



THE RIDGE AT GREENHILL SUBDIVISION OLD GREEN HILL ROAD/ROUTE 125

PLEASE REPORT OBSERVATIONS OF RARE TURTLES
The NH Fish & Game Department is requesting observations of the following turtle species:



Blanding's turtle
(State Endangered)
Large, dark/black domed shell with lighter species.
Distinct yellow throat/face.
Aquatic but often moves on land.



Spotted turtle
(State Threatened)
Small, mostly aquatic with black or dark brown with yellow spots.
Faintly flat shell compared to Blanding's turtle.
Spots vary in color and number.

Report sightings immediately to the NH Fish & Game Department at 603-271-2461 (M-F 9-4) or to NH Fish & Game Department's Regional Offices at 603-271-2461 (M-F 9-4) or to NH Fish & Game Department's Regional Offices at 603-271-2461 (M-F 9-4) or to NH Fish & Game Department's Regional Offices at 603-271-2461 (M-F 9-4).

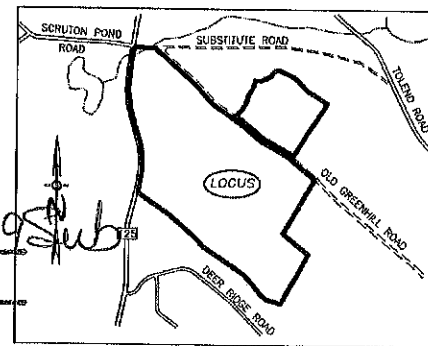
**PLANNING BOARD
BARRINGTON, NH**

APPROVED

File Number 223-2624-RC-19 Sub

Date 2/7/2022

Chairman 

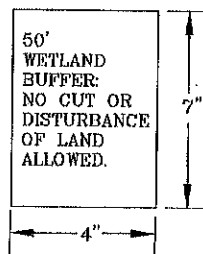


LOCATION MAP
1"=1500'

NEW HAMPSHIRE FISH AND GAME AOT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES:

- BLANDING'S TURTLES (STATE ENDANGERED) AND SPOTTED TURTLES (STATE-THREATENED) OCCUR WITHIN THE VICINITY OF THE PROJECT AREA. SITE OPERATORS SHALL BE INFORMED OF THE POTENTIAL PRESENCE OF THESE SPECIES AND SHALL BE PROVIDED A FLYER THAT HELPS TO IDENTIFY THESE SPECIES ALONG WITH NHFG CONTACT INFORMATION. SEE THIS SHEET.
- TURTLES MAY BE ATTRACTED TO DISTURBED GROUND DURING NESTING SEASON (MAY 15TH - JUNE 30TH). ALL TURTLE SPECIES NESTS ARE PROTECTED BY NH LAWS. IF A NEST IS OBSERVED OR SUSPECTED, PLEASE CONTACT MELISSA DOPERALSKI (603-478-1129) OR JOSH MEGYESY (978-578-0802) AT NHFG IMMEDIATELY FOR FURTHER CONSULTATION.
- WETLANDS SHALL BE GIVEN A 50' NO-CUT, NO DISTURB BUFFER WITH THE FOLLOWING EXCEPTIONS AS SHOWN IN "NH-1144 FULL PLAN SET" SUBMITTED TO NHFG 9/2/21. PLACARDS STATING "NO CUT, NO DISTURB" SHALL BE INSTALLED EVERY 50 FEET ALONG BUFFER PRIOR TO ANY LAND DISTURBANCE ON THE SITE. SEE THIS SHEET FOR SPECS.
 - WETLAND CROSSING (SHEET 20 OF 37, LAST REVISED 7/24/19)
 - DRAINAGE AREAS AS ALLOWED BY THE TOWN OF BARRINGTON FOR BMP DRAINAGE PONDS SHOWN ON PAGE 6 AND 7 OF 11 (LAST REVISED 8/30/21 AND 10/1/20, RESPECTIVELY)
 - WETLAND IMPACT FOR CULVERT EXTENSION UNDER RT 125 (SHEET 16 OF 37, LAST REVISED 8/24/21)
- NO SUMPS SHALL BE INCLUDED IN THE DESIGN OF CATCH BASINS WHEN LOCATED NEAR OR WITHIN GRASSY AREAS TO AVOID THE ENTRAPMENT OF RARE WILDLIFE SPECIES ASIDE FROM THE ABOVE MENTIONED DRAINAGE STRUCTURE IN THE GRAVEL. WETLAND (SHEET 29 OF 37, LAST REVISED 3/4/20). THIS STRUCTURE SHALL HAVE A METAL PLATE WITH 1/8 INCH HOLES DRILLED 1" ON CENTER ON TOP OF THE TRASH RACK IN ORDER TO AVOID THE ENTRAPMENT OF RARE WILDLIFE SPECIES. SEE PLAN SHEETS 27-29 & 31 FOR SPECS.
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENY-WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH. SEE PLAN SHEET 33 FOR SPECS.
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV. EMAIL SUBJECT LINE: NHB20-2876, PROJECT NAME, WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE.
- THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

BLANDING'S & SPOTTED TURTLES HAVE BEEN REPORTED IN THE AREA. IF SPOTTED OR BLANDING'S TURTLES ARE FOUND LAYING EGGS IN THE WORK AREA, PLEASE CONTACT MELISSA DOPERALSKI AT 271-1738 or JOSH MEGYESY AT 271-1125 FOR FURTHER INSTRUCTIONS

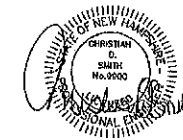


WETLAND BUFFER PLACARD DETAIL. PLACARDS TO BE HARDENED PLASTIC OR ALUMINUM, AND SCREWED TO TREES OR MOUNTED ON PERMANENT SET POSTS.

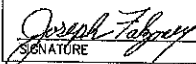


REQUIRED PERMITS

NHDES SUBDIVISION APPROVAL NUMBER: SA2022011402
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: Aot 2069
NHDES WETLANDS PERMIT APPROVAL NUMBER: 2019-03660
NHDOT DRIVEWAY ACCESS PERMIT #06-027-555



DEVELOPER:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

 2/1/2022
SIGNATURE DATE

REVISIONS:	DATE:
REVISED ROAD GRADES PER PB COMMENTS	6-5-18
REVISED PER ENG. REVIEW COMMENTS	6-20-19
REVISED PER REVIEW COMMENTS	7-24-19
REVISED ACCESS DESIGN	10-8-20
REVISED PER AOT REVIEW COMMENTS	11-15-21
REVISED PER NHFG CONDITIONS	12-1-21
REVISED PER AOT REVIEW COMMENTS	1-5-22
FINAL TOWN APPROVAL	2-4-22

WETLAND/SOIL CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

TRAFFIC ENGINEERS:



35 N.E. BUSINESS CENTER DRIVE
ANDOVER, MA 01810-1071
TEL: (978) 474-8800
www.rdvo.com

LAND SURVEYORS:



102 Kent Place, Newmarket, NH 03857-0163
Voice (603) 659-8500, Data (603) 659-4110

CIVIL ENGINEERS:



SUBDIVISION PLAN NOTES:

- 1. REFERENCE: TAX MAP 223, LOTS 24 & 28 D.S.I. PROJECT NO. 5750
2. TOTAL PARCEL AREA: LOT 24-1,403,900 SQ. FT. OR 32.25 AC. LOT 28-7,820,498 SQ. FT. OR 179.53 AC.
3. OWNER OF RECORD: ROUTE 125 DEVELOPMENT, LLC 78 EMERY LAKE STRATHAM, NH 03885 S.C.R.D. BOOK 4885, PAGE 975
4. ZONE: REGIONAL COMMERCIAL DIMENSIONAL REQUIREMENTS:

Table with 3 columns: REGIONAL COMMERCIAL, CONSERVATION SUBDIVISION, DIMENSIONAL REQUIREMENTS. Rows include MIN. LOT AREA, MIN. FRONTAGE, MIN. FRONT-SETBACK, MIN. SIDE/REAR SETBACK, MAX. BUILDING HEIGHT, MAX. LOT COVERAGE, WETLAND SETBACKS.

- ADDITIONAL CONSERVATION SUBDIVISION REQUIREMENTS: -MIN. PARENT PARCEL SIZE: 200 A. -MIN. PERIMETER BUFFER: 100 FT. -LEACH FIELD SETBACK: 50 FT. (POORLY DRAINED SOILS) 75 FT. (VERY POORLY DRAINED SOILS)

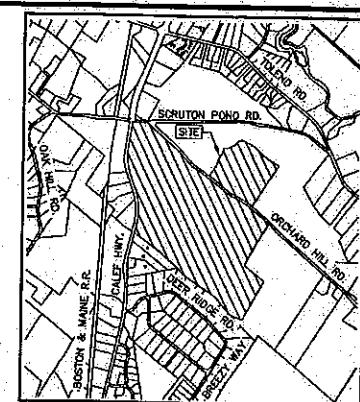
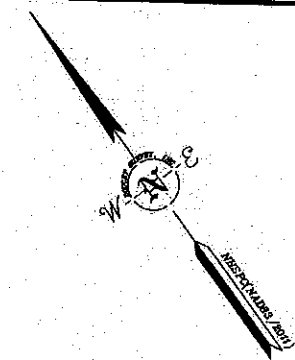
ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF BARRINGTON ZONING ORDINANCE DATED MARCH 13, 2018 AS AVAILABLE ON THE TOWN WEBSITE ON DECEMBER 18, 2018. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.

- 5. FIELD SURVEY PERFORMED BY G.A.N. & S.N.F. DURING OCTOBER, NOVEMBER & DECEMBER 2018 USING A TRIMBLE 56 TOTAL STATION AND A TRIMBLE RB SURVEY GRADE GPS WITH A TRIMBLE TS03 DATA COLLECTOR AND A SOKKIA BEI AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
6. JURISDICTIONAL WETLANDS DELINEATED BY COVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2018 IN ACCORDANCE TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL. NO REVISIONAL AND BROADCAST RECORDS VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
7. FLOOD HAZARD ZONE: 'X'; PER FIRM MAP 33017003086, DATED 09/30/2016.
8. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE (2000) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
9. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(CE0012A) (L-2) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
10. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
11. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF ROUTE 125 & OLD GREEN HILL ROAD AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE TOWN OF BARRINGTON, STRAFFORD COUNTY REGISTRY OF DEEDS AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
12. ROUTE 125/CALEF HIGHWAY IS A 4 R.O.D. (68' WIDE) RIGHT OF WAY PER REFERENCE PLAN #1. OLD GREEN HILL ROAD IS A CLASS 'M' ROAD CLOSED SUBJECT TO GATES AND BARS, SEE 1999 WARRANT ARTICLE 304.
EDGE OF ROUTE 125 RIGHT OF WAY ESTABLISHED BY HOLDING THE HIGHWAY BOUND AS NOTED NEAR OLD GREEN HILL ROAD (STA. 200+44) AND ROTATING THE REFERENCE PLAN 1 ALIGNMENT TO THE HIGHWAY BOUND AS NOTED AT THE INTERSECTION OF THE SOUTHERLY LOT LINE AND THE ROUTE 125 RIGHT OF WAY (STA. 273+39). PER REFERENCE PLAN 1 AND NHDOT FIELD NOTES BOUND IN THE SAME LOCATION THAT WAS OFFSET 31' FROM THE CENTERLINE OF THE BOUND ALIGNMENT, DOUGET SURVEY HELD 31' OFF THE CENTERLINE OF THE ALIGNMENT TO THE BOUND LOCATION AND THUS THE LOCATION OF THE LOT CORNER IS S83°43'48" E, 2.16' FROM THE BOUND LOCATION AND 33' FROM THE CENTERLINE OF THE ALIGNMENT. DOUGET SURVEY MEET WITH THE NHDOT RIGHT OF WAY DEPARTMENT ON FEBRUARY 4, 2020 TO VERIFY THE ABOVE MENTIONED RIGHT OF WAY APPROACH.
FULL BOUNDARY RESEARCH WAS NOT COMPLETED FOR THE PARCELS ON THE WESTERLY SIDE OF ROUTE 125. EDGE OF RIGHT OF WAY IS BASED ENTIRELY ON REFERENCE PLAN 1. NO TAKING WAS FOUND FOR THE HATCHED AREA ALONG TAX MAP 223, LOTS 2 & 3, BUT SHOULD BE VERIFIED WITH NHDOT PRIOR TO DESIGN. REFERENCE PLANS 7 & 8 APPEAR TO HOLD THE SAME EDGE OF RIGHT OF WAY AS SHOWN.
13. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON. DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE 'MONUMENTATION LOCATION PLAN' TO BE RECORDED OR CONTACT DOUGET SURVEY, INC. FOR CLARIFICATION OF MONUMENTS SET.
14. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL 800-SAFE AT 1-888-DIG-SAFE.
15. AERIAL TOPOGRAPHY WAS CONDUCTED BY EASTERN TOPOGRAPHICS FROM IMAGES TAKEN DURING MAY 2003 WITH A PHOTO SCALE OF 1"=475'. CONTOURS AND OBJECTS SHOWN WITHIN OBTAINED AREAS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE USE FOR DESIGN OR CONSTRUCTION PURPOSES.
16. TAX MAP 223, LOT 28 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD: A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 780, PAGE 174; ACTUAL LOCATION UNKNOWN. B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 729, PAGE 219; ACTUAL LOCATION UNKNOWN.
17. CEMETERY SUBJECT TO N.H.R.S.A. 289:3. IF NEW CONSTRUCTION, EXCAVATION, OR BUILDING IN THE AREA OF A KNOWN BURIAL SITE SHALL COMPLY WITH THE RULES OF LICENSURE FOR REGULATIONS NO NEW CONSTRUCTION, EXCAVATION, OR BUILDING SHALL BE CONDUCTED WITHIN 25' OF THE BOUNDARY OF THE BURIAL GROUND.
18. NHDES STATE SUBDIVISION APPROVAL #SA2022011402, DATED 1/14/22.
19. NHDES ALTERATION OF TERRAIN APPROVAL #A67-2069, DATED 1/5/22. ALL COMMERCIAL LOTS WILL REQUIRE AN ALTERATION OF TERRAIN PERMIT.
20. NHDES WETLAND PERMIT APPROVAL #2019-03860, DATED 6/2/20.
21. NHDOT ACCESS PERMIT #06-027-555, DATED 12/23/21.

SHEET 2 - SUBDIVISION PLAN SHEET 6 - EASEMENT PLAN PLANNING BOARD BARRINGTON, NH APPROVED File Number 203-26124-RC-1981 Date 2/7/2022 Chairman

- REFERENCE PLANS: 1. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED UPGRADE PROJECT (CONTRACT BETTERTOWN) B-2172, N.H. PROJECT NO. 5-2095, CALEF RD. (N.H. 126), DATED 7-22-78, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
2. 'BOUNDARY PLAN OF LAND IN BARRINGTON, NEW HAMPSHIRE BELONGING TO M.D. & C.D. HELFOOT', BY GLE & SINGER LAND SURVEYS, DATED SEPTEMBER 14, 1971, S.C.R.D. POCKET #9, FOLDER #1, PLAN #33, 33A, 33B, 33C & 33D.
3. 'SUBDIVISION PLAN PREPARED FOR MCV INC. OF LAND IN THE NAME OF ANTONIO G. RIZZO AND CHERYL M. RIZZO OF MAP 12, LOT 99, LOCATED AT ROUTE 125, COUNTY OF STRAFFORD, S.C.R.D. PLAN #67-17.
4. 'WIDENWOOD ESTATES PLAN OF LAND IN BARRINGTON, N.H. PREPARED FOR MILDRED G. ALLEN', BY ROBERT G. COLBATH SURVEYOR, DATED JULY 2, 1984, S.C.R.D. PLAN #24A-132 & 24A-133.
5. 'SUBDIVISION OF LAND PREPARED FOR JIM AND SUSANNE JAGIELSKI, 17 DEER RIDGE DRIVE, BARRINGTON, NH', BY MCNEANEY SURVEY ASSOCIATES, INC., DATED SEPTEMBER 12, 1997, S.C.R.D. PLAN #41-10.
6. 'STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 018-1(10), N.H. PROJECT NO. 5-2095-A, N.H. ROUTE 125-CALEF ROAD', DATED 8-28-77, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
7. 'SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR VAN E. HERTEL', BY NORTH COUNTRY SURVEYORS, DATED MAY 16, 1990, S.C.R.D. PLAN #38-131.
8. 'SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR KEITH WESTON & THOMAS DELONG', BY NORTH COUNTRY SURVEYORS, DATED JUNE 30, 1992, S.C.R.D. PLAN #41-70.
9. 'SUBDIVISION OF LAND FOR BRUCE WILLIAMS ASSOCIATES, INC.', BY WHITE MOUNTAIN SURVEY COMPANY, DATED APRIL 26, 1983, S.C.R.D. PLAN #24-21 & 22.

- ABUTTERS LIST: TAX MAP 220 LOT 57 246 REAL ESTATE HOLDINGS LLC 24 SERENITY WAY BARRINGTON, NH 03825 S.C.R.D. BOOK 4364 PAGE 439
TAX MAP 223 LOT 1 LORAN & DARRYL WRIGHT BARTON 38 CALIFORNIA ST #3 WATERTOWN, MA 02472 S.C.R.D. BOOK 3743 PAGE 129
TAX MAP 223 LOT 2 SBA TOWERS II LLC 8051 CONGRESS AVE. BOCA RATON, FL 33487 S.C.R.D. BOOK 3898 PAGE 505
TAX MAP 223 LOT 3 ANTHONY SMITH 262 CALEF HWY BARRINGTON, NH 03825 S.C.R.D. BOOK 3121 PAGE 186
TAX MAP 223 LOT 6 248 CALEF HIGHWAY LLC 678 FIRST NH TPK NORTHWOOD, NH 03261 S.C.R.D. BOOK 4482 PAGE 998
TAX MAP 223 LOT 7 246 REAL ESTATE HOLDINGS LLC 24 SERENITY WAY BARRINGTON, NH 03825 S.C.R.D. BOOK 4364 PAGE 780
TAX MAP 223 LOT 8 ATLANTIC TRADE PARK LLC PO BOX 451 NEW CASTLE, NH 03854 S.C.R.D. BOOK 3743 PAGE 145
TAX MAP 223 LOT 12 LET PROPERTY MGMT LLC 80 BOX 703 BARRINGTON, NH 03825 S.C.R.D. BOOK 3780 PAGE 999
TAX MAP 223 LOT 22 TOWN OF BARRINGTON PO BOX 860 BARRINGTON, NH 03825 S.C.R.D. BOOK 3928 PAGE 1
TAX MAP 223 LOT 23 JAMES E & STEVEN E & KATHERINE D OSWICK 324 DEN QUARRY RD LYNN, MA 01904 S.C.R.D. BOOK 4307 PAGE 531
TAX MAP 223 LOT 24 RINA WYBRE & PAUL C HELFOOT & CAROL H LEDBETTER (S EA) 4218 ALTA VISTA CT OCEANSIDE, CA 92057 S.C.R.D. BOOK 4082 PAGE 843
TAX MAP 223 LOT 25 RAYMOND LAFRANCE 1030 LUCAS WAY PALMER, AK 99645
TAX MAP 223 LOT 27 NOT PARCEL INFORMATION AVAILABLE PER THE TOWN OF BARRINGTON
TAX MAP 223 LOT 28 BOSTON & WAINE LLC & GULFPORT TRANSPORT INC & IRON HORSE PK NORTH BLENHEIM, MA 01882
TAX MAP 223 LOT 28 JAMES E & STEVEN E & KATHERINE D OSWICK 324 DEN QUARRY RD LYNN, MA 01904 S.C.R.D. BOOK 4307 PAGE 531
TAX MAP 235 LOT 19 BASIL & DONNA PHOFOLOS 47 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 4310 PAGE 127
TAX MAP 235 LOT 20 CALLUM OGDHAM 53 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 4575 PAGE 882
TAX MAP 235 LOT 21 DAVID J & KATHLEEN M SARTORIUS 83 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 4505 PAGE 281
TAX MAP 235 LOT 24 TIMOTHY & SAMANTHA JAMES 95 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 4310 PAGE 127
TAX MAP 235 LOT 25 JIM & SUSANNE JAGIELSKI 103 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1538 PAGE 252
TAX MAP 235 LOT 26 TYRON NEHRAM & ALLISON ROBERTS 111 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 2634 PAGE 445
TAX MAP 235 LOT 27 TOWN OF BARRINGTON 67 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1902 PAGE 63
TAX MAP 235 LOT 28 DAVID BRISON & MARY DOTY 81 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1444 PAGE 117



- LEGEND: LOT LINE, PROPOSED LOT LINE, BUILDING SETBACK LINE, WETLAND SETBACK LINE, APPROXIMATE ABUTTERS LOT LINE, STONE WALL, REMAINT STONE WALL, EDGE OF WETLAND, STREAM, BOUND FOUND, DRILL HOLE FOUND, IRON PIPE/ROD FOUND, 4"x4" GRANITE BOUND TO BE SET, 5/8" REBAR W/D CAP TO BE SET, SOUND FOUND, DRILL HOLE SET, DRILL HOLE FOUND, BARBED WIRE, CONCRETE, GRANITE, DRILL HOLE, WETLAND SYMBOL, PROPOSED STREET ADDRESS, PROPOSED SUBDIVISION LOT #
LEGEND (EASTERN TOPOGRAPHICS): BUILDING, PAVED ROAD, GRAVEL ROAD, BRIDGE, PAYMENT OBTAINED, DRIVEWAY, DRIVEWAY UNPAVED, DRIVEWAY OBTAINED, FENCE OBTAINED, WALL OBTAINED, STONEWALL, BROOK/STREAM, SWAMP LIMIT

SCALE: 1 INCH = 300 FT.

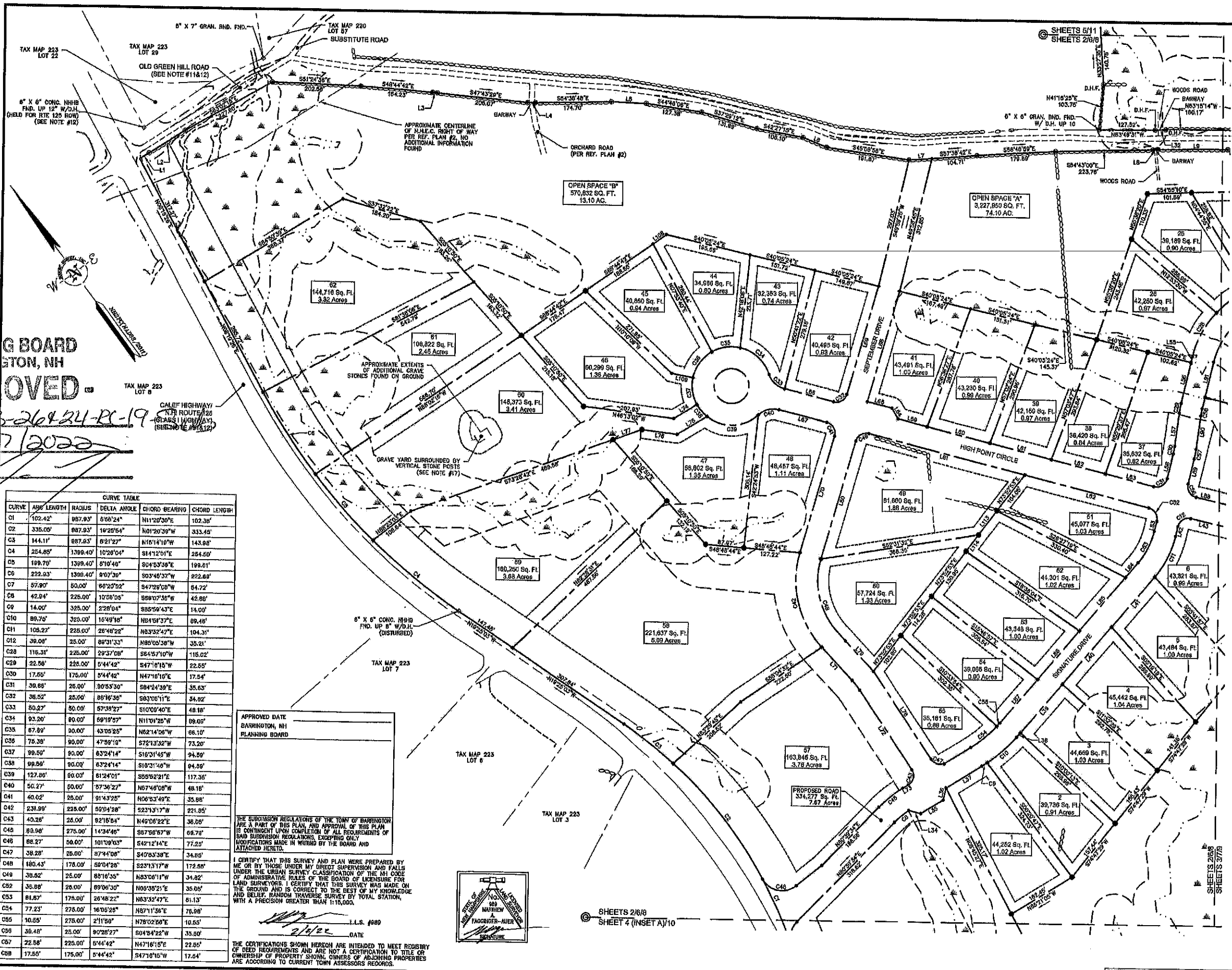
SUBDIVISION PLAN "THE RIDGE AT GREEN HILL" FOR HARBOR STREET LIMITED PARTNERSHIP LAND OF ROUTE 125 DEVELOPMENT, LLC (TAX MAP 223, LOTS 24 & 28) ROUTE 125/CALEF HIGHWAY BARRINGTON, NEW HAMPSHIRE

Table with 3 columns: NO., DATE, DESCRIPTION. Rows include 1/14/22 REVISE COMMERCIAL LOT NUMBERS, 1/17/22/21 REVISE LOT C2 DRAINAGE EASEMENT, 10/20/21 REVISE LOTS 13-15, 7/10/15/21 REVISE EASEMENT, 6/30/21 ADD LOT C4 DRAINAGE EASEMENT, 5/4/13/21 ADD EASEMENTS, 4/10/1/20 REVISED LAYOUT, 3/4/2/20 REVISE EASEMENTS, 2/19/20 REVISED ROAD LAYOUT, 1/7/10/10 REVIEWS PER PLANNERS COMMENTS.

Table with 2 columns: DRAWN BY, DATE; CHECKED BY, DRAWING NO.; JOB NO., SHEET. Values include E.D.P., MAY 6, 2019; M.W.F., 5760C; 5760, SHEET 1 OF 11.

DOUCET SURVEY logo and contact information: Serving Your Professional Surveying & Mapping Needs, 102 Kent Plaza, Rivermarket, NH 03857, (603) 659-6560, 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-1600, 10 Starer Street (RiverView Suite) Kennebunk, ME (207) 602-7005, http://www.doucetsurvey.com

SHEETS 8-11 NOT INTENDED FOR RECORDING



LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S89°38'58"E	25.34'	L74	S84°07'33"E	61.23'
L2	S89°38'58"E	97.05'	L75	N84°57'33"W	76.07'
L3	S49°28'32"E	10.61'	L76	N46°00'12"W	21.16'
L4	S64°08'18"E	18.07'	L77	N73°28'42"W	70.04'
L5	S61°35'36"E	79.80'	L78	N02°26'25"E	240.22'
L6	S31°29'03"E	57.85'	L79	N08°15'57"W	120.93'
L7	S57°38'42"E	62.47'	L80	N52°46'31"E	281.52'
L8	S57°38'42"E	11.10'	L81	S58°37'54"E	369.43'
L9	S53°28'02"E	180.29'	L82	S38°57'54"E	284.04'
L10	S85°20'34"E	15.41'	L83	S50°08'36"W	23.17'
L11	S55°32'10"W	24.16'	L84	S78°56'55"W	45.00'
L12	S38°45'41"E	27.64'	L85	S78°56'55"W	161.05'
L13	S84°45'41"E	60.00'	L86	S78°56'55"W	148.07'
L14	N60°14'18"E	28.28'	L87	S78°56'55"W	131.37'
L15	S84°45'40"E	66.89'	L88	N40°10'51"W	124.80'
L16	N78°56'55"E	13.20'	L89	N50°08'39"E	58.01'
L17	N78°56'55"E	147.14'	L90	N44°23'54"E	77.22'
L18	N78°56'55"E	172.84'	L91	S50°08'38"W	53.23'
L19	N78°56'55"E	151.92'	L92	S84°44'42"E	37.82'
L20	N50°08'39"E	22.61'	L93	N41°30'60"W	46.85'
L21	S40°18'01"E	136.83'	L94	N73°02'53"E	68.71'
L22	S50°08'38"W	13.74'	L95	N73°02'53"E	47.23'
L23	S50°08'38"W	95.97'			
L24	S44°23'54"W	77.22'			
L25	S50°08'38"W	58.54'			
L26	N38°57'54"W	65.88'			
L27	N38°57'54"W	149.16'			
L28	N38°57'54"W	144.92'			
L29	N38°57'54"W	126.19'			
L30	N38°57'54"W	114.54'			
L31	N08°02'06"E	28.28'			
L32	N58°57'54"W	68.29'			
L33	N38°57'54"W	118.41'			
L34	S38°57'54"E	112.40'			
L35	N02°45'31"E	263.22'			
L36	S52°45'31"W	257.98'			
L37	S08°18'57"E	102.65'			
L38	S02°58'28"W	217.09'			
L39	N84°48'41"W	14.76'			

CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING
C1	102.42'	987.93'	5°58'24"	N112°03'0"E
C2	335.00'	987.93'	19°26'54"	N01°20'38"W
C3	144.11'	887.63'	8°21'27"	N16°14'10"W
C4	254.88'	1399.40'	10°28'04"	S14°12'01"E
C5	199.78'	1399.40'	8°10'46"	S04°53'39"E
C6	222.93'	1399.40'	9°07'30"	S03°46'37"W
C7	57.90'	50.00'	66°20'52"	S47°29'08"W
C8	42.04'	225.00'	10°58'05"	S88°07'35"W
C9	14.00'	325.00'	2°28'04"	S85°56'43"E
C10	89.76'	325.00'	16°49'18"	N84°51'37"E
C11	105.27'	225.00'	28°48'22"	N83°52'47"E
C12	39.08'	25.00'	89°31'33"	N80°05'38"W
C13	116.31'	225.00'	29°37'08"	S64°57'10"W
C14	22.58'	225.00'	5°44'42"	S47°18'15"W
C15	17.05'	175.00'	5°44'42"	N47°18'15"E
C16	39.88'	26.00'	30°53'30"	S84°24'39"E
C17	38.52'	25.00'	89°16'38"	S83°05'11"E
C18	50.27'	80.00'	57°38'27"	S10°08'40"E
C19	93.20'	80.00'	69°19'57"	N11°01'25"W
C20	87.89'	90.00'	43°05'25"	N62°14'06"W
C21	75.38'	90.00'	47°59'19"	S72°13'32"W
C22	99.59'	90.00'	63°24'14"	S18°31'45"W
C23	99.59'	90.00'	63°24'14"	S18°31'46"W
C24	127.86'	90.00'	81°24'01"	S55°52'21"E
C25	50.27'	90.00'	67°36'27"	N67°48'08"W
C26	40.02'	25.00'	91°43'25"	N06°53'49"E
C27	231.99'	225.00'	69°04'28"	S23°13'17"W
C28	40.26'	25.00'	82°18'54"	N49°08'22"E
C29	83.98'	275.00'	14°34'46"	S87°58'57"W
C30	88.27'	50.00'	101°09'03"	S42°12'14"E
C31	38.28'	25.00'	87°44'08"	S40°03'38"E
C32	180.43'	178.00'	59°04'28"	S23°13'17"W
C33	38.52'	25.00'	89°18'35"	N83°06'11"W
C34	35.80'	20.00'	89°06'30"	N09°38'21"E
C35	81.87'	178.00'	26°48'22"	N63°32'47"E
C36	77.23'	275.00'	16°05'25"	N87°11'36"E
C37	10.55'	275.00'	2°11'59"	N78°02'58"E
C38	38.48'	25.00'	90°28'27"	S04°54'22"W
C39	22.58'	225.00'	5°44'42"	N47°18'15"E
C40	17.55'	175.00'	5°44'42"	S47°18'15"W



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
ROUTE 125 DEVELOPMENT, LLC
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	BY
10	1/14/22	REVISE COMMERCIAL LOT NUMBERS	MWF
9	11/22/21	REVISE LOT C2 DRAINAGE EASEMENT	MWF
8	10/20/21	REVISE LOTS 13-15	MWF
7	10/16/21	REVISE EASEMENT	MWF
6	9/30/21	ADD LOT C4 DRAINAGE EASEMENT	MWF
5	4/13/21	ADD EASEMENTS	MWF
4	10/1/20	REVISE LAYOUT	MWF
3	4/6/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 8, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	67800
JOB NO.:	5780	SHEET:	2 OF 11

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 10 Storer Street (Riverside Station) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>

PLANNING BOARD
BARRINGTON, NH
APPROVED

File Number 223-26424-PC-19
 Date 2/7/2022
 Chairman _____

APPROVED DATE
 BARRINGTON, NH
 PLANNING BOARD

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:10,000.

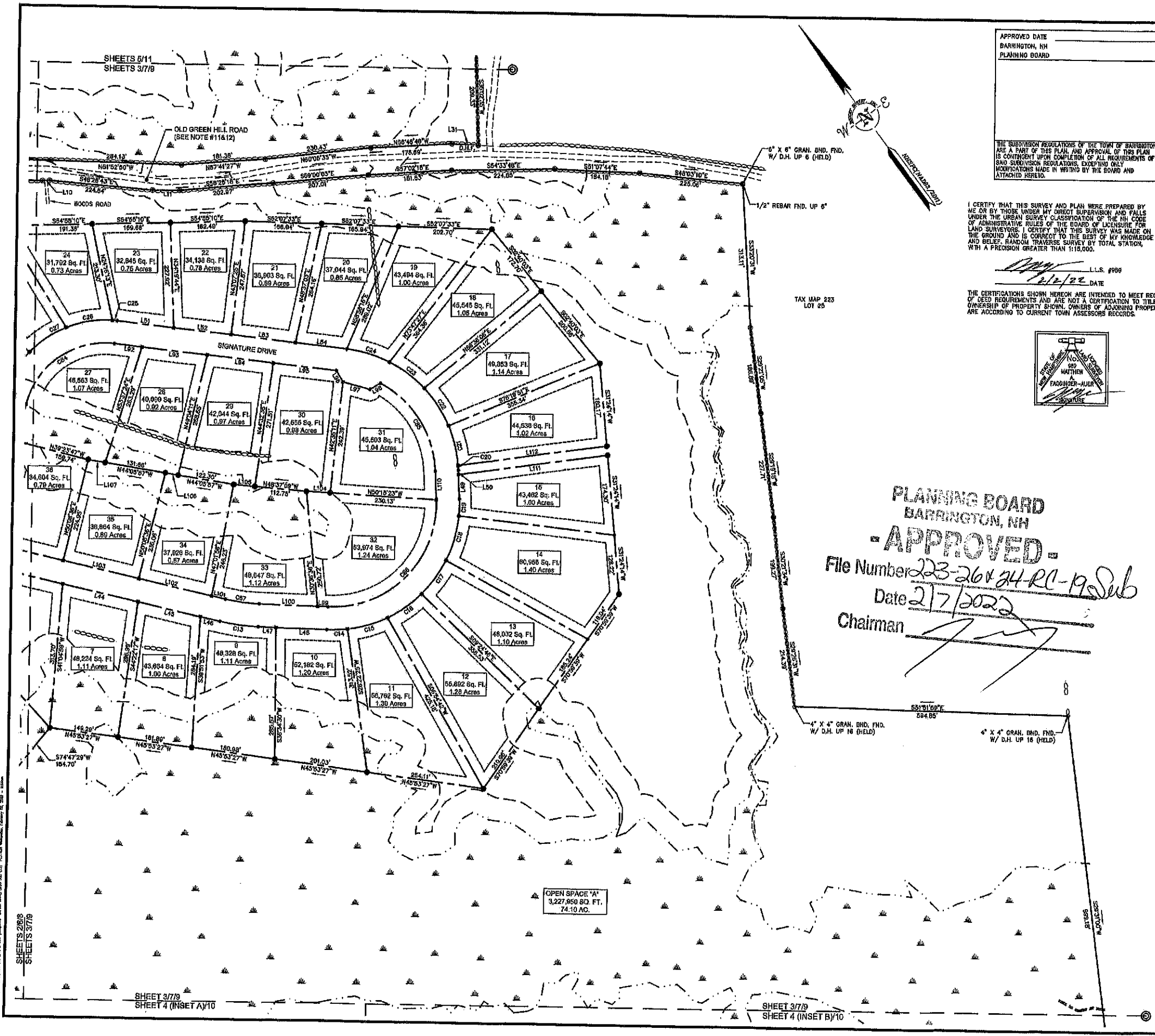
L.L.S. #889
 DATE 2/7/22

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



SHEETS 2/6/8
 SHEET 4 (INSET A)/10

SHEETS 6-11 NOT INTENDED FOR RECORDING



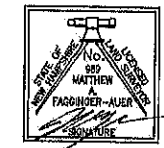
APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:10,000.

[Signature] L.L.S. #999
DATE 2/12/22

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SINCE OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



PLANNING BOARD
BARRINGTON, NH
- APPROVED -
File Number 223-26124-RC-19 Sub
Date 2/7/2022
Chairman *[Signature]*

CURVE TABLE					LINE TABLE		
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH	LINE BEARING	DISTANCE
C13	83.04'	428.00'	111°43'	S45°55'43"E	82.91'	L10	S55°25'34"E 18.41'
C14	43.88'	275.00'	90°46'	S56°06'27"E	43.83'	L11	S53°31'39"E 26.19'
C15	30.41'	275.00'	18°50'10"	S70°08'25"E	90.00'	L31	N50°46'00"W 56.83'
C16	85.41'	275.00'	18°50'10"	S88°56'35"E	90.00'	L43	S40°19'51"E 136.53'
C17	80.41'	275.00'	18°50'10"	N72°3'16"E	90.00'	L44	S40°19'51"E 168.00'
C18	101.15'	275.00'	21°54'26"	N52°15'08"E	100.68'	L45	S40°19'51"E 140.16'
C19	36.65'	275.00'	7°37'19"	N37°55'08"E	39.58'	L49	S40°19'51"E 43.16'
C20	11.09'	275.00'	2°18'40"	N32°57'07"E	11.09'	L47	S51°31'34"E 38.89'
C21	88.55'	275.00'	18°27'00"	N22°34'17"E	88.17'	L48	S51°31'34"E 110.75'
C22	97.40'	275.00'	20°17'38"	N03°11'68"E	96.80'	L49	N34°08'27"E 53.60'
C23	84.88'	275.00'	19°47'05"	N18°50'23"W	84.44'	L50	N34°08'27"E 8.58'
C24	96.02'	275.00'	20°11'32"	N36°49'42"W	96.41'	L51	N48°55'27"W 123.38'
C25	19.32'	225.00'	2°40'46"	N48°18'51"W	19.82'	L52	N48°55'27"W 126.05'
C26	102.65'	225.00'	28°07'14"	N82°39'53"W	101.68'	L53	N48°55'27"W 140.05'
C27	96.26'	225.00'	24°30'40"	N87°58'03"W	96.83'	L54	N48°55'27"W 111.81'
C28	253.30'	175.00'	82°55'57"	N88°23'28"W	231.76'	L58	N40°19'51"W 124.60'
C29	235.16'	225.00'	89°52'58"	N04°06'58"E	224.60'	L91	S50°08'36"W 83.23'
C30	370.86'	225.00'	94°21'59"	N81°17'27"E	330.09'	L92	S46°59'27"E 60.01'
C31	73.27'	375.00'	11°11'43"	S45°55'43"E	73.16'	L93	S46°59'27"E 143.68'
						L94	S46°59'27"E 142.77'
						L95	S46°59'27"E 137.05'
						L96	S08°17'24"W 28.39'
						L97	S38°42'38"E 86.00'
						L98	S83°42'38"E 26.67'
						L99	N51°31'34"W 22.47'
						L100	N51°31'34"W 127.17'
						L101	N40°19'51"W 29.70'
						L102	N40°19'51"W 133.91'
						L103	N40°19'51"W 168.51'
						L104	N50°16'23"W 81.08'
						L105	N48°37'08"W 45.62'
						L106	N44°05'57"W 160.31'
						L107	N44°05'57"W 37.41'
						L110	S34°08'27"W 62.58'
						L111	S61°18'28"E 326.00'
						L112	S81°18'28"E 325.27'



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
ROUTE 126 DEVELOPMENT, LLC
(TAX MAP 223, LOTS 24 & 26)
ROUTE 126/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
10	1/14/22	REVISE COMMERCIAL LOT NUMBERS	MWF
9	11/22/21	REVISE LOT 62 DRAINAGE EASEMENT	MWF
8	10/20/21	REVISE LOTS 13-15	MWF
7	10/15/21	REVISE EASEMENT	MWF
6	8/30/21	ADD LOT C4 DRAINAGE EASEMENT	MWF
5	4/13/21	ADD EASEMENTS	MWF
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/14/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY: E.D.P. DATE: MAY 6, 2019
CHECKED BY: M.W.F. DRAWING NO.: 5750C
JOB NO.: 5750 SHEET 3 OF 11

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102 Kent Place, Newmarket, NH 03857 (603) 659-8560
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-0050
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http://www.doucetsurvey.com

SHEETS 6-11 NOT INTENDED FOR RECORDING

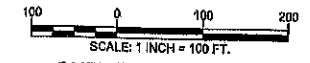
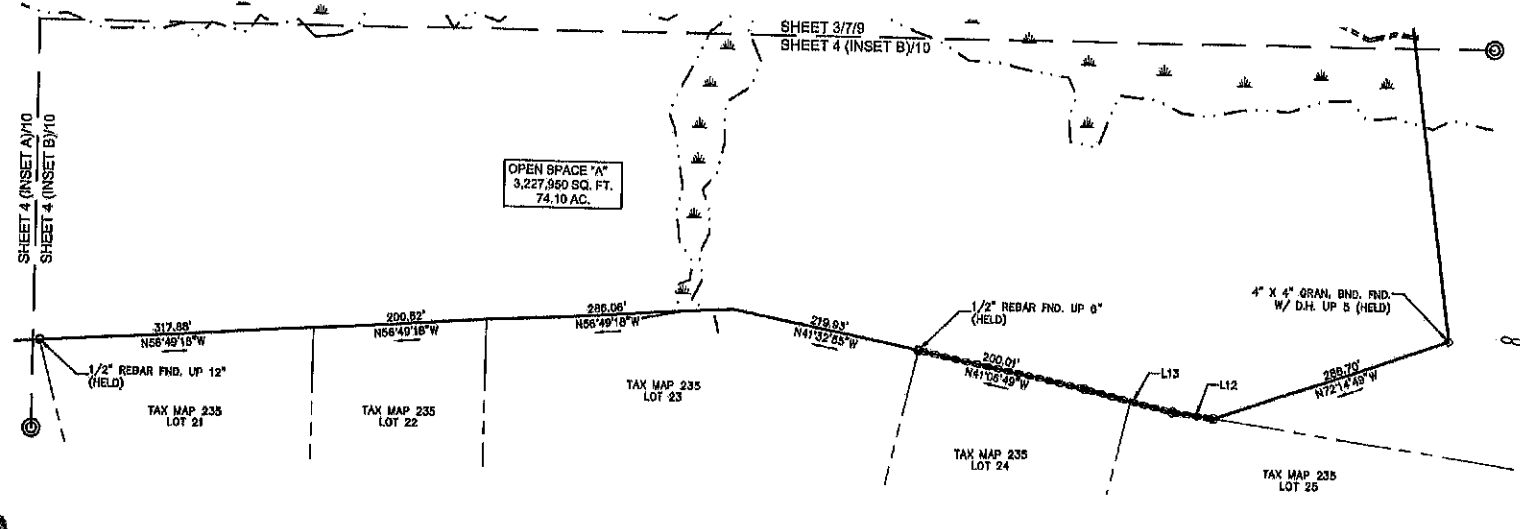
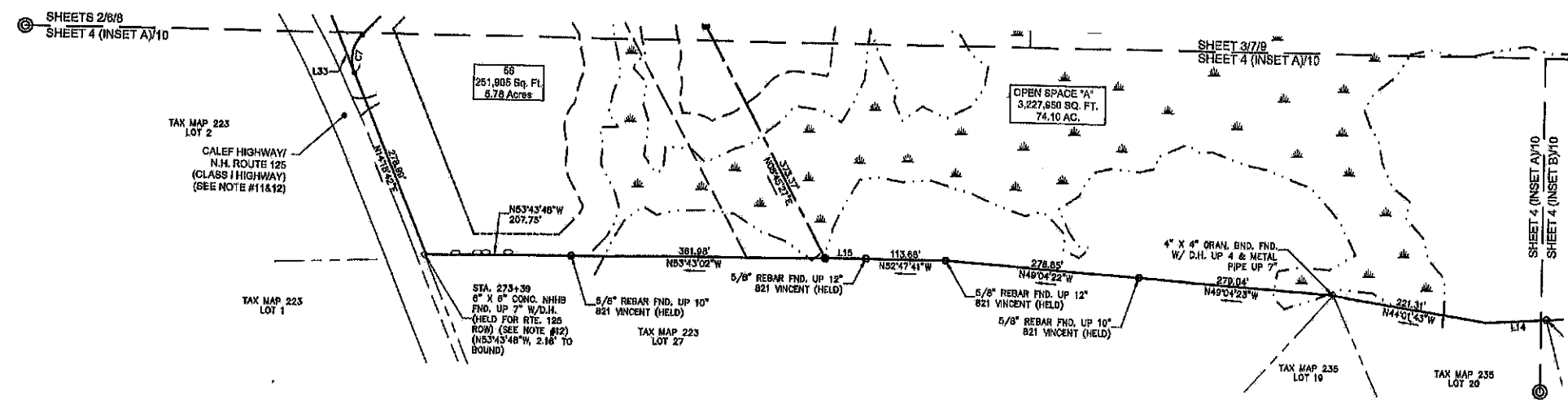
SHEETS 2/6/8
SHEETS 3/7/9

SHEET 3/7/9
SHEET 4 (INSET A)10

SHEET 3/7/9
SHEET 4 (INSET B)10

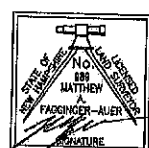
CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C7	57.80'	60.00'	88°20'52"	S47°28'08"W	64.72'

LINE TABLE		
LINE	BEARING	DISTANCE
L12	N44°31'27"W	48.66'
L13	N38°35'05"W	104.00'
L14	N58°46'15"W	87.94'
L15	N53°43'02"W	68.09'
L33	N14°18'42"E	62.51'



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 ROUTE 125 DEVELOPMENT, LLC
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

PLANNING BOARD
BARRINGTON, NH
APPROVED
 File Number 223-26124-RC-19-Sub
 Date 2/7/2022
 Chairman [Signature]



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:16,000.

L.L.S. #889
 DATE 2/10/22

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY. SURVEY OWNERS OF ADJACENT PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

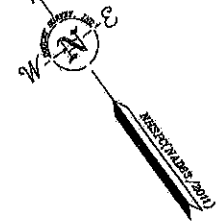
APPROVED DATE:
 BARRINGTON, NH
 PLANNING BOARD

NO.	DATE	DESCRIPTION	BY
10	1/14/22	REVISE COMMERCIAL LOT NUMBERS	MWF
9	11/22/21	REVISE LOT C2 DRAINAGE EASEMENT	TJWF
8	10/20/21	REVISE LOTS 13-16	MWF
7	10/16/21	REVISE EASEMENT	MWF
6	8/30/21	ADD LOT C4 DRAINAGE EASEMENT	MWF
5	4/13/21	ADD EASEMENTS	MWF
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISED EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

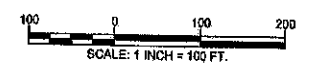
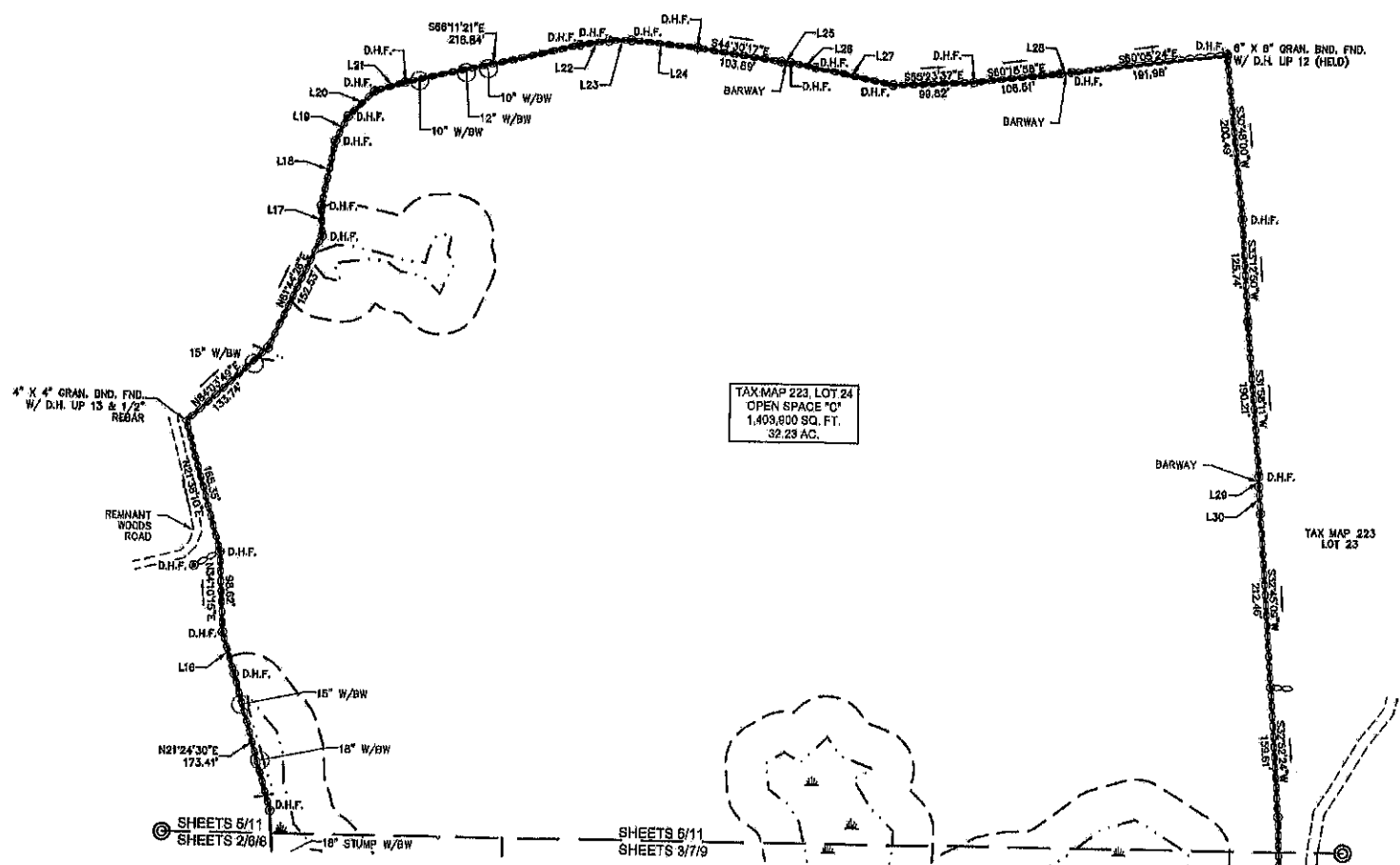
DRAWN BY: E.D.P. DATE: MAY 6, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 6750C
 JOB NO.: 6750 SHEET 4 OF 11

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<http://www.doucetsurvey.com>

SHEETS 8-11 NOT INTENDED FOR RECORDING



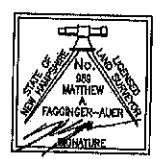
LINE	BEARING	DISTANCE
L16	N20°16'44"E	52.77'
L17	N54°57'03"E	37.69'
L18	N48°16'42"E	81.18'
L19	N63°33'54"E	34.02'
L20	N82°45'19"E	44.89'
L21	S70°01'07"E	38.67'
L22	S61°27'24"E	35.09'
L23	S55°44'34"E	27.06'
L24	S48°01'16"E	81.30'
L25	S47°03'41"E	11.30'
L26	S43°07'58"E	31.54'
L27	S41°38'46"E	96.76'
L28	S59°41'00"E	14.23'
L29	S36°36'49"W	12.68'
L30	S32°51'04"W	33.14'
L31	N80°46'00"W	68.03'
L32	N85°32'10"W	24.16'



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
ROUTE 125 DEVELOPMENT, LLC
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	BY
10	11/14/22	REVISE COMMERCIAL LOT NUMBERS	MWF
9	11/22/21	REVISE LOT G2 DRAINAGE EASEMENT	MWF
8	10/23/21	REVISE LOTS 13-15	MWF
7	10/16/21	REVISE EASEMENT	MWF
6	8/29/21	ADD LOT G4 DRAINAGE EASEMENT	MWF
5	4/13/21	ADD EASEMENTS	MWF
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISED EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/18	REVISED ROAD LAYOUT	MWF

PLANNING BOARD
 BARRINGTON, NH
- APPROVED -
 File Number 223-26 + 24-RC-19 Sub
 Date 2/17/2022
 Chairman [Signature]



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.
 DATE 2/16/22
 L.L.S. #885

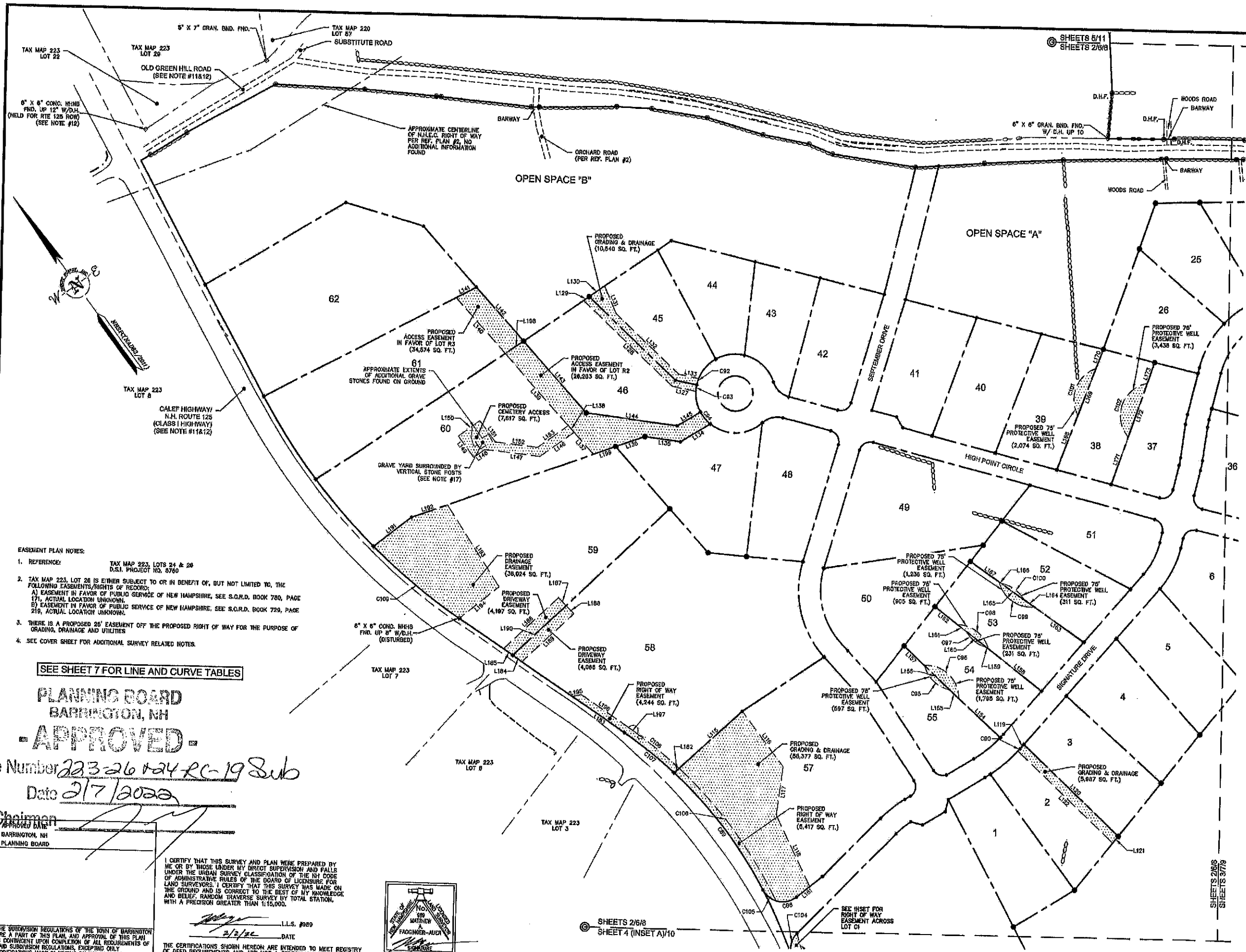
APPROVED DATE
 BARRINGTON, NH
 PLANNING BOARD

DRAWN BY: E.O.P. DATE: MAY 6, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 6760C
 JOB NO.: 5750 SHEET 6 OF 11

DOUCET SURVEY
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 102 Hunt Place, Newmarket, NH 03857 (603) 859-0660
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
 10 Storer Street (Fifth Floor Suite) Portsmouth, NH (207) 602-7005
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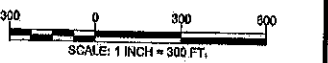
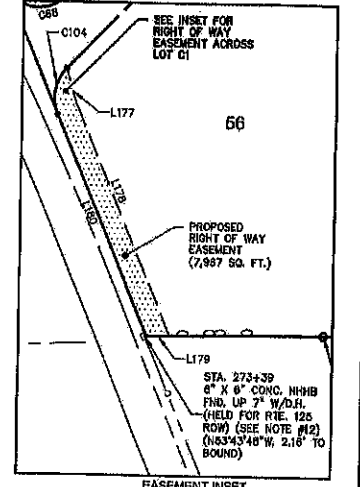
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

SHEETS 8-11 NOT INTENDED FOR RECORDING



- LEGEND**
- LOT LINE
 - - - PROPOSED LOT LINE
 - - - PROPOSED EASEMENT LINE
 - - - APPROXIMATE SURVEYERS' LOT LINE
 - STONE WALL
 - REMAINT STONE WALL
 - BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - 4"X4" GRANITE BOUND TO BE SET
 - 5/8" REBAR W/D CAP TO BE SET
 - PROPOSED 75' PROTECTIVE WELL RADIUS
 - LOT #

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - BRIDGE
 - PAVEMENT OBSOURED
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSOURED
 - FENCE OBSOURED
 - WALL OBSOURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT



EASEMENT PLAN
"THE RIDGE AT GREEN HILL"
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
ROUTE 125 DEVELOPMENT, LLC
(TAX MAP 223, LOTS 24 & 26)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	BY
10	11/14/22	REVISE COMMERCIAL LOT NUMBERS	MWF
9	11/22/21	REVISE LOT C2 DRAINAGE EASEMENT	MWF
8	10/20/21	REVISE LOTS 13-15	MWF
7	10/15/21	REVISE EASEMENT	MWF
6	8/30/21	ADD LOT C4 DRAINAGE EASEMENT	MWF
5	4/13/21	ADD EASEMENTS	MWF
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISED EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/15/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	6750C
JOB NO.:	5750	SHEET	6 OF 11

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10 Silver Street (RiverView Suite) Kennebunk, ME (207) 892-7005
http://www.doucetsurvey.com

- EASEMENT PLAN NOTES:**
1. REFERENCE: TAX MAP 223, LOTS 24 & 26 D.S.I. PROJECT NO. 5760
 2. TAX MAP 223, LOT 26 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.O.R.D. BOOK 780, PAGE 171, ACTUAL LOCATION UNKNOWN.
B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.O.R.D. BOOK 720, PAGE 219, ACTUAL LOCATION UNKNOWN.
 3. THERE IS A PROPOSED 20' EASEMENT OFF THE PROPOSED RIGHT OF WAY FOR THE PURPOSE OF GRADING, DRAINAGE AND UTILITIES
 4. SEE COVER SHEET FOR ADDITIONAL SURVEY RELATED NOTES.

SEE SHEET 7 FOR LINE AND CURVE TABLES

PLANNING BOARD
BARRINGTON, NH
APPROVED

File Number 223-26-24-RC-19 Sub
Date 2/7/2022

Chairman
BARRINGTON, NH
PLANNING BOARD

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:10,000.



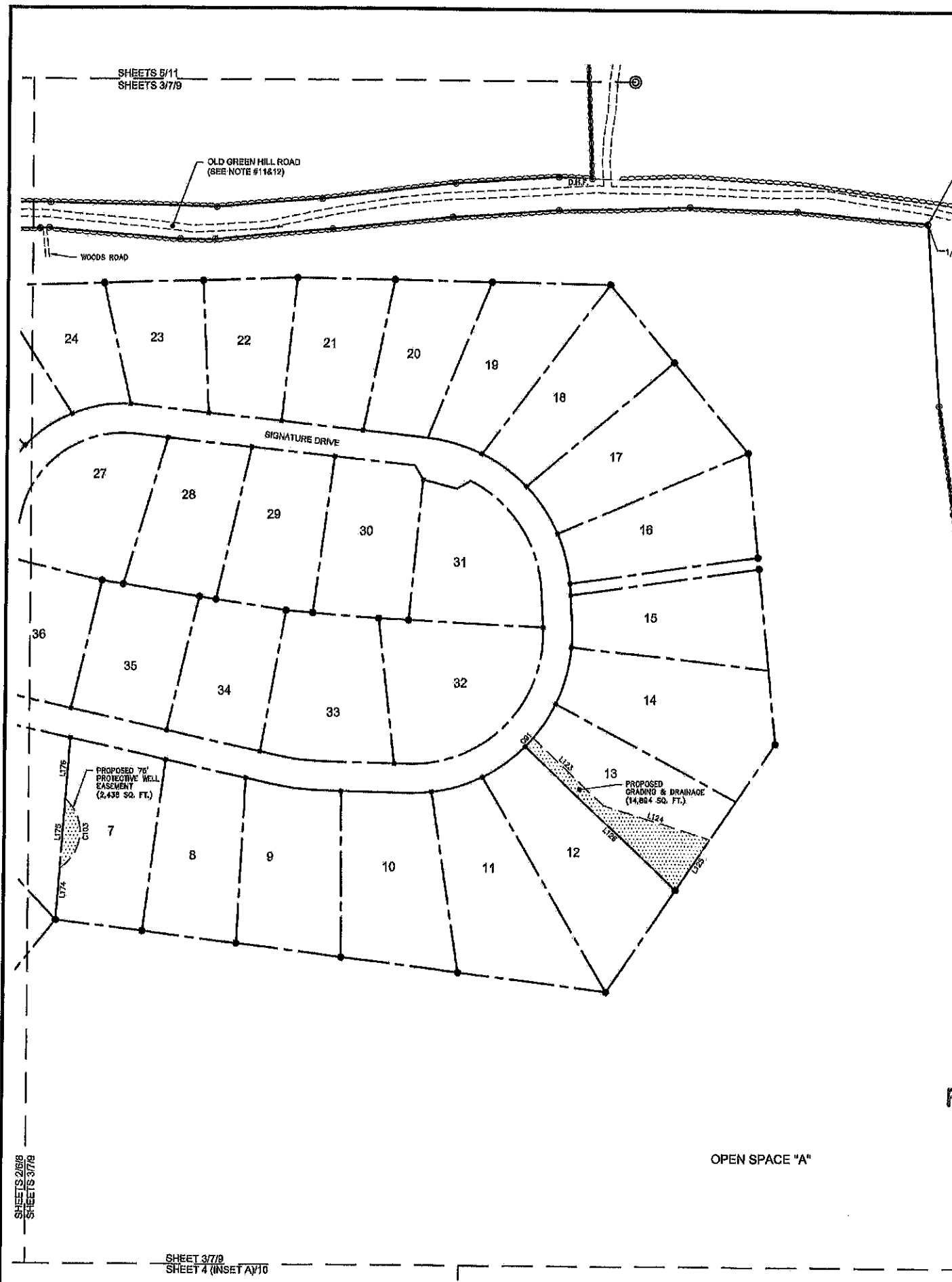
M.W.F.
DATE: 2/3/22

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

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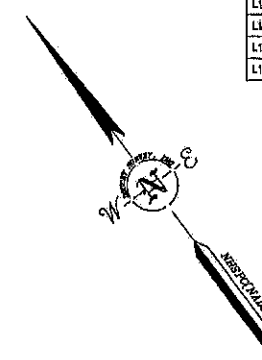
© SHEETS 2/6/8
SHEET 4 (INSET A)/10

SHEETS 8-11 NOT INTENDED FOR RECORDING



LINE TABLE			LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L116	N83°28'45"E	183.47'	L144	S49°13'02"E	207.63'	L173	N65°29'37"E	60.35'
L116	S00°16'16"E	185.75'	L146	N84°07'33"W	81.23'	L174	S41°04'59"W	88.01'
L117	S43°36'02"W	111.68'	L146	N89°50'35"W	84.40'	L175	N41°04'59"E	118.01'
L118	S10°53'08"W	178.68'	L147	N47°11'52"W	128.63'	L176	N41°04'59"E	106.69'
L119	N78°56'56"E	13.20'	L148	N09°59'35"W	30.48'	L177	S20°59'18"W	42.50'
L120	S10°00'13"E	288.86'	L149	N00°09'26"E	80.00'	L178	S14°16'42"W	292.88'
L121	S74°47'29"W	20.08'	L150	S89°00'39"E	80.00'	L179	N53°43'40"W	28.96'
L122	N10°05'13"W	299.79'	L151	S00°09'20"W	60.00'	L180	N14°18'42"E	278.89'
L123	S08°24'48"E	167.00'	L152	S47°11'52"E	86.50'	L181	S87°13'14"W	37.82'
L124	S35°22'49"E	191.30'	L153	S89°00'35"E	84.73'	L182	N83°29'42"E	18.05'
L125	S70°59'39"W	105.24'	L154	N10°33'53"W	129.82'	L183	N10°25'03"W	144.78'
L126	N09°24'48"E	355.53'	L155	N10°33'54"W	29.11'	L184	N10°25'03"W	25.55'
L127	N41°30'50"E	54.38'	L156	N10°33'54"W	78.82'	L185	N10°25'03"W	26.55'
L128	N10°10'09"W	279.19'	L157	N10°33'54"W	82.85'	L186	N82°26'31"E	170.80'
L129	S85°44'42"E	15.30'	L158	N10°16'57"W	153.90'	L187	S07°33'29"E	26.00'
L130	S85°44'42"E	42.88'	L159	N16°16'07"W	5.05'	L188	S07°33'29"E	25.00'
L131	S13°05'00"W	87.73'	L160	N15°46'07"W	56.33'	L189	S82°26'31"E	180.00'
L132	S10°10'09"E	187.08'	L161	N15°46'07"W	26.17'	L190	N82°26'31"E	185.25'
L133	S41°30'50"E	46.83'	L162	N15°46'07"W	55.09'	L191	N88°23'03"E	108.64'
L134	S84°57'33"E	78.07'	L163	N19°38'04"W	138.20'	L192	S73°28'42"E	86.86'
L135	S48°00'12"E	81.16'	L164	N15°38'04"W	26.48'	L193	S03°47'01"W	220.06'
L136	S73°28'42"E	70.04'	L165	N15°38'04"W	64.12'	L194	S87°15'30"W	116.00'
L137	N05°10'50"W	66.46'	L166	N15°38'04"W	5.70'	L195	S84°28'05"E	21.21'
L138	N05°10'50"W	20.05'	L167	N15°38'04"W	80.16'	L196	S10°25'02"E	126.78'
L139	N05°10'50"W	216.78'	L168	N07°03'47"E	133.64'	L197	S18°42'01"E	25.11'
L140	N05°10'50"W	189.10'	L169	N5°03'47"E	113.95'	L198	S85°02'16"E	50.38'
L141	N81°28'08"W	51.43'	L170	N57°03'47"E	46.38'	L199	S73°28'42"E	53.81'
L142	S05°10'50"E	163.32'	L171	N65°29'37"E	116.37'			
L143	S05°10'50"E	215.15'	L172	S58°28'37"W	129.78'			

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C80	49.37'	50.00'	55°34'19"	S64°29'36"E	47.39'
C89	336.06'	657.93'	19°25'54"	N01°20'39"W	333.45'
C90	6.83'	325.00'	1°12'13"	N77°33'04"E	6.83'
C91	20.01'	275.00'	4°10'07"	N79°33'17"E	20.00'
C92	16.08'	90.00'	9°35'28"	S53°01'38"W	16.05'
C93	18.08'	90.00'	9°35'52"	S43°25'57"W	18.06'
C94	35.66'	80.00'	22°41'57"	S03°49'22"E	35.42'
C95	82.69'	75.00'	63°23'53"	S10°33'54"E	78.82'
C96	122.71'	75.00'	93°44'49"	N10°33'53"W	109.45'
C97	89.81'	75.00'	45°45'52"	S18°46'57"E	88.33'
C98	95.96'	78.00'	73°18'31"	N15°46'57"W	89.55'
C99	107.20'	75.00'	81°53'37"	S18°38'04"E	98.30'
C100	66.26'	75.00'	60°36'40"	N18°38'04"W	64.12'
C101	128.42'	75.00'	88°52'17"	S57°03'42"W	113.95'
C102	156.77'	75.00'	119°48'00"	S85°28'37"W	129.78'
C103	137.45'	78.00'	105°00'09"	N41°04'59"E	119.01'
C104	57.60'	80.00'	68°20'52"	N47°29'08"E	54.72'
C105	38.90'	80.00'	44°34'44"	S13°53'04"E	37.43'
C106	374.04'	1002.83'	21°22'07"	N00°16'26"W	371.85'
C107	144.11'	687.93'	8°21'27"	N15°14'19"W	143.98'
C108	122.38'	1002.83'	6°59'29"	S14°29'14"E	122.30'
C109	254.85'	1398.40'	10°26'04"	S14°12'01"E	254.50'



TAX MAP 223 LOT 25

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S. #089
DATE: 5/2/22

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TAX MAP 223 LOT 25

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

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SCALE: 1 INCH = 300 FT.

EASEMENT PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 ROUTE 125 DEVELOPMENT, LLC
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
10	1/14/22	REVISE COMMERCIAL LOT NUMBERS	MWF
9	11/22/21	REVISE LOT C2 DRAINAGE EASEMENT	MWF
8	10/20/21	REVISE LOTS 13-15	MWF
7	10/15/21	REVISE EASEMENT	MWF
6	8/30/21	ADD LOT C4 DRAINAGE EASEMENT	MWF
5	4/13/21	ADD EASEMENTS	MWF
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/30/19	REVIEWS PER PLANNERS COMMENTS	MWF

DRAWN BY: E.D.P. DATE: MAY 6, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 6760C
 JOB NO.: 5760 SHEET 7 OF 11

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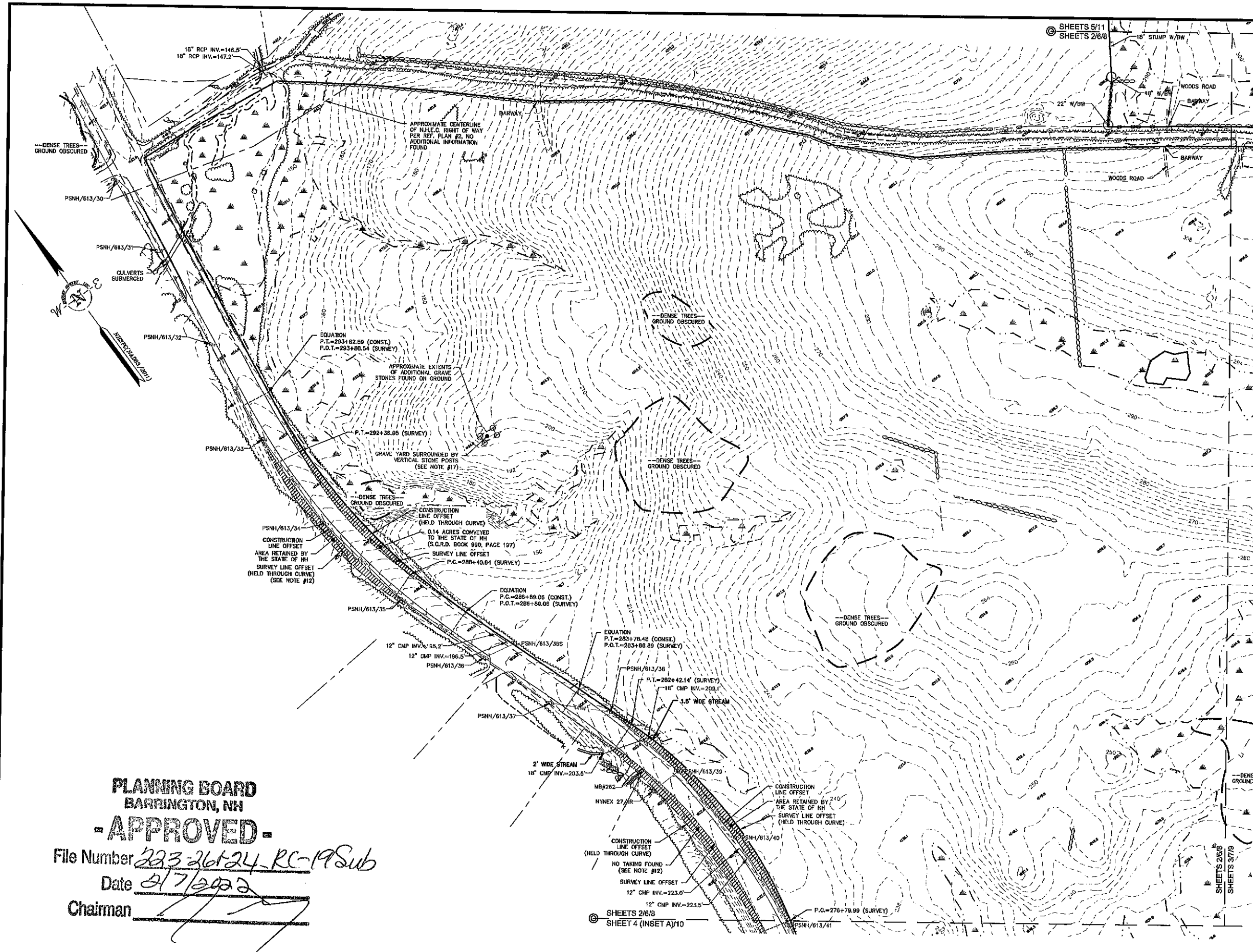
PLANNING BOARD
 BARRINGTON, NH
- APPROVED -
 File Number: 223-26-24-RC-19 Sub
 Date: 5/7/2022
 Chairman: _____

SHEETS 2/6/18
 SHEETS 3/7/9

SHEET 3/7/9
 SHEET 4 (INSET A) 10

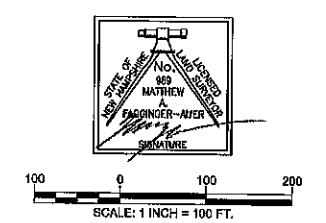
SHEET 3/7/9
 SHEET 4 (INSET B) 10

SHEETS B-11 NOT INTENDED FOR RECORDING



- LEGEND**
- LOT LINE
 - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - EDGE OF WETLAND
 - STREAM
 - TREE STUMP
 - DECIDUOUS TREE
 - CATCH BASH
 - BARBED WIRE
 - CONCRETE
 - GRANITE
 - WETLAND SYMBOL

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - GUARDRAIL
 - BRIDGE
 - PAVEMENT OBSCURED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSCURED
 - PAINTED LINE
 - FENCE OBSCURED
 - WALL OBSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT
 - CULVERT HEADWALL
 - DITCH
 - WATER OBSCURED
 - TRAILLINE
 - BRUSH
 - DENSE WOOD LIMIT
 - ROCK OUTLINE
 - ROCK OUTCROP
 - GUARDRAIL OBSCURED
 - CULVERT OBSCURED
 - UTILITY POLE
 - OBSCURED UPLOPE
 - SWAMP GRASS
 - MEDIUM LONE TREE
 - SPOT ELEVATION



TOPOGRAPHIC PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

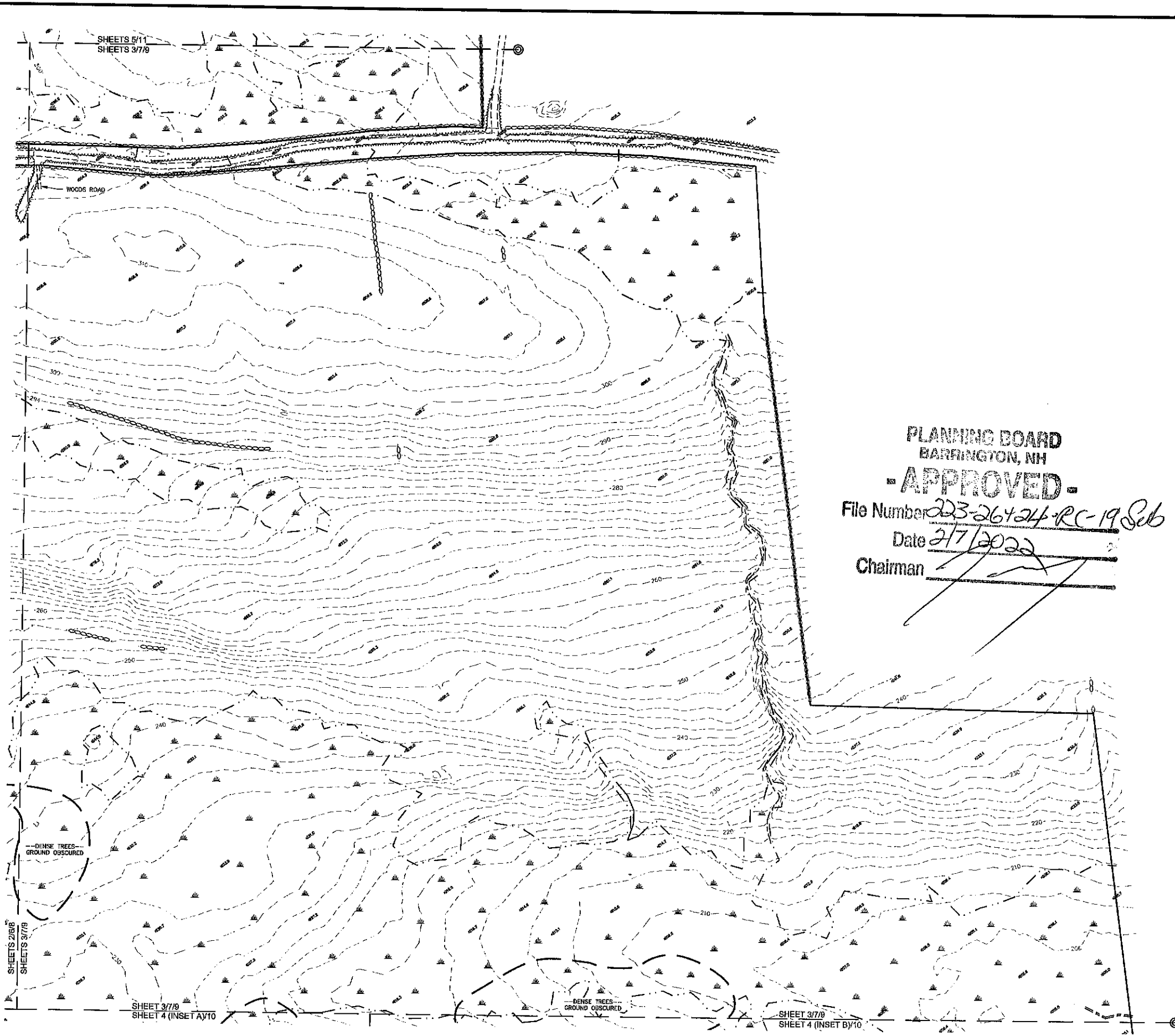
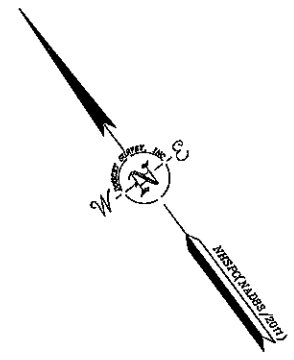
NO.	DATE	DESCRIPTION	BY
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2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750C
JOB NO.:	5750	SHEET	8 OF 11

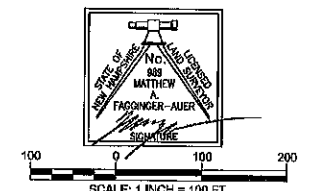
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PLANNING BOARD
BARRINGTON, NH
APPROVED
 File Number 223-26124-RC-19 Sub
 Date 2/7/2022
 Chairman [Signature]

SHEETS 2/6/8
 SHEET 4 (INSET A)10




PLANNING BOARD
 BARRINGTON, NH
- APPROVED -
 File Number 223-26424-RC-19 Sub
 Date 2/7/2022
 Chairman [Signature]



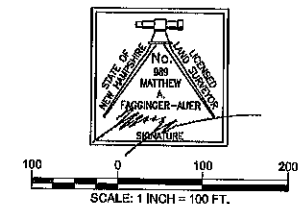
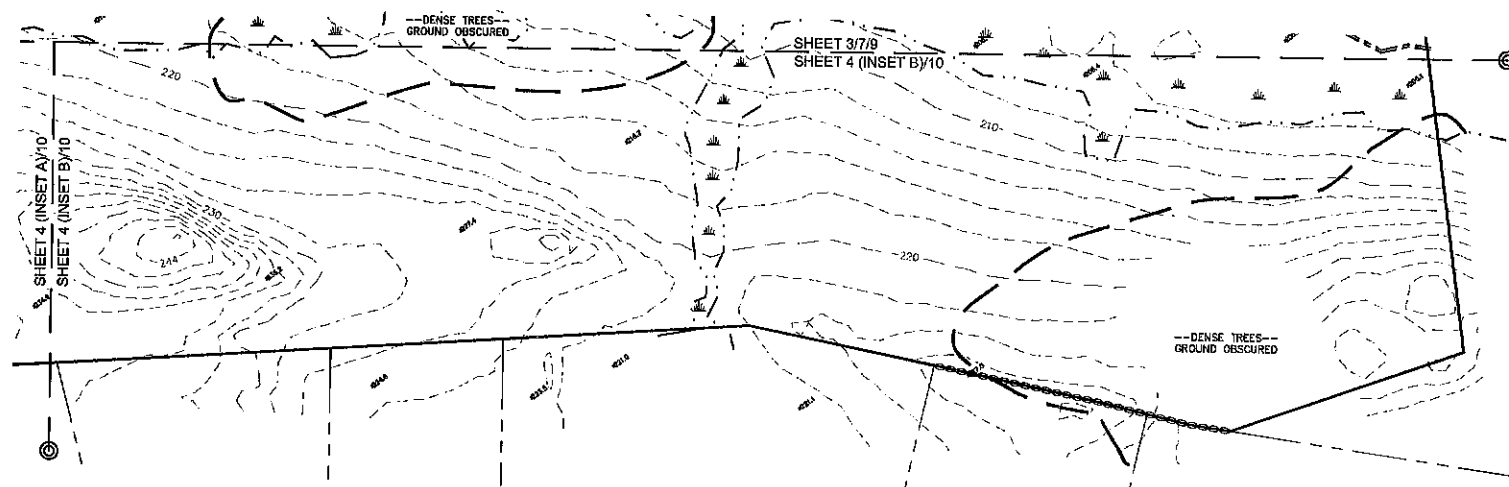
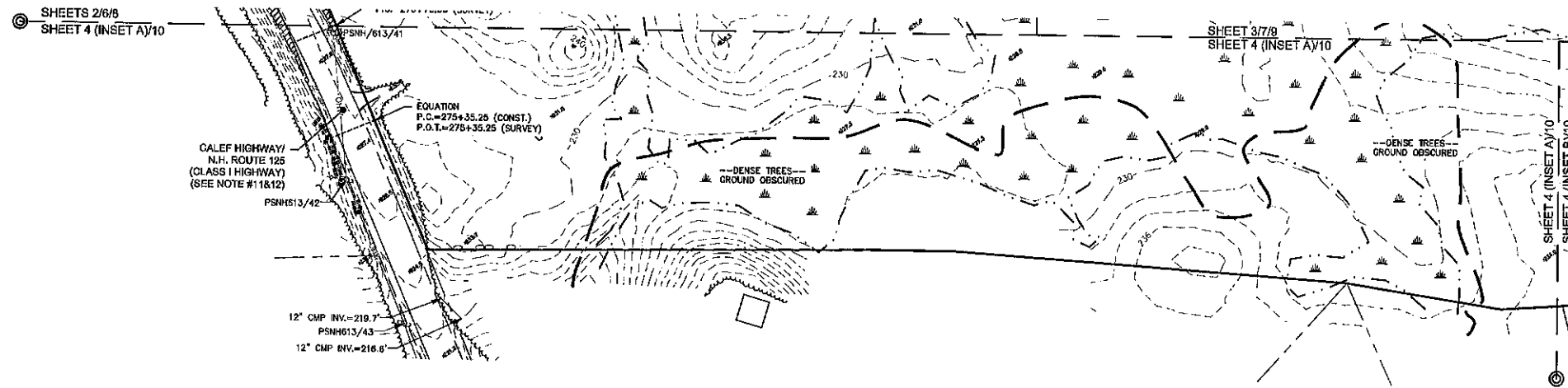
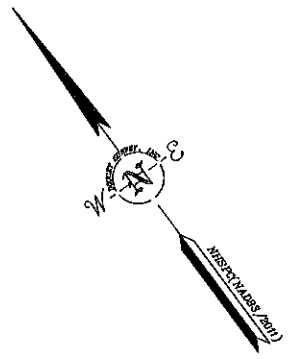
SCALE: 1 INCH = 100 FT.
TOPOGRAPHIC PLAN
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 FOR
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 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
8	10/20/21	REVISE LOTS 13-15	MWF
7	10/15/21	REVISE EASEMENT	MWF
6	8/30/21	ADD LOT C4 DRAINAGE EASEMENT	MWF
5	4/13/21	ADD EASEMENTS	MWF
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750C
JOB NO.:	5760	SHEET	9 OF 11


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<http://www.doucetsurvey.com>

THE STATE OF NEW HAMPSHIRE, COUNTY OF BELLEVILLE, MAP 223, LOTS 24 & 26, PLANNING BOARD, ORDER NO. 2022-001



TOPOGRAPHIC PLAN
 "THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
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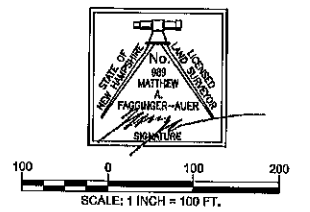
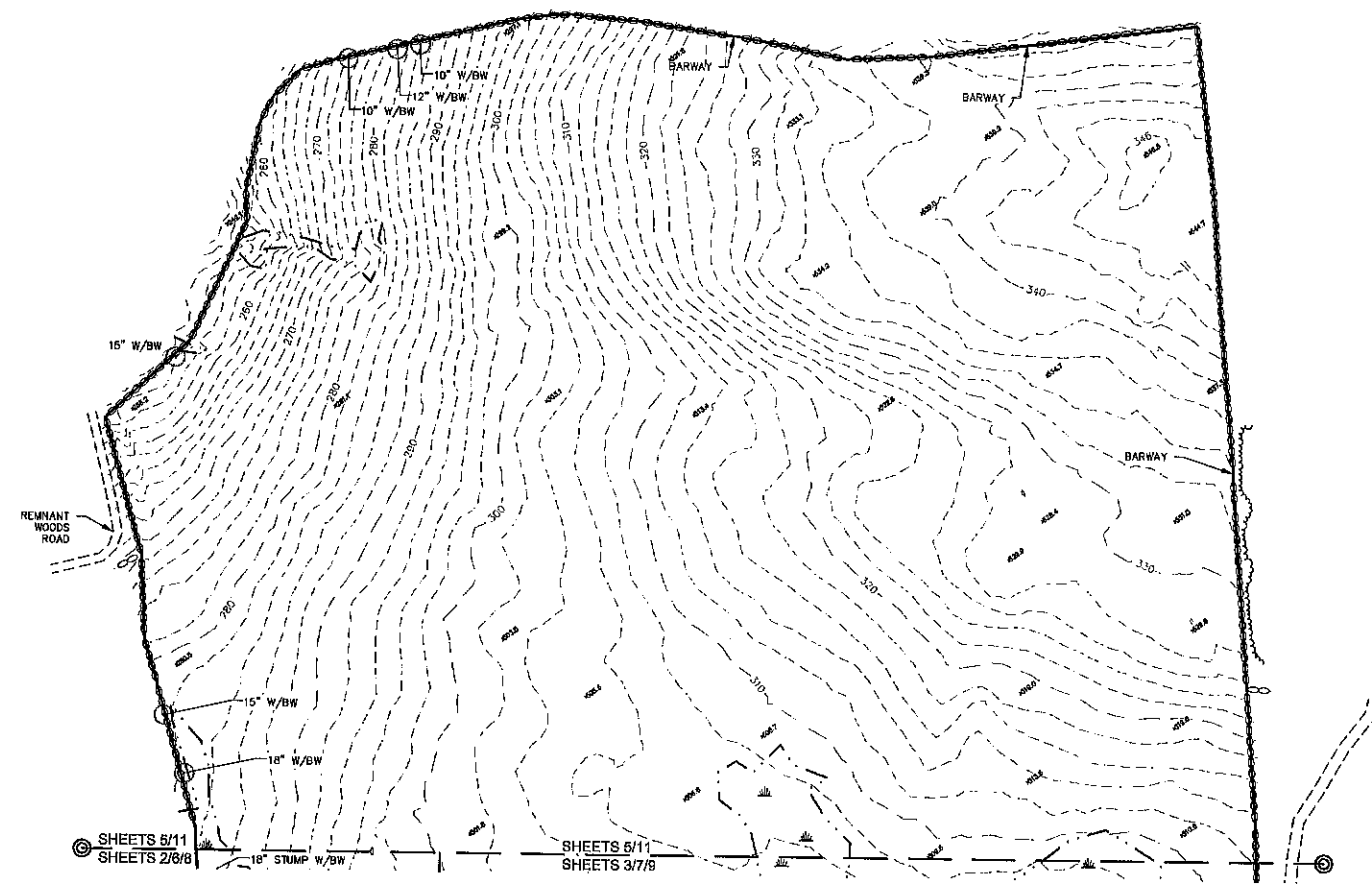
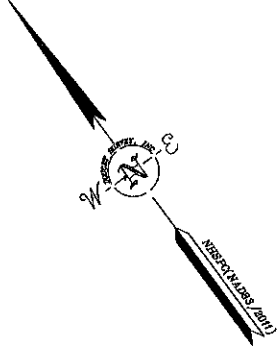
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4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750C
JOB NO.:	5750	SHEET	10 OF 11

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PLANNING BOARD
 BARRINGTON, NH
APPROVED
 File Number 223-26124-RC-19Sub
 Date 2/7/2022
 Chairman [Signature]

THE STATE OF NEW HAMPSHIRE OFFICIAL PUBLIC RECORDS OFFICE HAS RECEIVED THIS INSTRUMENT FOR RECORDATION ON 05/06/2019 AT 10:58 AM.



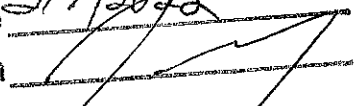
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2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

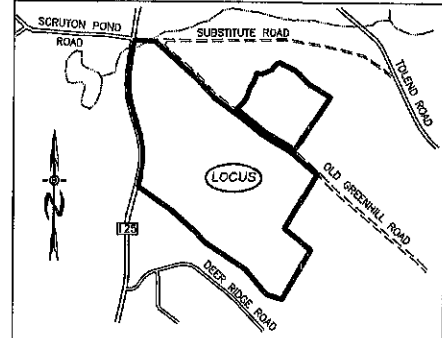
DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750C
JOB NO.:	5750	SHEET	11 OF 11


DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 659-6550
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
 10 Glorier Street (RiverView Suite) Kennebunk, ME (207) 602-7005
<http://www.doucetsurvey.com>

PLANNING BOARD
 BARRINGTON, NH
APPROVED

File Number 223-26 + 24-RC-19sub
 Date 5/7/2022
 Chairman 

FILE NAME: \\P:\BARRINGTON\2022\223-26 + 24-RC-19sub.dwg, LAYOUT NAME: 223-26 + 24-RC-19sub.dwg, PLOT DATE: 5/7/2022, PLOT TIME: 10:00 AM, PLOT BY: EDP



OPEN SPACE CALCS:
 TOTAL RESIDENTIAL LOT AREA = 179.91 AC.
 REQUIRED OPEN SPACE = 50% OR 89.9 AC.
 MIN. REQUIRED UPLAND AREA = 50% OR 44.9 AC.
 OPEN SPACE PROVIDED = 117.1 AC.
 UPLAND AREA PROVIDED = 85.65 AC.

WETLAND DESIGNATIONS
 PFO1B = Deciduous forested wetland with saturated hydrology
 PFO1E = Deciduous forested wetland with saturated and seasonally flooded hydrology
 PFO1/AB = Deciduous and evergreen forested wetland with saturated hydrology
 PFO1/AE = Deciduous and evergreen forested wetland with saturated and seasonally hydrology
 PSS/PEME = Scrub-shrub and Emergent wetland with saturated and seasonally hydrology
 R2UB3 = Perennial Stream with mud substrate (Great Hill Brook)
 R4SB3 = Intermittent Stream with Cobble and Gravel substrate

EROSION CONTROL BLANKET
 ON ALL PROPOSED 2:1
 SLOPES AND IN SWALES.
 SEE SHT. E1

ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

- NOTES**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
 - THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
 - ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
 - PROJECT IS BASED ON USGS DATUM HAND 1988. REFERENCE BENCHMARK:
 - THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 - DISTURBANCE IS OVER 100,000 SQ. FT. ALTERATION OF TERRAIN PERMIT RSA 485A-17 IS REQUIRED.
 - ALL FERTILIZER SHALL BE NO-PHOSPHATE, SLOW RELEASE NITROGEN AND SHALL NOT INCREASE ANY FERTILIZER LOADING OF THE PRIME WETLAND.
 - THE DEVELOPER SHALL: BUILD ROADS AND ALL BMP STORMWATER TREATMENT STRUCTURES TO DEFINED STABILIZATION PRIOR TO INDIVIDUAL LOT DEVELOPMENT. EACH PHASE MUST BE CONSTRUCTED AND STABILIZED PRIOR TO ADVANCING TO THE NEXT PHASE. LOT DISTURBANCE SHALL NOT OCCUR UNTIL ALL ROAD AND DRAINAGE STRUCTURES ASSOCIATED WITH THE PROJECT ARE CONSTRUCTED AND STABILIZED.
 - ALL TURN AROUNDS WILL MEET THE REQUIREMENTS OF THE BARRINGTON FIRE DEPARTMENT.
 - COMMERCIAL LOTS MAY BE REQUIRED TO PROVIDE ADDITIONAL FIRE PROTECTION OVER AND ABOVE WHAT IS SHOWN ON THE PLAN.

IN THE EVENT THAT CONSTRUCTION HAS NOT REACHED THE WETLAND CROSSING (WHICH SHALL BE THE FINAL PHASE OF CONSTRUCTION) BY JULY OF '2022, A QUALIFIED BOTANIST SHALL CONDUCT A SURVEY FOR SMOOTH BLACK SEDGE IN THE AREA. IF FOUND THE PLANT(S) SHALL BE TRANSPLANTED ADJACENT TO THEIR LOCATION OUTSIDE OF ANY PROPOSED AREA OF DISTURBANCE. CONTACT AMY LAMB AT NH NATURAL BUREAU AT 603-892-5182.



TOWN NOTES

IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE AND SHALL BE MAINTAINED THROUGHOUT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.

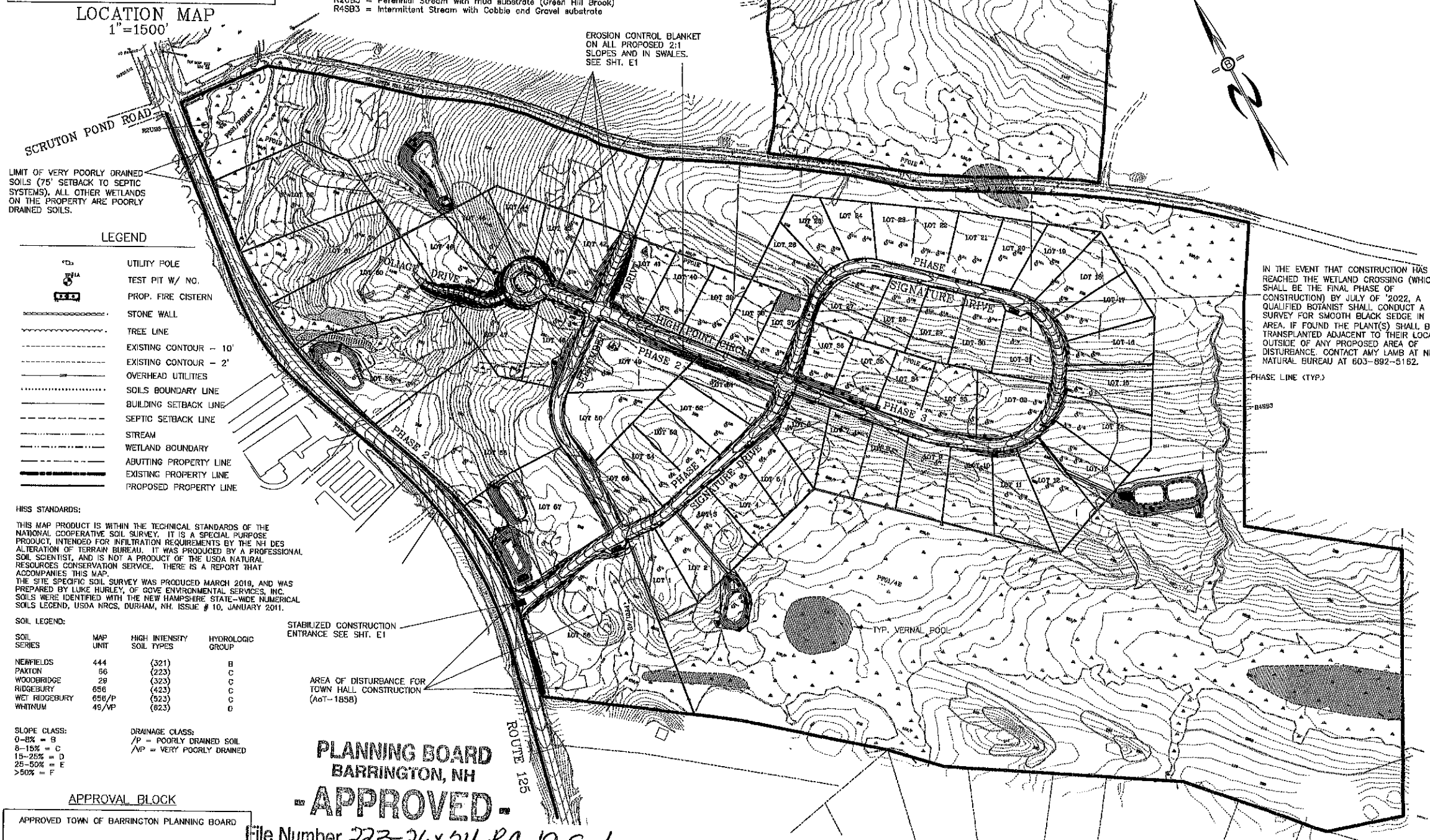
ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SUBDIVISION REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

REVISED PER NHDES SUBSURFACE RMI	1-10-22
REVISED PER AOT RMI	12-7-21
REVISED PER AOT RMI	11-10-21
REVISED ACCESS DESIGN	10-8-20
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

OPEN SPACE SUBDIVISION

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE:	MAY 2019	SCALE:	1"=150'
PROJ. NO.:	NH-1144	SHEET NO.:	12 OF 37



- LEGEND**
- UTILITY POLE
 - TEST PIT W/ NO.
 - PROP. FIRE CISTERN
 - STONE WALL
 - TREE LINE
 - EXISTING CONTOUR - 10'
 - EXISTING CONTOUR - 2'
 - OVERHEAD UTILITIES
 - SOILS BOUNDARY LINE
 - BUILDING SETBACK LINE
 - SEPTIC SETBACK LINE
 - STREAM
 - WETLAND BOUNDARY
 - ADJUTING PROPERTY LINE
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE

HISS STANDARDS:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SDI SURVEY WAS PRODUCED MARCH 2018, AND WAS PREPARED BY LUKE HURLEY, OF GOVE ENVIRONMENTAL SERVICES, INC. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011.

SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	56	(223)	C
WOODBRIDGE	28	(323)	C
RIDGESBURY	656	(423)	C
WET RIDGESBURY	656/P	(523)	C
WHITNUM	45/VP	(823)	D

SLOPE CLASS:
 0-2% = B
 3-15% = C
 15-25% = D
 25-50% = E
 >50% = F

DRAINAGE CLASS:
 /P = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED

PLANNING BOARD
BARRINGTON, NH
APPROVED

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

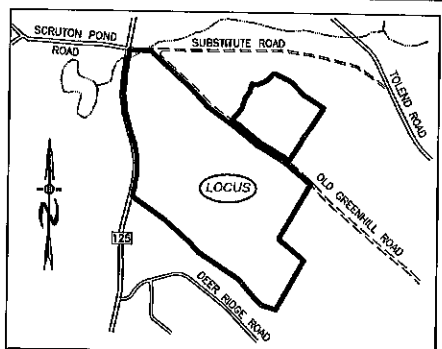
File Number 223-26x24-RC-19-Sub
 Date 2/2/2022
 Chairman [Signature]

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

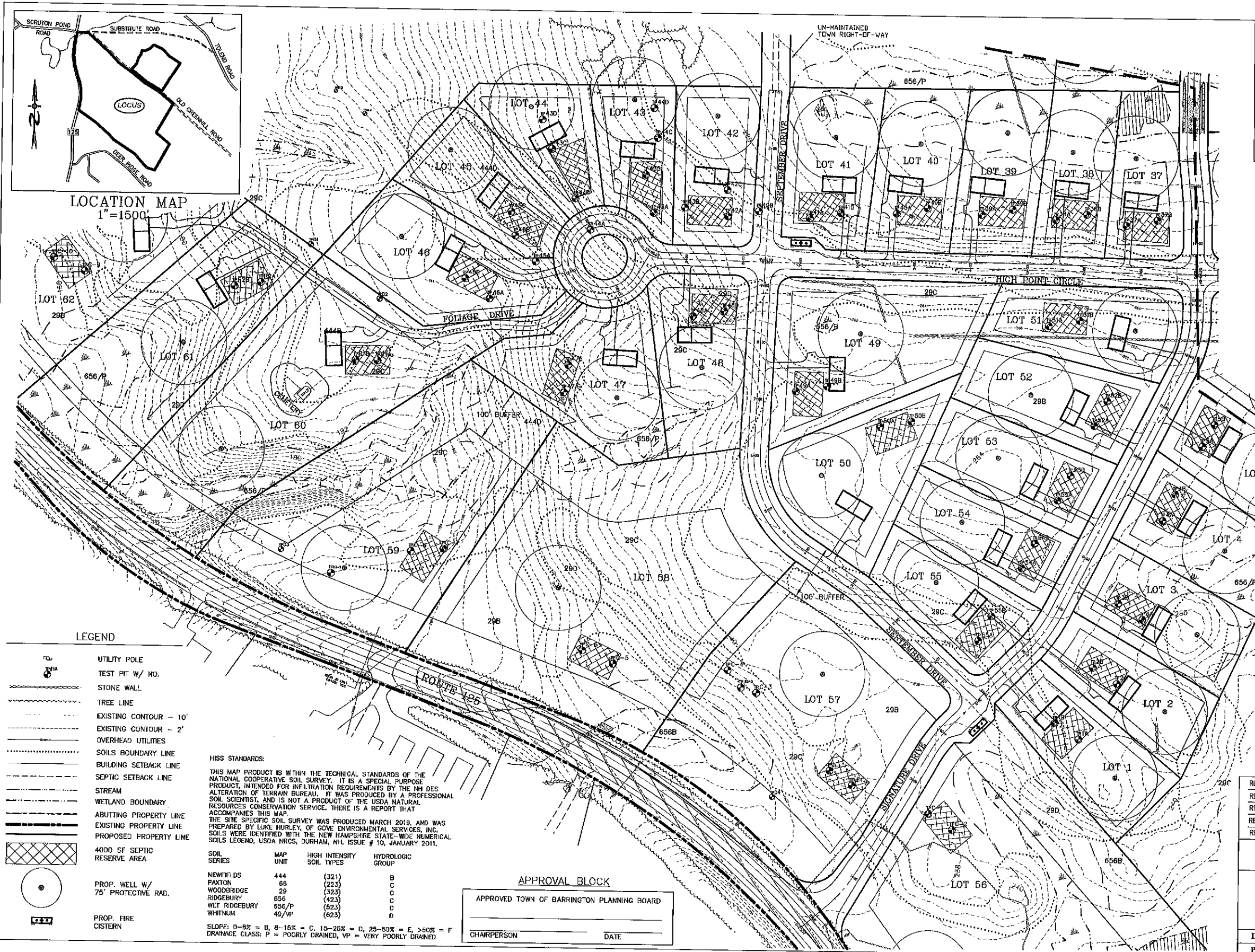
BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'



LOCATION MAP
 1"=1500'



LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4000 SF SEPTIC RESERVE AREA
- PROP. WELL W/ 75' PROTECTIVE RAD.
- PROP. FIRE CISTERNS

HISS STANDARDS:
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SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	66	(223)	C
WOODBRIDGE	29	(323)	C
RIDGEBURY	856/P	(423)	C
WET RIDGEBURY	856/P	(623)	C
WHITNUM	49/VP	(623)	D

SLOPE: 0-8% = B, 8-15% = C, 15-25% = D, 25-50% = E, >50% = F
 DRAINAGE CLASS: P = POORLY DRAINED, VP = VERY POORLY DRAINED

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

**PLANNING BOARD
 BARRINGTON, NH
 - APPROVED -**
 File Number 203-26424-Rc-19Sm
 Date 2/17/2020
 Chairman _____

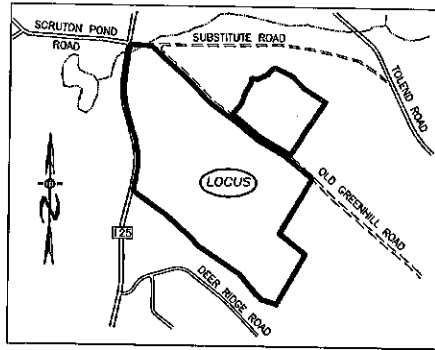


REVISED FUTURE ACCESS	11-5-20
REVISED ACCESS DESIGN	10-8-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

OPEN SPACE SUBDIVISION

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE:	JAN. 2019	SCALE:	1"=80'
PROJ. NO.:	NH-1144	SHEET NO.:	13 OF 37



LOCATION MAP
1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4000 SF RESERVE AREA
- PROP. WELL W/
75' PROTECTIVE RAD.
- PROP. FIRE
CISTERN

PLANNING BOARD
BARRINGTON, NH

APPROVED

File Number 223-26 & 24-RC-19Sub

Date 2/7/2022

Chairman

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SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	85	(223)	C
WOODBRIDGE	29	(323)	C
RIDGEBURY	556	(423)	C
WET RIDGEBURY	656/P	(523)	C
WITHUM	49/VP	(623)	D

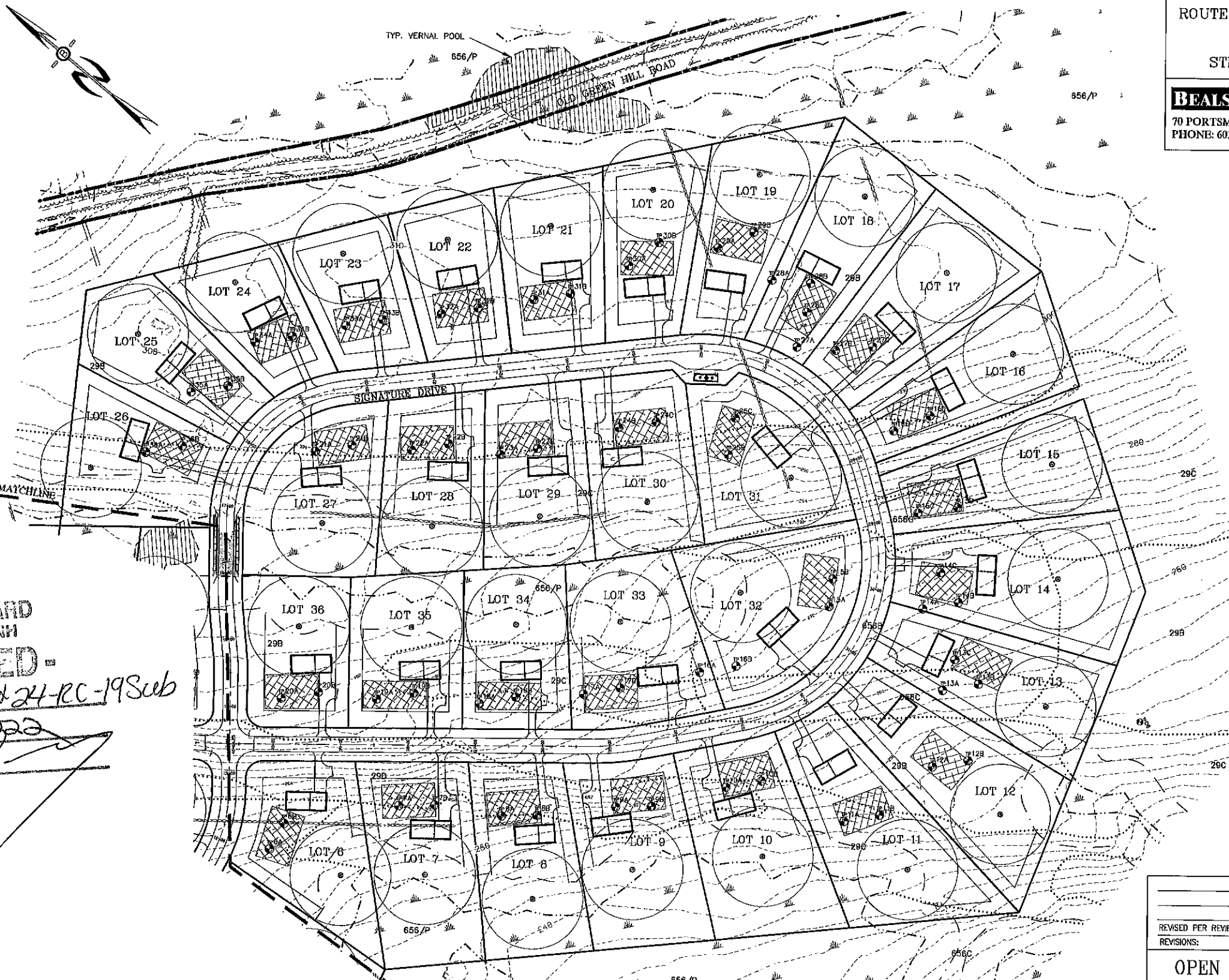
SLOPE CLASS:
0-3% = B
4-15% = C
15-25% = D
25-50% = E
>50% = F

DRAINAGE CLASS:
/P = POORLY DRAINED SOIL
/VP = VERY POORLY DRAINED

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____



PREPARED FOR:

ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

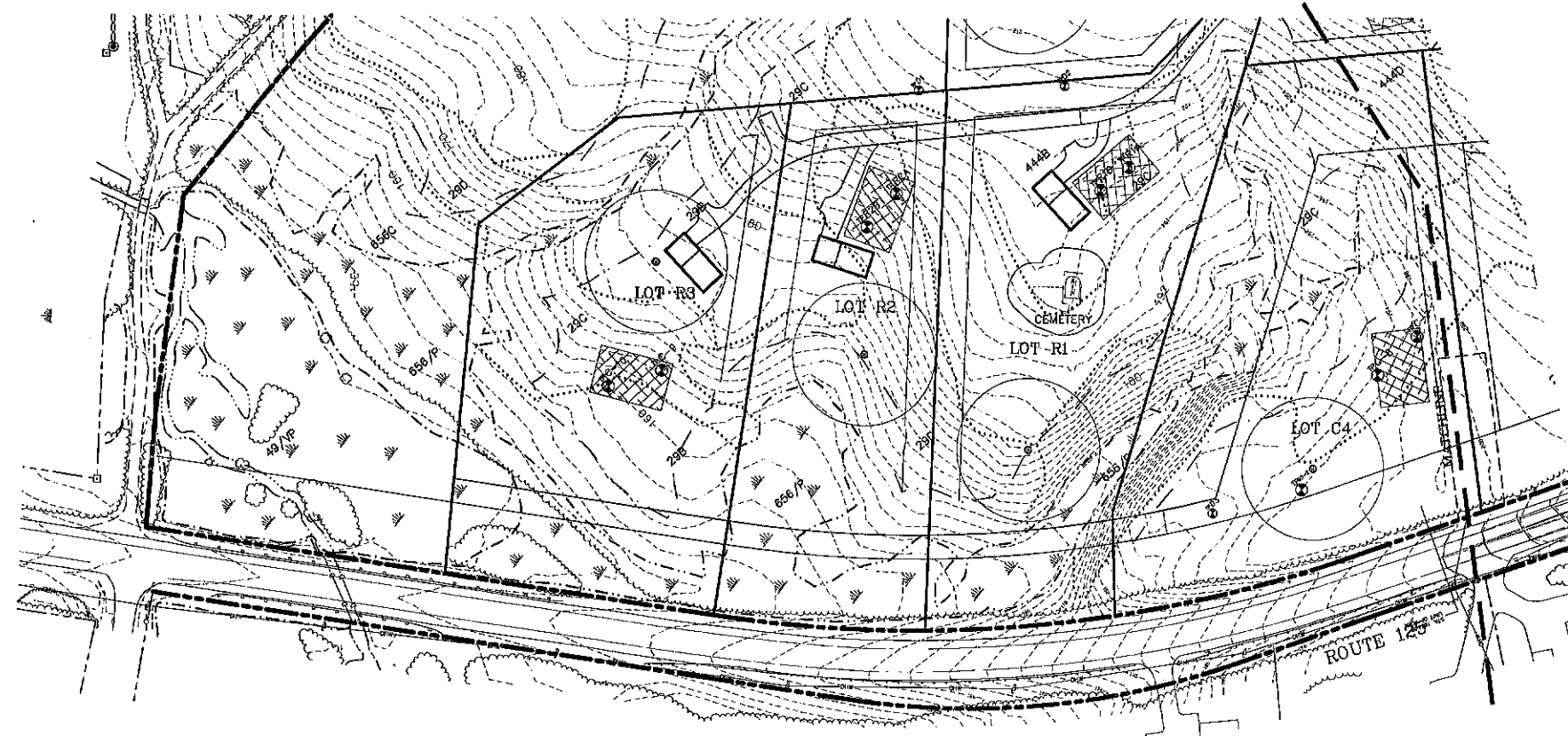
ZONE: REGIONAL COMMERCIAL
CONSERVATION SUBDIVISION
MIN. PARENT PARCEL = 20.0 AC.
MIN. LOT SIZE = 20,000 SF
MIN. WIDTH = 75' @ FRONT SETBACK
MIN. PERIMETER BUFFER = 100'
MAX. HEIGHT = 35'

BUILDING SETBACKS:

FRONT 25'
SIDE & REAR 20'
WETLANDS 50'
LEACH FIELD SETBACKS
POORLY DRAINED SOILS 50'
VERY POORLY DRAINED SOILS 75'

REVISED PER REVIEW COMMENTS		6-20-19
REVISIONS:		DATE:
OPEN SPACE SUBDIVISION		
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH		
DATE:	JAN. 2019	SCALE: 1"=80'
PROJ. NO.:	NH-1144	SHEET NO. 14 OF 37





PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

ZONE: REGIONAL COMMERCIAL		
USE:	RESIDENTIAL	COMMERCIAL
MIN. LOT SIZE =	80,000 SF	40,000 SF
MIN. FRONTAGE =	200'	200'
MAX. HEIGHT =	35'	40'
BUILDING SETBACKS:		
FRONT	40'	75'
SIDE & REAR	30'	30'
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		100'
LEACH FIELD SETBACKS		
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		100'

PLANNING BOARD
BARRINGTON, NH

APPROVED

File Number 223-26+24-RC-195UD

Date 2/7/2022

Chairman [Signature]

HISS STANDARDS:

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SOIL LEGEND:

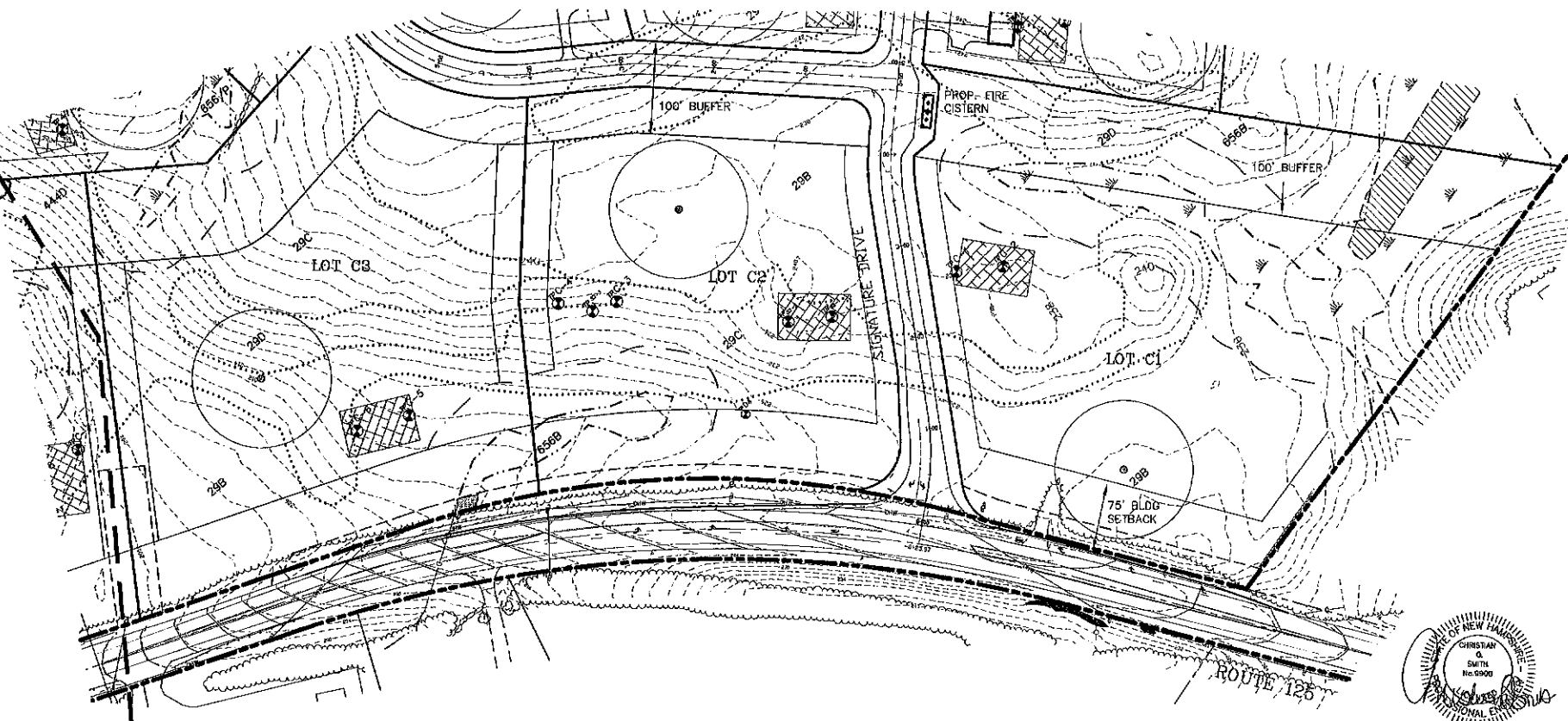
SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	66	(223)	C
WOODBRIDGE	29	(323)	C
RIDGEBURY	656	(423)	C
WET RIDGEBURY	656/P	(523)	C
WHITNUM	49/VP	(623)	D

SLOPE CLASS:

0-8% = B
 9-15% = C
 15-25% = D
 25-50% = E
 >50% = F

DRAINAGE CLASS:

/P = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED



APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

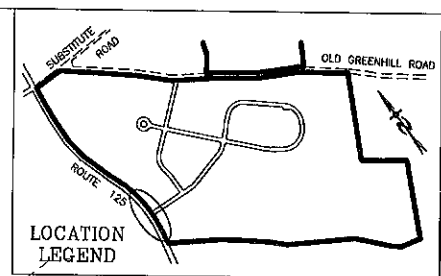
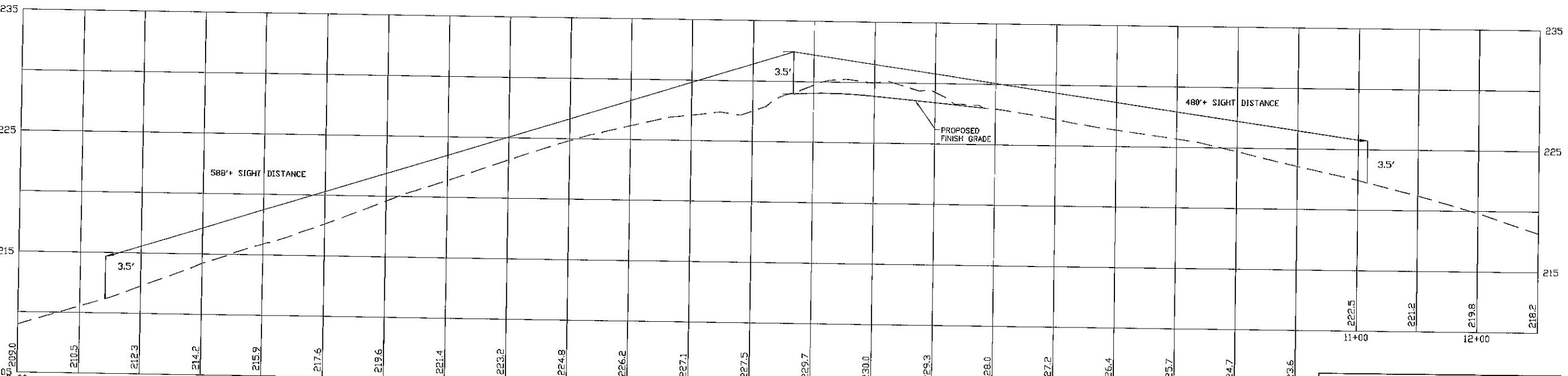
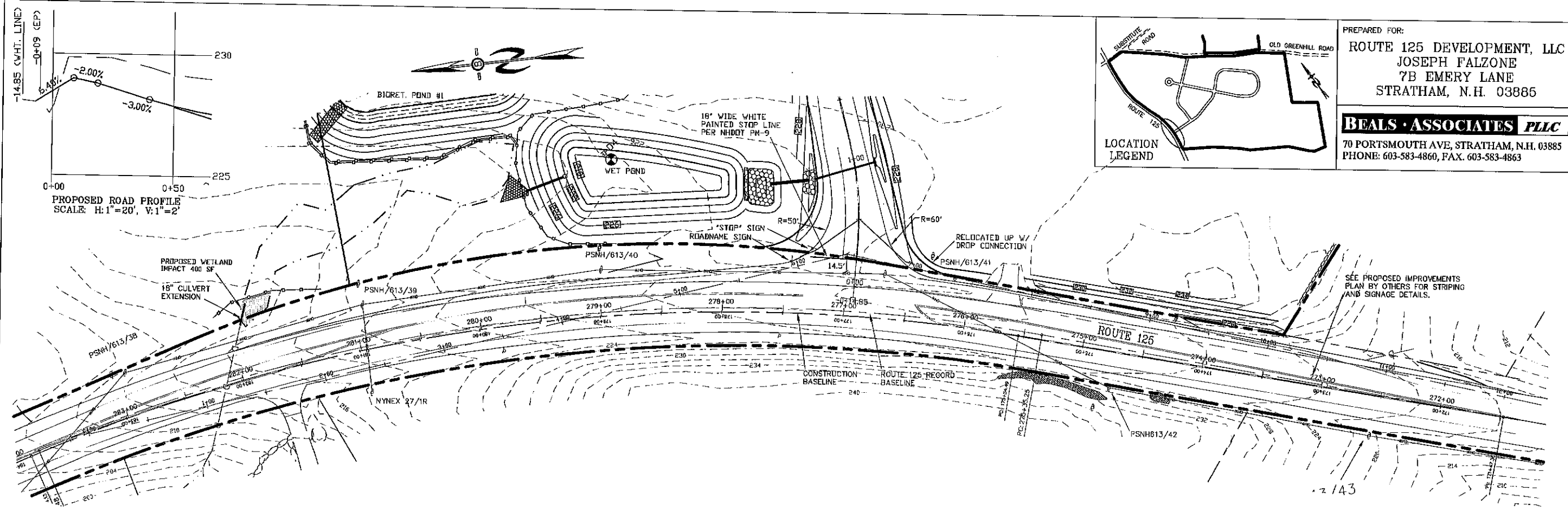
REVISED ACCESS DESIGN	10-8-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

COMMERCIAL LOTS SITE PLAN

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE:	JAN. 2019	SCALE:	1"=80'
PROJ. NO:	NH-1144	SHEET NO.	15 OF 37



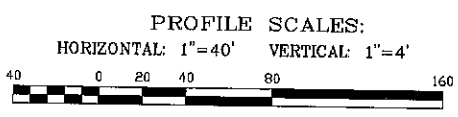


PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

PLANNING BOARD
 BARRINGTON, NH

APPROVED
 File Number 2023-26 + 24-RC-19 Sub
 Date 2/3/2022
 Chairman [Signature]

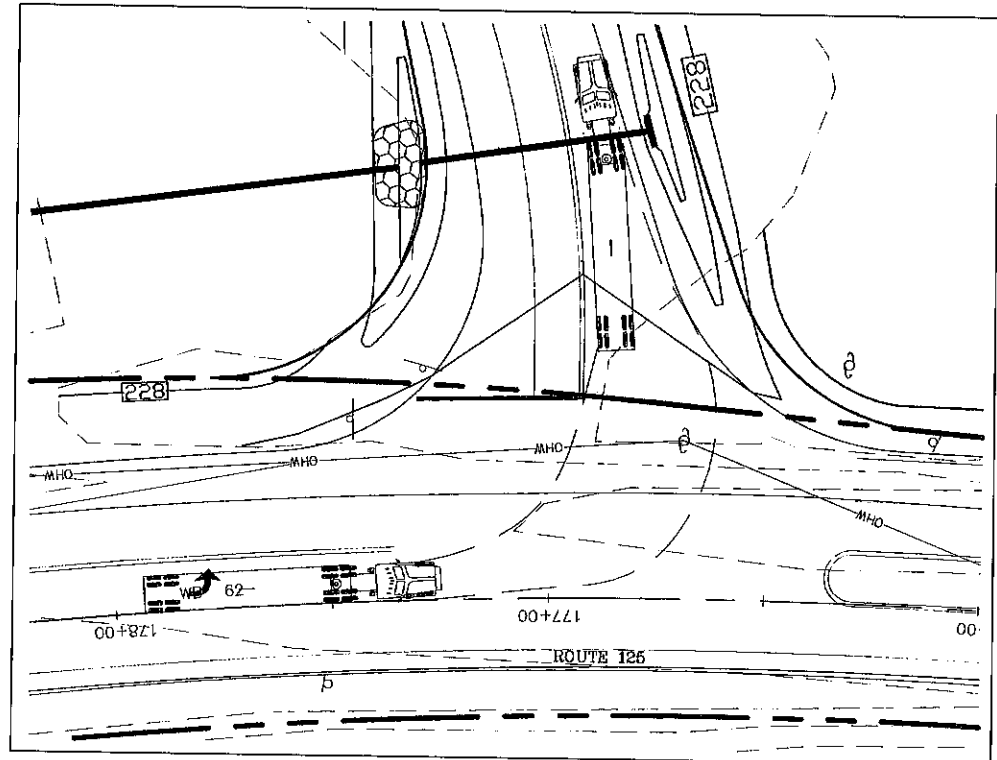


REVISED PER NHDES RMI	12-7-21
REVISED PER NHDOT COMMENTS	10-15-21
REVISED PER NHDES RFM	8-24-21
REVISED PER NHDOT COMMENTS	2-18-20
REVISIONS:	DATE:

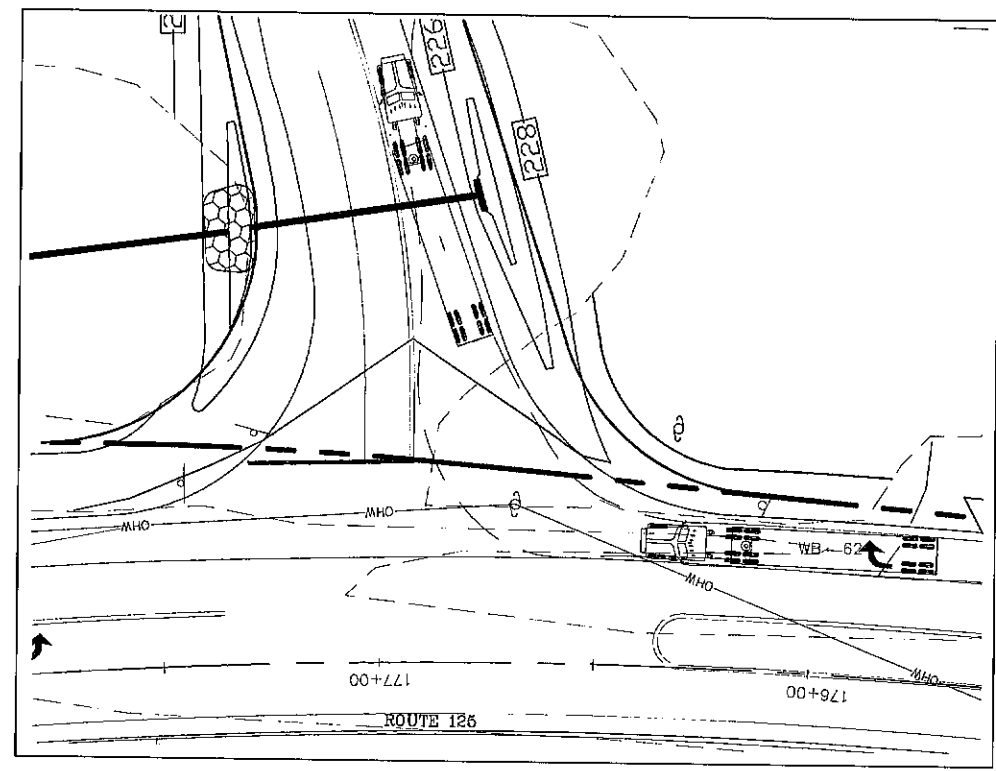
SOUTH ENTRANCE PLAN-H1

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

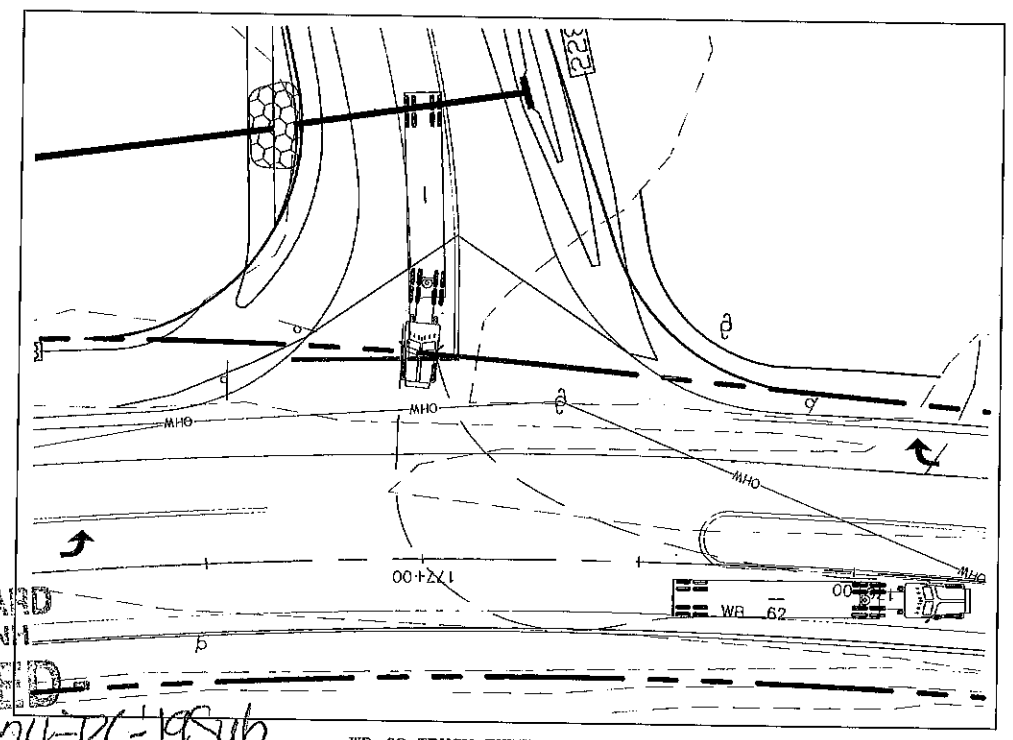
DATE: NOV. 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 16 OF 37



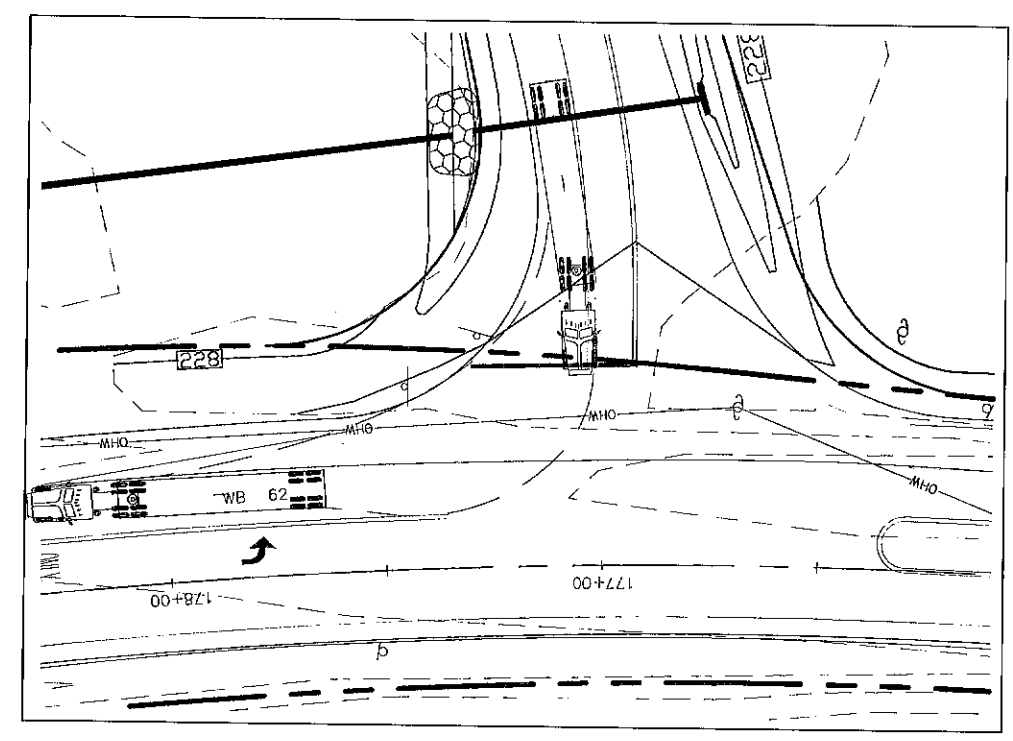
WB-62 TRUCK ENTERING SOUTHBOUND DETAIL
SCALE: 1"=20'



WB-62 TRUCK ENTERING NORTHBOUND DETAIL
SCALE: 1"=20'



WB-62 TRUCK EXITING SOUTHBOUND DETAIL
SCALE: 1"=20'



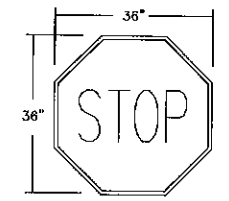
WB-62 TRUCK EXITING NORTHBOUND DETAIL
SCALE: 1"=20'



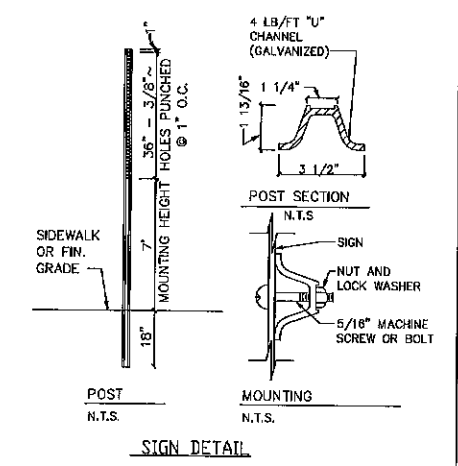
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BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

LOCATION LEGEND



R1-1
WHITE LETTERING
ON RED



REVISED PER NHDOT COMMENTS	2-18-20
REVISIONS:	DATE:
SOUTH ENTRANCE TURNING	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: NOV. 2019	SCALE: 1"=20'
PROJ. NO: NH-1130	SHEET NO. 17 OF 30

PLANNING BOARD
BARRINGTON, NH

APPROVED

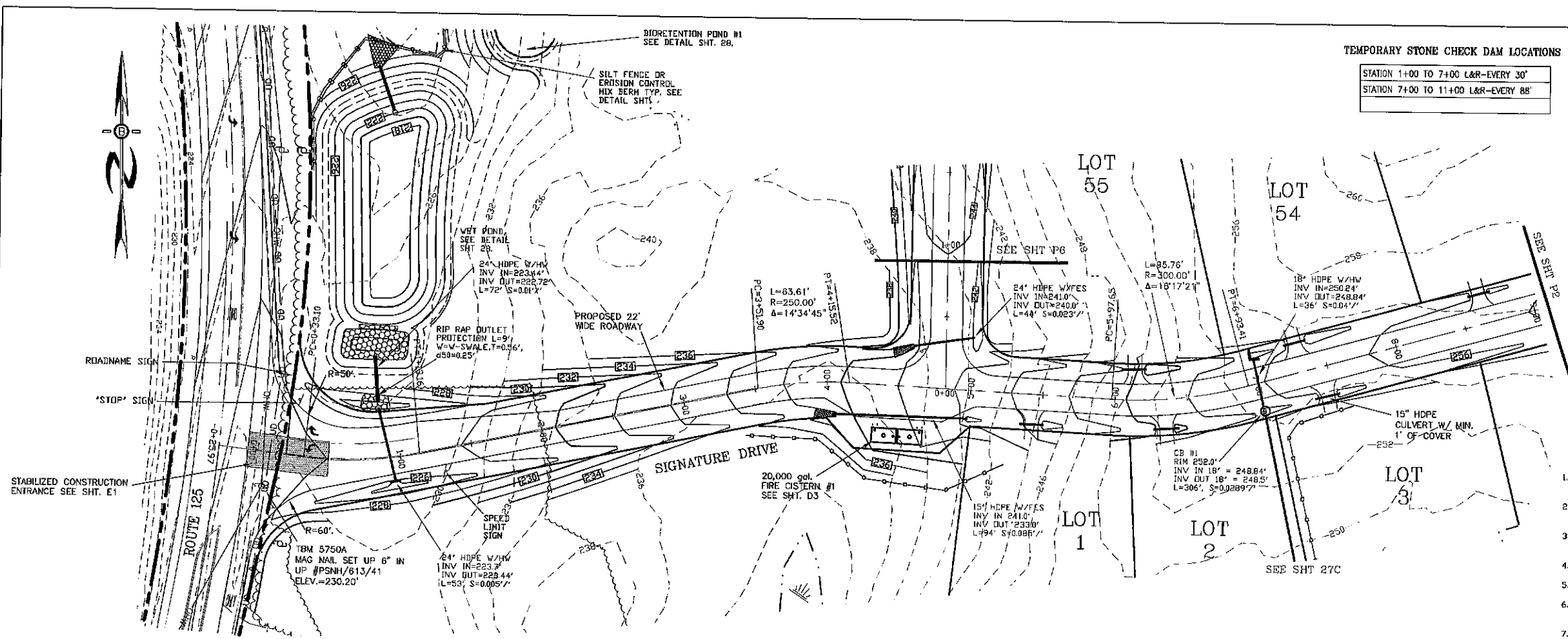
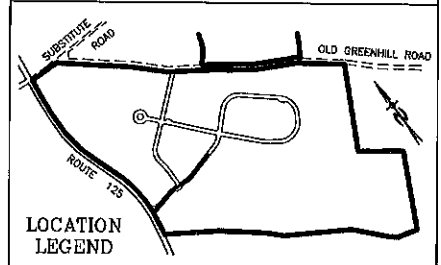
File Number 223-26424-RC-19 Sub

Date 2/7/2022

Chairman [Signature]

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



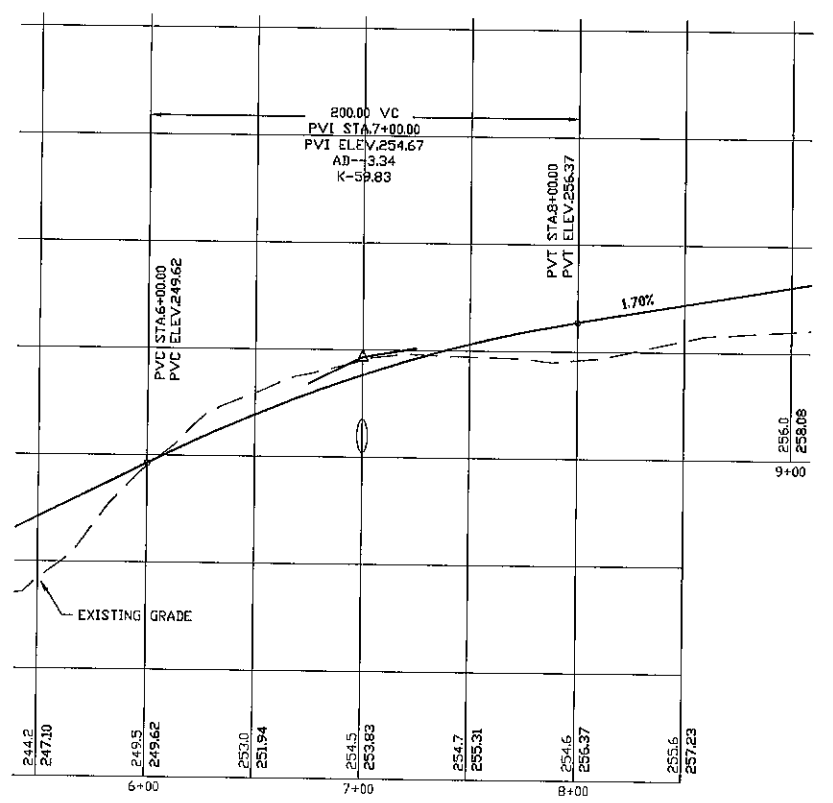
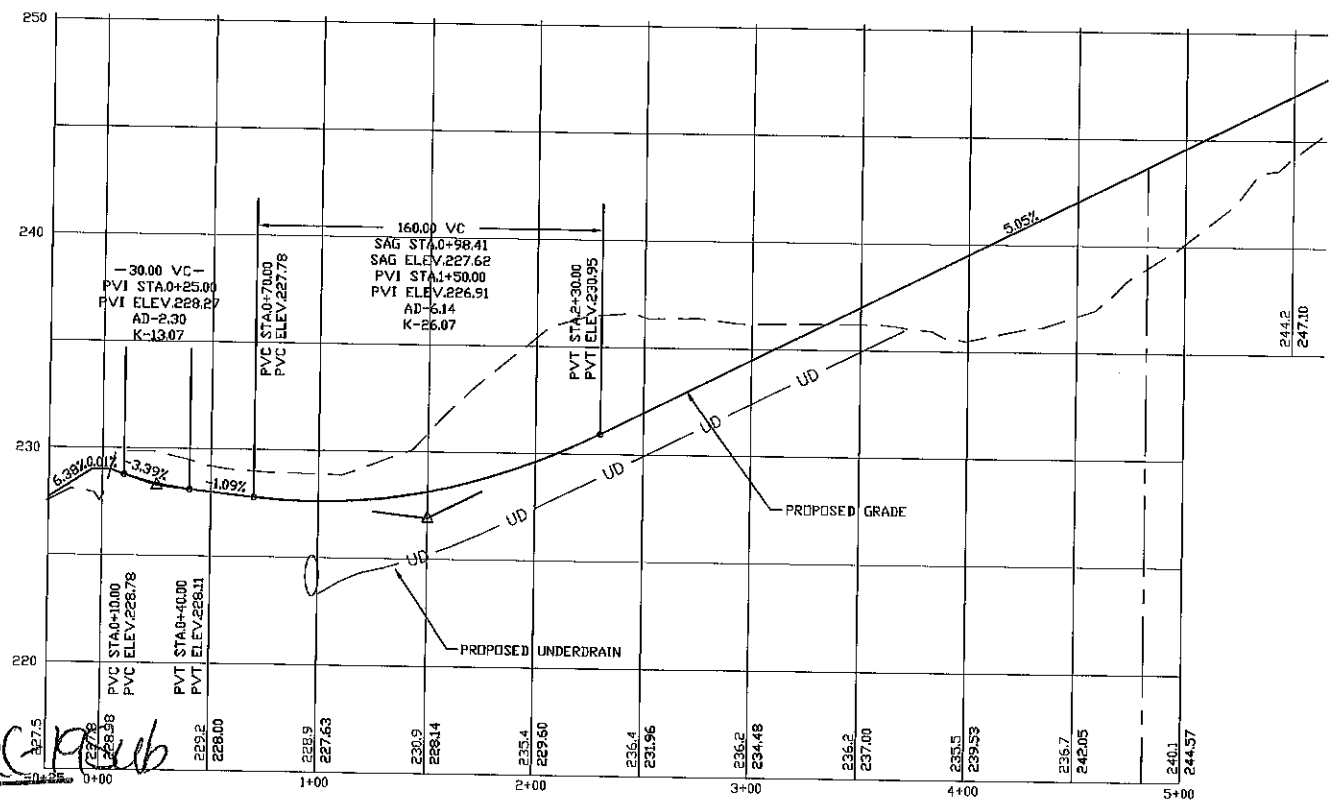
TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 1+00 TO 7+00 L&R-EVERY 30'
 STATION 7+00 TO 11+00 L&R-EVERY 88'

STABILIZED CONSTRUCTION ENTRANCE SEE SHT. E1

- NOTES**
- ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
 - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
 - ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
 - ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
 - SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 - ALL CROSS CULVERTS & DRIVEWAY CULVERTS TO BE MIN. 15" ADS N-12 AND TO HAVE MASONRY HEADWALLS UNLESS FLARED END SECTIONS ARE SPECIFIED ON THE PLANS.
 - NATURAL VEGETATED FILTER STRIPS ARE TO REMAIN WOODED.
 - ALL SIDE SLOPES STEEPER THAN 3:1 (WETLAND CROSSINGS) TO BE LINED WITH JUTE MATTING.
 - ALL SWALE MATTING WILL EXTEND TO THE LIP OF THE LEVEL SPREADER AT LIP OF THE LEVEL SPREADER AT THE END OF EACH SWALE.
 - ALL PERMANENT EROSION CONTROL SWALE LINING MATERIAL SHALL BE MAG C350 OR EQUIVALENT. ALL OTHER SWALES WILL BE PROTECTED WITH TEMPORARY STONE CHECK DAMS (S.C.D.) UNTIL THE VEGETATION HAS FULLY STABILIZED. AT THIS TIME THE S.C.D.'S WILL BE REMOVED.



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'



REVISED PER AOT RMI	11-10-21
REVISED PER NHDOT COMMENTS	6-2-20
REVISED PER NHDOT COMMENTS	4-21-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P1

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: MAY 2019 SCALE: 1"=40'
 PROJ. NO: NH-1144 SHEET NO. 19 OF 37

PLANNING BOARD
 BARRINGTON, NH

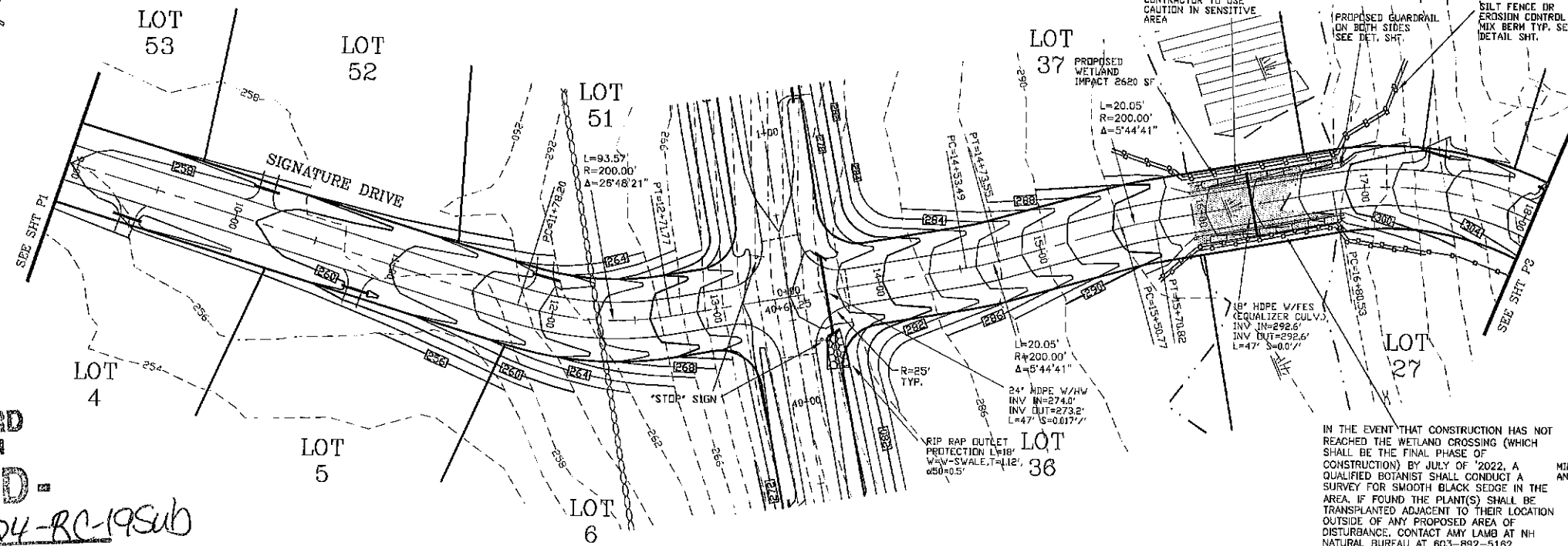
APPROVED

Number 23-2014RC-1926

Date 8/7/2022

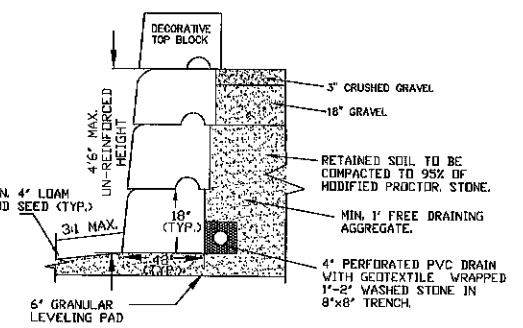
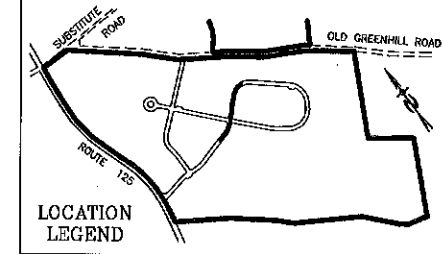
Chairman [Signature]

TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 7+00 TO 11+00 L&R-EVERY 88'
 STATION 11+00 TO 15+50 L&R-EVERY 22'



PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
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 PHONE: 603-583-4860, FAX: 603-583-4863



IN THE EVENT THAT CONSTRUCTION HAS NOT REACHED THE WETLAND CROSSING (WHICH SHALL BE THE FINAL PHASE OF CONSTRUCTION) BY JULY OF 2022, A QUALIFIED BOTANIST SHALL CONDUCT A SURVEY FOR SMOOTH BLACK SEDGE IN THE AREA. IF FOUND THE PLANT(S) SHALL BE TRANSPLANTED ADJACENT TO THEIR LOCATION OUTSIDE OF ANY PROPOSED AREA OF DISTURBANCE. CONTACT AMY LAMB AT NH NATURAL BUREAU AT 603-892-5182.

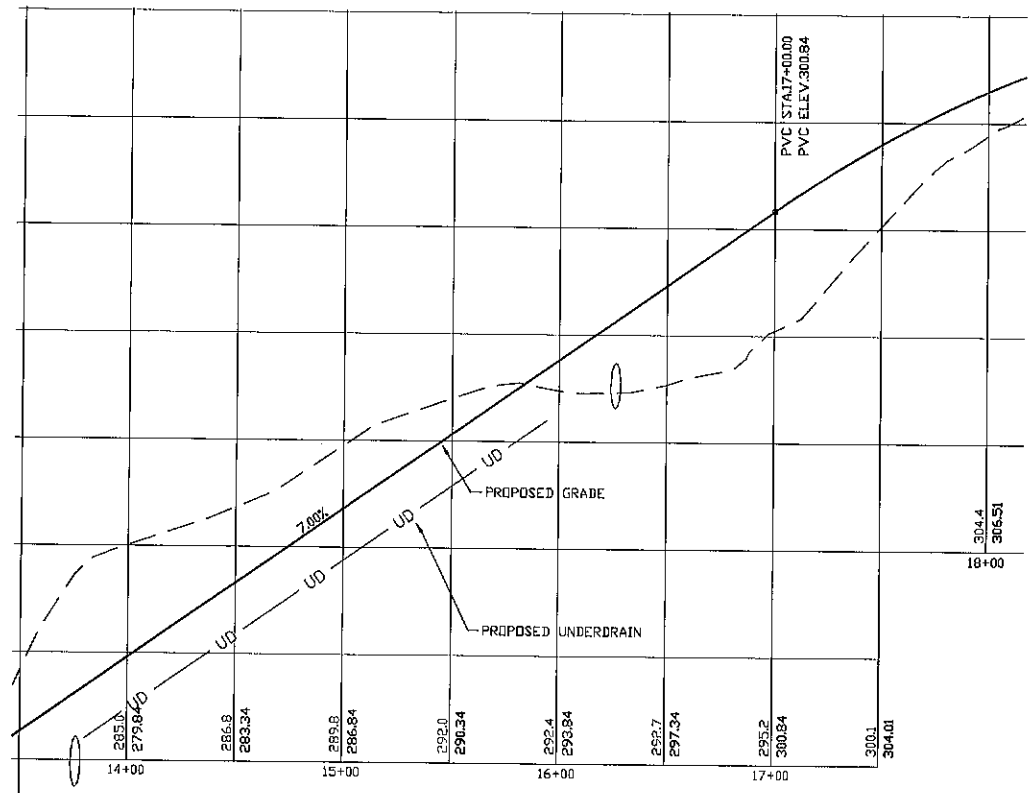
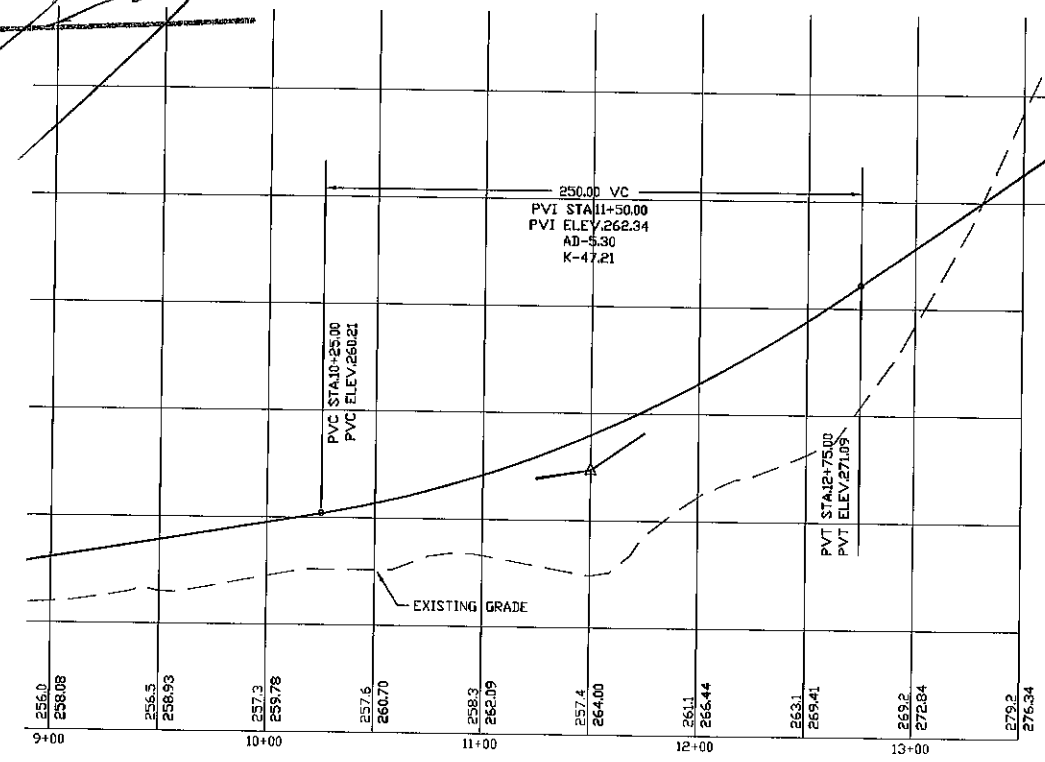
PLANNING BOARD
 BARRINGTON, NH

APPROVED

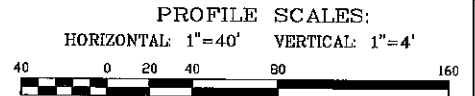
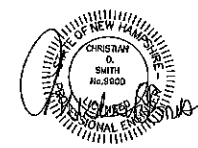
File Number: 22326124-RC-19Sub

Date: 2/7/2022

Chairman: [Signature]



TYPICAL CROSS-SECTION
 "REDI-ROCK" 42" DEEP
 BLOCK RETAINING WALL
 NOT TO SCALE



REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER FB COMMENTS	6-5-19

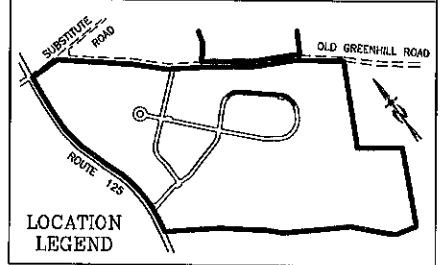
PLAN & PROFILE - P2

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

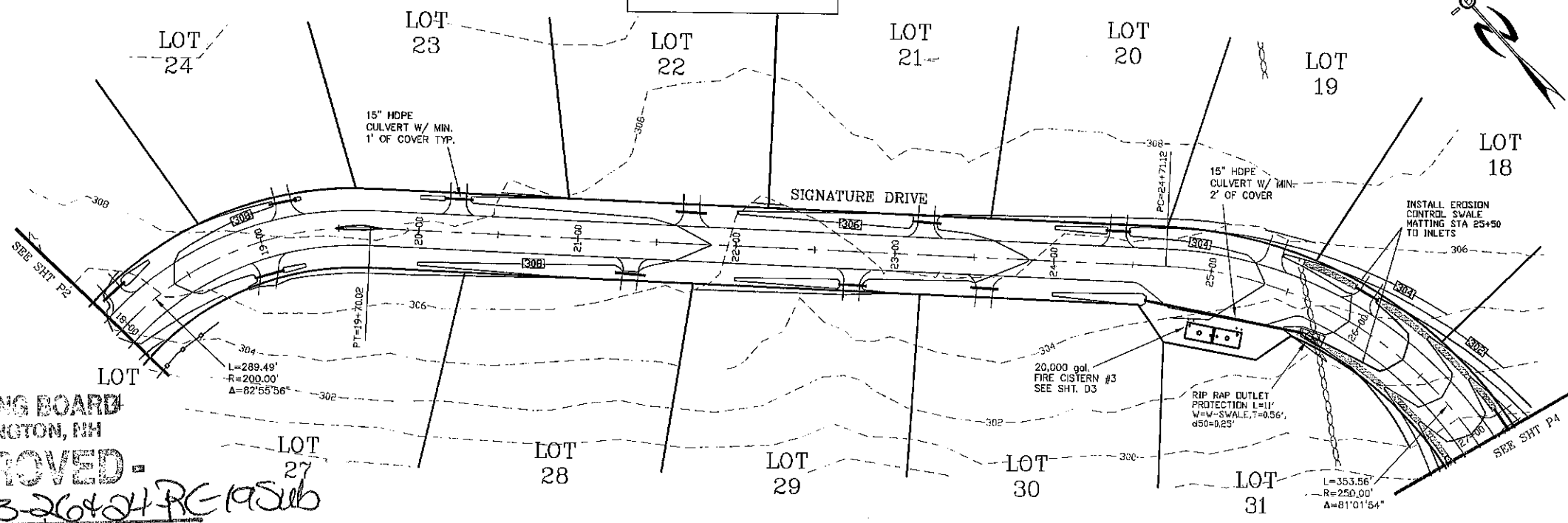
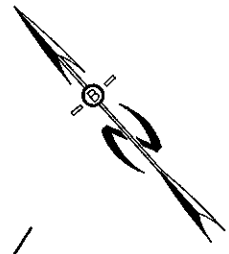
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 20 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

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 PHONE: 603-583-4860, FAX: 603-583-4863



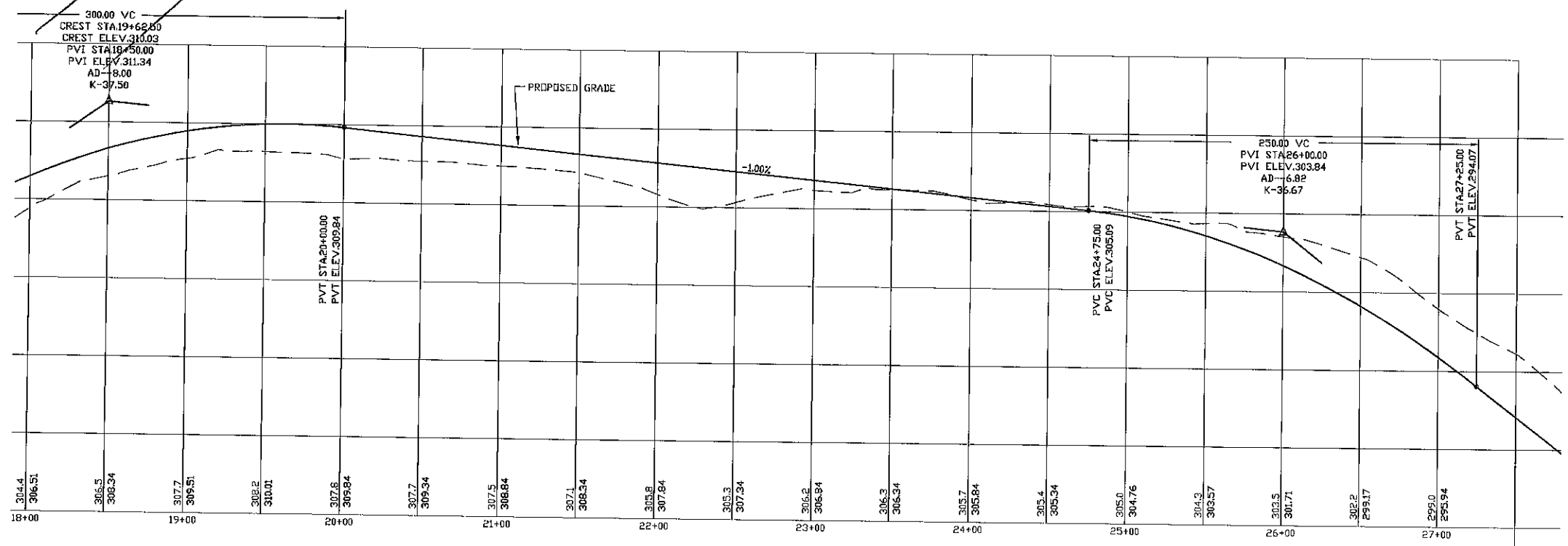
TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 18+00 TO 26+00 L&R-EVERY 150'
 STATION 26+00 TO 32+00 L&R-EVERY 10'



PLANNING BOARD
 BARRINGTON, NH

- APPROVED -

File Number 223-26424 RC-19 Sub
 Date 2/7/2022
 Chairman [Signature]



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 0 20 40 80 160

REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

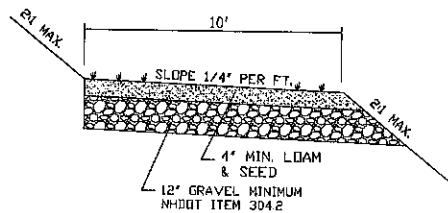
PLAN & PROFILE - P3

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

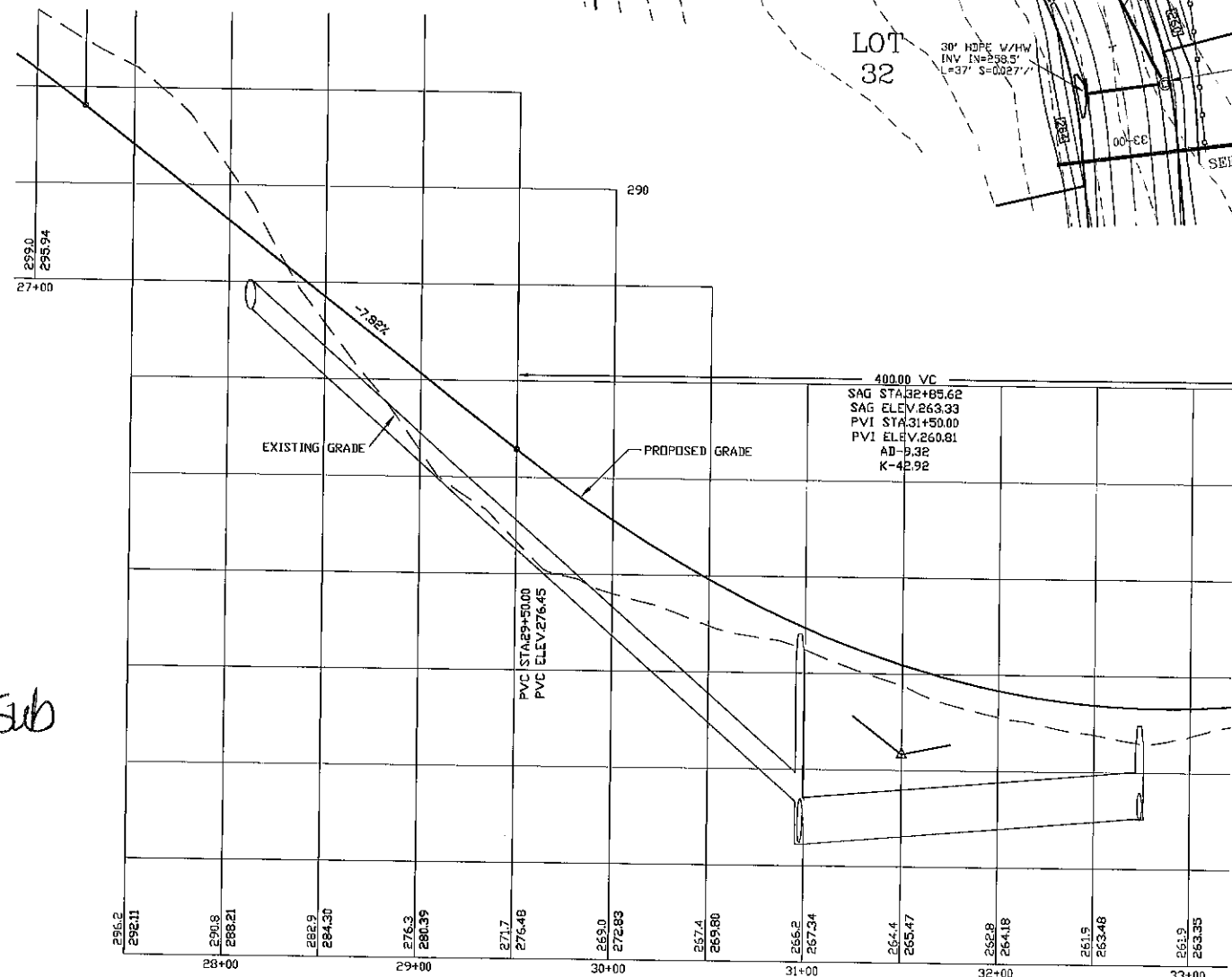
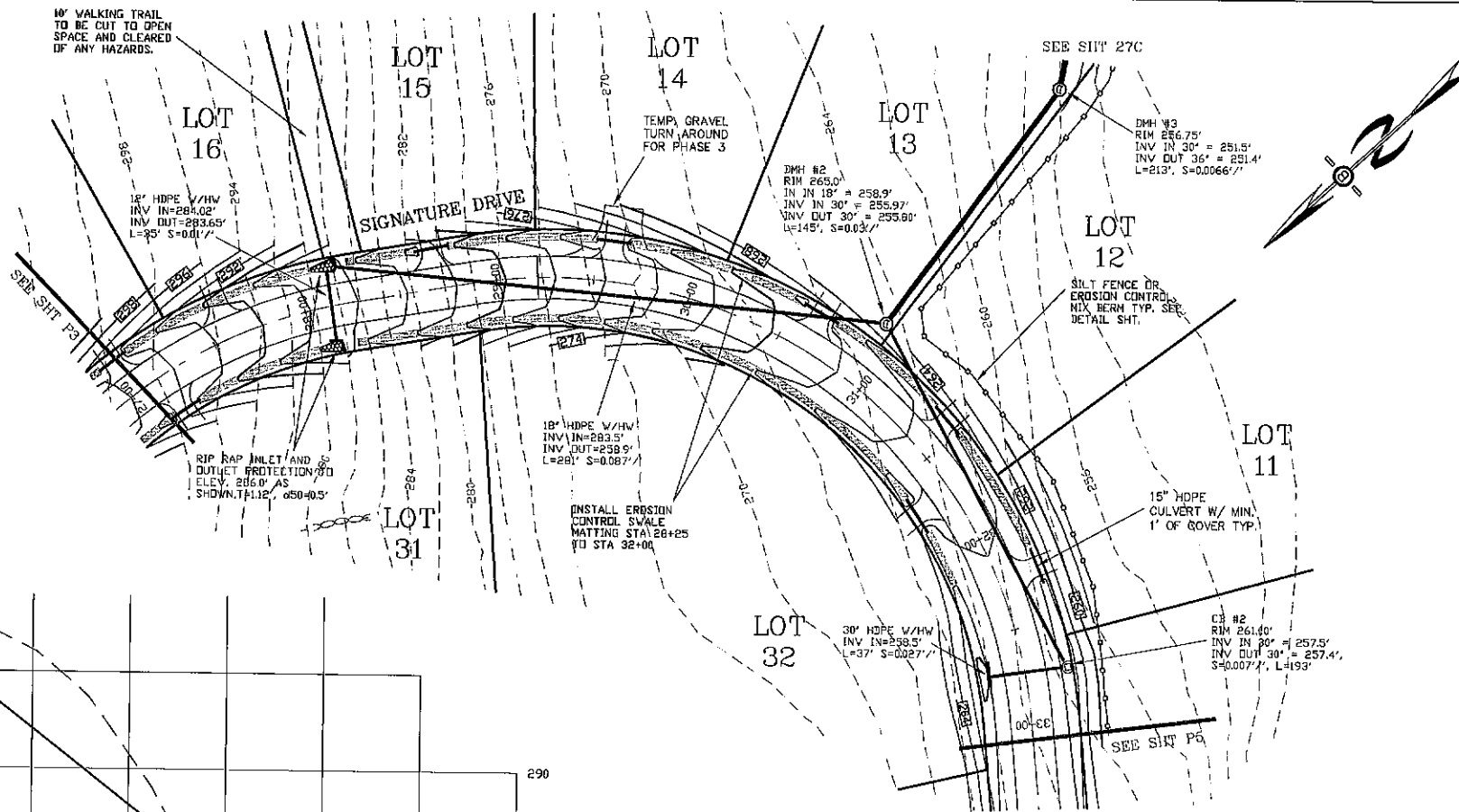
DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 21 OF 37

TEMPORARY STONE CHECK DAM LOCATIONS

STATION 26+00 TO 32+00 L&R-EVERY 19'
 STATION 32+00 TO 40+00 L&R-EVERY 75'



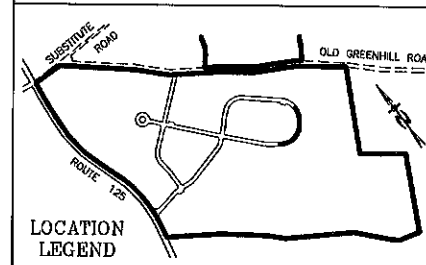
ACCESS TRAIL CROSS SECTION



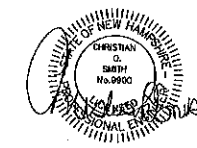
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
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PLANNING BOARD
 BARRINGTON, NH
- APPROVED -
 File Number 23-26124-PC-PSUB
 Date 2/7/2022
 Chairman [Signature]



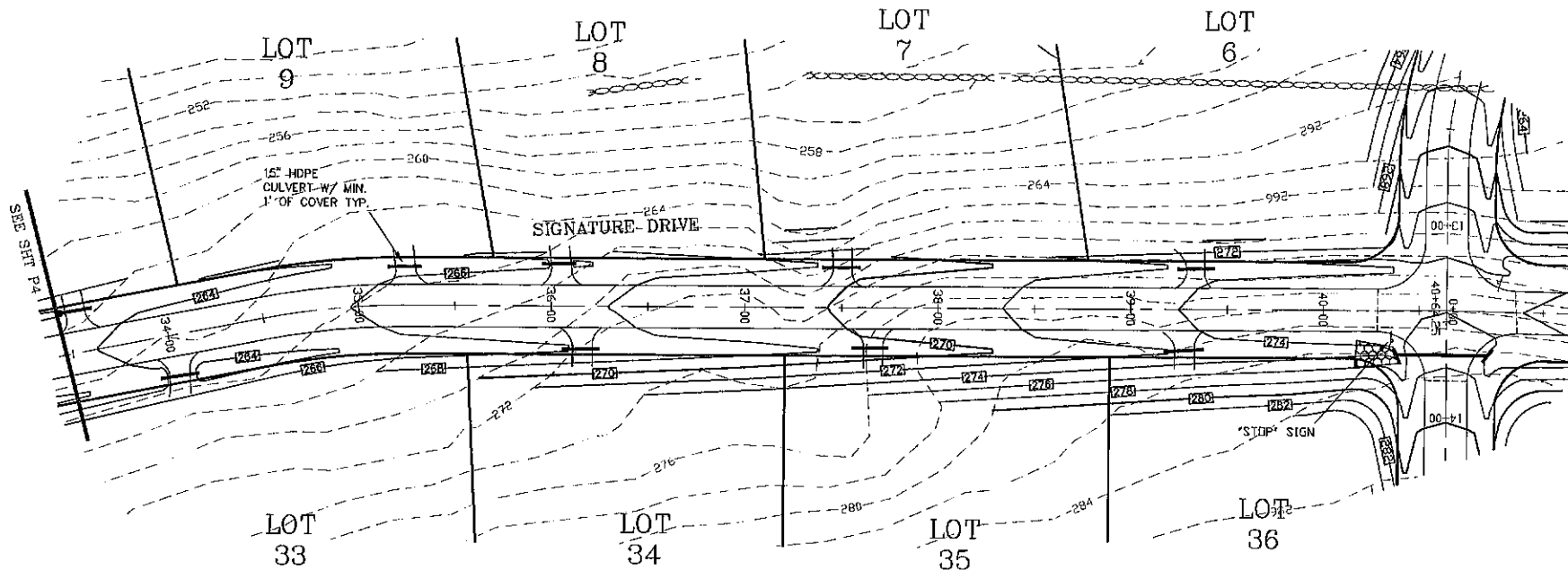
PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 0 20 40 60 80 100 120 140 160

REVISED PER A&T REVIEW COMMENTS	1-5-22
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P4

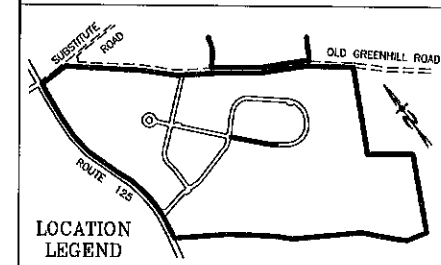
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 22 OF 37

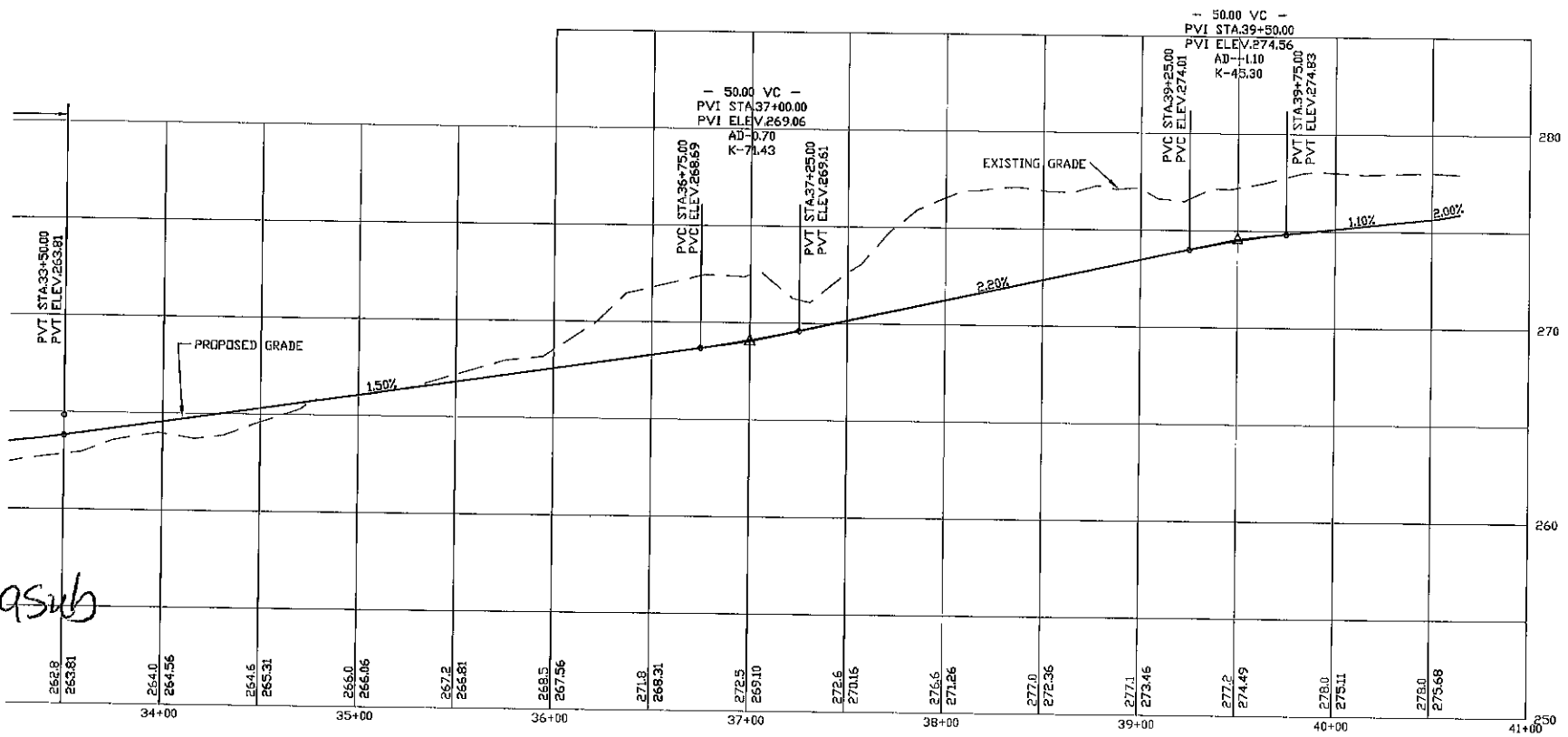


PREPARED FOR:
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 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
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TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 32+00 TO 40+00 L&R-EVERY 75'



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160

REVISED PER AOT REVIEW COMMENTS	1-5-22
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19



PLANNING BOARD
 BARRINGTON, NH
APPROVED
 File Number: 23-26124-RC-19Sub
 Date: 2/7/2022
 Chairman: [Signature]

PLAN & PROFILE - P5

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

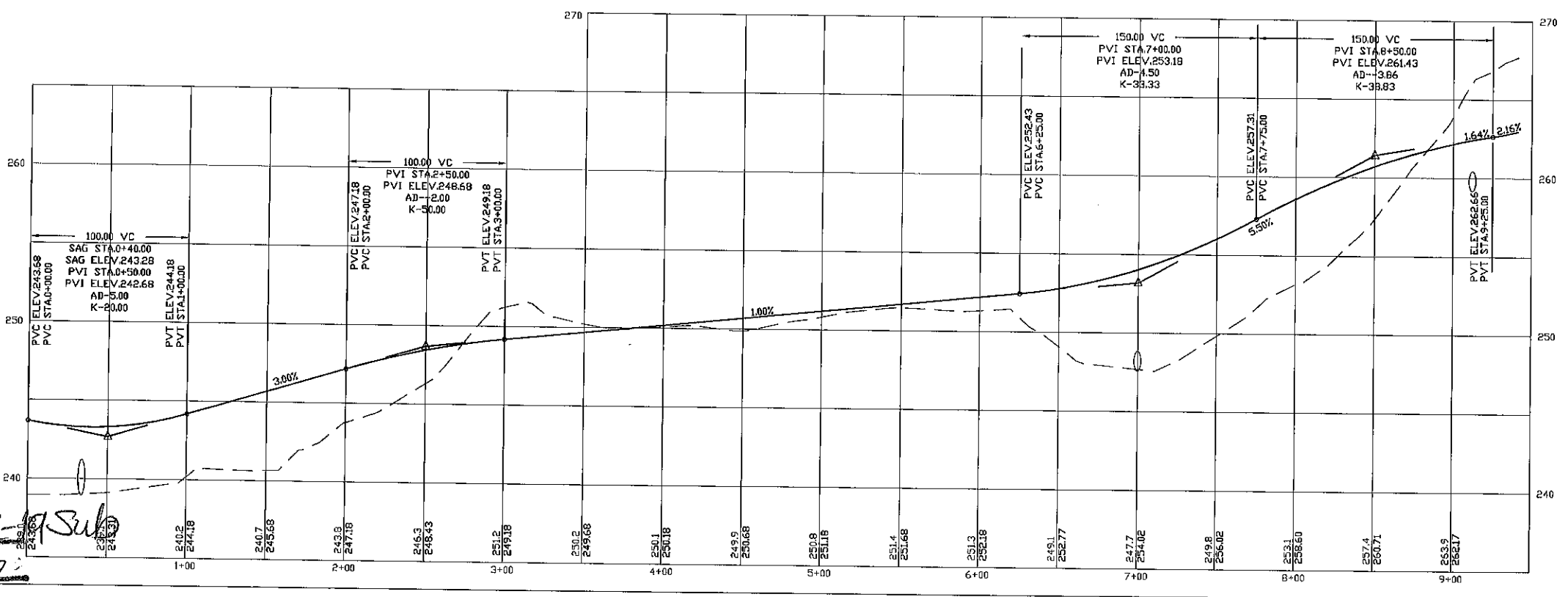
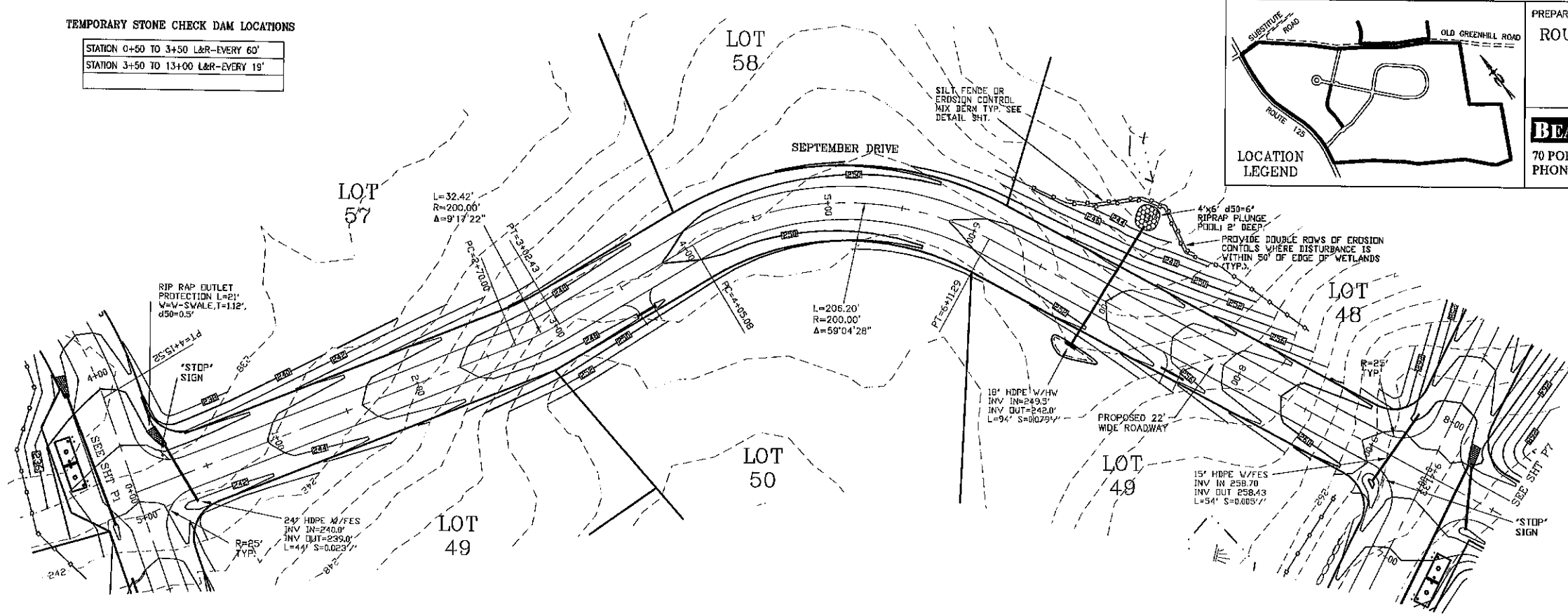
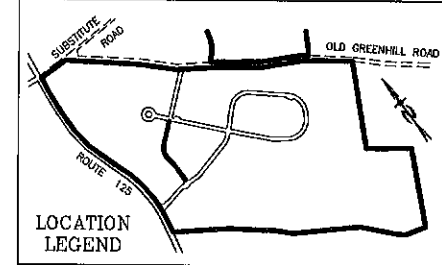
DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-144 SHEET NO. 23 OF 37

TEMPORARY STONE CHECK DAM LOCATIONS

STATION 0+50 TO 3+50 L&R-EVERY 60'
STATION 3+50 TO 13+00 L&R-EVERY 19'

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 PHONE: 603-583-4860, FAX: 603-583-4863



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160

REVISED LOT NO.	1-12-22
REVISED PER AOT RMI	11-10-21

PLAN & PROFILE - P6

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 24 OF 37

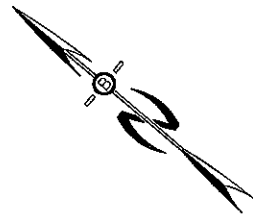
PLANNING BOARD
 BARRINGTON, NH

APPROVED

Number 003-26+24 RC-19 Sub

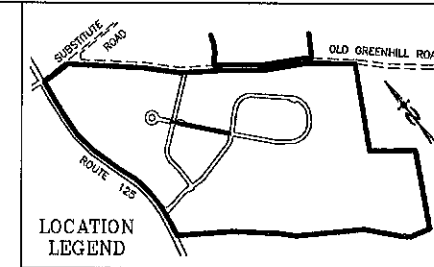
Date 2/3/2022

Chairman [Signature]



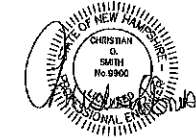
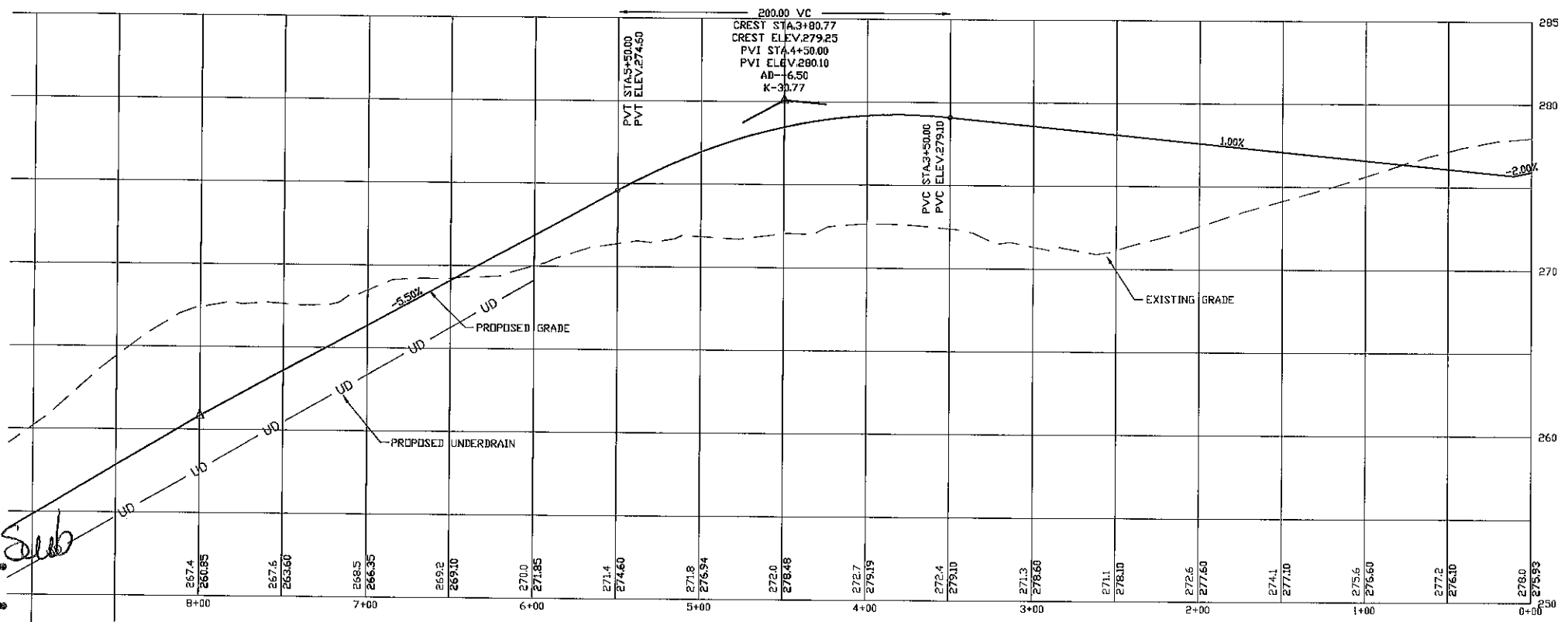
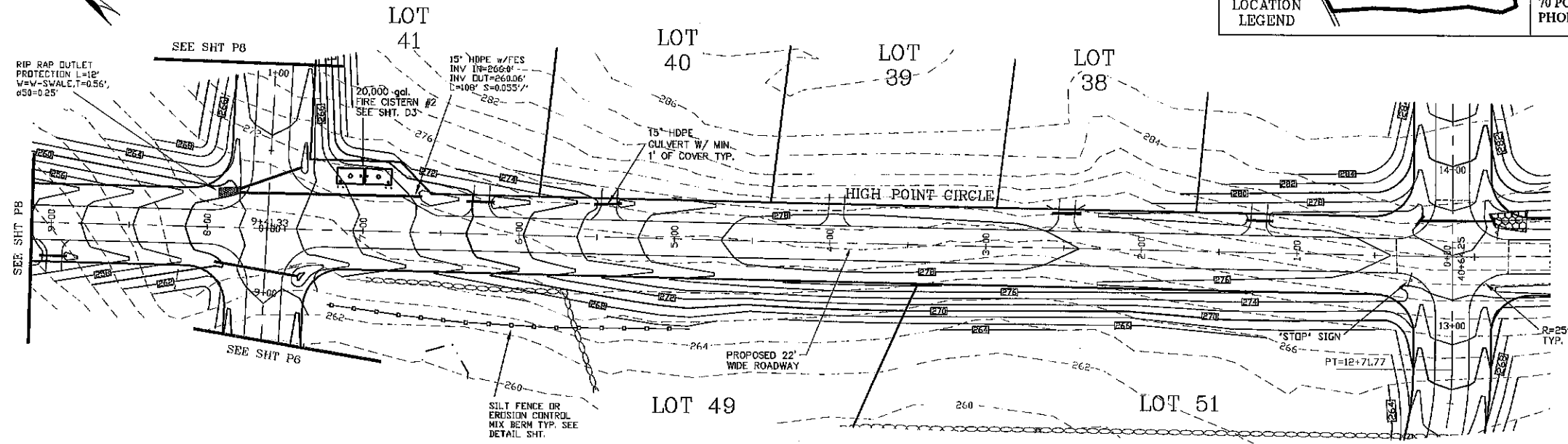
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 3+50 TO 13+00 L&R-EVERY 19'
 STATION 13+00 TO 18+00 L&R-EVERY 150'



PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
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 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160

REVISED FUTURE ACCESS	11-5-20
REVISED ACCESS DESIGN	10-8-20
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P7

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 25 OF 37

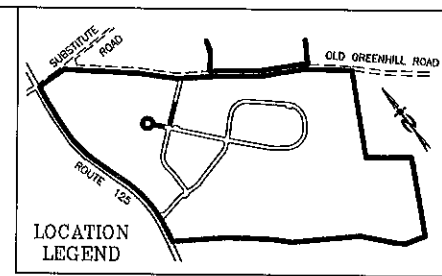
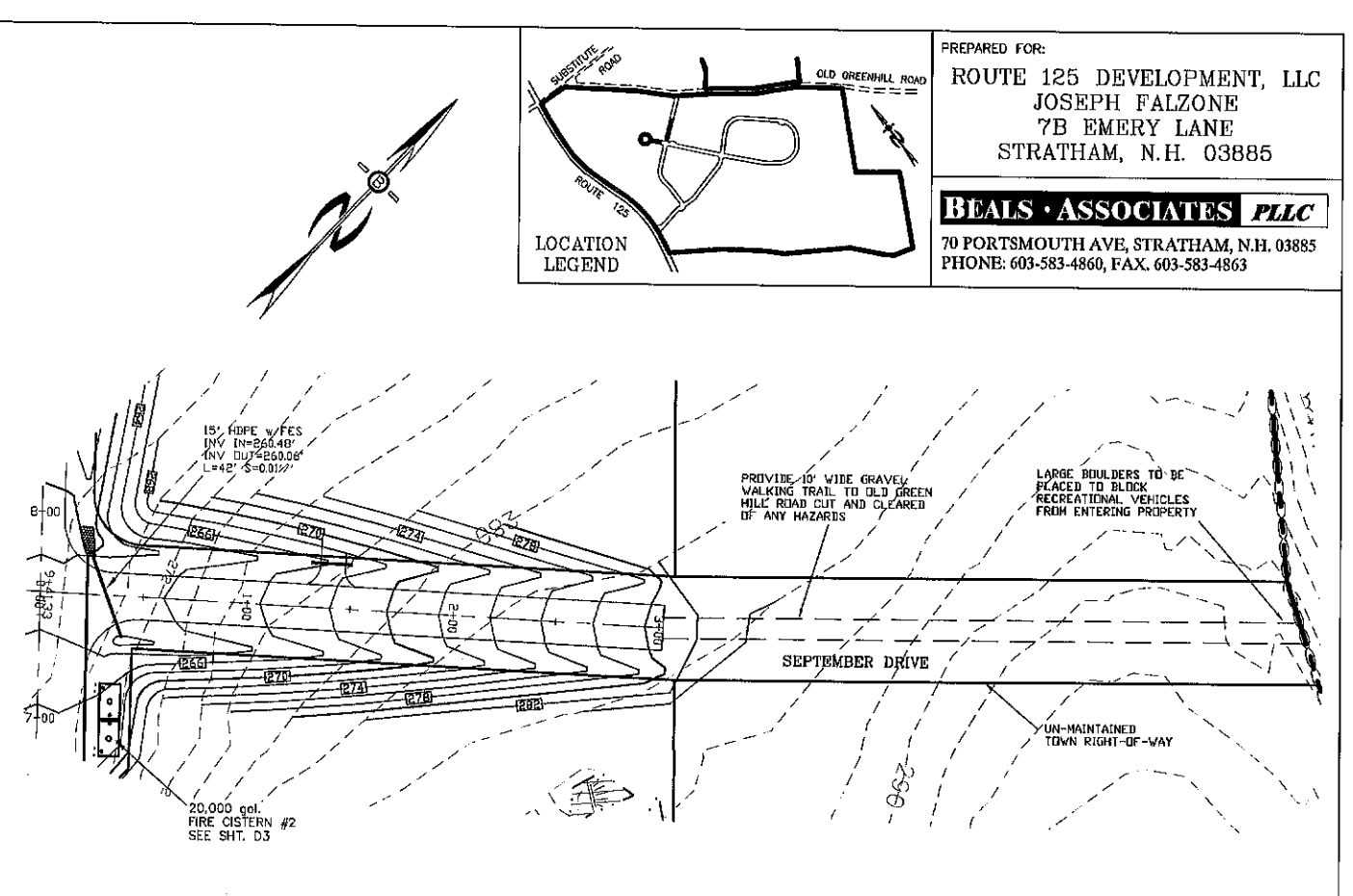
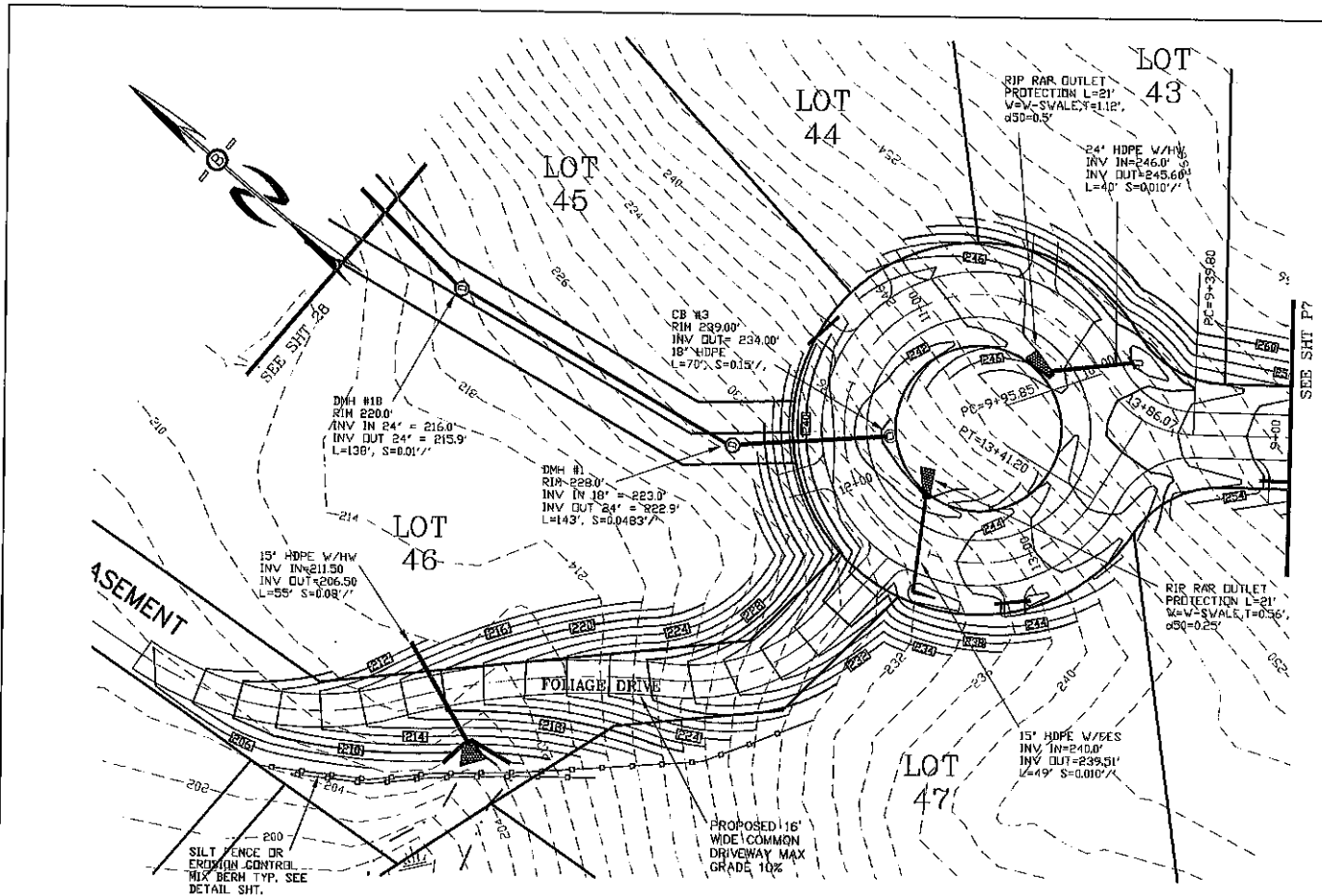
PLANNING BOARD
 BARRINGTON, NH

APPROVED

File Number: 2023-26424-RC-195 Sub

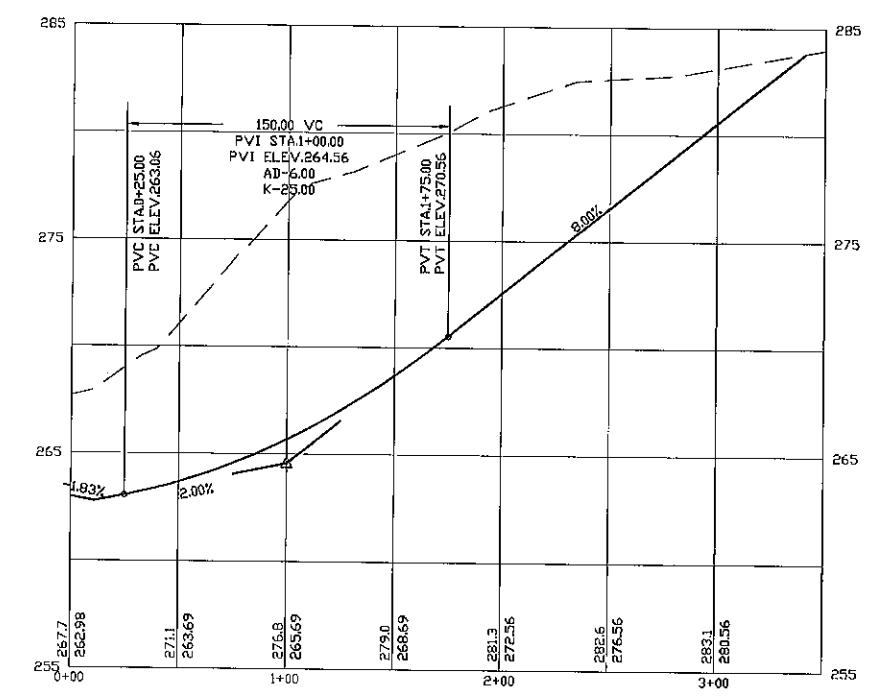
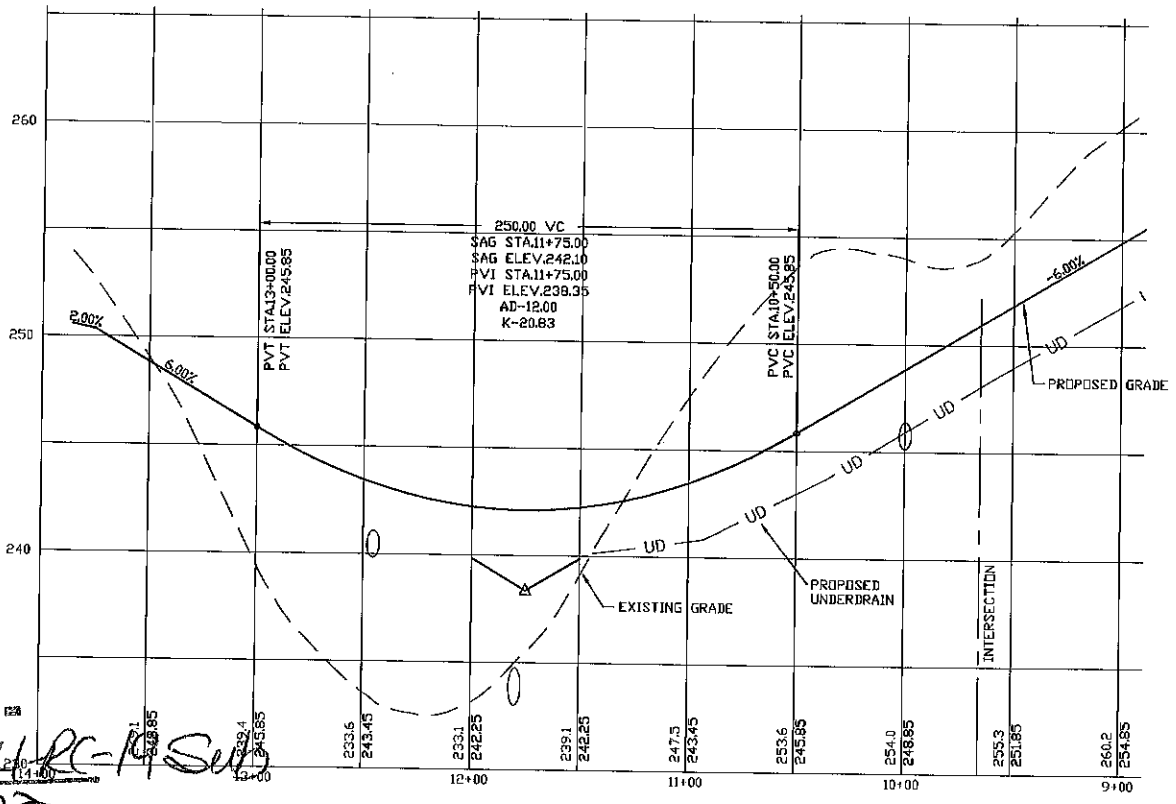
Date: 5/3/2023

Chairman: [Signature]



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
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 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

REVISED PER AOT RMI	11-10-21
REVISED FUTURE ACCESS	11-5-20
REVISED ACCESS DESIGN	10-8-20
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P8

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 26 OF 37

PLANNING BOARD
 BARRINGTON, NH

APPROVED

File Number 223201924-PC-19-Sub

Date 2/7/2022

Chairman [Signature]

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

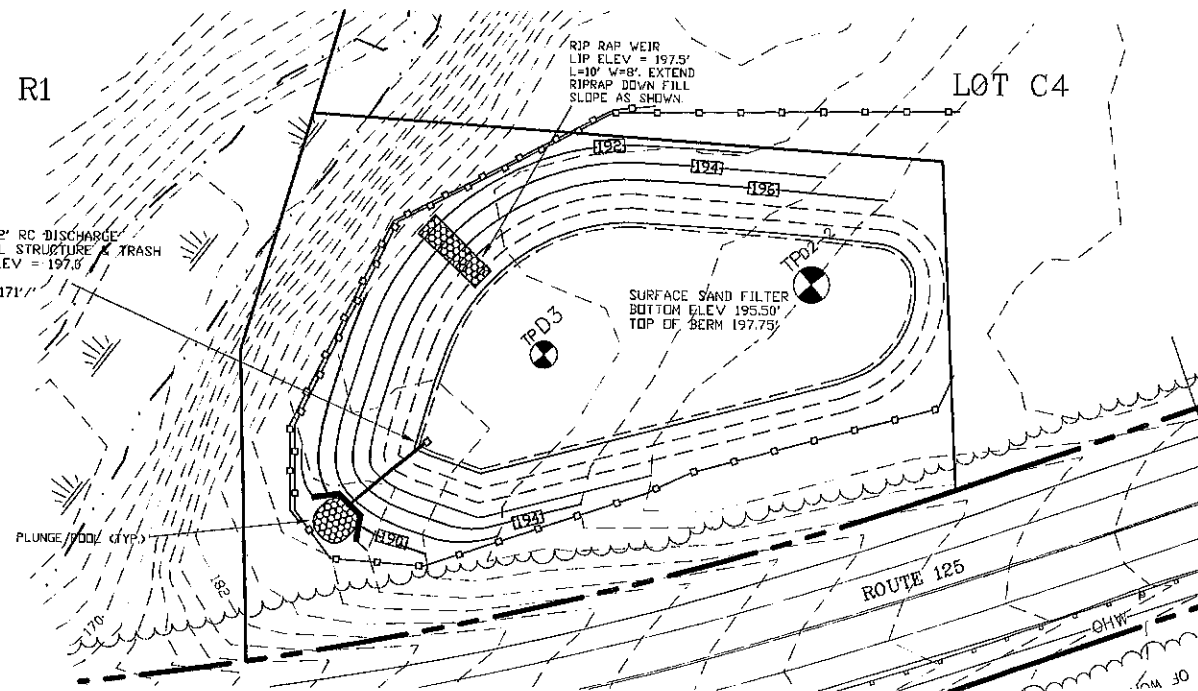
BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



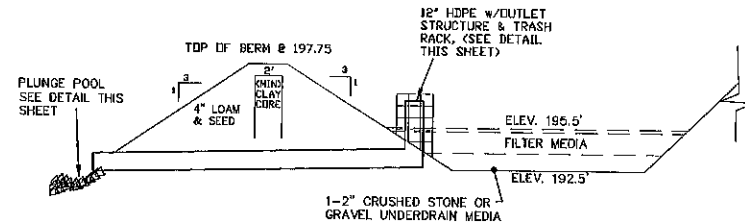
LOT R1

LOT C4

12" HDPE w/2"x2" RC DISCHARGE
 OUTLET CONTROL STRUCTURE & TRASH
 RACK, GRATE ELEV = 197.0
 (SEE DETAIL)
 L = 35', S = 0.171"
 INV IN 192.0'
 INV OUT 186.0'

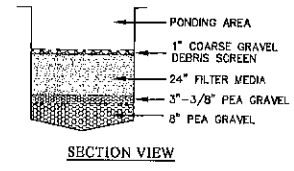


PLAN VIEW SCALE: 1" = 30'



FILL MATERIAL FOR EMBANKMENT SHALL BE TAKEN FROM APPROVED BORROW AREAS. IT SHALL BE CLEAN MINERAL SOIL, FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER (6) INCHES IN DIMENSION, AND NOT MORE THAN FIFTEEN PERCENT (15%) OF THE ROCKS OR LUMPS SHALL BE GREATER THAN 2 1/2 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. FILL MATERIAL SHALL MEET NHDOT ITEM 304.2: 8" PASSING 100%, #4 SIEVE 70-100%, #200 SIEVE 0-12%.

1. THE CORE FOR THE DETENTION BASIN EMBANKMENT SHALL BE CONSTRUCTED OF SILTY CLAY BORROW. THIS MATERIAL SHALL CONTAIN AT LEAST 75% BY WEIGHT PARTICLES PASSING A #200 SIEVE. IT SHALL CONTAIN NO PARTICLES LARGER THAN 3 INCHES. THIS MATERIAL SHALL HAVE A PLASTIC INDEX OF 8 OR GREATER. THE ENTIRE EMBANKMENT AREA SHALL BE STRIPPED OF ALL ORGANIC SOILS PRIOR TO PLACEMENT OF CLAY BORROW. THE CLAY BORROW SHALL BE PLACED IN LIFTS OF 12 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. THE CLAY SHALL BE PLACED AND COMPACTED AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%. NO ORGANIC SOILS OR FROZEN MATERIAL SHALL BE PLACED IN THE CLAY BORROW. MINIMUM CORE THICKNESS SHALL BE (2) FEET.



Component Material	Percent of Material by Volume		Gradation of Material	
	Sieve No.	Percent by Weight Passing	Sieve No.	Percent by Weight Passing
Filter Media Option A				
ASTM C-33 concrete sand	50 to 55			
Loamy sand (spec), with fines as indicated	20 to 30	200	10 to 20	
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5	
Filter Media Option B				
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	300	< 5	
	70 to 80	10	55 to 100	
Loamy coarse sand		20	70 to 100	
		60	15 to 40	
		200	0 to 15	

PLANNING BOARD
 BARRINGTON, NH
APPROVED
 File Number 2003-261-24-RC-PSub
 Date 2/7/2003
 Chairman [Signature]

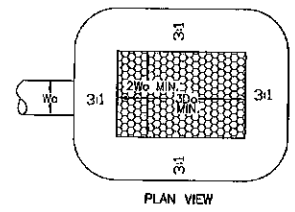
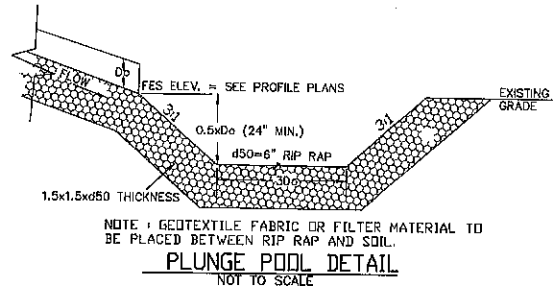
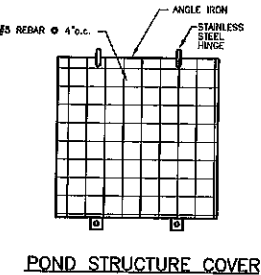
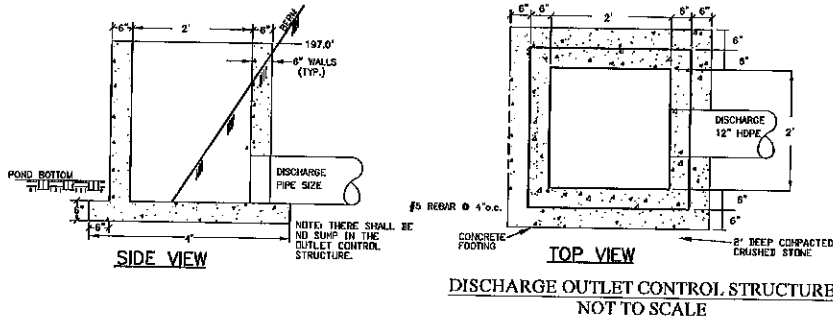
SAND FILTER POND PROFILE
 NTS

NOTES

1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12" O.C.
2. CONCRETE BOX TO BE CONSTRUCTED OR PRE-CAST OF EQUAL DIMENSIONS & REINFORCING
3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE FOR PRE-CAST BOX. A SLOTTED CONCRETE SLAB TO BE USED.
4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WITH MORTAR BY CONTRACTOR.
5. ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
7. STRUCTURE TO BE PAINTED W/ AN EXTERIOR FOREST GREEN PAINT OR SIMILAR AND SCREENED W/ SHRUBS

LIST OF MATERIALS

1. 5000 PSI CONCRETE
2. ANGLE IRONS @ 2" LENGTH
3. REQUIRED S.S. BOLTS & FASTENERS
4. 1/4" STEEL PLATE W/ DRILLED ORIFICES
5. 1/2 C.Y. - CRUSHED STONE FOR BASE

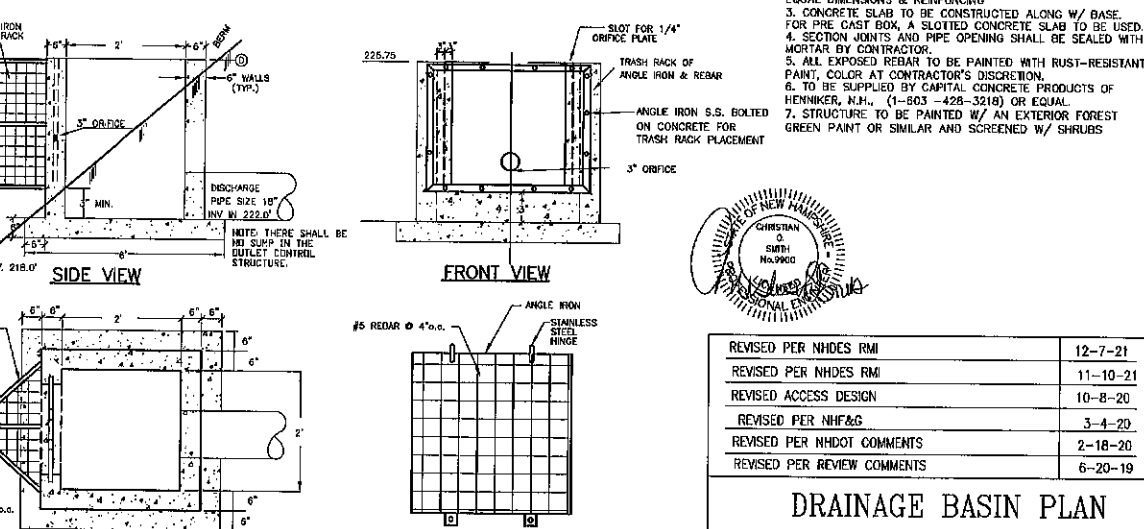
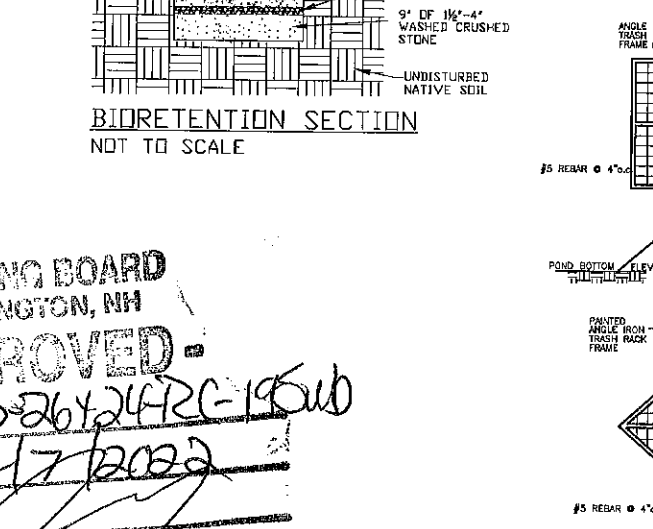
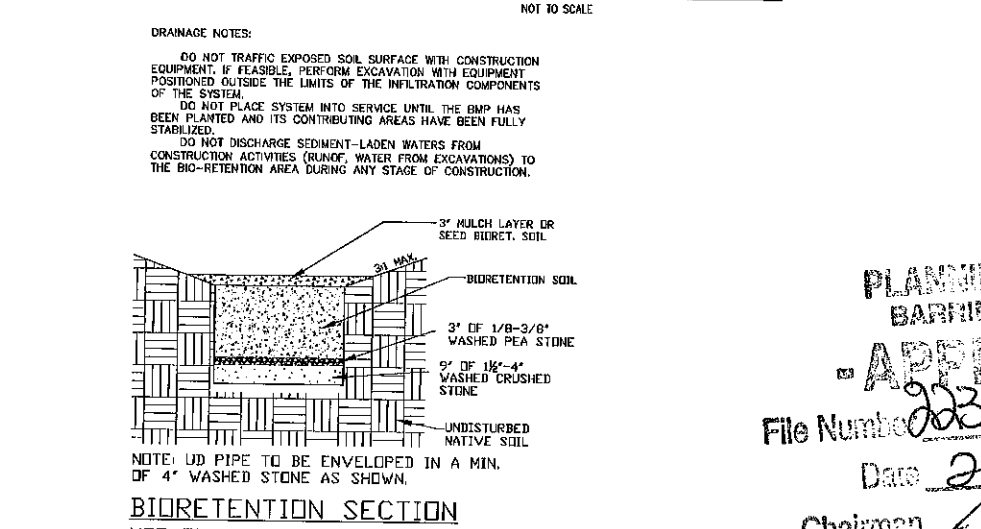
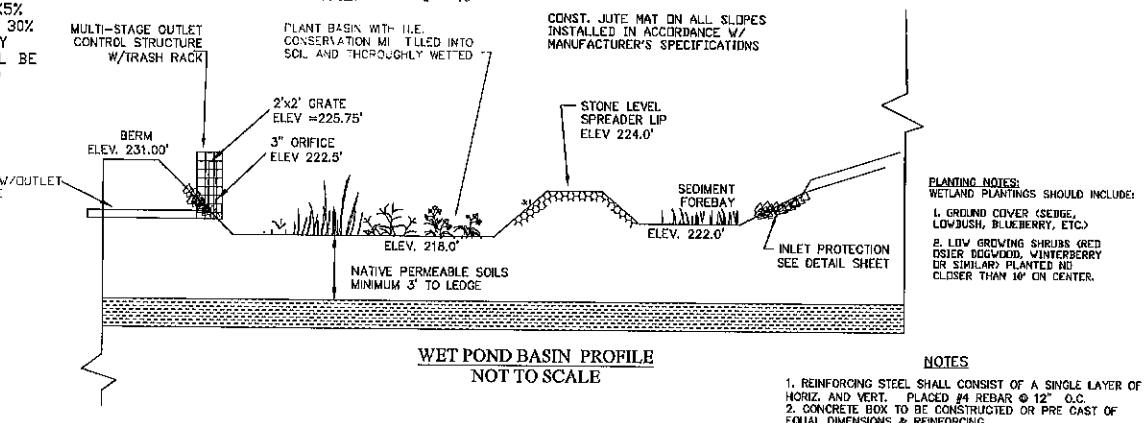
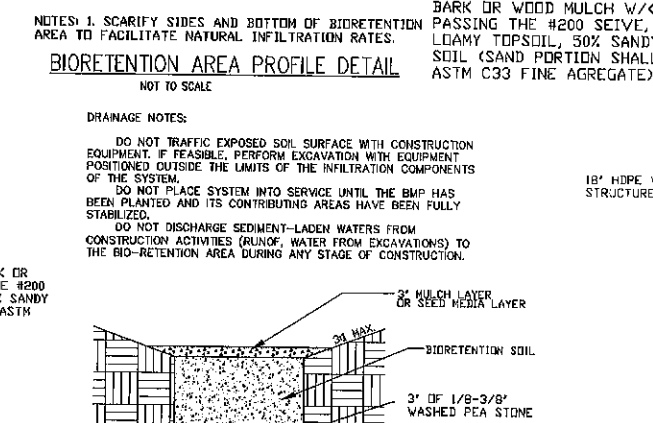
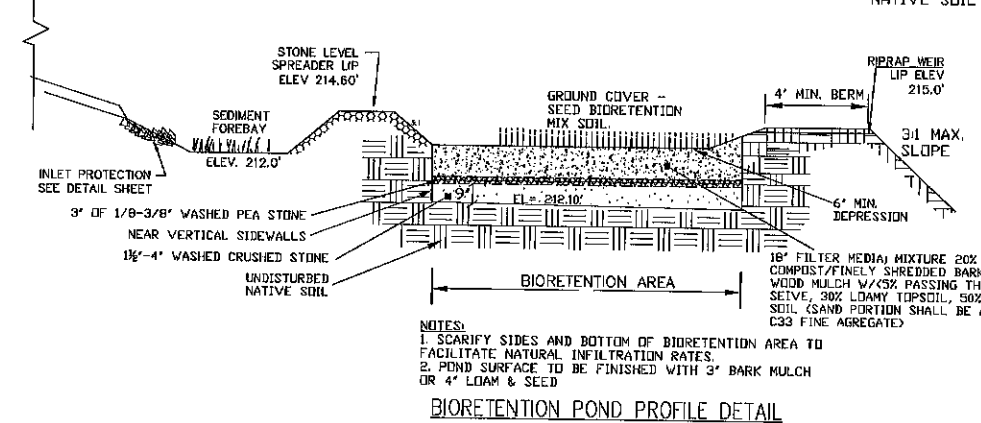
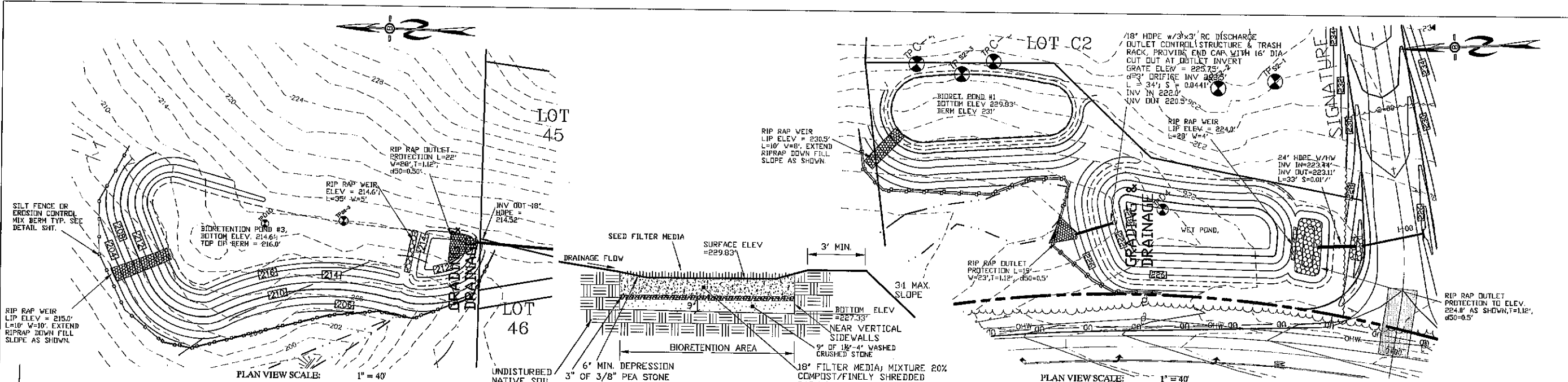


REVISED PER NHDES RMI	12-7-21
REVISED PER NHDES RMI	11-10-21
REVISED ACCESS DESIGN	10-8-20
REVISED PER NHF&G	3-4-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	6-20-19

DRAINAGE BASIN PLAN

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019 SCALE: 1" = 30'
 PROJ. NO: NH-1144 SHEET NO. 27 OF 37



PLANNING BOARD
BARRINGTON, NH
APPROVED
File Number 203-2642422-1950
Date 2/7/2022
Chairman [Signature]

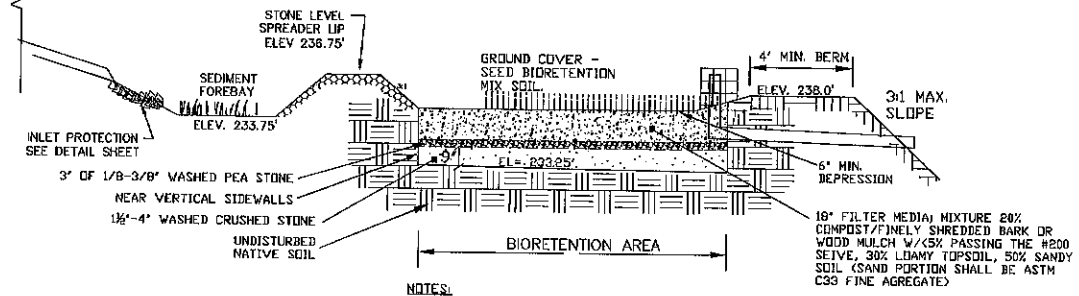
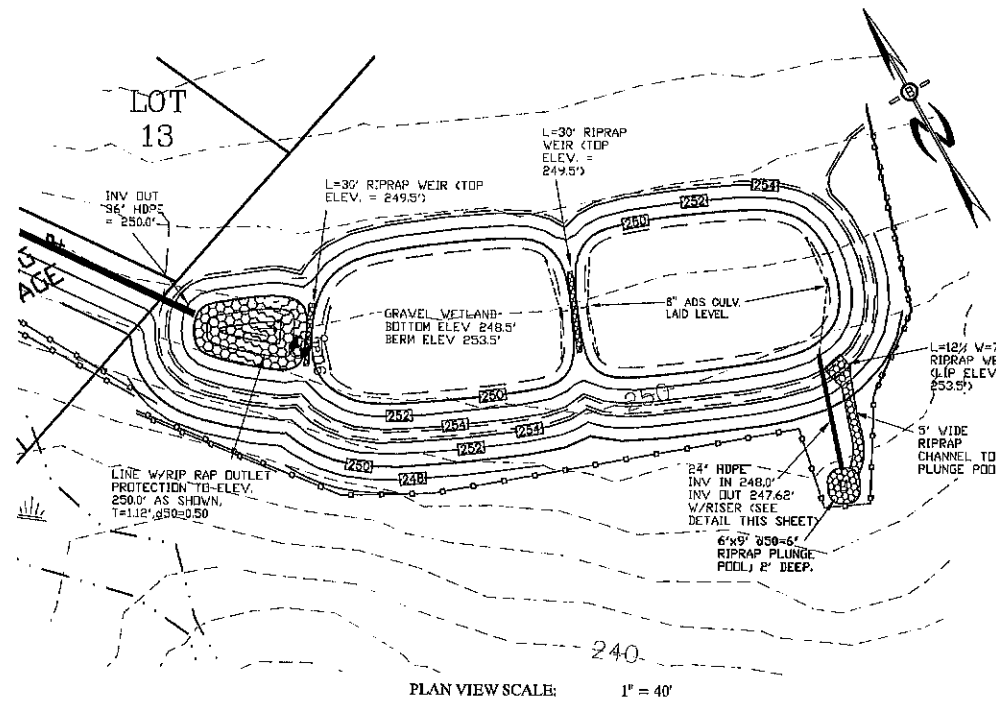
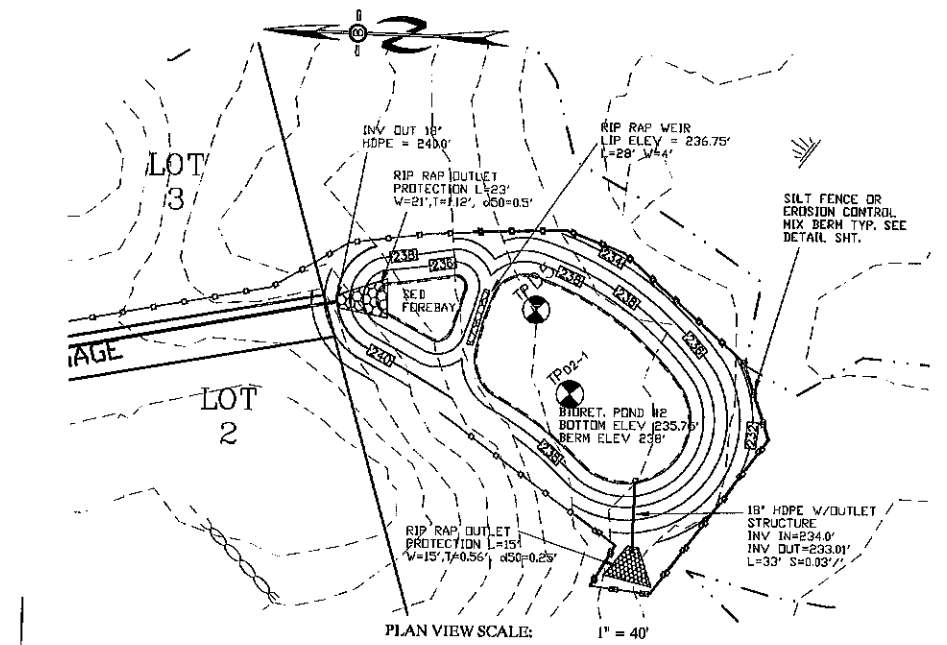


REVISED PER NHDES RMI	12-7-21
REVISED PER NHDES RMI	11-10-21
REVISED ACCESS DESIGN	10-8-20
REVISED PER NHF&G	3-4-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	6-20-19

DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 28 OF 37

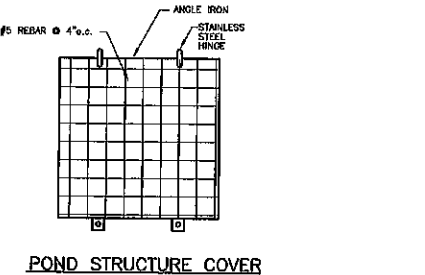
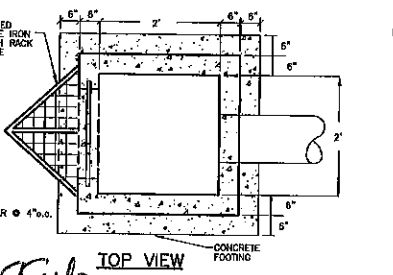
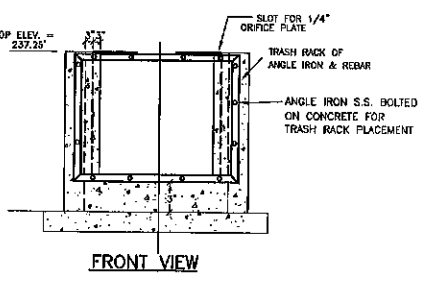
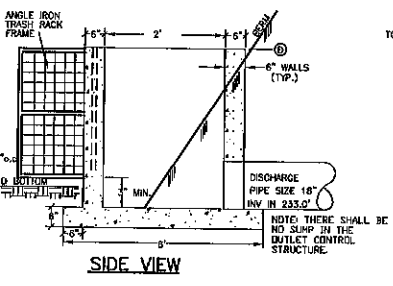
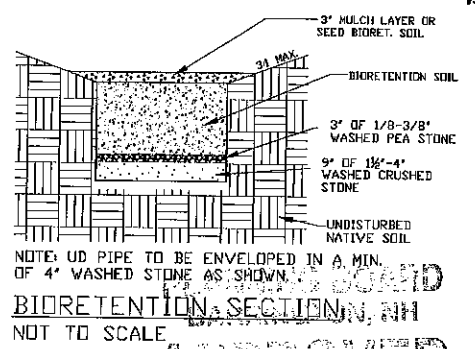
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

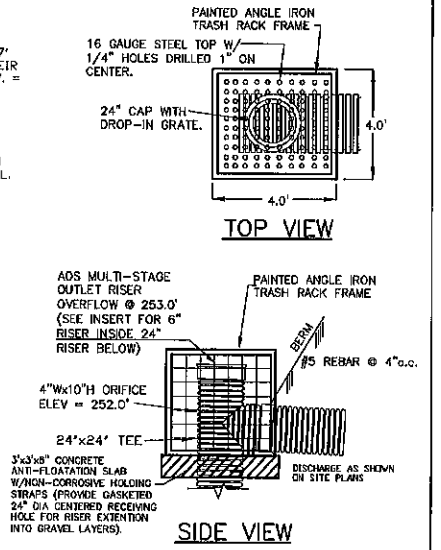
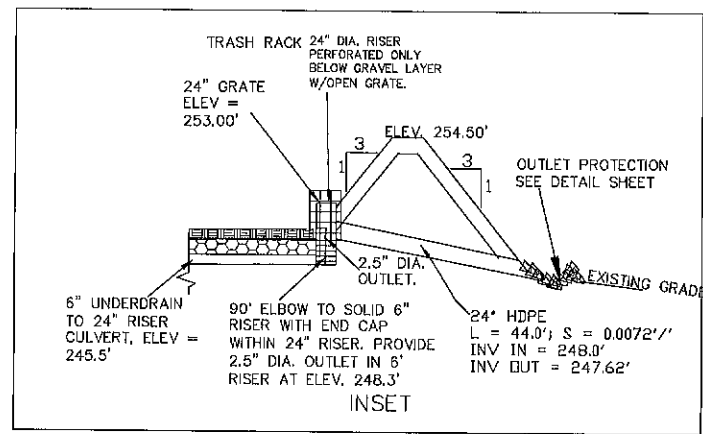
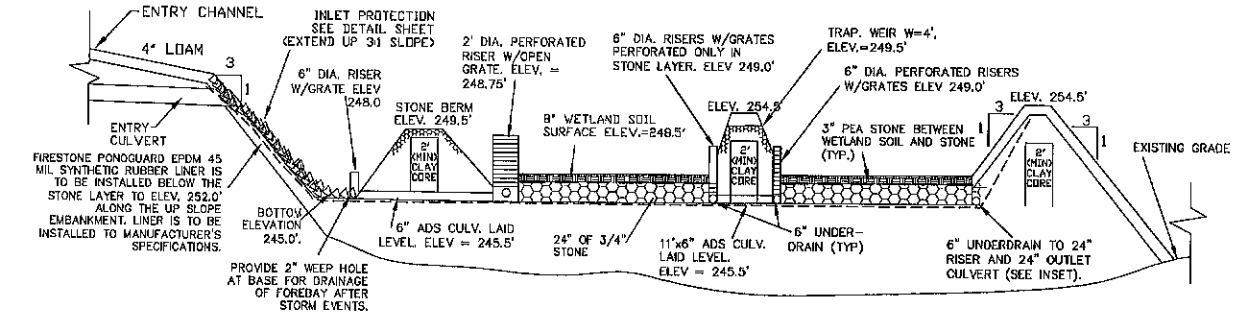


DRAINAGE NOTES:
 DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 DO NOT PLACE SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIO-RETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

NOTES:
 1. SCARIFY SIDES AND BOTTOM OF BIORETENTION AREA TO FACILITATE NATURAL INFILTRATION RATES.
 2. POND SURFACE TO BE FINISHED WITH 3" BARK MULCH OR 4" LDAM & SEED



SEED ALL SLOPES WITH BLUE SEAL SCS CONSERVATION MIX AT 2 lbs./1000 S.F.
 NOTE: BAYS TO BE SEEDDED WITH N.E. CONSERVATION MIX.

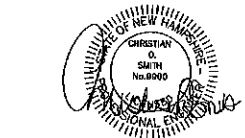


APPROVED

File Number: 2023-00124-RC-195UB

Date: 5/7/2022

Chairman: [Signature]



REVISED PER NHDES RMI	12-7-21
REVISED PER AGT RMI	11-10-21
REVISED PER NHF&G	3-4-20
REVISED PER REVIEW COMMENTS	6-20-19

DRAINAGE BASIN PLAN

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

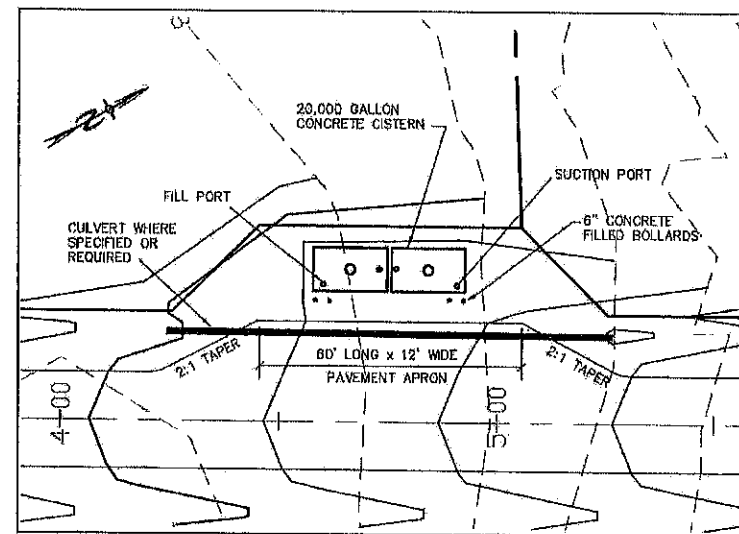
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 29 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

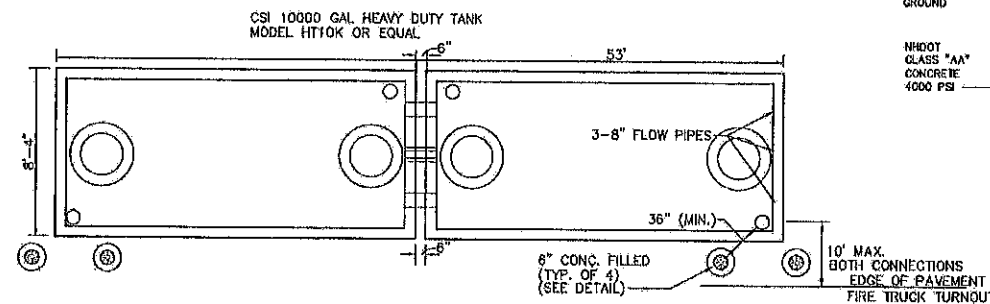
BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

CISTERN SPECIFICATIONS

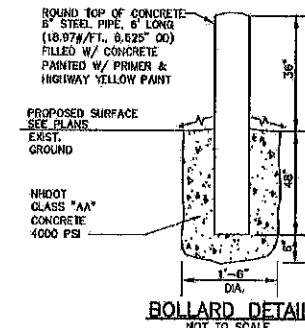
1. THE CISTERN SHALL BE DESIGNED TO BE TROUBLE FREE, AND IT SHALL BE DESIGNED TO LAST 50 YEARS.
2. THE MINIMUM CAPACITY SHALL BE 20,000 GALLONS, DEPENDING ON THE DEVELOPMENT LAYOUT/CONFIGURATION, ADDITIONAL GALLON REQUIREMENTS MAY BE IMPOSED AT THE DISCRETION OF THE FIRE CHIEF. ALL EXCEPTIONS, ADDITIONS, OR DELETIONS WILL BE IN WRITING.
3. THE SUCTION CAPACITY SHALL BE CAPABLE OF DELIVERING 1,000 GALLONS PER MINUTE (GPM) FOR THREE-QUARTERS OF THE CISTERN CAPACITY.
4. THE ENTIRE CISTERN AND APPURTENANCES SHALL BE RATED FOR HS-20 HIGHWAY LOADING.
5. DRAWINGS OF THE DESIGN ARE FOR ESTIMATING GENERAL REQUIREMENT AND DESIGN PURPOSES ONLY AND ARE NOT INTENDED FOR USE AS DESIGN.
6. EACH CISTERN SHALL BE DESIGNED, SITED TO THE PARTICULAR LOCATION, STAMPED BY A REGISTERED ENGINEER, AND APPROVED BY THE FIRE CHIEF.
7. ALL SUCTION AND FILL PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 40 STEEL. ALL VENT PIPING SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LEADING FROM THE TANK TO THE HYDRANT SHALL BE ASTM SCHEDULE 40 STEEL.
8. THE FINAL SUCTION CONNECTION SHALL BE FIVE INCH PUMPER NOZZLE WITH A CAP. THE SUCTION PIPE SHALL BE BRACED TO ENSURE DURABILITY DURING PUMPING OPERATIONS. THE FIRE CHIEF SHALL APPROVE BRACE CONFIGURATION AND INSTALLATION. THE SUCTION PIPE CONNECTION SHALL BE TWENTY-FOUR INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
9. THE FILLER CONNECTION SHALL BE 4" MALE STEEL STORZ FITTING. THIS FITTING SHALL BE 24" ABOVE FINISH GRADE AND FACE THE ROAD. A THIRTY-TWO INCH DIAMETER MANHOLE WITH COVER WILL BE LOCATED ON TOP OF THE CISTERN. THE CONFIGURATION OF THIS MANHOLE SHALL ALLOW THE UNIT TO BE SECURED WITH TWO PADLOCKS AND SHALL BE APPROVED BY THE FIRE CHIEF. THE PADLOCKS WILL BE SUPPLIED BY THE FIRE DEPARTMENT.
10. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE PUMPER CONNECTION SHALL NOT EXCEED FOURTEEN FEET VERTICAL.
11. ALL HORIZONTAL SUCTION PIPING SHALL SLOPE SLIGHTLY UPHILL TOWARD THE PUMPER CONNECTION.
12. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE INCHES OF 3/4" TO 1 1/2" WASHED PEA STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE. OVER EXCAVATION SHALL BE FILLED WITH THE SAME STONE BEDDING MATERIAL.
13. ALL BACKFILL MATERIALS SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN SIX INCHES AND SHALL BE COMPACTED TO 95 PERCENT OF ITS ORIGINAL VOLUME IN ACCORDANCE WITH ASTM D 1557. 16. THE TOP OF CISTERN SHALL BE INSULATED WITH VERMIN RESISTANT FOAM INSULATION AND TWO FEET OF BACKFILL WITH A MINIMUM WEIGHT OF 120 PCF, COMPACTED. FOAM USED FOR THIS INSTALLATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R=5 PER INCH. ALL BACKFILL SHALL EXTEND TEN FEET BEYOND THE EDGE OF THE VEHICLE PAD AND THEN HAVE A MAXIMUM OF 3:1 SLOPE, LOAM AND SEEDED.
14. BEFORE ANY BACKFILLING IS DONE THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BY THE FIRE CHIEF.
15. AFTER BACKFILLING, BOLLARDS OR LARGE STONES SHALL BE PLACED TO PROTECT THE TANK AND APPURTENANCES.
16. THE PITCH OF THE SHOULDER AND VEHICLE PAD FROM THE EDGE OF THE PAVEMENT TO THE PUMPER SUCTION CONNECTION SHALL BE ONE PERCENT TO THREE PERCENT DOWNGRADE.
17. THE SHOULDER AND VEHICLE PAD SHALL BE OF A SUFFICIENT LENGTH TO ALLOW CONVENIENT ACCESS TO THE SUCTION CONNECTION WHEN THE PUMPER IS SET AT 45 DEGREES TO THE ROAD. THE SHOULDER AND VEHICLE PAD SECTION SHALL CONSIST OF 3" BITUMINOUS PAVING, REFER TO SITE PLAN FOR REQUIREMENTS.
18. THE SUCTION FITTING SHALL BE LOCATED BETWEEN 22 AND 24 FEET FROM THE NEAREST RUNNING EDGE OF ROAD PAVEMENT. TWO CONCRETE FILLED STEEL BOLLARDS SHALL BE PLACED IN A MANNER TO PROTECT THE HYDRANT. THE BASE OF THESE BOLLARDS SHALL EXTEND BELOW THE FROST LINE. THE UPPER PORTION OF THE BOLLARDS SHALL EXTEND THIRTY SIX INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
19. ALL CONSTRUCTION, BACKFILL, AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND SHALL BE ACCEPTABLE TO THE FIRE CHIEF.
20. THE FIRE CHIEF (OR REPRESENTATIVE) AND THE ENGINEER'S INSPECTOR WILL BE NOTIFIED BY THE CONTRACTOR TO OBSERVE THE FOLLOWING POINTS OF INSTALLATION:
 - A. EXCAVATION COMPLETE.
 - B. CRUSHED STONE INSTALLED AND COMPACTED
 - C. BACKFILLING COMPLETE PRIOR TO PLACEMENT OF INSULATION.
 - D. PLACEMENT OF INSULATION.
 - E. START AND FINISH OF LEAKAGE TEST.
 - F. PIPING MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
 - G. ALL BACKFILLING LOAM, SEED, ETC. COMPLETE WITH TURNOUT GRAVEL IN PLACE AND GRADED.
 - H. PAVEMENT COMPLETE, AND ALL OTHER WORK 100% COMPLETE.
21. THE FIRE CHIEF SHALL BE NOTIFIED OF THE DATE THAT SITE WORK IS TO BEGIN.
22. ANY EXCEPTION, ADDITIONS, OR DELETIONS ARE DATED AND NOTED BELOW.
23. CONCRETE MUST HAVE A MINIMUM OF 150 PCF.
24. STONE AND GRAVEL BACKFILL MUST HAVE A MINIMUM OF 120 PCF.



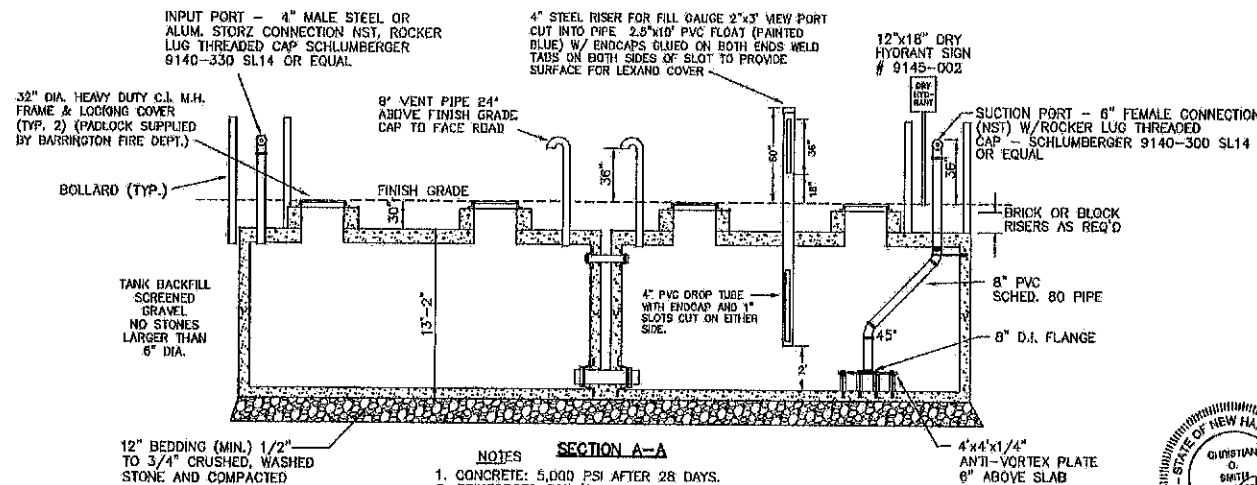
TYPICAL CISTERN PLAN
1"=20'



PLAN VIEW



BOLLARD DETAIL
NOT TO SCALE



NOTES SECTION A-A

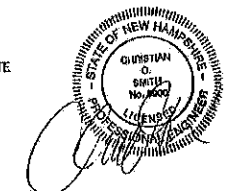
1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
2. REINFORCED FOR H-20 LOADING.
3. JOINTS SEALED WATER TIGHT.
4. ALL BELOW GRADE EXTERIOR SURFACES OF THE TANK SHALL BE COATED WITH KOL-TAR'S BLACK SHIELD ASPHALT COATINGS, OR APPROVED EQUAL.
5. CISTERN INSTALLATION MUST CONFORM WITH ALL LOCAL FIRE DEPARTMENT REQUIREMENTS.

PROPOSED 20,000 GAL. FIRE CISTERN DETAIL
NOT TO SCALE

PLANNING BOARD
BARRINGTON, NH

APPROVED

File Number: 228-26124-RC-RS-Sub
 Date: 2/7/2022
 Chairman



REVISIONS:	DATE:
CISTERN DETAIL SHEET - D3	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: AS NOTED
PROJ. NO: NH-1144	SHEET NO. 30 OF 37

STONE BERM LEVEL SPREADER

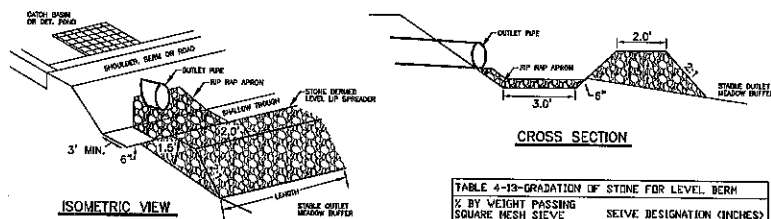
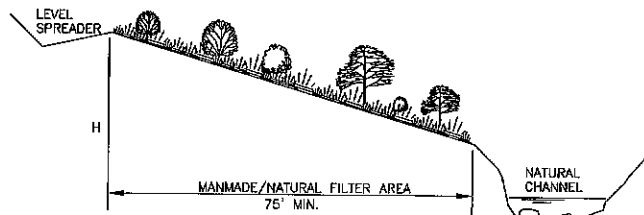


TABLE 4-19-GRADATION OF STONE FOR LEVEL BERM

% BY WEIGHT PASSING SQUARE MESH SIEVE	SIEVE DESIGNATION (INCHES)	IP
100%	18"	10
94%-100%	6"	6
60%-93%	3"	3
42%-52%	1"	1
0%-12%	No. 4	

LEVEL SPREADER

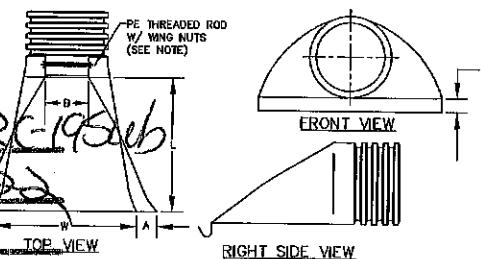
- CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
- LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
- THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
- THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
- MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.



MAINTENANCE

- FILTER STRIPS SHOULD BE MAINTAINED AS NATURAL AREAS ONCE THE VEGETATION IS ESTABLISHED. THE FILTER STRIP SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO COMPLETE THE ESTABLISHMENT OF THE STRIP SINCE MOST SPECIES TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
- THE FILTER STRIP SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR RAINSTORM TO DETERMINE IF THE ENTRANCE CONDITIONS ARE STILL UNIFORM AND LEVEL AND TO SEE IF RILLS HAVE FORMED. ANY PROBLEM AREAS SHOULD BE REPAIRED PROMPTLY TO PREVENT FURTHER DETERIORATION.

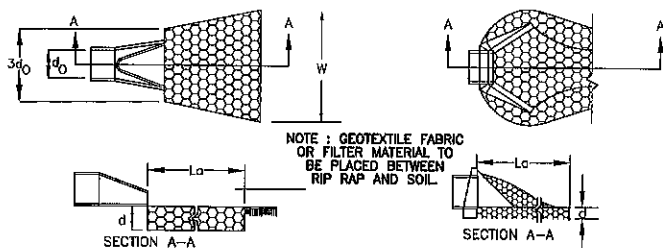
DEVELOPED AREA BUFFER DETAIL



PART NO.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.5"	25"	29"
	375 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	35"
	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
	750 mm	266 mm		178 mm	1345 mm	1725 mm
3610-NP	36"	10.5"	N/A	7.0"	53"	68"
	900 mm	266 mm		178 mm	1345 mm	1725 mm

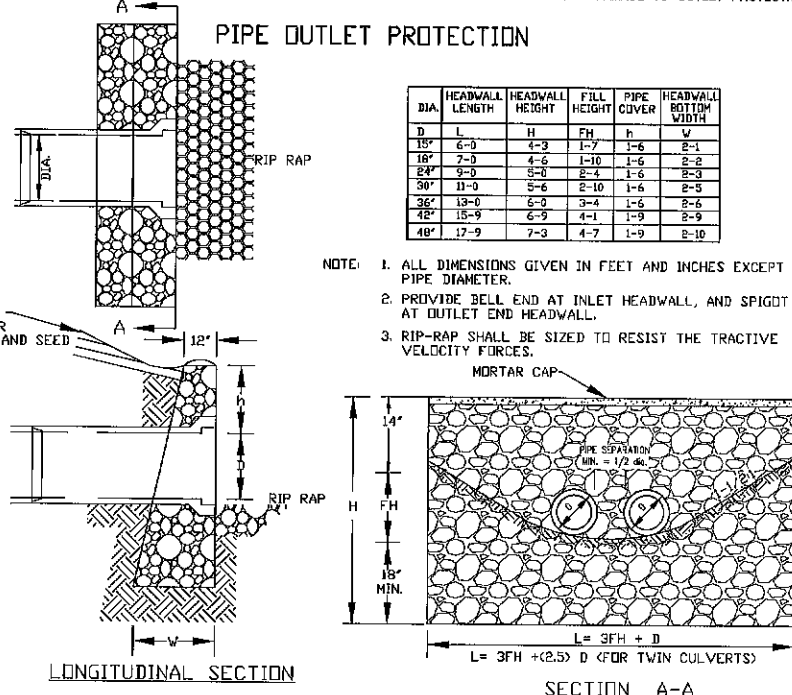
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

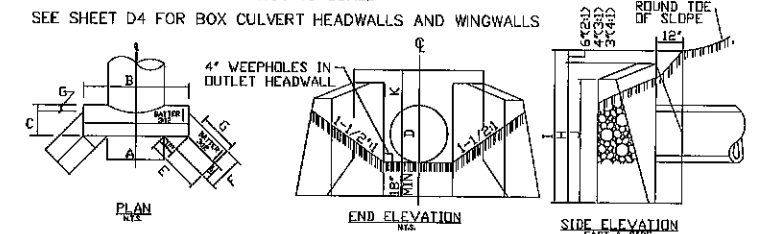


- CONSTRUCTION SPECIFICATIONS**
- THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 - STONE FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
 - FLAT ROCKS SHALL NOT USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

- MAINTENANCE**
- THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.



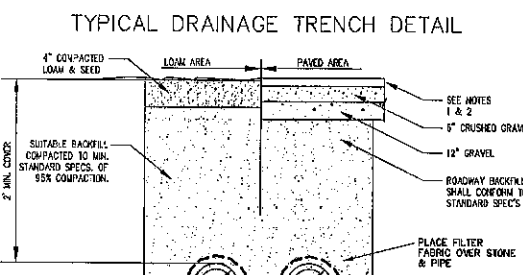
MORTAR RUBBLE, MASONRY HEADWALL DETAIL
NOT TO SCALE



NOTE: DIMENSIONS SHOWN ARE TO PAVEMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAVEMENT LINES ON SLOPING FACES.

D	A	B	C	E	F	G	H	I	J	K
24"	2'-6"	2'-4"	2'-3"	2'-11"	1'-11"	0'-6"	5'-0"	4'-6"	3'-10"	1'-6"
30"	3'-1"	2'-10"	2'-2"	3'-6"	2'-0"	0'-9"	5'-6"	5'-0"	4'-1"	1'-6"
36"	3'-8"	2'-6"	2'-5"	4'-1"	2'-1"	0'-9"	6'-0"	5'-6"	4'-4"	1'-6"
42"	4'-3"	7'-1"	2'-8"	5'-0"	2'-2"	0'-9"	6'-9"	6'-9"	4'-10"	1'-9"
48"	4'-10"	7'-8"	2'-10"	5'-8"	2'-3"	0'-9"	7'-3"	6'-9"	5'-1"	1'-9"

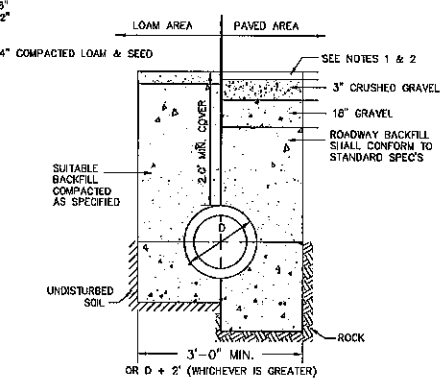
MORTAR RUBBLE, MASONRY HEADWALL W/ 45° WINGWALLS
NOT TO SCALE



- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
- NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

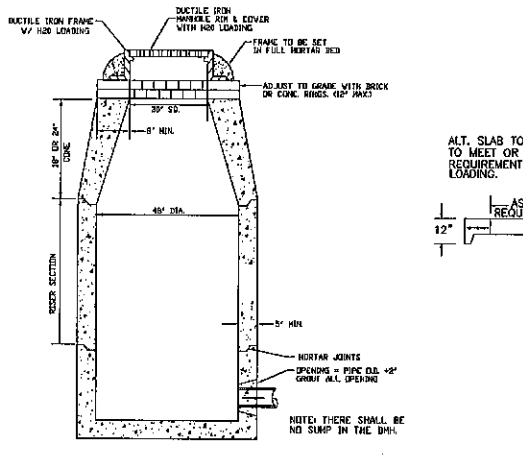
PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
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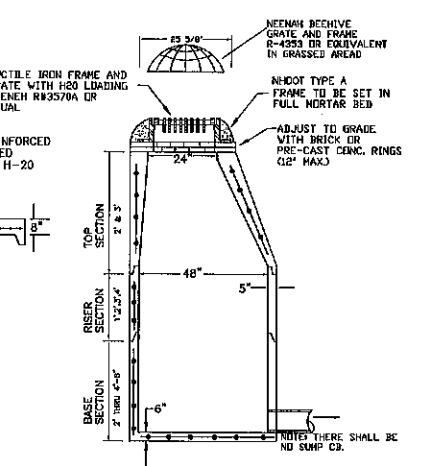


- NOTES:
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.

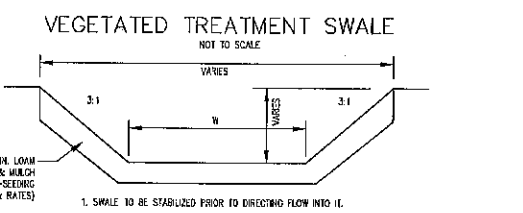
TYPICAL DRAINAGE TRENCH
NOT TO SCALE



PRECAST DRAIN MANHOLE
NOT TO SCALE



PRECAST CATCH BASIN
NOT TO SCALE



VEGETATED TREATMENT SWALE
NOT TO SCALE

- MAINTENANCE**
- VEGETATED CHANNELS DURING THE INITIAL ESTABLISHMENT PERIOD, FLOW SHOULD BE DIVERTED OUT OF THE CHANNEL IF AT ALL POSSIBLE TO ALLOW FOR A GOOD STAND OF GRASS. IF THIS IS NOT POSSIBLE USE MATTING. IN ANY CASE DURING THE ESTABLISHMENT PERIOD, THE CHANNEL SHOULD BE CHECKED PERIODICALLY TO DETERMINE IF THE GRASS IS STILL IN GOOD CONDITION AND IN PLACE. THE VEGETATION SHOULD BE FERTILIZED ON AN "AS-NEEDED" BASIS. THE CHANNEL SHOULD BE MOWED FREQUENTLY ENOUGH TO KEEP THE VEGETATION VIGOROUS AND TO CONTROL THE ENCROACHMENT OF WEEDS AND WOODY VEGETATION. AFTER EVERY MAJOR STORM TO SEE IF DAMAGE HAS OCCURRED. ANY DAMAGED AREAS SHOULD BE REPAIRED AND RE-VEGETATED IMMEDIATELY.

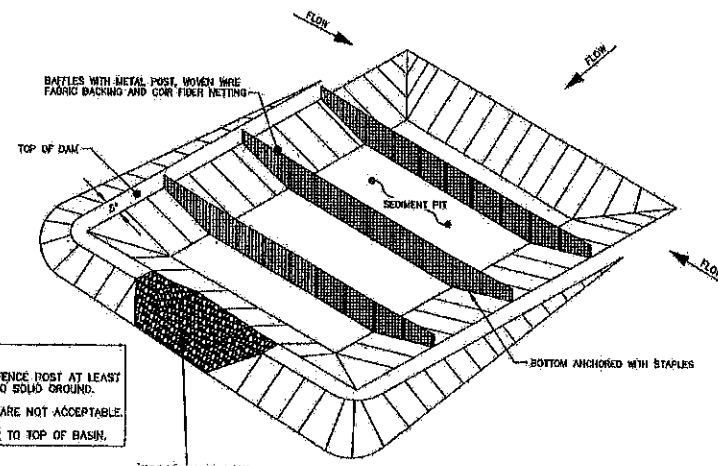
PLANNING BOARD
BARRINGTON, NH
APPROVED
File Number 223-262-RC-19506
Date 9/7/2022
Chairman _____

REVISED PER	DATE
NHF&G	3-4-20

CONSTRUCTION DETAILS D1

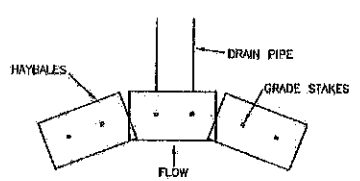
PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE:	SCALE:
MAY 2019	1"=100'
PROJ. NO.:	SHEET NO.:
NH-1144	31 OF 37



- NOTES:**
1. DRIVE STEEL FENCE POST AT LEAST 18 INCHES INTO SOLID GROUND.
 2. WOOD POSTS ARE NOT ACCEPTABLE.
 3. DIRECT WATER TO TOP OF BASIN.

**PERSPECTIVE VIEW
TEMPORARY SEDIMENT BASIN**



PIPE INLET PROTECTION

SPECIFICATIONS

SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

BALES SHOULD BE PLACED IN A SINGLE ROW LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY BUTTING ONE ANOTHER. THE ENDS OF THE BARRIER SHOULD BE FLARED UP SLOPE.

BARRIERS SHOULD NOT BE CONSTRUCTED MORE THAN ONE DALE HIGH.

ALL BALES SHOULD BE EITHER WIRE-STAPLED OR STAPLED. BALES SHOULD BE INSTALLED SO THAT ENDS ARE ORIENTED AROUND THE SIDES, PARALLEL TO THE GROUND SURFACE TO PREVENT DETERIORATION OF THE BARRIERS.

THE BARRIER SHOULD BE ENTRENCHED AND BACKFILLED. A TRENCH SHOULD BE EXCAVATED THE WIDTH OF A DALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES.

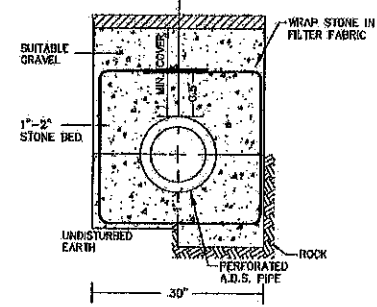
AFTER THE BALES ARE STAPLED AND ORIENTED, THE EXCAVATED SOIL SHOULD BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHOULD CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHOULD BE BUILT UP 4 INCHES ABOVE THE UPHILL SIDE OF THE BARRIER. IDEALLY, BALES SHOULD BE PLACED 10 FEET AWAY FROM THE TOP OF SLOPE.

AT LEAST TWO STAPLES DRIVEN THROUGH THE DALE AND PENETRATING AT LEAST 18 INCHES INTO THE GROUND, SHOULD SECURELY ANCHOR EACH DALE.

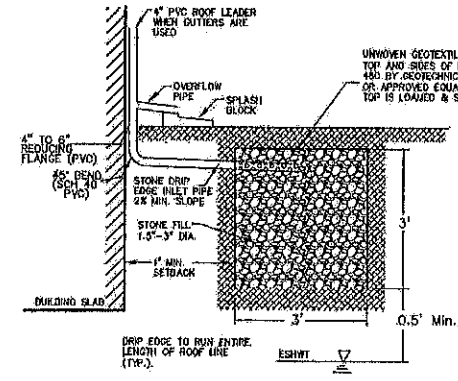
THE FIRST STAKE IN EACH DALE SHOULD BE DRIVEN TOWARD THE PREVIOUSLY LAID DALE TO FORCE THE BALES TOGETHER. STAPLES SHOULD BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.

THE GAPS BETWEEN BALES SHOULD BE CHINKED (FILLED BY WEDGING) WITH HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES.

INSPECTION SHOULD BE FREQUENT AND REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED. BALE BARRIERS SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.



**UNDERDRAIN TRENCH DETAIL
NOT TO SCALE**



**STONE DRIP EDGE SECTION
NOT TO SCALE**

NOTE

ALL NEW RESIDENTIAL BUILDINGS SHALL HAVE STONE TRENCHES FOR ROOF WINDY MITIGATION (SEE DETAIL THIS SHEET). TRENCHES SHALL BE 3" IN WIDTH AND EXTEND THE ENTIRE LENGTH OF THE ROOF EAVES (BOTH SIDES OF HOUSE), AS REQUIRED PER THE PERMITS NOT PERMIT.

STONE DRIP EDGE MAINTENANCE:

THE DRIP EDGES WILL BE INSPECTED WITHIN THE FIRST THREE MONTHS AFTER CONSTRUCTION. THEREAFTER THE DRIP EDGES WILL BE INSPECTED 2 TIMES PER YEAR TO ENSURE THAT THEY ARE DRAINING WITHIN 72 HOURS OF A RAIN EVENT EQUIVALENT TO 2.2" OR MORE.

REMOVE AND DISPOSE OF SEDIMENTS OR DEBRIS AS NEEDED.

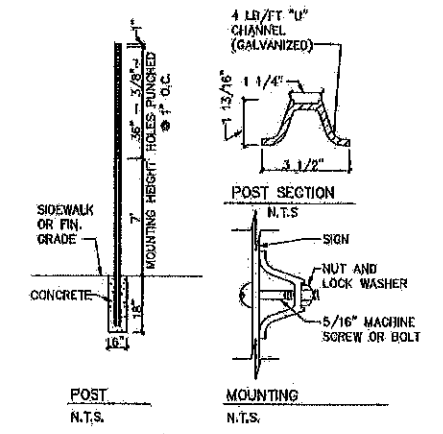
TOTAL REHABILITATION OF A DRIP EDGE SHOULD BE CONDUCTED TO MAINTAIN STORAGE CAPACITY WITHIN 2/3 OF THE DESIGN VOLUME AND 72-HOUR EXFILTRATION RATE LIMIT. TRENCH WALLS SHOULD BE EXCAVATED TO EXPOSE CLEAN SOIL UPON FAILURE, AND THE SOIL SCARIFIED PRIOR TO REPLACEMENT OF CLEAN STONE.

TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R2-1	STOP	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
W14-2	WARRANTY	24" 24"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
W16-BP	Worked PL	VARIES 8"	WHITE ON GREEN	CHANNEL	7'-0"	REFLECTORIZED SIGN
31-0650(D)	STOP	12" 18"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN (MODIFIED WORDING)

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STREET SIGN DETAIL

**RISER-TRASH RACK DETAIL
NOT TO SCALE**

CONSTRUCTION CRITERIA

SOIL GRADATION: AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, COLLARS, AND FURROW. SUB GRADE SURFACE TO BE ROLLED BEFORE PLACEMENT OF FILL MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BOND TO THE SUBGRADE MATERIAL.

FILL PLACEMENT: FILL SHALL BE FREE OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 8 INCHES IN DIA, AND OTHER OBSCURABLE MATERIAL.

- FILL TO BE PLACED EQUALLY AROUND SUBSURFACE STRUCTURES & PIPES TO PREVENT DAMAGE FROM UNEQUAL LOADING.
- PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT SUBGRADE ELEVATION AND BROUGHT UP IN HORIZONTAL LAYERS OF THICKNESS ALLOWING ADEQUATE COMPACTION.
- DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STRIPS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRAIN FROM SURROUNDING MATERIAL.
- MAXIMUM THICKNESS OF GRAVEL LIFTS 90 1 FOOT (12 INCHES).

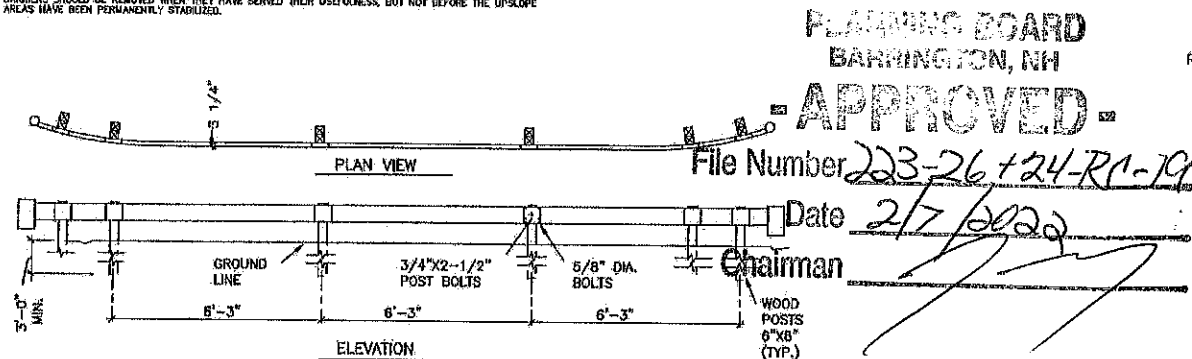
MOISTURE CONTROL: MOISTURE CONTENT OF THE FILL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. IF THE MATERIAL IS TOO WET IT SHALL BE DRIED TO MEET THIS REQUIREMENT. IF THE MATERIAL IS TOO DRY IT SHALL HAVE WATER ADDED AND MIXED UNTIL REQUIREMENT IS MET.

COMPACTION: CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED.

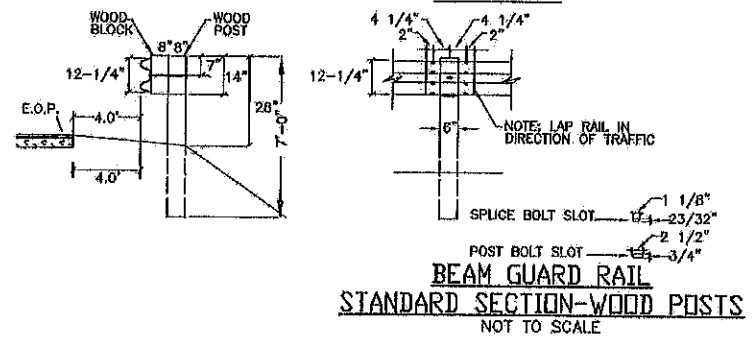
- EACH LAYER SHALL BE COMPACTED TO OBTAIN 85% OF THE PROCTOR VALUE (ASTM 1557 OR AASHTO T99).
- FILL ADJACENT TO STRUCTURES, PIPES, ETC. SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY THE MEANS OF HAND TAMPERING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.

EROSION PROTECTION: A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT (CUT/FILL) SLOPE, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATION MEANS, SUCH AS EROSION BLANKETS OR RIP RAP SLOPE PROTECTION, MAY BE USED.

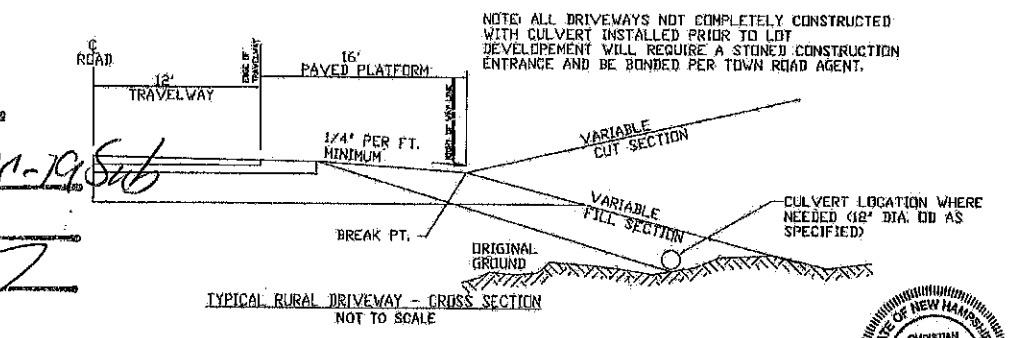
- SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.



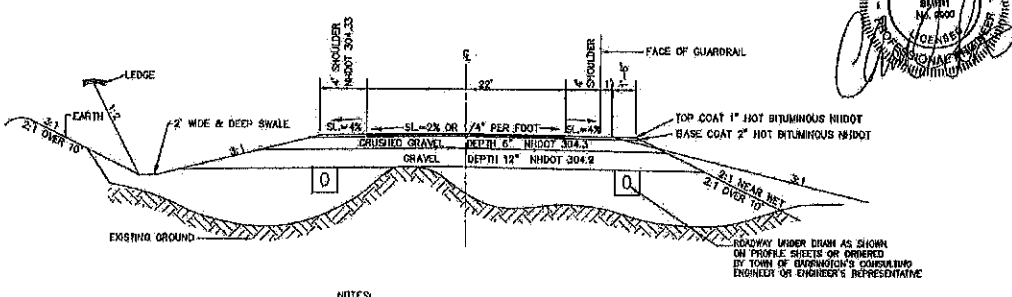
- NOTES:**
1. USE IN HEAVY TRAFFIC AREAS.
 2. STEEL BRACKET TO BE 10 OR 12 GAGE STEEL.
 3. USE 6'-0" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER.
 4. ALL TIMBER POSTS TO BE TREATED WITH PRESERVATIVE MATERIAL CONFORMING TO AASHTO M133.
 5. POST BOLTS TO BE 18" W/MIN. 2 1/2" THREAD LENGTH.
 6. RAIL SHEET THICKNESS TO BE 12 GA.



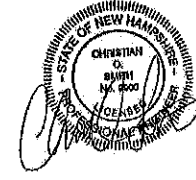
**BEAM GUARD RAIL
STANDARD SECTION-WOOD POSTS
NOT TO SCALE**



**TYPICAL RURAL DRIVEWAY - CROSS SECTION
NOT TO SCALE**



**TYPICAL CROSS SECTION
NOT TO SCALE**

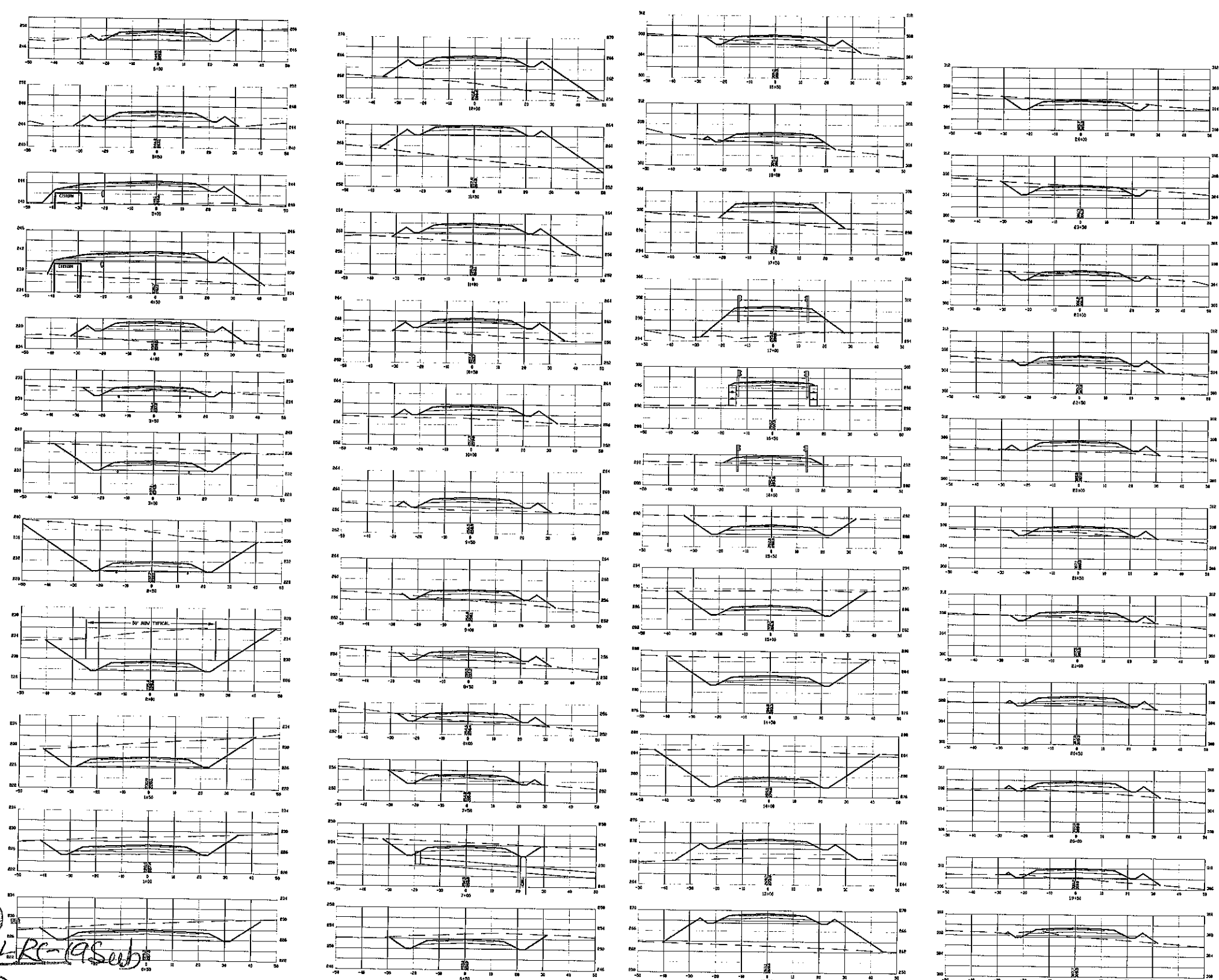


REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

CONSTRUCTION DETAILS D2

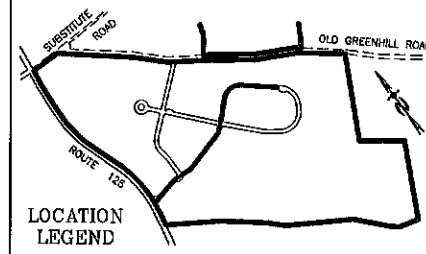
PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE:	MAY 2019	SCALE:	NONE
PROJ. NO.:	NH-1144	SHEET NO.:	32 OF 37



PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



- NOTES**
1. FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS PLEASE REFER TO THE ROADWAY PROFILES.
 2. FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE SHEET 32.



X-SECTION SCALES:
 HORIZONTAL: 1"=20' VERTICAL: 1"=10'

REVISED PER NHDOT	4-21-20
REVISED PER REVIEW COMMENTS	7-24-19

CROSS-SECTIONS X1

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

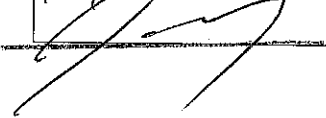
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PROJ. NO: NH-1144	SHEET NO. 34 OF 37

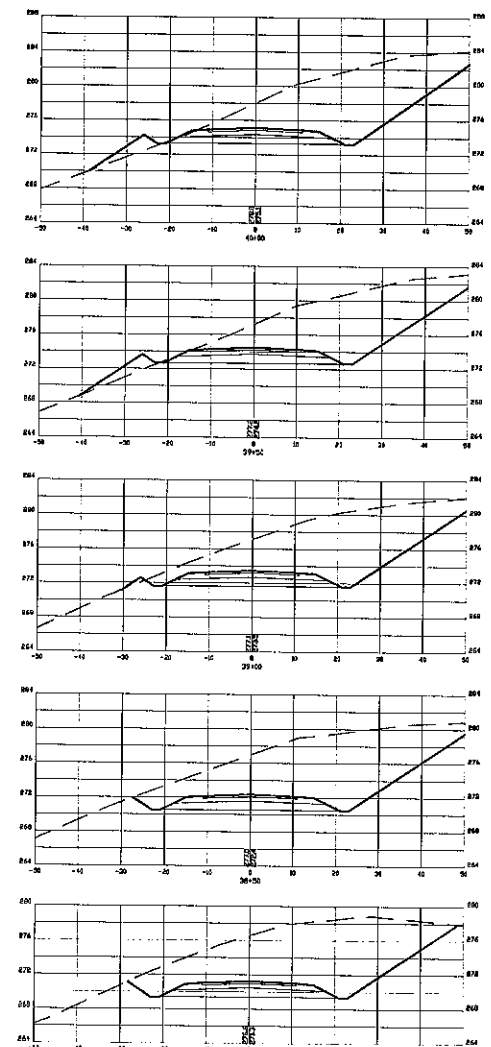
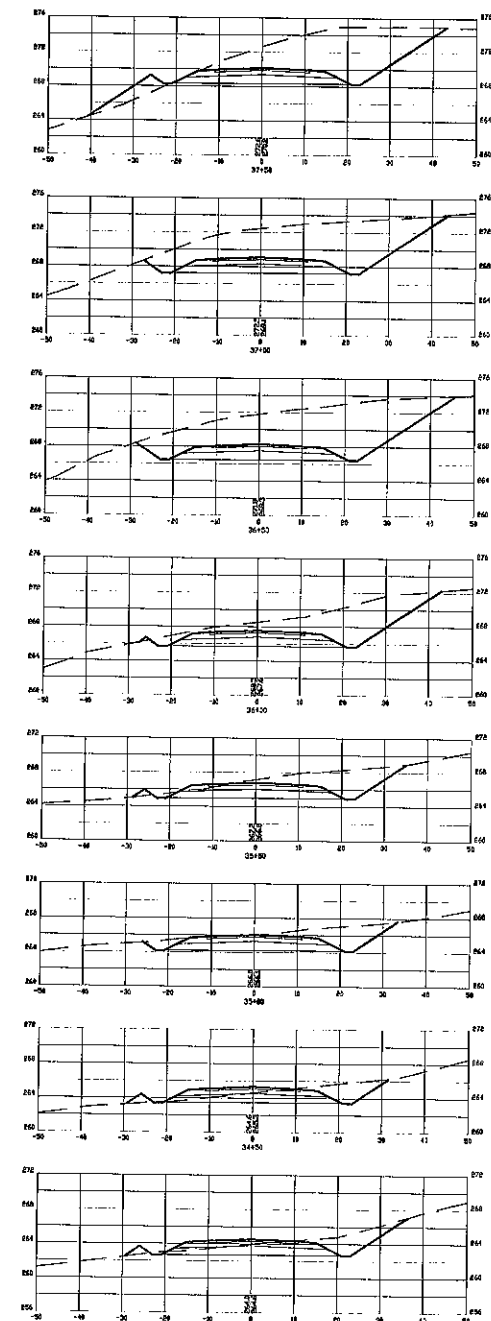
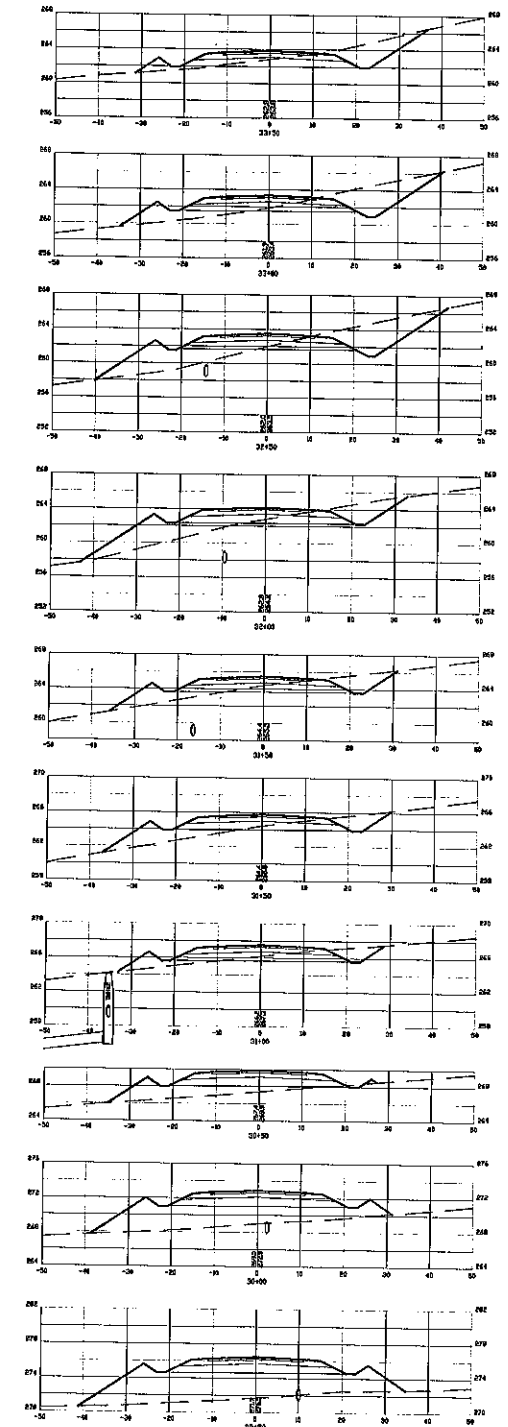
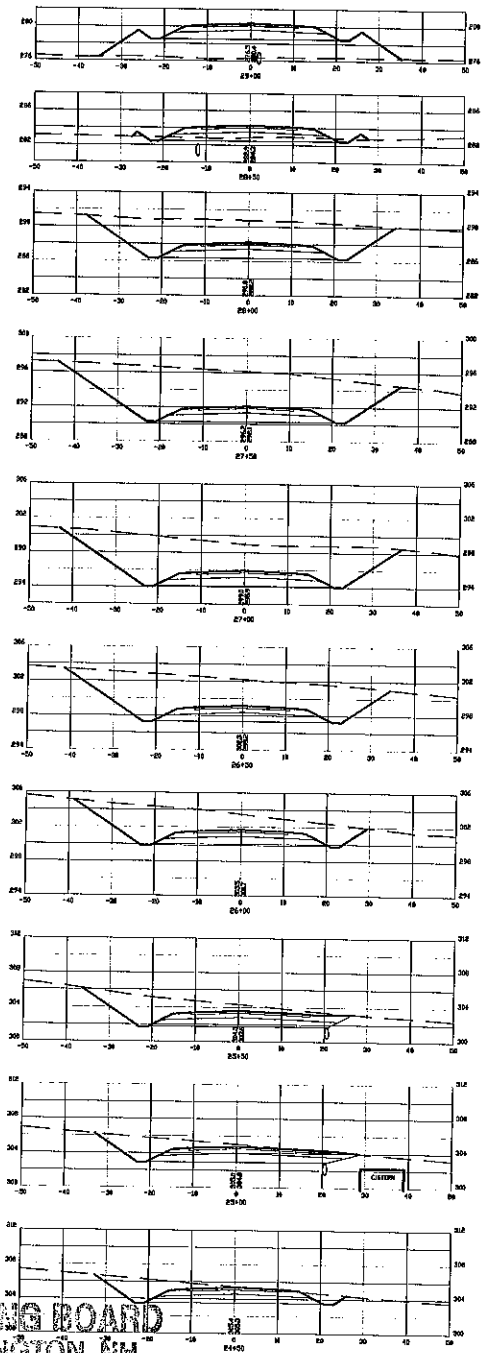
PLANNING BOARD
 BARRINGTON, NH

APPROVED

File Number 2013-26124-RC-19Sub

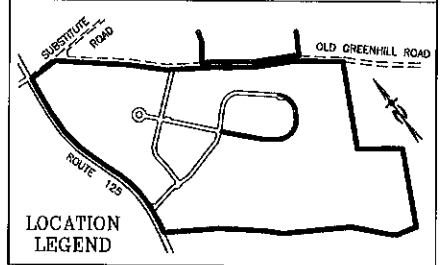
Date 2/7/2020

Chairman 



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- NOTES**
1. FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS PLEASE REFER TO THE ROADWAY PROFILES.
 2. FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE SHEET 30.



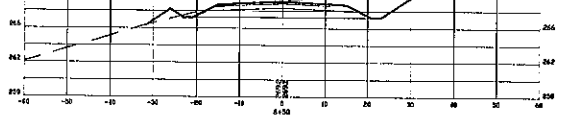
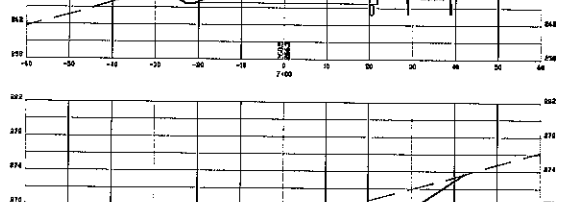
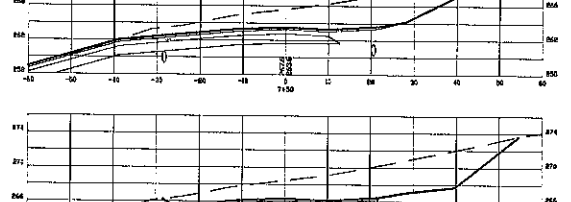
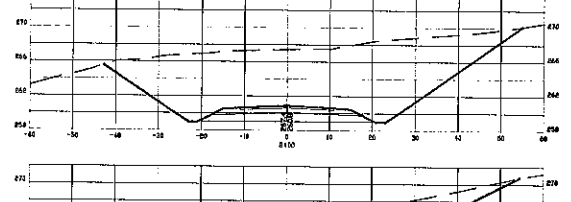
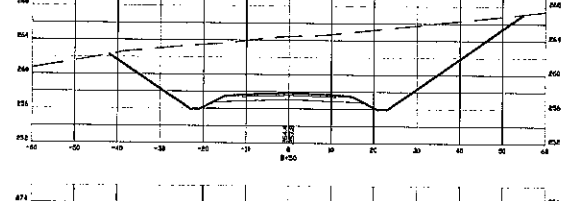
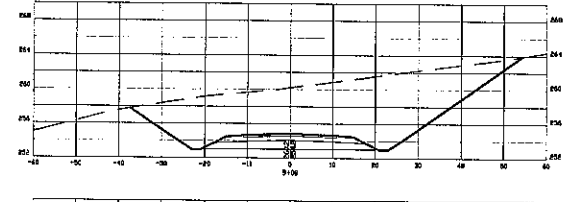
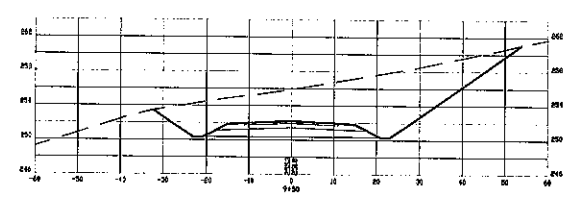
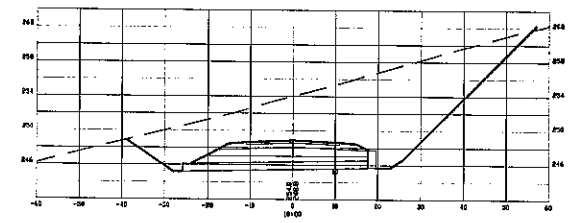
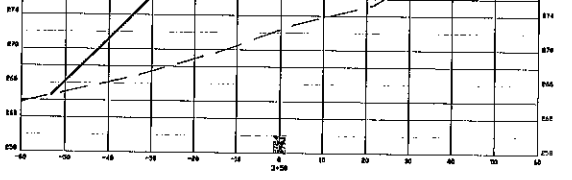
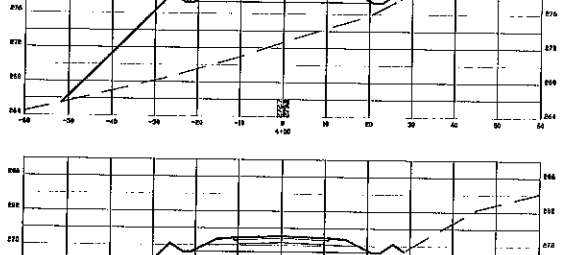
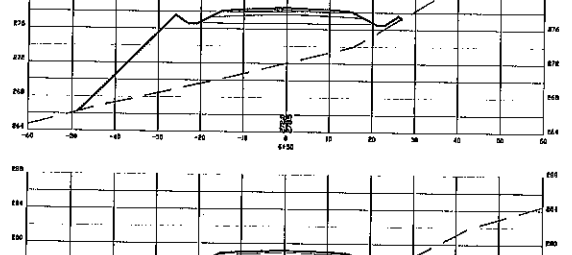
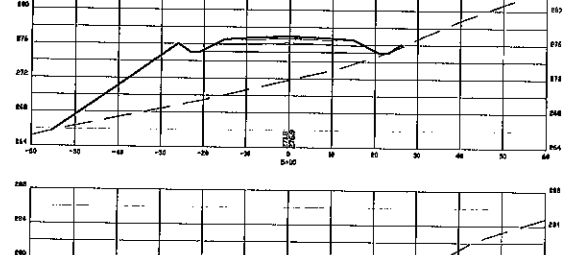
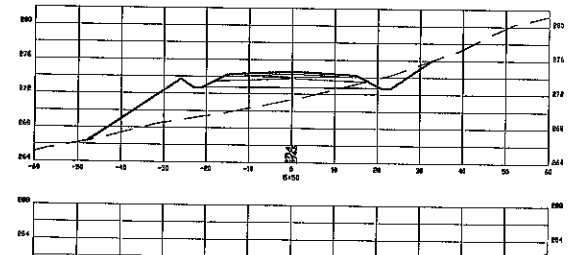
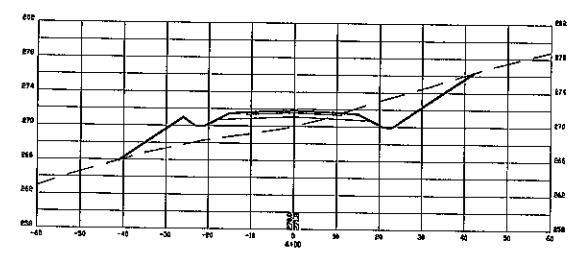
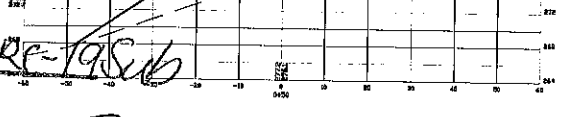
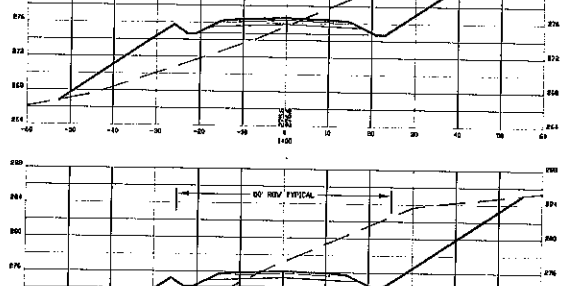
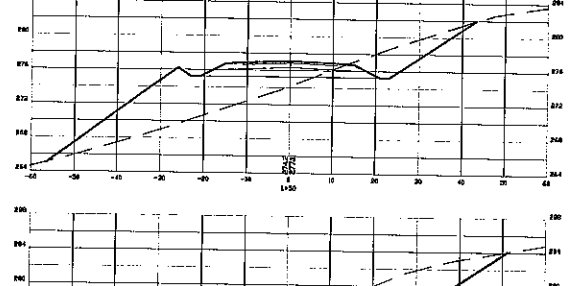
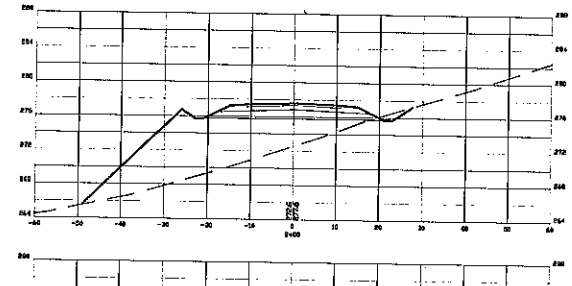
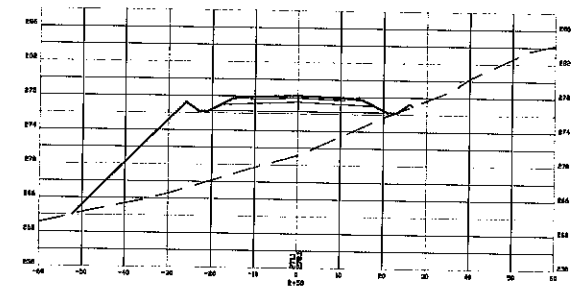
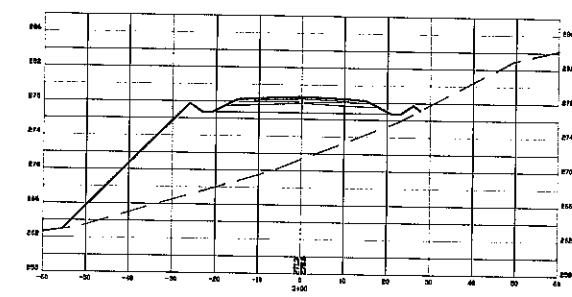
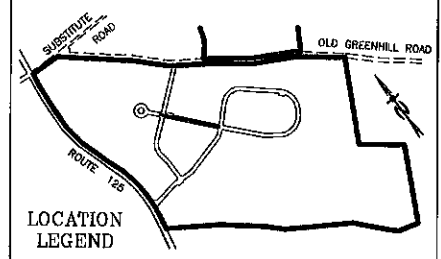
X-SECTION SCALES:
 HORIZONTAL 1"=20' VERTICAL 1"=10'

CROSS-SECTIONS X2	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 35 OF 37

PLANNING BOARD
 BARRINGTON, NH
APPROVED
 File Number 203-26724-RC-19Sub
 Date 6/7/2020
 Chairman [Signature]

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

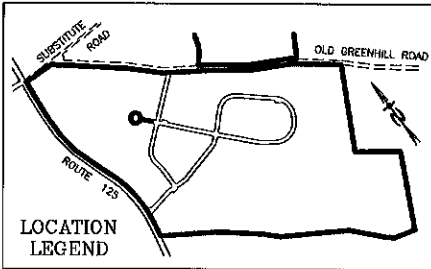
BEALS ASSOCIATES PLLC
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 PHONE: 603-583-4860, FAX: 603-583-4863



X-SECTION SCALES:
 HORIZONTAL: 1"=10' VERTICAL: 1"=5'

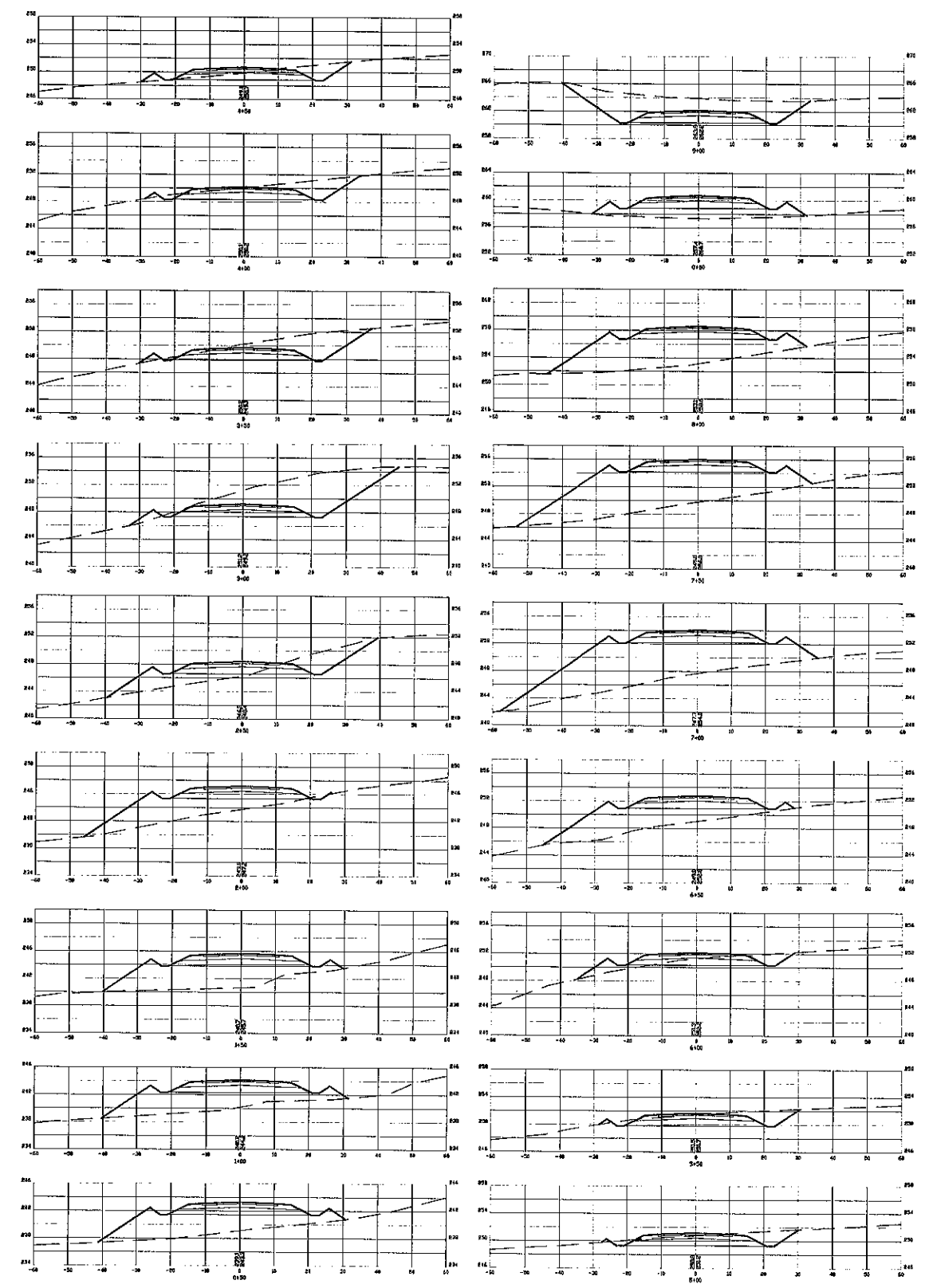
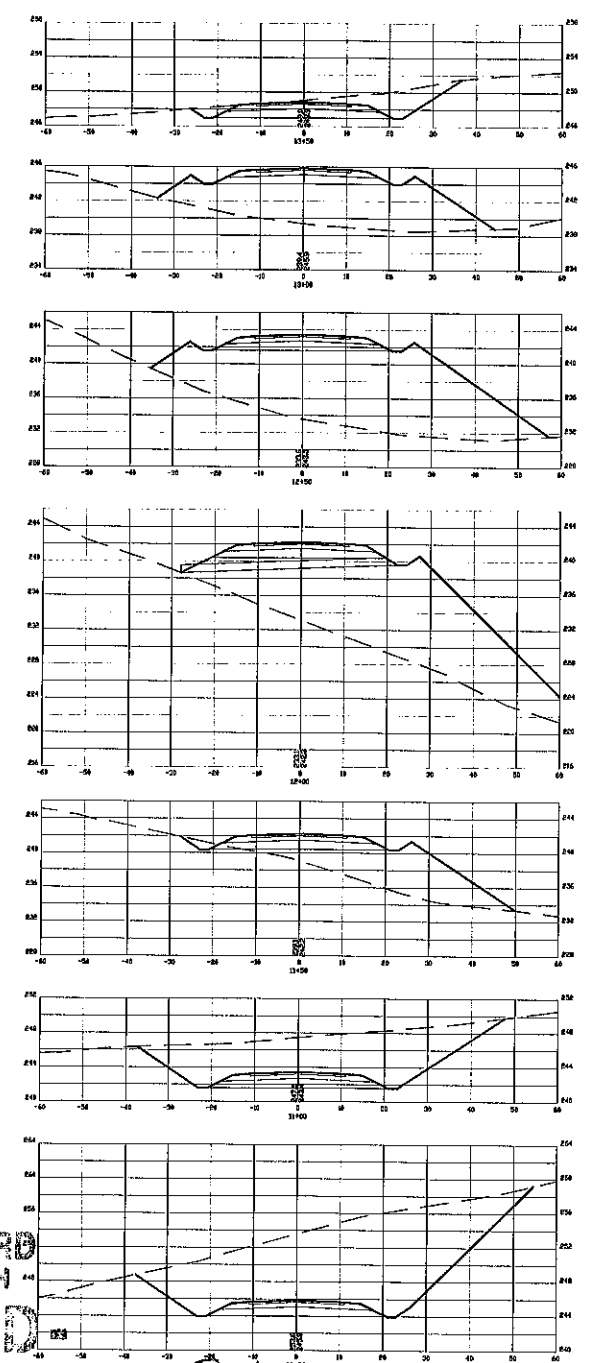
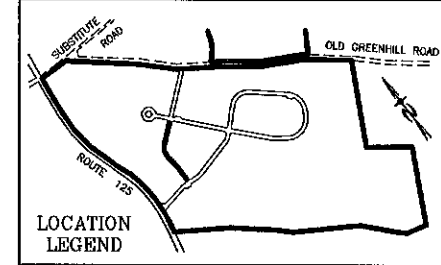
REVISED ACCESS	10-8-20
REVISED PER NHDOT	4-21-20
CROSS-SECTIONS X3	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 36 OF 37

PLANNING BOARD
 BARRINGTON, NH
APPROVED
 File Number 223-26+24-RE-19 Sub
 Date 2/7/2022
 Chairman



PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
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 PHONE: 603-583-4860, FAX: 603-583-4863



X-SECTION SCALES:
 HORIZONTAL: 1"=10' VERTICAL: 1"=5'

PLANNING BOARD
 BARRINGTON, NH
APPROVED

File Number 223-26424-RC-19 Sub
 Date 7/7/2022
 Chairman [Signature]

REVISED ACCESS	10-8-20
CROSS-SECTIONS X4	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 37 OF 37