



Barrington Zoning Board of Adjustment Zoning Ordinance Variance and Special Exception Application Checklist

Please schedule a meeting with staff before submitting your application.

This checklist has been prepared to assist you in submitting a complete application to the Town of Barrington. At the Pre-Application meeting, staff will check off the items on this list that are required with your submission.

This document constitutes a public disclosure under RSA Chapter 91 – A, Access to Governmental Records and Meetings.

Date 5/24/2022 Case No. 115-11-GR-22-ZBA Var
Owner The ELAR Realty Trust, George & Sar Grumbles
Mailing Address 13 Clinton Street, Salem, NH 03079
Phone _____ Email _____

PART I – GENERAL REQUIREMENTS

All Graphics shall be to Scale and Dimensioned

Description of Documents Required for Complete Application. No application shall be accepted without all items marked below.

Req.	Rec.
------	------

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Zoning Board of Adjustment Application Checklist (<i>this form</i>) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. ZBA General Information (Article(s) and Section(s) of Ordinance) |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Appeal and Decision |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Fees - \$150.00 Application <input checked="" type="checkbox"/>
\$ 75.00 Legal Notice <input checked="" type="checkbox"/>
\$ 7.00 per US Post Office Certified Letter <input checked="" type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Completed Project Application Form
<input checked="" type="checkbox"/> Variance <input type="checkbox"/> Special Exception <input type="checkbox"/> Appeal |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Notarized Letter of Authorization (from property owner(s) if property owner did not sign the application form) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 7. Project Narrative |

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- 8. HOA Approval (if applicable) **NA**
- 9. Context or Locus Map (Show Surrounding Zoning Districts)
- 10. Existing Conditions Site Plan or Recorded Subdivision Plan to include well and septic location (may be found at Strafford County Registry of Deeds).
- 11. Existing Conditions Photo Exhibit (See instruction page for submitting photos)
Up to four photos may be shown per 8 1/2" X 11" page size
 - a. Show all existing structures on site
- 12. List of Certified Abutters (Include Applicant and all licensed professionals, i.e., engineer, architect, land surveyor, or soil scientist, whose seals are affixed to the plan, as well as any holder of a conservation or agricultural easement)
- 13. Mailing Labels (4 sets)

PART II – REQUIRED PLANS AND RELATED DATA
All Graphics and Plans Shall be to Scale and Dimensioned

- 1. Site Plan - ***Drawn and Stamped by Registered Land Surveyor***
 - a. 24" X 36" – 2 Copies
 - b. 11' X 17" – 6 Copy
 - c. 8 1/2 " X 11" – 1 Copy
- 2. Elevations: Show all sides of building and indicate building heights
 - a. 24" X 36" – 2 Copies
 - b. 11' X 17" – 6 Copy
 - c. 8 1/2 " X 11" – 1 Copy
- 3. Floor Plans
 - a. 24" X 36" – 2 Copies
 - b. 11' X 17" – 6 Copy
 - c. 8 1/2 " X 11" – 1 Copy
- 4. All drawings and any revised drawings must be submitted in PDF format
- 5. OTHER: **Cottage Lane Maintenance Agreement**
- 6. Your Appointment Date and Time for Submitting the Complete Application is:

Barbara Arvine
Staff Signature

5/24/2022
Date

Land Use Department
Town of Barrington; 333 Calef Highway; Barrington, NH 03825
Phone: 603.664.5798

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PART III – PROJECT DESCRIPTION/VARIANCE DETAILS

Case No. 115-11-GR-22-ZBA Var

Project Name The ELAR Realty Trust

Location Address 55 Cottage Lane, Barrington, NH

Map and Lot 115 / 11

Zoning District (Include Overlay District if Applicable) General Residential, Shoreland Protection (SDO)

Property Details:

- Single Family Residential
- Multifamily Residential
- Manufactured Housing
- Commercial
- Mixed Use
- Agricultural
- Other

Use: Single family home

Number of Buildings: 1 Height: 29'-1"

Setbacks: Front 40' Back 30' Side 30' Side 30'

Description of Request

Cite the Section of the Zoning Ordinance you are requesting a Variance or Special Exception for. If this is an Appeal from an Administrative Enforcement Order, Planning Board Decision, or Zoning Board of Adjustment Decision, please attach pertinent documentation:

Article 4 Section 4.1.1 Table 2 - Table of Dimensional Standards

Project Narrative: *(Please type and attach a separate sheet of paper)*

Add a 2 garage garage and additional living space to an existing home. The owner is also proposing to improve

Cottage Lane with the approval of the abutter on Tax Map 115 Lot 13 (Randy Stillwagon). The owner is proposing to do

these renovations due to mobility issues, these renovations will allow them to add handicapped accessible features.

Barrington Zoning Ordinance Requirements:

40' front setback, 30' side and rear setbacks.

Request: *(You may type and attach a separate sheet of paper)*

To allow the expansion of the existing house to be 13.7' and 19.1' to a property line along Cottage Lane

where 40' setback is required. The expansion will include a garage and an expanded living space.

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PART IV – If this is a JUSTIFICATION FOR VARIANCE

The Zoning Board of Adjustment may not authorize a zoning ordinance variation unless ALL of the following criteria are met. Please provide evidence that the requested Variance complies by addressing the issues below.

- 1. Special conditions exist such that literal enforcement of the Ordinance will result in unnecessary hardship to the applicant as defined under applicable law.

The existing parcel is accessed by a private road, known as Cottage Lane. The parcel is 0.36 acres, and uniquely shaped which leaves very little buildable area or area to expand the small existing house.

- 2. Granting the variance would be consistent with the spirit of the Ordinance.

The reduced setbacks and the improvements to Cottage Lane will improve the access to the neighborhood by fire/rescue and not impede any movement around the house or affect the abutting properties.

- 3. Granting the variance will not result in diminution of surrounding property values.

Granting the variance will allow the owner to utilize the property as their primary residence and increase the value of the property. The improvements proposed to Cottage Lane will add value and safety to the neighborhood.

- 4. Granting of the variance would do substantial justice.

Granting the variance will allow the owner to utilize the property as primary residence and improve the access, not only to the subject property, but also the adjacent property located on Tax Map 115 Lot 12.

- 5. Granting of the variance would not be contrary to the public interest.

The variance would not be contrary to the public interest as the general public will not be effected by this variance, but the improvements to Cottage Lane will improve safety not only the subject property, but the neighborhood as a whole.

PART V – If this is a JUSTIFICATION FOR SPECIAL EXCEPTION

Please provide evidence that the requested Special Exception complies by addressing the issues below.

- 1. No detriment to property values in the vicinity of the proposed development will result on account of: the location or scale of buildings, structures, parking areas, or other access ways; the emission of odors, smoke, gas, dust, noise, glare, heat, vibration, or other pollutants; or unsightly outdoor storage of equipment, vehicles, or other materials.

- 2. No hazard will be caused to the public or adjacent property on account of potential fire, explosion, or release of toxic materials.

- 3. No creation of a traffic safety hazard or substantial traffic congestion will result in the vicinity of the proposed development.

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4. No excessive demand on municipal services and facilities, including, but not limited to waste disposal, police and fire protection, and schools.


5. The proposed use will not result in the degradation of existing surface and groundwater quality standards, nor will it have adverse effects on the natural functions of wetlands on the site that would result in the loss of significant habitat or flood control protection.

In addition to the guiding principles specified above, the ZBA may condition the granting of a special exception upon more stringent standards if the Board determines that such conditions are necessary to protect the health and welfare of the town and its residents. Such conditions may include the following and should be addressed in the Narrative:

- 1. Front, side, or rear yards in excess of the minimum requirements of this Ordinance.
- 2. Screening of the premises from the street or adjacent property by walls, fences, or other devices.
- 3. Limitations on the size of buildings and other structures more stringent than minimum or maximum requirements of this Ordinance.
- 4. Limitations on the number of occupants and methods and times of operation.
- 5. Regulation of the design and location of access drives, sidewalks, and other traffic features.
- 6. Location and amount of parking and loading spaces in excess of existing standards.
- 7. Regulation of the number, size, and lighting of signs in excess of existing standards.

Signature of Applicant

Date



Signature of Owner

Date

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Owner of Record

Tax Map 115 Lot 11
Robert George Grumbles
13 Clinton Street
Salem, NH 03079

Abutters list

Tax Map 115 Lot 12
Stephen Martwichuck
59 Cottage Lane
Barrington, NH 03825

Tax Map 115 Lot 15
John Taylor
69 Lenzi Point Road
Barrington, NH 03825

Tax Map 115 Lot 13
Randy & Darlene Stillwagon
5 Chery Lane
Madbury, NH 03823

Tax Map 115 Lot 10
Crystal Gagnon
774 2nd Crown Point
Strafford, NH 03884

Professionals

Unified Builders, Inc
688 Calef Highway
Barrington, NH 03825

New Hampshire Land Consultants, PLLC
683C First NH Turnpike
Northwood, NH 03261

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LETTER OF AUTHORIZATION

"We, Randy & Darlene Stillwagon, owners of Tax Map 115 Lot 12 located on Lenzi Point Road, authorize Robert George Grumbles, who owns a home on Cottage Lane, Tax Map 115 Lot 11 (55 Cottage Lane), to perform improvements as needed on Cottage Lane as part of the variance application Robert George Grumbles has submitted to the Barrington Land Use Board. Cottage Lane is partially located on my property.

As per drawing from M.H. Land Consultants date 23 May 2022 Rev. 2

Randy Stillwagon
Signature

5/23/22
Date

[Signature]
Signature

5/23/22
Date

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VIEW OF HOUSE AND LOCATION OF ADDITION FROM COTTAGE LANE
PICTURE #1



VIEW OF HOUSE AND LOCATION OF ADDITION FROM COTTAGE LANE
PICTURE #2

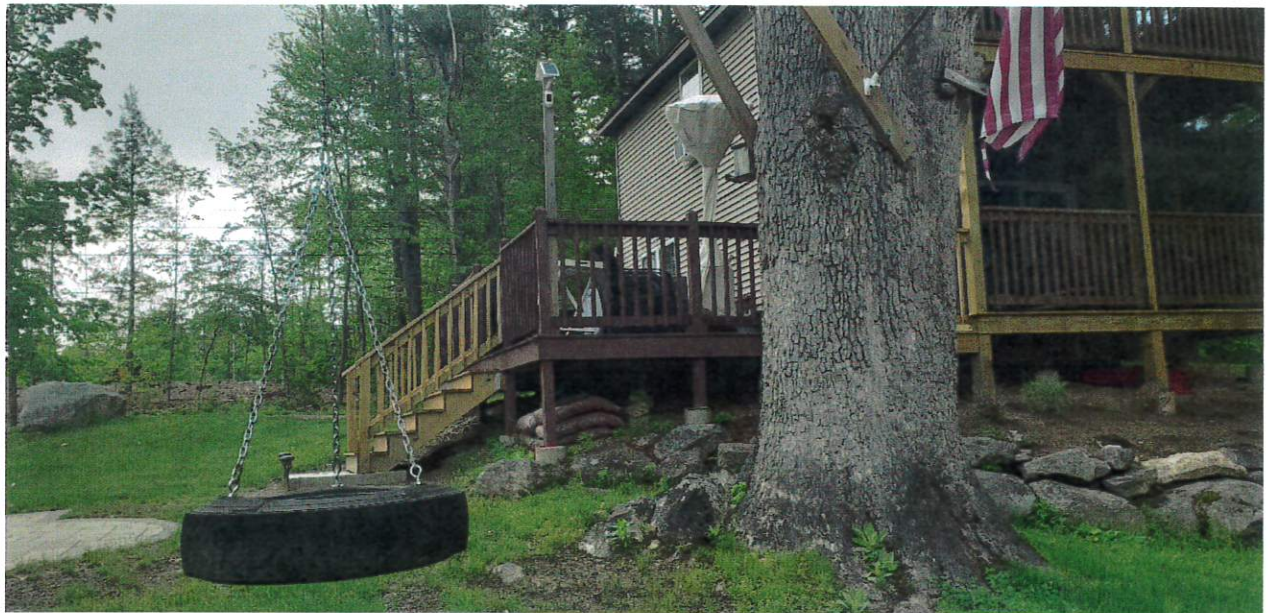
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**VIEW OF HOUSE AND LOCATION OF ADDITION FROM COTTAGE LANE
PICTURE #3**



VIEW OF HOUSE AND LOCATION OF ADDITION FROM LAKES EDGE (SWAINS LAKE)

PICTURE #4

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VIEW OF HOUSE FROM LAKES EDGE (SWAINS LAKE)
PICTURE #5



VIEW THE END OF COTTAGE LANE
PICTURE #6

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**VIEW OF COTTAGE LANE WHERE TWO TREES WILL BE REMOVED
PICTURE #7**

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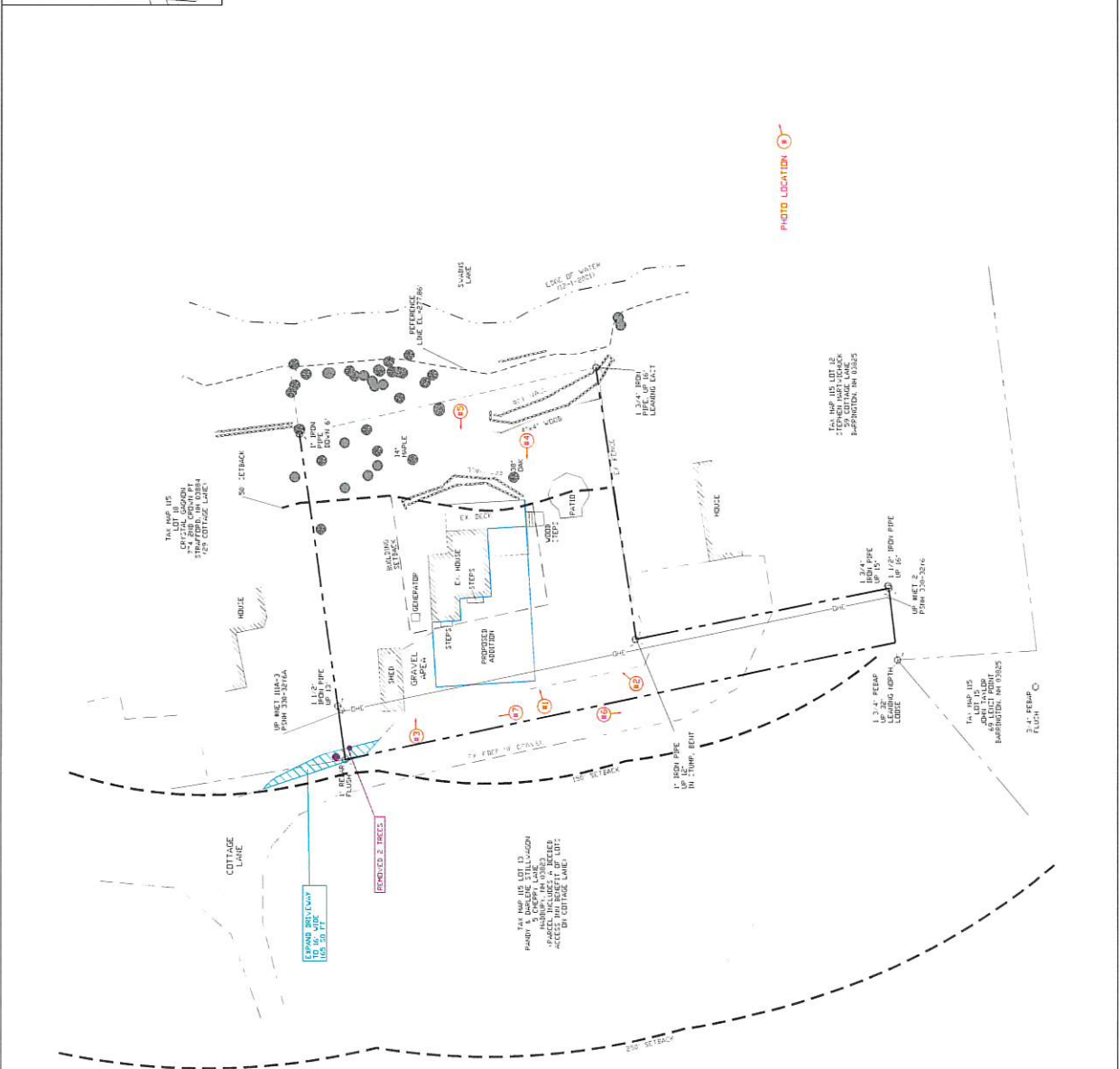
PHOTO LOCATIONS
 TAX MAP 115 LOT 11
 ROBERT GEORGE GRUMBLES
 THE ELAR REALTY TRUST
 55 COTTAGE LANE, BARRINGTON, NH 03825
 ROBERT GEORGE GRUMBLES
 THE ELAR REALTY TRUST
 13 CUNTON STREET, SALEM, NH 03079
 BOOK: 4864 PAGE: 20



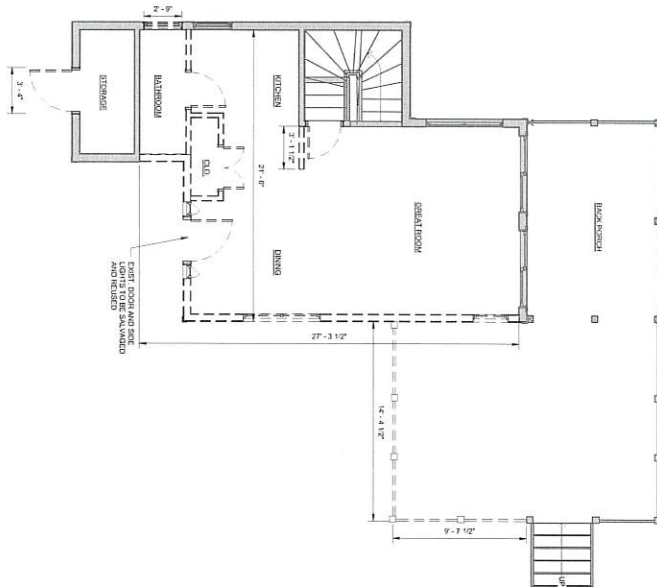
GRAPHIC SCALE
 0 10 20
 SCALE: 1"=20'

NO.	DATE	DESCRIPTION	BY

PL
 SHT. 1 OF 1



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D100 SCALE: 1/4" = 1'-0"
FIRST FLOOR DEMOLITION PLAN

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GENERAL DEMOLITION NOTES

1. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS WITH WALLS OR FLOOR FINISHES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE TO PRESERVE STRUCTURE OF EXISTING WALLS AND FLOORS TO BE REMOVED TO THE POINT OF REMOVAL TO THE CONTRACTOR'S RESPONSIBILITY.
2. WHEN A FLOOR FINISH IS TO BE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THE FINISH TO THE POINT OF REMOVAL TO THE CONTRACTOR'S RESPONSIBILITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THE FINISH TO THE POINT OF REMOVAL TO THE CONTRACTOR'S RESPONSIBILITY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THE FINISH TO THE POINT OF REMOVAL TO THE CONTRACTOR'S RESPONSIBILITY.
5. WHEN THE CONTRACTOR HAS COMPLETED THE DEMOLITION OF THE FINISH, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THE FINISH TO THE POINT OF REMOVAL TO THE CONTRACTOR'S RESPONSIBILITY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THE FINISH TO THE POINT OF REMOVAL TO THE CONTRACTOR'S RESPONSIBILITY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THE FINISH TO THE POINT OF REMOVAL TO THE CONTRACTOR'S RESPONSIBILITY.

DEMOLITION LEGEND

---	EXISTING CONSTRUCTION TO BE REMOVED
---	NEW CONSTRUCTION TO REMAIN



D100
SHEET 5 OF 25
REV. 02.15.21

GRUMBLES RESIDENCE RENO.
PROPERTY: 55 Cottage Lane
Barrington, NH 03825
DEMOLITION PLAN

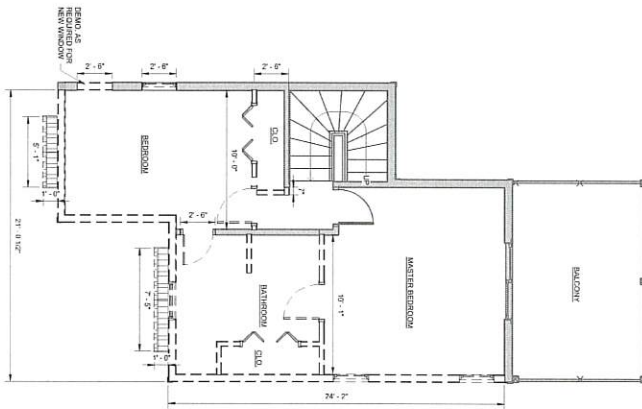
CLIENT:
United Builders Inc.
668 Cliff Hwy
Barrington, NH 03825



STAMP
DATE: 5/17/2022
CONTRACTOR: 151712022

TEAM ENGINEERING
82 Plandon Lane
Suite 503
Barrington, NH 03825
Phone: (603) 497-3137
www.team-engineering.com





SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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- GENERAL DEMOLITION NOTES**
1. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN AND ALL APPLICABLE REGULATIONS AND PERMITS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
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 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.
- DEMOLITION LEGEND**
- EXISTING CONTRIBUTION TO BE DEMOLISHED
 - EXISTING CONTRIBUTION TO REMAIN



PROJECT NO: 21372
SHEET: 8 OF 25
DATE: 05/17/2022

GRUMBLES RESIDENCE RENO.
PROPERTY: 55 Cottage Lane
Barrington, NH 03825

D101
SHEET TITLE: DEMOLITION PLAN

CLIENT:
United Builders Inc.
488 Canal Hwy
Barrington, NH 03825



STAMP

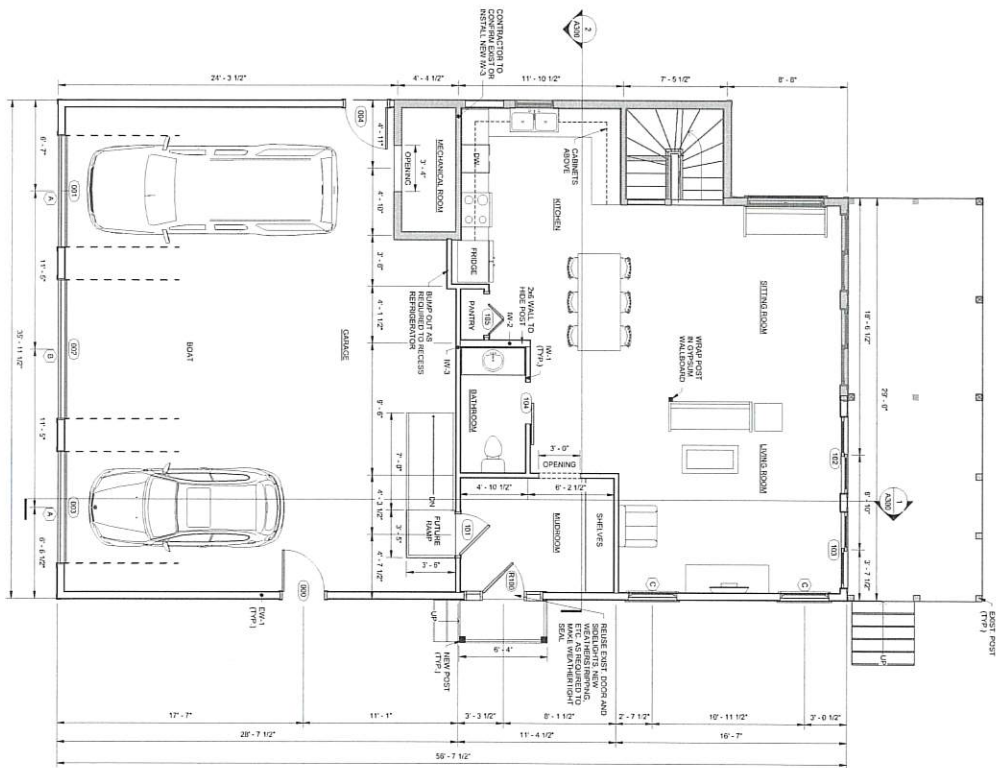
DRAFT
 APPROVAL
 BID
 PERMIT
 CONSTRUCTION

TEAM ENGINEERING
827 Phoenix Lane
Suite 503
Barrington, NH 03825
Phone: (603) 487-2137
www.TeamEngineering.com

REVISION: 1 DATE: 05/17/2022
CONTRIBUTION: 05/17/2022



PROPOSED FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



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A100
SHEET 3 OF 23
PROJECT NO. 2102
REV. 52 5/17/22

GRUMBLES RESIDENCE RENO.
PROPERTY: 55 Cottage Lane
Barrington, NH 03825
PROPOSED FIRST FLOOR PLAN

CLIENT:
United Builders Inc.
488 Cliff Hwy.
Barrington, NH 03825

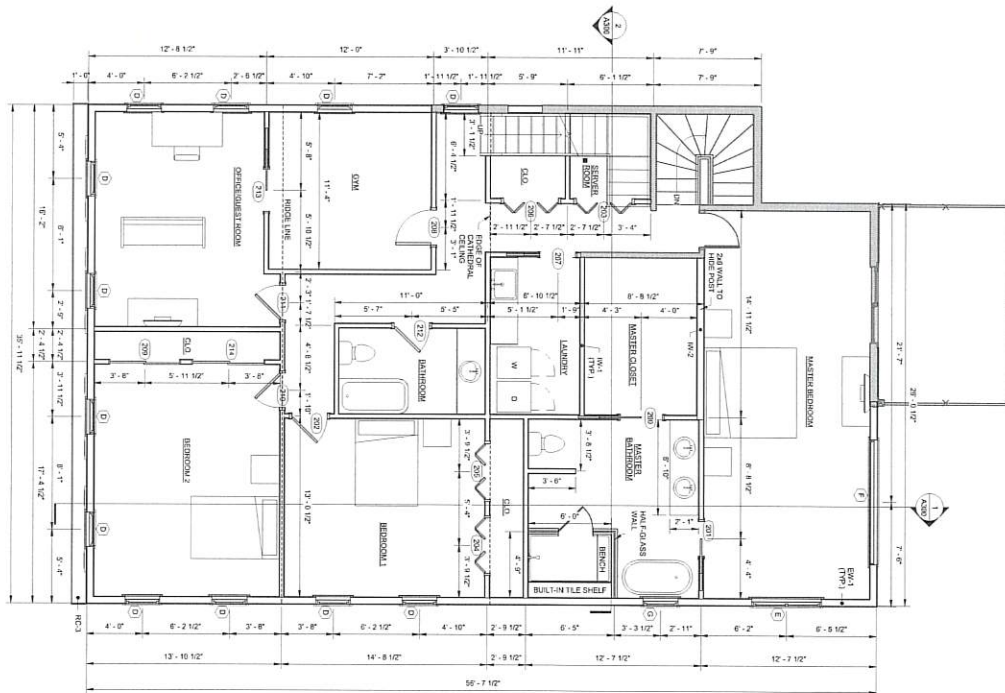


DATE:	5/17/2022
CONSTRUCTION:	5/17/2022
REVISION:	DATE
1	DATE
2	DATE
3	DATE
4	DATE
5	DATE
6	DATE
7	DATE
8	DATE
9	DATE
10	DATE

TEAM ENGINEERING
82 Palomina Lane
Bedford, NH 03110
Phone: (603) 467-3137
www.teamengineering.com

Team ENGINEERING
Building Inspection & Design

PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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MAY 24 2022



A101
SHEET 9 OF 23
PROJECT NO. 2137
DATE: 05/17/22
CHK: VA

GRUMBLES RESIDENCE RENO.
PROPERTY: 55 Cottage Lane
Barrington, NH 03825
PROPOSED SECOND FLOOR
PLAN

CLIENT:
United Builders Inc.
6888 Canal Hwy
Barrington, NH 03825



STAMP

DIRECT
 ARCHITECT
 BD
 FINANCIAL
 CONSTRUCTION

 REVISION: DATE: 05/17/22
 CONTRIBUTION: 05/17/22

TEAM ENGINEERING
 67 Phoenix Lane
 Suite 503
 Barrington, NH 03825
 Phone: (603) 497-3137
 www.teamengineering.com

Team ENGINEERING
 Building Inspection & Design

Grumbles Cottage Lane Maintenance Agreement

I, **Robert Grumbles** do hereby make the following agreement regarding the cooperative use of Cottage Lane in Barrington:

1. As I own and/or occupy property that rely on Cottage Lane being passable during all seasons of the year, we agree that The Town of Barrington **SHALL NOT** be liable or responsible for road maintenance or snow removal; I also agree to hold harmless and release from any liability the Town of Barrington NH should Emergency Vehicles be, for any reason, unable to access 55 Cottage lane.

2. I will maintain road upkeep and snow removal as to keep Cottage Lane passable by vehicles and emergency vehicles.

Signatures:



George Robert Grumbles JR
55 Cottage Lane
Barrington NH 03825

Date: _____ May 19, 2022 _____

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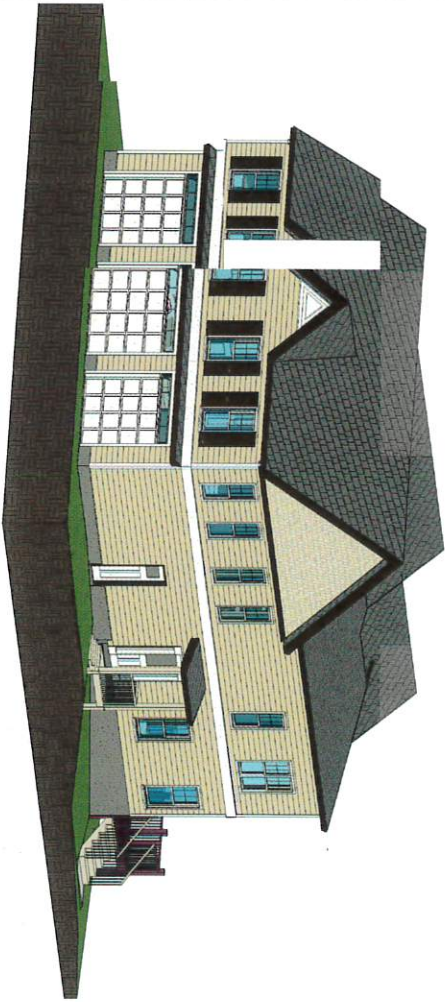
GRUMBLES RESIDENCE RENOVATION

55 COTTAGE LANE, BARRINGTON, NH 03825

ABBREVIATIONS

1	ANGLE	LBS	POUNDS (WEIGHT)
2	CONCRETE	MAX.	MAXIMUM
3	DIMETER	MECH.	MECHANICAL
4	APR CONDITIONING	MIN.	MINIMUM
5	APPL. HAVING JURISDICTION	MCC.	METEOROLOGICAL
6	APPL. HAVING JURISDICTION	MCC.	METEOROLOGICAL
7	APPL. HAVING JURISDICTION	MCC.	METEOROLOGICAL
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11	APPL. HAVING JURISDICTION	MCC.	METEOROLOGICAL
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35	APPL. HAVING JURISDICTION	MCC.	METEOROLOGICAL
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49	APPL. HAVING JURISDICTION	MCC.	METEOROLOGICAL
50	APPL. HAVING JURISDICTION	MCC.	METEOROLOGICAL

BUILDING RENDERINGS



VICINITY MAP



PROJECT DIRECTORY

Team ENGINEERING
 ARCHITECT
 748 Main St., 2nd Fl
 55 Cottage Lane, Suite 300
 Barrington, NH 03825

Team ENGINEERING
 STRUCTURAL ENGINEER
 748 Main St., 2nd Fl
 55 Cottage Lane, Suite 300
 Barrington, NH 03825

GENERAL NOTES

1. ALL DIMENSIONS AND CONDITIONS MUST BE REFERRED TO THE RECORD BY THE CONTRACTOR.
2. UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK.
3. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE CONDITIONS AT THE SITE AND DETAIL SHALL prevail.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS.

SHEET LIST

Sheet #	Sheet Name	Notes
1	COVER	
2	2018 IBC	
3	FOUNDATION	
4	FOUNDATION	
5	FOUNDATION	
6	FOUNDATION	
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28	FOUNDATION	
29	FOUNDATION	
30	FOUNDATION	

APPLICABLE BUILDING CODES

<input type="checkbox"/> INTERNATIONAL RESIDENTIAL CODE BOOK	<input type="checkbox"/> 2018 IBC
<input type="checkbox"/> INTERNATIONAL EXISTING BUILDING CODE BOOK	<input type="checkbox"/> 2018 IBC
<input type="checkbox"/> INTERNATIONAL EXISTING CONSERVATION CODE BOOK	<input type="checkbox"/> 2018 IBC
<input type="checkbox"/> INTERNATIONAL MECHANICAL CODE BOOK	<input type="checkbox"/> 2018 IBC
<input type="checkbox"/> NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE BOOK	<input type="checkbox"/> 2018 IBC
<input type="checkbox"/> CODE OF MASSACHUSETTS REGULATIONS 780	<input type="checkbox"/> 2018 IBC
<input type="checkbox"/> OTHER _____	<input type="checkbox"/> 2018 IBC

PROJECT PARAMETERS

<input type="checkbox"/> BUILDING TYPE	<input type="checkbox"/> TYPE OF PROJECT	<input type="checkbox"/> BUILDING DESCRIPTION
<input type="checkbox"/> NEW BUILDING	<input type="checkbox"/> NEW CONSTRUCTION BUILDING	<input type="checkbox"/> 20' x 40'
<input type="checkbox"/> REPAIRS	<input type="checkbox"/> RENOVATION	<input type="checkbox"/> 1.5 x 20'
<input type="checkbox"/> OTHER _____	<input type="checkbox"/> OTHER _____	<input type="checkbox"/> SPRINKLER SYSTEM

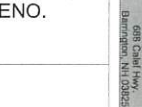
GRUMBLES RESIDENCE RENO.

PROPERTY: 55 Cottage Lane
 Barrington, NH 03825

SHEET TITLE: COVER

A000
 SHEET 1 OF 25
 PROJECT NO. 21-372
 DWG. 00 | OK: MA

UNIFIED BUSINESS INC.
 DESIGNER: WYSON BARRINGTON, NH 03825

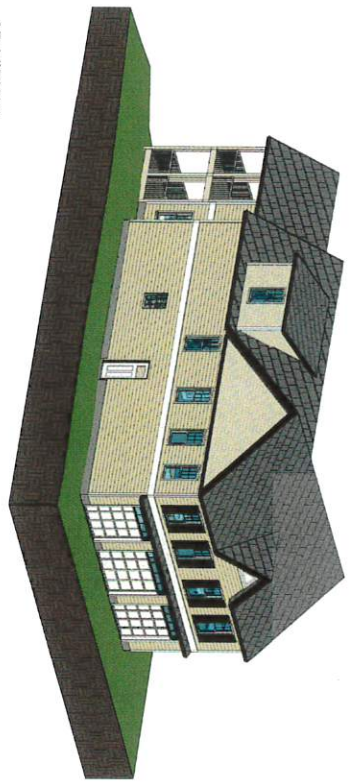


TEAM ENGINEERING
 62 Phobos Lane
 Bedford, NH 03110-5448
 Phone: (603) 497-3137
 www.teamengineering.com

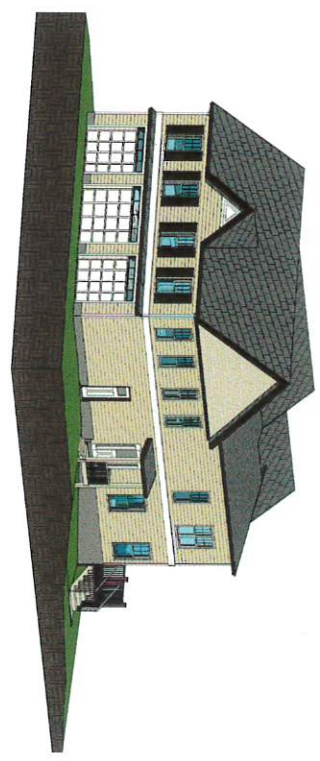
REVISION: DATE:
 CONSTRUCTION: 05/17/2022

DRAFT
 APPROVAL
 REVISION
 CONSTRUCTION

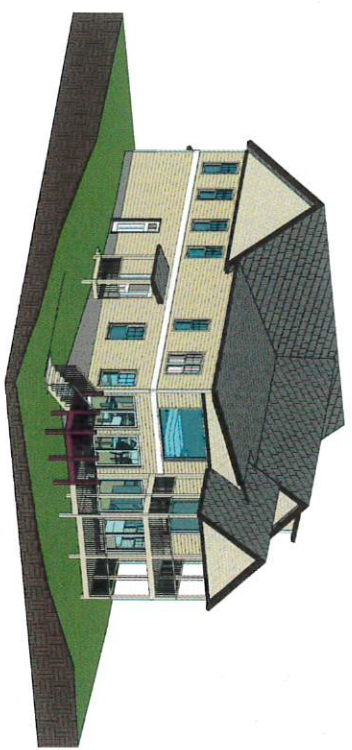
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 MAY 24 2022
 LAND USE OFFICE



3D VIEW 1
SCALE



3D VIEW 2
SCALE



3D VIEW 3
SCALE

SHEET: 2 of 25
PROJECT NO.: 21372
DWG: DC - CHG - MA

GRUMBLES RESIDENCE RENO.
PROPERTY: 55 Cottage Lane
Barrington, NH 03825

SHEET TITLE: 3D VIEWS

OWNER:
United Builders Inc.
Dorothy Wilson
605 Oak Hwy
Barrington, NH 03825



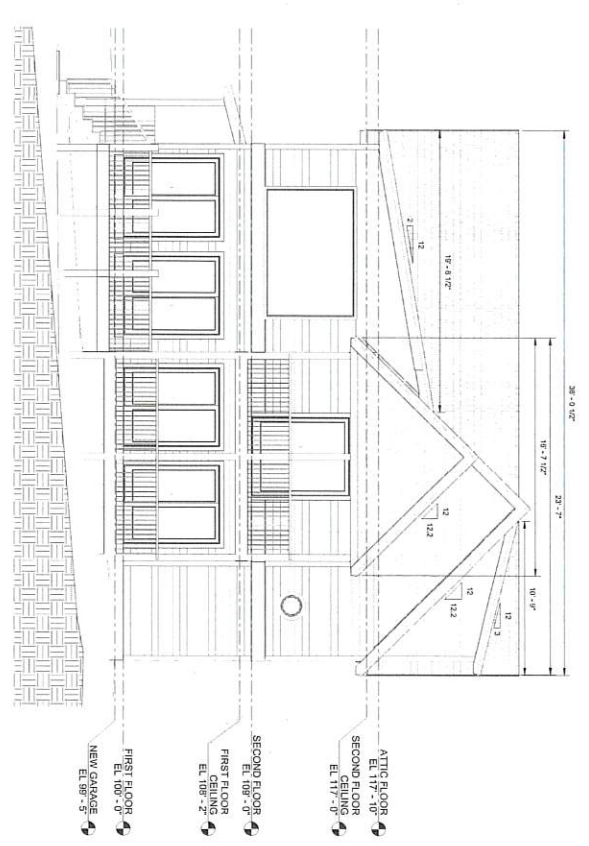
STAMP

DRAFT
 APPROVAL
 BID
 PERMIT
 CONSTRUCTION

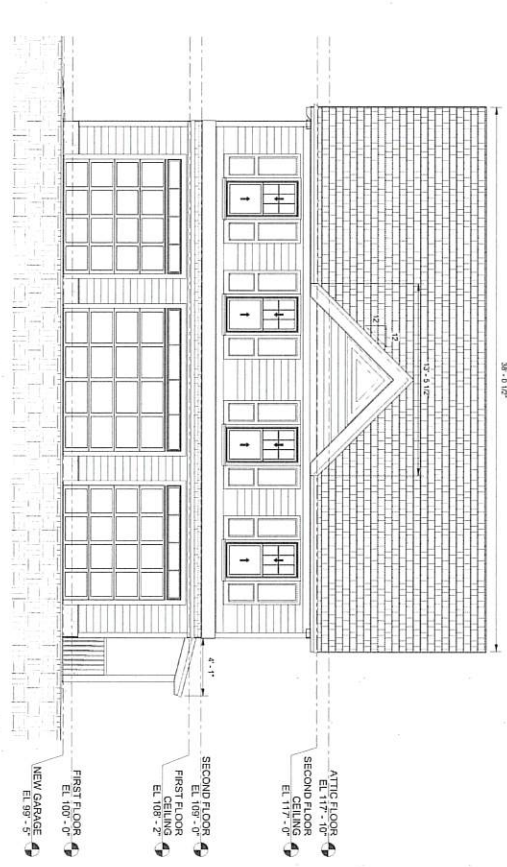
TEAM ENGINEERING
82 Palomino Lane
Burton, NH 03317-0448
Phone: (603) 487-3137
www.TeamEngineering.com

REVISION: DATE
CONSTRUCTION: 5/17/2022





1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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MAY 24 2022

LA! - USE OFFICE

<p>A201</p> <p>SHEET 13 OF 25</p> <p>DATE: 05/18/22</p>	<p>GRUMBLES RESIDENCE RENO.</p> <p>PROPERTY: 55 College Lane Barrington, NH 03825</p> <p>PROPOSED BUILDING ELEVATIONS</p>	<p>CLIENT: United Builders Inc. One Pine Millson Ave Barrington, NH 03825</p>		<p>STATUS:</p> <p><input type="checkbox"/> DRAFT</p> <p><input type="checkbox"/> APPROVAL</p> <p><input type="checkbox"/> BID</p> <p><input type="checkbox"/> PERMIT</p> <p><input type="checkbox"/> CONSTRUCTION</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISION	DATE							<p>TEAM ENGINEERING</p> <p>52 Sibley Lane Bedford, NH 03110-4448 Phone: (603) 487-5131 www.teameng.com</p>	<p>Team ENGINEERING Building Inspection & Design</p>
REVISION	DATE														

Grumbles Cottage Lane Maintenance Agreement

I, **Robert Grumbles** do hereby make the following agreement regarding the cooperative use of Cottage Lane in Barrington:

1. As I own and/or occupy property that rely on Cottage Lane being passable during all seasons of the year, we agree that The Town of Barrington **SHALL NOT** be liable or responsible for road maintenance or snow removal; I also agree to hold harmless and release from any liability the Town of Barrington NH should Emergency Vehicles be, for any reason, unable to access 55 Cottage lane.

2. I will maintain road upkeep and snow removal as to keep Cottage Lane passable by vehicles and emergency vehicles.

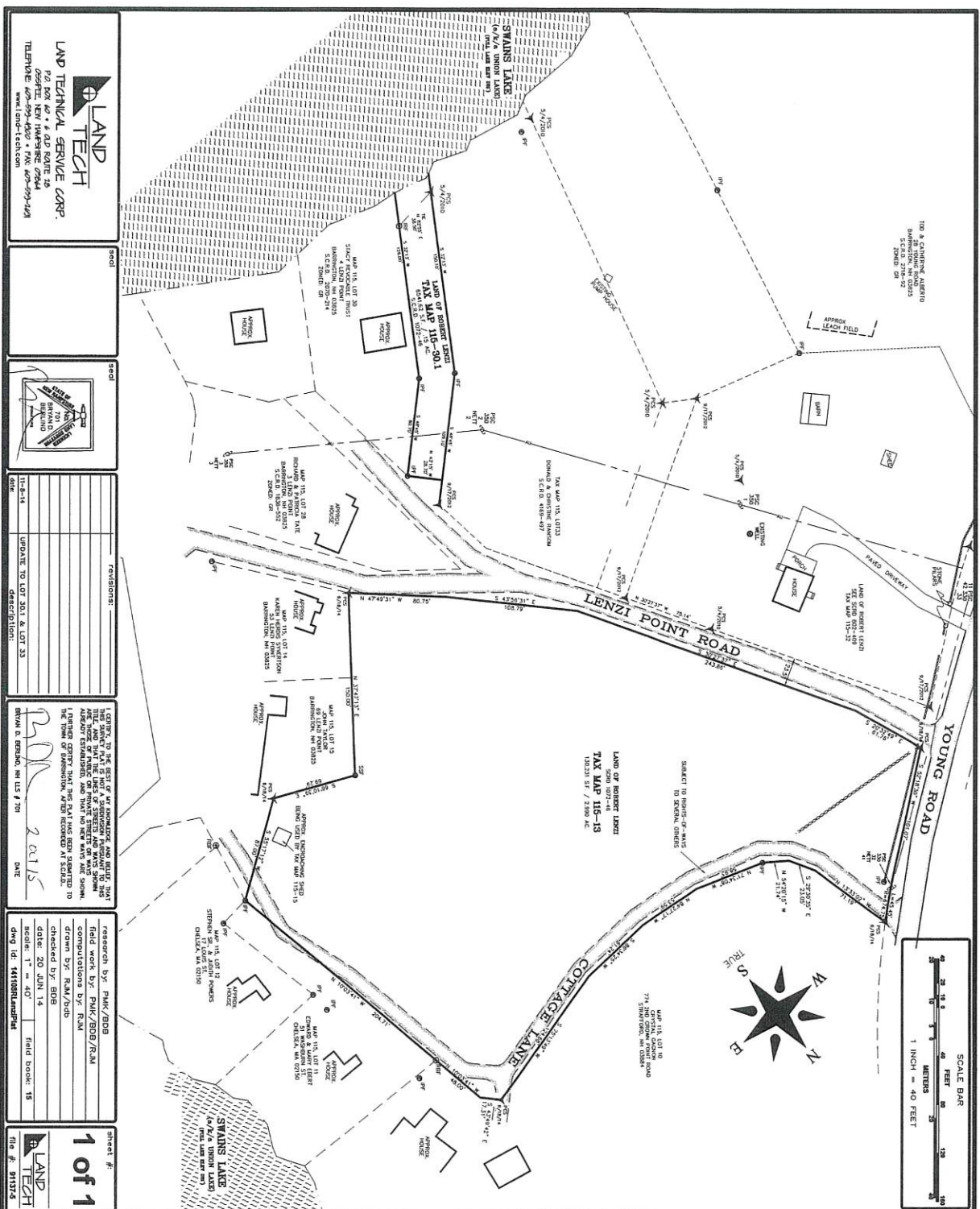
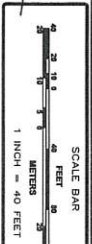
Signatures:



Date: _____ May 19, 2022 _____

George Robert Grumbles JR
55 Cottage Lane
Barrington NH 03825

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- NOTES:**
1. PLAN INTENDS TO SHOW THE BOUNDARIES AND SHOW THE LOT AS BOUNDED.
 2. OWNERSHIP OF RECORD.
 3. SUBDIVISION TAX MAP 115, LOT 13.
 4. ZONED: COMMERCIAL, RESIDENTIAL.
 5. THIS PLAN IS A REPRESENTATION OF FIELD SURVEY AND RECORD INFORMATION AS SHOWN ON THE RECORD MAP AND FIELD SURVEY. THE FIELD SURVEY IS THE BASIS FOR THIS PLAN. THE FIELD SURVEY IS THE BASIS FOR THIS PLAN. THE FIELD SURVEY IS THE BASIS FOR THIS PLAN.
 6. THIS PLAN IS A REPRESENTATION OF FIELD SURVEY AND RECORD INFORMATION AS SHOWN ON THE RECORD MAP AND FIELD SURVEY. THE FIELD SURVEY IS THE BASIS FOR THIS PLAN. THE FIELD SURVEY IS THE BASIS FOR THIS PLAN.
 7. ALL DIMENSIONS SHOWN ARE "/>

- LEGEND:**
- FW - FENCE
 - RF - REBAR FOUND
 - RP - IRON PIPE FOUND
 - RF - IRON ROD FOUND
 - FW - FENCE LINE
 - ME - METLANDS
 - BS - BOUNDARIES
 - ST - STORED
 - FW - FENCE LINE

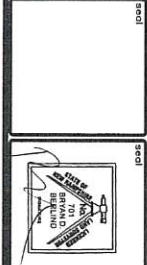
DISCLAIMER:

THE SURVEYOR HAS CONDUCTED THIS SURVEY IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION. THE SURVEYOR HAS CONDUCTED THIS SURVEY IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION. THE SURVEYOR HAS CONDUCTED THIS SURVEY IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION.

LOOKS MAP - NOT TO SCALE

PLAN OF LAND
 prepared for
ROBERT LENZI
 BARRINGTON, NEW HAMPSHIRE
 TAX MAP 115, LOT 13

LAND TECH
 LAND TECHNICAL SERVICE CORP.
 P.O. BOX 42 • 40 ROUTE 28
 DORSET, NEW HAMPSHIRE 03824
 TELEPHONE: 603-751-1444
 FAX: 603-751-1444



REVISIONS:

NO.	DATE	DESCRIPTION
1	11-3-15	UPDATE TO LOT 30, & LOT 33

I CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION. I AM A LICENSED SURVEYOR IN THE STATE OF NEW HAMPSHIRE. THE TITLE OF THIS SURVEY IS "PLAN OF LAND FOR ROBERT LENZI, BARRINGTON, NEW HAMPSHIRE, TAX MAP 115, LOT 13".

DATE: 11/03/15

prepared by: PML/GBB
 field work by: PML/GBB/RAJ
 computations by: RAJ
 drawn by: RAJ/GBB
 checked by: BGS
 date: 20 JUN 14
 field book: 15
 drawing ID: 14110818PML

Sheet #:
1 of 1
 LAND TECH
 File #: 9137-5

K. J. Fisher and Sons, LLC
95 Old Center Rd., Deerfield, NH 03037
603-300-7432 / 603-463-9785

PROPOSAL

Unified Building Group
688 Calef Highway
Barrington, NH

Attention: Mary Marsillo

May 12, 2022

Grumble Addition/Driveway

Scope of work:

Road improvement Estimate

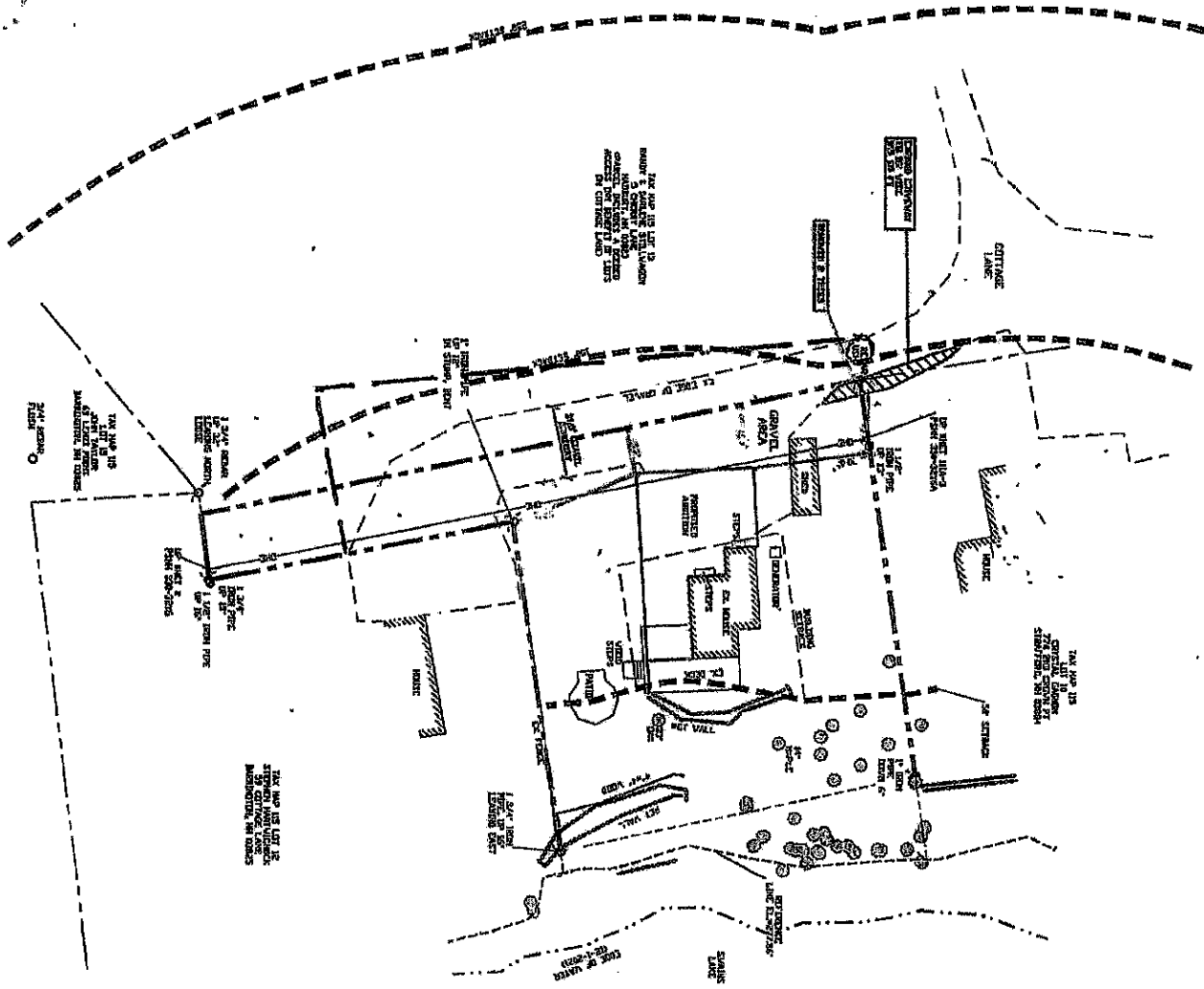
• Cut trees per discussion	\$2,900
• Remove stumps	\$1,500
• Excavate for roadway widening – 121cy export	\$3,840
• 575' x 12' x .5 153cy CBR gravel placed and compacted	\$6,601
• Pave apron at road 15 x 20 x 3"	<u>\$3,900</u>
	\$18,741±

Thank you for the opportunity to bid this project!

Proposed by:

Accepted by:

Kevin J Fisher, owner



23 MAY 2022 Rev 2

PROPOSED CONDITIONS PLAN
 TAX MAP 99 LOT 99
APPLICANT
 INFINITY DRIVE, ASHLAND NH 03217
 OWNED BY
OWNER OF PROPERTY
 ANY ROAD, ANYWHERE, USA
 SOCIETY, INC.

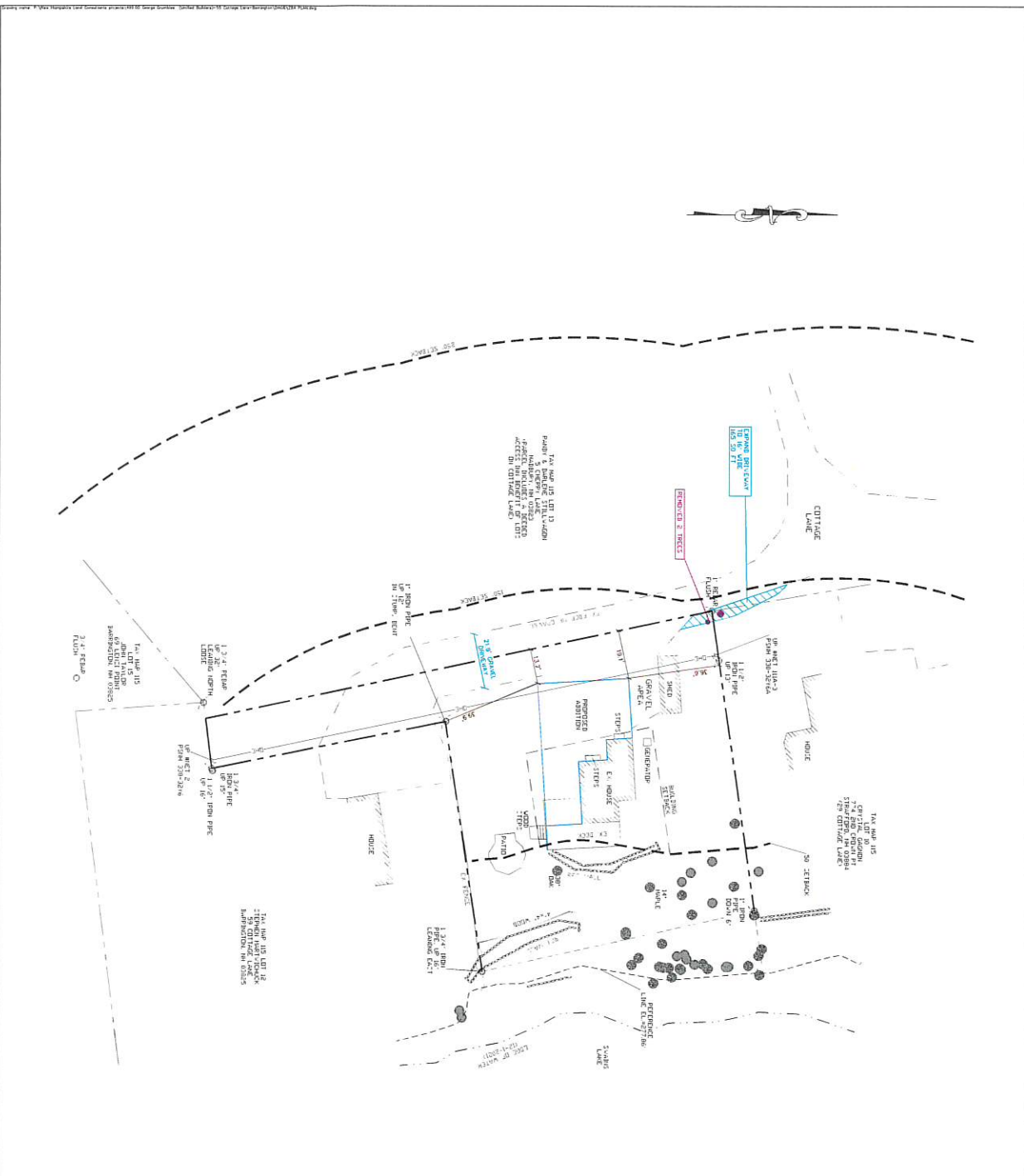
N.H. LAND Consultants
 SURVEYING • LAND • CAD • GIS • DESIGN • PHOTOGRAMMETRY
 100 W. WINDY HOLLOW RD. SUITE 101 ASHLAND, NH 03217
 TEL: 603-888-4770 FAX: 603-888-4771



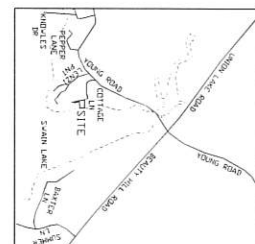
REVISIONS			
NO.	DATE	DESCRIPTION	BY



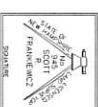
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LAND USE OFFICE



SCOTT F. FRANKLIN, L.L.S.
DATE



PROPOSED CONDITIONS PLAN
TAX MAP 115 LOT 11
ROBERT GEORGE GRUMBLES
THE ELAR REALTY TRUST
55 COTTAGE LANE, BARRINGTON, NH 03825
OWNED BY
ROBERT GEORGE GRUMBLES
THE ELAR REALTY TRUST
13 CLINTON STREET, SALEM, NH 03079
BOOK 4864 PAGE 26

N.H. LAND Consultants
SURVEYING-LAND PLANNING-REAL ESTATE
A Veteran Owned Company

6500 FIRST NH BUSINESS CENTER, NORTHWOOD, NH 03251 PH 603-342-2220 WEBSITE: NH.LANDCONSULTANTS.COM

REVISIONS		NO	DATE	DESCRIPTION	BY
GRAPHIC SCALE 1" = 20'					
SCALE: 1" = 20'					