



# Minor Building Permit Application

Town of Barrington, New Hampshire  
 Building Department  
 P.O. Box 660, Barrington, NH  
 Telephone: (603) 664-5183

Issue Date: \_\_\_\_\_  
 Permit #: \_\_\_\_\_  
 (This area for office use only)

Map # 000110  
 Lot # 000006  
 Block # \_\_\_\_\_  
 Zoning Gen Res

Location of Construction (Address): 15 Eagle Drive  
 Property Owner: Edward Friedman Home Phone: N/A  
 Mailing Address: 21 Spencer Street Unit 412 Cell Phone: 603-504-5730  
 City: Lebanon State: NH Zip Code: 03766 Daytime Phone: 603-504-5730  
 Email Address: edfriedman.62@gmail.com

Contractor: Ed Friedman Phone: \_\_\_\_\_  
 Mailing Address: 21 Spencer Street Unit 412 Cell #: 603-504-5730  
 City: Lebanon State: NH Zip Code: 03766  
 Email Address: edfriedman.62@gmail.com

Cost of Construction: \$64,000 Building Inspectors Estimated Cost of Construction: \_\_\_\_\_  
 Permit Fee: \$544 Permit fee is based on \$8.50 per \$1,000.00 of Construction Cost (\$50.00 Minimum)  
 AND \$25 flat application fee, \$50 electric permit fee, \$50 plumbing permit fee, \$50 mechanical permit fee.

Primary Use of Property Is:  Residential  Commercial  Mixed Use (both Res. & Com)  
 Proposed Construction is for:  Deck  Door  Garage  Exterior Renovations  
 (Please Check all that Apply)  Enclose Deck/Porch  Shed  Siding  Interior Renovations  
 Pool / Hot Tub  Roof  Windows  Residential Addition  
 Other \_\_\_\_\_

Description of work to be performed: We propose to temporarily elevate the cottage. Upon lifting the cottage we will excavate to install new full foundation to allow full walkout on the downhill side.  
 Proposed Use: \_\_\_\_\_

Property & Setback Information			
Setbacks from Lot Line to Construction:		Subsurface Disposal Information:	Total Square Footage of Proposed Building: <u>786sf/level two levels 1,572sf</u>
Front: <u>12'</u>	Right: <u>22'</u>	Septic System Design: More Than 20 Years Old Circle One: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	Site Located In "Special Flood Hazard Area": Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Rear: <u>58'</u>	Left: <u>42'</u>		Site Located In Shoreland Protection Zone: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Lot Size: <u>0.23 Acres</u>		Shoreland Water Quality Protection Zone: Circle One: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Subdivision Approval # <u>N/A</u> Subdivision Name: <u>N/A</u>

Applicant Signature: Ed Friedman Date: 1/12/2022

It is the responsibility of the property owner and all contractors to obtain and post the necessary permits in a conspicuous location prior to commencement of any construction related activity.

Electrical, mechanical and plumbing work requires submission of a separate permit applications.

Permits are non-transferable. If this is an "After the Fact" permit, it may be subject to a fee two times the normal permit fee.

**It is the responsibility of the contractor / property owner to obtain all required inspections. This signed application constitutes consent of the owner / applicant to provide access for inspections related to this permit at the subject property. Any work that is concealed prior to the inspection may be required to be removed for inspection.**

Inspections are required for:

- 1) Reinforcing steel prior to pouring
- 2) Foundation & drainage prior to backfilling
- 3) Rough-In: Framing
- 4) Insulation & penetration firestop
- 5) Drywall Installation (fire rated assemblies only)
- 6) Final Inspection

***Required inspections for electrical, plumbing and mechanical installations are provided on the applicable permit application(s).***

PLEASE BE ADVISED: Any deviation from the specifications submitted will require an amendment to this permit or additional permits. Permits expire one (1) year from the issue date. The Building Inspector/Code Officer may grant an extension of time if a written request is submitted prior to the expiration date. Permits become invalid if work is not started within 180 days or if work is abandoned/suspended for a period of 180 days.

The STATE OF NEW HAMPSHIRE requires that ENERGY CODE COMPLIANCE CERTIFICATION be obtained for any heated building, structure or addition thereto. Certification may be required prior to altering, renovating or winterizing an existing structure. More information can be found at the web site: [www.puc.state.nh.us](http://www.puc.state.nh.us) and follow the link for Energy Codes.

\*\*\* I hereby certify that the building site is/is not (choose one) located in a "Special Flood Hazard Area" as designated by the Federal Emergency Management Agency and its flood insurance rate maps.

Applicant signature: Ed Friedman

\*\*\* I hereby certify that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S. C. 1334, Barrington Flood Plain Development Ordinance.

Applicant signature: Ed Friedman

\*\*\* All work must be performed in accordance with International Building Code/2009, International Residential Code for One & Two Family Dwelling/2009, 2011 NEC National Electrical Code, 2009 International Plumbing Code, NFPA 101 Life Safety Code/2009, NH Energy Code, International Mechanical Code/ 2009 and State of NH Subdivision & Individual Sewage Disposal System Design Rules.

\*\*\* I certify that the information that I have given is accurate to the best of my knowledge. No change from the above information will be made without the approval of the Code Enforcement Officer. I understand that this is NOT A PERMIT and that work CANNOT COMMENCE until a PERMIT is issued. It is my responsibility to contact the Code Enforcement Officer for the appropriate inspections.

\*\*\* I hereby certify that the boundary lines shown on the accompanying plot plan are the property lines of my property and that the acreage and setbacks are correctly shown.

\*\*\* I further acknowledge that the proposed structure or improvements shall not be occupied or utilized without a Certificate of Occupancy and only after all necessary inspections have been requested and completed.

Owner Signature: Ed Friedman Date: 1/12/2022

Contractor Signature Owner acting as contractor Date: \_\_\_\_\_

# MINIMUM APPLICATION REQUIREMENTS

## **BUILDING CODE INFORMATION**

*Every building is different in terms of layout and framing details. Therefore, it is imperative that a set of construction plans or sketches be submitted with each application. The plans/sketches must show a dimensioned layout of all new rooms and spaces, in enough detail to determine building code compliance for the proposed construction. In the case of additions, it will be necessary to show the existing (room) layout. The following is a list of specific items to be included with the plans/sketches and specifications:*

- Foundation plan/cross section showing anchor bolt/strap locations (IRC Section 403.1.6) and location of required reinforcing steel (IRC Section 404.1.2.2).
- Dimensioned floor plan of each story (Show attic access location)
- Framing plan of each story including direction, sizes & spacing of joints and beams, location of support columns and sheathing material.
- ~~Roof framing plan including: direction, sizes & spacing of rafters, sheathing material and roofing materials.~~
- Sizing documentation must be provided for all engineered beams/girders, joists, etc.
- ~~If cathedral ceiling or if rafters are not connect to the floor/ceiling joist or connected with a rafter tie located in the lower third of the rafter, provide ridge support details (IRC Section 802.3.1).~~
- Framing cross section.
- Wall section(s) or window & door schedule indicating header sizes and required number of jack studs (IRC Tables 502.5(1) & 502.5(2)).
- Wall bracing methods, locations and length of braced wall panels, include foundation details as applicable (IRC Section 602.10 thru 602.12.1.6).
- Label all emergency escape openings (“egress windows”) in sleeping areas, basements (bulkheads are suitable) and habitable attics (even when unfinished) (IRC Section R310.1) (5.7 S.F. minimum based on NFPA 101).
- Stair details showing tread depth, riser height, handrail and guard rail details ... (may sign a “stair handout” to indicate compliance).
- Location of hard wired smoke and CO detectors (IRC Sections 314 & 315)
- Door and window schedule.
- Completed NH Energy Compliance Application.

Note: IRC references are applicable to one and two family dwellings and townhouses..

- ~~Need an approved driveway permit.~~
- ~~Need an approved construction entrance.~~
- ~~Pave in 16' (Inspection by Highway Department prior to C/O)~~
- ~~Impact fee assessment - \$4,281 (paid prior to C/O).~~
- Provide approved NH-DES septic design. In progress
- Provide NH-DES shoreland permit (when applicable).
- Plot plan complies with front, side and rear setback, shoreland setback and wetland buffer requirements.
- Permit application is complete.

**New Hampshire Residential Energy Code Application**  
**for Certification of Compliance for New Construction, Additions and/or Renovations of**  
**Detached One- and Two-family dwellings and multi-family dwellings (townhouses) not over 3 stories**  
**EC-1 Form**

Minimum Provisions from 2015 IRC Chapter 11

Effective Date: September 15, 2019

<b>Owner/Owner Builder:</b> Company Name: (if applicable)			<b>General Contractor:</b> Company Name:		
Name: Edward Friedman			Name: Edward Friedman		
Mail Address: 21 Spencer Street Unit 412			Mail Address: 21 Spencer Street Unit 412		
Town/City: Lebanon	State: NH	Zip: 03766	Town/City: Lebanon	State: NH	Zip: 03766
Phone: 603-504-5730	Cell:		Phone: 603-504-5730	Cell:	
E-Mail: edfriedman.62@gmail.com			E-Mail: edfriedman.62@gmail.com		
<b>Location of Proposed Structure:</b>			<b>Type of Construction:</b>		
Tax Map #: 000110		Lot #: 000006	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Small Commercial <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition <input type="checkbox"/> Thermally Isolated Sunroom <input type="checkbox"/> Modular Home: the site contractor must submit this form detailing supplementary rooms and Floor and/or Basement insulation unless the floor insulation is installed or provided by the manufacturer and no heated space is added.		
Street: Eagle Drive					
Town/City: Barrington	County: Strafford				
<b>Zone 5</b> <input checked="" type="checkbox"/> Cheshire, Hillsborough, Rockingham Strafford <b>Zone 6</b> <input type="checkbox"/> All other NH counties and town of Durham			<b>Total New Conditioned* Floor Area:</b>		
			786 ft <sup>2</sup>		
			<b>Basement or Crawl Space type:</b> (*a conditioned space is one being heated/cooled, containing uninsulated ducts or w/ a fixed opening into conditioned space. Walls must be insulated) <b>Conditioned?</b> <input checked="" type="checkbox"/> Yes (Walls must be insulated) <input type="checkbox"/> No <input type="checkbox"/> Full Basement <input checked="" type="checkbox"/> Walk Out Basement <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Other _____		
<b>Structure is EXEMPT because:</b> <input type="checkbox"/> Mobile Home <input type="checkbox"/> On an historic register			<b>Form Submitted by:</b> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Builder <input type="checkbox"/> Other _____		

I hereby certify that all the information contained in this application is true and correct, and construction shall comply in all respects with the terms and specifications of the approval given by the local municipal code official or New Hampshire Public Utilities Commission.

Signature Ed Friedman    Print Name Edward Friedman    Date 1-12-22

<b>Official Use Only</b>	
Date Complete Application Received:	Approved by: _____ Date: _____
Approval Number:	Stamp:



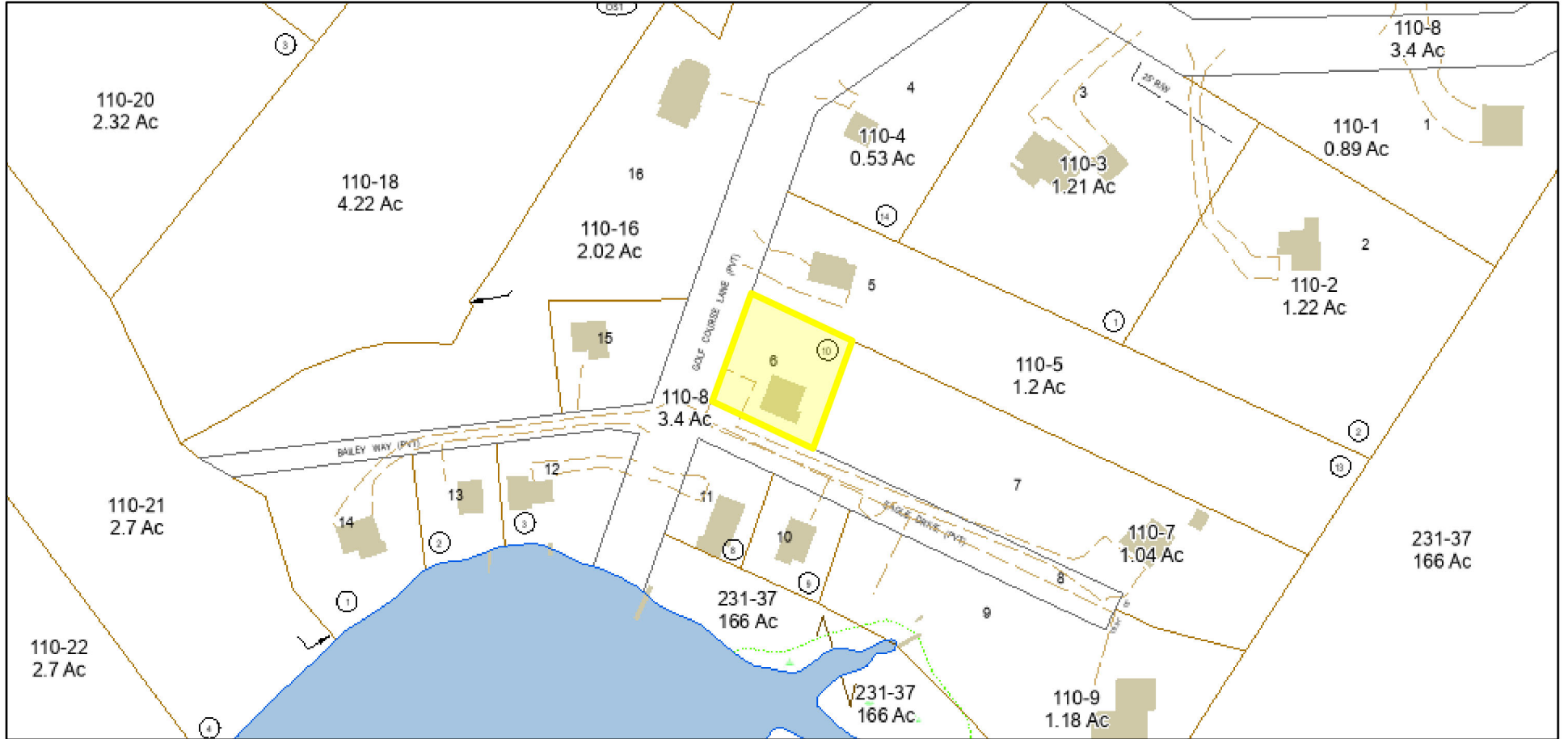
Barrington, NH

1 inch = 137 Feet



January 21, 2022

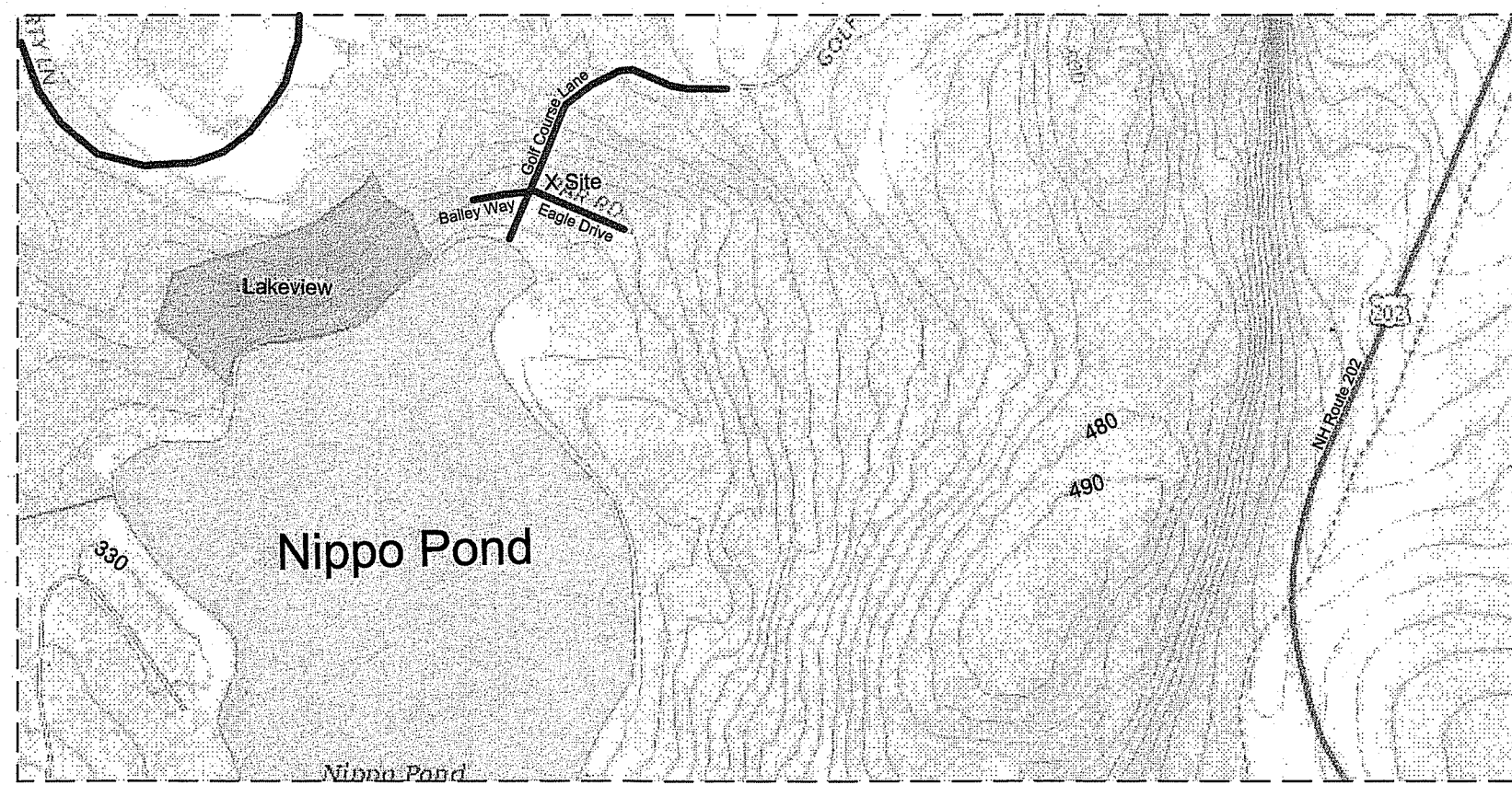
www.cai-tech.com



	Water-poly		tanno_poly		Hooks		Wetland		Water
	Wet Areas		Parcel Text		Property Tics		Private Road		
	Buildings		Driveway		RW		Property Line		

The property data available on this site is updated periodically. The Town of Barrington makes no warranties with regard to its accuracy or completeness and assumes no liability associated with the use of this data.

Edward & Shelley Friedman  
 15 Eagle Drive Barrington, NH 03825  
 Shoreland Permit  
 Sheet 1 of 1

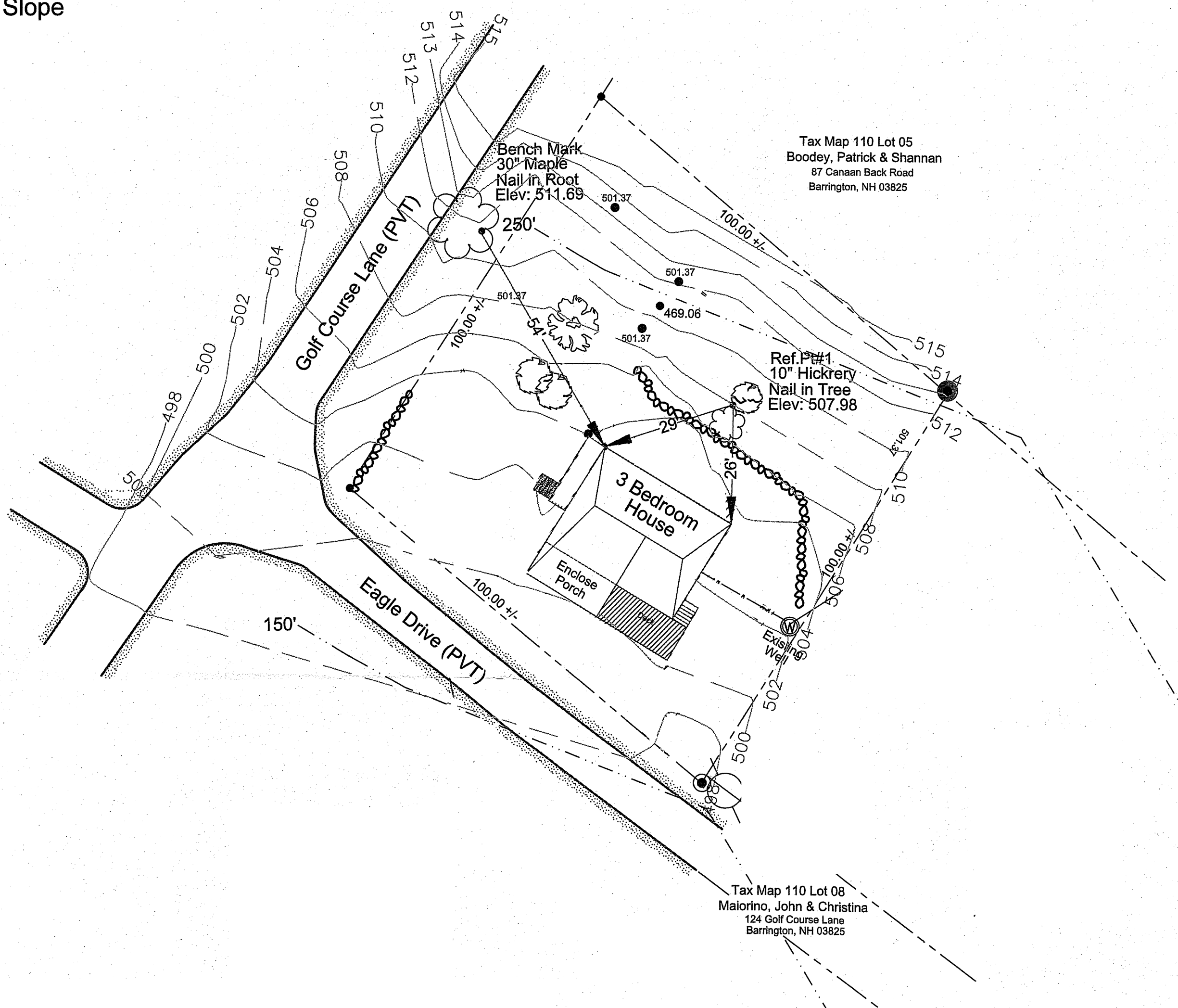


Nippo Pond NHDES HWMark = 330  
 Riverside = 500.0

15 Eagle Drive Barrington, NH 03825  
**LOCUS**  
 (Not to Scale)

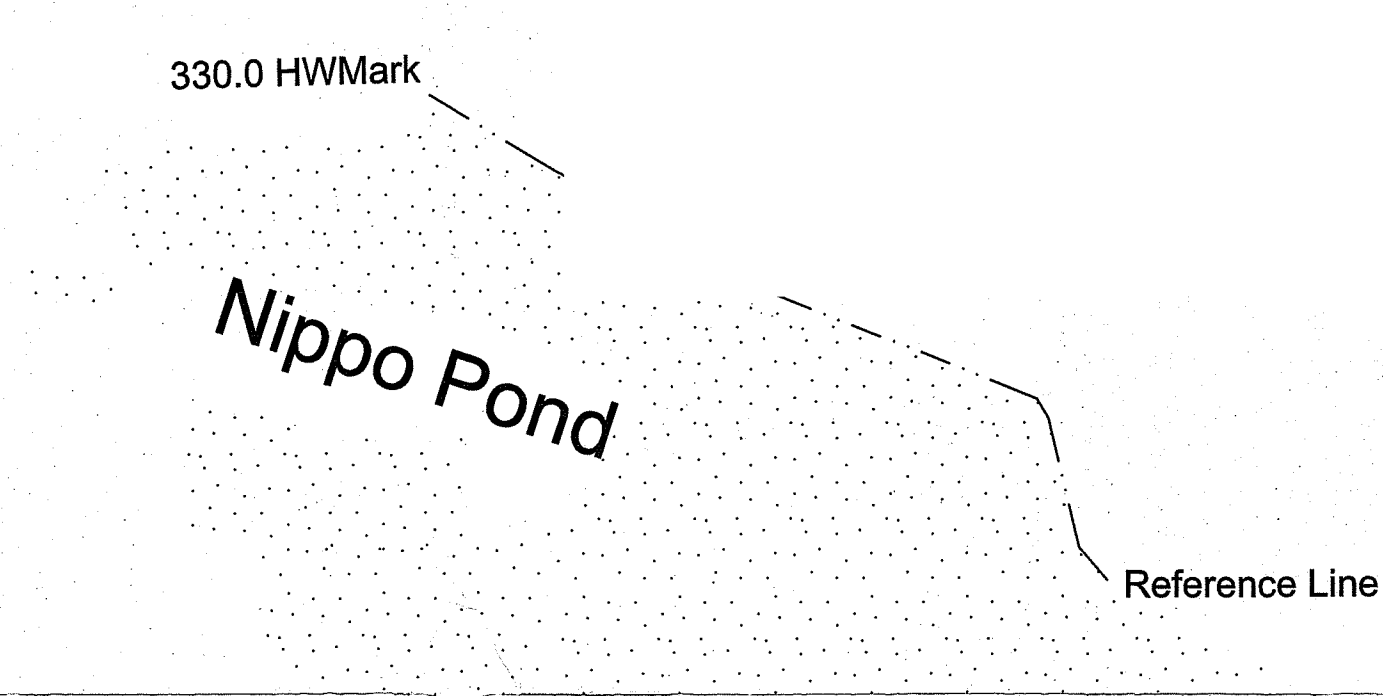
**FEMA FLOOD MAP:**  
 Map Number 33017C0280D  
 Effective Date: May 17, 2005  
 Zone: X

**SOIL REFERENCE:**  
**SULLIVAN COUNTY SOIL SURVEY**  
 1. PdC/ Paxton Fine Sandy Loam Very Stony  
 Slope: 8 to 15% Slope



**Legend:**

- Station Points
- Existing Elevation Points
- Tree & Bush Line
- Property Markers IR / IP / GB
- Shoreline / Wetland
- Trees
  - Fruit
  - Poplar
  - Oak
  - Hemlock
  - Maple
  - Spruce
  - Pine
  - Birch
  - Stump
  - Bushes
- Setback Line
- Property Line
- Utility Pole
- Stone Wall
- Boulders
- Wire Fence
- Lamp Post
- Plants

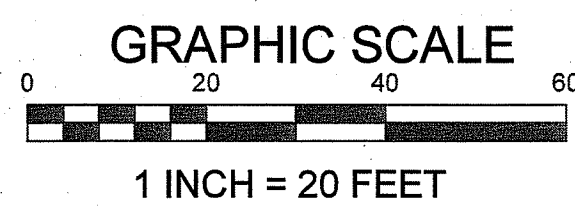


**Existing & Proposed  
 Site Plan**  
 15 Eagle Drive  
 Barrington, NH 03825

Date: 10/14/2021  
 Owner: Edward & Shelly Friedman  
 76 Ledgewood Road Claremont, NH 03743  
 Tax Map: 110 Lot: 06  
 Book: 4693 Page: 824

**PLAN NOTES:**

1. The purpose of this plan is to install a full foundation, approximately 1142sq.ft., under existing Structure. There will be no increase in the present footprint. Digging a five foot wide ditch to access the structure bottom.
2. There will be an approximat 800sq.ft. of disturbed area.
3. There will be NO impact to the Shoreline Area as a result of the proposed project.
4. There will be NO Trees cut between the Reference Line and the 150' Setback.
5. This Plan is NOT a Survey. Total Station, Field Note, Town Records, Deeds, and Registered Plans have been used to compile this Topographic Site Plan.



**Riverside** Ecological Design LLC  
 Wetland Permitting Septic Systems Land Planning  
 P.O. Box 487 10 Dodge Hill Road  
 South Sutton, NH 03273  
 Tel: (603) 927-6030 Fax: (603) 927-6049  
 Email: Riverside333@tds.net

**NEW HAMPSHIRE**  
 Designer  
 of  
 Subsurface Disposal  
 Systems  
 \*\*\*  
 Roger Roderwald  
 No. 1517  
 Supply & Pollution Control



# 100 foot Abutters List Report

Barrington, NH  
January 21, 2022

## Subject Property:

Parcel Number:	110-0006	Mailing Address:	FRIEDMAN EDWARD JOHN & SHELLEY
CAMA Number:	110-0006		15 EAGLE DR
Property Address:	15 EAGLE DR		BARRINGTON, NH 03825

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## Abutters:

Parcel Number:	110-0003	Mailing Address:	PIJANOWSKI EDWARD & THERESA
CAMA Number:	110-0003		14 HARVEST ST.
Property Address:	149 GOLF COURSE LN		DORCHESTER, MA 02125
Parcel Number:	110-0004	Mailing Address:	MAIORINO JOHN F & CHRISTINA L
CAMA Number:	110-0004		124 GOLF COURSE LN
Property Address:	181 GOLF COURSE LN		BARRINGTON, NH 03825
Parcel Number:	110-0005	Mailing Address:	BOODEY PATRICK WEBSTER DOUGLAS
CAMA Number:	110-0005		SHANNAN N.
Property Address:	197 GOLF COURSE LN		87 CANAAN BACK RD BARRINGTON, NH 03825
Parcel Number:	110-0007	Mailing Address:	ADAMS MEGHAN F BLOUIN JAMES W
CAMA Number:	110-0007		206 EAGLE DR
Property Address:	190 EAGLE DR		BARRINGTON, NH 03825
Parcel Number:	110-0008	Mailing Address:	MAIORINO JOHN F & CHRISTINA
CAMA Number:	110-0008		124 GOLF COURSE LN
Property Address:	EAGLE DR		BARRINGTON, NH 03825
Parcel Number:	110-0009	Mailing Address:	ADAMS GLENN & DENISE
CAMA Number:	110-0009		206 EAGLE DR
Property Address:	206 EAGLE DR		BARRINGTON, NH 03825
Parcel Number:	110-0010	Mailing Address:	BILODEAU RYAN & AMANDA L
CAMA Number:	110-0010		BILODEAU REV TRUST
Property Address:	60 EAGLE DR		63 NORTH ROCHESTER RD LEBANON, ME 04057
Parcel Number:	110-0011	Mailing Address:	PALMER FRANKLIN TODD SUSAN
CAMA Number:	110-0011		219 GOLF COURSE LN
Property Address:	219 GOLF COURSE LN		BARRINGTON, NH 03825
Parcel Number:	110-0012	Mailing Address:	JODOIN PHILIP
CAMA Number:	110-0012		PO BOX 263
Property Address:	220 GOLF COURSE LN		BARRINGTON, NH 03825
Parcel Number:	110-0015	Mailing Address:	JODOIN NEIL PAUL
CAMA Number:	110-0015		PO BOX 263
Property Address:	10 BAILEY WAY		BARRINGTON, NH 03825



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# 100 foot Abutters List Report

Barrington, NH  
January 21, 2022

Parcel Number: 110-0016  
CAMA Number: 110-0016  
Property Address: 184 GOLF COURSE LN

Mailing Address: MOWERS CARLA A DENKER WILLIAM R  
184 GOLF COURSE LN  
BARRINGTON, NH 03825

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[www.cai-tech.com](http://www.cai-tech.com)

1/21/2022

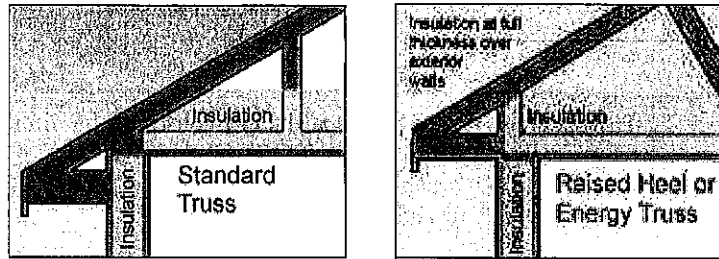
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## Footnotes to Residential Energy Code Application for Certification of Compliance

<sup>i</sup> Ceilings with attic spaces: R-38 in Zone 5 or 6 will be deemed to satisfy the requirement for R-49 wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves or the full R-value is maintained. This is often accomplished by using a raised heel or energy truss as shown in the diagram below or by using higher R-value insulation over the plates.

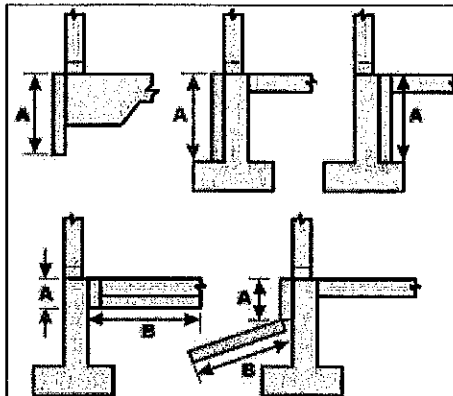


<sup>ii</sup> R-13 + R-5 means R-13 cavity insulation plus R-5 continuous insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, R-5 sheathing is not required where the structural sheathing is placed. If structural sheathing covers more than 25 percent of exterior, the structural sheathing must be supplemented with insulated sheathing of at least R-2.

<sup>iii</sup> Slab edge insulation must start at the top of the slab edge and extend a total of two (Zone 5) or four feet (Zone 6). Insulation may go straight down, out at an angle away from the building, or along the slab edge and then under the slab. A slab is a concrete floor within 1' of grade level. See diagram below.

The top edge of insulation installed between the exterior wall and the interior slab may be mitered at a 45 degree angle away from the exterior wall.

### Allowable Slab Insulation Configurations



A or A+ B must equal two feet in Zone 5 or four feet in Zone 6

MODULAR HOMES must be certified by the NH Department of Safety. Unless the floor insulation is provided by the manufacturer this form may be submitted. This form may also be submitted if the basement is to be insulated or supplementary heated space is added to the home upon or after it is set.

<p align="center"><b>Duct Insulation</b> Code Section N1103.3.1</p>	<p><b>Supply and return</b> ducts in attics must be insulated to at least R-8 where 3 in. diameter or greater. All other ducts must be insulated to at least R-6. Exception: Ducts or portions thereof located completely inside the building thermal envelope.</p>
<p align="center"><b>Duct Construction</b> Code Sections N1103.3.2 and N1103.3.5</p>	<p>Ducts, air handlers and filter boxes shall be sealed. Joints and seams must comply with the <i>Int. Mech. Code</i> or Section M1601.4.1 of the <i>International Residential Code</i>. Building framing cavities <b>shall not</b> be used as ducts or plenums (neither supply nor return).</p>
<p align="center"><b>Duct Testing</b> Code Sections 1103.3.3</p>	<p>Ducts shall be pressure tested to determine air leakage by either 1) rough-in test or 2) post-construction test. See Code for requirement details.</p> <p>Test conducted by: _____</p> <p>Duct test result at 25 Pa: _____ Post construction or _____ Rough-in test</p>
<p align="center"><b>Temperature Controls</b> Code Section N1103.1&amp;1.1</p>	<p>At least one thermostat must be provided for each separate heating and cooling system. The thermostat controlling the primary system must be equipped with a programmable thermostat.</p> <p>Heat pumps having supplementary electric-resistance heat must have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load</p>
<p align="center"><b>Mechanical System Piping Insulation</b> Code Section 1103.4</p>	<p>Mechanical system piping capable of conveying fluids at temperatures above 105°F or below 55°F must be insulated to R-3.</p>
<p align="center"><b>Circulating Hot Water Systems</b> Code Section N1103.5</p>	<p>Circulating service water systems must include an automatic or readily accessible manual switch that can turn off the hot water circulating pump when the system is not in use.</p> <p>Circulating domestic hot water system piping shall be insulated to R-4.</p>
<p align="center"><b>Mechanical Ventilation</b> Code Section N1103.6</p>	<p>Outdoor air intakes and exhausts must have automatic or gravity dampers that close when the ventilation system is not operating.</p>
<p align="center"><b>Equipment Sizing</b> Code Section N1103.7</p>	<p>Heating and cooling equipment shall be sized in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. Equipment shall have an efficiency rating equal to or greater than applicable federal standards.</p>
<p align="center"><b>Certificate</b> Code Section N1101.14</p>	<p>A permanent certificate, completed by the builder or registered design professional, must be posted on or in the electrical distribution panel. It must list the R-values of insulation installed in or on the ceiling, walls, foundation, and ducts outside the conditioned spaces; U-factors and SHGC for fenestration. The certificate must also list the type and efficiency of heating, cooling and service water heating equipment.</p>
<p align="center"><b>Existing Buildings and Structures</b>  See Appendix J of IRC</p>	<p>The purpose of these provisions is to encourage continued use of existing buildings and structures. Work in existing buildings shall be classified into categories of repair, renovation, alteration and reconstruction. Consult this Appendix for specific requirements related to work in existing buildings.</p>

## John Huckins

---

**From:** John Huckins  
**Sent:** Tuesday, January 18, 2022 11:59 AM  
**To:** Ed Friedman  
**Subject:** RE: 15 Eagle Drive

The header sizes do not meet code (you can build the header into the box if headroom is the issue)  
The Selectboard has to approve the building permit because of it being on a private road.

### John Huckins CBO, MCP

Building Inspector  
Zoning Administrator  
PO Box 660  
333 Calef Hwy  
Barrington NH 03825  
603-664-0330

---

**From:** Ed Friedman <edfriedman.62@gmail.com>  
**Sent:** Monday, January 17, 2022 1:41 PM  
**To:** Building Department and Code Enforcement Office <building@barrington.nh.gov>  
**Subject:** 15 Eagle Drive

**Caution:** External (edfriedman.62@gmail.com)

First-Time Sender [Details](#)

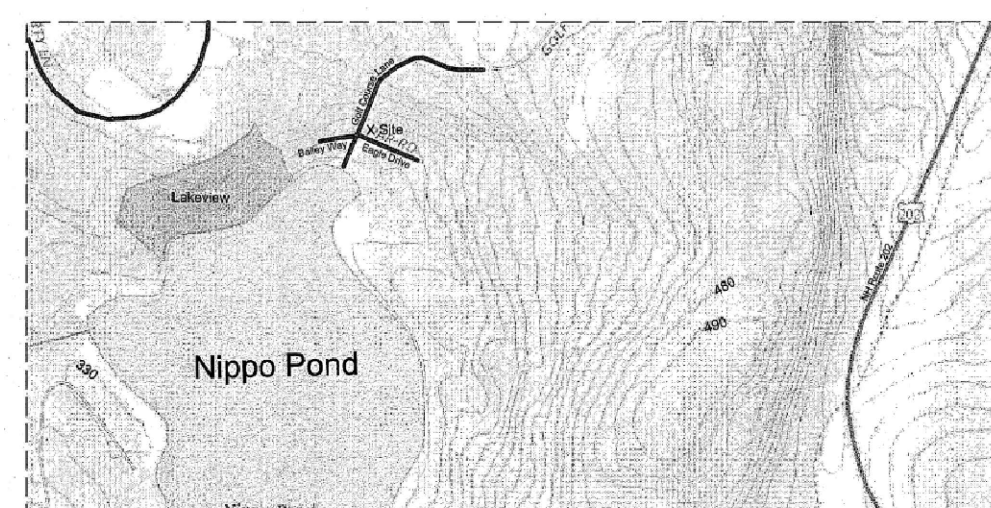
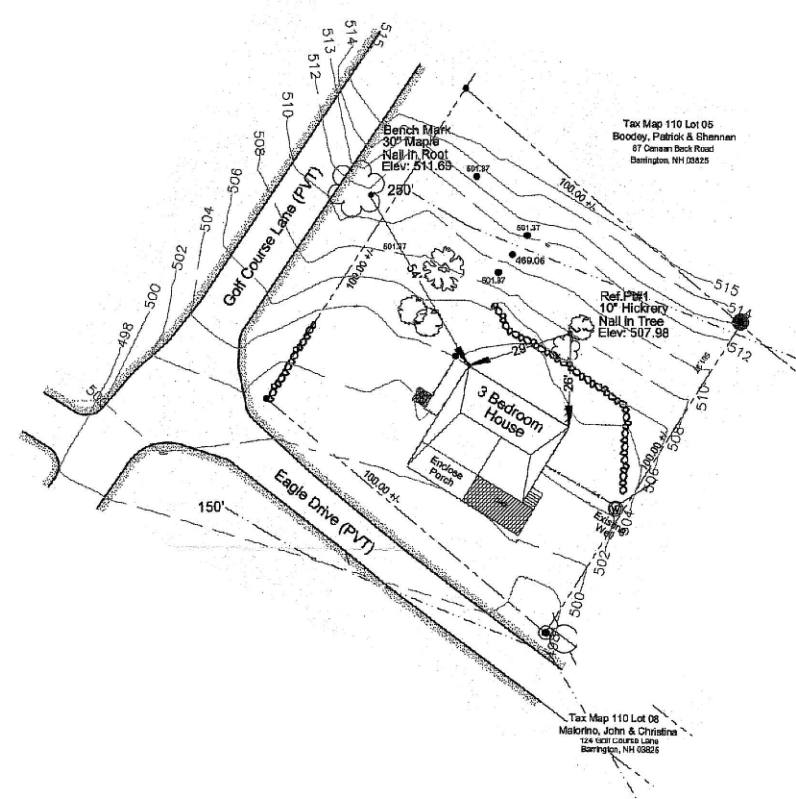
[Report This Email](#) [FAQ](#) [Skout Email Protection](#)

**[EXTERNAL]**

Good afternoon,  
I'd like to submit the attached permit application. We have a septic design in the works. Please let me know what I'm missing.

# ***15 EAGLE DRIVE FRIEDMAN RESIDENCE BARRINGTON, NEW HAMPSHIRE***

# ***NEW FOUNDATION PROJECT***



15 Eagle Drive Barrington, NH 03825

**LOCUS**

(Not to Scale)

## INDEX OF SHEET

SHEET NAME	SHEET NO.
TITLE SHEET	--
PARTIAL SITE PLAN	PSP
EXISTING CONDITIONS	EC1.0
FLOOR PLANS	A1.0
ELEVATIONS	A2.0
REFLECTED CEILING PLANS	A3.0
DOOR & WINDOW SCHEDULES	A6.0
STRUCTURAL PLANS	S1.0
STRUCTURAL DETAILS & NOTES	S1.1
SHORELAND PERMIT	PERMIT







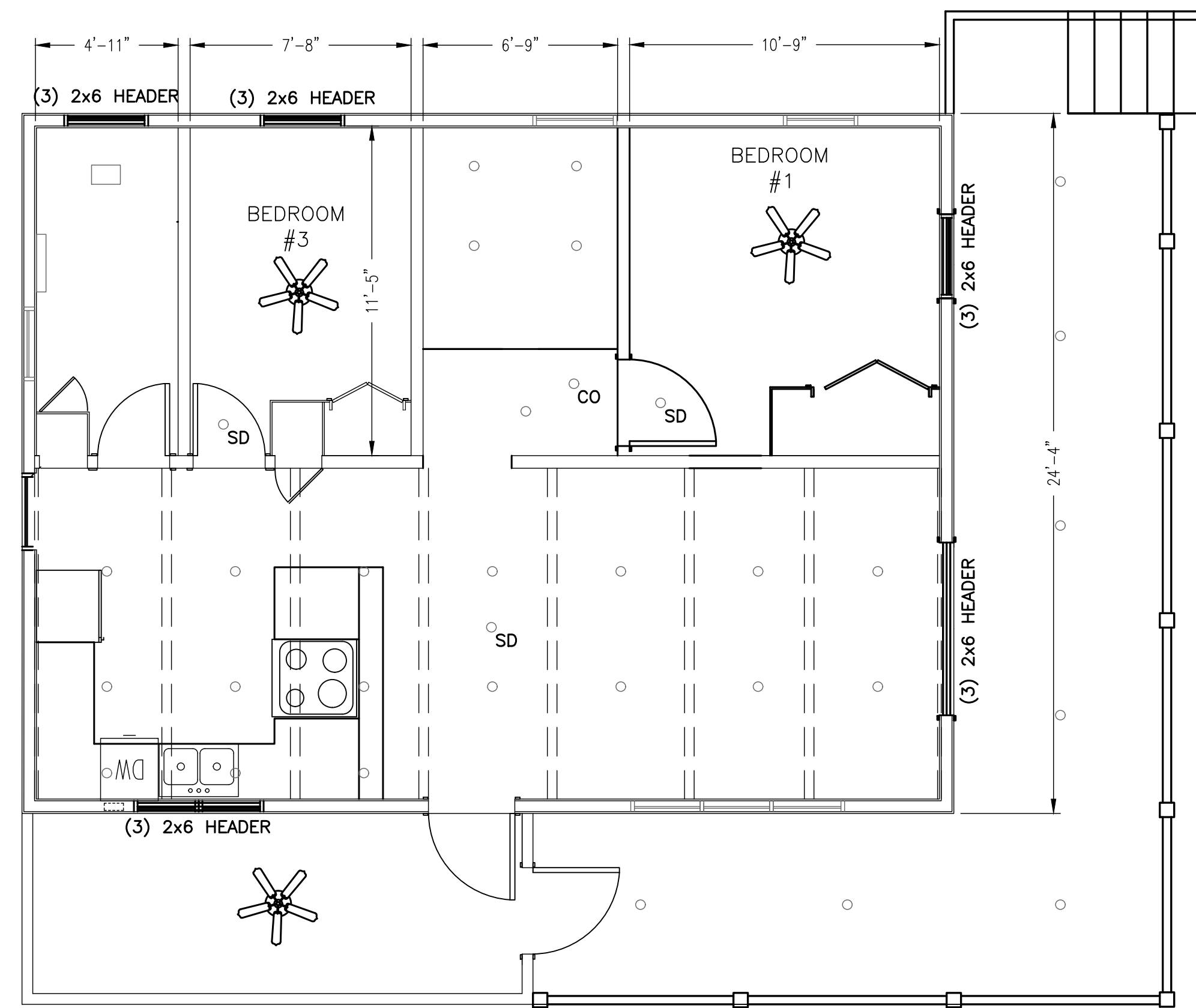




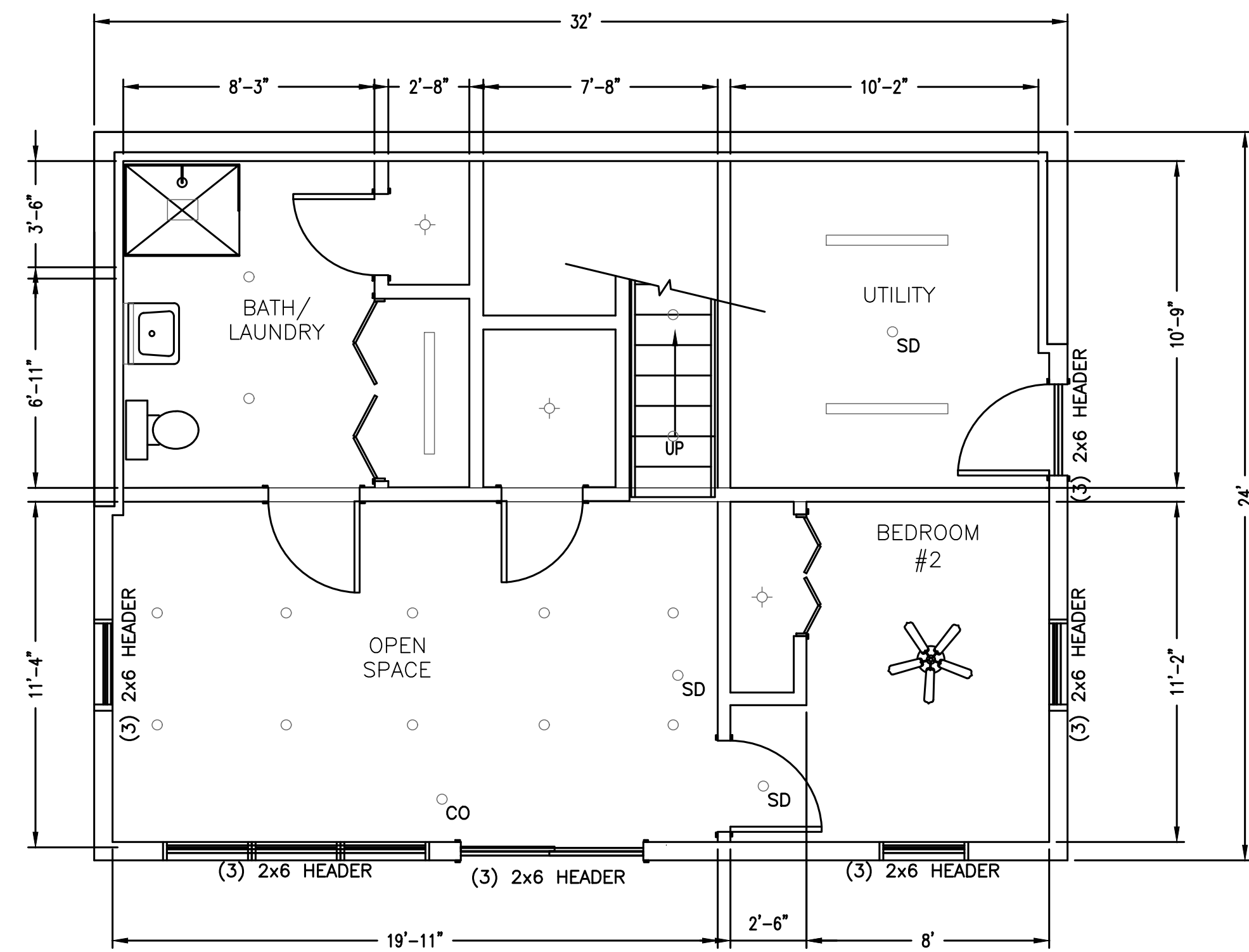
COMPANY DATE LOG. BY  
DRAWING SIGN OFF LOG

FOR REVISION  
DESCRIPTION OF REVISION BY DATE REV. #  
REVISION LOG

LEGEND



FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



GROUND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

LEGEND	
	4' T8 LED
	CEILING FAN
	PORCELAIN FIXTURE
	LED CAN LIGHT
	VANITY WALL LIGHT
	COMBO VENT LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

EDWARD & SHELLEY  
FRIEDMAN  
BARRINGTON NH  
NEW FOUNDATION  
PROJECT  
REFLECTED  
CEILING PLANS

DATE BY  
10/27/2021 EJF  
SCALE BY  
1/4" = 1'-0" EJF

A3.0

Sheet of





CONCRETE NOTES

- 1. ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SITE, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND THE SPECIFICATIONS.
- 2. ALL CONCRETE WORK SHALL COMPLY WITH THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE LOCAL BUILDING CODES.
- 3. UNLESS NOTED OTHERWISE ALL CONCRETE FOOTINGS, WALLS AND INTERIOR SLABS SHALL BE NORMAL WEIGHT HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AND ALL EXTERIOR SLABS, RAMPS & STAIRS SHALL BE 4,000 psi, BOTH WITH THE FOLLOWING REQUIREMENTS:

PORTLAND CEMENT - ASTM C150, TYPE II. SUPPLEMENTAL CEMENTITIOUS MATERIALS (SLAG AND FLY ASH) ARE PERMITTED WITH APPROVED CONCRETE MIX DESIGN.

AGGREGATE - ASTM C33, 1" MAXIMUM SIZE FOR SLABS AND WALLS AND 1 1/2" MAXIMUM SIZE FOR FOOTINGS.

WATER - POTABLE

SLUMP - 2" TO 4"

ADMIXTURES - USE AIR ENTRAINING AGENT CONFORMING TO ASTM C260 WITH 4-6% TOTAL AIR FOR EXTERIOR CONCRETE. USE WATER REDUCING AGENT CONFORMING TO ASTM C494 IN ALL CONCRETE. CALCIUM CHLORIDE MAY NOT BE USED TO ACCELERATE THE SETTING TIME.

DESIGN MIX - SUBMIT A CURRENT DESIGN MIX, WITH 28 DAY COMPRESSIVE STRENGTH TEST, TO THE GENERAL CONTRACTOR/OWNER FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

4. ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 60 EXCEPT STIRRUPS AND TIES TO BE GRADE 40. WELDED WIRE FABRIC TO CONFORM TO ASTM A185.

5. LAP ALL BARS 30 DIAMETERS MINIMUM AT SPLICES UNLESS INDICATED OTHERWISE ON THE DRAWINGS. WELDED WIRE FABRIC TO BE LAPPED ONE FULL MESH AT SIDES AND ENDS.

6. REINFORCEMENT SHALL BE SECURELY TIED IN ITS PROPER PLACE BEFORE AND DURING POURING OPERATIONS USING APPROVED CHAIRS AND SPACERS AS REQUIRED. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD WITHOUT THE APPROVAL OF THE ENGINEER.

7. WHERE CONTINUOUS BARS ARE CALLED FOR, INDICATED OR REQUIRED THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTING WALLS AND LAPPED AT NECESSARY SPLICES WITH SPLICES STAGGERED WHEREVER POSSIBLE.

8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

CONCRETE CAST AGAINST EARTH	3"
FORMED CONCRETE EXPOSED TO EARTH OR WEATHER	#5 AND SMALLER 1 1/2"
#6 AND LARGER	2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER	
SLABS, WALLS & JOISTS	3/4"
BEAMS & COLUMNS	1 1/2"

9. THE CONCRETE CONTRACTOR SHALL INSTALL (OR GIVE OTHER TRADES AMPLE OPPORTUNITY TO INSTALL) ALL ANCHORS, BOLTS, PLATES, NAILERS, SLOTS, CHASES, PIPE SLEEVES, ETC., AS REQUIRED BY OTHER TRADES.

10. FOOTINGS SHALL BE CONSTRUCTED ON A PREPARED FOUNDATION BASE AS SPECIFIED IN THE CIVIL/SITE PLANS AND/OR GEOTECHNICAL REPORT, BOTH BY WILLIS CONSULTING ENGINEERS, INC. THE DESIGN BEARING PRESSURE IS 3,000 PSF. ELEVATIONS OF BOTTOM OF FOOTINGS ARE SHOWN ON PLANS, BUT ARE SUBJECT TO REVISION WHEN TRUE SOIL CONDITIONS ARE EXPOSED BY EXCAVATION. THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF ANY WEAK STRATA, WATER CONDITIONS OR OTHER POOR BEARING CONDITIONS.

11. UNLESS OTHERWISE NOTED, ALL FOOTINGS AND PIERS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.

12. PROPER VIBRATION OF THE CONCRETE IS IMPORTANT IN THE PLACEMENT OF ALL CONCRETE; THE CONCRETE CONTRACTOR SHALL MAKE PROVISIONS FOR BACK-UP VIBRATION EQUIPMENT.

13. CONCRETE TEMPERATURE DURING THE FIRST SEVEN DAYS SHALL BE MAINTAINED BETWEEN 50 DEGREES FAHRENHEIT AND 90 DEGREES FAHRENHEIT. RAPID DRYING MUST BE PREVENTED. ALL COLD WEATHER CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 306.

14. CURING

A) SLABS SHALL BE KEPT CONTINUOUSLY MOIST FOR A MINIMUM OF SEVEN DAYS, WITH WATER AND AN APPROVED SOAKING AGENT (BURLAP, PVC, ETC.).

B) WALLS SHALL RECEIVE 2 COATS (ONE AT A TIME OF STRIPPING AND ANOTHER 3 DAYS LATER) OF AN APPROVED NON-TOXIC CURING COMPOUND.

PRIOR TO USE OF ANY CURING COMPOUND, VERIFY COMPATIBILITY OF COMPOUND WITH ADHESIVES THAT WILL BE USED FOR WATERPROOFING SYSTEM, INSULATION, FLOOR TILES, WALL FINISHES AND OTHER ITEMS TO BE APPLIED LATER.

15. ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED TO WITHSTAND EARTH AND CONSTRUCTION LOAD PRESSURES. WALLS MUST BE AT LEAST SEVEN DAYS OLD BEFORE BACKFILLING.

16. BACKFILLING AGAINST FOUNDATION WALLS SHALL BE DONE BY PLACING SIMULTANEOUS LEVEL LAYERS ON BOTH SIDES OF THE WALL SUCH THAT THE DIFFERENCE BETWEEN ONE SIDE AND THE OTHER DOES NOT EXCEED 24 INCHES.

17. THE OWNER MAY EMPLOY A QUALIFIED ENGINEERING TESTING FIRM TO PERFORM STANDARD FIELD TESTING OF THE CONCRETE.

GRANULAR FILL NOTES

1. PRIOR TO PLACING GRANULAR FILL ALL ORGANIC MATERIAL, TOPSOIL, DEBRIS AND ANY OTHER DELETERIOUS MATERIAL SHALL BE REMOVED.

2. GRANULAR FILL SHALL BE AN APPROVED, WELL GRADED BANK RUN, SCREENED OR CRUSHED GRAVEL MEETING THE FOLLOWING REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
2"	100
No. 4	40-70
No. 10	5-20
No. 200	2-5

3. THE MATERIAL SHALL BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557, MODIFIED PROCTOR.

STRUCTURAL STEEL NOTES

1. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SITE, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND THE SPECIFICATIONS.

2. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS OF THE A.I.S.C. AND TO THE REQUIREMENTS OF THE LOCAL BUILDING CODES.

3. ALL WELDING SHALL CONFORM TO THE CODE FOR WELDING IN BUILDING CONSTRUCTION OF THE AMERICAN WELDING SOCIETY.

4. STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING:

- W SHAPES - A992, GRADE 50
- PIPE COLUMN - ASTM A53, TYPE E OR S, GRADE B, (Fy=35ksi)
- OTHER SHAPES, BARS & PLATES - ASTM A36
- BOLTS - ASTM A307 FOR ANCHOR BOLTS
- ASTM A325 FOR ERECTION BOLTS
- WELDING ELECTRODE SHALL BE E70XX

5. BOLTS SHALL BE 3/4" DIAMETER (UNLESS NOTED OTHERWISE) WITH OPEN HOLES 1/16" LARGER EXCEPT FOR COLUMN BASE AND GROUT PLATES WHICH ARE 3/16" LARGER.

6. ALL STRUCTURAL STEEL SHALL BE SHOP PAINTED (MINIMUM 2 MILS DRY FILM THICKNESS) WITH AN APPROVED RUST INHIBITIVE PRIME PAINT. STEEL SHALL BE THOROUGHLY CLEANED (SSPC-3, POWER TOOL CLEANING) PRIOR TO PAINTING. FIELD TOUCH UP WITH THE SAME PAINT WILL BE REQUIRED FOR ALL FIELD CUTS AND WELDS.

7. THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE ALL NECESSARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STEEL FRAME PLUMB AND SQUARE.

WOOD CONSTRUCTION NOTES

- 1. ALL WOOD CONSTRUCTION WORK SHALL COMPLY WITH THE FOLLOWING CODES AND REGULATIONS:
  - A. TIMBER CONSTRUCTION MANUAL BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
  - B. 2005 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AND ITS SUPPLEMENT BY THE NATIONAL FOREST PRODUCTS ASSOCIATIONS.
  - C. AMERICAN SOFTWOOD LUMBER STANDARD BY THE NATIONAL BUREAU OF STANDARDS, VOLUNTARY PRODUCT STANDARD PS 20-10
  - D. PLYWOOD DESIGN SPECIFICATION BY THE AMERICAN PLYWOOD ASSOCIATION.
- 2. LUMBER FOR MISCELLANEOUS WOOD FRAMING AND BLOCKING SHALL BE SPRUCE-PINE-FIR, NO. 2 OR BETTER GRADE WITH A MINIMUM BENDING STRESS OF 1000 PSI.
- 3. ALL LUMBER SHALL BE STRAIGHT AND NEW, IN SOUND CONDITION, KILN DRIED WITH A MAXIMUM MOISTURE CONTENT OF 19%. ALL DIMENSION LUMBER SHALL BEAR THE GRADE AND MARK OF THE ASSOCIATION UNDER WHOSE RULES IT IS PRODUCED AND A MARK OF MILL IDENTIFICATION.
- 4. ENGINEERED LUMBER SHALL BE OF THE SIZES & TYPES INDICATED ON THE DRAWINGS AS MANUFACTURED BY LEVEL/Weyerhaeuser.
- 5. TAKE PRECAUTIONS TO KEEP PLYWOOD, WOOD DECKING AND STRUCTURAL MEMBERS DRY DURING CONSTRUCTION.
- 6. ALL SHEATHING SHALL BE STRUCTURAL I GRADE ADVANTECH OR CD-X PLYWOOD. SEE PLANS AND DETAILS FOR STANDARD SHEATHING AND SUB-FLOOR THICKNESS REQUIREMENTS. SUB-FLOOR SHALL BE 3/4" T&G, GLUED WITH PL-400 (OR EQUAL) AND NAILED WITH 10ds AT 6" o.c. EDGE, AND 12" o.c. FIELD. WALL SHEATHING SHALL BE 1/2" AND ROOF SHEATHING SHALL BE 5/8", BOTH NAILED WITH 8ds AT 6" o.c. EDGE, AND 12" o.c. FIELD.
- 7. ALL WOOD FRAMING CONSTRUCTION SHALL BE ERECTED TRUE TO LINE AND DIMENSIONS, WELL FASTED AND PROPERLY BRACED.
- 8. ALL BUILT-UP HEADERS AND POSTS SHALL BE GLUED WITH STRUCTURAL GLUE (PL 400 OR EQUAL), AND NAILED OR SCREWED FROM BOTH SIDES WITH THE FOLLOWING NAILING PATTERN: (# 16d COMMON NAILS PER FOOT)
  - 2x6's :3
  - 2x8's :3
  - 2x10's :4
  - 2x12's :5
  - 9 1/2"-12" LVL's :2 HORIZONTAL ROWS AT 6" O.C., (UNLESS NOTED OTHERWISE)
- 9. ALL TIMBER FASTENING SHALL COMPLY WITH TABLE 2034.9.1, FASTENING SCHEDULE IN THE HE 2015 INTERNATIONAL BUILDING CODE, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 10. HOLES IN SOLID LUMBER MEMBERS SHALL NOT EXCEED 1/4 OF THE MEMBER DEPTH AND SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE MEMBER NOR WITHIN 2" OF ANY NOTCH. UNLESS OTHERWISE ON THE DRAWINGS, NOTCHES IN SOLID LUMBER SHALL NOT EXCEED 1/4 OF THE MEMBER DEPTH, AND NO NOTCHES SHALL BE IN THE MIDDLE 1/2 OF THE MEMBER SPAN.
- 11. HOLES AND NOTCHES IN MANUFACTURED LUMBER PRODUCTS SHALL ONLY BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 12. ALL HANGERS, HARDWARE, AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL (S.S.) OR HOT DIPPED GALVANIZED (H.D.G.) OR SIMPSON "ZMAX" COATING.
- 13. PROVIDE SOLID (3) 2X6 BLOCKING (END GRAIN BEARING) AT ALL FLOORS BETWEEN POSTS ABOVE & BELOW FLOOR.

METAL PLATE CONNECTED WOOD TRUSS NOTES

1. ALL WOOD TRUSSES SHALL COMPLY WITH THE FOLLOWING CODES AND REGULATIONS:

- A. TIMBER CONSTRUCTION MANUAL - AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
- B. NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS - NATIONAL FOREST PRODUCTS ASSOCIATION
- C. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES - TRUSS PLATE INSTITUTE.
- D. ANSI / TPI 1-1995

2. LUMBER FOR WOOD TRUSSES SPRUCE-PINE-FIR, NO. 2 OR BETTER WITH A MINIMUM BENDING STRESS OF 1,000 PSI, REPETITIVE MEMBER USE.

3. ALL LUMBER SHALL BE STRAIGHT AND NEW, IN SOUND CONDITION, KILN DRIED WITH A MAXIMUM MOISTURE CONTENT OF 19%. ALL DIMENSION LUMBER SHALL BEAR THE GRADE AND MARK OF THE ASSOCIATION UNDER WHOSE RULES IT IS PRODUCED, AND A MARK OF MILL IDENTIFICATION.

4. CONNECTOR PLATES SHALL BE MANUFACTURED BY A WCA MEMBER PLATE SUPPLIER AND SHALL MEET OR EXCEED ASTM A653 REQUIREMENTS FOR STRUCTURAL STEEL.

5. THE MINIMUM NOMINAL SIZE FOR WOOD MEMBERS OF TRUSSES SHALL BE 2X4.

6. ANY MEMBERS REQUIRING PERMANENT LATERAL BRACING SHALL BE TAGGED.

7. ALL TRUSSES SHALL HAVE THE SAME WEB CONFIGURATION.

8. ALL TRUSS WEBS SHALL BE DESIGNED SO THAT CONTINUOUS LATERAL BRACES ARE NOT REQUIRED.

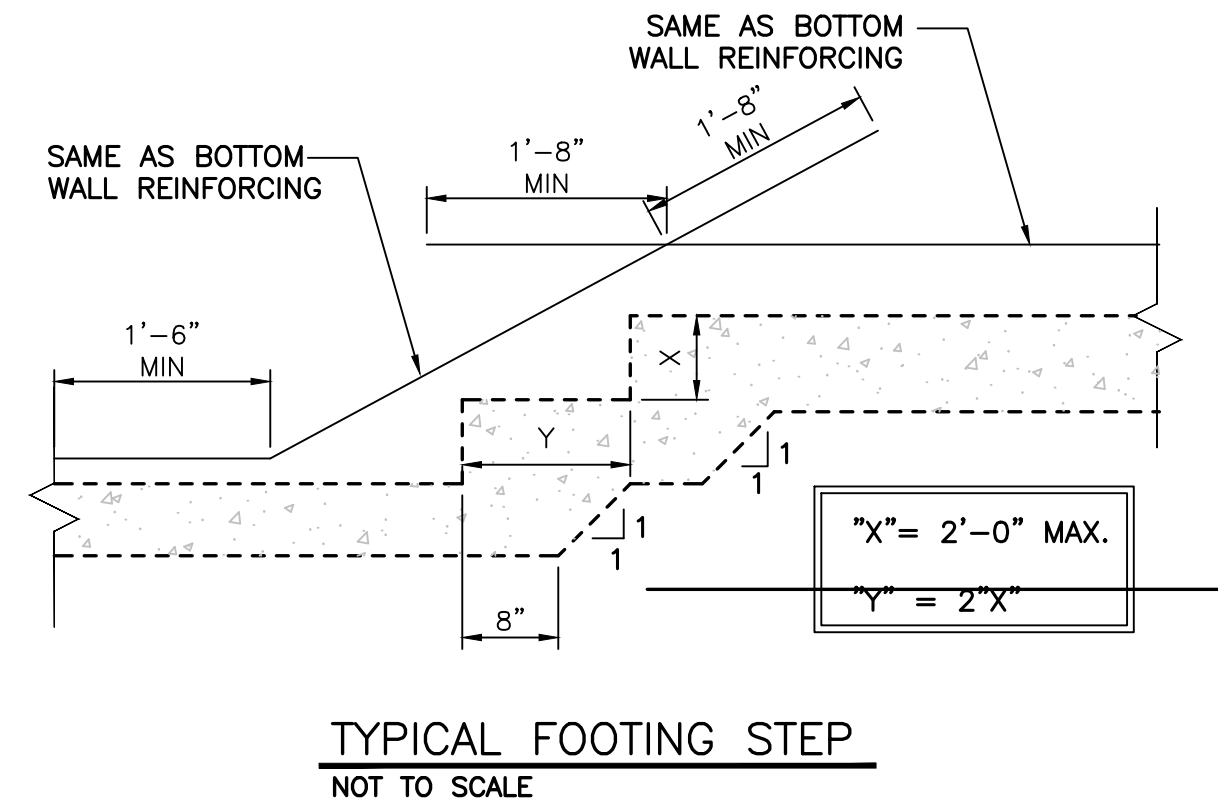
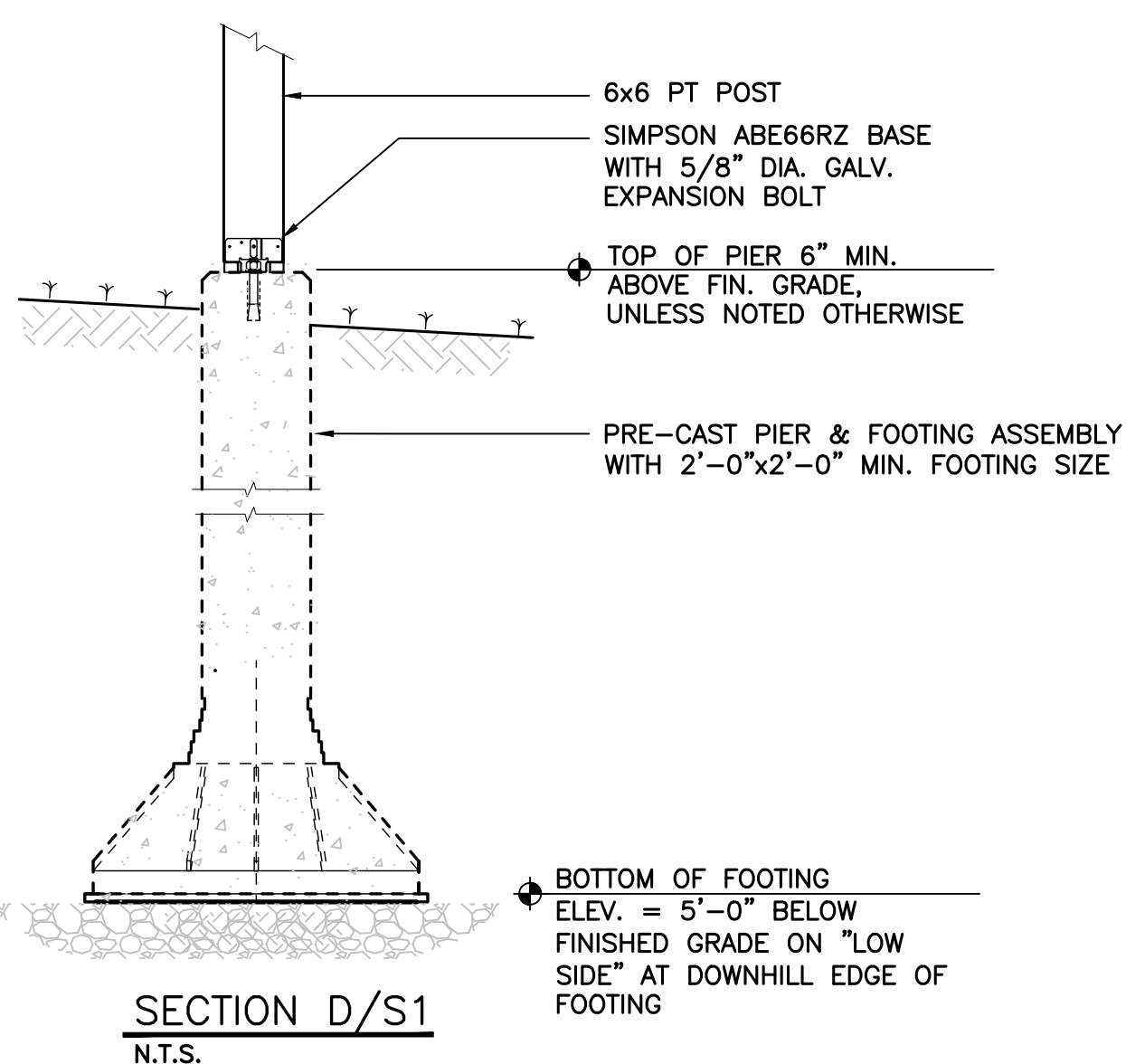
9. ALL TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE TRUSS DESIGNER.

10. SUBMIT SHOP DRAWINGS, INCLUDING TEMPORARY AND PERMANENT BRACING, TO THE OWNER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER, LICENSED TO PRACTICE STRUCTURAL ENGINEERING IN THE STATE OF NEW HAMPSHIRE.

11. ERECTION, HANDLING AND MINIMUM TEMPORARY BRACING DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 EDITION (UPDATED MARCH 2015) BUILDING COMPONENT SAFETY INFORMATION (BCSI) "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" AND IT'S ASSOCIATED JOB-SITE "SUMMARY SHEETS."

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION.

13. FIELD CUTTING AND ALTERING TRUSSES IS NOT PERMITTED.



MASONRY & CONCRETE ANCHOR NOTES

1. ALL ADHESIVE ANCHORS SHALL BE HILTI'S HY-200 SYSTEM (OR EQUIVALENT), USING HILTI'S HAS THREADED ROD AND WITH 6" EMBEDMENT.

2. ALL ADHESIVE ANCHORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, INCLUDING HOLE CLEANING AND TORQUE.

3. TESTING EQUIPMENT TO BE CALIBRATED BY AN APPROVED TESTING LABORATORY, IN ACCORDANCE WITH STANDARD RECOGNIZED PROCEDURES.

4. THE INSTALLATION OF EPOXY/ADHESIVE ANCHORS SHALL BE TESTED AS FOLLOWS:

- TEST 100% OF ALL OF THE 1/2" DIAMETER ANCHORS TO 11 FT-LB TORQUE FOR HY-70 AND 30 FT-LBS FOR HY-200.
- THE TEST TORQUE MUST BE ACHIEVED WITHIN ONE HALF (1/2) TURN OF THE NUT.
- TESTING TO OCCUR 48 HOURS MINIMUM AFTER THE INSTALLATION OF THE ANCHORS. IF ANY ANCHOR FAILS TESTING, THE FAILED ANCHOR SHALL BE REPLACED AND RETESTED

STRUCTURAL DESIGN DATA IN ACCORDANCE WITH 2015 INTERNATIONAL BUILDING CODE

2nd FLOOR LIVE LOAD = 75 PSF  
2nd FLOOR DEAD LOAD = 15 PSF

SNOW LOAD DATA:

Pg = 70 PSF BARRINGTON  
Ce = 1.0  
I = 1.0  
Ct = 1.1  
Cs = 1.0  
Pf = 46 PSF, BALANCED LOADING  
NOTE: UNBALANCED LOADING NOT REQUIRED FOR 12:12 ROOF PITCH.

ROOF DEAD LOAD = 20 PSF

WIND LOAD DATA

ULT. WIND SPEED = 115 MPH  
RISK CAT = II  
EXPOSURE = B  
COMP.'S & CLADDING ULT. WIND PRESS.

- Zone 1 = +21.3 / -23.3 psf
- Zone 2 = +22.7 / -29.7 psf
- Zone 3 = +19.8 / -19.8 psf
- Zone 4 = +21.8 / -27.8 psf
- Zone 5 = +21.8 / -27.8 psf

SEISMIC LOAD DATA:

SEISMIC DESIGN CAT. "A"  
R = 6.5  
IMPORTANCE FACTOR, I = 1.0  
SITE CLASS = B  
BASIC SEISMIC FORCE RESISTANCE SYSTEM = BEARING WALL SYSTEM WITH LIGHT FRAME WALLS WITH WOOD SHEAR PANELS  
ANALYSIS PROCEDURE = (EQUIV. LAT. FORCE)  
Cs = 0.1  
BASE SHEAR = 5.71 KIPS

EDWARD & SHELLEY  
FRIEDMAN  
BARRINGTON NH

NEW FOUNDATION PROJECT  
STRUCTURAL DETAILS & NOTES

DATE: 10/27/2021  
SCALE: 1/4" = 1'-0"

S1.1

Sheet of



The State of New Hampshire  
**Department of Environmental Services**



**Robert R. Scott, Commissioner**

October 28, 2021

EDWARD FRIEDMAN  
21 SPENCER ST  
LEBANON NH 03766

**Re: Accepted Shoreland Permit by Notification (RSA 483-B)**  
**NHDES File Number: 2021-03272**  
**Subject Property: 15 Eagle Dr, Barrington, Tax Map #110, Lot #06**

Dear Applicant:

On October 21, 2021, the New Hampshire Department of Environmental Services (NHDES) Shoreland Program received the above-referenced Shoreland Permit by Notification (SPBN). In accordance with RSA 483-B:5-b, I and Env-Wq 1406.19, on October 28, 2021, the NHDES accepted the SPBN. The enclosed SPBN form is your permit. Any individual conducting work under this permit is advised to post a copy of the enclosed SPBN form on site in a prominent location, visible to inspecting personnel, at all times during construction.

Only the impacts shown on the submitted plans and accepted by NHDES as part of the SPBN are authorized under RSA 483-B. Any and all impacts not shown on the accepted plans or permitted through another SPBN or Shoreland Permit Application will render this SPBN invalid and will be in violation of RSA 483-B.

Please note that this SPBN cannot be amended. Prior to any change to the size or location of the proposed impacts, please contact me at Peter.J.Conti@des.nh.gov or (603) 271-0872 to determine the appropriate method to obtain any additional approval under RSA 483-B:5-b as may be required. Please do not hesitate to contact me as noted above if you have additional questions.

Sincerely,

Peter J. Conti  
Shoreland/Shoreline Specialist, Shoreland Program  
Wetlands Bureau, Land Resources Management  
Water Division

Enclosure

cc: Roger Rodewald  
Sutton Municipal Clerk



Town of Barrington  
 PO Box 660  
 333 Calef Highway  
 Barrington, NH 03825  
 Phone: 603-664-9007  
 Fax: 603-664-5179

## CLASS VI/PRIVATE ROAD REQUEST FOR BUILDING PERMIT DOCUMENT CHECKLIST

*For Internal Use Only*

### THE FOLLOWING DOCUMENTS ARE REQUIRED TO BE SUBMITTED TO THE BUILDING DEPARTMENT WHEN A PERMIT IS ACCEPTED

	Original, fully executed <i>Agreement and Release Regarding Building Permit for Property Abutting a Private/Class VI Road</i>
	Copy of <i>Building Permit Application</i>
	Copy of Tax Map <ul style="list-style-type: none"> <li>• showing location of permit request</li> </ul>
	Copy of Plot Plan <ul style="list-style-type: none"> <li>• Showing:           <ul style="list-style-type: none"> <li>○ Location and size of lot</li> <li>○ Location of all proposed structures including setbacks</li> <li>○ Location and length of driveway and relationship of lot to the access road</li> </ul> </li> </ul>

### THE FOLLOWING DOCUMENTS ARE REQUIRED PRIOR TO CONSIDERATION BY THE SELECT BOARD

	Copy of Abutter's list created upon receipt by Office of the Select Board
	Public notice of Select Board hearing must be sent to Abutters at least seven days prior to hearing
	Public notice of Select Board hearing must be posted in at least two (2) public places within the town
	Copy of Comments/Recommendations for road improvements from Road Agent
	Copy of Comments/Recommendations from Fire Chief
	Copy of Comments/Recommendations from Police Chief
	Copy of Comments/Recommendations from the Planning Board's Public Hearing
	Any additional information Property Owner wishes to provide to explain their request for a Building Permit ( <b>OPTIONAL</b> )