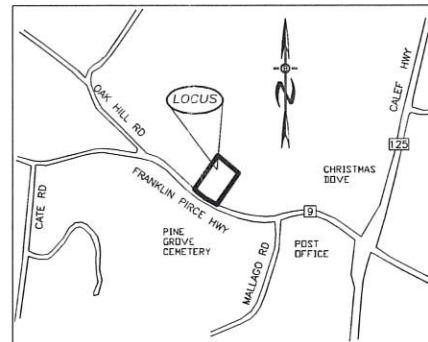


MIXED-USE DEVELOPMENT ROUTE 9 TAX MAP 234, LOT 77

NOT FOR CONSTRUCTION



LOCATION MAP

PLAN INDEX

TITLE SHEET	
EXISTING CONDITIONS PLAN	1
PARKING/PAVEMENT PLAN	2
GRADING PLAN	3
DRAINAGE & PROFILE PLAN	4
CONSTRUCTION DETAILS	5
FIRE CISTERN DETAILS	6
EROSION & SEDIMENT CONTROL DETAILS	7

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AUG 25 2022

LAND USE OFFICE

PLANNING BOARD APPROVAL BLOCK

WETLAND/SOIL CONSULTANT:

JOHN P. HAYES III CSS, CWS
7 LIMESTONE WAY
NORTH HAMPTON, NH 03820
PHONE: 603-205-4396
JOHNPHAYES@COMCAST.NET

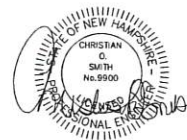
LAND SURVEYORS:

DAVID W. VINCENT, LLS
LAND SURVEYING SERVICES
PO BOX 1622
DOVER, NH 03821
1-603-664-5786

CIVIL ENGINEERS:



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



OWNER OF RECORD
THIBODEAU PAUL & LINDA
THIBODEAU FAMILY REV TRUST
76 YOUNG RD.
BARRINGTON, NH 03825

SIGNATURE	DATE
-----------	------

REQUIRED PERMITS
NHDES SEPTIC APPROVAL NUMBER: (PENDING)
NH DOT PERMIT NUMBER: (PENDING)

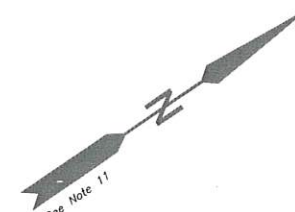
REVISIONS:	DATE:

NH-1387 SITE PLAN
ISSUED AUG., 2022

- Legend:**
- SCRD Stafford County Registry of Deeds
 - Iron Pipe Found
 - Iron Rod Found
 - ⊕ Drill Hole Found
 - ⊕ Utility Pole
 - ⊕ Culvert
 - Stone Wall
 - Building Setback
 - Septic System Setback
 - Edge of Wetlands

Notes:

- 1.) This plan does not represent a determination of title and the purpose of this plan is to depict the existing conditions of the subject property per the boundaries depicted on a plan entitled, "Existing Features Plan for Thomas Emmerling, NH Route 9, Barrington, NH," dated August 2005, prepared by Norway Plains Associates Inc. of Rochester NH, File No. 308. Existing conditions shown hereon are as field located May/June 2021.
- 2.) Field Procedure: Topcon (GM-105) Electronic Total Station Instrument & Carlson Surveyor + Data Collector, Adjusted Closed Traverse Performed May 2021, Least Squares Balance.
- 3.) Error of Closure Better Than 1:20,000.
- 4.) Parcel is shown as Lot 77 on the Town of Barrington Assessor's Map 234.
- 5.) Parcels are located in the Town Center District and Wetlands Protection District Overlay.
- 6.) Owners of Record: The Thibodeau Family Revocable Trust
Paul F. & Linda A. Thibodeau Trustees
76 Young Road
Barrington, NH 03825
SCRD Bk 4937, Pg 202
Also See SCRD Bk 3376, Pg 232
- 7.) This plan does not show any unrecorded or unwritten easements which may exist. A reasonable and diligent attempt has been made to observe any apparent, visible uses of the land; however this does not constitute that no such easements exist.
- 8.) Parcel is not located in a Flood Hazard Zone as depicted on Flood Insurance Rate Map, No. 33017C0285D, Stafford County, NH, (All Jurisdictions), Effective Date: May 17, 2005.
- 9.) The wetland boundaries shown hereon were field delineated John P. Hayes, III, NH Wetland Scientist #18 of 7 Limestone Way, North Hampton, NH 03862.
- 10.) Record Lot Area: 148,935 square feet or 3.42 Acres
- 11.) Horizontal Datum is based upon NAD83-86 New Hampshire State Plane Coordinates and Vertical Datum is based upon NAVD88.



Map 239 / Lot 116
Town of Barrington
Pine Grove Cemetery
PO Box 660
Barrington, NH 03825

BM Elev = 207.52
Nail Base of Pole

Map 239 / Lot 116
Barrington Historical Society
82 Muchado Drive
Barrington, NH 03825

Map 234 / Lot 79
Kay Family Revocable Trust of 2020
Richard W. & Anna R. Kay Trustees
45 Littleworth Road
Dover, NH 03820

Map 234 / Lot 79
Kay Family Revocable Trust of 2020
Richard W. & Anna R. Kay Trustees
45 Littleworth Road
Dover, NH 03820

The licensed surveyor of this plan does not warrant nor guarantee the location of utilities shown or not shown on this plan. Pursuant to New Hampshire Statute RSA 374, Sections 47-56, the contractor, prior to the commencement of any construction, shall verify the location of all utilities and contact "DigSafe" at 1-800-344-7233 or dial 811.

ZONING REQUIREMENTS

ZONE	TOWN CENTER
LOT AREA MIN.	20,000 S.F.
LOT FRONTAGE WIDTH MIN.	40 FT.
FRONT YARD	50 FT.
SIDE & REAR YARD	15 FT.*
WETLAND BUFFER	50 FT.
MAX. BUILDING HEIGHT	40 FT.
MAX. BUILDING STORIES	3
MAX. LOT COVERAGE	80%

*Buffer for Existing Residential Uses
Any proposed non-residential development that abuts a parcel containing an existing residential structure(s) must have a buffer of at least fifty (50) feet between the existing residential structure(s) and the proposed non-residential structure(s). Said buffer shall contain sufficient vegetation or other barrier (e.g. fencing) that will provide visual screening between the adjoining land uses. Said buffer may include portions of the existing residential lot if adequate screening already exists there

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Construction Notes:

- 1.) If, during construction, it becomes apparent that deficiencies exist in the approved design drawings, the Contractor shall be required to correct the deficiencies to meet the requirements of the regulations at no expense to the Town.
- 2.) Required erosion control measures shall be installed prior to any disturbance of the site's surface area and shall be maintained through the completion of all construction activities. If, during construction, it becomes apparent that additional erosion control measures are required to stop any erosion on the construction site due to actual site conditions, the Owner shall be required to install the necessary erosion protection at no expense to the Town.
- 3.) All materials and methods of construction shall conform to Town of Barrington Subdivision Regulations and the latest edition of the New Hampshire Department of Transportation's Standard Specifications for Road & Bridge Construction.

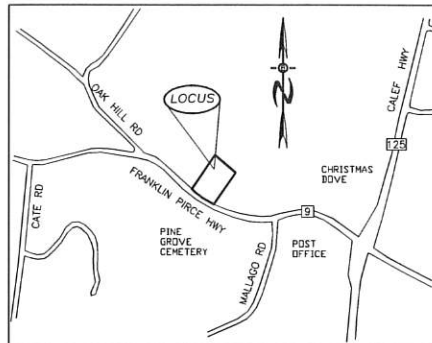
EXISTING CONDITIONS PLAN
PREPARED FOR
**THIBODEAU FAMILY
REVOCABLE TRUST**
OF
TAX MAP 234 / LOT 77
LOCATED AT
**FRANKLIN PIERCE HIGHWAY
(NH ROUTE 9)
COUNTY OF STRAFFORD
BARRINGTON, NH**



SCALE: 1" = 40' DATE: AUGUST 23, 2022

DAVID W. VINCENT, L.L.S.
LAND SURVEYING SERVICES
PO BOX 1622
DOVER, NH 03821
TEL (603) 664-5786

NO.	DATE	DESCRIPTION	BY
4			
3			
2			
1			



LOCATION MAP
1"=1000'

ZONING REQUIREMENTS

ZONE: TOWN CENTER

MIN. LOT SIZE = 20,000 SF
 MIN. FRONTAGE = 40'
 MAX. HEIGHT = 40'

BUILDING SETBACKS:
 FRONT = 50'
 SIDE & REAR = 15'
 WETLANDS PRE 03/11/1997

LEACH FIELD SETBACKS:
 POORLY DRAINED SOILS = 50'
 VERY POORLY DRAINED SOILS = 75'

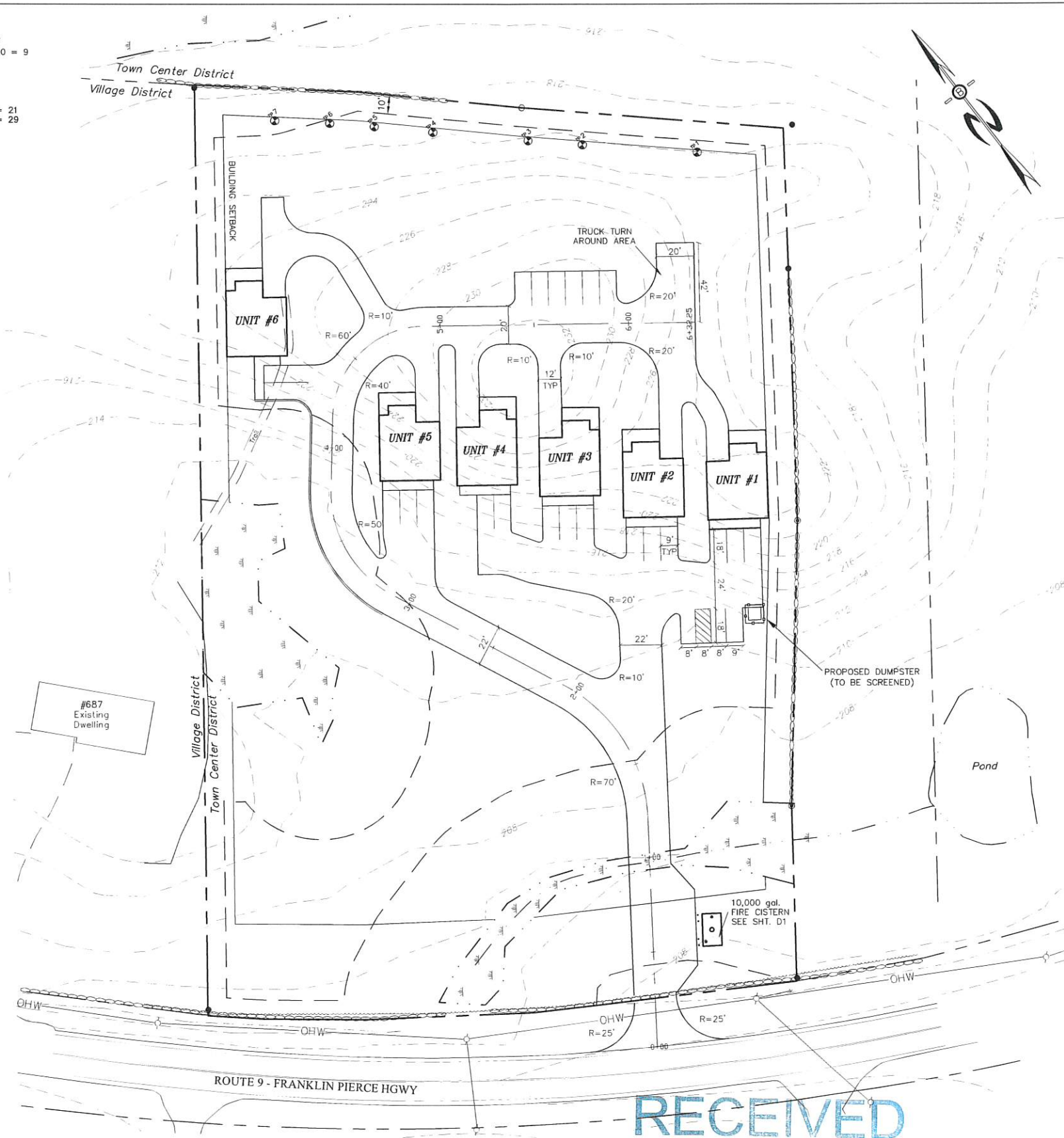
LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- FIRE CISTERN
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE

PLANNING BOARD APPROVAL BLOCK

PARKING CALCULATIONS:
 OFFICE SPACE = 2700 SF
 1/300 SF = 2400 SF/300 = 9
 PROVIDED = 17
 RESIDENTIAL USE
 2/UNIT = 6x2 = 12
 PROVIDED = 12

TOTAL SPACES REQUIRED = 21
 TOTAL SPACES PROVIDED = 29



PREPARED FOR:

THE THIBODEAU FAMILY REV. TRUST
 PAUL F. & LINDA A. THIBODEAU TRUSTEES
 76 YOUNG ROAD
 BARRINGTON, NH 03825



70 PORTSMOUTH AVE.,
 THIRD FLOOR, SUITE 2
 STRATHAM, N.H. 03885
 PHONE: 603-583-4860,
 FAX: 603-583-4863

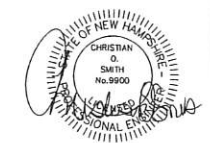
NOTES

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE
2. THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
3. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
4. ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
5. ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
6. PROJECT IS BASED ON USGS DATUM NAVD 1988 REFERENCE BENCHMARK.
7. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
8. SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
9. ALTERATION OF TERRAIN PERMIT RSA 485:A-17 IS REQUIRED.
10. THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD ZONE.

IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION

WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).

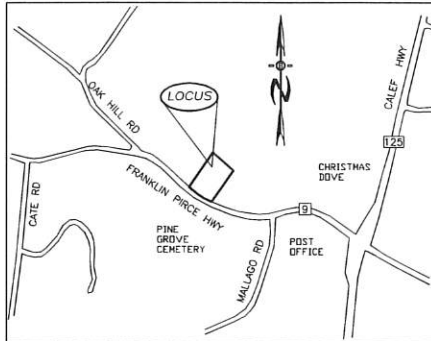


REVISIONS:	DATE:
PARKING & PAVEMENT PLAN	
FOR: MIXED-USE DEVELOPMENT ROUTE 9 BARRINGTON, NH	
DATE: AUG., 2022	SCALE: 1"=30'
PROJ. NO: NH-1387	SHEET NO. 2

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AUG 25 2022

LAND USE OFFICE



LOCATION MAP
1"=1000'

ZONING REQUIREMENTS

ZONE: REGIONAL COMMERCIAL

USE:	REGIONAL	COMMERCIAL
MIN. LOT SIZE =		40,000 SF
MIN. FRONTAGE =		200'
MAX. HEIGHT =		40'
BUILDING SETBACKS:		
FRONT		75'
SIDE & REAR		30'
WETLANDS		50'
LEACH FIELD SETBACKS		
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		75'

HISS STANDARDS:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED MARCH 2019, AND WAS PREPARED BY LUKE MURLEY, OF GOVE ENVIRONMENTAL SERVICES, INC. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011.

SOIL LEGEND:

SOIL SERIES	MAP UNIT	SOIL NO.	HYDROLOGIC GROUP
DEERFIELD	De	(313)	B
GLOUCESTER	Gs	(111)	A
SAUGATUCK	Sb	(16)	C
SAUGATUCK	Sb/P	(16)	C

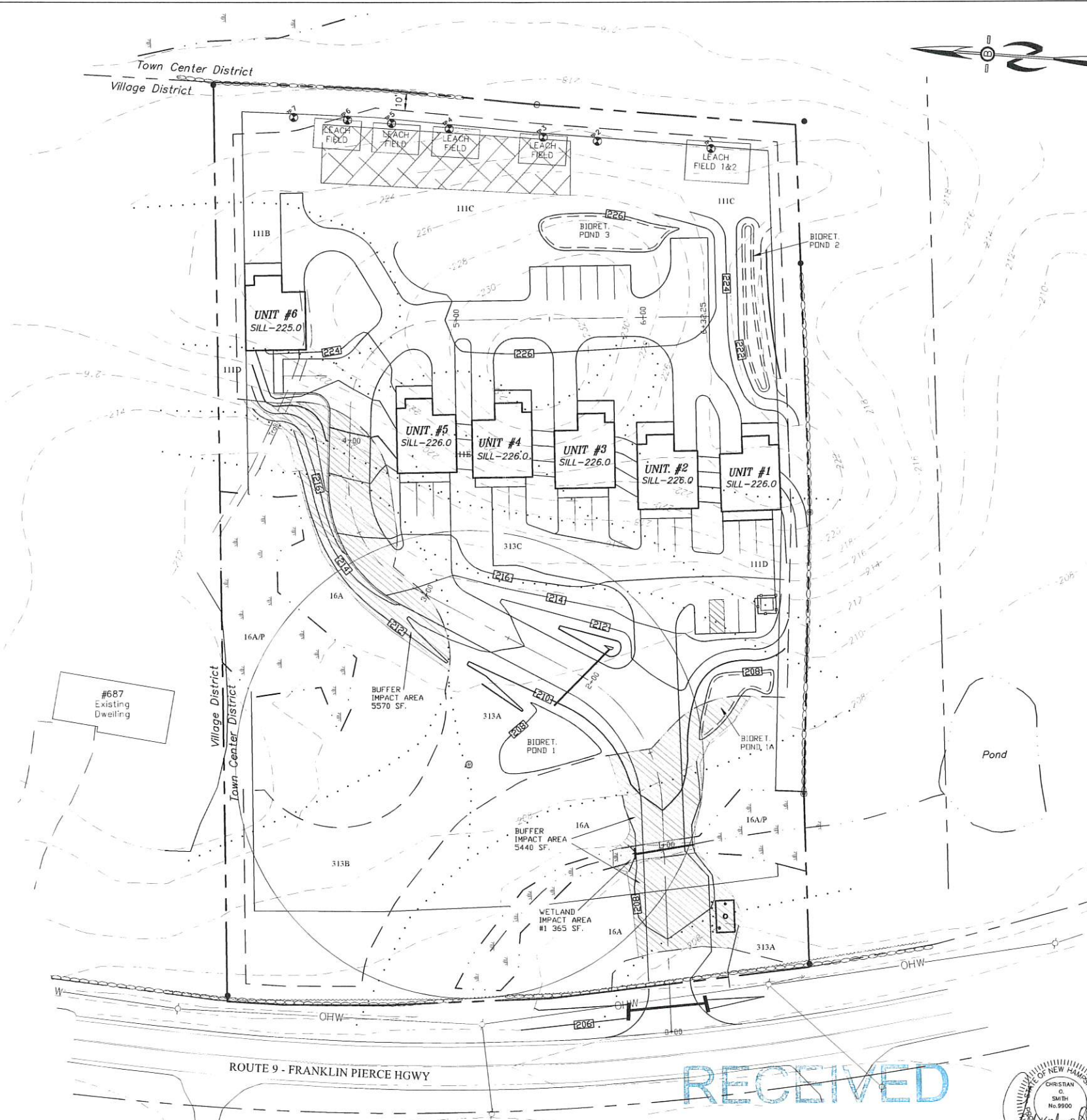
SLOPE CLASS:

0-8% = B
8-15% = C
15-25% = D
25-50% = E
>50% = F

DRAINAGE CLASS:

/P = POORLY DRAINED SOIL
/VP = VERY POORLY DRAINED

PLANNING BOARD APPROVAL BLOCK



PREPARED FOR:

THE THIBODEAU FAMILY REV. TRUST
PAUL F. & LINDA A. THIBODEAU TRUSTEES
76 YOUNG ROAD
BARRINGTON, NH 03825



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863

NOTES

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- PROJECT IS BASED ON USGS DATUM NAVD 1988. REFERENCE BENCHMARK:
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- ALTERATION OF TERRAIN PERMIT RSA 485-A:17 IS REQUIRED.
- THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD ZONE.

LEGEND

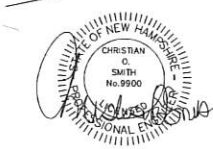
	UTILITY POLE
	TEST PIT W/ NO.
	STONE WALL
	TREE LINE
	EXISTING CONTOUR - 10'
	EXISTING CONTOUR - 2'
	OVERHEAD UTILITIES
	SOILS BOUNDARY LINE
	BUILDING SETBACK LINE
	WETLAND SETBACK LINE
	WETLAND BOUNDARY
	PRIME WETLAND BOUNDARY
	ABUTTING PROPERTY LINE
	EXISTING PROPERTY LINE
	4000 SF SEPTIC RESERVE AREA
	PROP. WELL W/ 75' PROTECTIVE RAD.

REVISIONS:	DATE:
GRADING PLAN	
FOR: MIXED-USE DEVELOPMENT ROUTE 9 BARRINGTON, NH	
DATE: AUG., 2022	SCALE: 1"=30'
PROJ. NO: NH-1387	SHEET NO. 3

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AUG 25 2022

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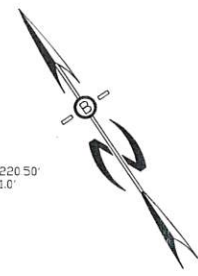


PLANNING BOARD APPROVAL BLOCK

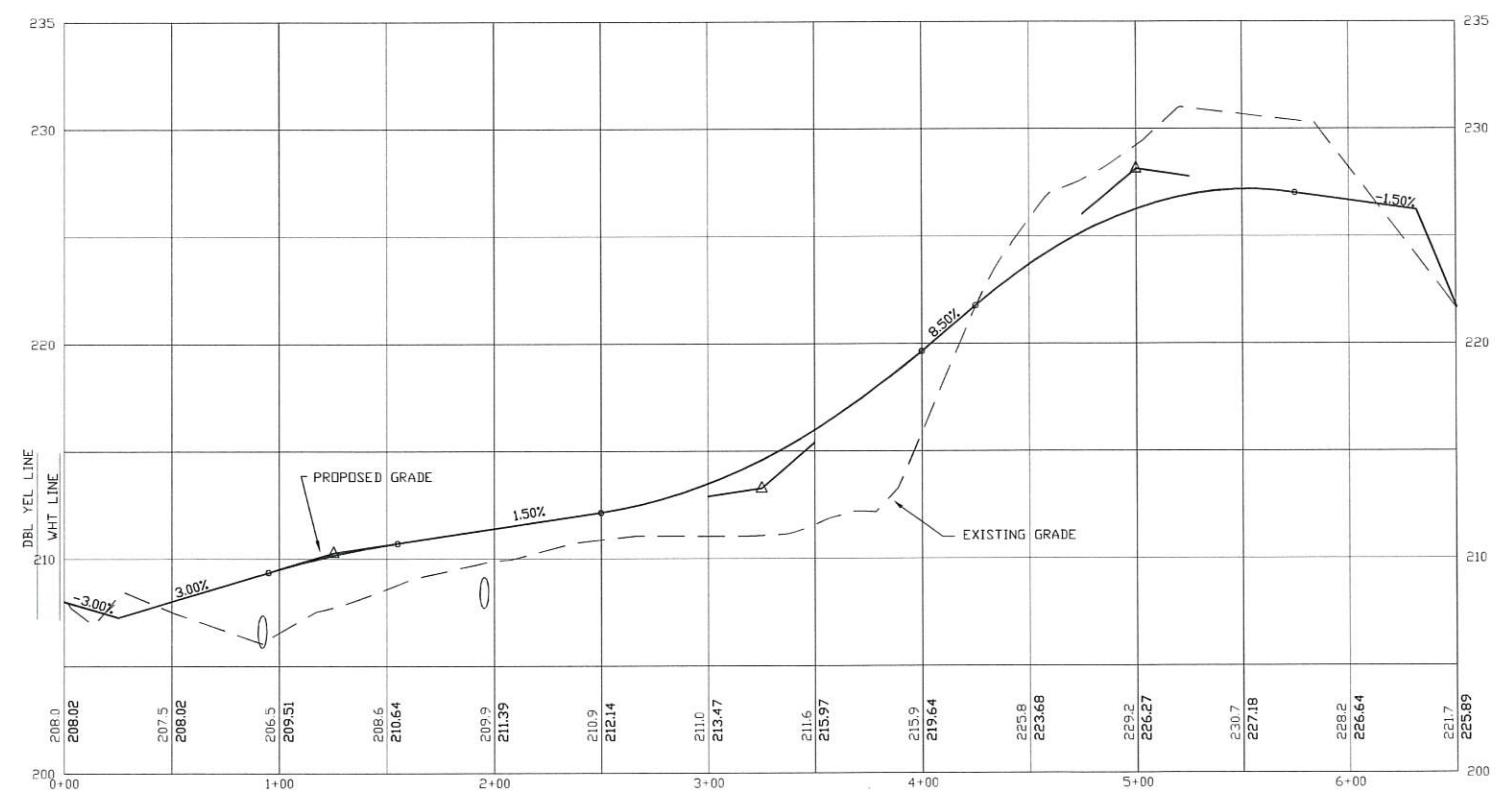
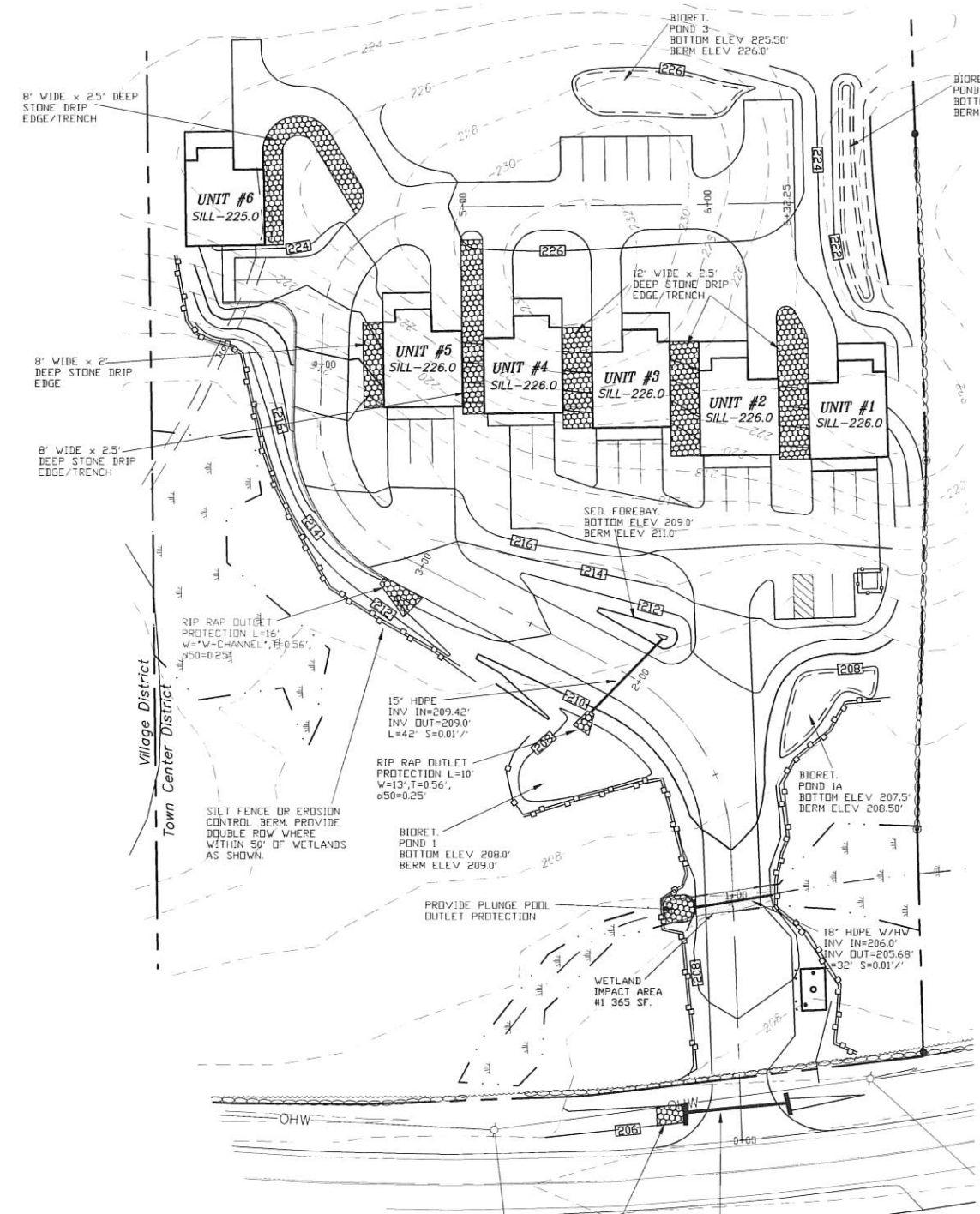
PREPARED FOR:
 THE THIBODEAU FAMILY REV. TRUST
 PAUL F. & LINDA A. THIBODEAU TRUSTEES
 76 YOUNG ROAD
 BARRINGTON, NH 03825

BA
BEALS
 ASSOCIATES, PLLC
 70 PORTSMOUTH AVE,
 THIRD FLOOR, SUITE 2
 STRATHAM, N.H. 03885
 PHONE: 603-583-4860,
 FAX: 603-583-4863

TABLE 7-24-RECOMMENDED RIP RAP GRADATION RANGES			
d50 SIZE=	0.25	FEET	3 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE(INCHES) FROM		TO
100%	5	6	
85%	4	5	
50%	3	5	
15%	1	2	



TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 2+50 TO 5+00 L&R-EVERY 23'



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

15' HDPE W/HW
 INV IN=205.0'
 INV OUT=204.78'
 L=43' S=0.005'/'

15' HDPE
 INV IN=209.42'
 INV OUT=209.0'
 L=42' S=0.01'/'

18' HDPE W/HW
 INV IN=206.0'
 INV OUT=205.68'
 L=32' S=0.01'/'

12' WIDE x 2.5' DEEP STONE DRIP EDGE/TRENCH

8' WIDE x 2.5' DEEP STONE DRIP EDGE/TRENCH

8' WIDE x 2' DEEP STONE DRIP EDGE

8' WIDE x 2.5' DEEP STONE DRIP EDGE/TRENCH

BIOMET. POND 3
 BOTTOM ELEV 225.50'
 BERM ELEV 226.0'

BIOMET. POND 2
 BOTTOM ELEV 220.50'
 BERM ELEV 221.0'

BIOMET. POND 1
 BOTTOM ELEV 208.0'
 BERM ELEV 209.0'

BIOMET. POND 1A
 BOTTOM ELEV 207.5'
 BERM ELEV 208.50'

SED FOREBAY
 BOTTOM ELEV 209.0'
 BERM ELEV 211.0'

WETLAND IMPACT AREA #1 365 SF.

RIP RAP OUTLET PROTECTION L=10'
 W=V-CANNELED, T=0.56',
 d50=0.25'

RIP RAP OUTLET PROTECTION L=16'
 W=V-CANNELED, T=0.36',
 d50=0.25'

RIP RAP OUTLET PROTECTION L=10'
 W=V-CANNELED, T=0.56',
 d50=0.25'

PROVIDE PLUNGE POOL OUTLET PROTECTION

PROVIDE SILT FENCE OR EROSION CONTROL BERM, PROVIDE DOUBLE ROW WHERE WITHIN 50' OF WETLANDS AS SHOWN.

OHW

PLAN SCALE:
 1"=30'

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 AUG 25 2022
 LAND USE OFFICE



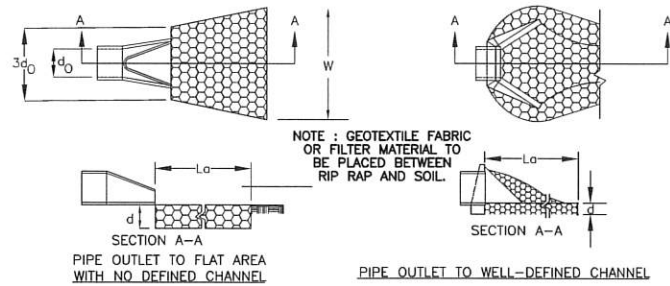
REVISIONS:	DATE:

PLAN & PROFILE - P1

FOR:
 MIXED-USE DEVELOPMENT
 ROUTE 9
 BARRINGTON, NH

DATE: AUG., 2022 SCALE: 1"=30'

PROJ. NO: NH-1387 SHEET NO. 4



NOTE: GEOTEXTILE FABRIC OR FILTER MATERIAL TO BE PLACED BETWEEN RIP RAP AND SOIL.

PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL
PIPE OUTLET TO WELL-DEFINED CHANNEL

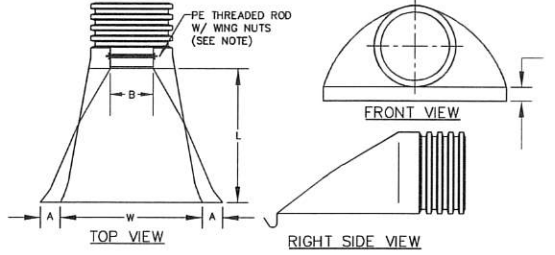
CONSTRUCTION SPECIFICATIONS

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. STONE FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
6. FLAT ROCKS SHALL NOT BE USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

MAINTENANCE

1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

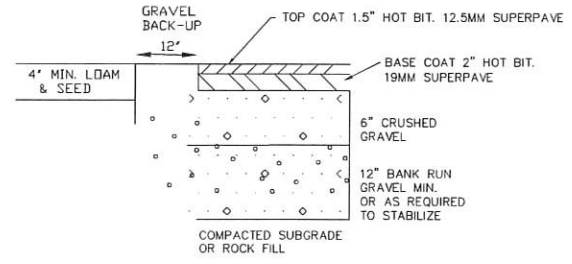
PIPE OUTLET PROTECTION



PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15" 375 mm	6.5" 165 mm	10" 254 mm	6.5" 165 mm	25" 635 mm	29" 735 mm
1810-NP	18" 450 mm	7.5" 190 mm	15" 380 mm	6.5" 165 mm	32" 812 mm	35" 890 mm
2410-NP	24" 600 mm	7.5" 190 mm	18" 450 mm	6.5" 165 mm	36" 900 mm	45" 1140 mm
3010-NP	30" 750 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm
3610-NP	36" 900 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm

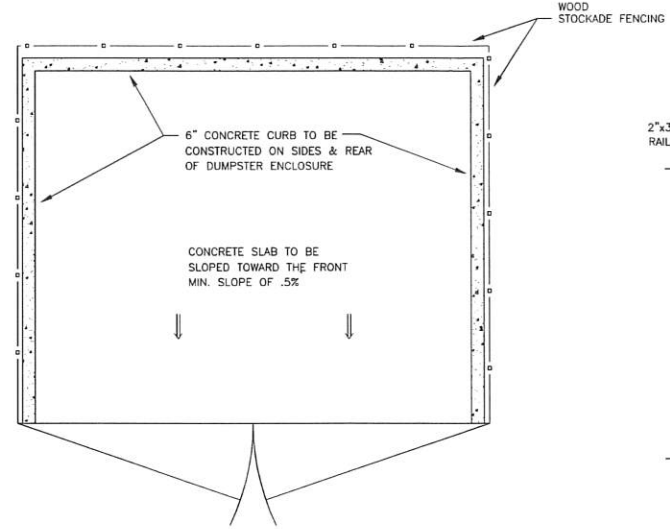
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

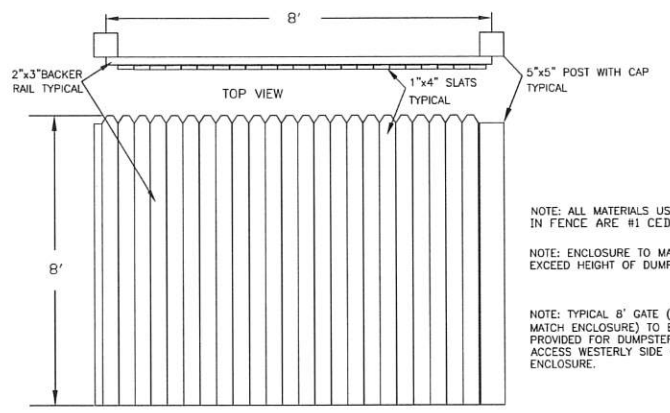


NOTE: IN AREAS OF ROCK EXCAVATION, MINIMUM 9" BANK RUN GRAVEL SHALL BE PLACED

TYPICAL PAVEMENT SECTION
NEW ASPHALT - NTS



DUMPSTER SLAB DETAILS
N.T.S.

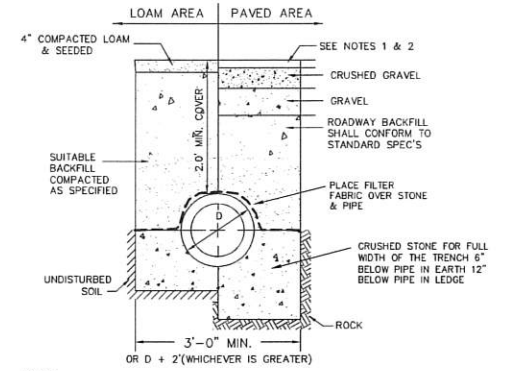


STOCKADE FENCE DETAIL
N.T.S.

NOTE: ALL MATERIALS USED IN FENCE ARE #1 CEDAR.

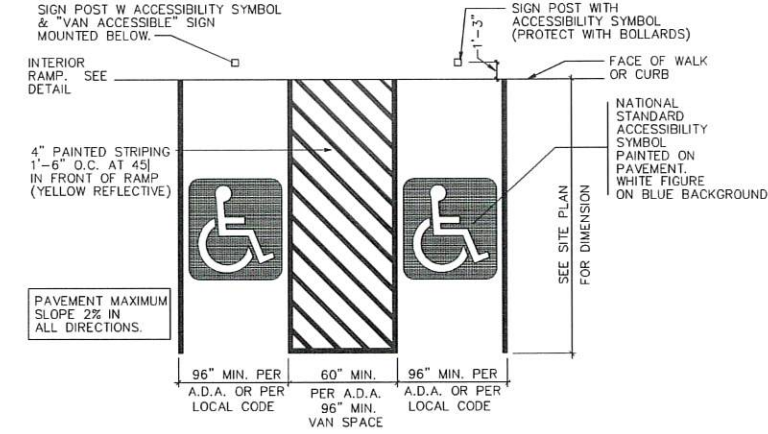
NOTE: ENCLOSURE TO MATCH OR EXCEED HEIGHT OF DUMPSTER

NOTE: TYPICAL 8' GATE (TO MATCH ENCLOSURE) TO BE PROVIDED FOR DUMPSTER ACCESS WESTERLY SIDE OF THE ENCLOSURE.



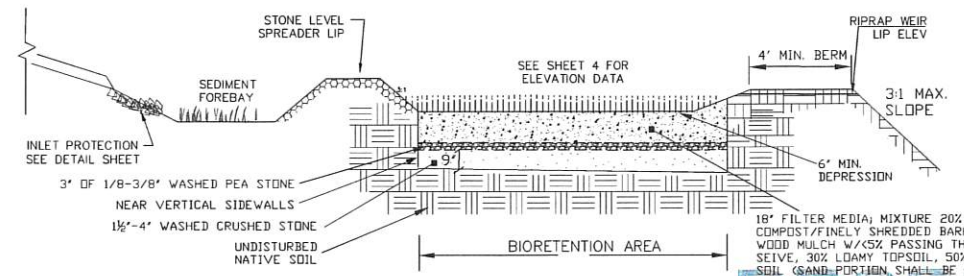
- NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.
- BACKFILL MATERIALS SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN 6".

TYPICAL DRAINAGE TRENCH DETAIL



PARKING STALL FOR THE PHYSICALLY CHALLENGED

NOT TO SCALE DEC. 15, 1991



- NOTES:
1. SCARIFY SIDES AND BOTTOM OF BIORETENTION AREA TO FACILITATE NATURAL INFILTRATION RATES.
 2. POND SURFACE TO BE FINISHED WITH 4" LOAM & SEED

BIORETENTION POND PROFILE DETAIL
NOT TO SCALE

RECEIVED

AUG 25 2022

LAND USE OFFICE

PREPARED FOR:
THE THIBODEAU FAMILY REV. TRUST
PAUL F. & LINDA A. THIBODEAU TRUSTEES
76 YOUNG ROAD
BARRINGTON, NH 03825



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



REVISIONS:	DATE:
CONSTRUCTION DETAILS D1	
FOR: MIXED-USE DEVELOPMENT ROUTE 9 BARRINGTON, NH	
DATE: AUG., 2022	SCALE: N/A
PROJ. NO: NH-1387	SHEET NO. 5

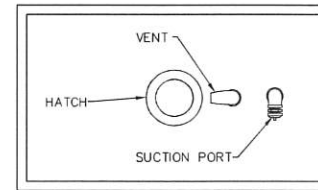
PREPARED FOR:
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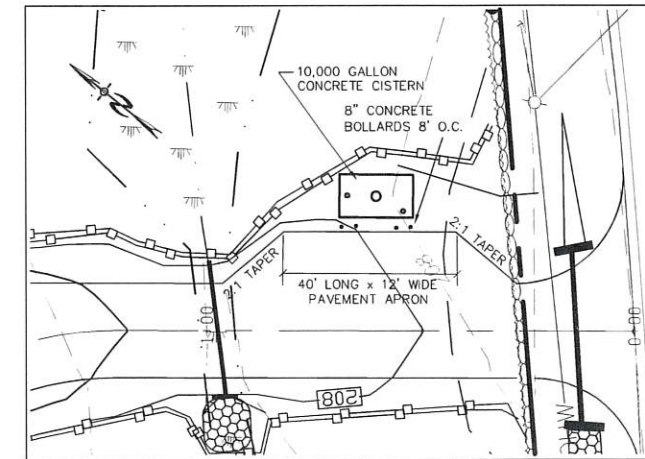
70 PORTSMOUTH AVE,
 THIRD FLOOR, SUITE 2
 STRATHAM, N.H. 03885
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CISTERN SPECIFICATIONS

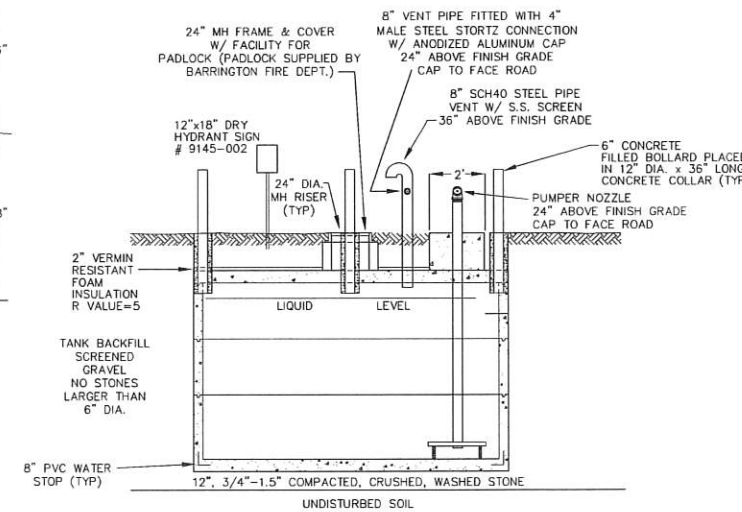
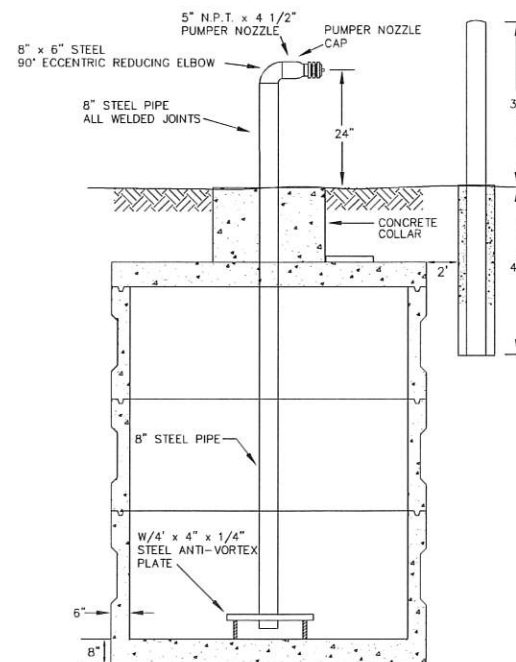
1. THE CISTERN SHALL BE DESIGNED TO BE TROUBLE FREE, AND IT SHALL BE DESIGNED TO LAST 50 YEARS.
2. THE MINIMUM CAPACITY SHALL BE 10,000 GALLONS, DEPENDING ON THE DEVELOPMENT LAYOUT/CONFIGURATION, ADDITIONAL GALLON REQUIREMENTS MAY BE IMPOSED AT THE DISCRETION OF THE FIRE CHIEF. ALL EXCEPTIONS, ADDITIONS, OR DELETIONS WILL BE IN WRITING.
3. THE SUCTION CAPACITY SHALL BE CAPABLE OF DELIVERING 1,000 GALLONS PER MINUTE (GPM) FOR THREE-QUARTERS OF THE CISTERN CAPACITY.
4. THE ENTIRE CISTERN AND APPURTENANCES SHALL BE RATED FOR HS-20 HIGHWAY LOADING.
5. DRAWINGS OF THE DESIGN ARE FOR ESTIMATING GENERAL REQUIREMENT AND DESIGN PURPOSES ONLY AND ARE NOT INTENDED FOR USE AS DESIGN.
6. EACH CISTERN SHALL BE DESIGNED, SITED TO THE PARTICULAR LOCATION, STAMPED BY A REGISTERED ENGINEER, AND APPROVED BY THE FIRE CHIEF.
7. ALL SUCTION AND FILL PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 40 STEEL. ALL VENT PIPING SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LEADING FROM THE TANK TO THE HYDRANT SHALL BE ASTM SCHEDULE 40 STEEL.
8. THE FINAL SUCTION CONNECTION SHALL BE FIVE INCH PUMPER NOZZLE WITH A CAP. THE SUCTION PIPE SHALL BE BRACED TO ENSURE DURABILITY DURING PUMPING OPERATIONS. THE FIRE CHIEF SHALL APPROVE BRACE CONFIGURATION AND INSTALLATION. THE SUCTION PIPE CONNECTION SHALL BE TWENTY-FOUR INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
9. THE FILLER CONNECTION SHALL BE INTALLED INTO THE EIGHT INCH VENT WITH 4" MALE STEEL STORZ FITTING. THIS FITTING SHALL BE 24" ABOVE FINISH GRADE AND FACE THE ROAD. A THIRTY-TWO INCH DIAMETER MANHOLE WITH COVER WILL BE LOCATED ON TOP OF THE CISTERN. THE CONFIGURATION OF THIS MANHOLE SHALL ALLOW THE UNIT TO BE SECURED WITH TWO PADLOCKS AND SHALL BE APPROVED BY THE FIRE CHIEF. THE PADLOCKS WILL BE SUPPLIED BY THE FIRE DEPARTMENT.
10. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE PUMPER CONNECTION SHALL NOT EXCEED FOURTEEN FEET VERTICAL.
11. ALL HORIZONTAL SUCTION PIPING SHALL SLOPE SLIGHTLY UPHILL TOWARD THE PUMPER CONNECTION.
12. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE INCHES OF 3/4" TO 1 1/2" WASHED PEA STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE. OVER EXCAVATION SHALL BE FILLED WITH THE SAME STONE BEDDING MATERIAL.
13. ALL BACKFILL MATERIALS SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN SIX INCHES AND SHALL BE COMPACTED TO 95 PERCENT OF ITS ORIGINAL VOLUME IN ACCORDANCE WITH ASTM D 1557. 16. THE TOP OF CISTERN SHALL BE INSULATED WITH VERMIN RESISTANT FOAM INSULATION AND TWO FEET OF BACKFILL WITH A MINIMUM WEIGHT OF 120 PCF, COMPACTED. FOAM USED FOR THIS INSTALLATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R=5 PER INCH. ALL BACKFILL SHALL EXTEND TEN FEET BEYOND THE EDGE OF THE VEHICLE PAD AND THEN HAVE A MAXIMUM OF 3:1 SLOPE, LOAM AND SEDED.
14. BEFORE ANY BACKFILLING IS DONE THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BY THE FIRE CHIEF.
15. AFTER BACKFILLING, BOLLARDS OR LARGE STONES SHALL BE PLACED TO PROTECT THE TANK AND APPURTENANCES.
16. THE PITCH OF THE SHOULDER AND VEHICLE PAD FROM THE EDGE OF THE PAVEMENT TO THE PUMPER SUCTION CONNECTION SHALL BE ONE PERCENT TO THREE PERCENT DOWNGRADE.
17. THE SHOULDER AND VEHICLE PAD SHALL BE OF A SUFFICIENT LENGTH TO ALLOW CONVENIENT ACCESS TO THE SUCTION CONNECTION WHEN THE PUMPER IS SET AT 45 DEGREES TO THE ROAD. THE SHOULDER AND VEHICLE PAD SECTION SHALL CONSIST OF 3" BITUMINOUS PAVING, REFER TO SITE PLAN FOR REQUIREMENTS.
18. THE SUCTION FITTING SHALL BE LOCATED BETWEEN 22 AND 24 FEET FROM THE NEAREST RUNNING EDGE OF ROAD PAVEMENT. TWO CONCRETE FILLED STEEL BOLLARDS SHALL BE PLACED IN A MANNER TO PROTECT THE HYDRANT. THE BASE OF THESE BOLLARDS SHALL EXTEND BELOW THE FROST LINE. THE UPPER PORTION OF THE BOLLARDS SHALL EXTEND THIRTY SIX INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
19. ALL CONSTRUCTION, BACKFILL, AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND SHALL BE ACCEPTABLE TO THE FIRE CHIEF.
20. THE FIRE CHIEF (OR REPRESENTATIVE) AND THE ENGINEER'S INSPECTOR WILL BE NOTIFIED BY THE CONTRACTOR TO OBSERVE THE FOLLOWING POINTS OF INSTALLATION:
 - A. EXCAVATION COMPLETE.
 - B. CRUSHED STONE INSTALLED AND COMPACTED
 - C. BACKFILLING COMPLETE PRIOR TO PLACEMENT OF INSULATION.
 - D. PLACEMENT OF INSULATION.
 - E. START AND FINISH OF LEAKAGE TEST.
 - F. PIPING MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
 - G. ALL BACKFILLING LOAM, SEED, ETC. COMPLETE WITH TURNOUT GRAVEL IN PLACE AND GRADED.
 - H. PAVEMENT COMPLETE, AND ALL OTHER WORK 100% COMPLETE.
21. THE FIRE CHIEF SHALL BE NOTIFIED OF THE DATE THAT SITE WORK IS TO BEGIN.
22. ANY EXCEPTION, ADDITIONS, OR DELETIONS ARE DATED AND NOTED BELOW:
23. CONCRETE MUST HAVE A MINIMUM OF 150 PCF.
24. STONE AND GRAVEL BACKFILL MUST HAVE A MINIMUM OF 120 PCF.



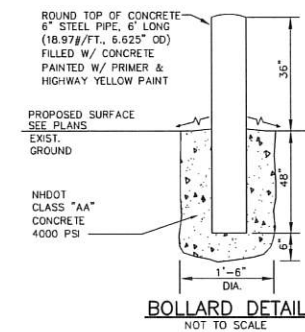
CISTERN DETAILS
NOT TO SCALE



CISTERN PLAN



- NOTES:
- 1.) 10,000 GAL. CONCRETE TANK AVAILABLE AT E.F.SHEA, NEW ENGLAND CONCRETE PRODUCTS, INC. OR EQUIV.
 - 2.) HYDRANT STRUCTURE AVAILABLE FROM COULD SUPPLY OR EQUIV.
 - 3.) THE INSTALLER IS RESPONSIBLE FOR FILING THE TANKS AFTER INSTALLATION.
 - 4.) TANK CAPACITY: 9' x 16' x 8'5\"/>
 - 5.) SEE TOWN OF BARRINGTON FIRE PROTECTION CISTERN SPECIFICATIONS (40 PARAGRAPH LISTING)



BOLLARD DETAIL
NOT TO SCALE

REVISIONS:	DATE:
CISTERN DETAIL SHEET	
FOR: MIXED-USE DEVELOPMENT ROUTE 9 BARRINGTON, NH	
DATE: AUG., 2022	SCALE: NONE
PROJ. NO: NH-1387	SHEET NO. 6

AUG 25 2022

LAND USE OFFICE

