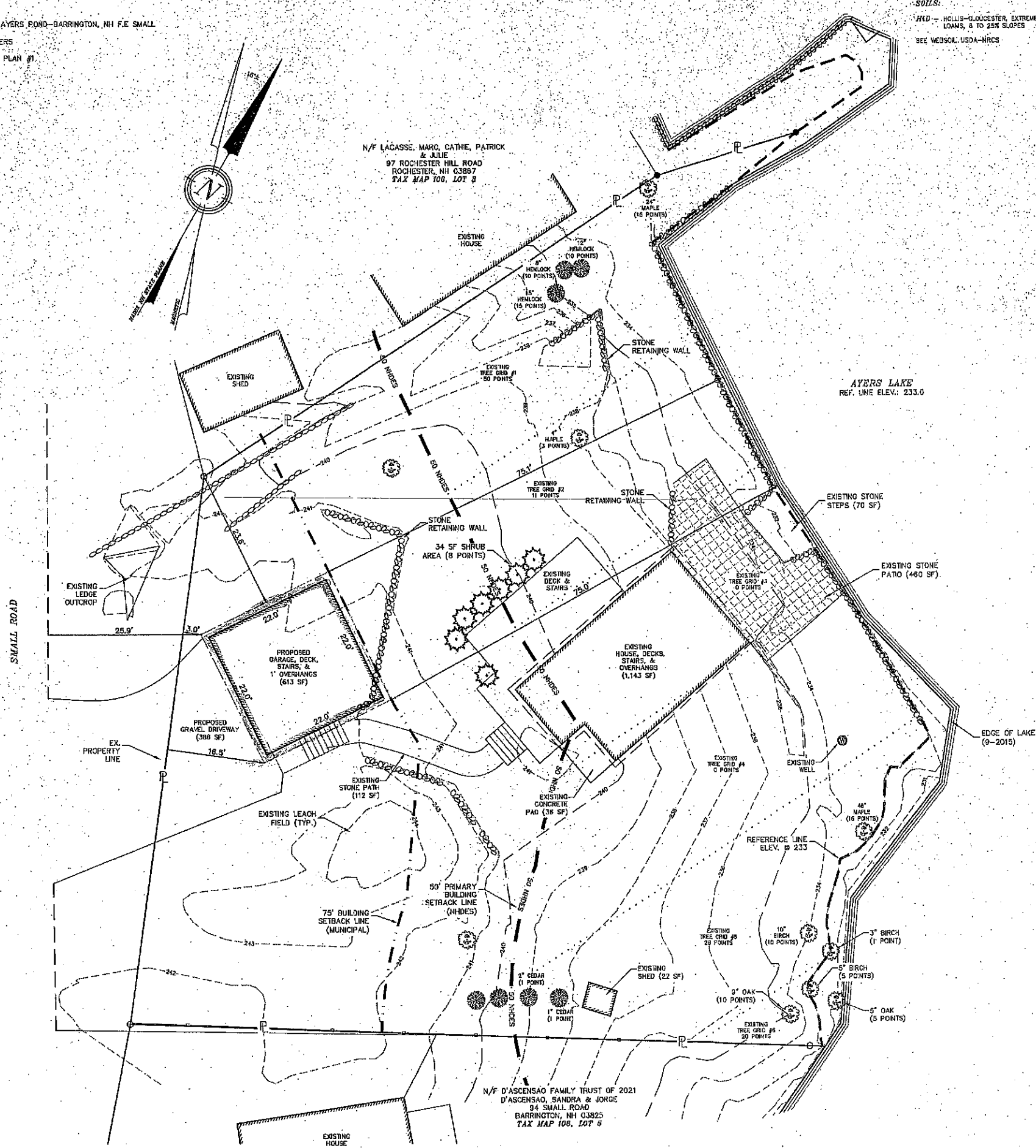
- NOTES:**
- 1) OWNER: DEREK & MELISSA CEPPELELLI
100 SMALL ROAD
BARRINGTON, NH 03825
 - 2) TAX MAP 106, LOT 4
 - 3) LOT AREA: 13,290 Sq.Ft.; 0.31 Ac.±
 - 4) S.C.R.D. BOOK 4594, PAGE 900
 - 5) ZONING: GEN. RES.
FRONT SETBACK: 40.0'
SIDE SETBACK: 30.0'
REAR SETBACK: 30.0'
LAKE SETBACK (BUILDING): 75'
 - 6) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330222, MAP# - 33017C0103D, DATED: MAY 17, 2005.
 - 7) VERTICAL DATUM BASED ON USCS NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED CONDITIONS OF TAX MAP 106, LOT 4.

THIS IS NOT A BOUNDARY SURVEY

RECEIVED
 APR 25 2023
 LAND USE OFFICE

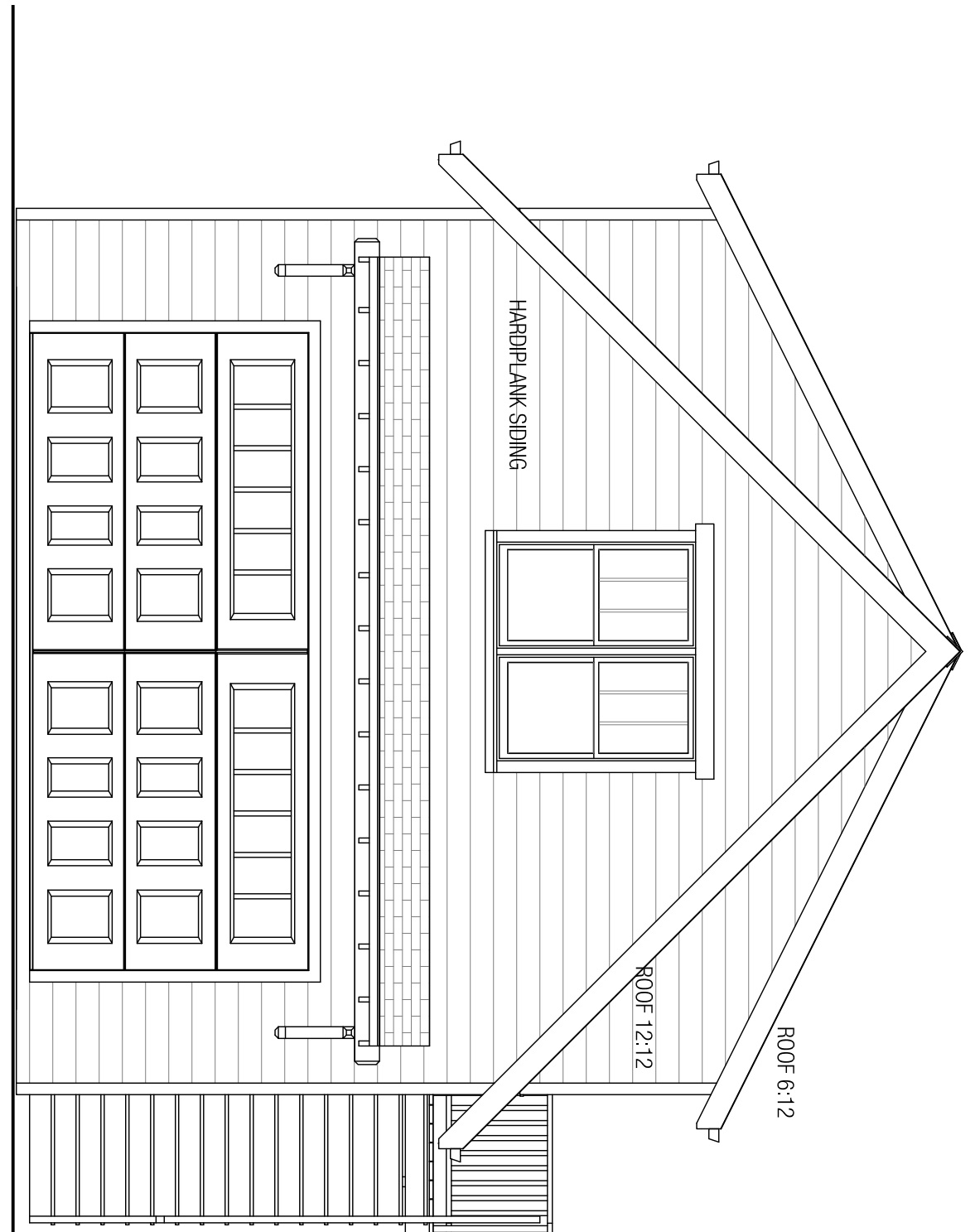


REVISION	DATE	DESCRIPTION
PROPOSED CONDITIONS PLAN LAND OF DEREK & MELISSA CEPPELELLI 100 SMALL ROAD BARRINGTON, N.H. TAX MAP 106, LOT 4		
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863		
SCALE : 1 IN. EQUALS 10 FT.		
DATE : DECEMBER 30, 2022		
FILE NO. : DB 2022-104		

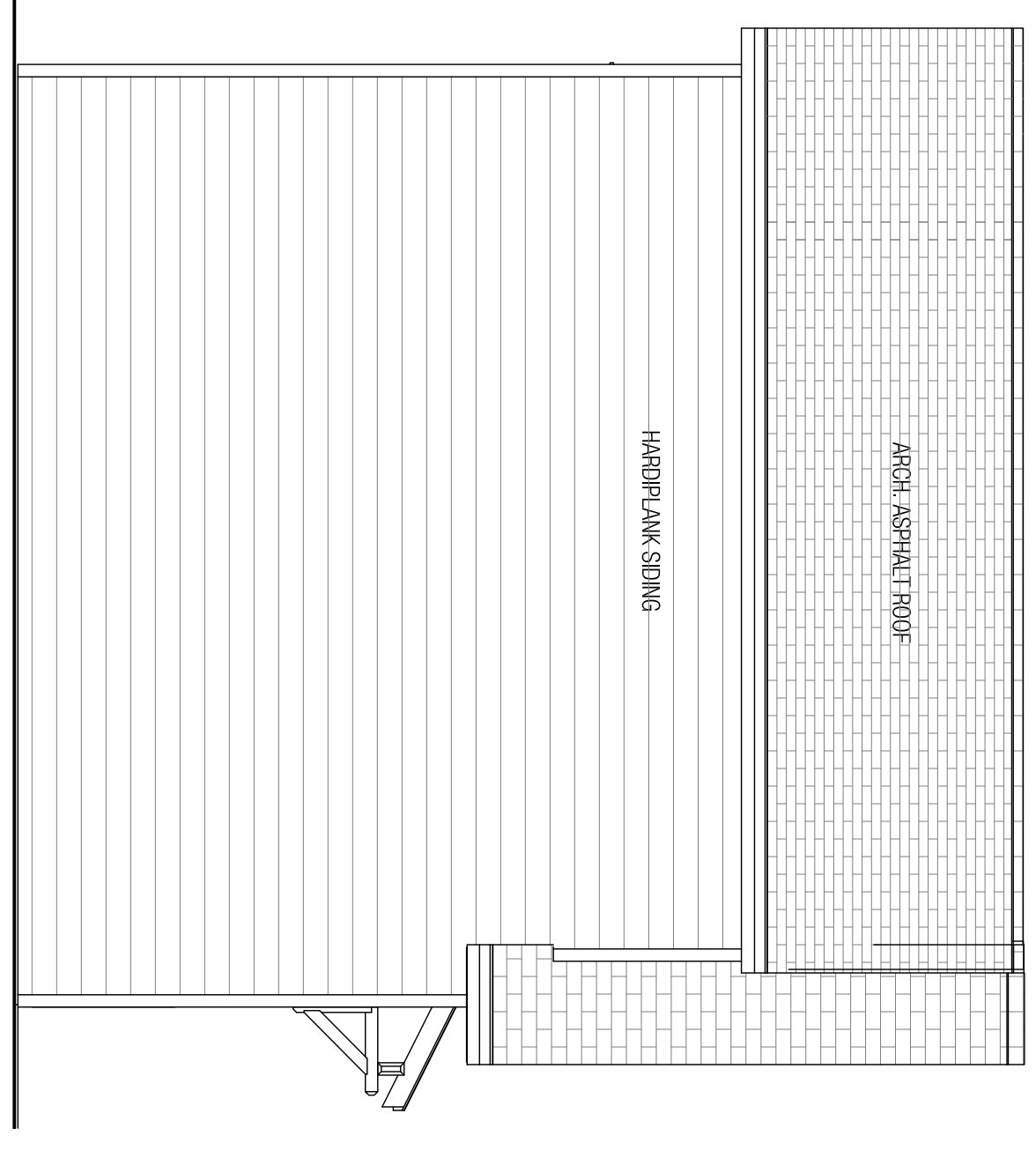


ELEVATION NOTES:

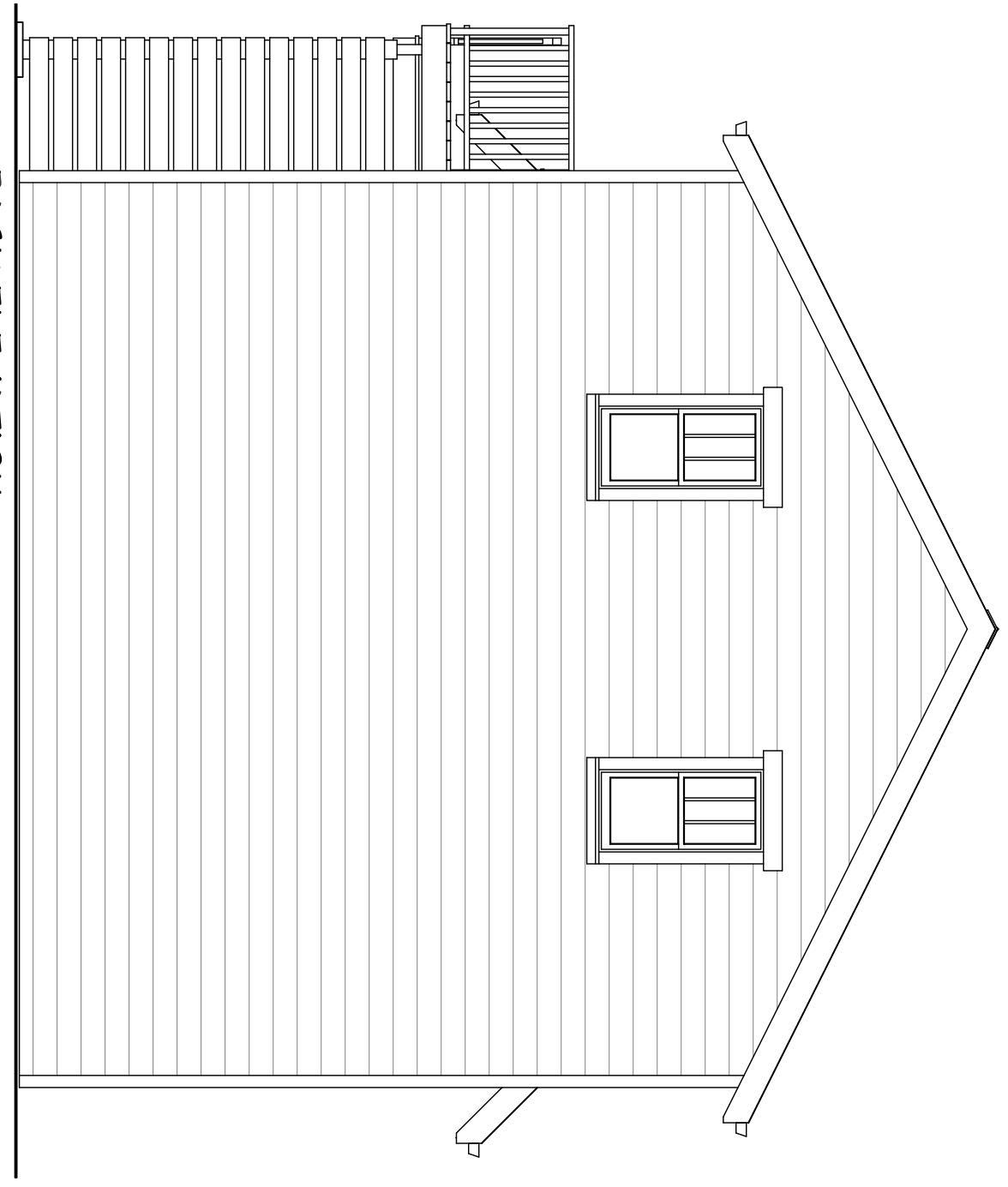
- GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND FINISH GRADES. VERIFY GRADES WITH LOCAL DEPARTMENT OF PUBLIC WORKS AND RECORD GRADES.
- FINISH GRADES SHALL BE SHOWN IN RED. FINISH GRADES SHALL BE SHOWN IN GREEN. FINISH GRADES SHALL BE SHOWN IN BLUE. FINISH GRADES SHALL BE SHOWN IN PURPLE. FINISH GRADES SHALL BE SHOWN IN ORANGE. FINISH GRADES SHALL BE SHOWN IN YELLOW. FINISH GRADES SHALL BE SHOWN IN LIGHT BLUE. FINISH GRADES SHALL BE SHOWN IN LIGHT GREEN. FINISH GRADES SHALL BE SHOWN IN LIGHT PURPLE. FINISH GRADES SHALL BE SHOWN IN LIGHT ORANGE. FINISH GRADES SHALL BE SHOWN IN LIGHT YELLOW.
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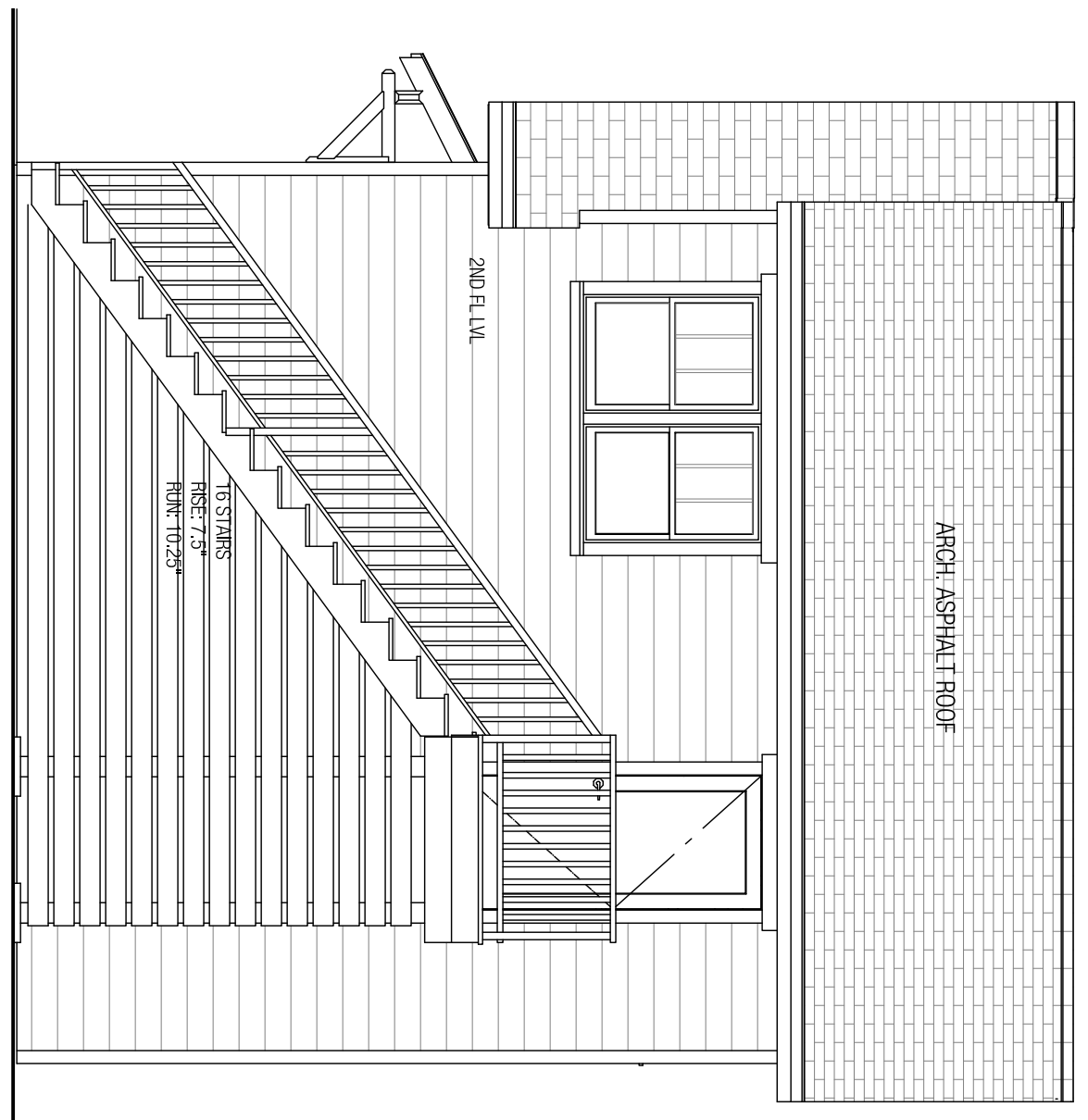
FRONT ELEVATION



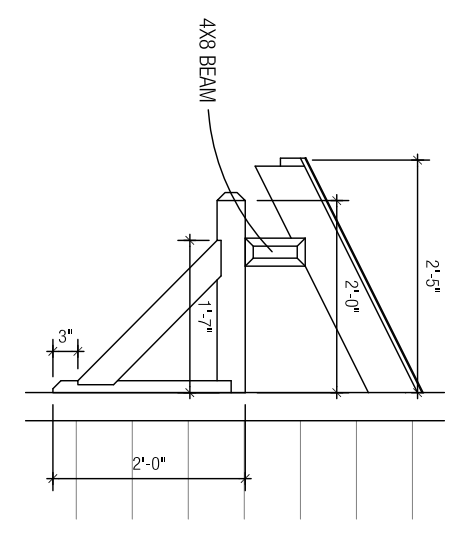
SIDE ELEVATION 1



BACK ELEVATION



SIDE ELEVATION 2

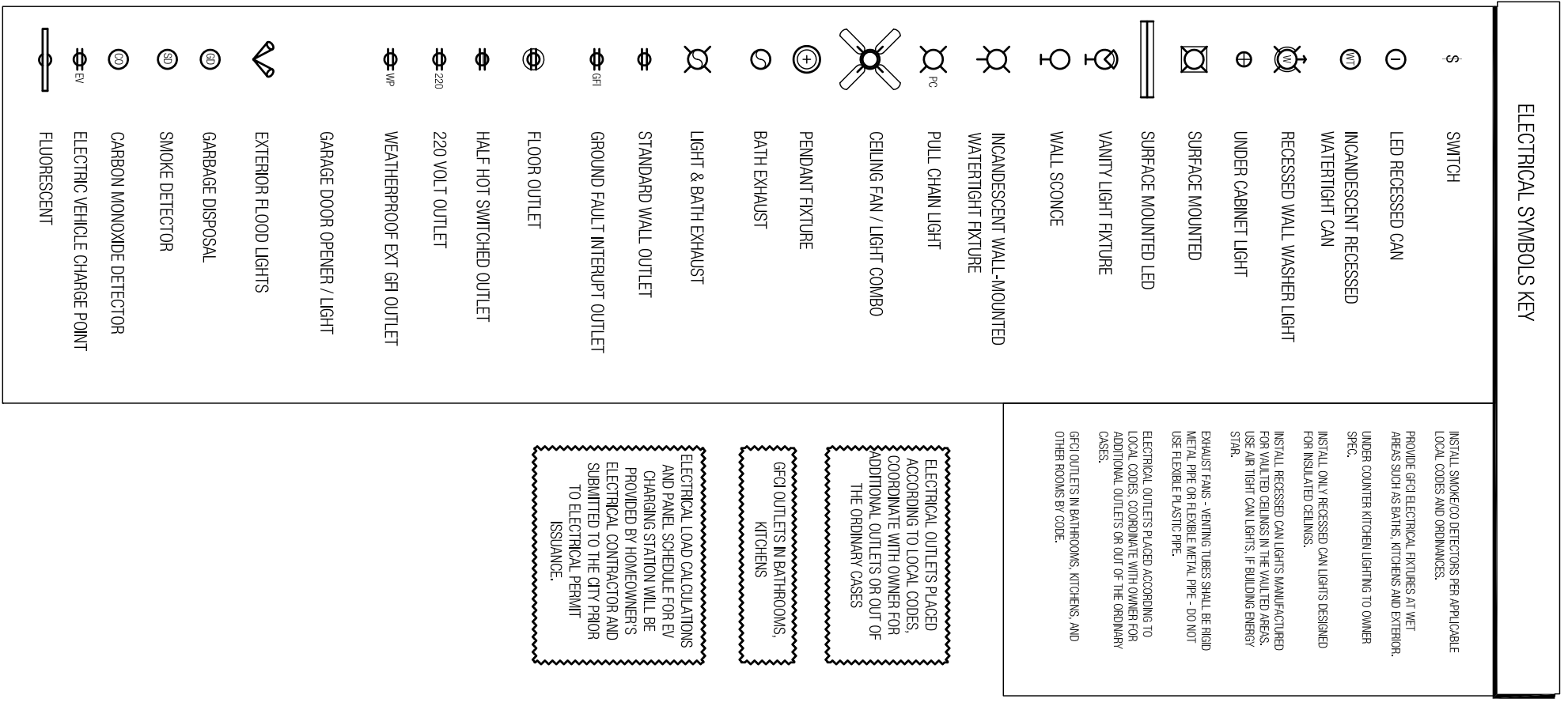


- ROOFING & FINISHES NOTES:
- ARCH ASPHALT ROOF
 - ARCH ASPHALT ROOF
 - ARCH ASPHALT ROOF
 - ARCH ASPHALT ROOF
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GARAGE ELEVATIONS

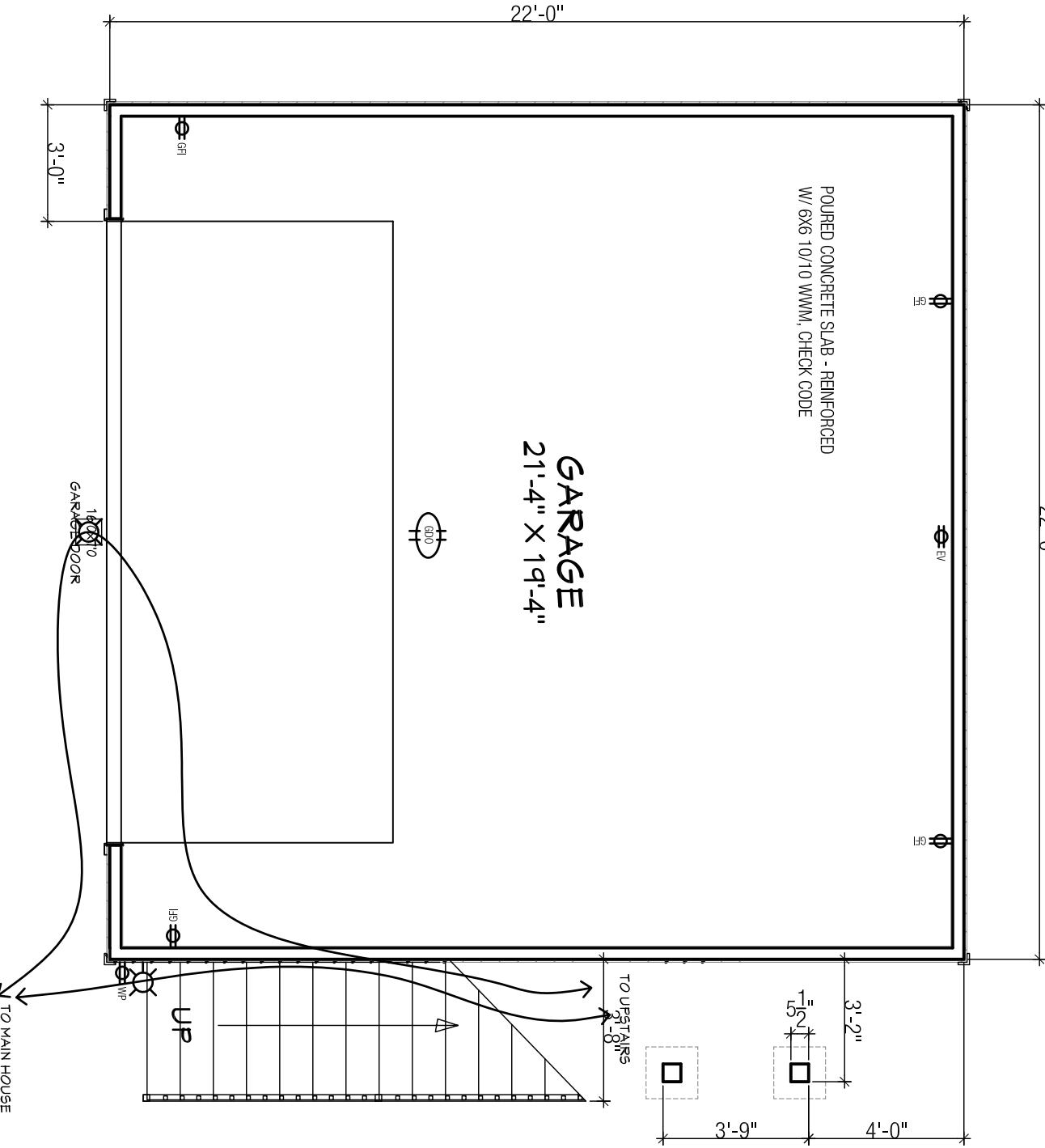
1/4"=1'-0"

- ELECTRICAL SYMBOLS KEY
- SWITCH
 - LED RECESSED CAN
 - INCANDESCENT RECESSED
 - WATERPROOF CAN
 - RECESSED WALL WASHER LIGHT
 - UNDER CABINET LIGHT
 - SURFACE MOUNTED
 - SURFACE MOUNTED LED
 - VANITY LIGHT ENCLURE
 - WALL SCONCE
 - INCANDESCENT WALL-MOUNTED
 - WATERPROOF FINURE
 - CEILING FAN / LIGHT COMBO
 - FULL CROWN LIGHT
 - FRONT PORCH
 - BATH EXHAUST
 - LIGHT & BATH EXHAUST
 - STANDARD WALL OUTLET
 - GROUND FAULT INTERRUPTER OUTLET
 - FLOOR OUTLET
 - HALL HOT SWITCHED OUTLET
 - 220V OUTLET
 - WEATHERPROOF EXT OUTLET
 - GARAGE DOOR OPENER / LIGHT
 - EXTERIOR FLOOD LIGHTS
 - GARAGE DISPOSAL
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - ELECTRIC VEHICLE CHARGE POINT
 - FLUORESCENT



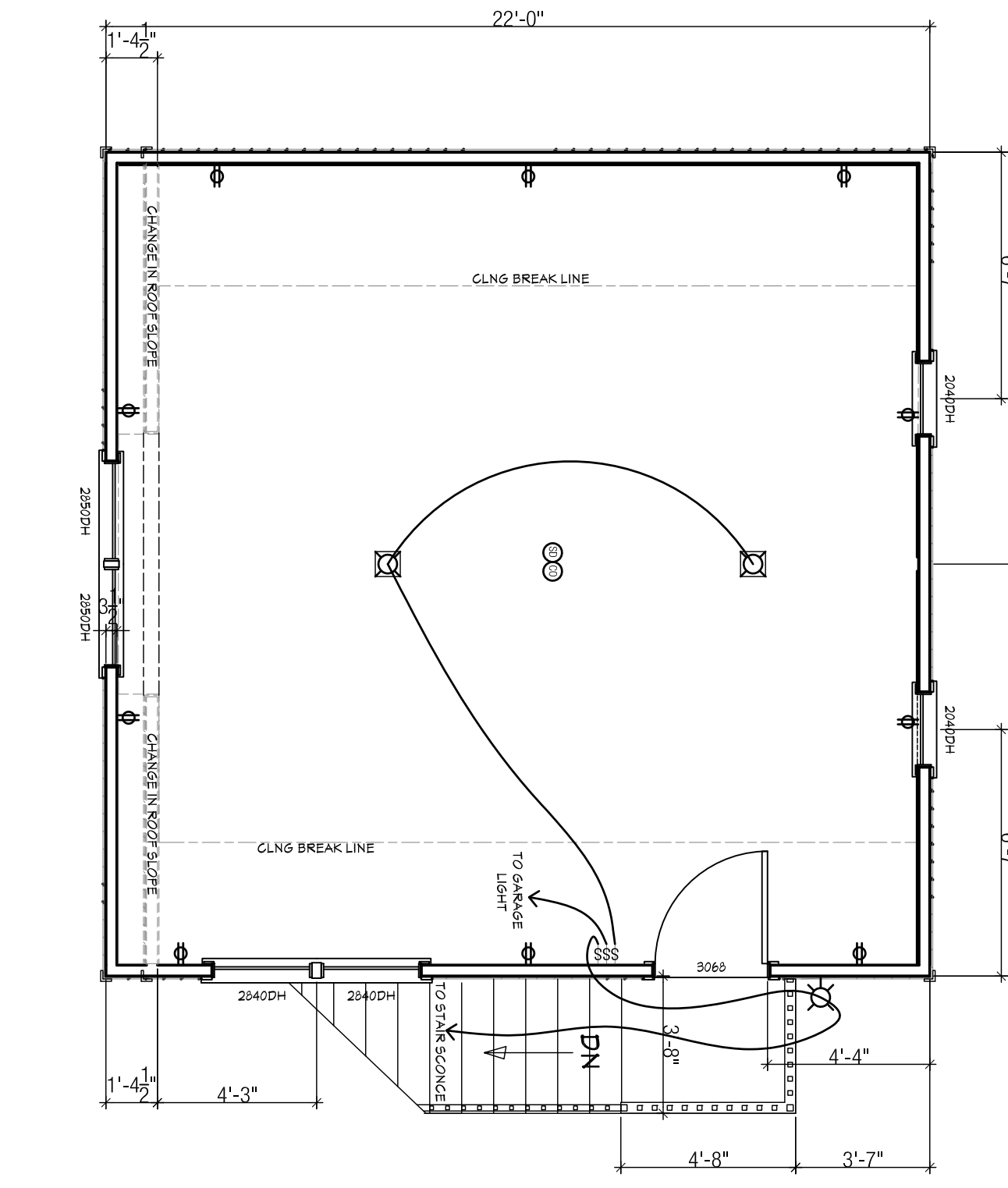
GARAGE SECTION

3/16"=1'-0"



GARAGE PLAN - FIRST AND SECOND FLOORS

1/4"=1'-0"



sheet no. **G1**

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Barrington, NH 03825

REVISIONS AND ADDITIONS BY OTHERS:

Date of Issue: April 9, 2023

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HOME PATTERNS crafted simplicity

30 Elm Place, Hastings on Hudson, NY 10706
(864) 278 0068 INFO@HOMEPATTERNS.COM

