

TABLE OF CONTENTS:

SHEET 1	~ NEIGHBORHOOD PLAN
SHEET 2	~ NOTES PLAN
SHEETS 3-5	~ BOUNDARY PLANS
SHEETS 6-12	~ EXISTING CONDITIONS PLANS
SHEETS 13-19	~ SITE SPECIFIC SOILS MAPS
SHEET 20	~ TEST PIT DATA
SHEETS 21-23	~ LOT LINE REVISION PLANS
SHEETS 24-26	~ TOPOGRAPHIC LOT LINE REVISION PLANS
SHEET 27	~ EASEMENT PLAN
SHEET 28	~ PROJECT OVERVIEW PLAN
SHEET 29	~ OVERVIEW SITE PLAN
SHEET 30	~ SITE PLAN COMMUNITY WAY
SHEET 31	~ SITE PLAN HIGH POINT DRIVE
SHEET 32	~ SITE PLAN NORTH POINT COMMONS
SHEETS 33-34	~ OVERVIEW GRADING PLANS
SHEETS 35-37	~ GRADING PLAN AND PROFILES COMMUNITY WAY
SHEETS 38-39	~ GRADING PLAN AND PROFILES HIGH POINT DRIVE
SHEETS 40-41	~ GRADING PLAN AND PROFILES NORTH POINT COMMONS
SHEET 42	~ GRADING PLAN AND PROFILE ACCESS ROAD
SHEETS 43-44	~ GRADING PLAN AND PROFILE WELL ACCESS ROAD
SHEETS 45-46	~ PIPE PROFILES
SHEETS 47-56	~ STORMWATER BMP PLANS (P-101 - P-110)
SHEETS 57-60	~ EROSION AND SEDIMENT CONTROL PLANS
SHEETS 61-62	~ LANDSCAPING PLANS
SHEET 63	~ LIGHTING PLAN
SHEETS 64-71	~ SEPTIC DESIGN PLANS
SHEETS 72-73	~ OVERVIEW UTILITY PLAN
SHEETS 74-81	~ UTILITY PLAN AND PROFILES
SHEETS 82-83	~ CROSS SECTIONS COMMUNITY WAY
SHEETS 84-85	~ CROSS SECTIONS HIGH POINT DRIVE
SHEETS 86-87	~ CROSS SECTIONS NORTH POINT COMMONS
SHEET 88	~ CROSS SECTIONS ACCESS ROAD AND DRIVEWAY
SHEET 89	~ CROSS SECTIONS WELL ACCESS ROAD
SHEETS 90-91	~ EROSION & SEDIMENT CONTROL DETAILS (E-101 - E-102)
SHEETS 92-95	~ CONSTRUCTION DETAILS (C-101 - C-104)
SHEETS 96-97	~ DRAINAGE CONSTRUCTION DETAILS (D-101 - D-102)
SHEETS 98-100	~ UTILITY CONSTRUCTION DETAILS (U-101 - U-103)
SHEET 101	~ LANDSCAPING CONSTRUCTION DETAILS (L-101)
SHEET 102	~ WILDLIFE IDENTIFICATION PLAN (W-101)
SHEETS 103-105	~ FIRE TRUCK TURNING TEMPLATES

"THE VILLAGE AT BARRINGTON SQUARE"
FOR
DOVE DEVELOPMENT GROUP, LLC
COMMUNITY WAY
BARRINGTON, N.H.
TAX MAP 235, LOTS 1-1 & 3

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE TOWN OF BARRINGTON LAND USE OFFICE.

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE PLAN, THE SITE PLAN APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE TOWN OF BARRINGTON LAND USE REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SITE PLAN APPROVAL.

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPESC, CESSWI, CPSWQ
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

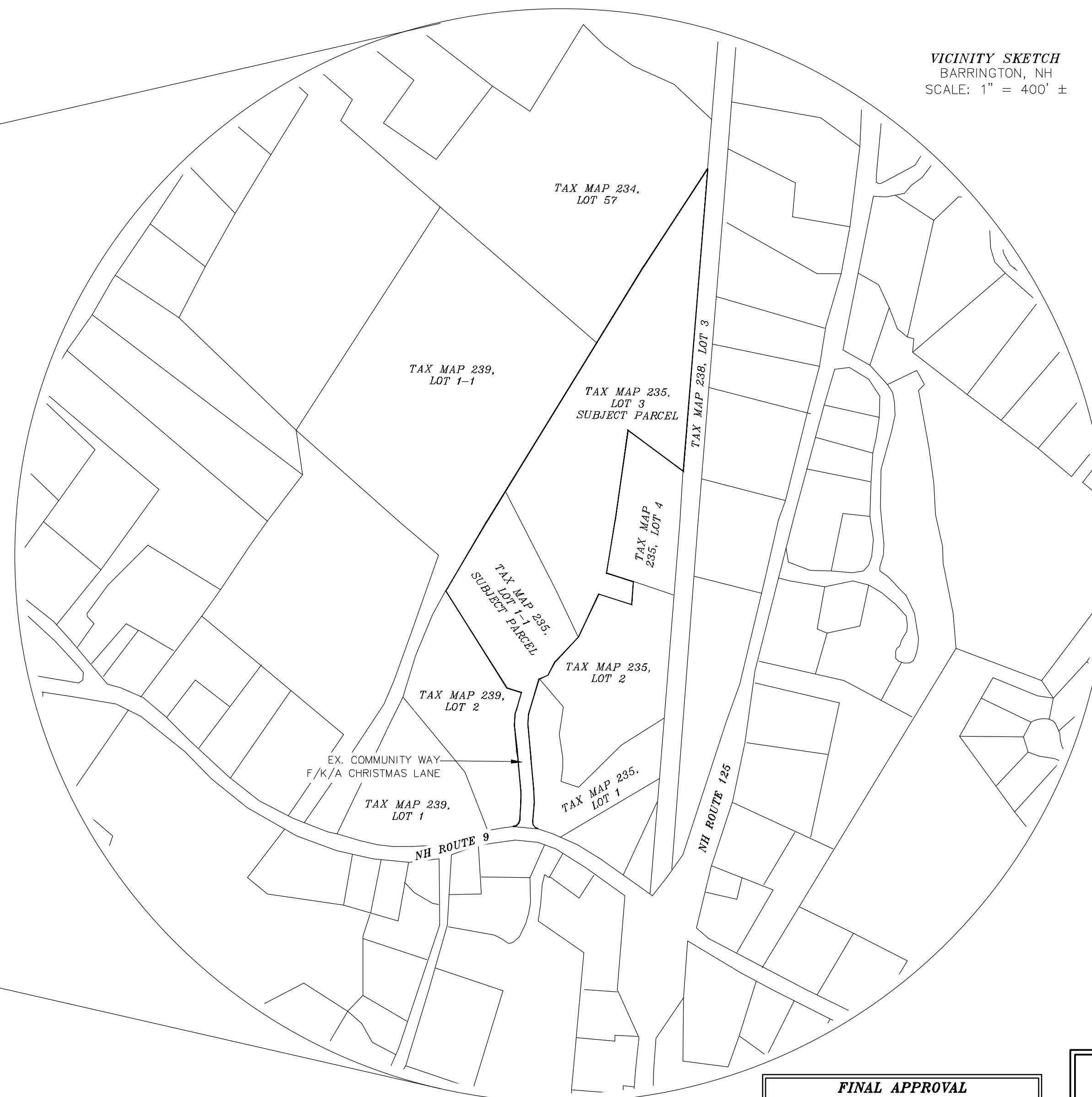
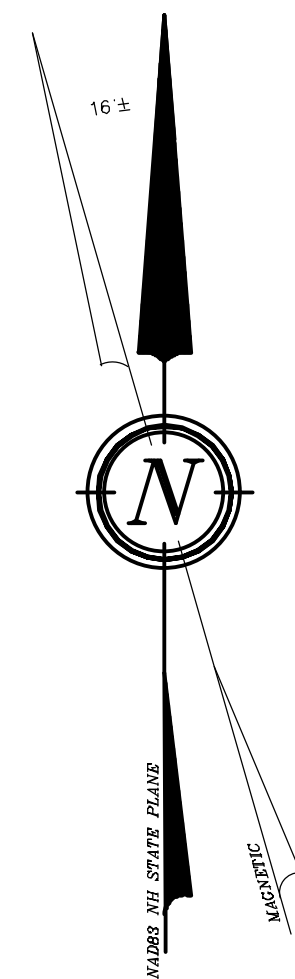
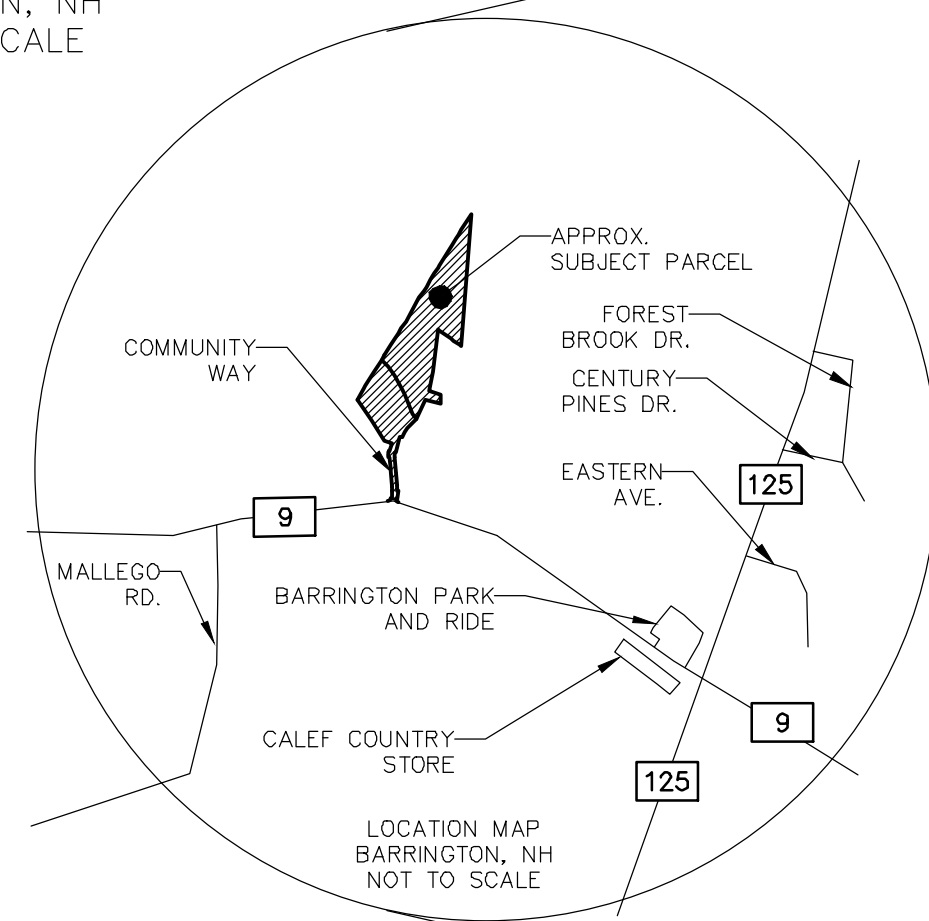
ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPESC, CESSWI, CPSWQ
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST:
& SOIL SCIENTIST: JOHN P. HAYES III, CSS, CWS
7 LIMESTONE WAY
NORTH HAMPTON, NH 03862
(603) 205-4396

OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820

APPLICANT: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820

LOCATION PLAN
BARRINGTON, NH
NOT TO SCALE



VICINITY SKETCH
BARRINGTON, NH
SCALE: 1" = 400' ±

REQUIRED PERMITS:

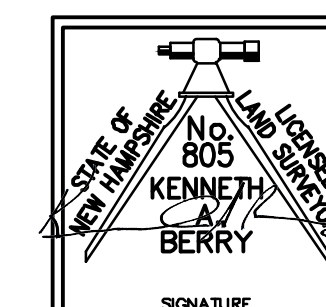
- | | |
|---------------------------------------|------------|
| ~ NHDES ALTERATION OF TERRAIN PERMIT | (PENDING) |
| ~ US EPA NOI & SWPPP | (PENDING) |
| ~ NATURAL HERITAGE BUREAU | NHB20-3670 |
| ~ NH DIVISION OF HISTORICAL RESOURCES | (PENDING) |
| ~ NHDOT DRIVEWAY PERMIT | (PENDING) |
| ~ NHDES WETLAND IMPACT PERMIT | (PENDING) |
| ~ NHDES SUBSURFACE DISPOSAL PERMIT | (PENDING) |
| ~ NHDES PUBLIC WATER SUPPLY PERMIT | (PENDING) |
| ~ CONDITIONAL USE PERMIT | (PENDING) |

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE TOWN OF BARRINGTON.

OWNER'S SIGNATURE _____ DATE _____

FINAL APPROVAL
BY
BARRINGTON PLANNING BOARD
CERTIFIED BY : _____
DATE : _____



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

REVISION	DATE	DESCRIPTION

MIXED USE SITE PLAN / LOT LINE REVISION
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

ADJUTERS WITHIN 300':

N/F 1962 REAL ESTATE LLC
133 BROOK STREET
ROCHESTER, NH 03867
TAX MAP 239, LOT 2
S.C.R.D. BOOK 4554, PAGE 813

N/F KAY, EDWARD
21 LITTLEWORTH ROAD
DOVER, NH 03820
TAX MAP 234, LOT 79

N/F SVENSON, GARTH & ELIZABETH
P.O. BOX 10
BARRINGTON, NH 03825
TAX MAP 235, LOT 2
S.C.R.D. BOOK 3366, PAGE 451

N/F DOVE DEVELOPMENT GROUP LLC.
242 CENTRAL AVENUE
DOVER, NH 03820
TAX MAP 235, LOT 3
S.C.R.D. BOOK 4816, PAGE 504

N/F SVENSON, LINDA L. C.
P.O. BOX 10
BARRINGTON, NH 03825
TAX MAP 239, LOT 3
S.C.R.D. BOOK 4022, PAGE 576

N/F BROOKS, KIM PAUL & DEBRA
SUZANNE
477 FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH 03825
TAX MAP 239, LOT 16
S.C.R.D. BOOK 4708, PAGE 266

N/F HENDERSON, DAVID & GLENDA
UND. INT. LIV. REVOCABLE TRUST 1/2
1273 WINGED FOOT LANE
DENVER, CO 28037-6520
TAX MAP 239, LOT 1-1

N/F HARVEY, CANDICE K.
P.O. BOX 452
BARRINGTON, NH 03825
TAX MAP 239, LOT 1
S.C.R.D. BOOK 4710, PAGE 1016

ADJUTERS WITHIN 300':

N/F LEFER, SUSAN
624 FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH 03825
TAX MAP 239, LOT 3
S.C.R.D. BOOK 4723, PAGE 26

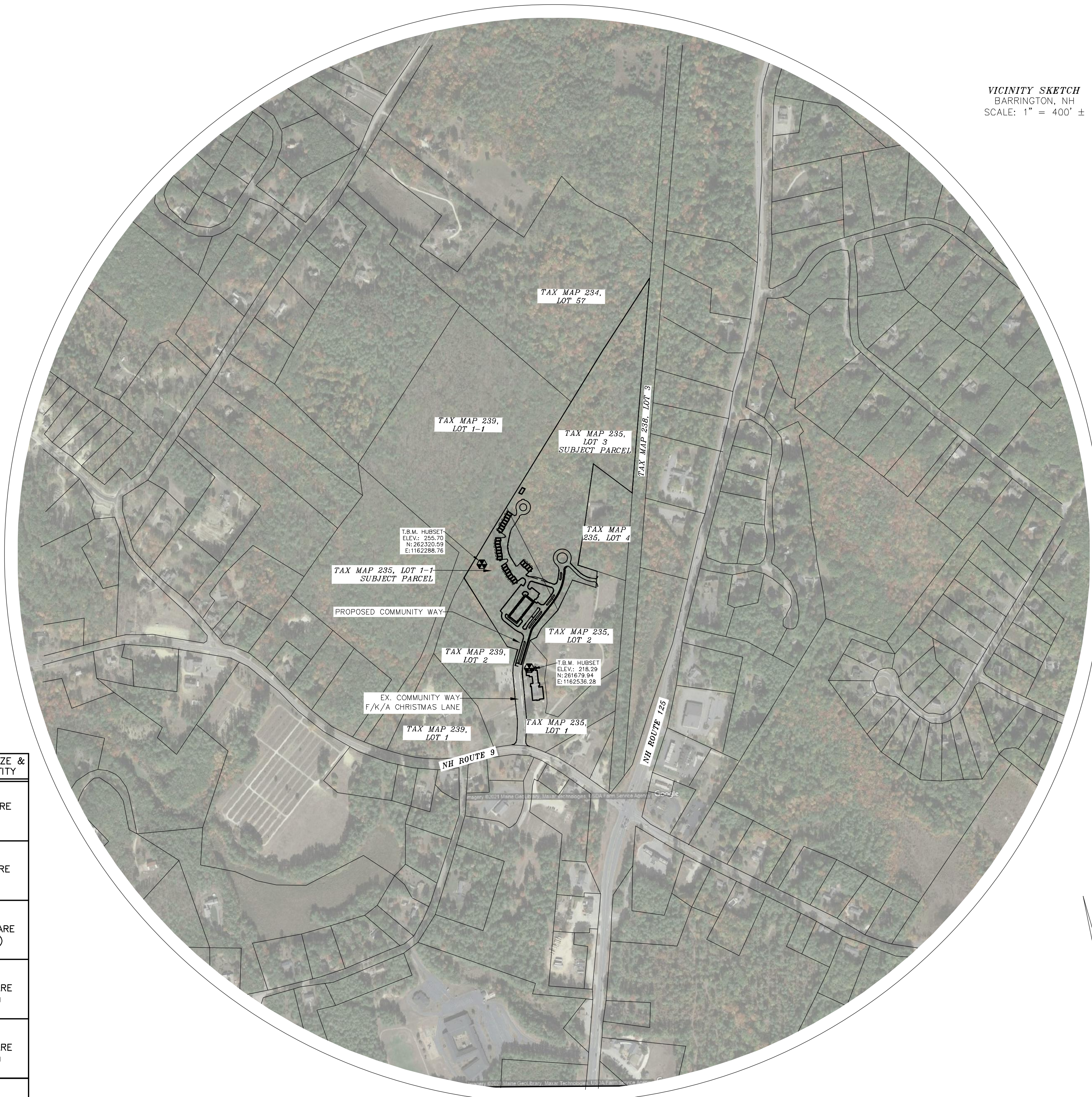
N/F ROBBINS FAMILY 2020 TRUST
ROBBINS, DAVID G., TRUSTEE
9 MALLECO ROAD
BARRINGTON, NH 03825
TAX MAP 239, LOT 4

N/F TOWN CENTER PROPERTIES LLC
P.O. BOX 727
DOVER, NH 03820
TAX MAP 239, LOT 7
S.C.R.D. BOOK 4347, PAGE 960

N/F DOVE DEVELOPMENT GROUP, LLC.
242 CENTRAL AVENUE
DOVER, NH 03820
TAX MAP 235, LOT 1-1
S.C.R.D. BOOK 4816, PAGE 500

N/F JOHN & LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 993, PAGE 080
TAX MAP 235, LOT 1

N/F BERNARD F. BENNETT, SR. 2017 REV. TRUST
BENNETT, BERNARD F. SR. & SUSAN D., TRUSTEES
& SUSAN BENNETT 2017 REV. TRUST
BENNETT, SUSAN D. & BERNARD F. SR., TRUSTEES
611 FRANKLIN PIERCE HWY.
BARRINGTON, NH 03825
TAX MAP 239, LOT 1
S.C.R.D. BOOK, 4471, PAGE 925



VICINITY SKETCH
BARRINGTON, NH
SCALE: 1" = 400' ±

SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	4	RED	WHITE	WHITE	SQUARE (4)
R2-1	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	WHITE	GREEN	GREEN	SQUARE (1)
R4-7	24"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	WHITE W/ BLACK ARROW	BLACK	BLACK	SQUARE (1)
R7-8	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	4	WHITE	GREEN W/ WHITE SYMBOL ON BLUE	RED	SQUARE (4)
R7-8a	12"x6"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	GREEN	GREEN	SQUARE (0)
W14-2	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	YELLOW	BLACK	BLACK	SQUARE (1)
R6-1R	36"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	BLACK W/ WHITE ARROW	BLACK	WHITE	SQUARE (2)

REVISION	DATE	DESCRIPTION

NEIGHBORHOOD PLAN
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

SHEET 1 OF 105

ABBREVIATION LEGEND:

Table with 2 columns: Abbreviation and Description. Includes items like E.O.P. EDGE OF PAVEMENT, S.G.C. SLOPED GRANITE CURB, V.G.C. VERTICAL GRANITE CURB, etc.

Table with 2 columns: Symbol and Description. Includes symbols for SSL () ~ [SIZE] SINGLE SOLID LINE, DSL () ~ [SIZE] DOUBLE SOLID LINE, etc.

PROPOSED LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
3/4" REBAR W/ ID CAP ~TBS~
1/2" EASEMENT REBAR W/ ID CAP ~TBS~

EXISTING LEGEND:

- DRILL HOLE ~FND~
IRON PIPE ~FND~
IRON BOUND ~FND~
ANGLE IRON ~FND~
NHGB GRANITE BOUND ~FND~
UTILITY POLE/GUY WIRE
CATCH BASIN (CB)
TEST PIT
TEMPORARY BENCHMARK (T.B.M.)
BLAZED/PAINTED TREE

- PROPOSED LOT LINE REVISION LINE
PROPOSED EASEMENT LINE
UTILITY POLE
LIGHT TYPE "A" MOUNTED ON BUILDING
LIGHT TYPE "B" MOUNTED ON BUILDING
LIGHT TYPE "C" MOUNTED LIGHT POLE
INLINE FLUSHING MANHOLE W/ STRUCTURE
DRAIN MANHOLE W/STRUCTURE
CATCH BASIN
SIGNAGE CHECK DAM-MATERIAL AS SPECIFIED
FLOW ARROW WELL
TEMPORARY BENCHMARK (T.B.M.)
DETAIL SHEET / DETAIL
MATCH POINT
MATCH LINE
CONTOUR MINOR, PROPOSED
CONTOUR MAJOR, PROPOSED
DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
SHOULDER
CENTER LINE
BUILDING SETBACK LINE
NHDES PROTECTIVE WELL RADIUS
TRANSFORMER / J.BOX
UNDERGROUND UTILITY
UNDER DRAIN
SILT FENCE / EROSION MIX BERM
FILTRIX 8" - 12" SILT SOXX AS SPECIFIED
ORANGE CONSTRUCTION PERIMETER FENCE
NRCS SOIL DELINEATION
SOIL TYPE
RIP RAP
RAIN GARDEN / SUBSURFACE GRAVEL WETLAND
BERM
GATE VALVE
CURB STOP
BLOW OFF HYDRANT
THRUST BLOCKS
PROPOSED SPOT ELEVATION
PROPOSED WATER LINE
PROPOSED SEWER LINE

SITE PLAN NOTES:

- 1.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, PART OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
2.) LOCUS PARCEL IS SUBJECT TO & BENEFITED BY EASEMENTS AS NOTED.
3.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN JUNE 2017 & DECEMBER OF 2020 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000 UNDER NO SNOW CONDITIONS.
4.) AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE TOWN OF BARRINGTON PLANNING OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
5.) TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SUMMER OF 2017 AND SPRING OF 2021 UNDER NO SNOW CONDITIONS AND IS SHOWN AT 1 FOOT INTERVALS
6.) DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN JUNE 2017 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988.
7.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
8.) ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND WITH THE EXCEPTION OF ONE OR TWO DROP POLES REQUIRED BY EVERSOURCE.
9.) THE SUBJECT PARCELS ARE SERVED BY ON SITE WATER AND EFFLUENT DISPOSAL.
10.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN AND STATE CODES.
11.) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
12.) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK.
13.) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS. COORDINATE WITH TOWN OF BARRINGTON, LAND USE OFFICE.
14.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE TOWN ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
15.) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
16.) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
EPA NOTICE OF INTENT (NOI):
NHDT DRIVEWAY PERMIT:
NHDES ALTERATION OF TERRAIN PERMIT:
NHDES SUBSURFACE DISPOSAL PERMIT:
NHDES PUBLIC WATER SUPPLY PERMIT:
NHDES WETLAND IMPACT PERMIT:
17.) THE PROPOSED PROJECT PROPOSES 490,264 Sq.Ft., 11.25 Ac. OF DISTURBANCE.
18.) CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233)
19.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONSTRUCTION SHALL ALSO CONFORM TO THE TOWN OF BARRINGTON POLICIES AND PRACTICES, AND TOWN OF BARRINGTON SITE PLAN REVIEW REGULATIONS.
20.) WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
21.) THERE IS CLEAR SITE DISTANCE IN BOTH THE EAST AND WEST DIRECTIONS AT THE EXISTING ENTRANCE OF COMMUNITY LANE ONTO NH ROUTE 9.
22.) LAMP BASES ARE TO BE A MINIMUM OF 3' OFF THE EDGE OF PAVEMENT AND PAINTED A NEUTRAL COLOR.
23.) EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
24.) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603) 436-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
25.) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FAIRPOINT COMMUNICATIONS AT (603) 427-5525, AS APPLICABLE.
26.) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH ATLANTIC BROADBAND.
27.) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
28.) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
29.) LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THE PROPOSED STRUCTURE:
VARIANCES GRANTED BY THE TOWN OF BARRINGTON ZONING BOARD OF ADJUSTMENT ON JULY 20, 2016:
-ARTICLE 16.3.2, MINIMUM LOT SIZE/LOT AREA
-ARTICLE 16.3.2(2) RESIDENTIAL USES, PERMITTING THE NET DENSITY FOR A SINGLE FAMILY DWELLING TO BE BASED UPON 16,500 SQ. FT. PER DWELLING.
-ARTICLE 16.5.2 COMMERCIAL COMPONENT REQUIREMENTS, TO ALLOW 26.5% WHERE 50% IS REQUIRED.
VARIANCES WERE BASED UPON TOTAL LAND AREA OF LOTS 239-2, 235-1, 235-2 AND 235-3. VARIANCES EXPIRE JULY 20, 2021. THIS VARIANCE WAS EXTENDED BY THE ZBA.
30.) REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITES SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
31.) SNOW STORAGE AREAS ARE AS SHOWN ON THIS SITE PLAN, WHICH PROVIDES FOR APPROXIMATELY 17,350 SQUARE FEET OF STORAGE. THIS REPRESENTS A 6:1 RATIO. EXCESS SNOW WILL BE REMOVED FROM THIS SITE AND DISPOSED OF IN A QUALIFIED LOCATION.
32.) THE APPLICANT IS ABLE TO MAKE LINE CHANGES TO PRODUCTS SO LONG AS THE DESIGN ENGINEER APPROVES THAT THEY MEET THE DESIGN INTENT. THE DESIGN ENGINEER IS TO NOTE THE PROPOSED PRODUCT CHANGE AND SEND REQUEST FOR REVIEW TO THE TOWN ENGINEER FOR APPROVAL.
33.) THE SITE WORK HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 9AM-4PM WITH NO SUNDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.

SITE PLAN NOTES CONTINUED:

- 34.) THE FOLLOWING WAIVERS ARE HEREBY REQUESTED AS PART OF THIS SITE PLAN:
RELIEF TO TABLE 7 LIGHTING STANDARDS
35.) IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNERS SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
36.) IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
37.) ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

STANDARD CONSTRUCTION NOTES:

- 1.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
2.) TWO ON SITE BENCHMARKS ARE PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
3.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
4.) SEE UTILITY PLANS FOR DETAILS ON THE PROPOSED SEWER, WATER, AND UNDERGROUND ELECTRIC LINES SHOWN.
5.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
6.) CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
7.) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
8.) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
9.) THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS (IF APPLICABLE), ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
10.) AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. DISTURBANCE OUTSIDE AREAS SHOWN TO BE APPROVED BY DESIGN ENGINEER.
11.) THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R)
12.) ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH {} SHALL BE THERMOPLASTIC.
13.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
14.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER OR AFTER A STORM EVENT OF GREAT THAN 0.25".
15.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
16.) ALL CATCH BASINS AND DRAIN MANHOLES ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS. CATCH BASINS ARE TO HAVE NHDOT TYPE "B" GRATES AND DRAIN MANHOLES ARE TO HAVE NH STANDARD COVERS.
17.) SEE DETAILS CONCERNING SITE LAYOUT, UTILITY, AND SEDIMENT AND EROSION CONTROLS.
18.) ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED. RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED HDPE PIPE "GREEN PIPE" IS ACCEPTABLE FOR THIS PROJECT SITE.
19.) ALL CATCH BASINS SHALL BE PRE-CAST H-20 LOADING AND SHALL NOT BE EQUIPPED WITH DEEP SUMPS. RIMS ARE TO BE NHDOT TYPE "B" STYLE AND SHALL BE SET FLUSH WITH FINISH GRADE. UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY BARRINGTON DPW. RIMS ABOVE FINISH GRADE WILL BE NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE U.S.A MADE. HOODS ARE TO BE INSTALLED IMMEDIATELY AFTER BASIN CONSTRUCTION.
20.) THIS SITE PLAN PROPOSES 490,264 Sq. Ft. (11.25 Ac.) OF DISTURBANCE. AN ENVIRONMENTAL MONITOR WILL BE REQUIRED.

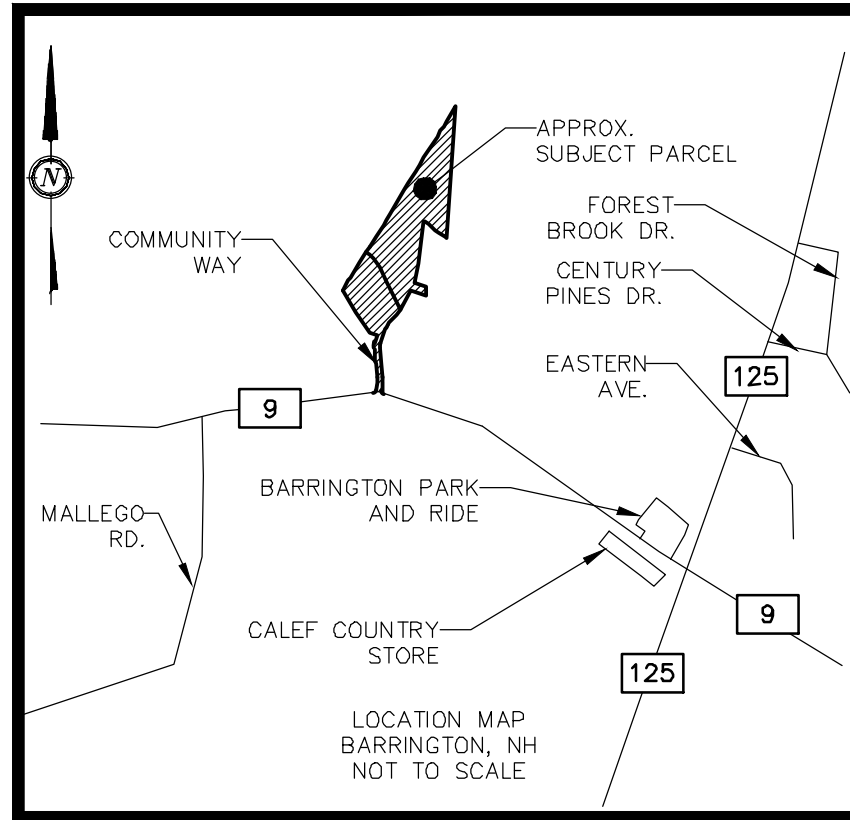
EROSION AND SEDIMENT CONTROL NOTES:

- 1.) EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE TOWN OF BARRINGTON, PLANNING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE PROJECT IS COMPLETED.
2.) SILT FENCE MAY BE SUBSTITUTED WITH FILTRIX SILT SOXX OR EROSION CONTROL MIX BERM. SILT FENCE IS NOT A SUBSTITUTE FOR FILTRIX SILT SOXX OR APPROVED EQUIAL.
3.) PER EPA CGP 2.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&S PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR
4.) CONTRACTOR IS REQUIRED TO HAVE A CONSTRUCTION ENTRANCE.
5.) CONTRACTOR IS RESPONSIBLE FOR SWEEPING THE PARKING LOT, SIDEWALKS AND ANYTHING DISTURBED, TO ENSURE THAT NO SEDIMENT IS BEING TRACKED ONTO EXISTING COMMUNITY WAY.
6.) CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE INLET PROTECTION ONCE INSTALLED.
7.) FUGITIVE DUST IS TO BE CONTROLLED THROUGHOUT THE CONSTRUCTION PROCESS IN ACCORDANCE WITH ENV-A 1000.
8.) CONTRACTOR IT TO MEET THE REQUIREMENTS SPECIFIED IN RSA 430:51-57 AND AGR 3800, RELATING TO INVASIVE SPECIES.
9.) CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE WATER QUALITY FROM ANY RUN OFF DURING THE CONSTRUCTION PROCESS, IN ACCORDANCE WITH ENV-WQ 1507, IN ORDER TO PREVENT VIOLATIONS OF THE STORM WATER QUALITY STANDARDS.

Table with 2 columns: REVISION and DESCRIPTION. Includes revision 1 and 2.

PROJECT LEGEND AND NOTES
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 9

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS SHOWN
DATE: JUNE 14, 2021
FILE NO.: DB 2020 - 097
Professional Engineer Seal for Kenneth A. Berry, No. 15474

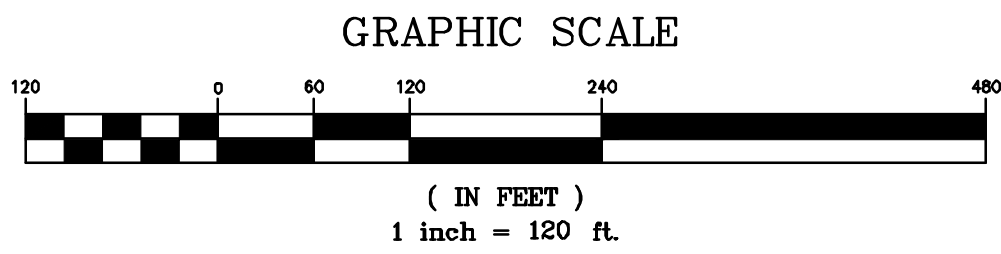


NOTES:

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 235, LOTS 1-1 & 3, LOCATED IN BARRINGTON, N.H., IN RELATION TO THE THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIFER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- 8.) CONSISTING OF THREE PLAN SHEETS NUMBERED SHEET 3, 4, AND 5. THIS BEING AN OVERVIEW PLAN, SOUTH AND NORTH DETAILS TO BE RECORDED.

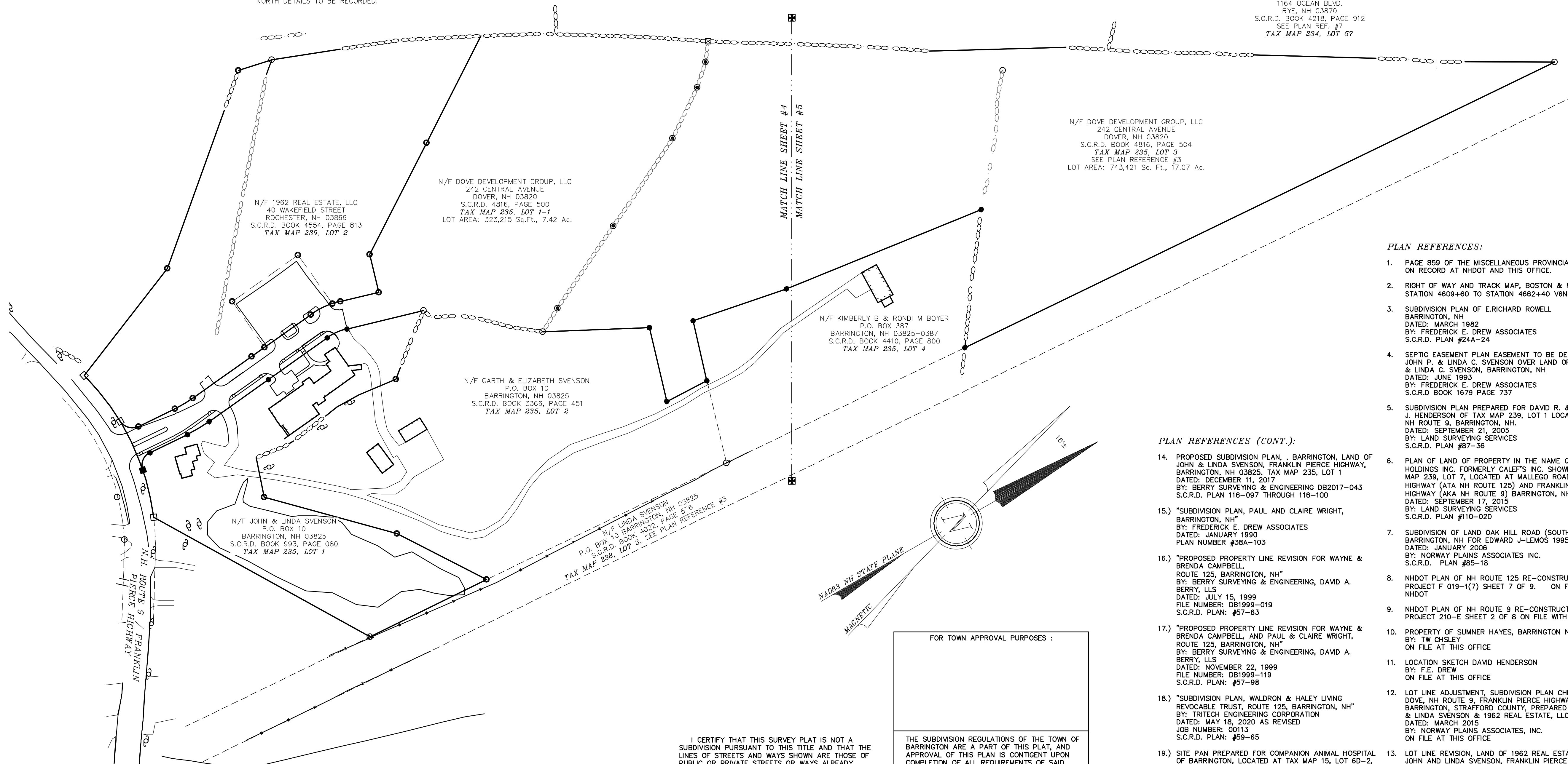
LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- MATCH POINT
- MATCH LINE
- PERIMETER BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- STONE WALL
- FND
- TBS
- TYP.
- S.C.R.D.



N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-6520
S.C.R.D. BOOK 697, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

N/F MARLA L. LEMOS REV. TRUST
1164 OCEAN BLVD.
RYE, NH 03870
S.C.R.D. BOOK 4218, PAGE 912
SEE PLAN REF. #7
TAX MAP 234, LOT 57

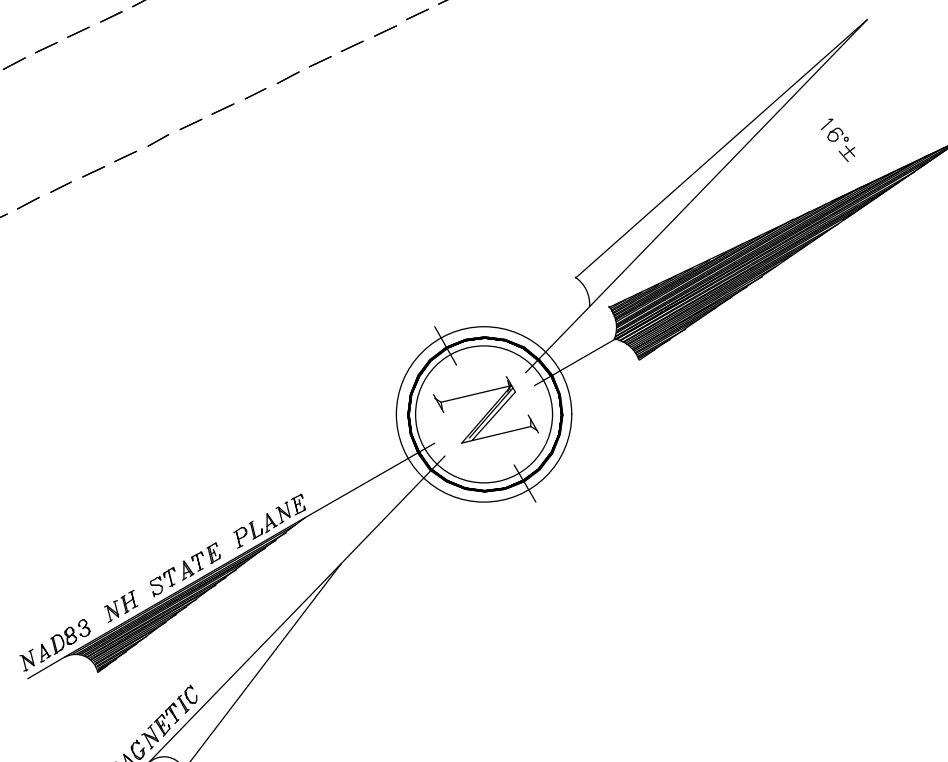


PLAN REFERENCES:

1. PAGE 859 OF THE MISCELLANEOUS PROVINCIAL PAPERS. ON RECORD AT NHDOT AND THIS OFFICE.
2. RIGHT OF WAY AND TRACK MAP, BOSTON & MAINE R.R. STATION 4609+60 TO STATION 4662+40 V6NH/89.
3. SUBDIVISION PLAN OF E. RICHARD ROWELL BARRINGTON, NH DATED: MARCH 1982 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. PLAN #24A-24
4. SEPTIC EASEMENT PLAN EASEMENT TO BE DEEDED TO JOHN P. & LINDA C. SVENSON OVER LAND OF JOHN P. & LINDA C. SVENSON, BARRINGTON, NH DATED: JUNE 1993 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. BOOK 1679 PAGE 737
5. SUBDIVISION PLAN PREPARED FOR DAVID R. & GLENDA J. HENDERSON OF TAX MAP 239, LOT 1 LOCATED AT NH ROUTE 9, BARRINGTON, NH. DATED: SEPTEMBER 21, 2005 BY: LAND SURVEYING SERVICES S.C.R.D. PLAN #87-36

PLAN REFERENCES (CONT.):

14. PROPOSED SUBDIVISION PLAN, BARRINGTON, LAND OF JOHN & LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 235, LOT 1 DATED: DECEMBER 11, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 116-097 THROUGH 116-100
15. "SUBDIVISION PLAN, PAUL AND CLAIRE WRIGHT, BARRINGTON, NH" BY: FREDERICK E. DREW ASSOCIATES DATED: JANUARY 1990 PLAN NUMBER #38A-103
16. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: JULY 15, 1999 FILE NUMBER: DB1999-019 S.C.R.D. PLAN: #57-63
17. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, AND PAUL & CLAIRE WRIGHT, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: NOVEMBER 22, 1999 FILE NUMBER: DB1999-119 S.C.R.D. PLAN: #57-98
18. "SUBDIVISION PLAN, WALDRON & HALEY LIVING REVOCABLE TRUST, ROUTE 125, BARRINGTON, NH" BY: TRITECH ENGINEERING CORPORATION DATED: MAY 18, 2020 AS REVISED FILE NUMBER: 00113 S.C.R.D. PLAN: #59-65
19. SITE PAN PREPARED FOR COMPANION ANIMAL HOSPITAL OF BARRINGTON, LOCATED AT TAX MAP 15, LOT 6D-2, STRAFFORD COUNTY, BARRINGTON, NH BY DAVID W. VINCENT, LLS. LAND SURVEYING SERVICES DATED: NOVEMBER 20, 2002, AS REVISED FILE NUMBER 02-040 S.C.R.D. PLAN: #68-86
6. PLAN OF LAND OF PROPERTY IN THE NAME OF R.L.C. HOLDINGS INC. FORMERLY CALEF'S INC. SHOWN AS TAX MAP 239, LOT 7, LOCATED AT MALLEGRO ROAD, CALEF HIGHWAY (ATA NH ROUTE 125) AND FRANKLIN PIERCE HIGHWAY (AKA NH ROUTE 9) BARRINGTON, NH DATED: SEPTEMBER 17, 2015 BY: LAND SURVEYING SERVICES S.C.R.D. PLAN #11D-020
7. SUBDIVISION OF LAND OAK HILL ROAD (SOUTH) BARRINGTON, NH FOR EDWARD J-LEMONS 1995 TRUST. DATED: JANUARY 2006 BY: NORWAY PLAINS ASSOCIATES INC. S.C.R.D. PLAN #85-18
8. NHDOT PLAN OF NH ROUTE 125 RE-CONSTRUCTION. PROJECT F 019-1(7) SHEET 7 OF 9. ON FILE WITH NHDOT
9. NHDOT PLAN OF NH ROUTE 9 RE-CONSTRUCTION. PROJECT 210-E SHEET 2 OF 8 ON FILE WITH NHDOT
10. PROPERTY OF SUMNER HAYES, BARRINGTON NH. BY: TW OHSLEY ON FILE AT THIS OFFICE
11. LOCATION SKETCH DAVID HENDERSON BY: F.E. DREW ON FILE AT THIS OFFICE
12. LOT LINE ADJUSTMENT, SUBDIVISION PLAN CHRISTMAS DOVE, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, BARRINGTON, STRAFFORD COUNTY, PREPARED FOR JOHN & LINDA SVENSON & 1962 REAL ESTATE, LLC DATED: MARCH 2015 BY: NORWAY PLAINS ASSOCIATES, INC. ON FILE AT THIS OFFICE
13. LOT LINE REVISION, LAND OF 1962 REAL ESTATE LLC & JOHN & LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 239 LOT 2 AND MAP 235 LOT 1 DATED: AUGUST 8, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 115-064 THROUGH 115-067



FOR TOWN APPROVAL PURPOSES :

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

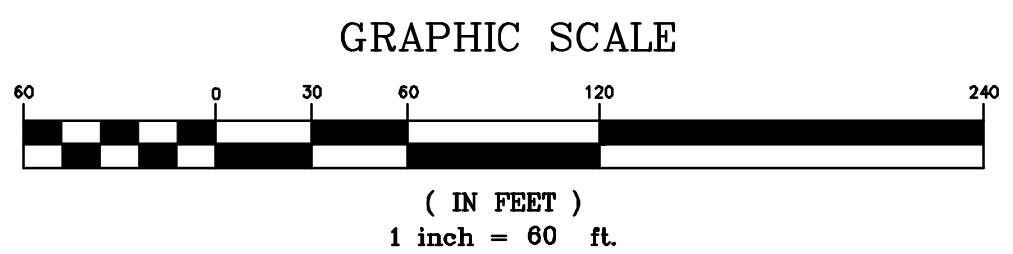
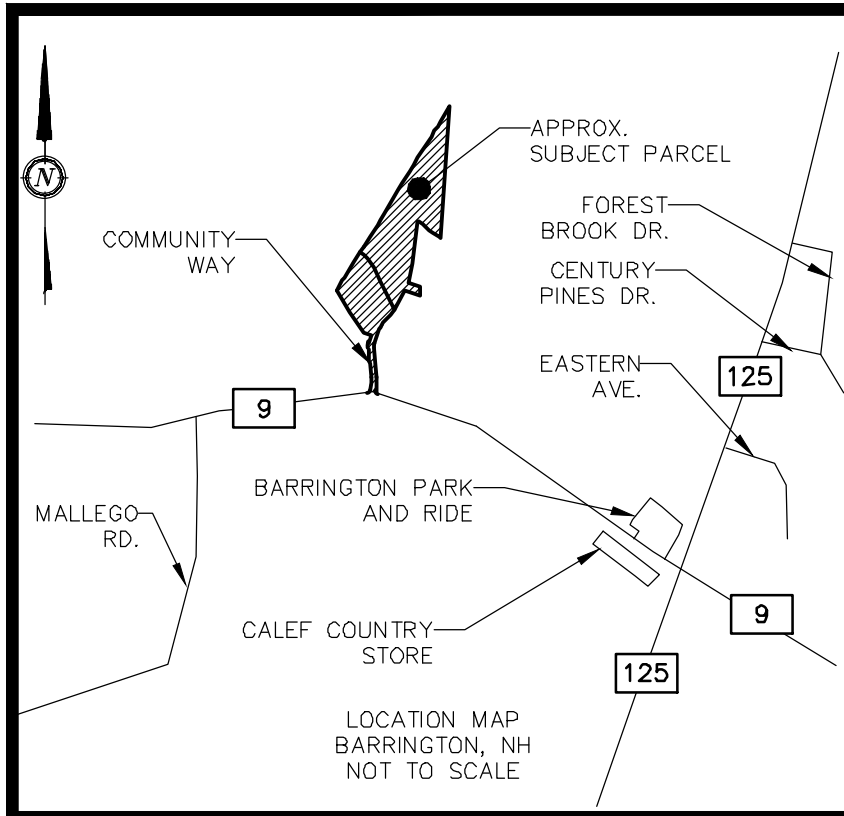
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

OVERVIEW BOUNDARY PLAN
OF
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 120 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

SIGNATURE



NOTES:

- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 235, LOTS 1-1 & 3, LOCATED IN BARRINGTON, N.H., IN RELATION TO THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.

N/F HARVEY, CANDICE K.
P.O. BOX 452
BARRINGTON, NH 03825
S.C.R.D. BOOK 4710, PAGE 1016
TAX MAP 239, LOT 1
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC
40 WAKEFIELD STREET
ROCHESTER, NH 03866
S.C.R.D. BOOK 4554, PAGE 613
TAX MAP 239, LOT 2

N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. BOOK 4816, PAGE 500
TAX MAP 235, LOT 1-1
LOT AREA: 323,215 Sq.Ft., 7.42 Ac.

N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. BOOK 4816, PAGE 504
TAX MAP 235, LOT 3
SEE PLAN REFERENCE #3
LOT AREA: 743,421 Sq. Ft., 17.07 Ac.

N/F KIMBERLY B & RONI M BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4

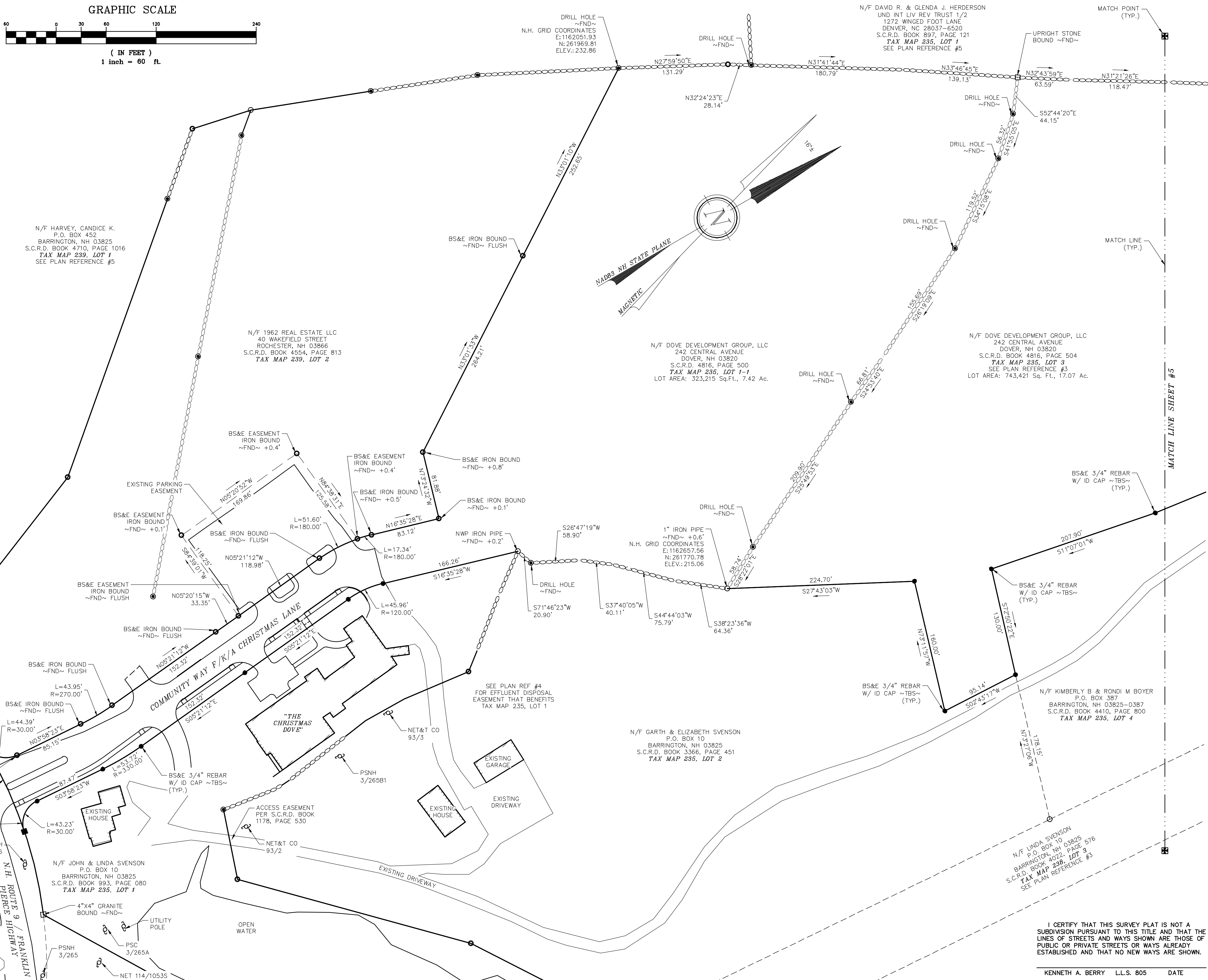
N/F GARTH & ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366, PAGE 451
TAX MAP 235, LOT 2

N/F JOHN & LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 993, PAGE 080
TAX MAP 235, LOT 1

- LEGEND:**
- 4"x4" GRANITE BOUND ~FND~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND~/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - MATCH POINT
 - MATCH LINE
 - PERIMETER BOUNDARY
 - ADJUTING PROPERTY LINE
 - EXISTING EASEMENT
 - STONE WALL
 - FND FOUND
 - TBS TO BE SET
 - TYP. TYPICAL
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



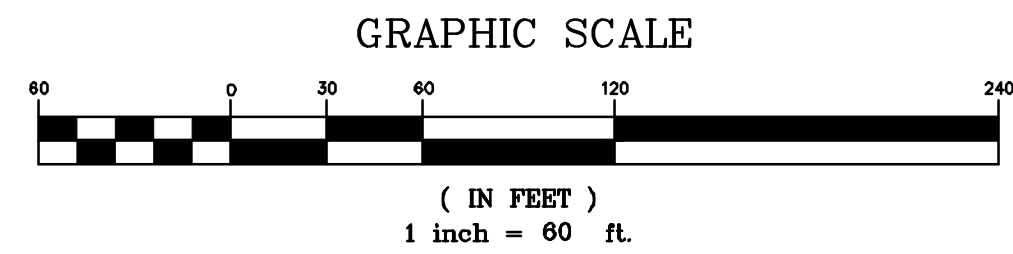
REVISION	DATE	DESCRIPTION

BOUNDARY PLAN SOUTH
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

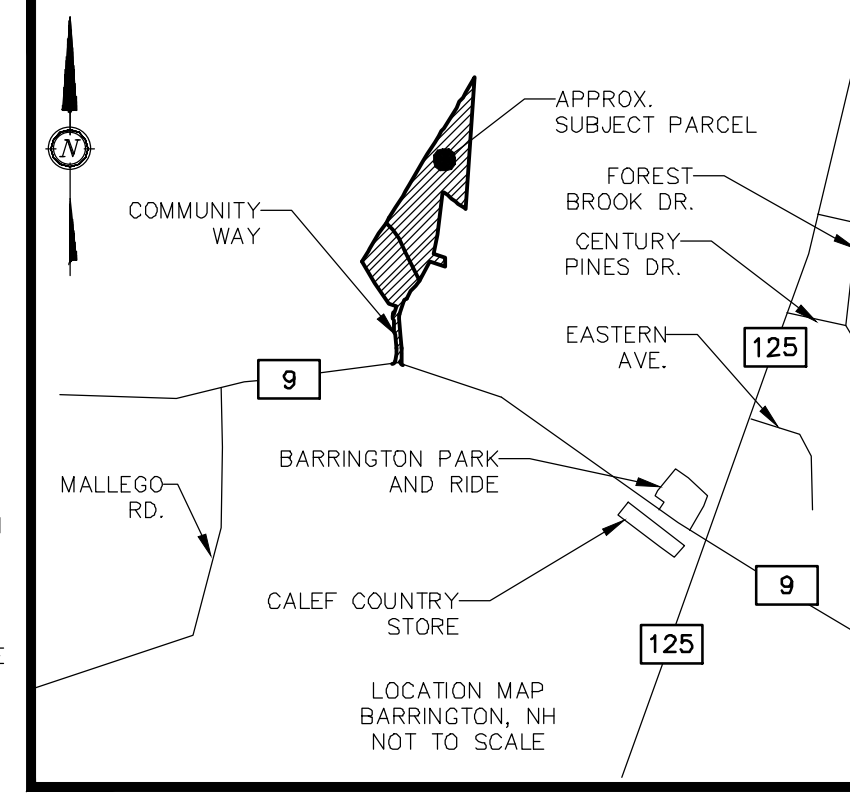
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE



- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - MATCH POINT
 - MATCH LINE
 - PERIMETER BOUNDARY
 - ABUTTING PROPERTY LINE
 - EXISTING EASEMENT
 - STONE WALL
 - FND FOUND
 - TBS TO BE SET
 - TYP. TYPICAL
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 235, LOTS 1-1 & 3, LOCATED IN BARRINGTON, N.H., IN RELATION TO THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
 - 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
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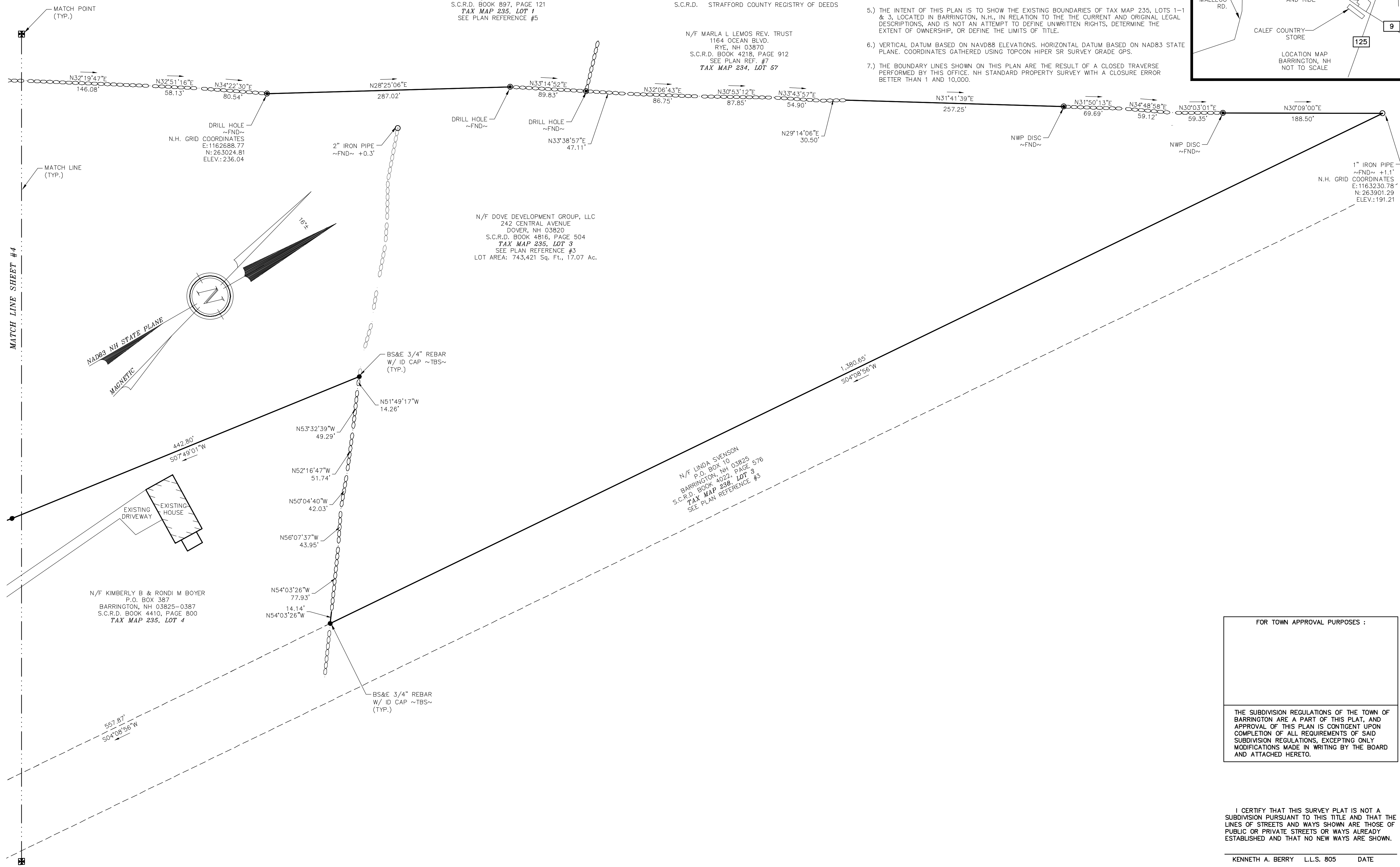
N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

N/F MARLA L. LEWIS REV. TRUST
1164 OCEAN BLVD.
RYE, NH 03870
S.C.R.D. BOOK 4218, PAGE 912
SEE PLAN REF. #7
TAX MAP 234, LOT 57

N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. BOOK 4816, PAGE 504
TAX MAP 235, LOT 3
SEE PLAN REFERENCE #3
LOT AREA: 743,421 Sq. Ft., 17.07 Ac.

N/F LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4024, PAGE 576
TAX MAP 238, LOT 3
SEE PLAN REFERENCE #3

N/F KIMBERLY B & ROND M BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4



MATCH LINE SHEET #4

MATCH LINE SHEET #5

REVISION	DATE	DESCRIPTION

BOUNDARY PLAN NORTH
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

FOR TOWN APPROVAL PURPOSES :

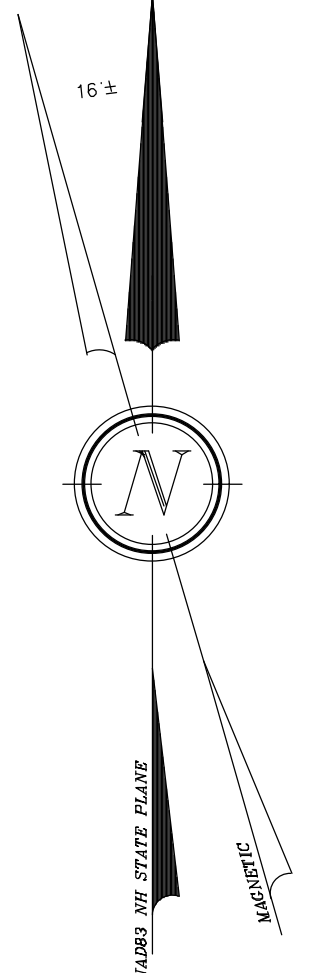
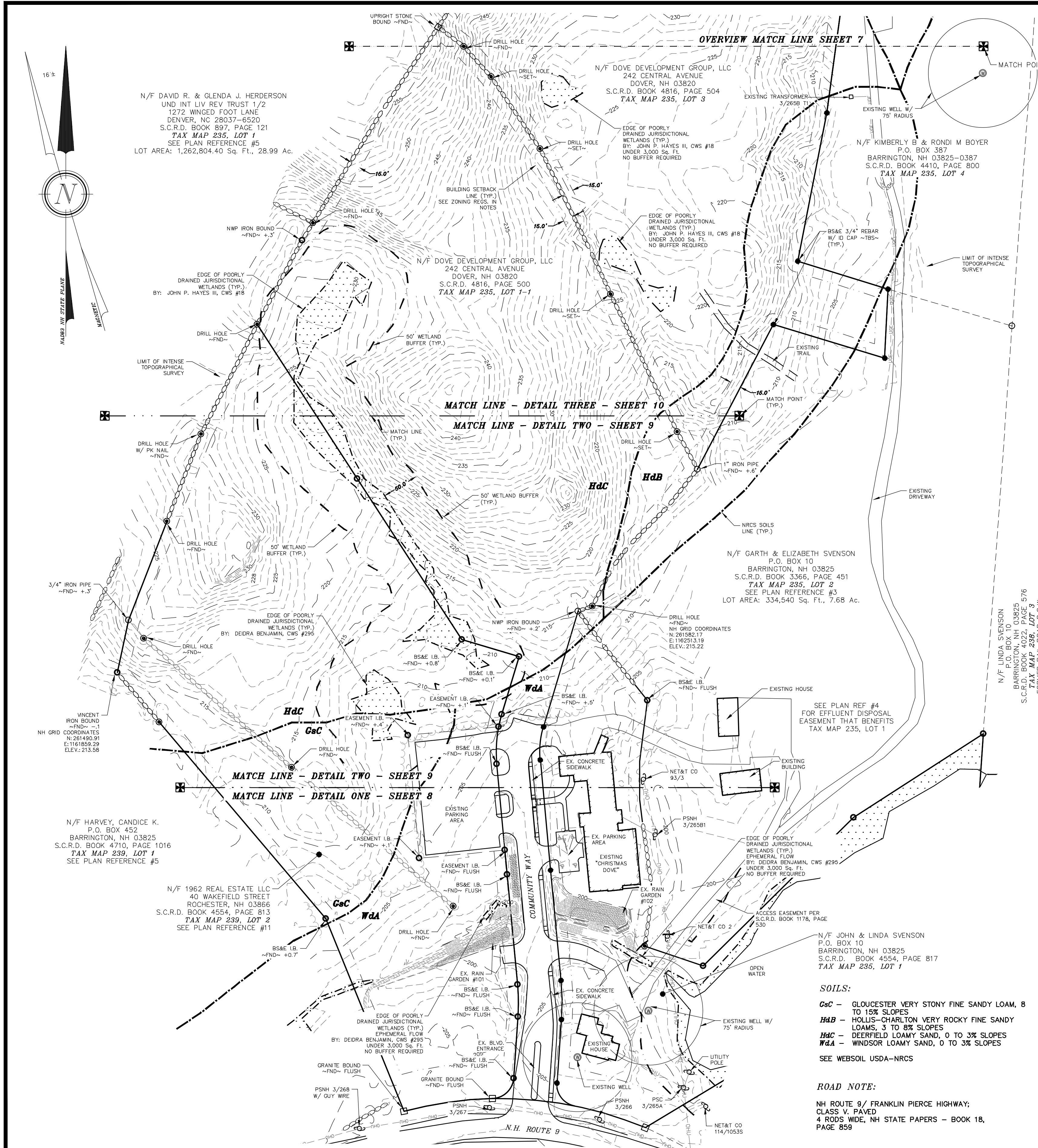
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KENNETH A. BERRY L.L.S. 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

SIGNATURE



N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, CO 80337-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5
LOT AREA: 1,262,804.40 Sq. Ft., 28.99 Ac.

OVERVIEW MATCH LINE SHEET 7
N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. BOOK 4816, PAGE 504
TAX MAP 235, LOT 3

N/F KIMBERLY B. & RONI M BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4

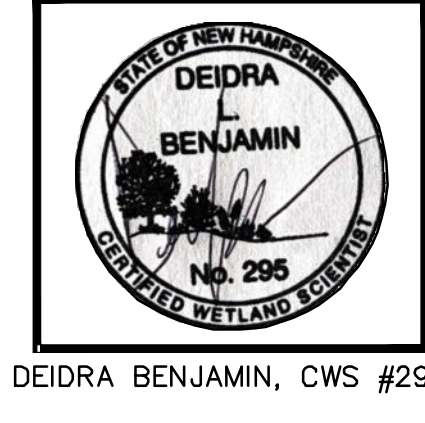
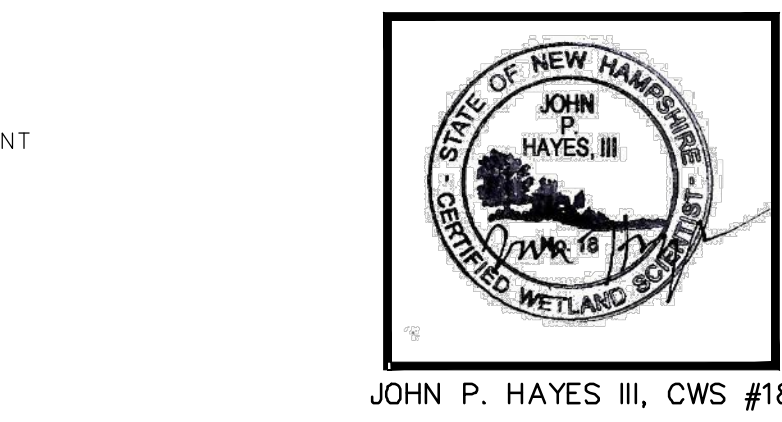
N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. 4816, PAGE 500
TAX MAP 235, LOT 1-1

N/F GARTH & ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366, PAGE 451
TAX MAP 235, LOT 2
SEE PLAN REFERENCE #3
LOT AREA: 334,640 Sq. Ft., 7.68 Ac.

N/F HARVEY, CANDICE K.
P.O. BOX 452
BARRINGTON, NH 03825
S.C.R.D. BOOK 4710, PAGE 1016
TAX MAP 239, LOT 1
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC
40 WAKEFIELD STREET
ROCHESTER, NH 03866
S.C.R.D. BOOK 4554, PAGE 813
TAX MAP 239, LOT 2
SEE PLAN REFERENCE #11

N/F LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4022, PAGE 576
FORMER RAILROAD ROW
SEE PLAN REFERENCE #2



WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

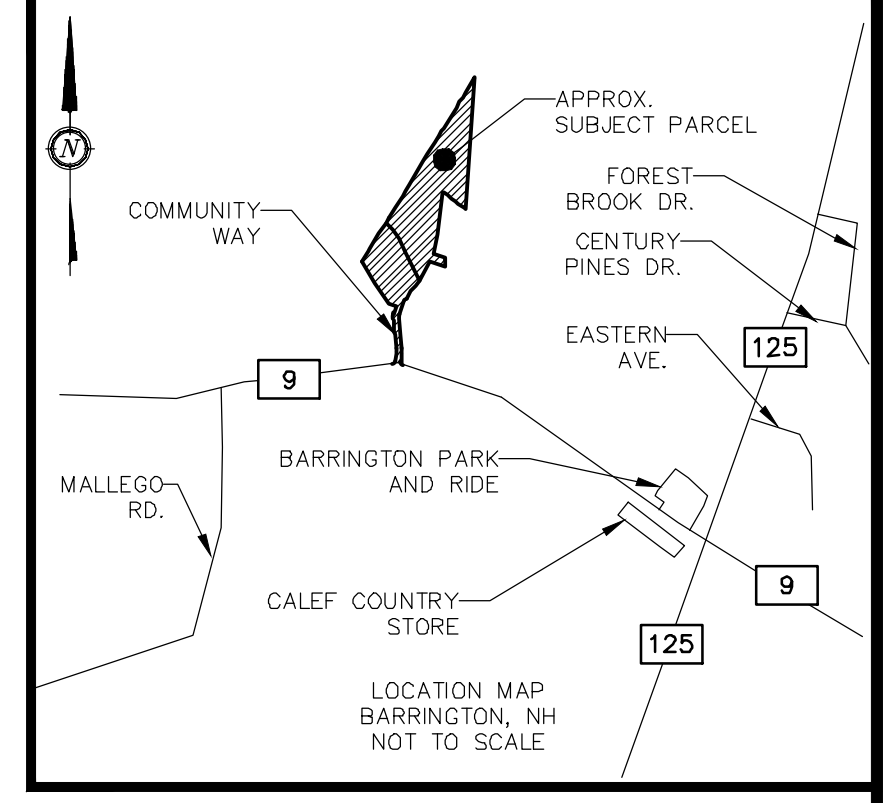
WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - WELL
 - MATCH POINT
 - NRCS SOIL DELINEATION LINE
 - STONE WALL
 - WETLAND LINE
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - OVERHEAD UTILITIES LINE
 - OVERVIEW MATCH LINE
 - DETAIL MATCH LINE
 - STRAFFORD COUNTY REGISTRY OF DEEDS
 - TYP. FOUND

ADDITIONAL ABUTTERS:
N/F 614 FPH REAL ESTATE LLC
PO BOX 57
BARRINGTON, NH 03825
BOOK 4255, PAGE 396
TAX MAP 238, LOT 51
N/F MARK K & SHERRY B ROWELL
624 FRANKLIN PIERCE HWY
BARRINGTON, NH 03825
BOOK 4363, PAGE 898
TAX MAP 239, LOT 3
N/F TOWN CENTER PROPERTIES LLC
270 GULF RD
DOVER, NH 03820
S.C.R.D. BOOK 4347, PAGE 960
TAX MAP 239, LOT 7
N/F VICTORIA J. & NATHANIEL LEAVITT
30 RIVERSIDE FARM DRIVE APT B
LEE, NH 03861
S.C.R.D. BOOK 4484, PAGE 278
TAX MAP 239, LOT 4
N/F BERNARD F. & SUSAN D. BENNETT
611 FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH 03825
S.C.R.D. BOOK 3954, PAGE 119
TAX MAP 239, LOT 1
SEE PLAN REFERENCE #3
N/F HARVEY, CANDICE K.
P.O. BOX 452
BARRINGTON, NH 03825
S.C.R.D. BOOK 4710, PAGE 1016
TAX MAP 239, LOT 1
SEE PLAN REFERENCE #5

SOILS:
GsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
HdC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES
SEE WEBSOIL USDA-NRCS

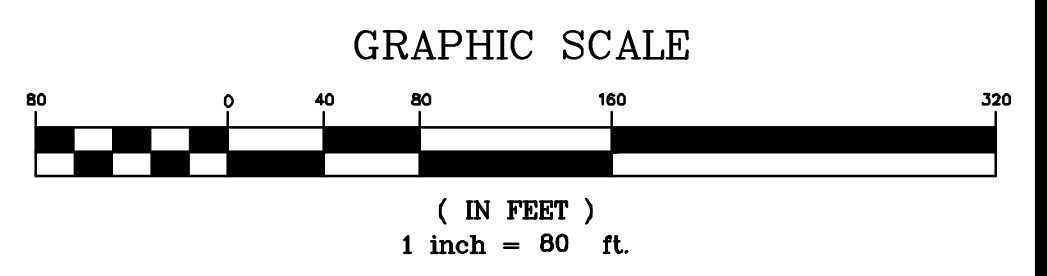
ROAD NOTE:
NH ROUTE 9 / FRANKLIN PIERCE HIGHWAY;
CLASS V. PAVED
4 RODS WIDE, NH STATE PAPERS - BOOK 18,
PAGE 859



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - ZONING: TOWN CENTER
FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50.0'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -
KENNETH A. BERRY LLS 805 DATE

REVISION	DATE	DESCRIPTION

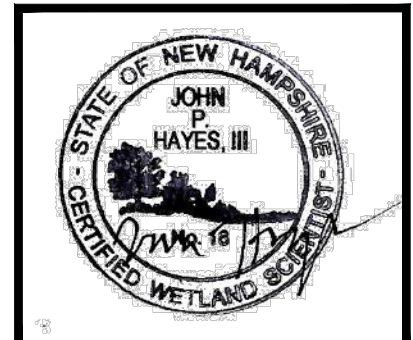
EXISTING CONDITIONS OVERVIEW PLAN - SOUTH AND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 80 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

LEGEND:

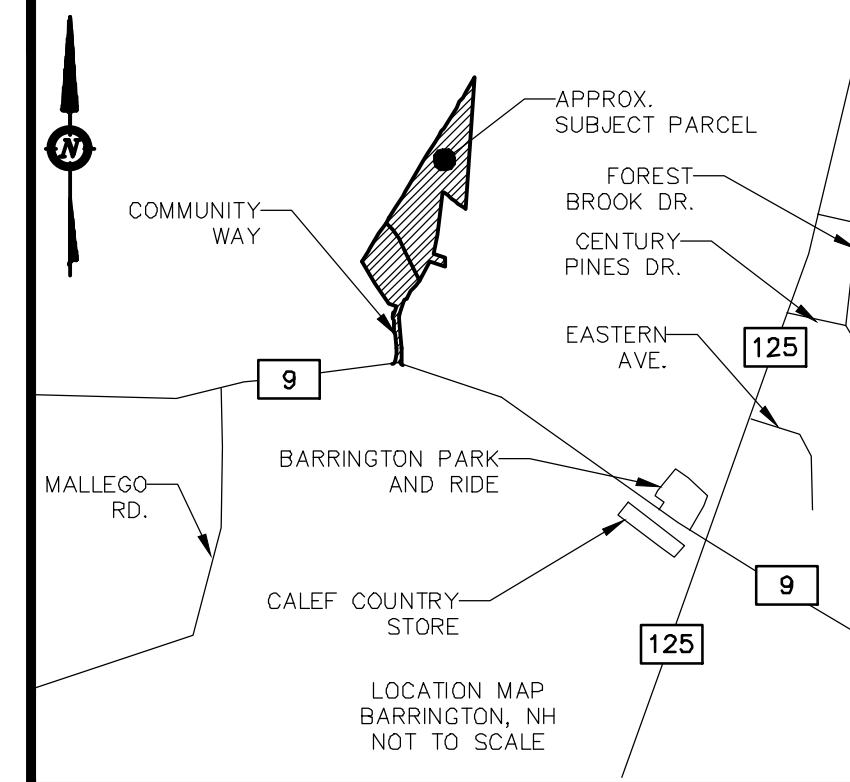
- DRILL HOLE (FND)
- IRON PIPE (FND)
- IRON BOUND (FND)
- UTILITY POLE
- ⊠ WELL
- ⊠ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- S.C.R.D. TYP. FND
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYPICAL FND
- FOUND

N/F DAVID R. & GLENDA J. HERDERSON
 UND INT LIV REV TRUST 1/2
 1272 WINGED FOOT LANE
 DENVER, NC 28037-6520
 S.C.R.D. BOOK 897, PAGE 121
 TAX MAP 235, LOT 1
 SEE PLAN REFERENCE #5

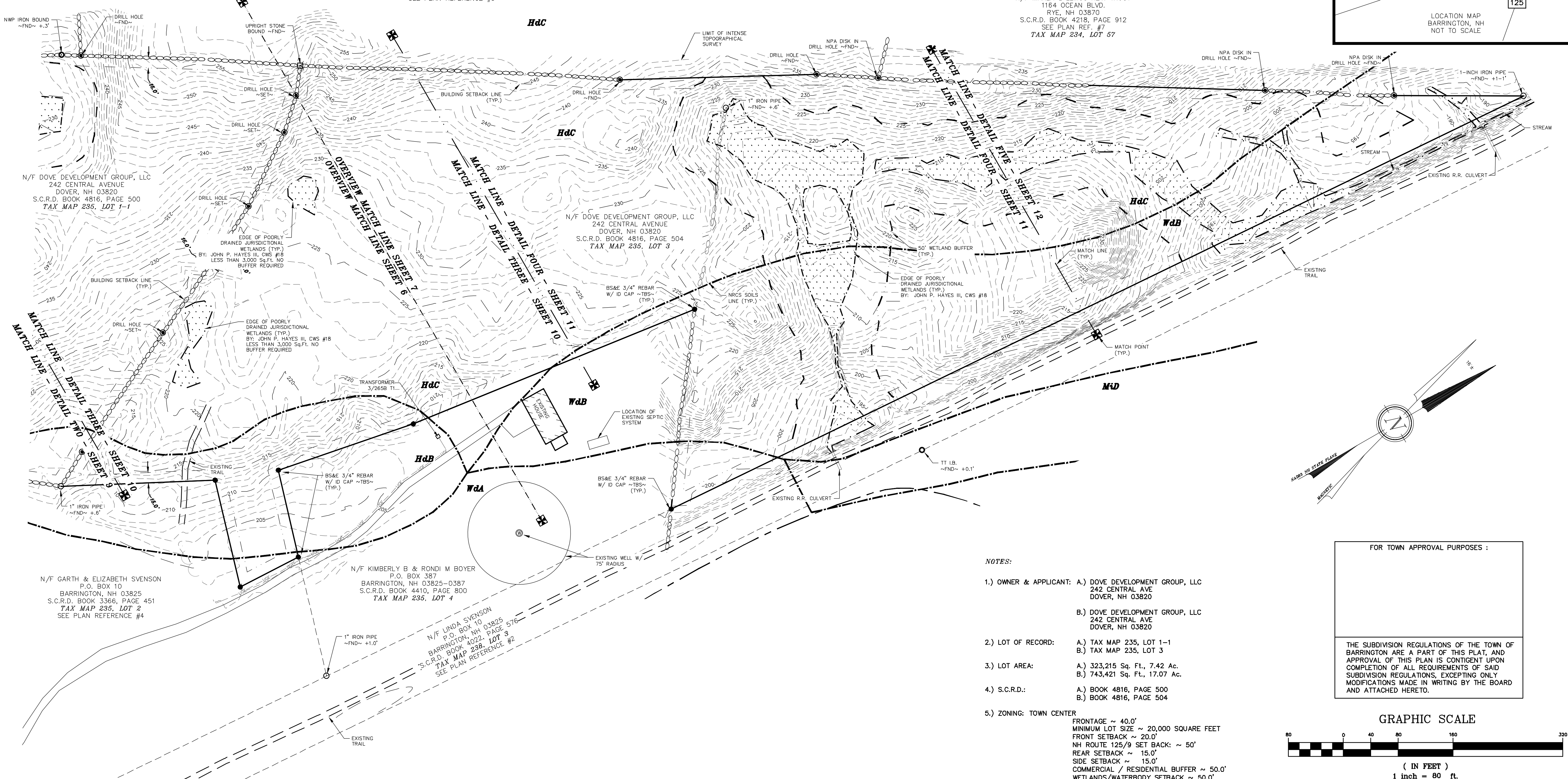


JOHN P. HAYES III, CWS #18

WETLAND NOTES:
 WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE
 DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING
 THE FOLLOWING STANDARDS:
 1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND
 DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION,
 (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE
 FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED
 STATES DEPARTMENT OF AGRICULTURE (2016).
 3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



N/F MARLA L LEMOS REV. TRUST
 1164 OCEAN BLVD.
 RYE, NH 03870
 S.C.R.D. BOOK 4218, PAGE 912
 SEE PLAN REF. #7
 TAX MAP 234, LOT 57



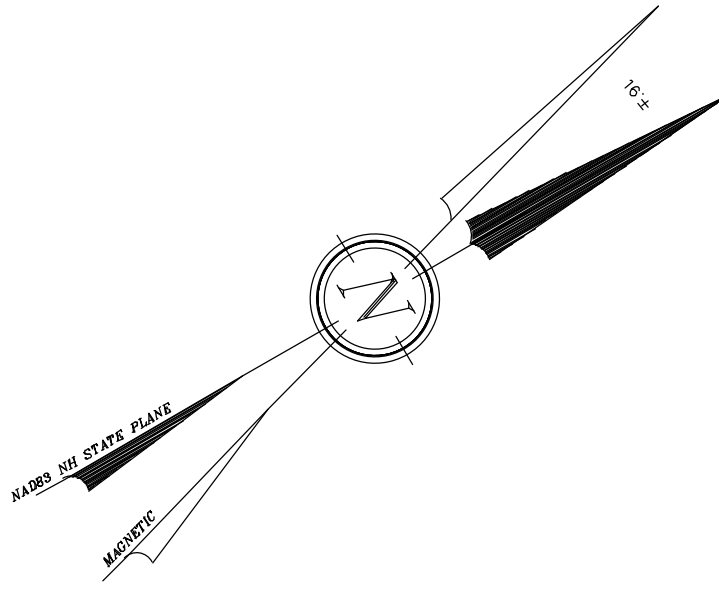
N/F DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVENUE
 DOVER, NH 03820
 S.C.R.D. BOOK 4816, PAGE 500
 TAX MAP 235, LOT 1-1

N/F DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVENUE
 DOVER, NH 03820
 S.C.R.D. BOOK 4816, PAGE 504
 TAX MAP 235, LOT 3

N/F KIMBERLY B & RONDI M BOYER
 P.O. BOX 387
 BARRINGTON, NH 03825-0387
 S.C.R.D. BOOK 4410, PAGE 800
 TAX MAP 235, LOT 4

N/F GARTH & ELIZABETH SVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 3366, PAGE 451
 TAX MAP 235, LOT 2
 SEE PLAN REFERENCE #4

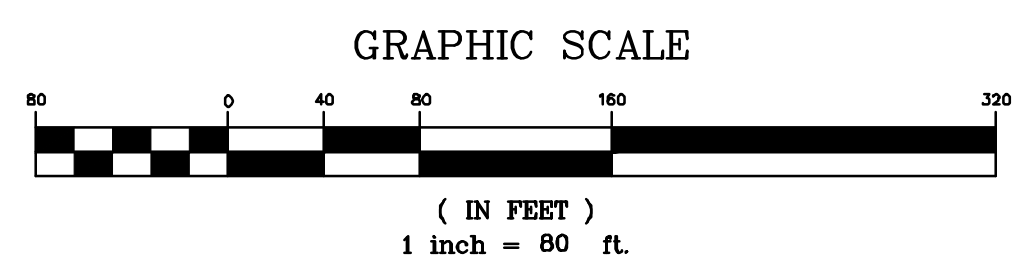
N/F LINDA SVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 4022, PAGE 576
 TAX MAP 238, LOT 9
 SEE PLAN REFERENCE #2



NOTES:

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
 B.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
 B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
 B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
 B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER
 FRONTAGE ~ 40.0'
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
 FRONT SETBACK ~ 20.0'
 NH ROUTE 125/9 SET BACK: ~ 50'
 REAR SETBACK ~ 15.0'
 SIDE SETBACK ~ 15.0'
 COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
 WETLANDS/WATERBODY SETBACK ~ 50.0'
 MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF,
 THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD
 HAZARD REF: FEMA COMMUNITY# ~330178, MAP# ~ 3301700305E,
 DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS.
 HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED
 USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF
 TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF
 THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP
 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :
 THE SUBDIVISION REGULATIONS OF THE TOWN OF
 BARRINGTON ARE A PART OF THIS PLAT, AND
 APPROVAL OF THIS PLAN IS CONTINGENT UPON
 COMPLETION OF ALL REQUIREMENTS OF SAID
 SUBDIVISION REGULATIONS, EXCEPTING ONLY
 MODIFICATIONS MADE IN WRITING BY THE BOARD
 AND ATTACHED HERETO.

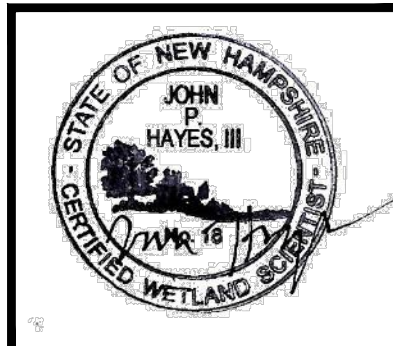


I CERTIFY THAT THIS PLAT EXCEEDS THE
 MINIMUM REQUIREMENT FOR ACCURACY AND
 COMPLETENESS OF THE STATE OF N.H. AND
 OF THE TOWN OF BARRINGTON, N.H.-- 1:10,000 --
 KENNETH A. BERRY LLS 805 DATE

REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS OVERVIEW PLAN - NORTH
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

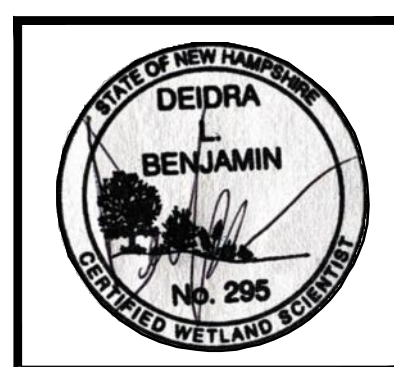
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 80 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



JOHN P. HAYES III, CWS #18

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



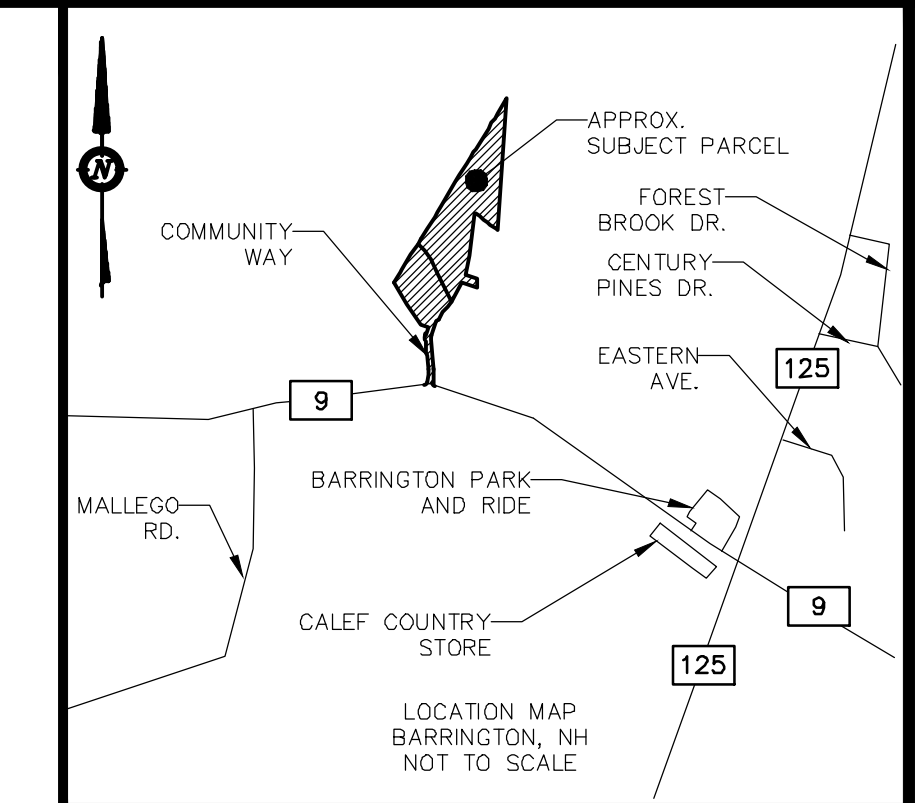
DEIDRA BENJAMIN, CWS #295

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

FOR TOWN APPROVAL PURPOSES :

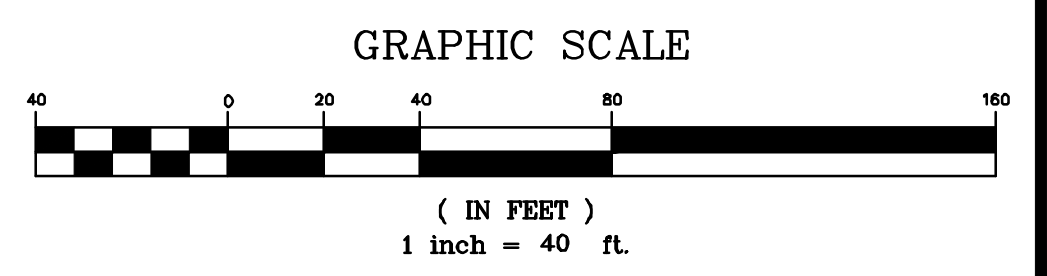
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) ZONING: TOWN CENTER
FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND CONSTRUCTION OF COMMUNITY PLAN BASED OFF 2019 BARRINGTON PLANNING BOARD APPROVAL AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.
 - 9.) SEE COMMUNITY WAY GRADING PLAN & PROFILE 0+00-5+50 FOR EXISTING DRAINAGE INVERTS AND DATA.

ROAD NOTE:
NH ROUTE 9/ FRANKLIN PIERCE HIGHWAY;
CLASS V. PAVED
4 RODS WIDE, NH STATE PAPERS - BOOK 18,
PAGE 859

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - WELL
 - MATCH POINT
 - NRCS SOIL DELINEATION LINE
 - STONE WALL
 - WETLAND LINE
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - OVERHEAD UTILITIES LINE
 - OVERVIEW MATCH LINE
 - DETAIL MATCH LINE
 - STAFFORD COUNTY REGISTRY OF DEEDS
 - TYP. FOUND



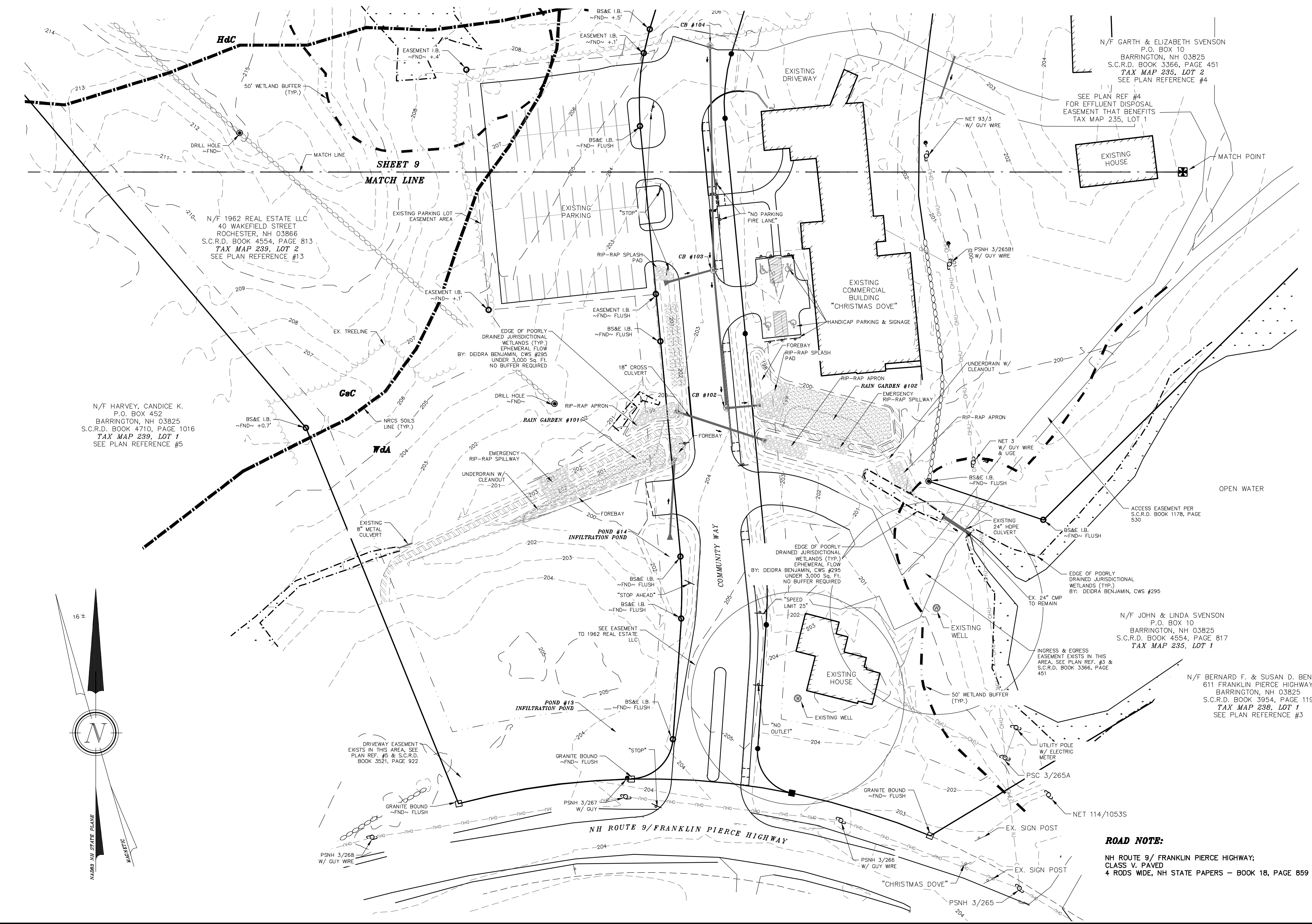
I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE

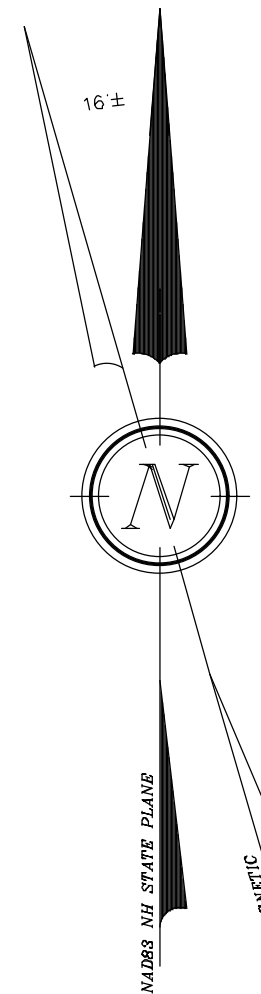
REVISION	DATE	DESCRIPTION

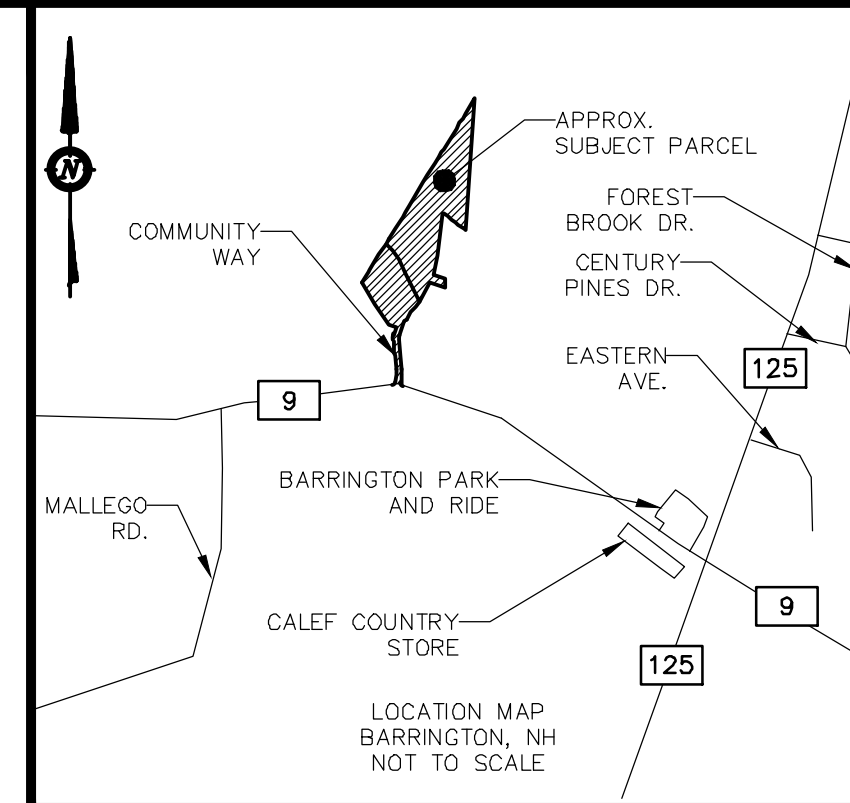
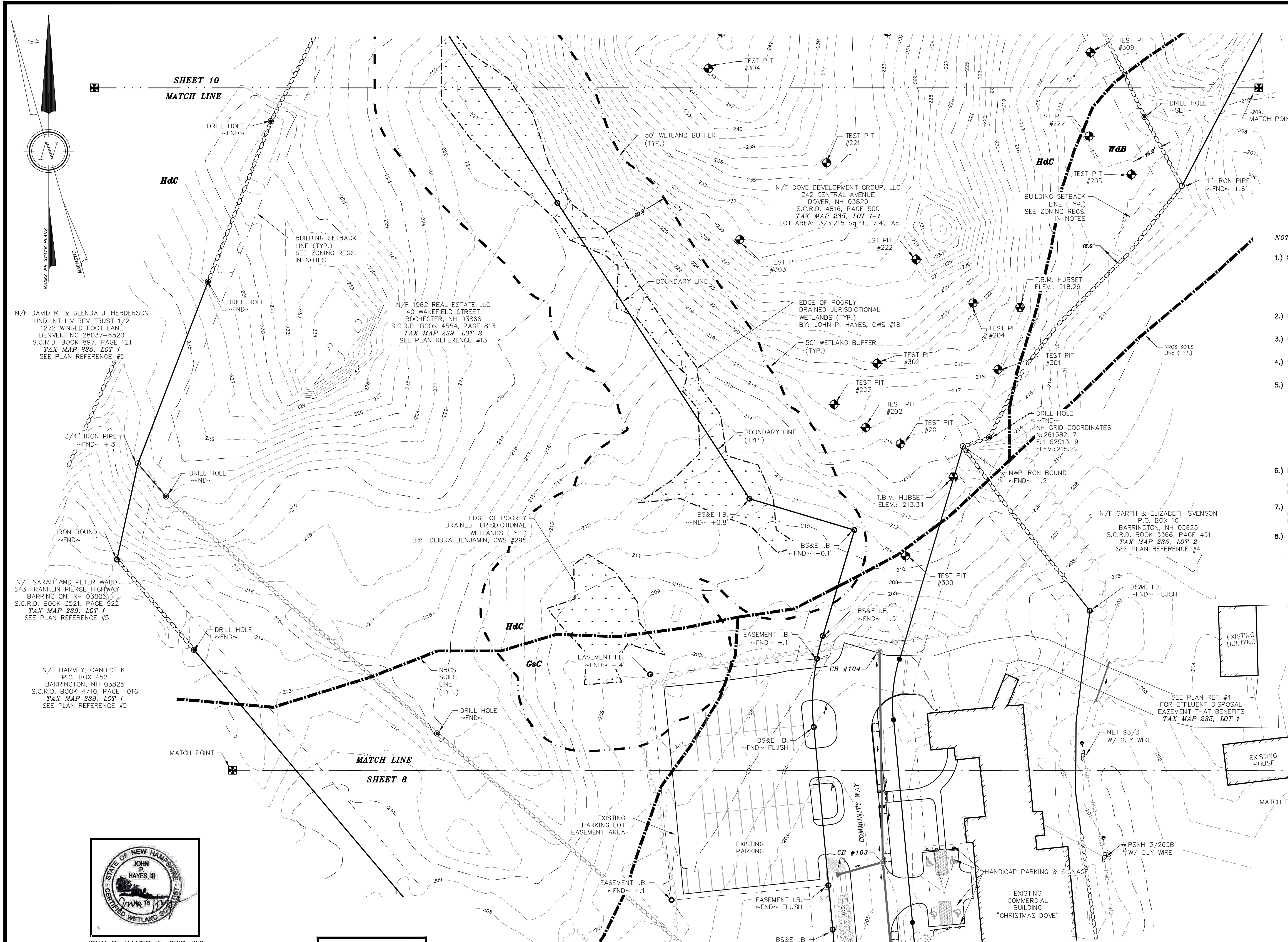
EXISTING CONDITIONS - DETAIL ONE
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



ROAD NOTE:
NH ROUTE 9/ FRANKLIN PIERCE HIGHWAY;
CLASS V. PAVED
4 RODS WIDE, NH STATE PAPERS - BOOK 18, PAGE 859



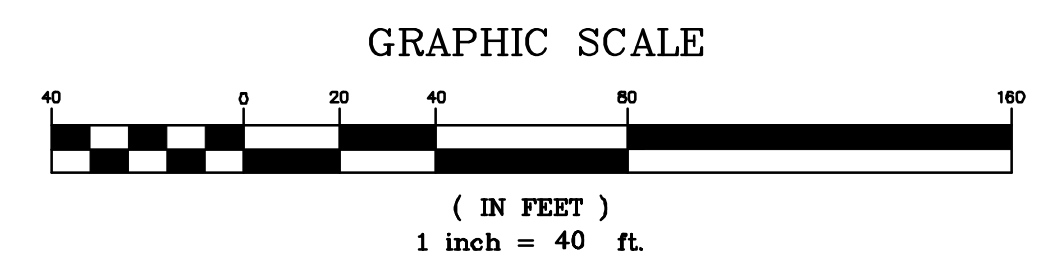


- NOTES:**
- OWNER & APPLICANT:
 - A) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD:
 - A) TAX MAP 235, LOT 1-1
 - B) TAX MAP 235, LOT 3
 - LOT AREA:
 - A) 323,215 Sq. Ft., 7.42 Ac.
 - B) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.:
 - A) BOOK 4816, PAGE 500
 - B) BOOK 4816, PAGE 504
 - ZONING: TOWN CENTER
 - FRONTAGE ~ 40.0'
 - MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
 - FRONT SETBACK ~ 20.0'
 - NH ROUTE 125/9 SET BACK: ~ 50'
 - REAR SETBACK ~ 15.0'
 - SIDE SETBACK ~ 15.0'
 - COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
 - WETLANDS/WATERBODY SETBACK ~ 50.0'
 - MAX. STRUCTURE HEIGHT: 40.0'
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN HAZARD REF.: FEMA COMMUNITY# ~ 330178, MAP# ~ 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - WELL
 - MATCH POINT
 - NRCS SOIL DELINEATION LINE
 - STONE WALL
 - WETLAND LINE
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - OVERHEAD UTILITIES LINE
 - OVERVIEW MATCH LINE
 - DETAIL MATCH LINE
 - S.C.R.D. TYP. FND
 - STRAFFORD COUNTY REGISTRY OF DEEDS TYP. FND



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE

WETLAND NOTES:

WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES: A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



WETLAND NOTES:

WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES: A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS - DETAIL TWO

LAND OF

DOVE DEVELOPMENT GROUP, LLC

N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY

COMMUNITY WAY

BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING

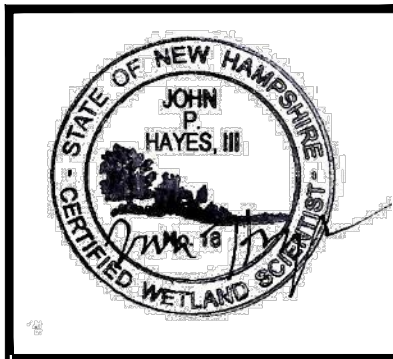
335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 40 FT.

DATE : JUNE 14, 2021

FILE NO. : DB 2020 - 097



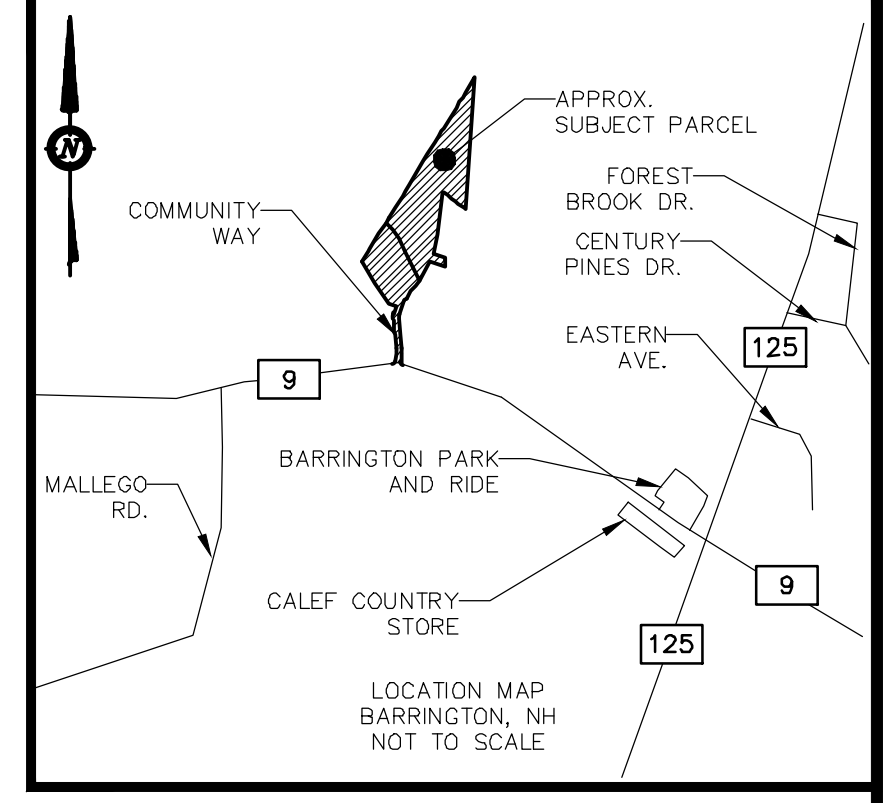
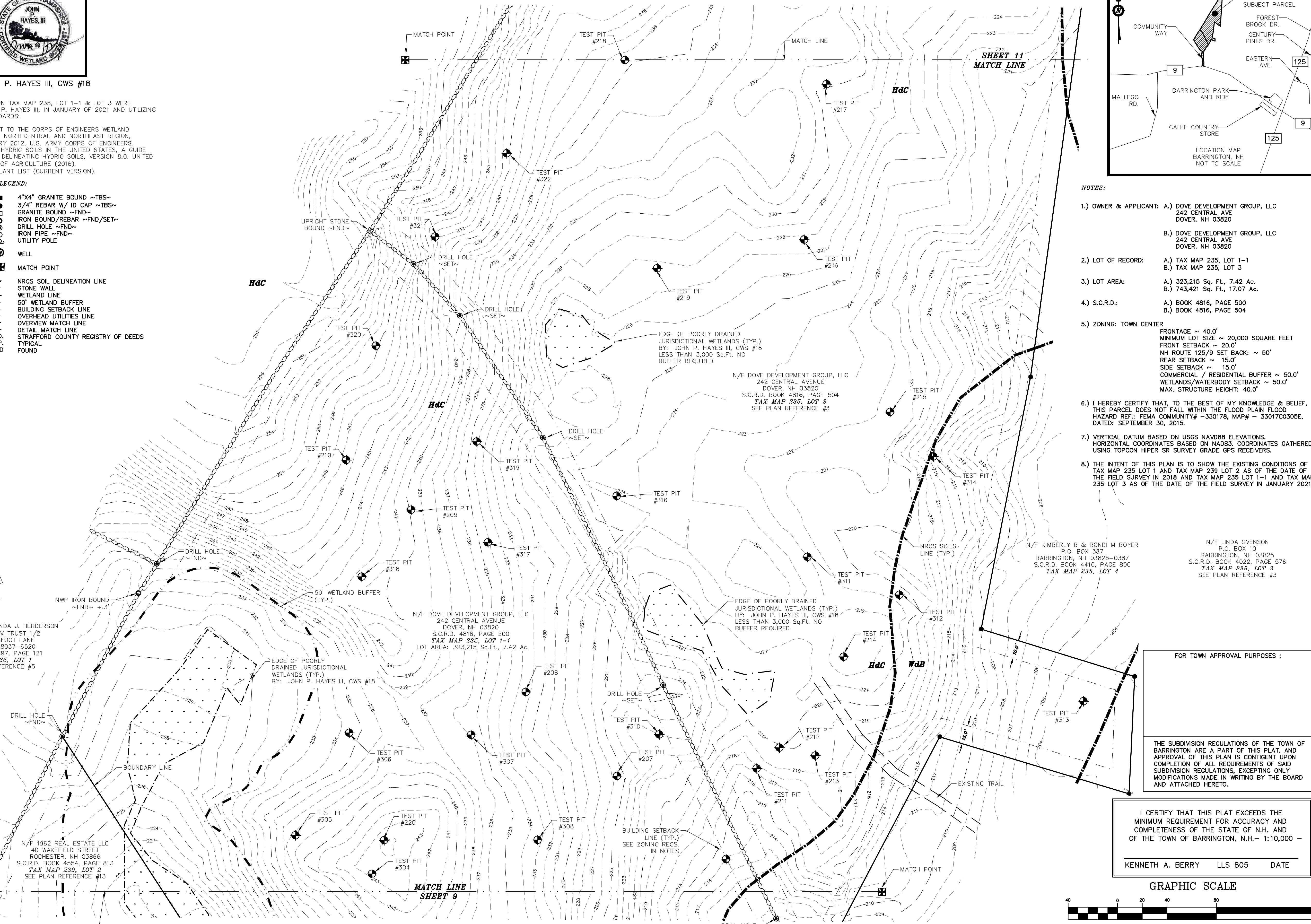
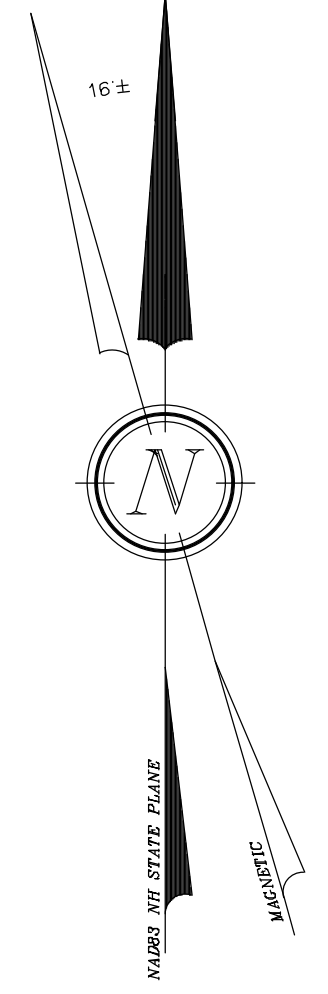
JOHN P. HAYES III, CWS #18

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- ⊙ WELL
- ⊕ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. FND

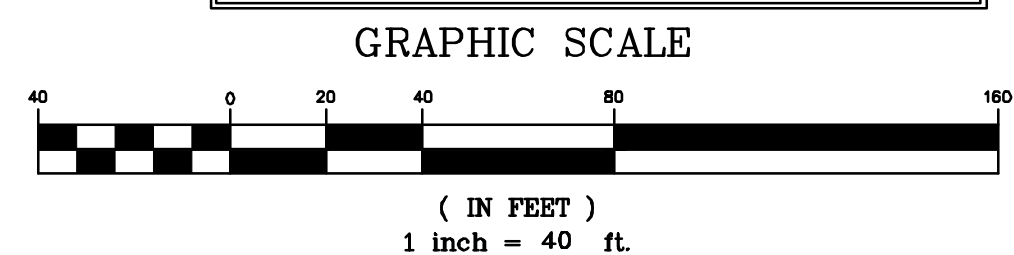


- NOTES:**
- 1) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5) ZONING: TOWN CENTER
FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
 - 6) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - 7) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

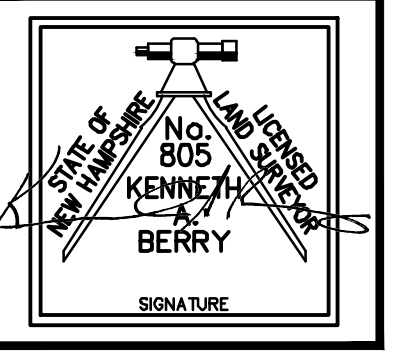
I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -
KENNETH A. BERRY LLS 805 DATE



REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS - DETAIL THREE
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097





JOHN P. HAYES III, CWS #18

WETLAND NOTES:

- WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

LEGEND:

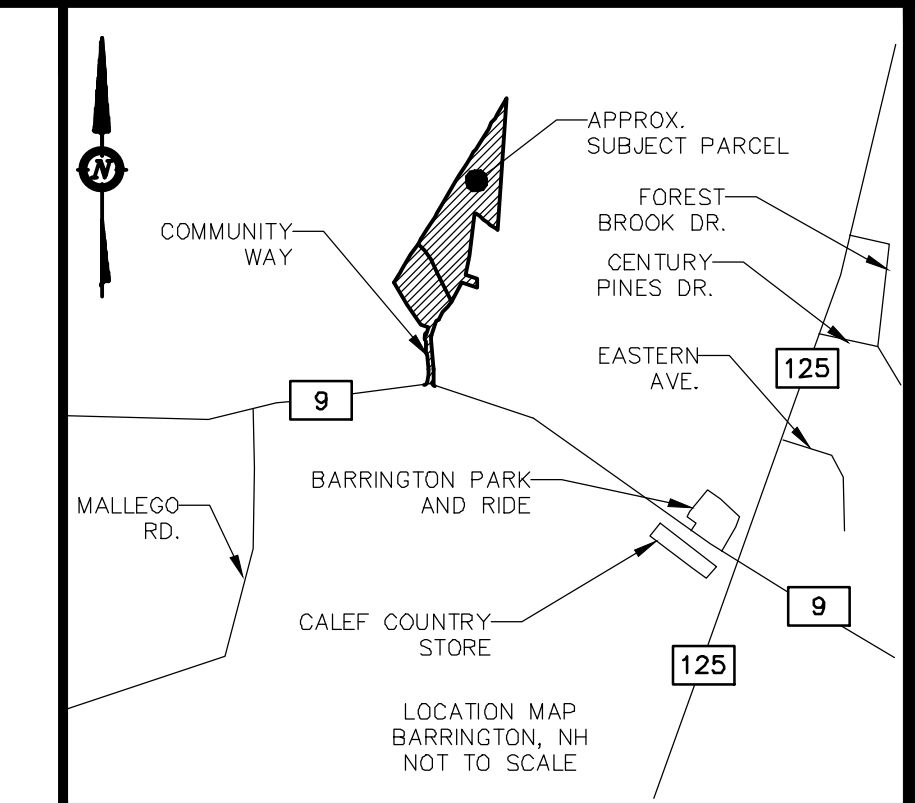
- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- WELL
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND

N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

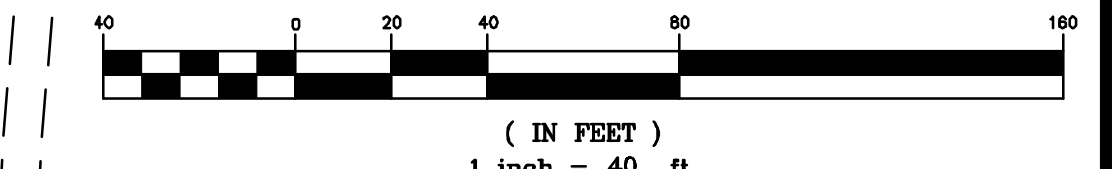
N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. BOOK 4816, PAGE 504
TAX MAP 235, LOT 3
SEE PLAN REFERENCE #3

N/F KIMBERLY B & RONDIE M BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4

N/F LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4022, PAGE 576
SEE PLAN REFERENCE #3



GRAPHIC SCALE



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - ZONING: TOWN CENTER
FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

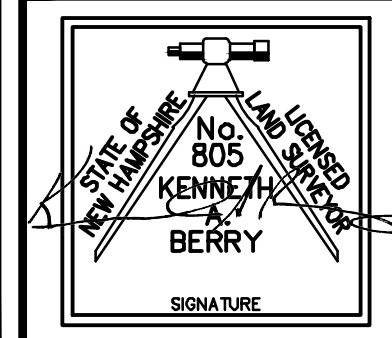
FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

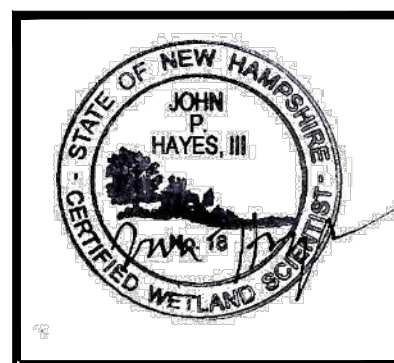


REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS - DETAIL FOUR
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- ⊙ DRILL HOLE ~FND~
- ⊙ IRON PIPE ~FND~
- ⊙ UTILITY POLE
- ⊙ WELL
- ⊙ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERWEATH MATCH LINE
- DETAIL MATCH LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. FOUND



JOHN P. HAYES III, CWS #18

WETLAND NOTES:

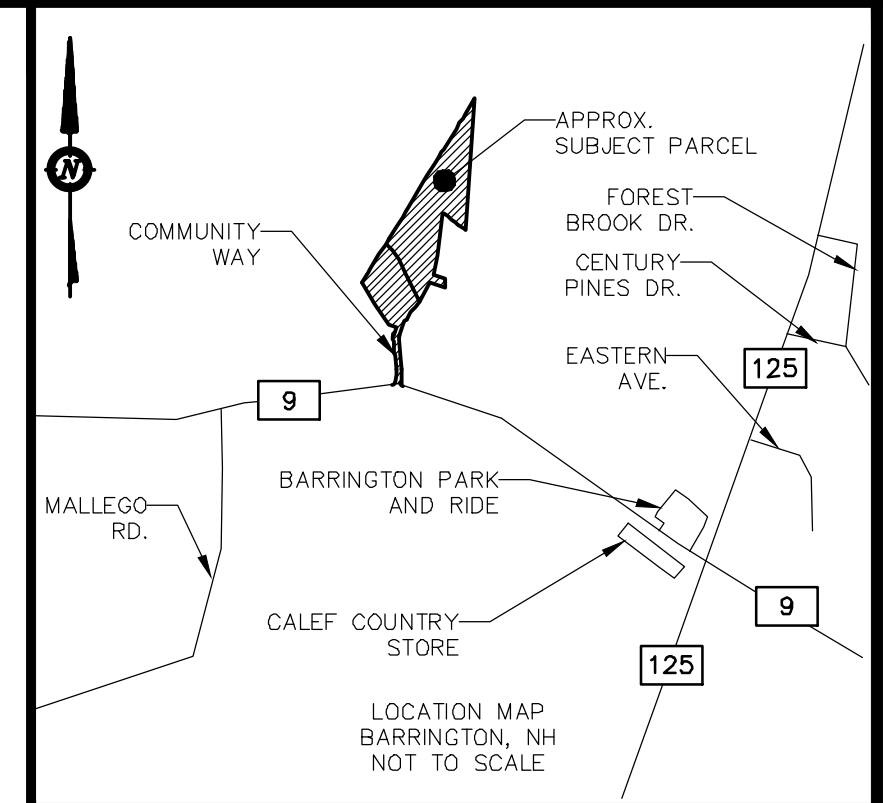
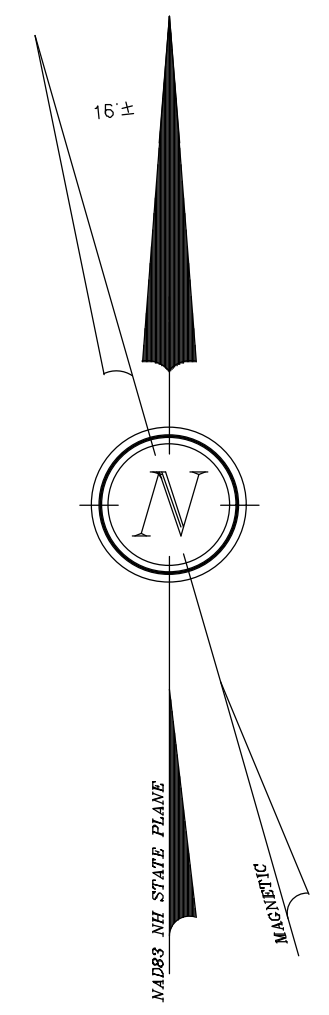
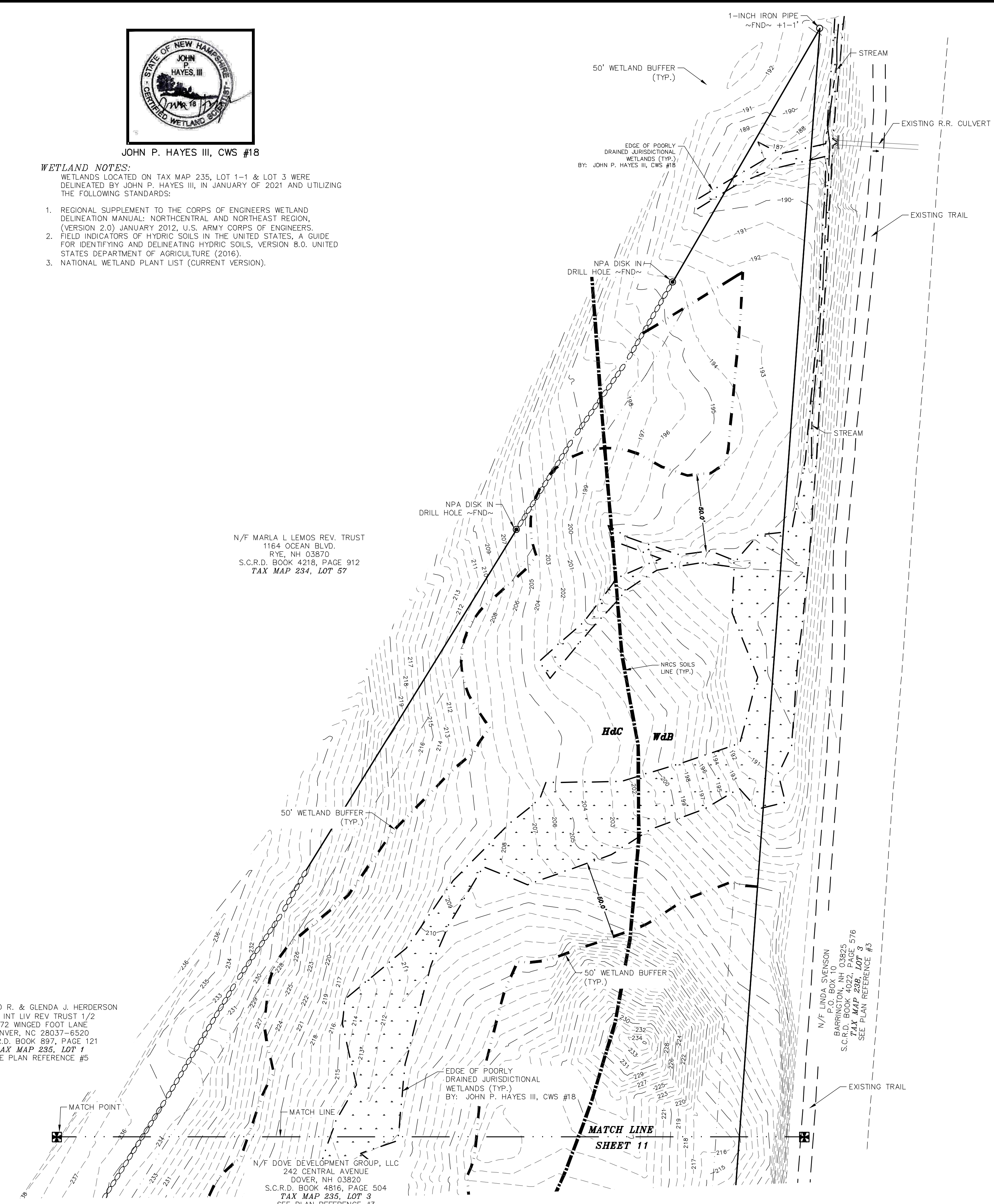
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES: A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

N/F MARLA L LEMOS REV. TRUST
1164 OCEAN BLVD.
RYE, NH 03870
S.C.R.D. BOOK 4218, PAGE 912
TAX MAP 234, LOT 57

N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. BOOK 4816, PAGE 504
TAX MAP 235, LOT 3
SEE PLAN REFERENCE #3
LOT AREA: 743,421 Sq. Ft., 17.07 Ac.



NOTES:

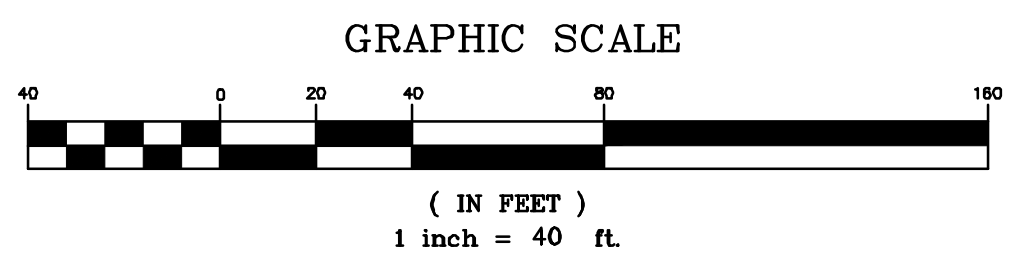
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER
FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50.0'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

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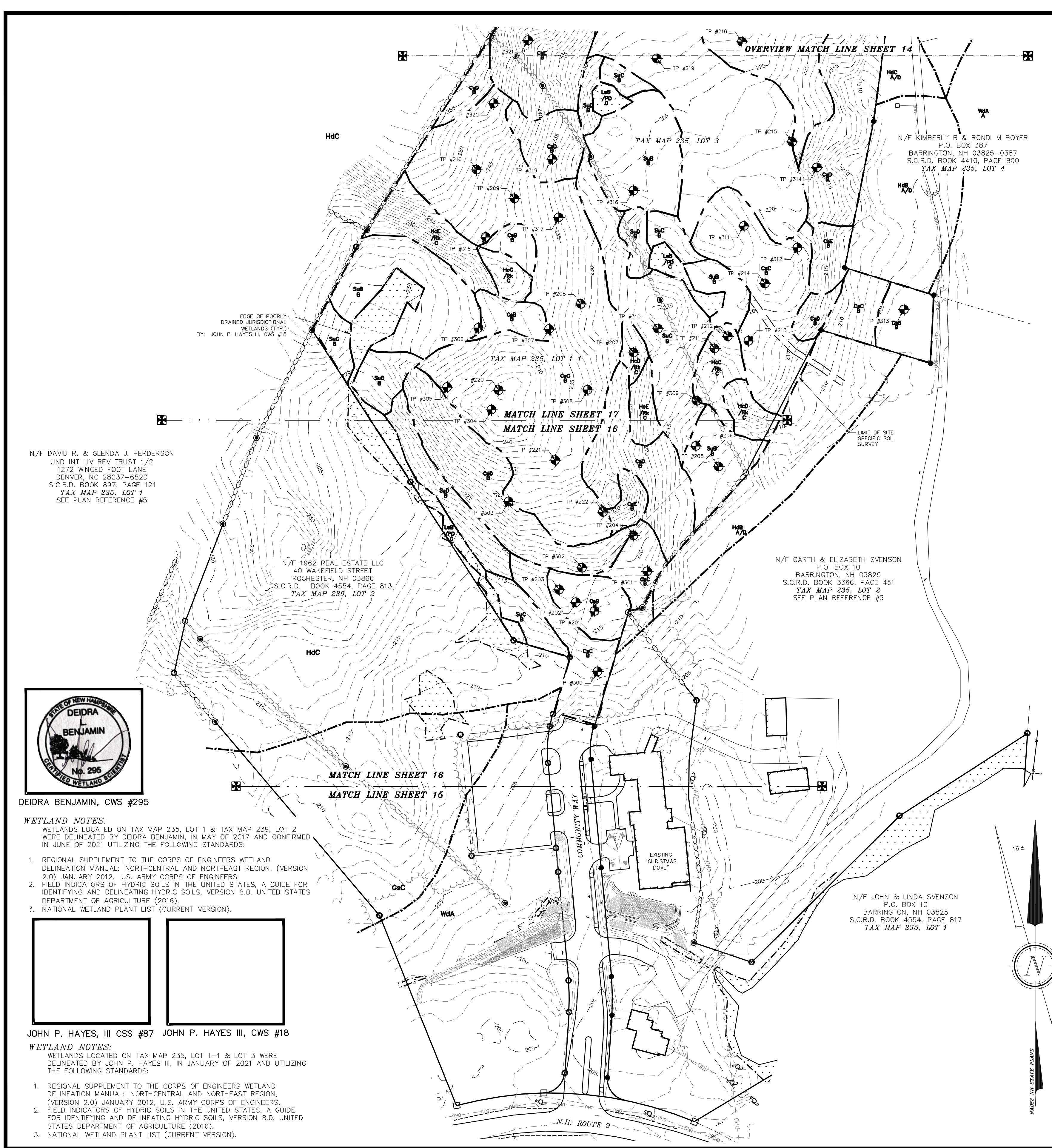
KENNETH A. BERRY LLS 805 DATE



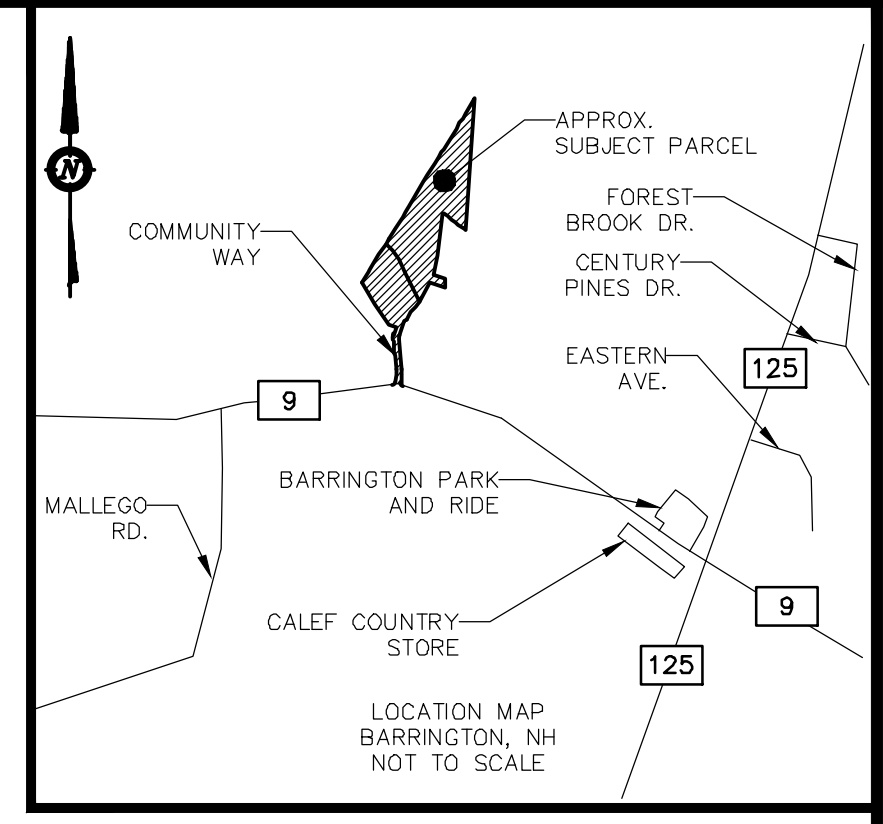
REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS - DETAIL 5
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - ZONING: TOWN CENTER
FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

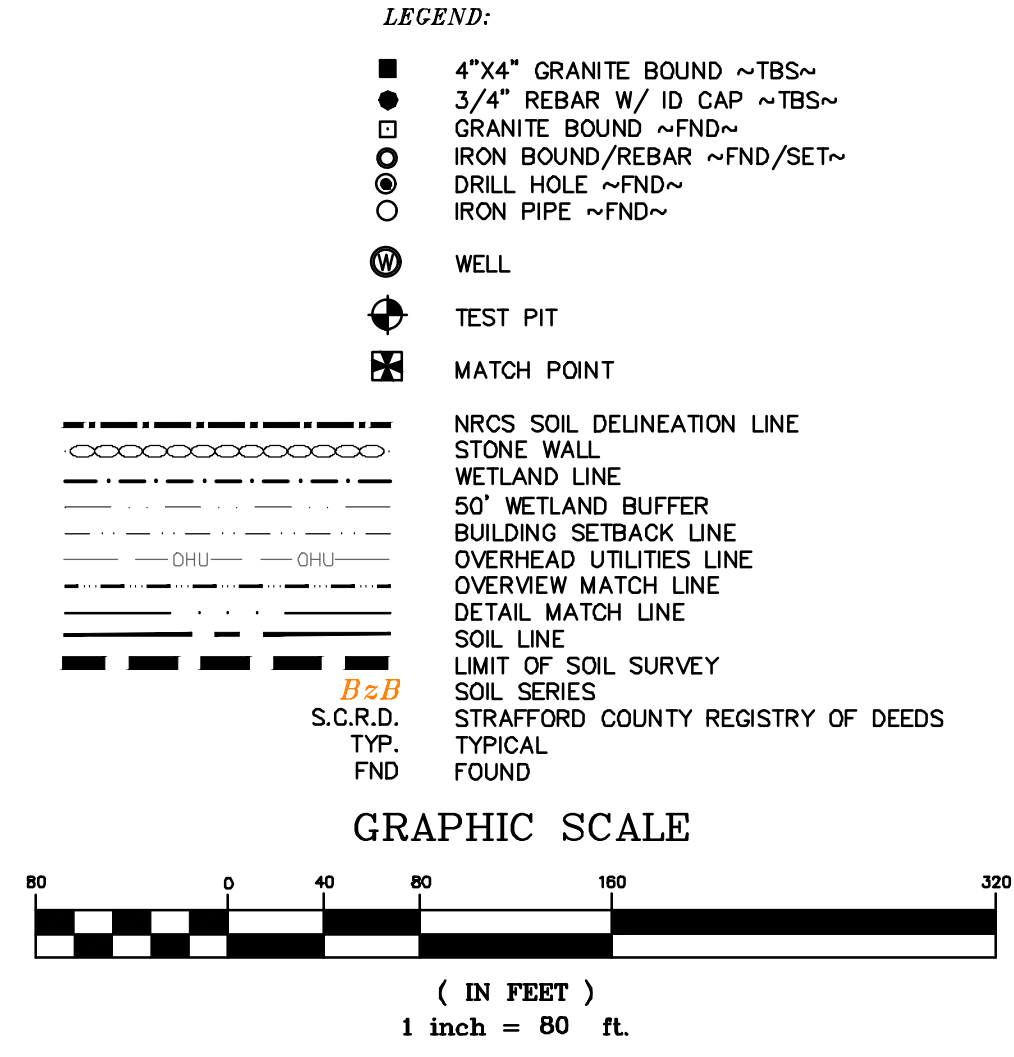


SITE SPECIFIC SOILS LEGEND

SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP
CsB	CHARLTON (VERY STONY)	B
CsC	CHARLTON (VERY STONY)	B
CsD	CHARLTON (VERY STONY)	B
CsE	CHARLTON (VERY STONY)	B
HcC	HOLLIS (VERY STONY)	C/D
HcD	HOLLIS (VERY STONY)	C/D
HcE	HOLLIS (VERY STONY)	C/D
HdD	HOLLIS CHARLTON COMPLEX (VERY STONY)	C/D
HdE	HOLLIS CHARLTON COMPLEX (VERY STONY)	C/D
LeB	LEICESTER (VERY STONY)	C
LeC	LEICESTER (VERY STONY)	C
LeD	LEICESTER (VERY STONY)	C
SuB	SUTTON	B
SuD	SUTTON	B

SLOPE: A = 0-3% B = 3-8% C = 8-15% D = 15-25% E = 25-50% F = 50%+

DENOMINATOR: /VPD = VERY POORLY DRAINED /PD = POORLY DRAINED /SPWD = SOMEWHAT POORLY DRAINED /MWD = MODERATELY WELL DRAINED /Rk = ROCKY



FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC
40 WAKEFIELD STREET
ROCHESTER, NH 03866
S.C.R.D. BOOK 4554, PAGE 813
TAX MAP 239, LOT 2

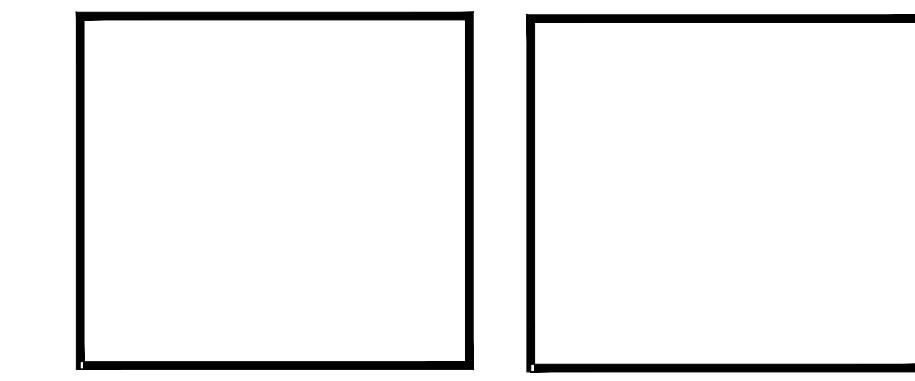
N/F GARTH & ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366, PAGE 451
TAX MAP 235, LOT 2
SEE PLAN REFERENCE #3

N/F JOHN & LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4554, PAGE 817
TAX MAP 235, LOT 1



WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

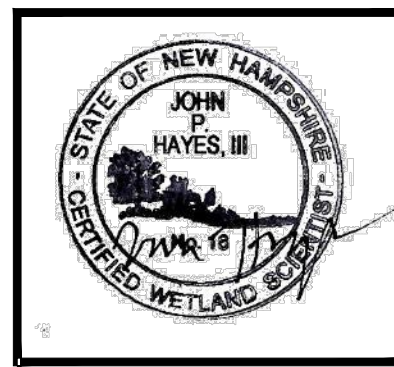
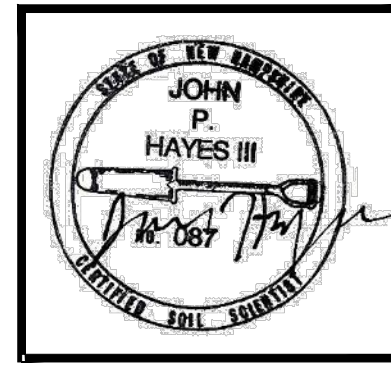
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - OVERVIEW 1
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

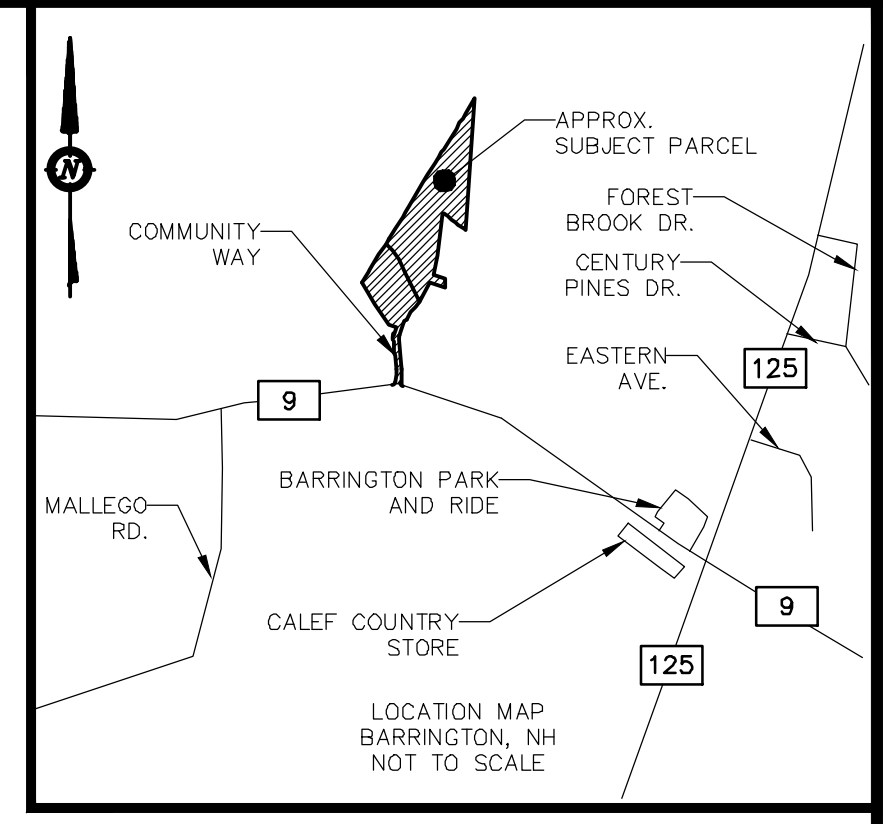
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 80 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

SHEET 13 OF 105



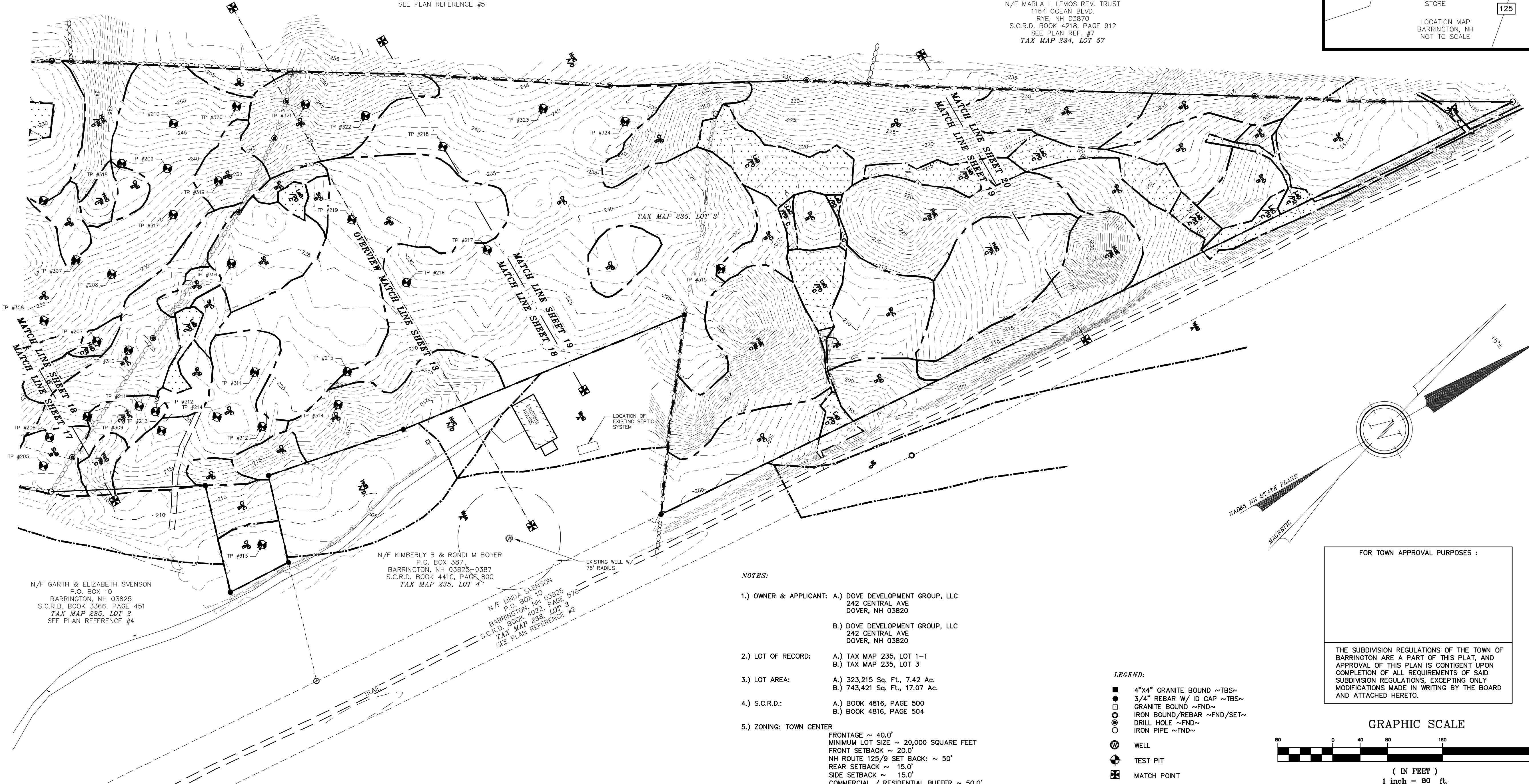
JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

WETLAND NOTES: WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS: 1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS. 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016). 3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST
1164 OCEAN BLVD.
RYE, NH 03870
S.C.R.D. BOOK 4218, PAGE 912
SEE PLAN REF. #7
TAX MAP 234, LOT 57



N/F GARTH & ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366, PAGE 451
TAX MAP 235, LOT 2
SEE PLAN REFERENCE #4

N/F KIMBERLY B. & RONDI M. BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4

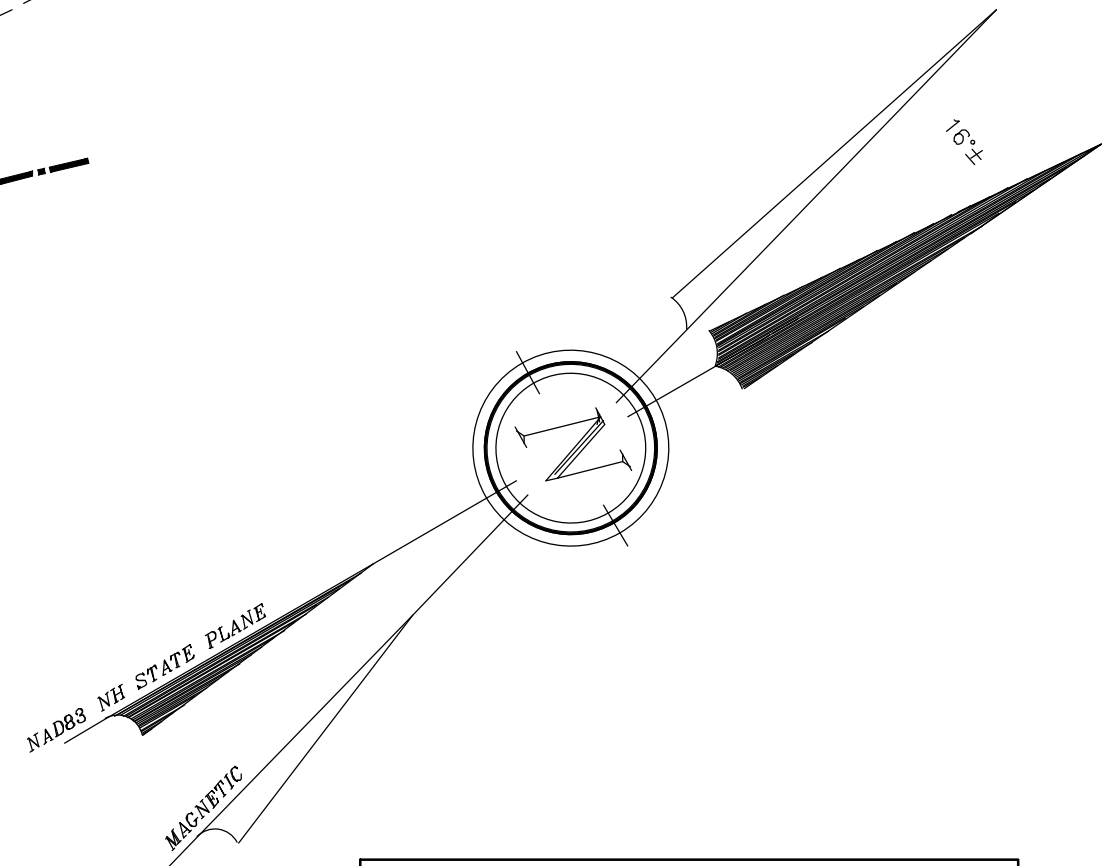
N/F UNDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4028, PAGE 576
TAX MAP 236, LOT 3
SEE PLAN REFERENCE #2

NOTES:

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820 B.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1 B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac. B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500 B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER FRONTAGE ~ 40.0' MINIMUM LOT SIZE ~ 20,000 SQUARE FEET FRONT SETBACK ~ 20.0' NH ROUTE 125/9 SET BACK: ~ 50' REAR SETBACK ~ 15.0' SIDE SETBACK ~ 15.0' COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0' WETLANDS/WATERBODY SETBACK ~ 50.0' MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- WELL
- TEST PIT
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYPICAL
- FOUND

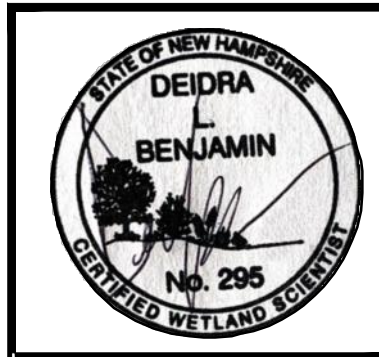


FOR TOWN APPROVAL PURPOSES : THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - OVERVIEW 2
LAND OF DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 80 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



DEIDRA BENJAMIN, CWS #295

WETLAND NOTES:

- WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

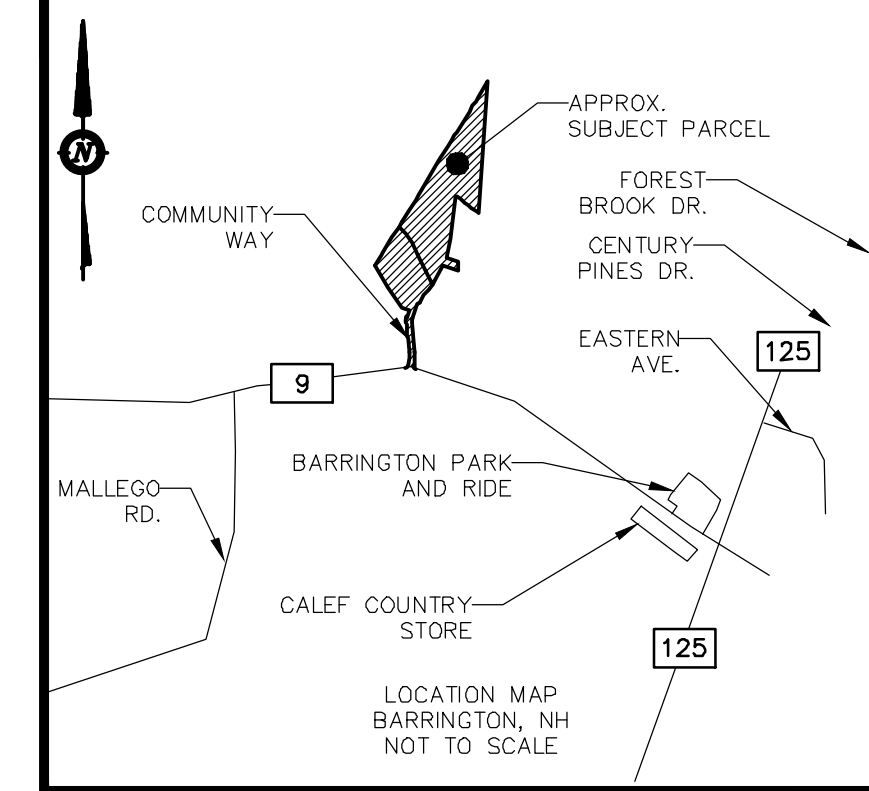
JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

WETLAND NOTES:

- WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



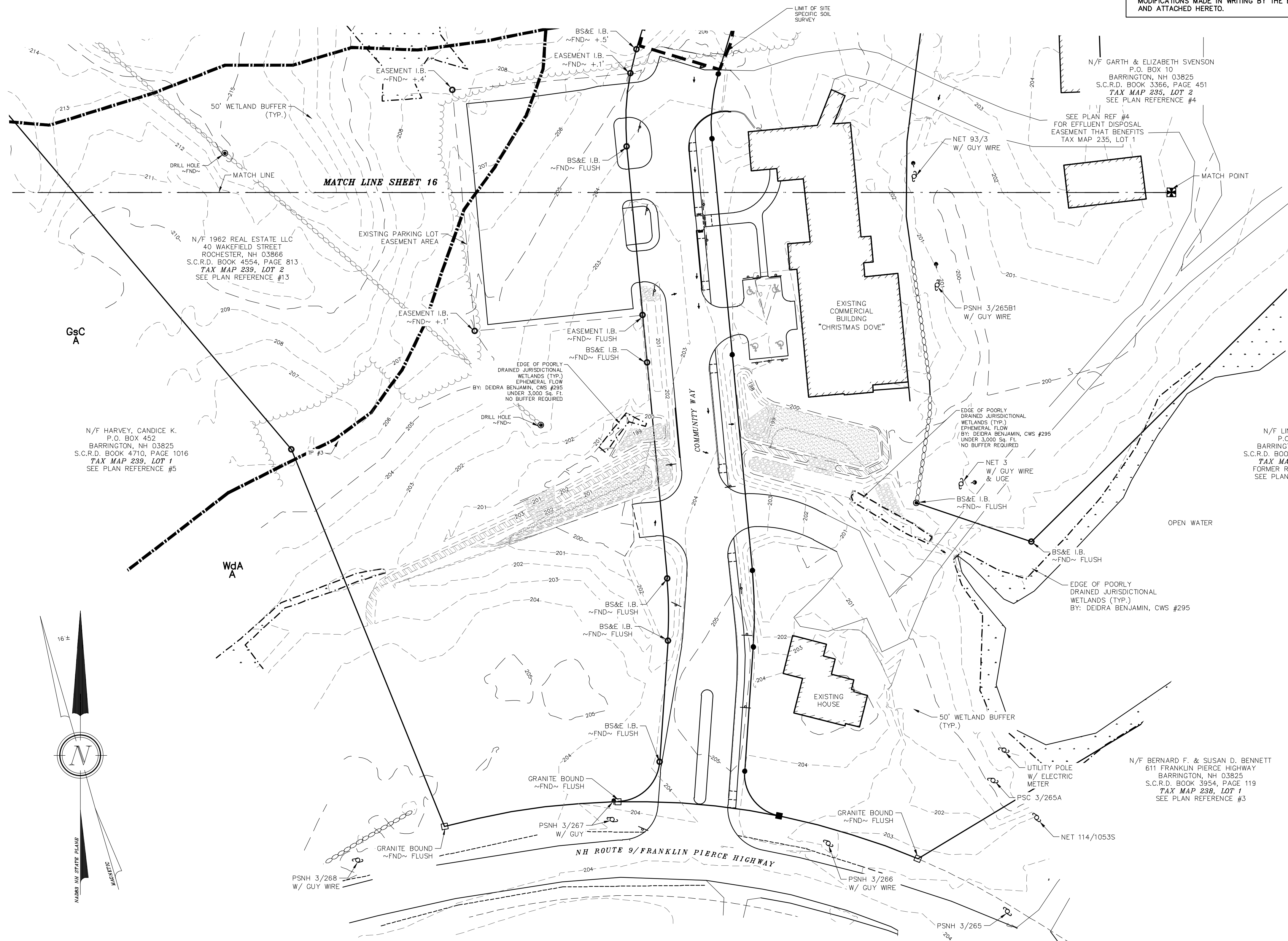
NOTES:

- OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
B) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
- LOT OF RECORD: A) TAX MAP 235, LOT 1-1
B) TAX MAP 235, LOT 3
- LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.
B) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.: A) BOOK 4816, PAGE 500
B) BOOK 4816, PAGE 504
- ZONING: TOWN CENTER
FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# ~ 330178, MAP# ~ 3301700305E, DATED: SEPTEMBER 30, 2015.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.
- NO SSSM WAS PROVIDED FOR THE ORIGINAL 2019 BARRINGTON PLANNING BOARD APPROVAL.

REVISION	DATE	DESCRIPTION

NRCS SOILS MAP - DETAIL 1
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

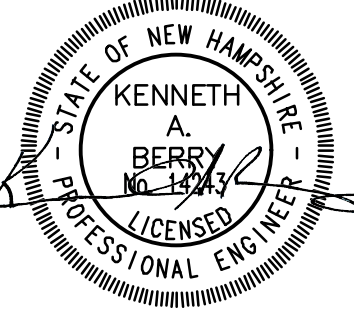
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- WELL
- TEST PIT
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.



WETLAND NOTES:
 WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~

- WELL
- TEST PIT
- MATCH POINT

- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- S.C.R.D.
- TYP.
- FND

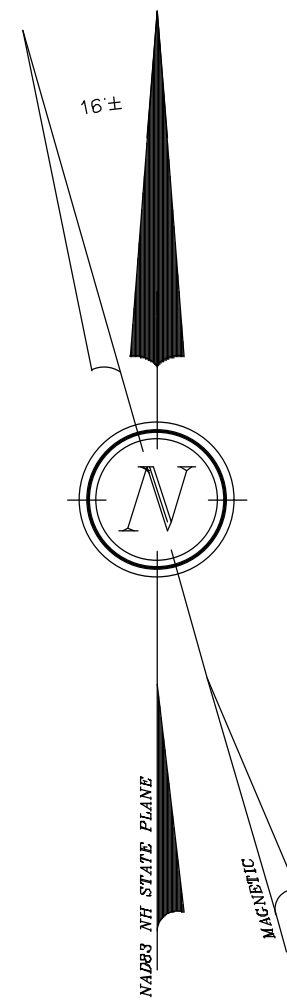
JOHN P. HAYES III, CWS #18

JOHN P. HAYES, III CSS #87

GRAPHIC SCALE

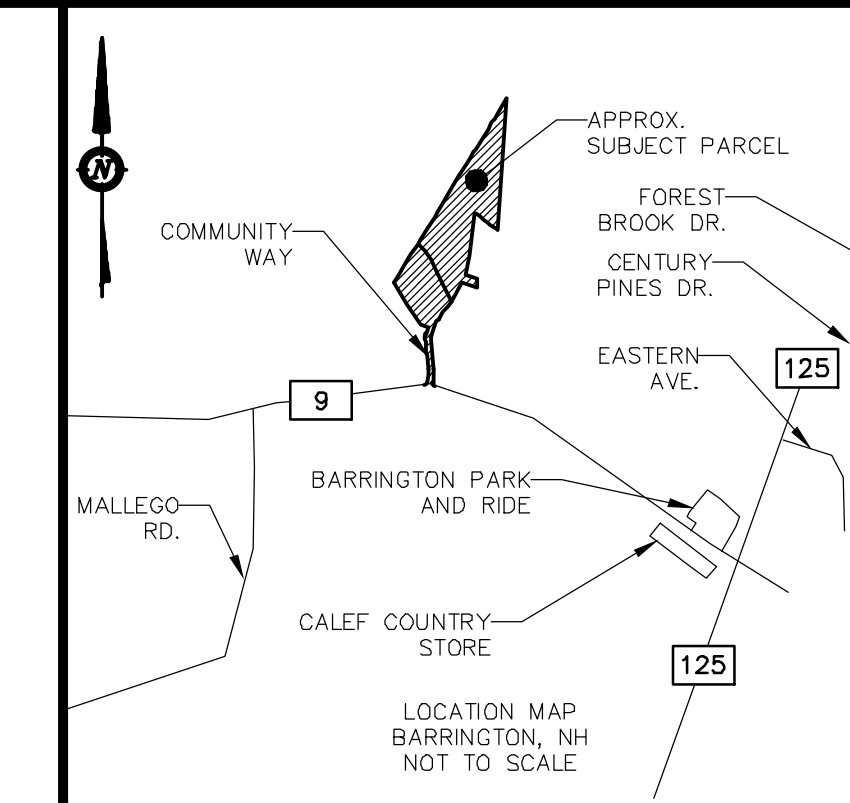
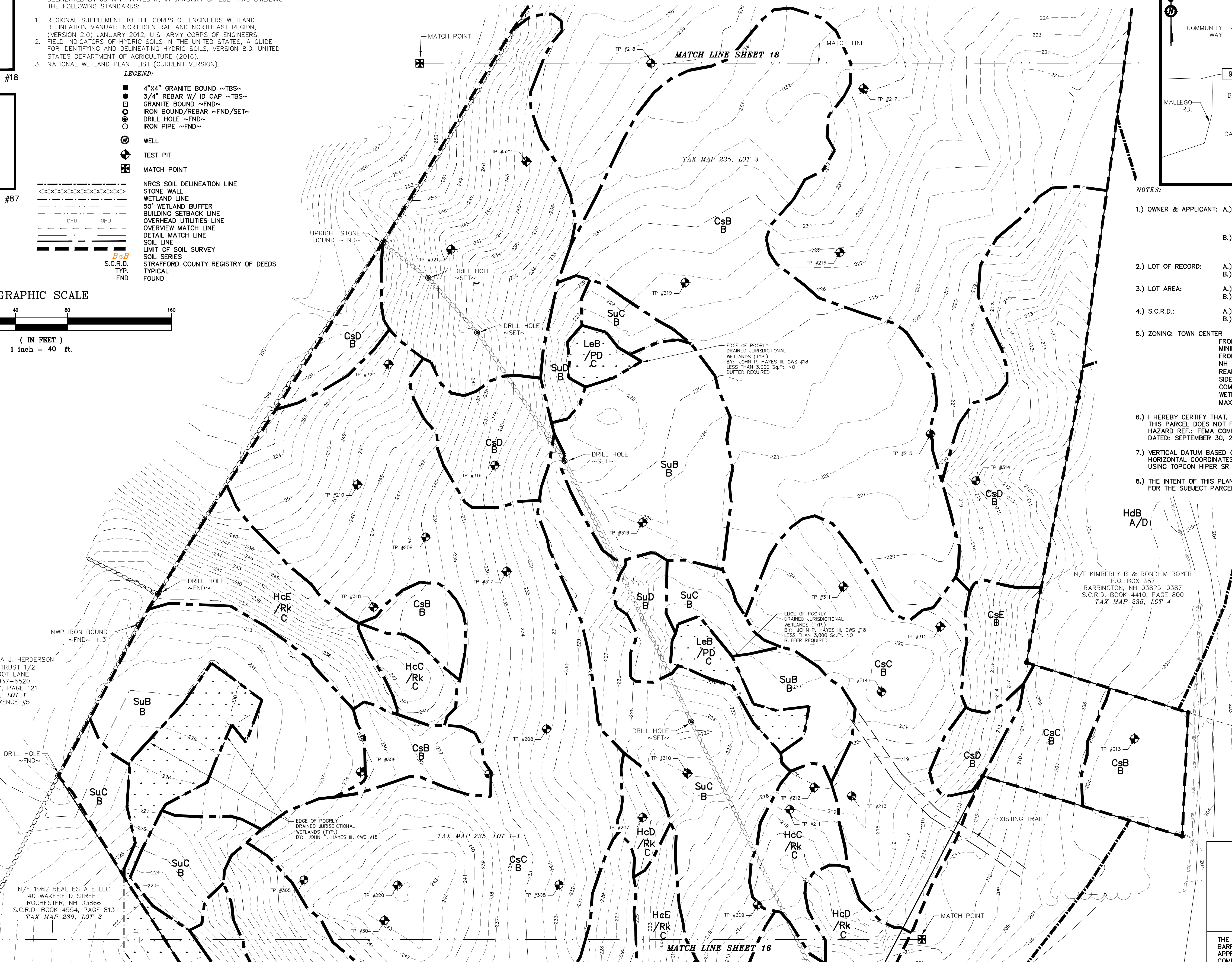


(IN FEET)
 1 inch = 40 ft.



N/F DAVID R. & GLENDA J. HERDERSON
 UND INT LIV TRUST 1/2
 1272 WINGED FOOT LANE
 DENVER, NC 28037-8520
 S.C.R.D. BOOK 897, PAGE 121
 TAX MAP 235, LOT 1
 SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC
 40 WAKEFIELD STREET
 ROCHESTER, NH 03866
 S.C.R.D. BOOK 4554, PAGE 813
 TAX MAP 235, LOT 2

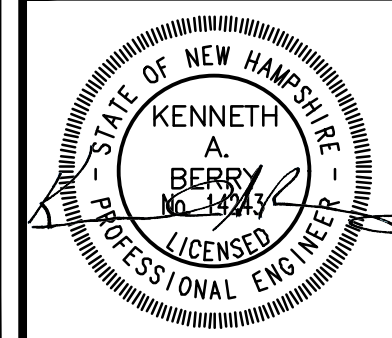


- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
 B.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
 B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
 B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
 B.) BOOK 4816, PAGE 504
 - ZONING: TOWN CENTER
 FRONTAGE ~ 40.0'
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
 FRONT SETBACK ~ 20.0'
 NH ROUTE 125/9 SET BACK: ~ 50.0'
 REAR SETBACK ~ 15.0'
 SIDE SETBACK ~ 15.0'
 COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
 WETLANDS/WATERBODY SETBACK ~ 50.0'
 MAX. STRUCTURE HEIGHT: 40.0'
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

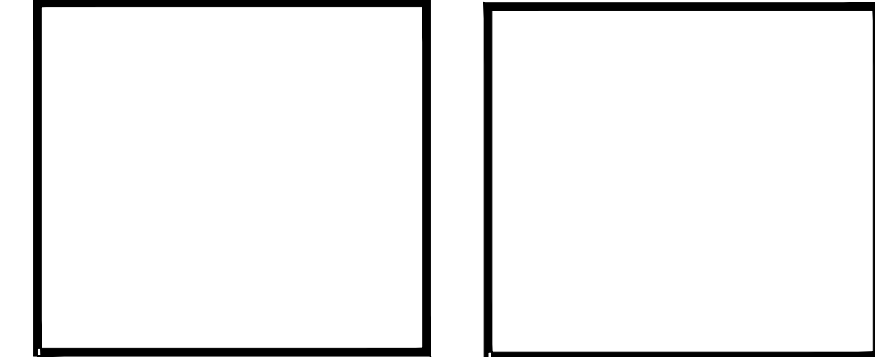
REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - DETAIL 3
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 40 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



FOR TOWN APPROVAL PURPOSES :
 THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



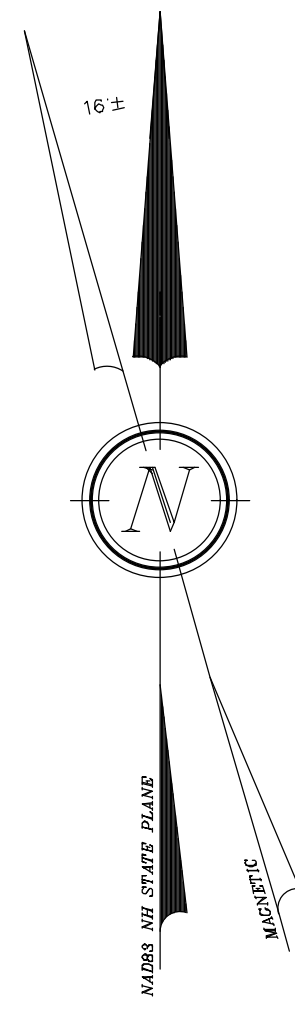
JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

WETLAND NOTES:
 WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- ⊕ WELL
- ⊕ TEST PIT
- ⊕ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND



N/F DAVID R. & GLENDA J. HERDERSON
 UND INT LIV REV TRUST 1/2
 1272 WINGED FOOT LANE
 DENVER, CO 80207-6520
 S.C.R.D. BOOK 897, PAGE 121
 TAX MAP 235, LOT 1
 SEE PLAN REFERENCE #5

HdC A/D

TP #324

TP #323

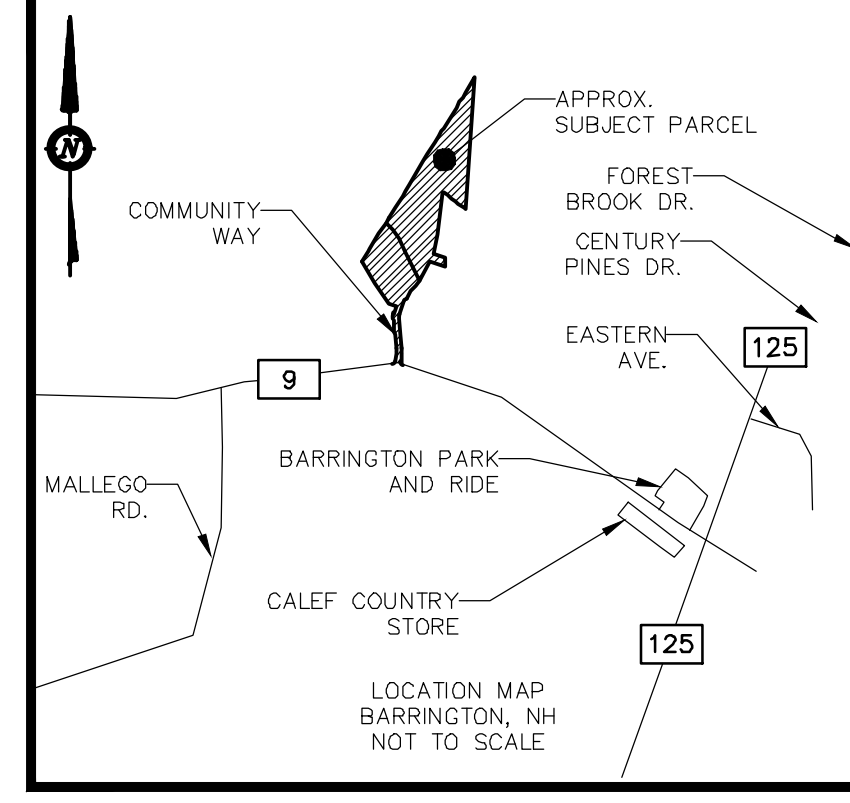
TP #218

TP #217



TAX MAP 235, LOT 3

N/F KIMBERLY B & RONDI M BOYER
 P.O. BOX 367
 BARRINGTON, NH 03825-0367
 S.C.R.D. BOOK 4410, PAGE 800
 TAX MAP 235, LOT 4



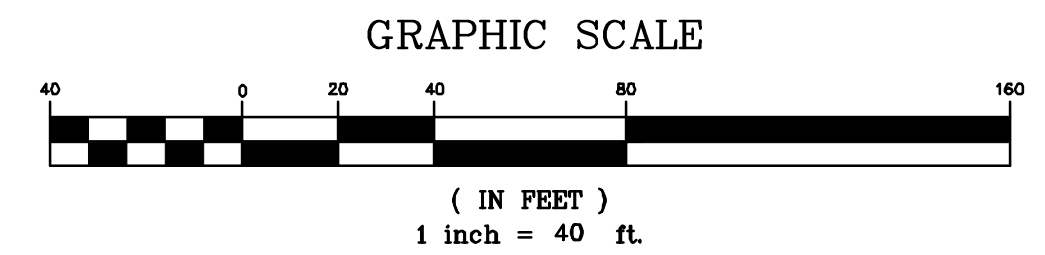
NOTES:

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
 B.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
 B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
 B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
 B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER
 FRONTAGE ~ 40.0'
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
 FRONT SETBACK ~ 20.0'
 NH ROUTE 125/9 SET BACK: ~ 50'
 REAR SETBACK ~ 15.0'
 SIDE SETBACK ~ 15.0'
 COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
 WETLANDS/WATERBODY SETBACK ~ 50.0'
 MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

N/F LINDA SVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 4022, PAGE 576
 TAX MAP 238, LOT 3
 SEE PLAN REFERENCE #3

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

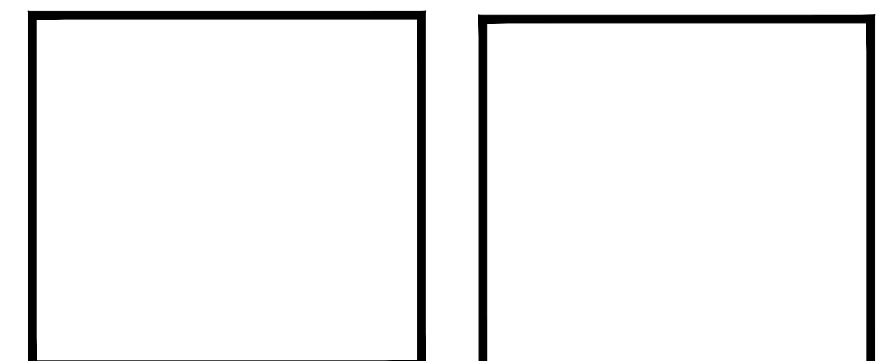


REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - DETAIL 4
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 40 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

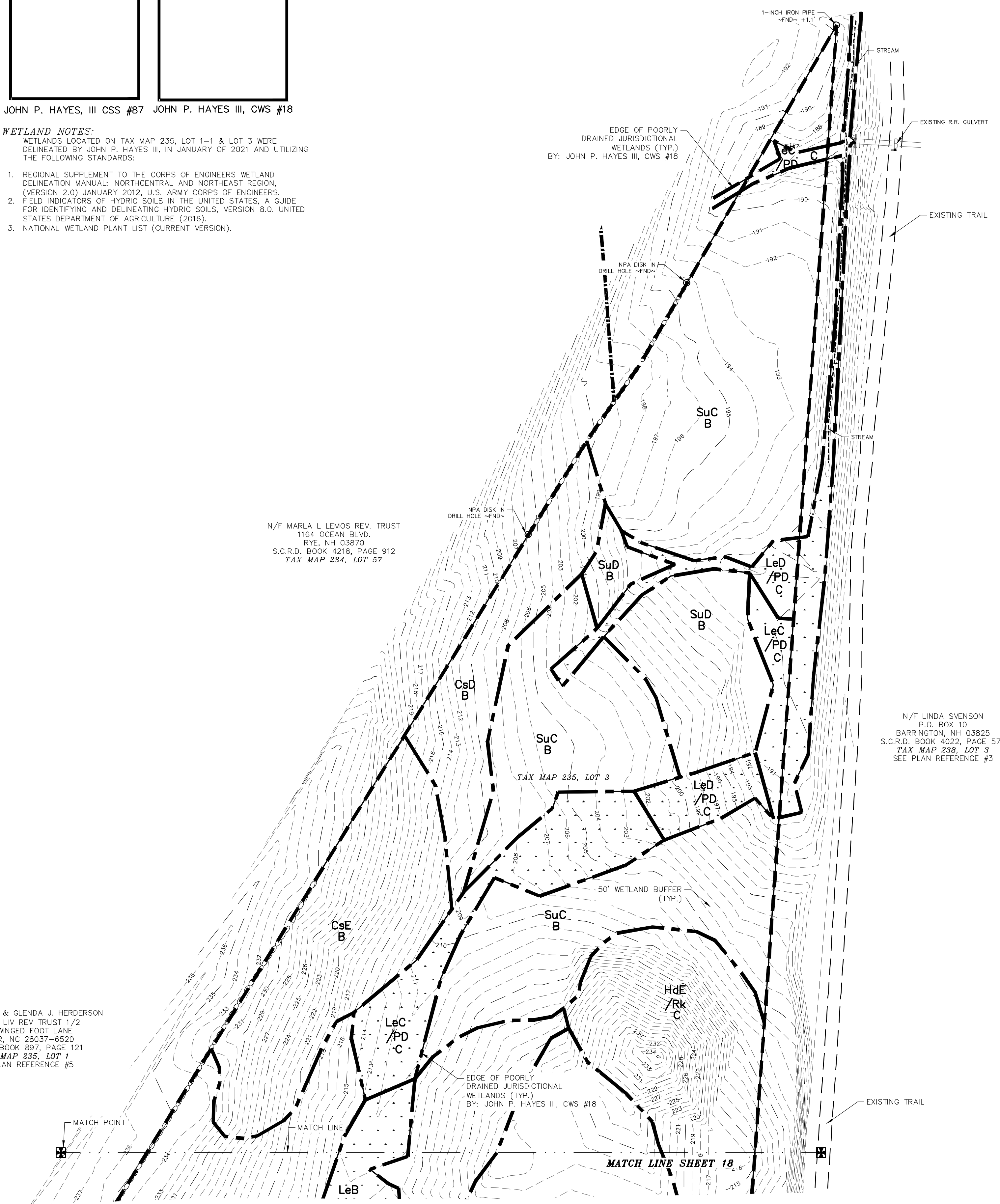
- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - ⊕ WELL
 - ⊖ TEST PIT
 - ⊗ MATCH POINT
 - NRCS SOIL DELINEATION LINE
 - STONE WALL
 - WETLAND LINE
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - OVERHEAD UTILITIES LINE
 - OVERVIEW MATCH LINE
 - DETAIL MATCH LINE
 - SOIL LINE
 - LIMIT OF SOIL SURVEY
 - SOIL SERIES
 - STRAFFORD COUNTY REGISTRY OF DEEDS
 - TYP.
 - FND
 - FOUND



JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

WETLAND NOTES:
 WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

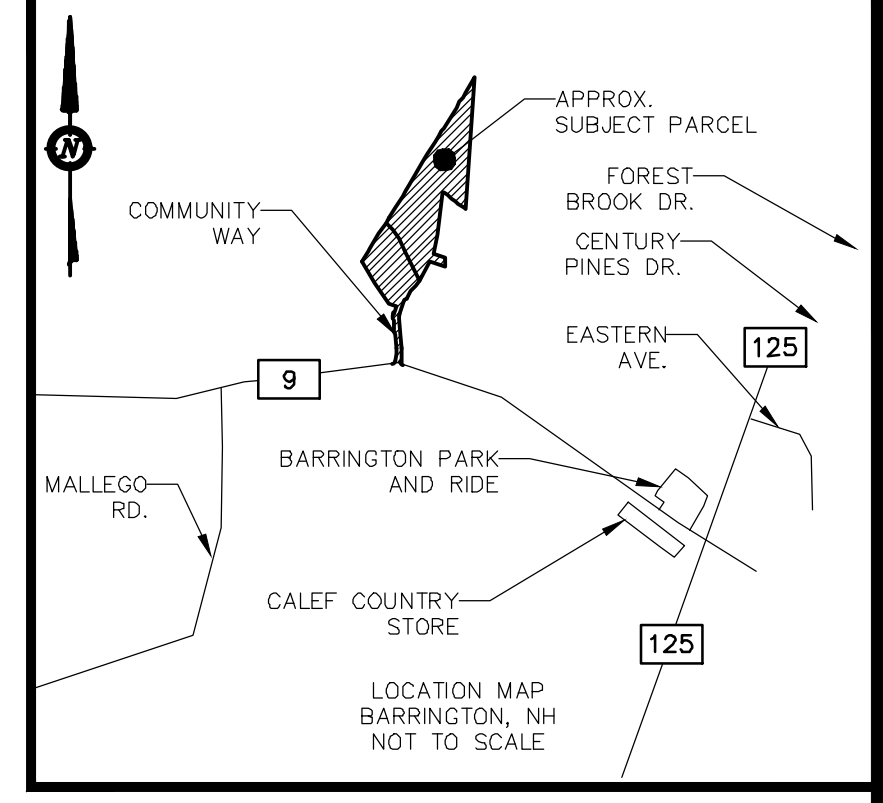
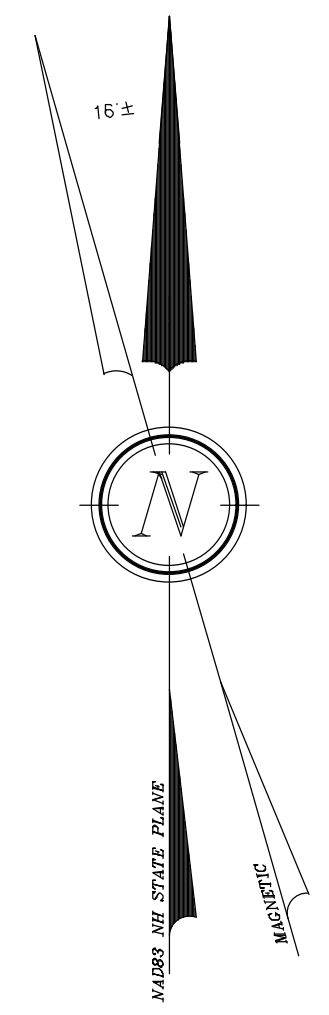
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



N/F MARLA L. LEMOS REV. TRUST
 1164 OCEAN BLVD.
 RYE, NH 03870
 S.C.R.D. BOOK 4218, PAGE 912
 TAX MAP 234, LOT 57

N/F LINDA SVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 4022, PAGE 576
 TAX MAP 238, LOT 3
 SEE PLAN REFERENCE #3

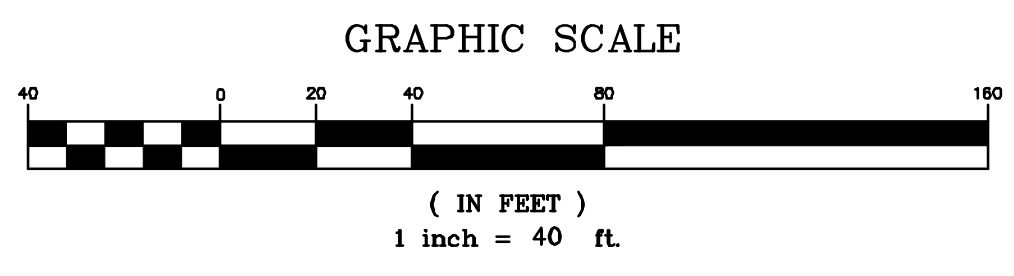
N/F DAVID R. & GLENDA J. HERDERSON
 UND INT LIV REV TRUST 1/2
 1272 WINGED FOOT LANE
 DENVER, NC 28037-6520
 S.C.R.D. BOOK 897, PAGE 121
 TAX MAP 235, LOT 1
 SEE PLAN REFERENCE #5



- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
 B.) DOVE DEVELOPMENT GROUP, LLC
 242 CENTRAL AVE
 DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
 B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
 B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
 B.) BOOK 4816, PAGE 504
 - 5.) ZONING: TOWN CENTER
 FRONTAGE ~ 40.0'
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
 FRONT SETBACK ~ 20.0'
 NH ROUTE 125/9 SET BACK: ~ 50'
 REAR SETBACK ~ 15.0'
 SIDE SETBACK ~ 15.0'
 COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'
 WETLANDS/WATERBODY SETBACK ~ 50.0'
 MAX. STRUCTURE HEIGHT: 40.0'
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
 - 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

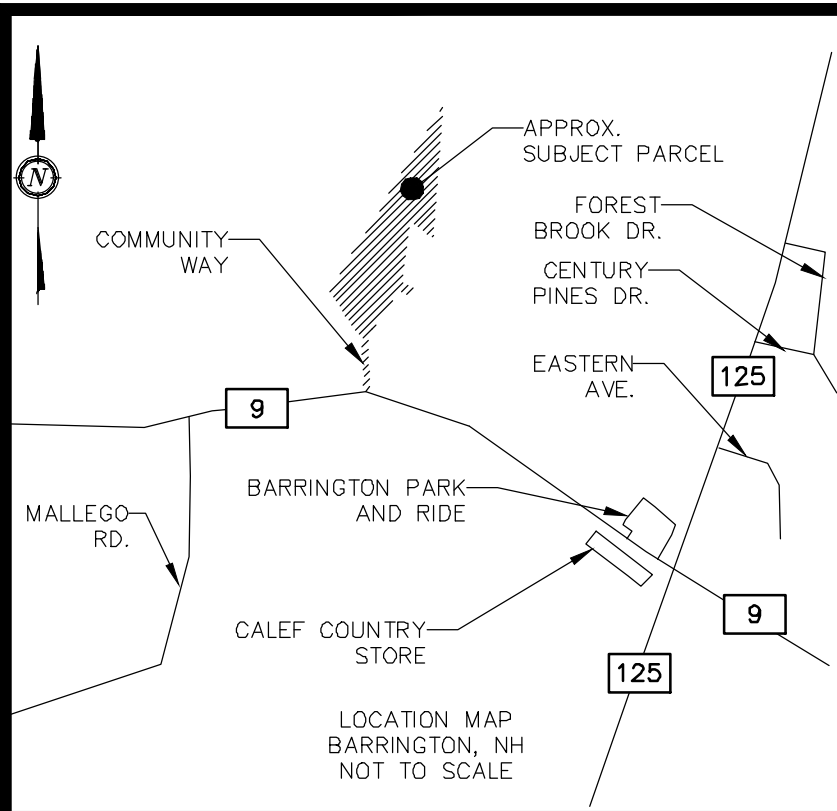


REVISION	DATE	DESCRIPTION

SITE SPECIFIC SOILS MAP - DETAIL 5
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 40 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

SHEET 19 OF 105



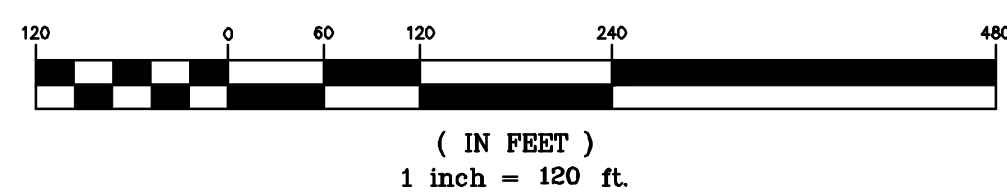
NOTES:

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac.
B.) 963,543 Sq. Ft., 22.12 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIFER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- 8.) THIS IS A 105 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

LEGEND:

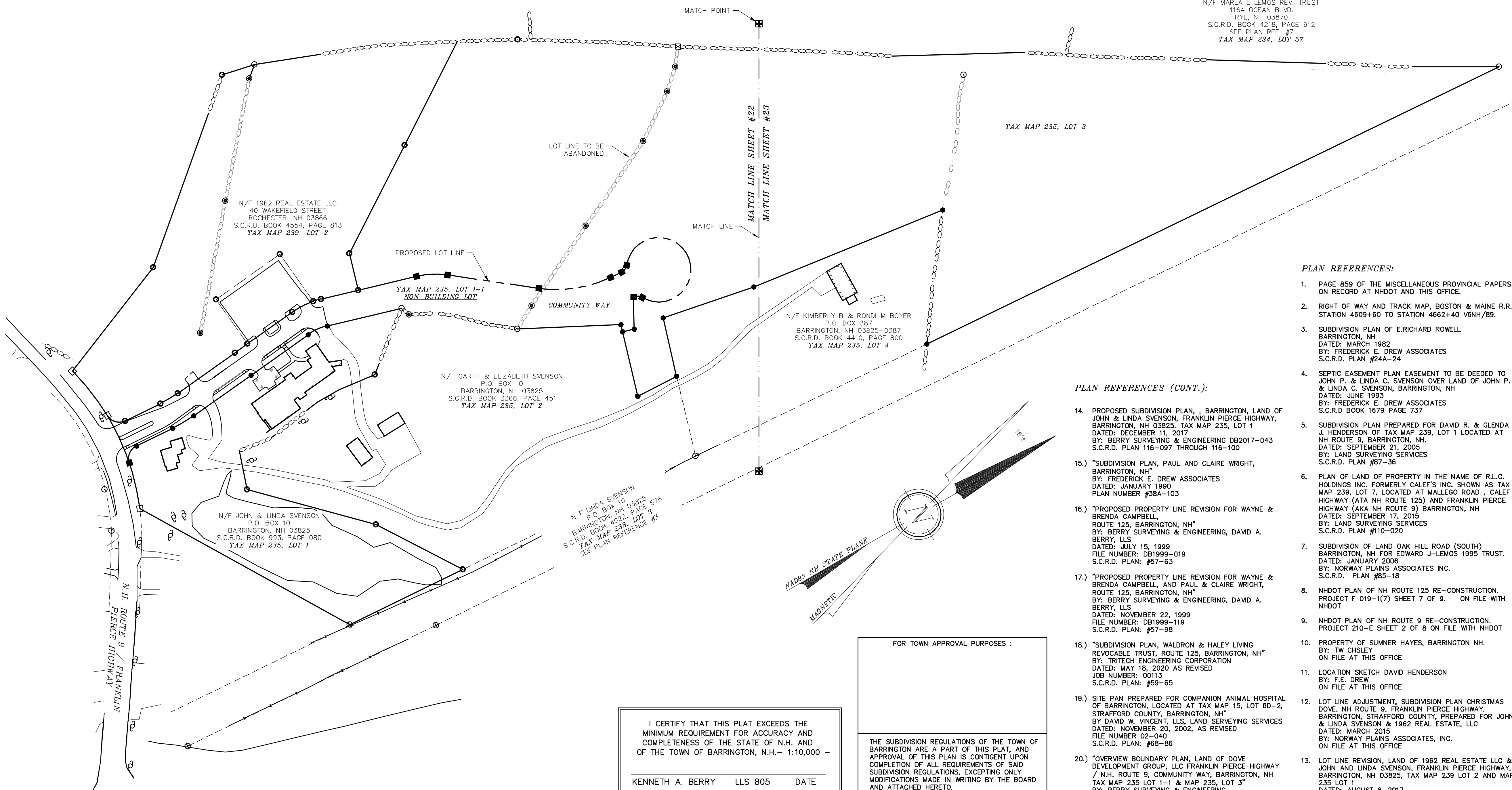
- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- MATCH POINT
- MATCH LINE
- PERIMETER BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- STONE WALL
- FND
- TBS
- TYP.
- S.C.R.D.

GRAPHIC SCALE



N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 236, LOT 1
SEE PLAN REFERENCE #5

N/F MARLA L. LEMOS REV. TRUST
1164 OCEAN BLVD.
RYE, NH 03870
S.C.R.D. BOOK 4218, PAGE 912
SEE PLAN REF. #7
TAX MAP 234, LOT 57



PLAN REFERENCES:

1. PAGE 859 OF THE MISCELLANEOUS PROVINCIAL PAPERS. ON RECORD AT NHDOT AND THIS OFFICE.
2. RIGHT OF WAY AND TRACK MAP, BOSTON & MAINE R.R. STATION 4609+60 TO STATION 4662+40 V6NH/89.
3. SUBDIVISION PLAN OF E. RICHARD ROWELL BARRINGTON, NH DATED: MARCH 1982 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. PLAN #24A-24
4. SEPTIC EASEMENT PLAN EASEMENT TO BE DEEDED TO JOHN P. & LINDA C. SVENSON OVER LAND OF JOHN P. & LINDA C. SVENSON, BARRINGTON, NH DATED: JUNE 1993 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. BOOK 1679 PAGE 737
5. SUBDIVISION PLAN PREPARED FOR DAVID R. & GLENDA J. HENDERSON OF TAX MAP 239, LOT 1 LOCATED AT NH ROUTE 9, BARRINGTON, NH. DATED: SEPTEMBER 21, 2005 BY: LAND SURVEYING SERVICES S.C.R.D. PLAN #87-36

PLAN REFERENCES (CONT.):

14. PROPOSED SUBDIVISION PLAN, BARRINGTON, LAND OF JOHN & LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 235, LOT 1 DATED: DECEMBER 11, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 116-097 THROUGH 116-100
15. "SUBDIVISION PLAN, PAUL AND CLAIRE WRIGHT, BARRINGTON, NH" BY: FREDERICK E. DREW ASSOCIATES DATED: JANUARY 1990 PLAN NUMBER #38A-103
16. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: JULY 15, 1999 FILE NUMBER: DB1999-019 S.C.R.D. PLAN: #57-63
17. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, AND PAUL & CLAIRE WRIGHT, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: NOVEMBER 22, 1999 FILE NUMBER: DB1999-119 S.C.R.D. PLAN: #57-98
18. "SUBDIVISION PLAN, WALDRON & HALEY LIVING REVOCABLE TRUST, ROUTE 125, BARRINGTON, NH" BY: TRITECH ENGINEERING CORPORATION DATED: MAY 18, 2020 AS REVISED JOB NUMBER: 00113 S.C.R.D. PLAN: #59-65
19. SITE PLAN PREPARED FOR COMPANION ANIMAL HOSPITAL OF BARRINGTON, LOCATED AT TAX MAP 15, LOT 6D-2, STRAFFORD COUNTY, BARRINGTON, NH BY: DAVID W. VINCENT, LLS, LAND SURVEYING SERVICES DATED: NOVEMBER 20, 2002, AS REVISED FILE NUMBER 02-040 S.C.R.D. PLAN: #68-86
20. "OVERVIEW BOUNDARY PLAN, LAND OF DOVE DEVELOPMENT GROUP, LLC FRANKLIN PIERCE HIGHWAY / N.H. ROUTE 9, COMMUNITY WAY, BARRINGTON, NH TAX MAP 235 LOT 1-1 & MAP 235, LOT 3" BY: BERRY SURVEYING & ENGINEERING DATED: JUNE 28, 2021 AS REVISED TO BE RECORDED
21. "SUBDIVISION PLAN OF LAND OAK HILL ROAD (SOUTH) BARRINGTON, NH FOR EDWARD J-LEMONS 1995 TRUST. DATED: JANUARY 2006 BY: NORWAY PLAINS ASSOCIATES INC. S.C.R.D. PLAN #85-18
22. NHDOT PLAN OF NH ROUTE 125 RE-CONSTRUCTION. PROJECT F 019-(7) SHEET 7 OF 9. ON FILE WITH NHDOT
23. NHDOT PLAN OF NH ROUTE 9 RE-CONSTRUCTION. PROJECT 210-E SHEET 2 OF 8 ON FILE WITH NHDOT
24. PROPERTY OF SUMNER HAYES, BARRINGTON NH. BY: TW CHSLEY ON FILE AT THIS OFFICE
25. LOCATION SKETCH DAVID HENDERSON BY: F.E. DREW ON FILE AT THIS OFFICE
26. LOT LINE ADJUSTMENT, SUBDIVISION PLAN CHRISTMAS DOVE, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, BARRINGTON, STRAFFORD COUNTY, PREPARED FOR JOHN & LINDA SVENSON & 1962 REAL ESTATE, LLC DATED: MARCH 2015 BY: NORWAY PLAINS ASSOCIATES, INC. ON FILE AT THIS OFFICE
27. LOT LINE REVISION, LAND OF 1962 REAL ESTATE LLC & JOHN & LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 239 LOT 2 AND MAP 235 LOT 1 DATED: AUGUST 8, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 115-064 THROUGH 115-067

FOR TOWN APPROVAL PURPOSES :

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE

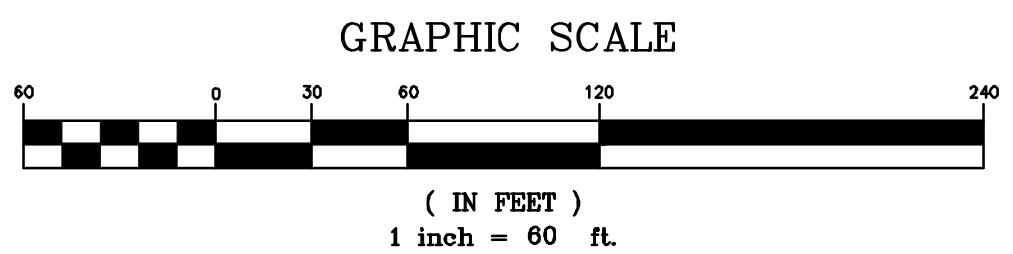
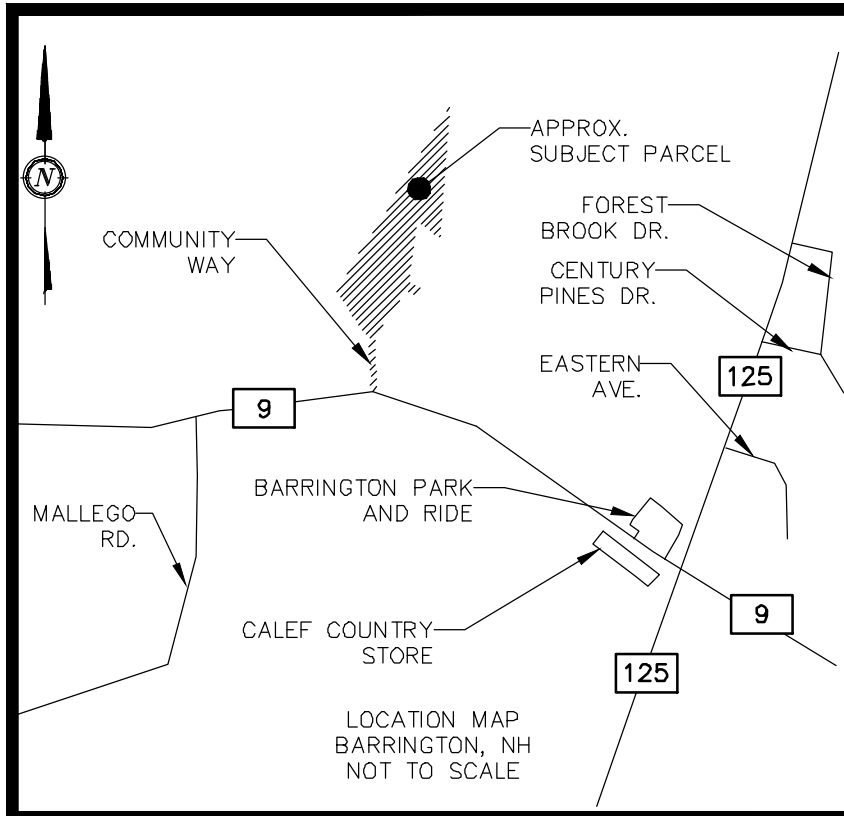
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

OVERVIEW LOT LINE REVISION PLAN
OF
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 120 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

SIGNATURE



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1 B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac. B.) 963,543 Sq. Ft., 22.12 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500 B.) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
 - VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
 - THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
 - THIS IS A 105 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

- LEGEND:**
- 4"x4" GRANITE BOUND ~FND~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND~/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - MATCH POINT
 - MATCH LINE
 - PERIMETER BOUNDARY
 - ABUTTING PROPERTY LINE
 - EXISTING EASEMENT
 - STONE WALL
 - POORLY DRAINED JURISDICTIONAL WETLANDS (TYP.)
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - FND FOUND
 - TBS TO BE SET
 - TYP. TYPICAL
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

DEIDRA BENJAMIN, CWS #295

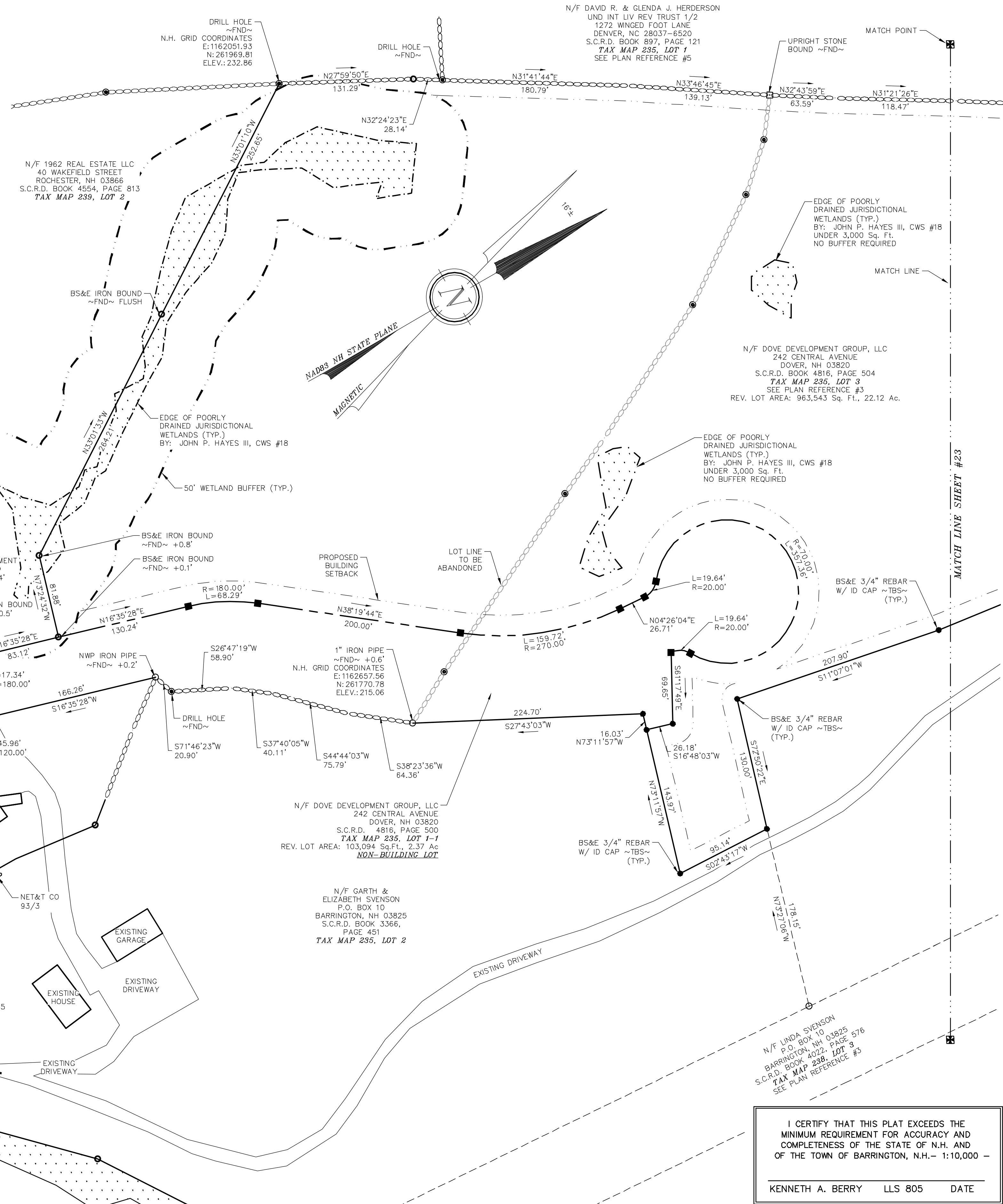
JOHN P. HAYES III, CWS #18

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



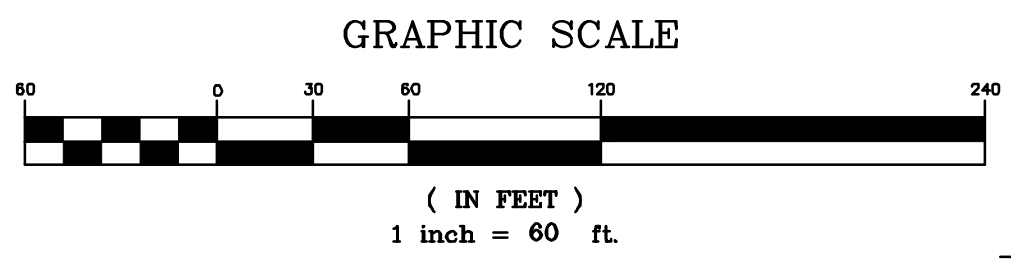
REVISION	DATE	DESCRIPTION

LOT LINE REVISION PLAN SOUTH
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

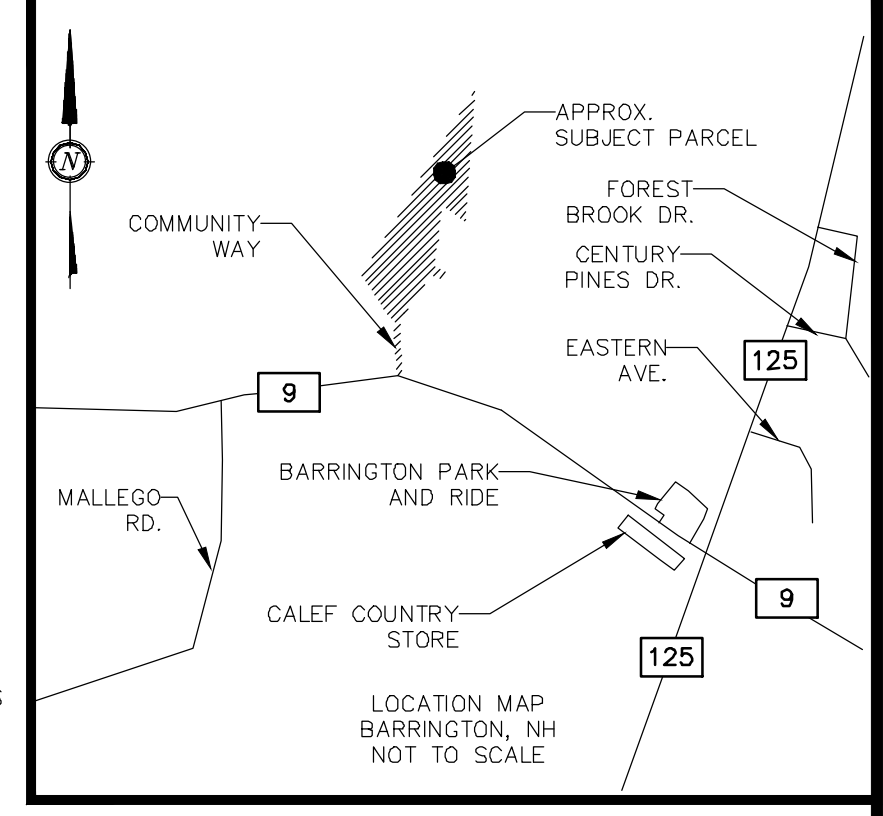
I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE



- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - MATCH POINT
 - MATCH LINE
 - PERIMETER BOUNDARY
 - ABUTTING PROPERTY LINE
 - EXISTING EASEMENT
 - STONE WALL
 - POORLY DRAINED JURISDICTIONAL WETLAND
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - FOUND
 - FND
 - TBS
 - TO BE SET
 - TYP.
 - S.C.R.D.
 - STRAFFORD COUNTY REGISTRY OF DEEDS

- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac.
B.) 963,543 Sq. Ft., 22.12 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
 - 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
 - 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
 - 8.) THIS IS A 105 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

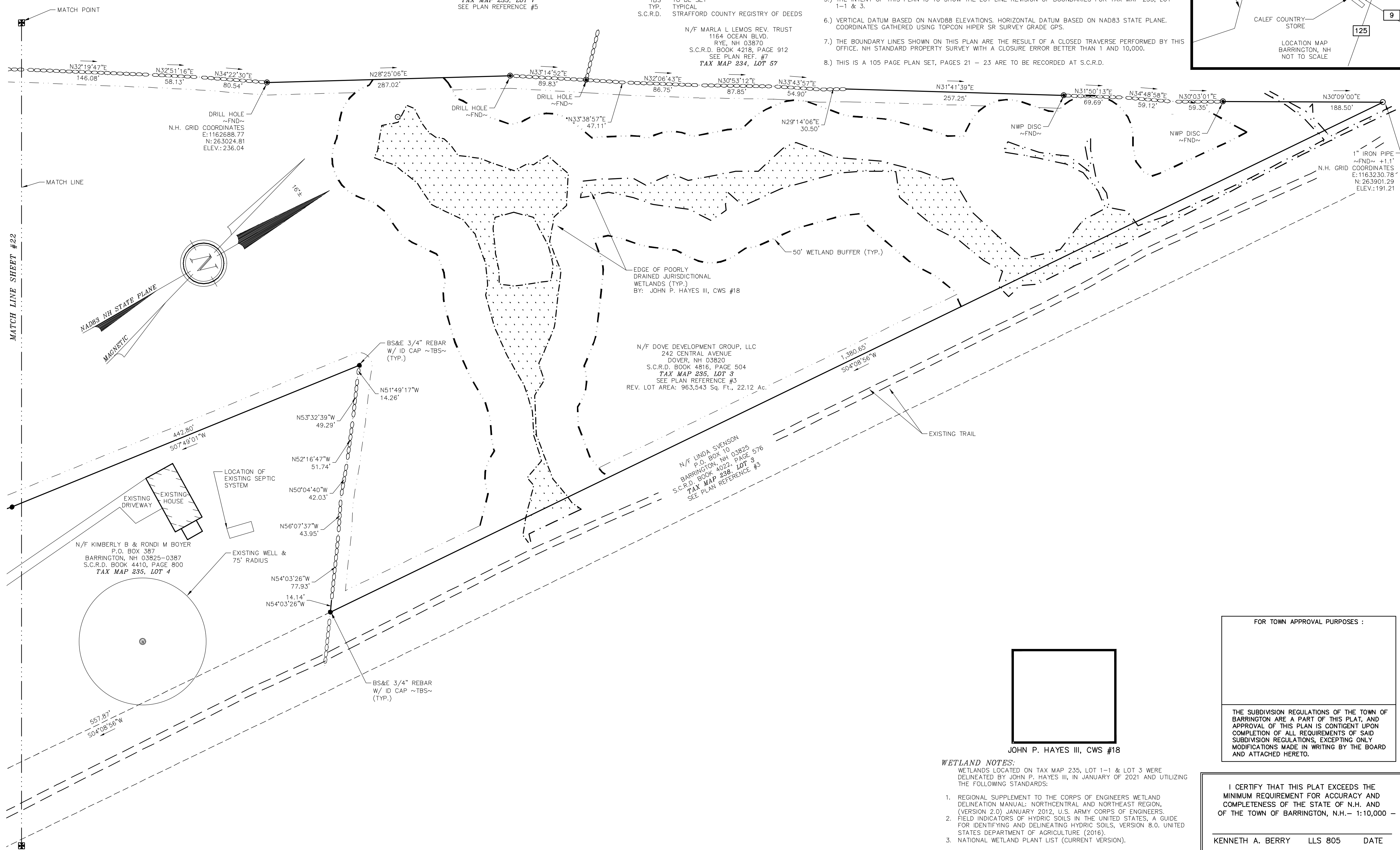
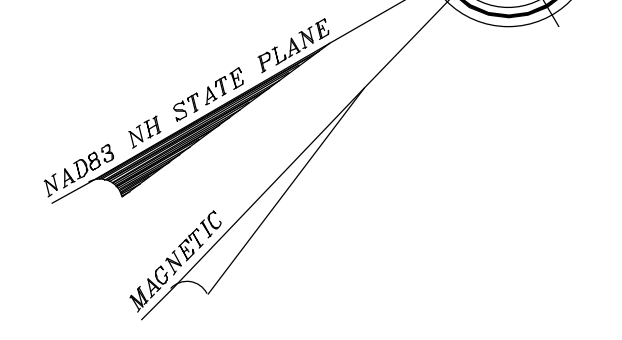


N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, NC 28037-0520
S.C.R.D. BOOK 697, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST
1164 OCEAN BLVD.
RYE, NH 03870
S.C.R.D. BOOK 4218, PAGE 912
SEE PLAN REF. #7
TAX MAP 234, LOT 57

N/F DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
S.C.R.D. BOOK 4816, PAGE 504
TAX MAP 235, LOT 3
SEE PLAN REFERENCE #3
REV. LOT AREA: 963,543 Sq. Ft., 22.12 Ac.

N/F LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4024, PAGE 576
TAX MAP 238, LOT 3
SEE PLAN REFERENCE #3



MATCH LINE SHEET #22

MATCH POINT

MATCH LINE

N/F KIMBERLY B & RONDI M BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4

LOCATION OF EXISTING SEPTIC SYSTEM

EXISTING WELL & 75' RADIUS

BS&E 3/4" REBAR W/ ID CAP ~TBS~ (TYP.)

JOHN P. HAYES III, CWS #18

- WETLAND NOTES:**
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

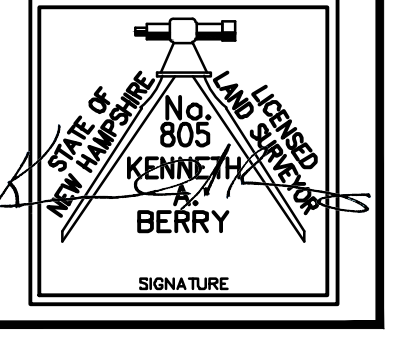
FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

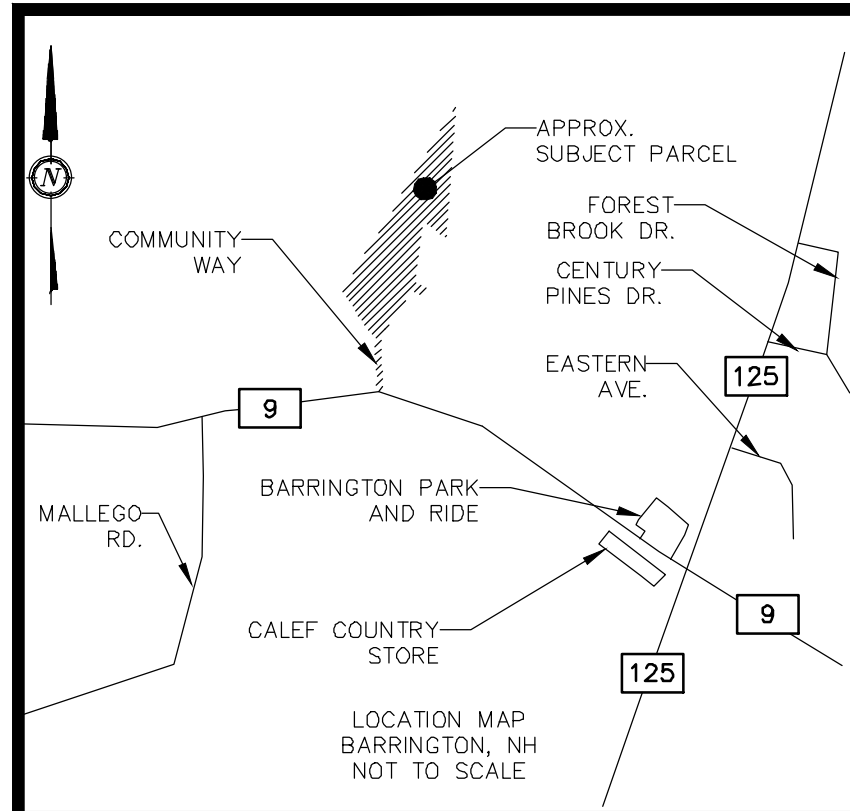
KENNETH A. BERRY LLS 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



REVISION	DATE	DESCRIPTION

LOT LINE REVISION PLAN NORTH
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

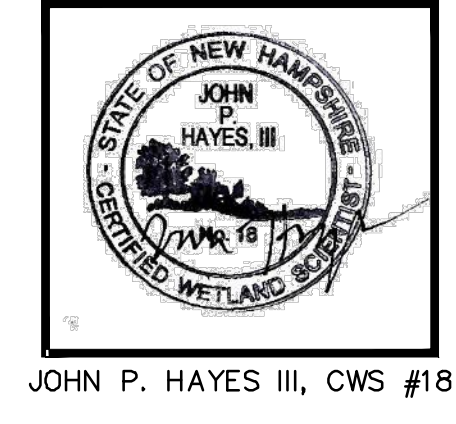
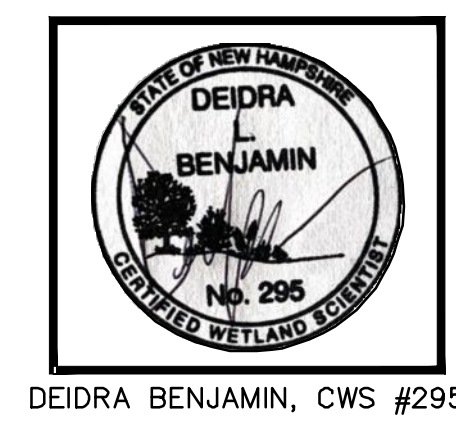
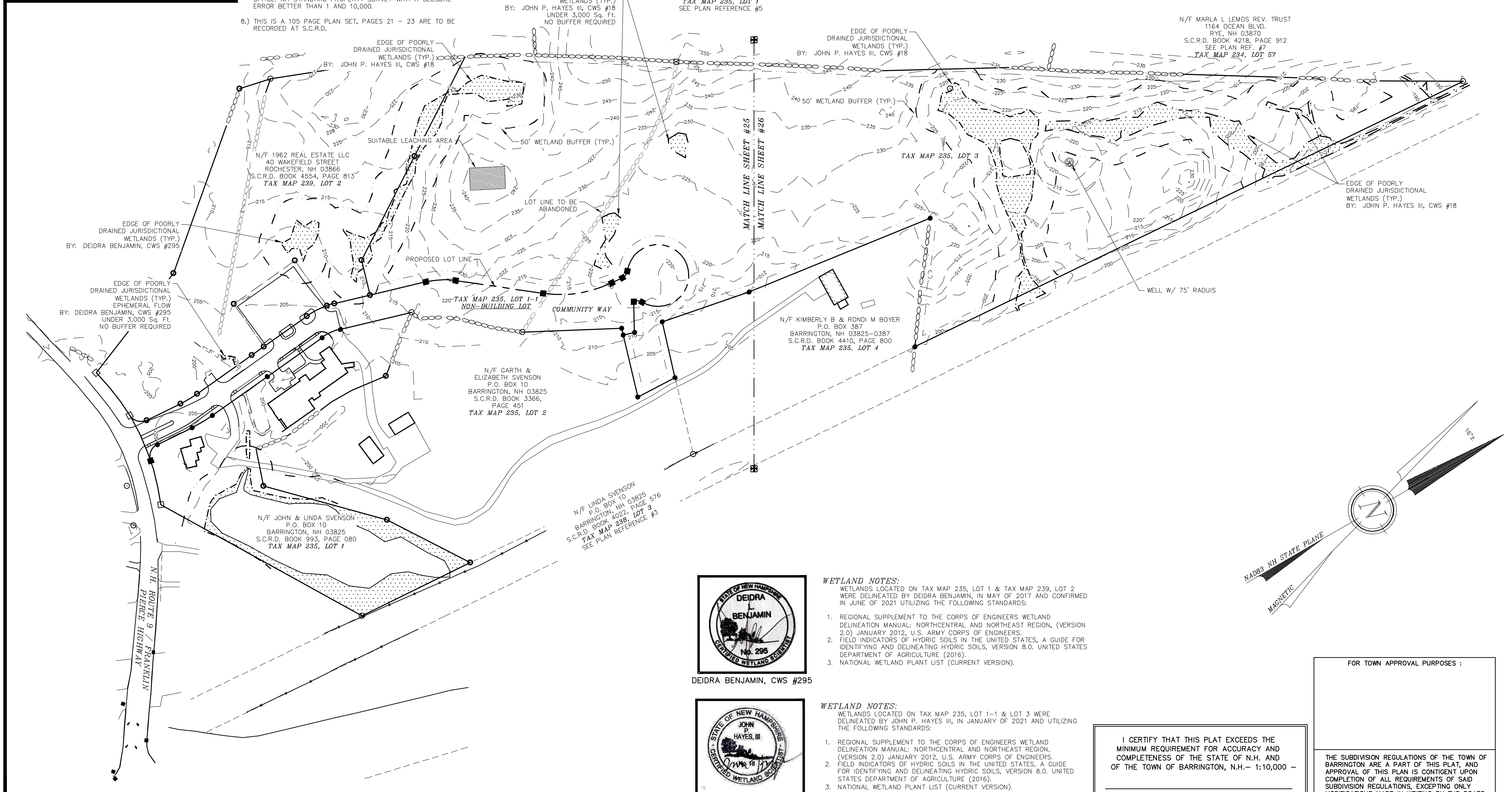
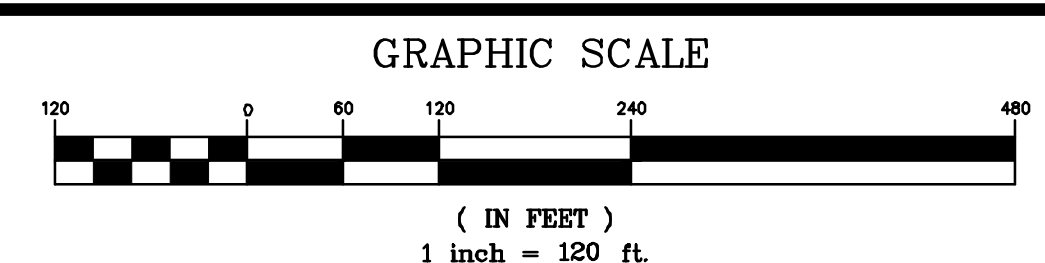


NOTES:

- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
- THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
- VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- THIS IS A 105 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- MATCH POINT
- MATCH LINE
- PERIMETER BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- STONE WALL
- POORLY DRAINED JURISDICTIONAL WETLAND
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- FND TO BE SET
- TYP. STRAFFORD COUNTY REGISTRY OF DEEDS



WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

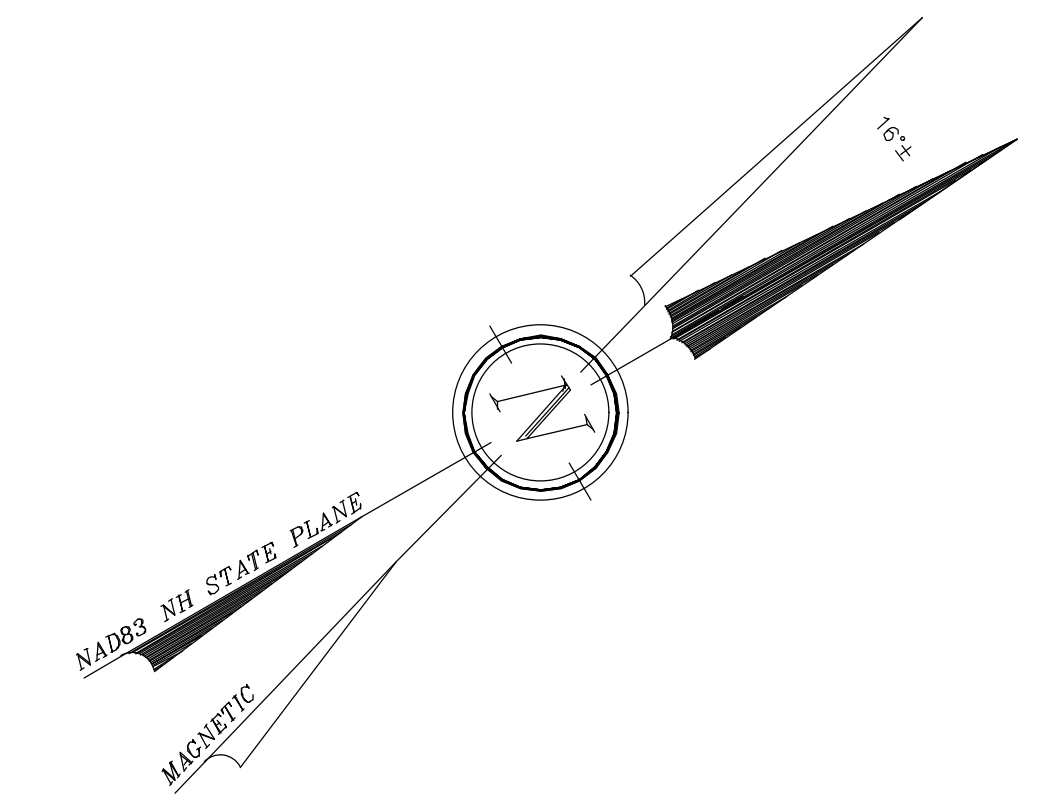
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H.— 1:10,000 —

KENNETH A. BERRY LLS 805 DATE

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

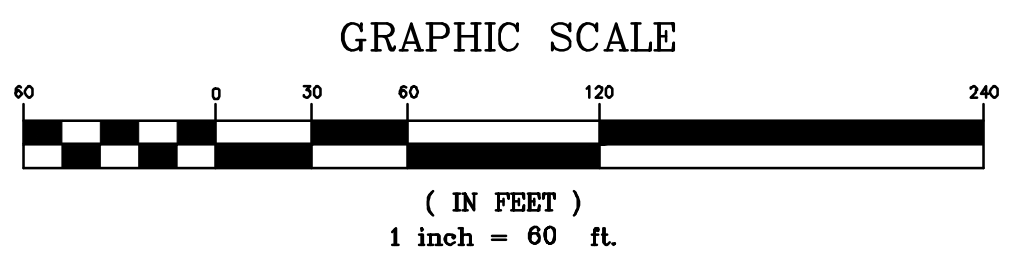
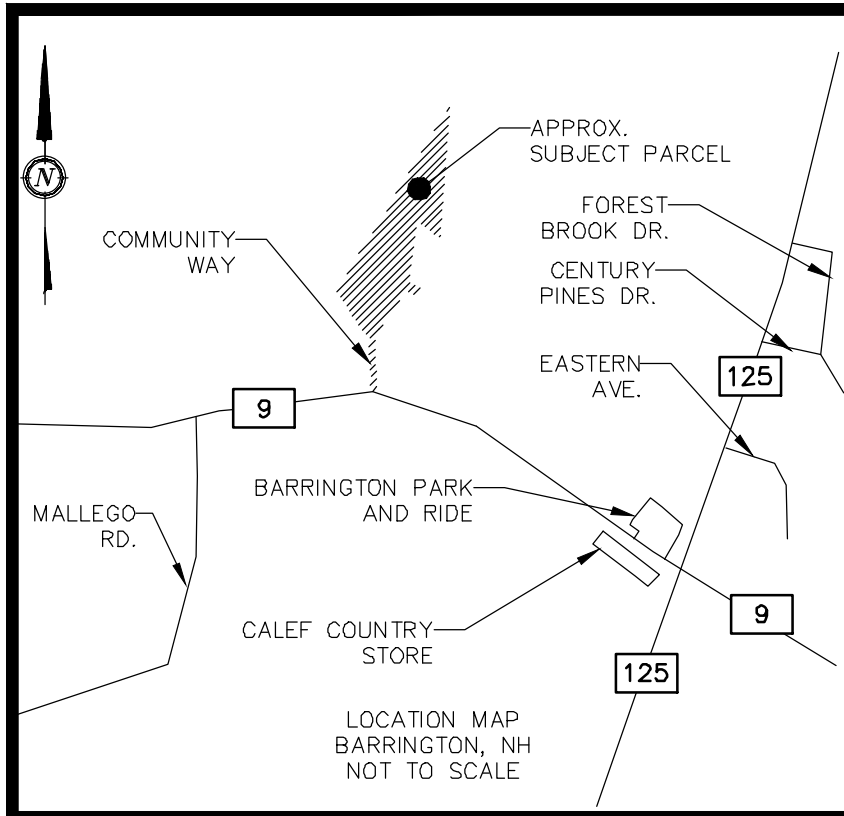


REVISION	DATE	DESCRIPTION

OVERVIEW TOPOGRAPHIC LOT LINE REVISION PLAN
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 120 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

KENNETH A. BERRY



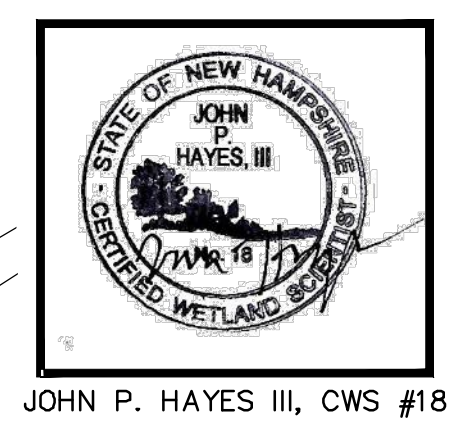
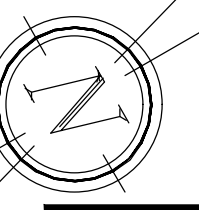
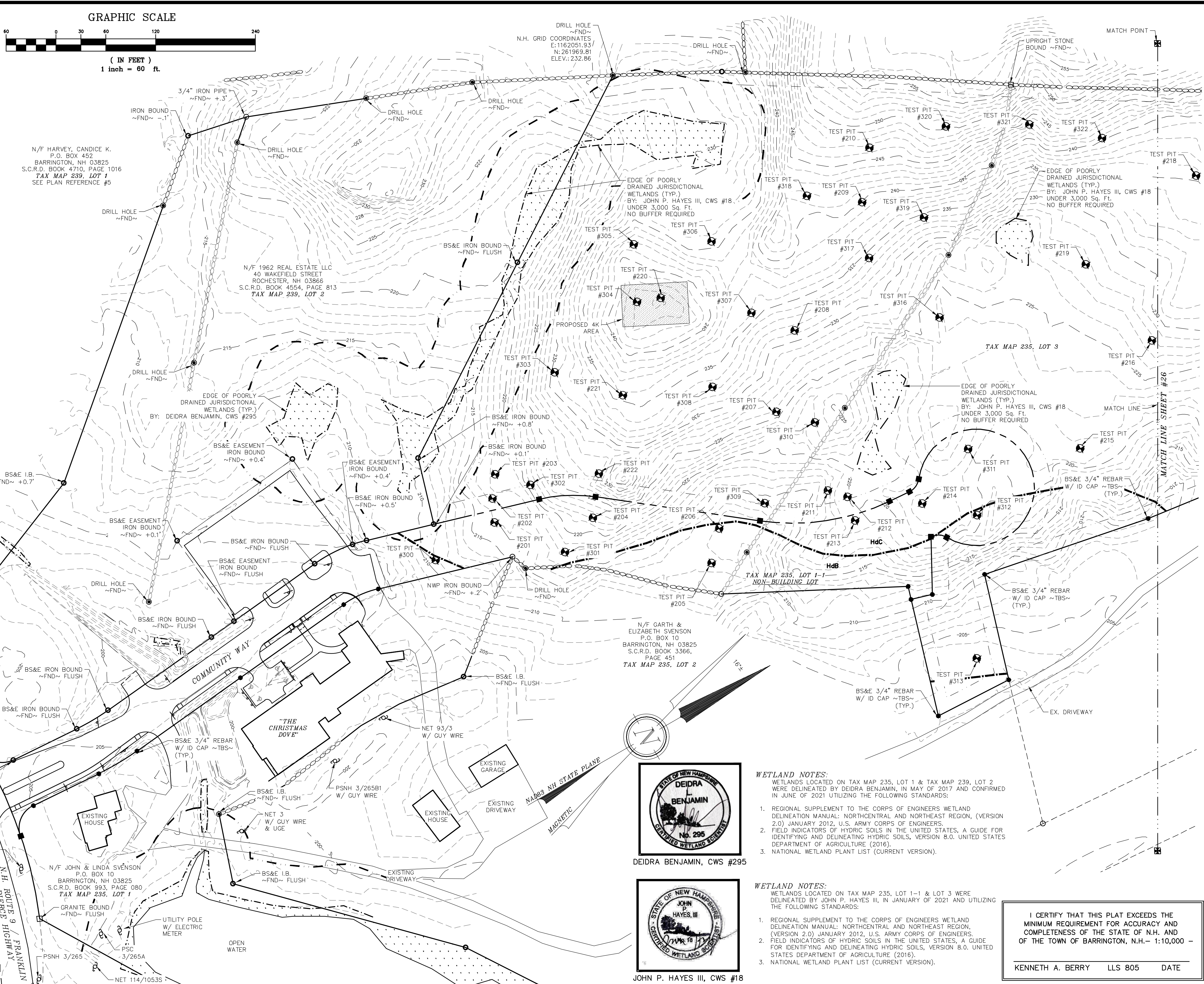
N/F HARVEY, CANDICE K.
P.O. BOX 452
BARRINGTON, NH 03825
S.C.R.D. BOOK 4710, PAGE 1016
TAX MAP 239, LOT 7
SEE PLAN REFERENCE #5

- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
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 - THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
 - THIS IS A 105 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND~/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - MATCH LINE
 - PERIMETER BOUNDARY
 - ABUTTING PROPERTY LINE
 - EXISTING EASEMENT
 - STONE WALL
 - POORLY DRAINED JURISDICTIONAL WETLAND
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - FND FOUND
 - TBS TO BE SET
 - TYP. TYPICAL
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

FOR TOWN APPROVAL PURPOSES :

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WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
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- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H.— 1:10,000 —

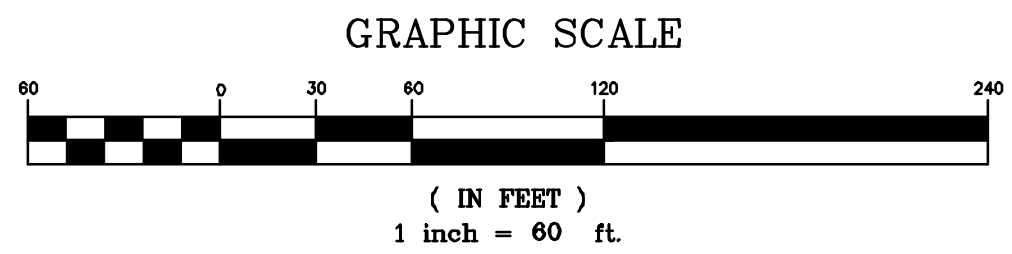
KENNETH A. BERRY LLS 805 DATE

REVISION	DATE	DESCRIPTION

TOPOGRAPHIC LOT LINE REVISION PLAN SOUTH
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

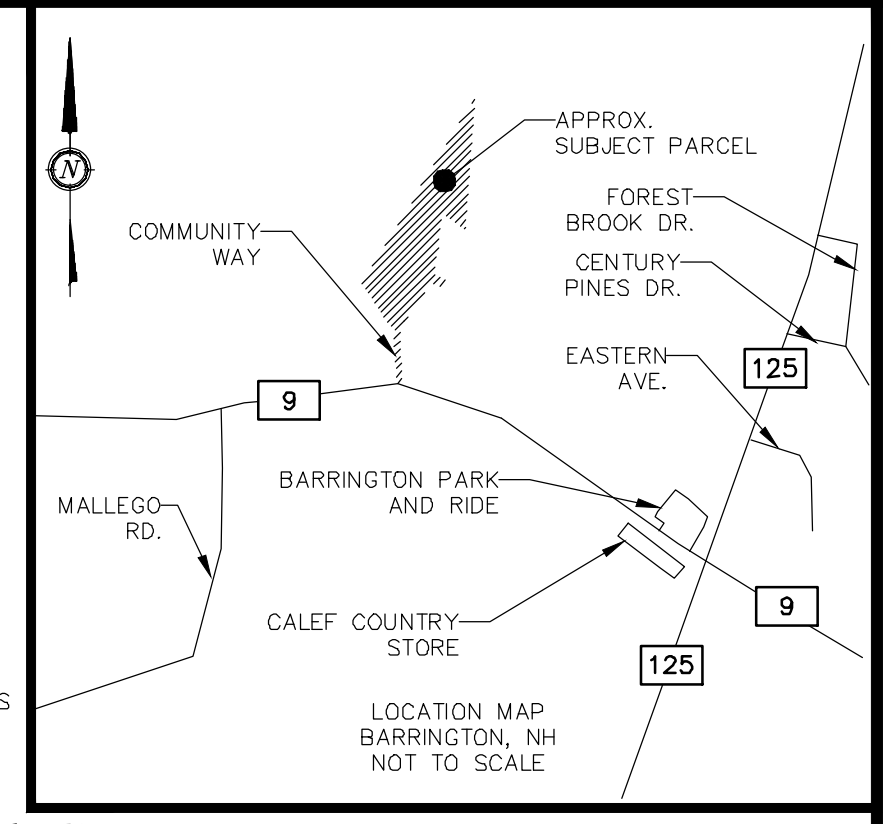
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE
JUN 14 2021
KENNETH A. BERRY
SIGNATURE



- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
 - 3/4" REBAR W/ ID CAP ~TBS~
 - GRANITE BOUND ~FND~
 - IRON BOUND/REBAR ~FND~/SET~
 - DRILL HOLE ~FND~
 - IRON PIPE ~FND~
 - UTILITY POLE
 - MATCH POINT
 - PERIMETER BOUNDARY
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 - EXISTING EASEMENT
 - STONE WALL
 - POORLY DRAINED JURISDICTIONAL WETLAND
 - 50' WETLAND BUFFER
 - BUILDING SETBACK LINE
 - FND FOUND
 - TBS TO BE SET
 - TYP. TYPICAL
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
 - 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
 - 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
 - 8.) THIS IS A 105 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

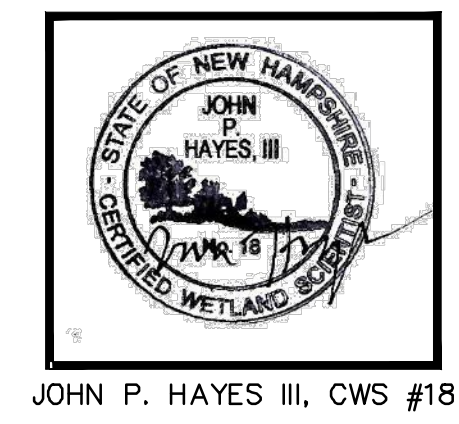
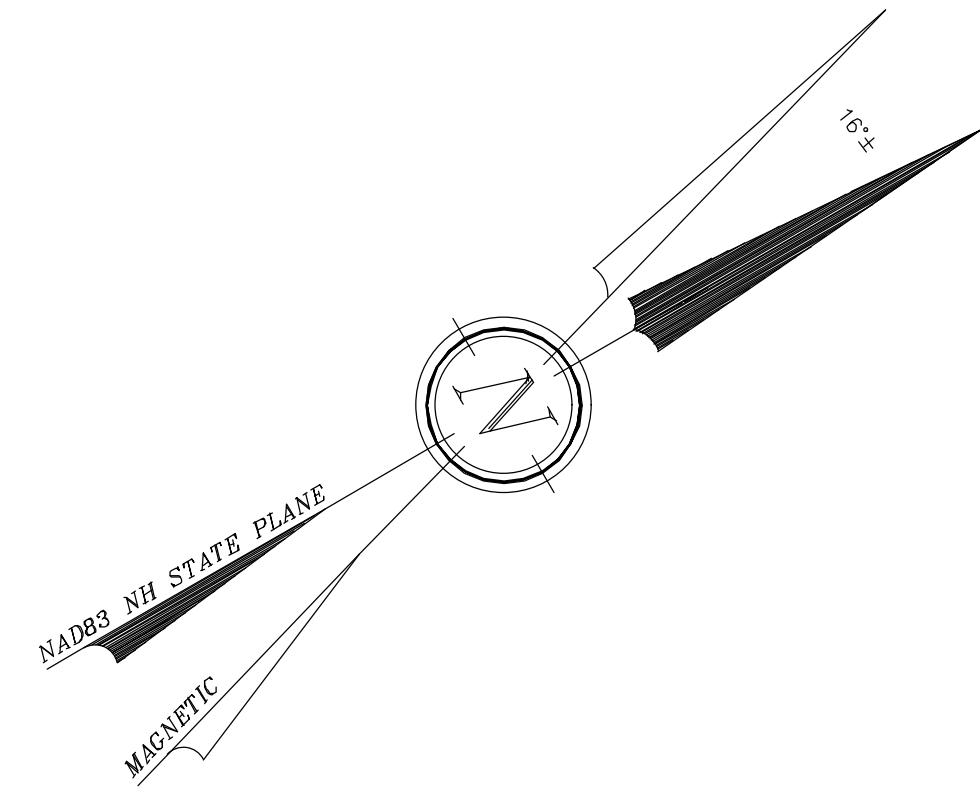
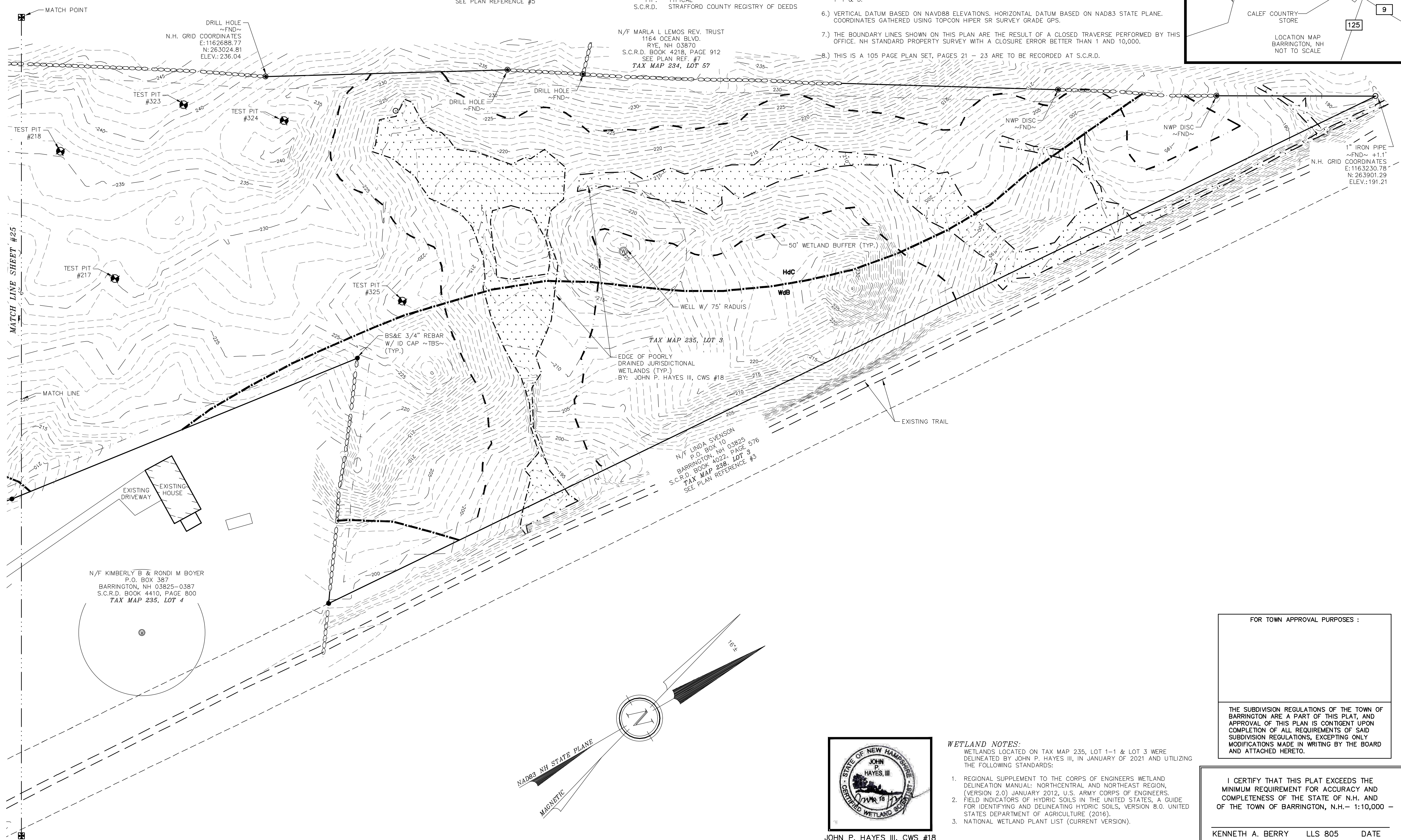


N/F DAVID R. & GLENDA J. HERDERSON
UND INT LIV REV TRUST 1/2
1272 WINGED FOOT LANE
DENVER, CO 80337-6520
S.C.R.D. BOOK 897, PAGE 121
TAX MAP 235, LOT 1
SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST
1164 OCEAN BLVD.
RYE, NH 03870
S.C.R.D. BOOK 4218, PAGE 912
SEE PLAN REF. #7
TAX MAP 234, LOT 57

N/F LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4023, PAGE 576
TAX MAP 238, LOT 3
SEE PLAN REFERENCE #3

N/F KIMBERLY B & RONI M BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4



WETLAND NOTES:
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

FOR TOWN APPROVAL PURPOSES :

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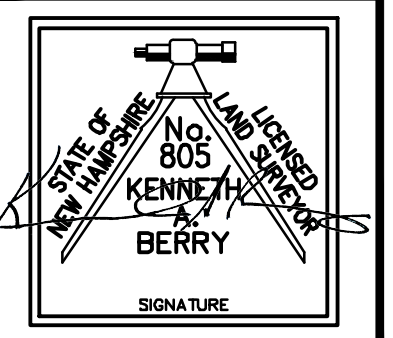
I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

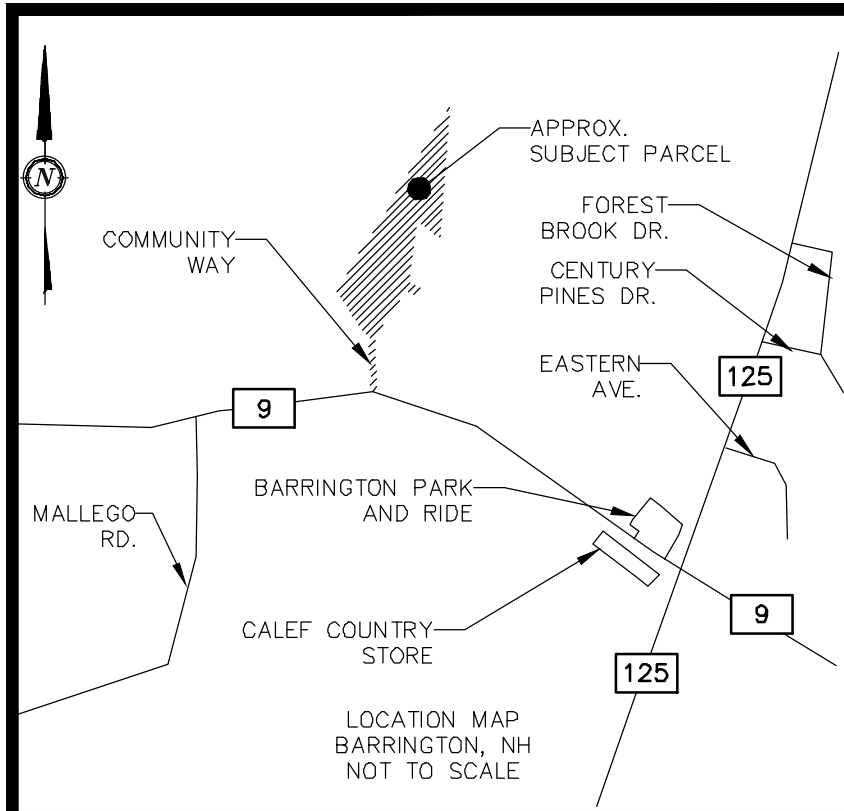
KENNETH A. BERRY LLS 805 DATE

REVISION	DATE	DESCRIPTION

TOPOGRAPHIC LOT LINE REVISION PLAN NORTH
OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

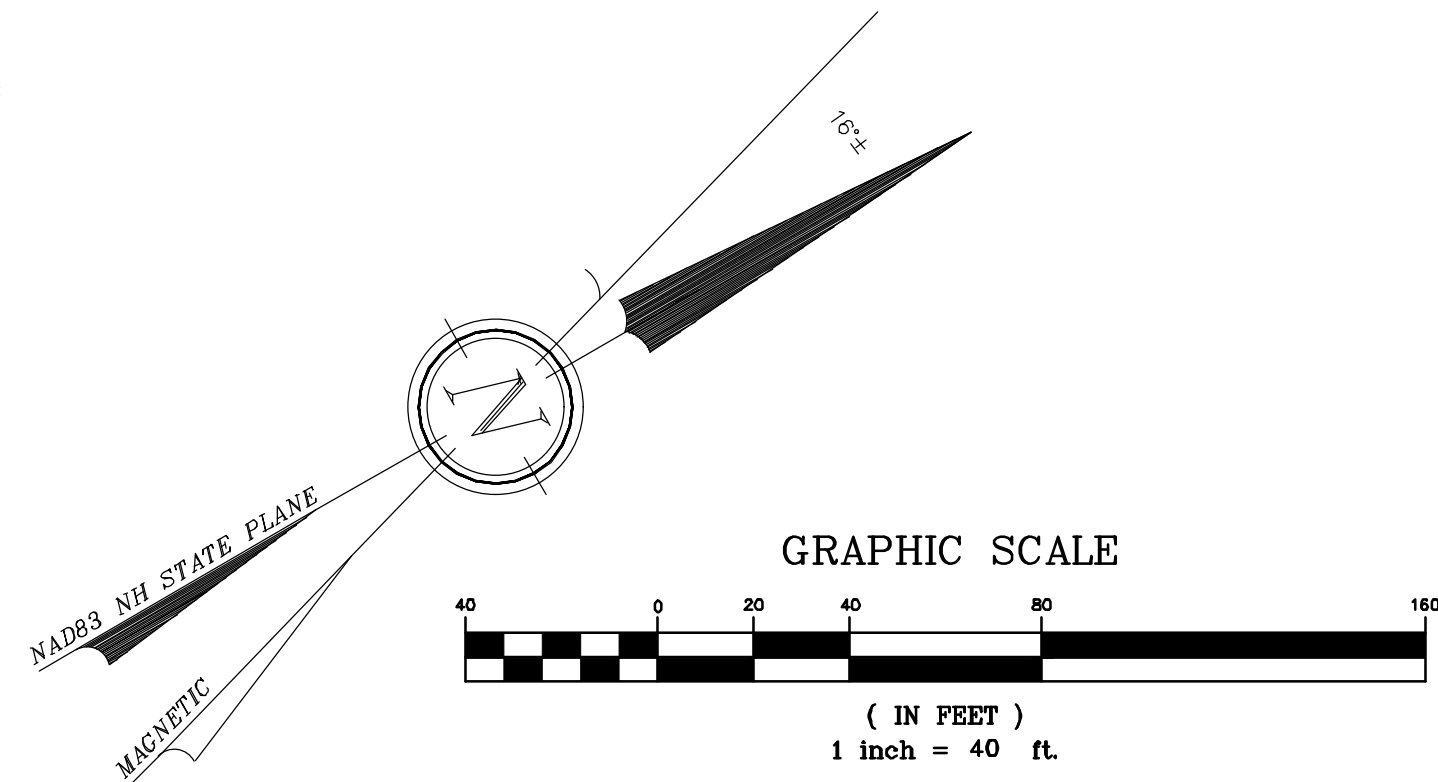
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : JUNE 14, 2021
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NOTES:

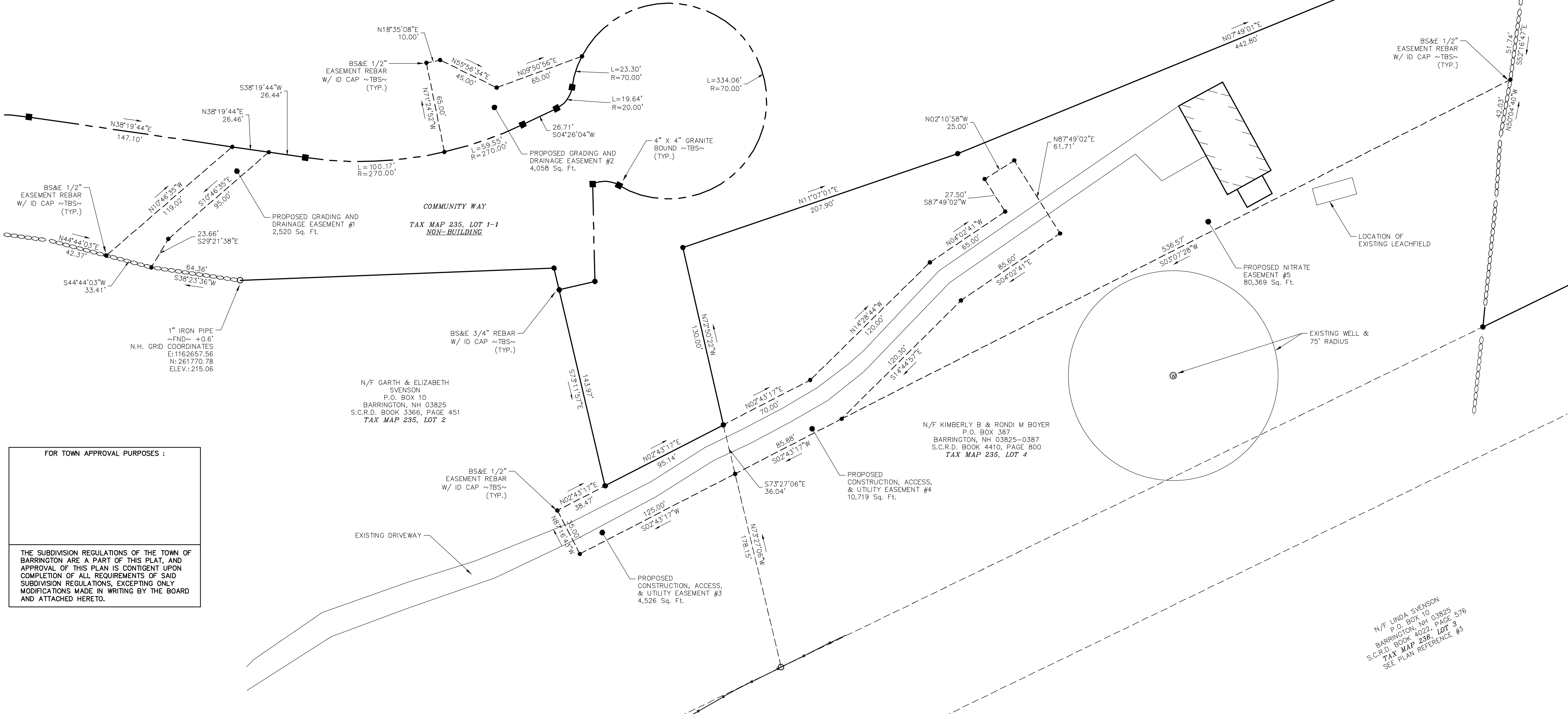
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS OF TAX MAP 235, LOTS 1-1, 2, 3, & 4 LOCATED IN BARRINGTON, N.H.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- 8.) SEE OVERVIEW BOUNDARY PLAN, SHEET #3, FOR PLAN REFERENCES. SEE OVERVIEW LOT LINE REVISION PLAN, SHEET #21, FOR CORRESPONDING LOT LINE REVISION.
- 9.) TAX MAP 235, LOT 4 WILL HAVE AN ACCESS EASEMENT OVER THE TO BE CONSTRUCTED COMMUNITY WAY AND ACCESS ROAD.



TAX MAP 235, LOT 3

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
- ▬ GRANITE BOUND ~FND~
- ▬ IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- ▬ PERIMETER BOUNDARY
- ▬ ABUTTING PROPERTY LINE
- ▬ STONE WALL
- ▬ FND FOUND
- ▬ TBS TO BE SET
- ▬ TYP. TYPICAL
- ▬ S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS



N/F GARTH & ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366, PAGE 451
TAX MAP 235, LOT 2

N/F KIMBERLY B & RONDIE M BOYER
P.O. BOX 387
BARRINGTON, NH 03825-0387
S.C.R.D. BOOK 4410, PAGE 800
TAX MAP 235, LOT 4

FOR TOWN APPROVAL PURPOSES :

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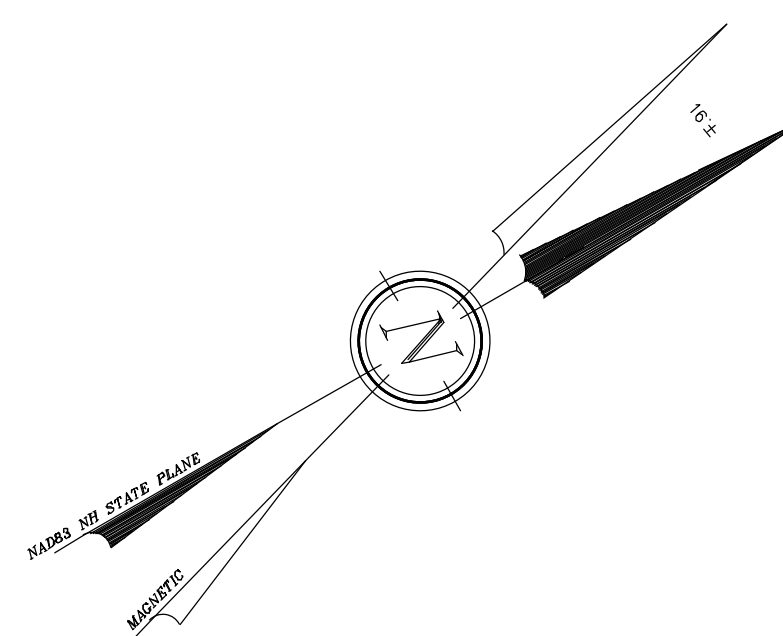
N/F LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 4022, PAGE 576
TAX MAP 238, LOT 3
SEE PLAN REFERENCE #3

REVISION	DATE	DESCRIPTION

EASEMENT PLAN
OF
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

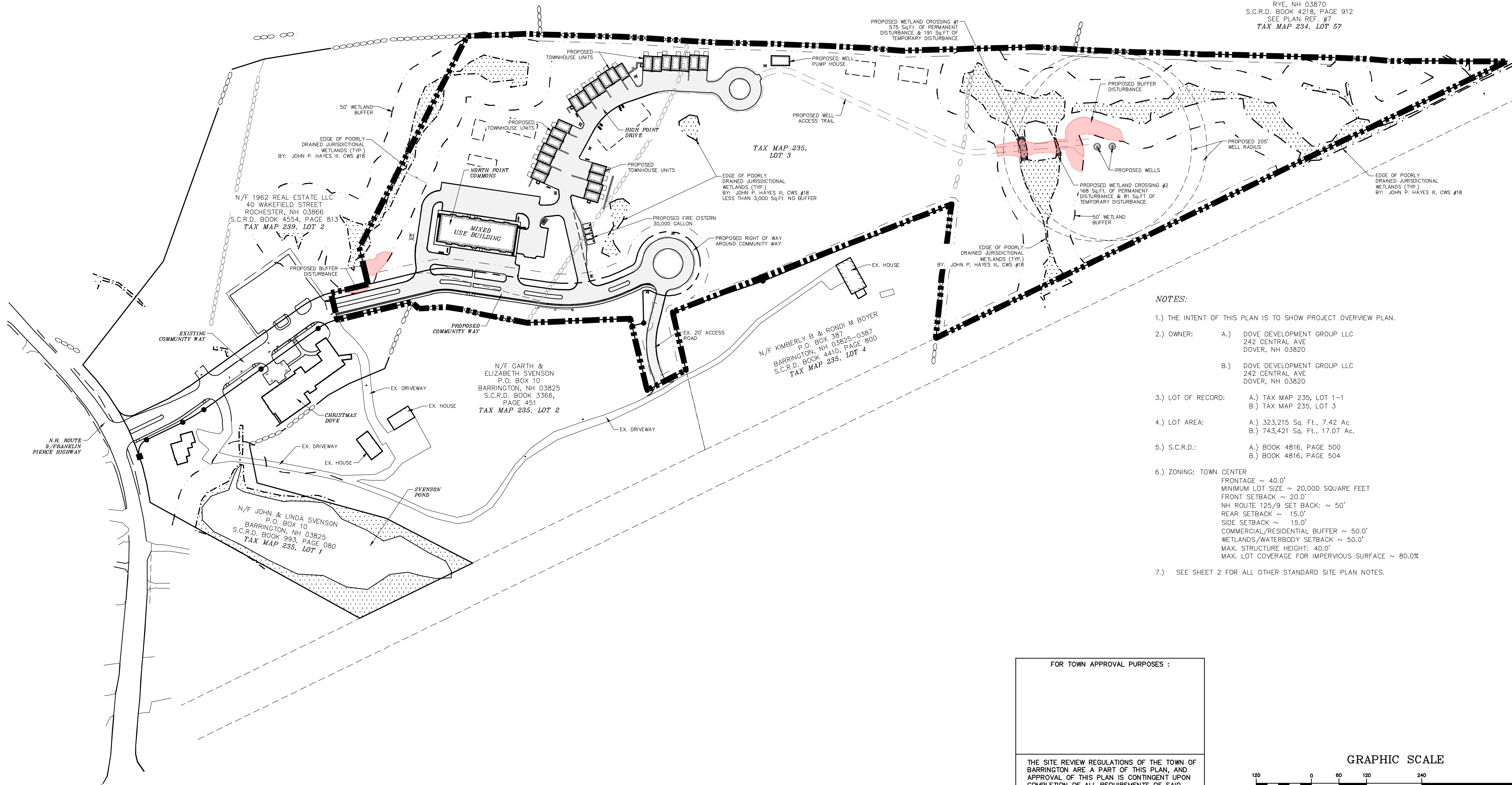
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

SIGNATURE



N/F DAVID R. & GLENDA J. HERDERSON
 UND INT LIV REV TRUST 1/2
 1272 WINGED FOOT LANE
 DENVER, NC 28037-8520
 S.C.R.D. BOOK 897, PAGE 121
 TAX MAP 235, LOT 1
 SEE PLAN REFERENCE #5

N/F MARLA L. LEMOS REV. TRUST
 1164 OCEAN BLVD.
 RYE, NH 03870
 S.C.R.D. BOOK 4218, PAGE 912
 SEE PLAN REF. #7
 TAX MAP 234, LOT 57

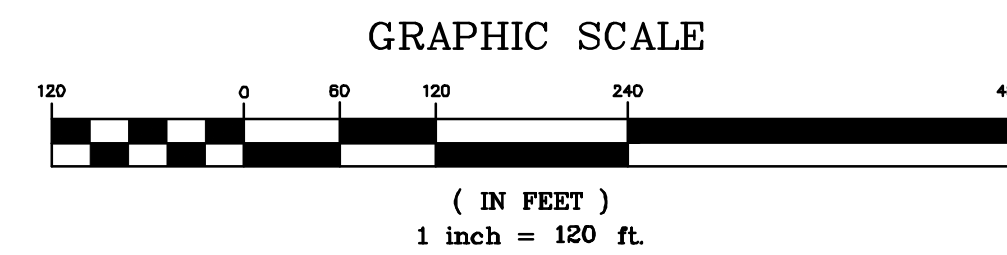


NOTES:

- 1.) THE INTENT OF THIS PLAN IS TO SHOW PROJECT OVERVIEW PLAN.
- 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- 3.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 6.) ZONING: TOWN CENTER
 FRONTAGE ~ 40.0'
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
 FRONT SETBACK ~ 20.0'
 NH ROUTE 125/9 SET BACK: ~ 50'
 REAR SETBACK ~ 15.0'
 SIDE SETBACK ~ 15.0'
 COMMERCIAL/RESIDENTIAL BUFFER ~ 50.0'
 WETLANDS/WATERBODY SETBACK ~ 50.0'
 MAX. STRUCTURE HEIGHT: 40.0'
 MAX. LOT COVERAGE FOR IMPERVIOUS SURFACE ~ 80.0%
- 7.) SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



REVISION	DATE	DESCRIPTION

PROJECT OVERVIEW PLAN
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 120 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

NOTES:

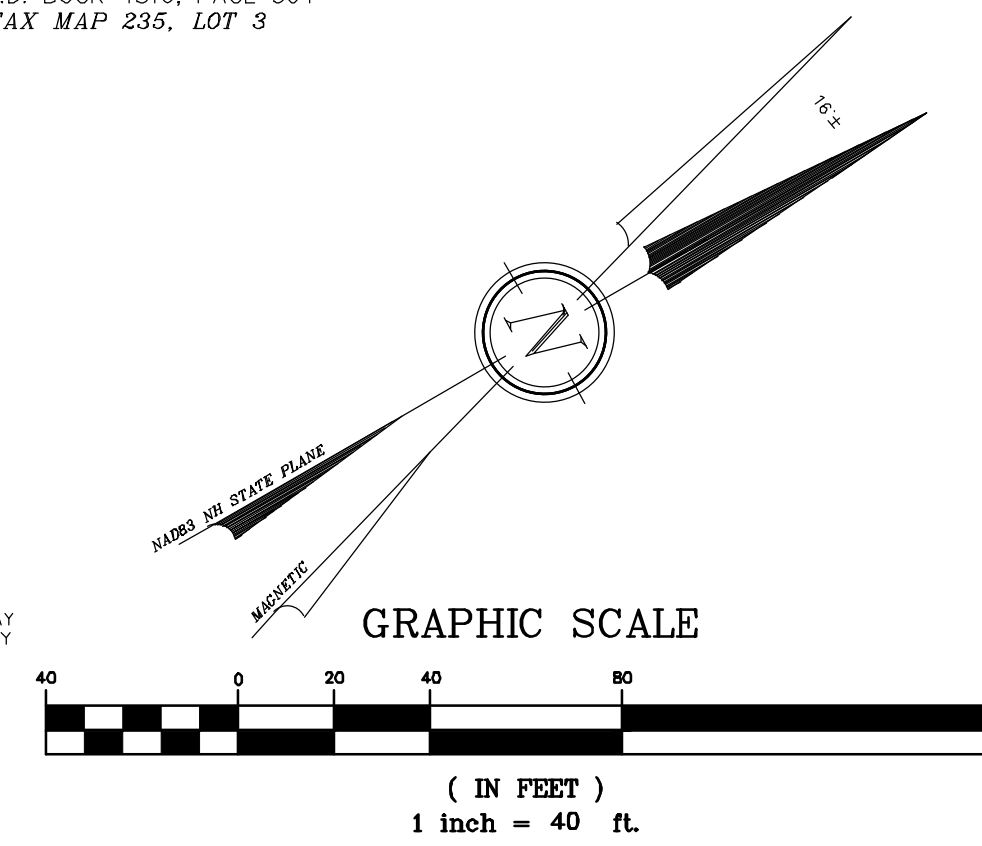
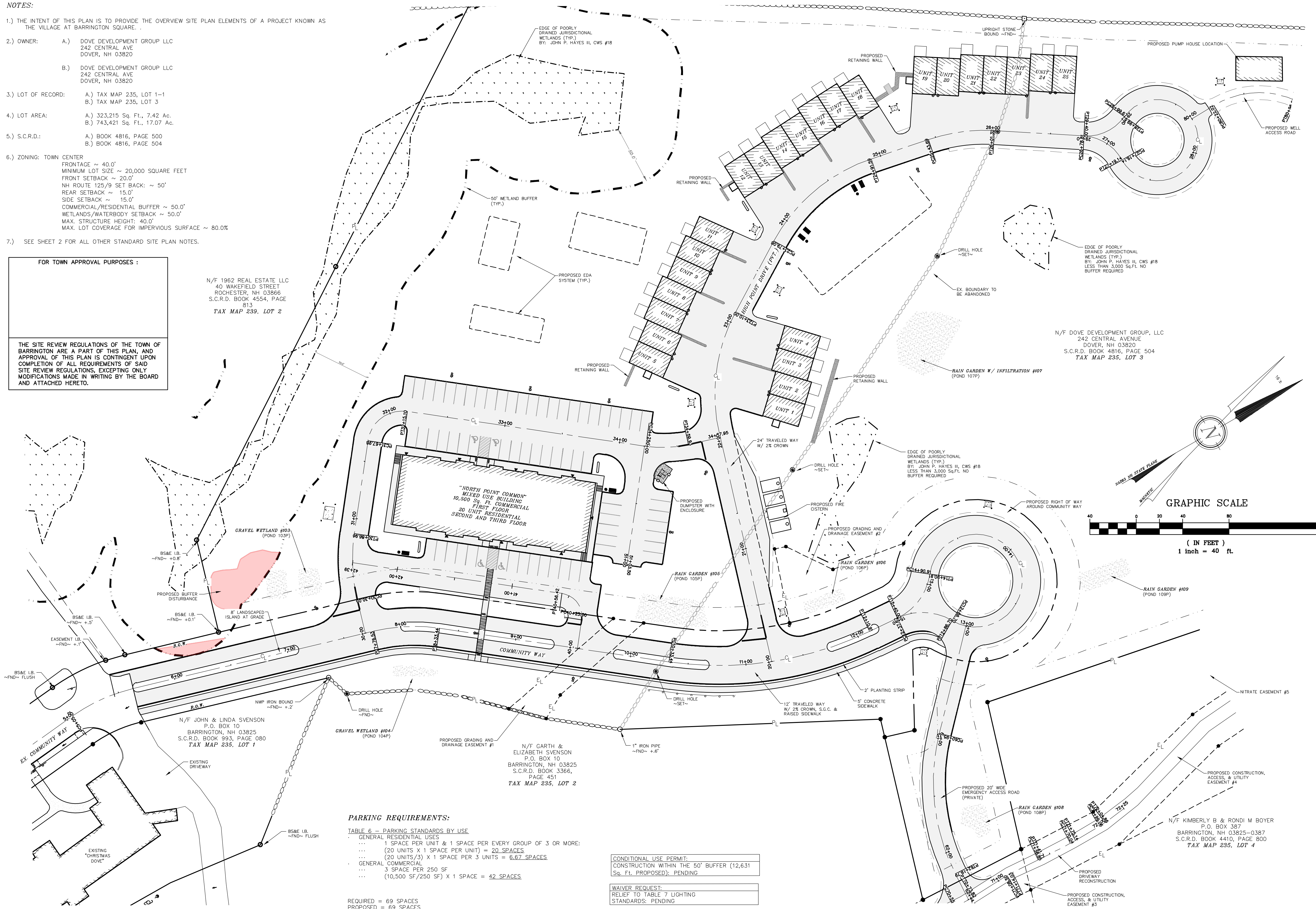
- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE OVERVIEW SITE PLAN ELEMENTS OF A PROJECT KNOWN AS THE VILLAGE AT BARRINGTON SQUARE.
- 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- 3.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 6.) ZONING: TOWN CENTER

FRONTAGE ~ 40.0'
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
FRONT SETBACK ~ 20.0'
NH ROUTE 125/9 SET BACK: ~ 50'
REAR SETBACK ~ 15.0'
SIDE SETBACK ~ 15.0'
COMMERCIAL/RESIDENTIAL BUFFER ~ 50.0'
WETLANDS/WATERBODY SETBACK ~ 50.0'
MAX. STRUCTURE HEIGHT: 40.0'
MAX. LOT COVERAGE FOR IMPERVIOUS SURFACE ~ 80.0%
- 7.) SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.

FOR TOWN APPROVAL PURPOSES :

N/F 1962 REAL ESTATE LLC
40 WAKEFIELD STREET
ROCHESTER, NH 03866
S.C.R.D. BOOK 4554, PAGE 813
TAX MAP 239, LOT 2

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



PARKING REQUIREMENTS:

TABLE 6 - PARKING STANDARDS BY USE

- GENERAL RESIDENTIAL USES
 - 1 SPACE PER UNIT & 1 SPACE PER EVERY GROUP OF 3 OR MORE: (20 UNITS X 1 SPACE PER UNIT) = 20 SPACES
 - (20 UNITS/3) X 1 SPACE PER 3 UNITS = 6.67 SPACES
- GENERAL COMMERCIAL
 - 3 SPACE PER 250 SF
 - (10,500 SF/250 SF) X 1 SPACE = 42 SPACES

REQUIRED = 69 SPACES
PROPOSED = 69 SPACES

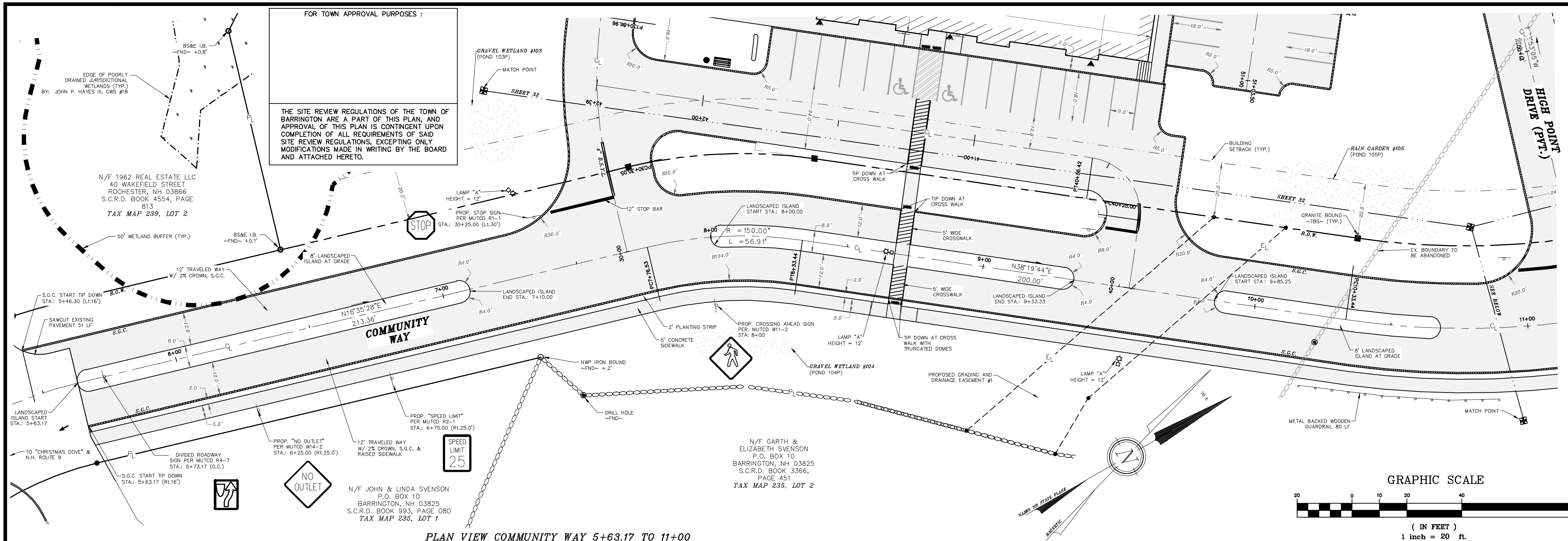
CONDITIONAL USE PERMIT:
CONSTRUCTION WITHIN THE 50' BUFFER (12,631 Sq. Ft. PROPOSED); PENDING

WAIVER REQUEST:
RELIEF TO TABLE 7 LIGHTING STANDARDS; PENDING

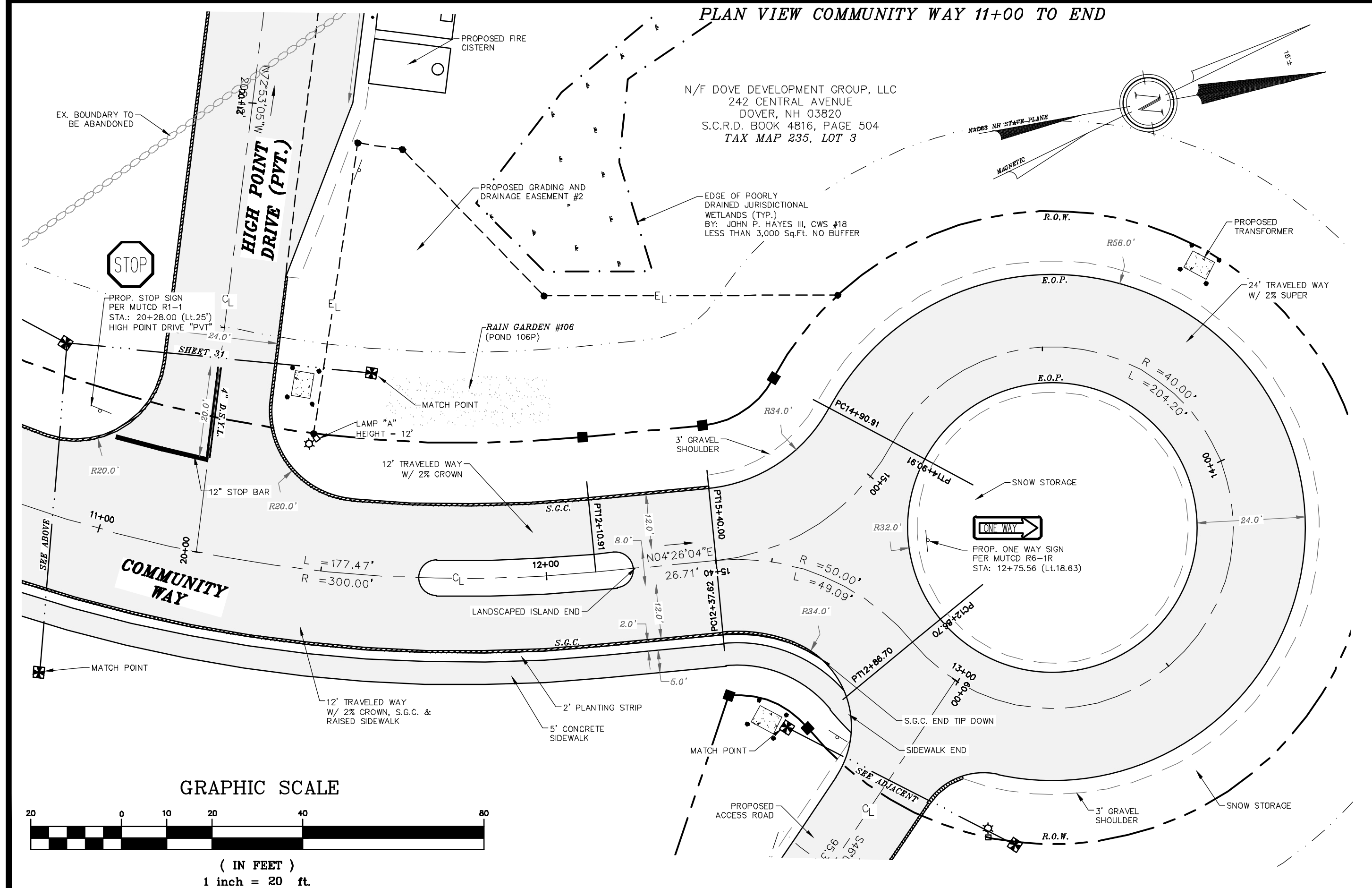
REVISION	DATE	DESCRIPTION

OVERVIEW SITE PLAN
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

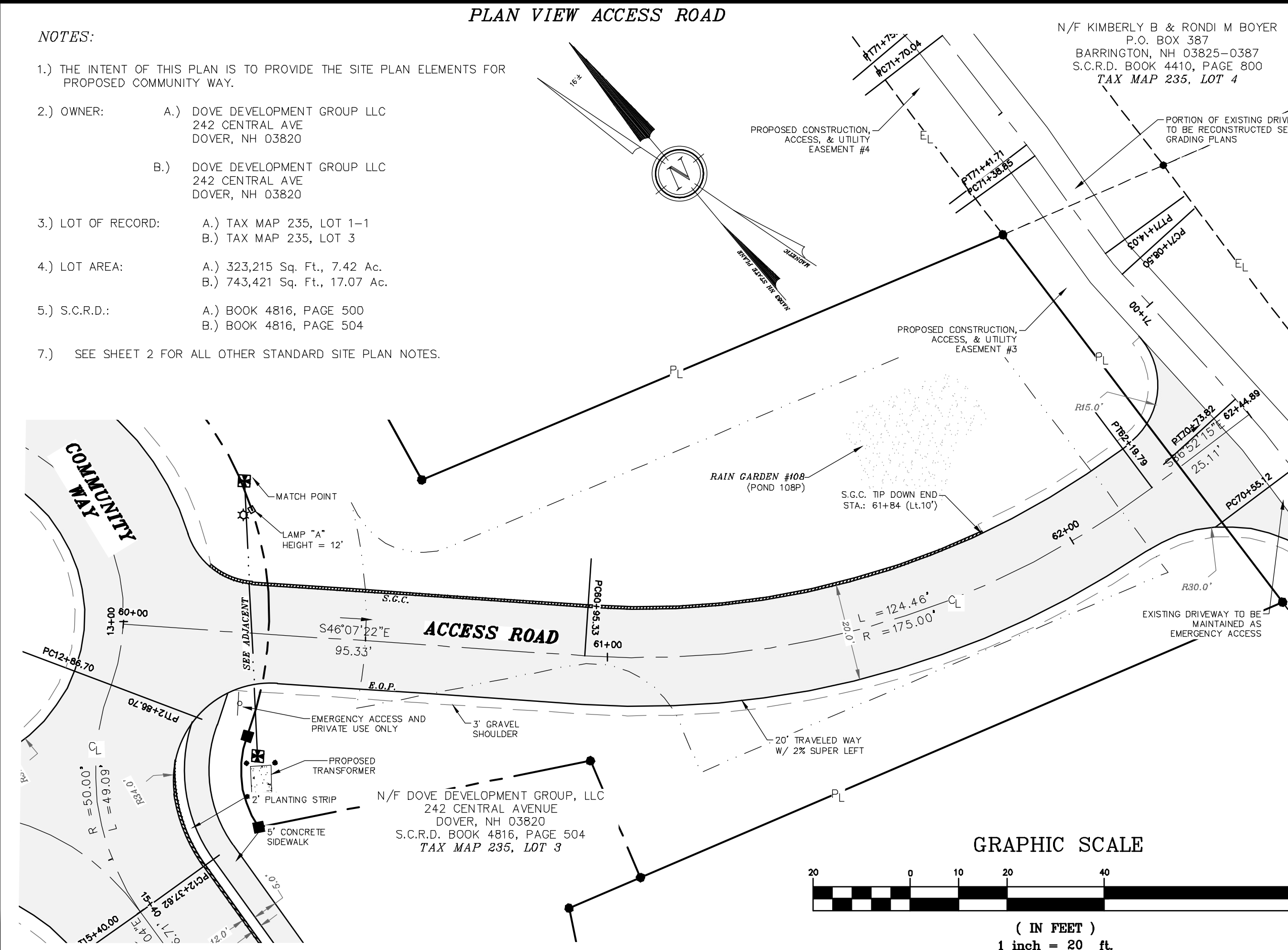
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



PLAN VIEW COMMUNITY WAY 5+63.17 TO 11+00



PLAN VIEW COMMUNITY WAY 11+00 TO END



PLAN VIEW ACCESS ROAD

- NOTES:**
- THE INTENT OF THIS PLAN IS TO PROVIDE THE SITE PLAN ELEMENTS FOR PROPOSED COMMUNITY WAY.
 - OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
 - LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
 - SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

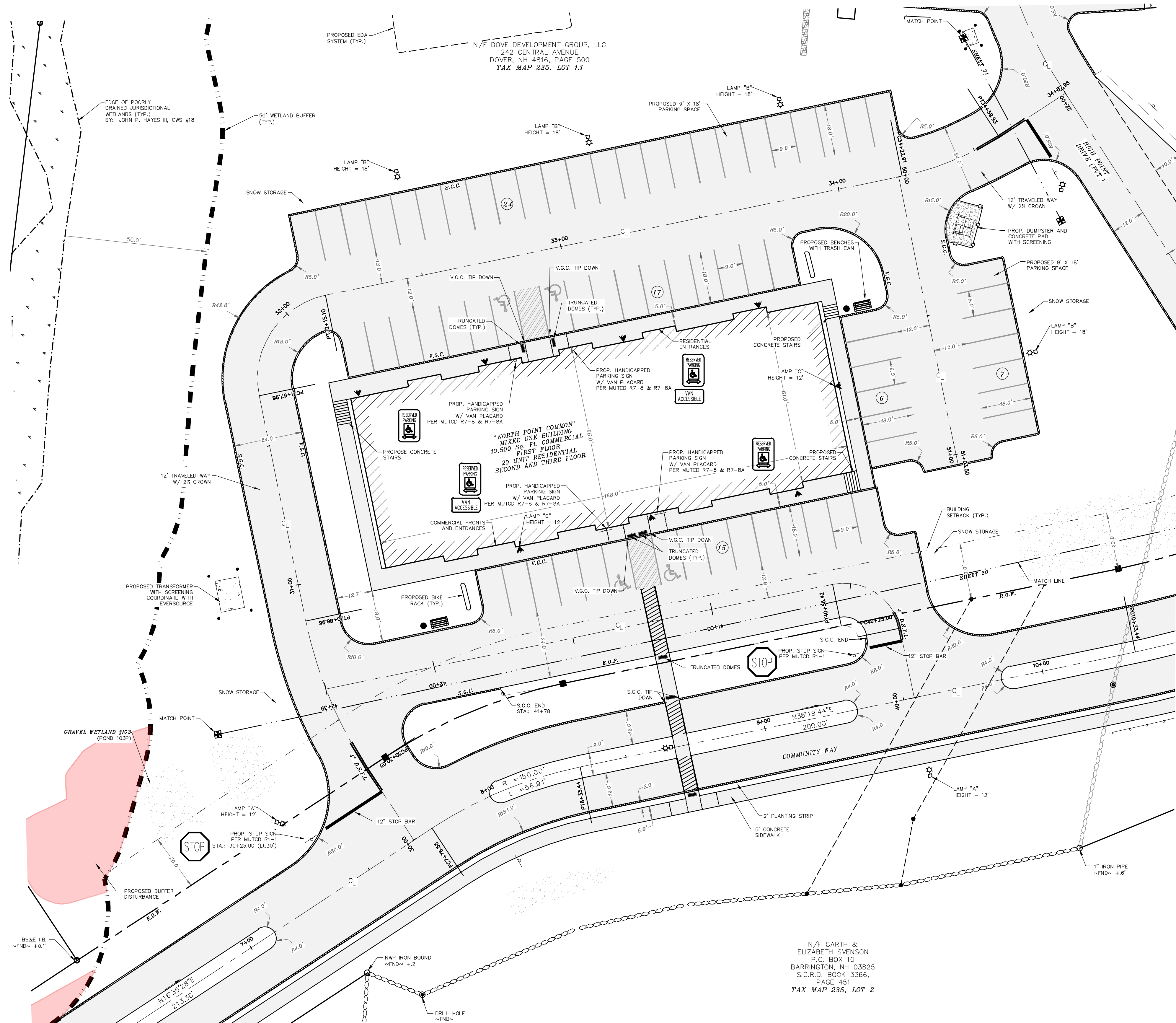
REVISION	DATE	DESCRIPTION

SITE PLAN COMMUNITY WAY
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

KENNETH A. BERRY
 LICENSED PROFESSIONAL ENGINEER

SHEET 30 OF 105

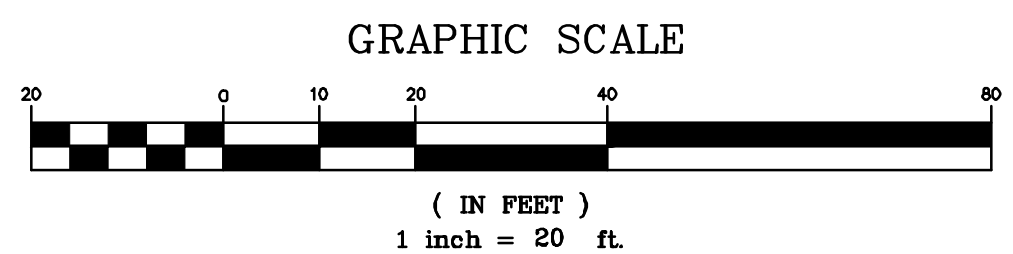
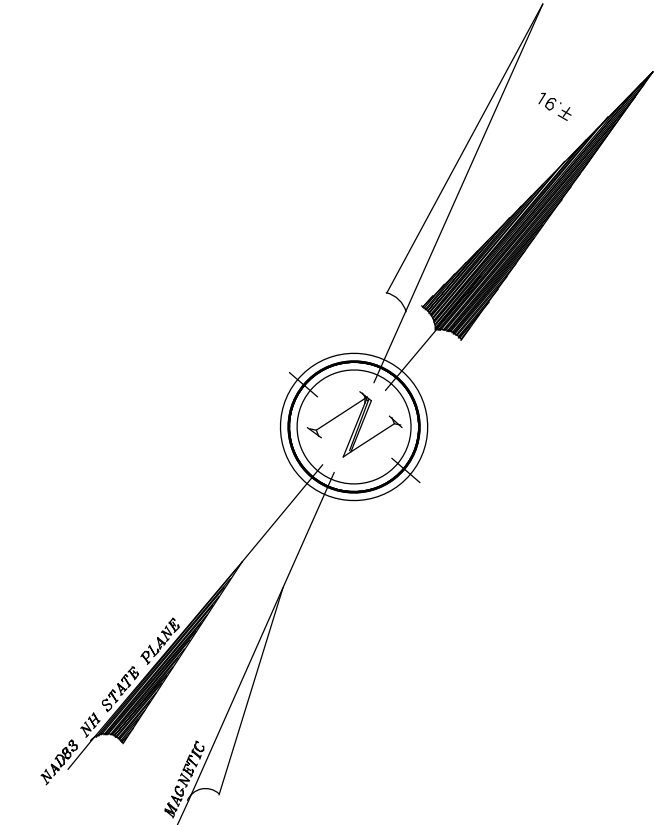


NOTES:

- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE SITE PLAN ELEMENTS FOR NORTH POINT COMMONS.
- 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- 3.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 6.) ZONING: TOWN CENTER
 FRONTAGE ~ 40.0'
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
 FRONT SETBACK ~ 20.0'
 NH ROUTE 125/9 SET BACK: ~ 50'
 REAR SETBACK ~ 15.0'
 SIDE SETBACK ~ 15.0'
 COMMERCIAL/RESIDENTIAL BUFFER ~ 50.0'
 WETLANDS/WATERBODY SETBACK ~ 50.0'
 MAX. STRUCTURE HEIGHT: 40.0'
 MAX. LOT COVERAGE FOR IMPERVIOUS SURFACE ~ 80.0%
- 7.) SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.
- 8.) VERTICAL GRANITE CURB OR CONCRETE CURB CAN BE USED AROUND THE PROPOSED MIXED BUILDING.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



N/F GARTH &
ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366,
PAGE 451
TAX MAP 235, LOT 2

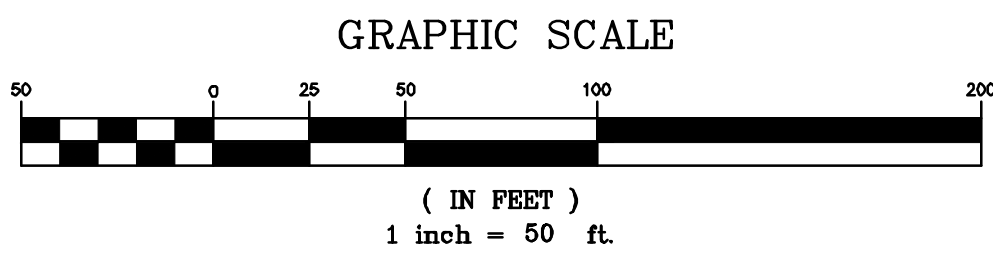
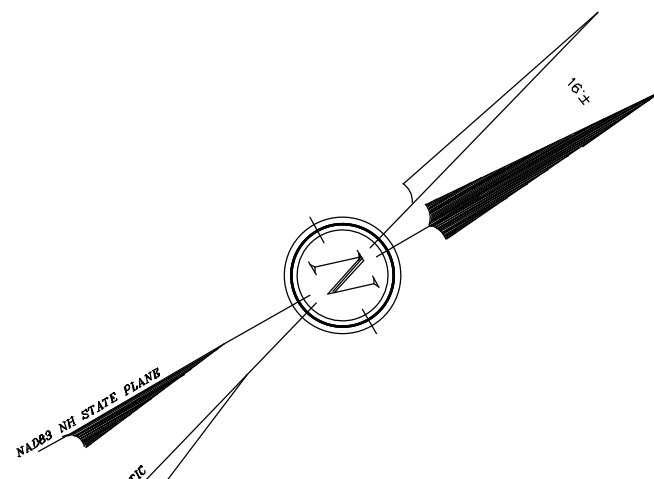
REVISION	DATE	DESCRIPTION

SITE PLAN NORTH POINT COMMON
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

NOTES:

- 1.) OWNER & APPLICANT:
 - A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.
- 10.) COMMUNITY WAY, FORMERLY CHRISTMAS LANE, WAS BUILT FROM 0+00 - 5+63 DURING THE SUMMER OF 2019 BASED ON TOWN OF BARRINGTON PLANNING BOARD APPROVALS.

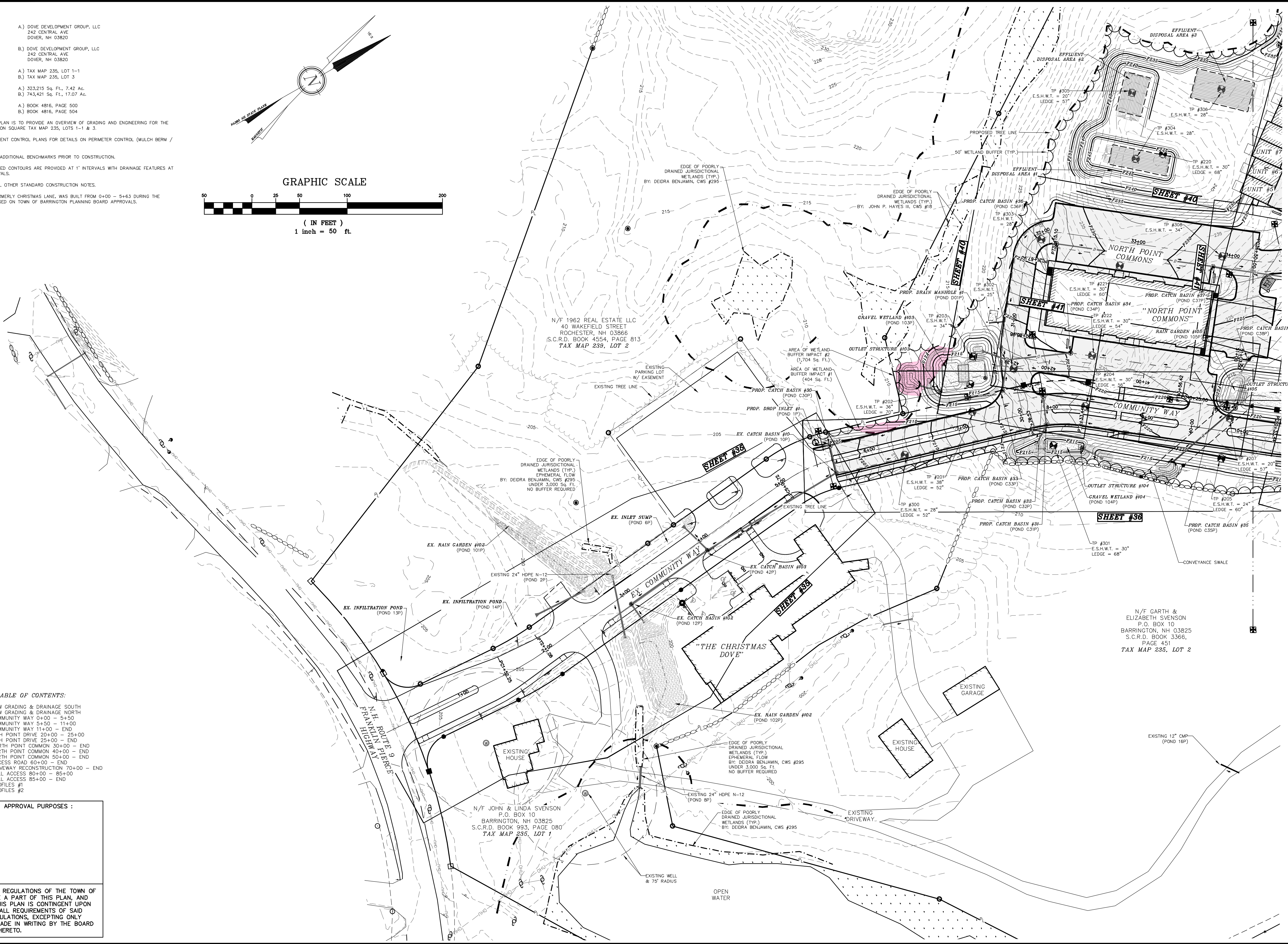


GRADING PLAN TABLE OF CONTENTS:

- SHEET #33: OVERVIEW GRADING & DRAINAGE SOUTH
- SHEET #34: OVERVIEW GRADING & DRAINAGE NORTH
- SHEET #35: P&P COMMUNITY WAY 0+00 - 5+50
- SHEET #36: P&P COMMUNITY WAY 5+50 - 11+00
- SHEET #37: P&P COMMUNITY WAY 11+00 - END
- SHEET #38: P&P HIGH POINT DRIVE 20+00 - 25+00
- SHEET #39: P&P HIGH POINT DRIVE 25+00 - END
- SHEET #40: P&P NORTH POINT COMMON 30+00 - END
- SHEET #41: P&P NORTH POINT COMMON 40+00 - END
- SHEET #42: P&P NORTH POINT COMMON 50+00 - END
- SHEET #43: P&P ACCESS ROAD 60+00 - END
- SHEET #44: P&P DRIVEWAY RECONSTRUCTION 70+00 - END
- SHEET #45: P&P WELL ACCESS 80+00 - 85+00
- SHEET #46: P&P WELL ACCESS 85+00 - END
- SHEET #47: PIPE PROFILES #1
- SHEET #48: PIPE PROFILES #2

FOR TOWN APPROVAL PURPOSES :

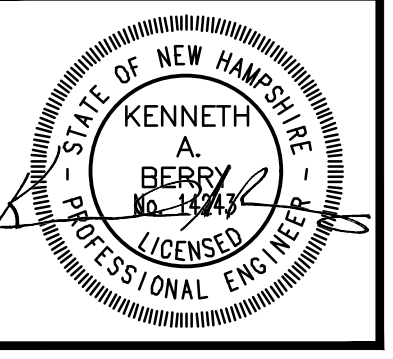
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



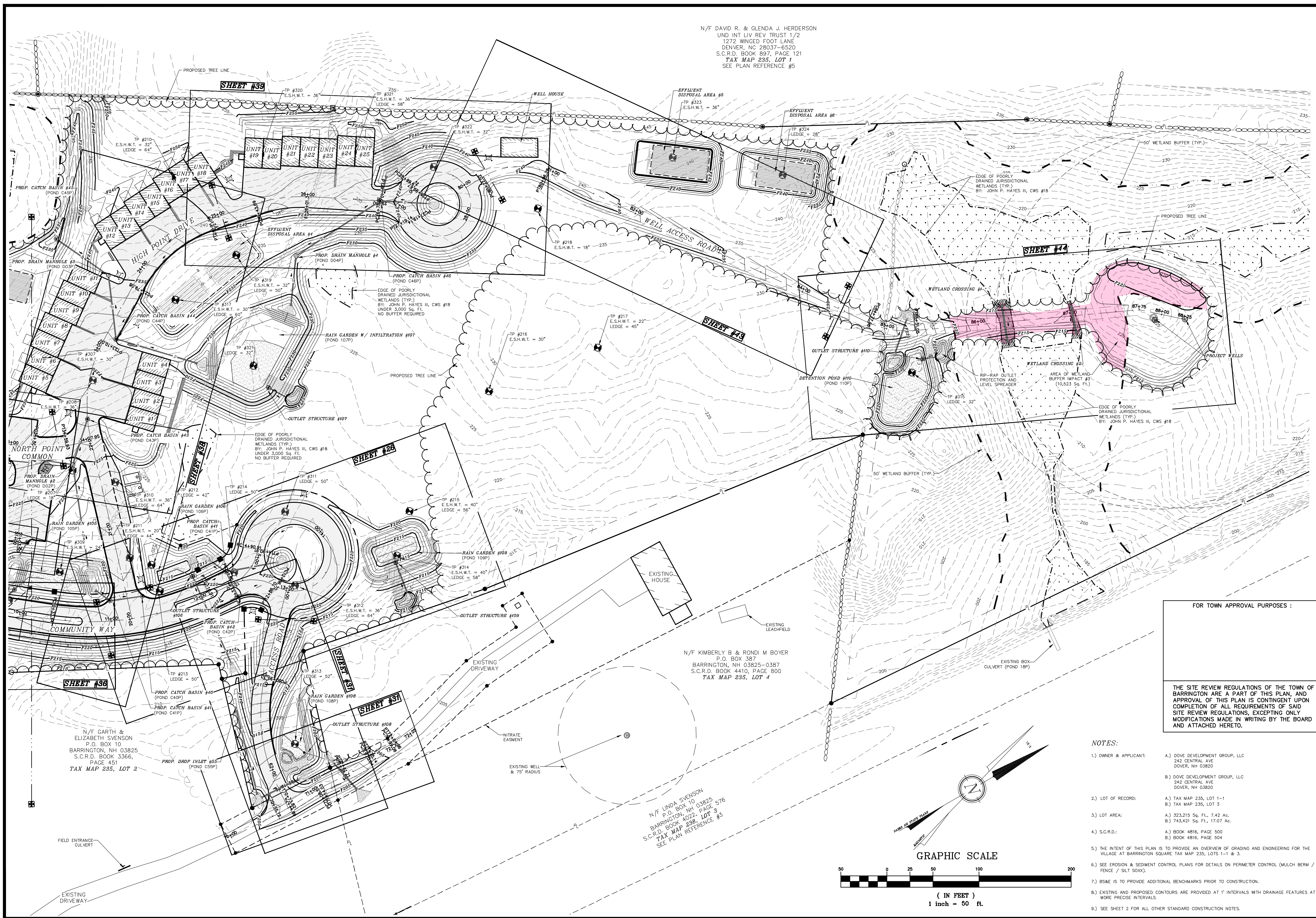
REVISION	DATE	DESCRIPTION

OVERVIEW GRADING PLAN SOUTH
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 50 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



N/F DAVID R. & GLENDA J. HERDERSON
 UND INT LIV TRUST 1/2
 1272 WINGED FOOT LANE
 DENVER, NC 28037-6520
 S.C.R.D. BOOK 897, PAGE 121
 TAX MAP 235, LOT 1
 SEE PLAN REFERENCE #5



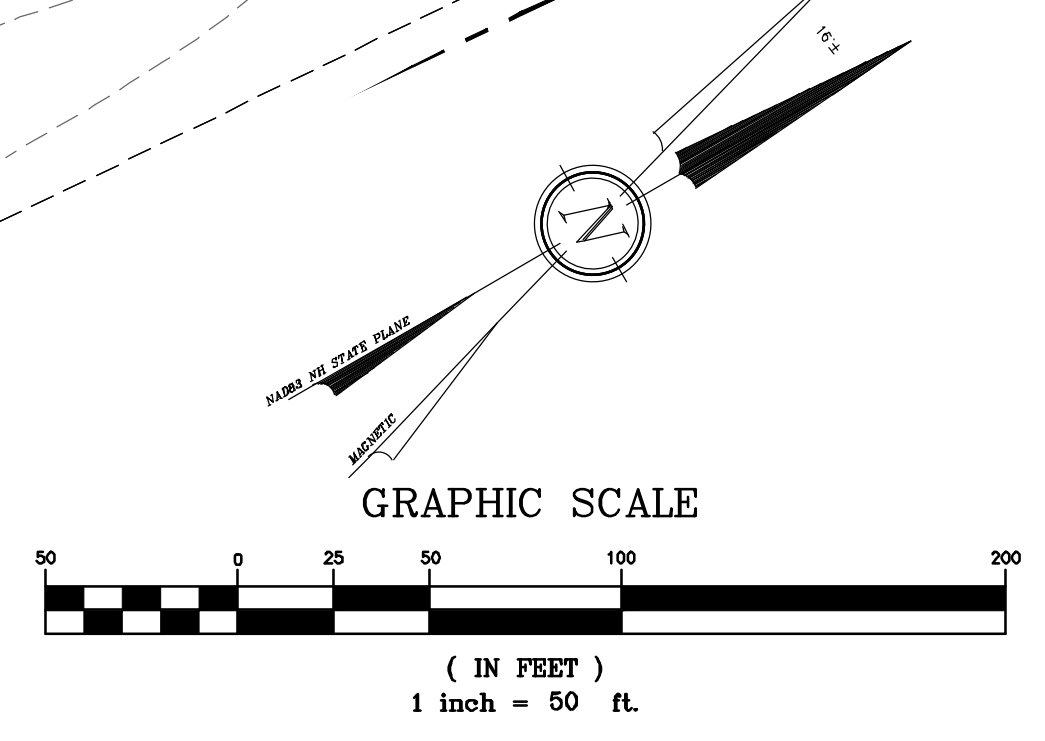
N/F GARTH & ELIZABETH SVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 3366,
 PAGE 451
 TAX MAP 235, LOT 2

N/F UNDA EVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 4029, PAGE 576
 TAX MAP 238, LOT 3
 SEE PLAN REFERENCE #3

N/F KIMBERLY B & RONDI M BOYER
 P.O. BOX 387
 BARRINGTON, NH 03825-0387
 S.C.R.D. BOOK 4410, PAGE 800
 TAX MAP 235, LOT 4

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

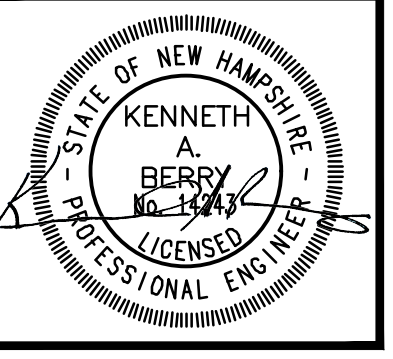


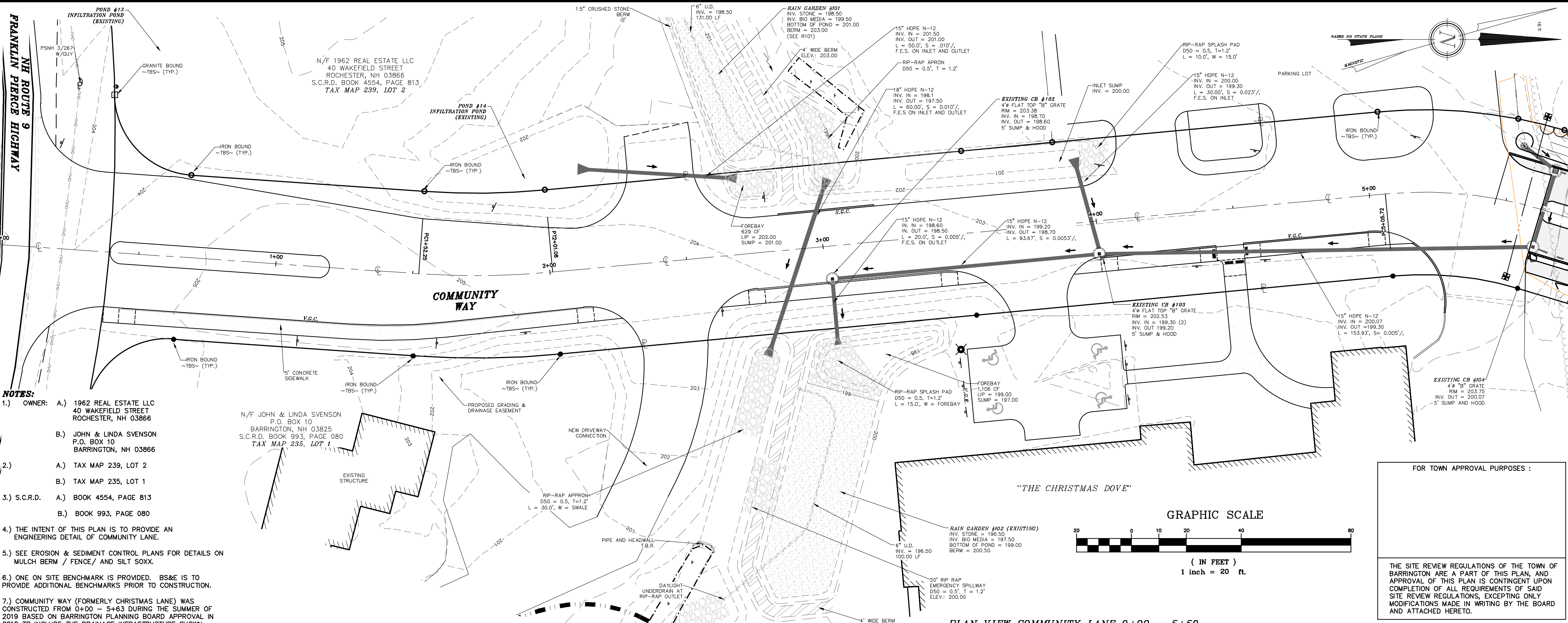
- NOTES:
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE. TAX MAP 235, LOTS 1-1 & 3.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

REVISION	DATE	DESCRIPTION

OVERVIEW GRADING PLAN NORTH
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

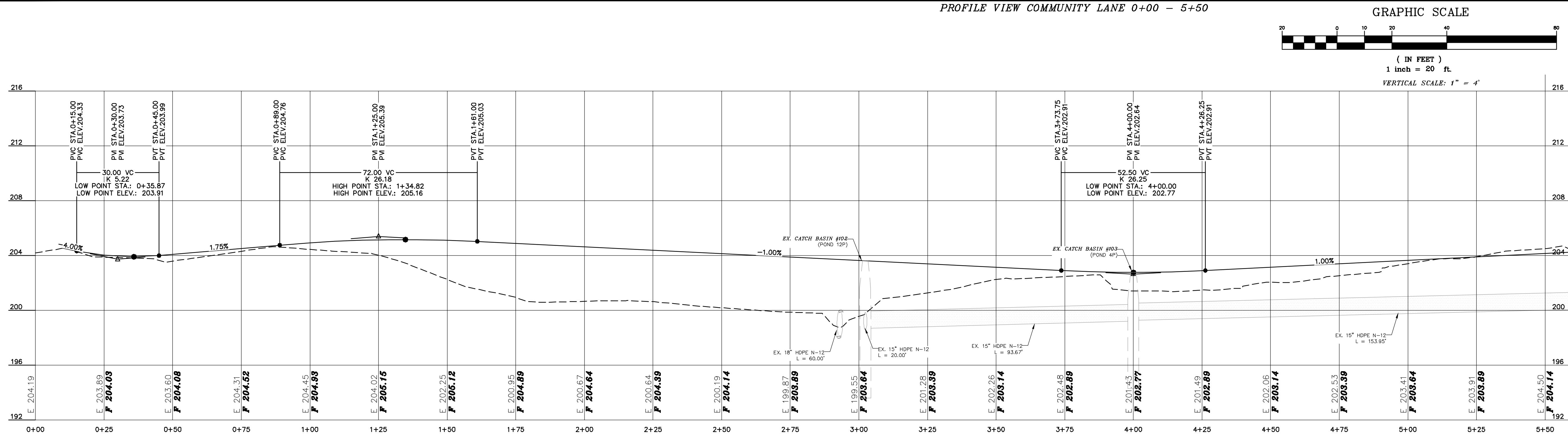
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 50 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097





- NOTES:**
- OWNER:
 - 1962 REAL ESTATE LLC
40 WAKEFIELD STREET
ROCHESTER, NH 03866
 - JOHN & LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03866
 - TAX MAP 239, LOT 2
TAX MAP 235, LOT 1
 - S.C.R.D.
 - BOOK 4554, PAGE 813
 - BOOK 993, PAGE 080
 - THE INTENT OF THIS PLAN IS TO PROVIDE AN ENGINEERING DETAIL OF COMMUNITY LANE.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON MULCH BERM / FENCE/ AND SILT SOXX.
 - ONE ON SITE BENCHMARK IS PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - COMMUNITY WAY (FORMERLY CHRISTMAS LANE) WAS CONSTRUCTED FROM 0+00 - 5+63 DURING THE SUMMER OF 2019 BASED ON BARRINGTON PLANNING BOARD APPROVAL IN 2018 TO INCLUDE THE DRAINAGE INFRASTRUCTURE SHOWN.

PLAN VIEW COMMUNITY LANE 0+00 - 5+50
PROFILE VIEW COMMUNITY LANE 0+00 - 5+50



REVISION	DATE	DESCRIPTION

EXISTING PLAN & PROFILE COMMUNITY LANE 0+00 - 5+50
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

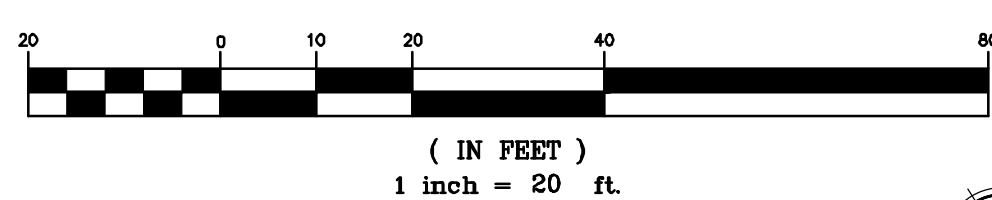
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

NOTES:

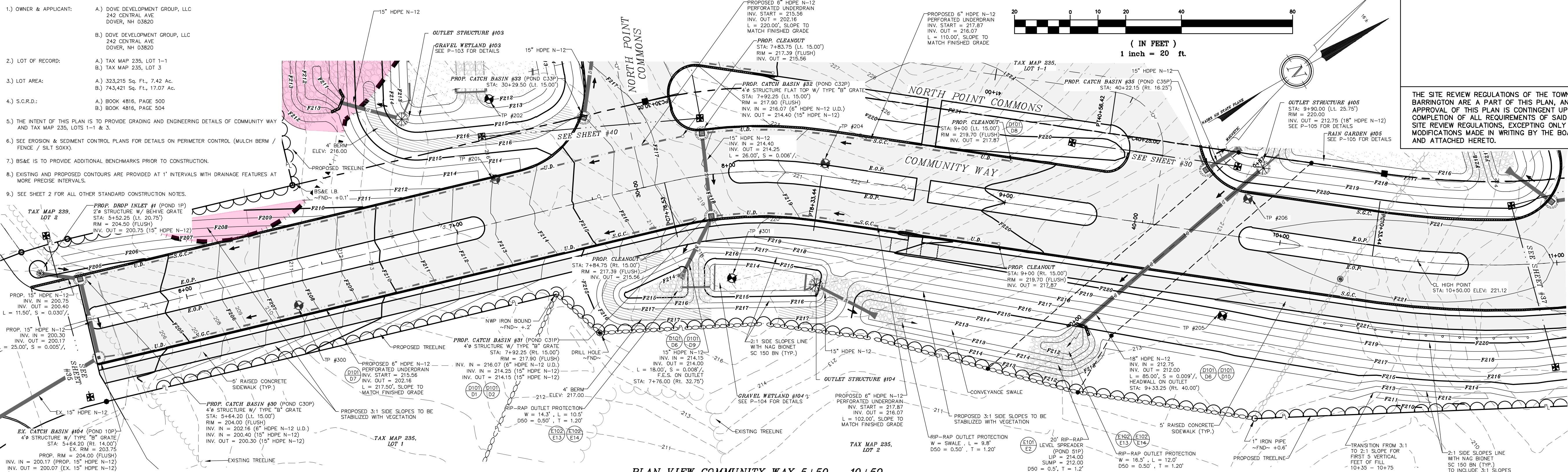
- 1.) OWNER & APPLICANT:
 - A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
- 7.) BSA&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

GRAPHIC SCALE



FOR TOWN APPROVAL PURPOSES :

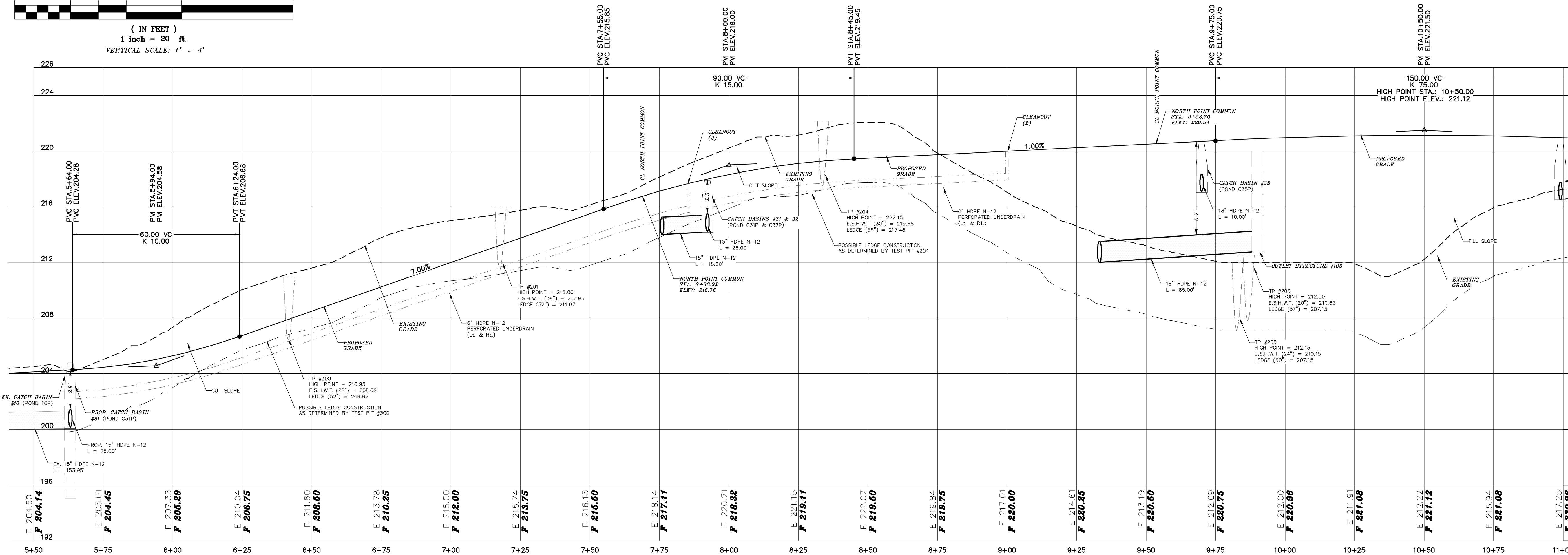
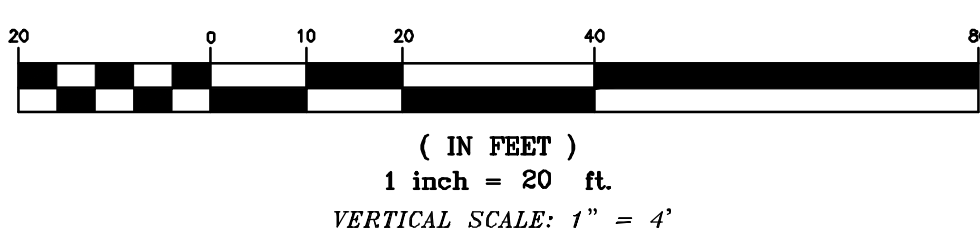
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



PLAN VIEW COMMUNITY WAY 5+50 - 10+50

PROFILE VIEW COMMUNITY WAY 5+50 - 10+50

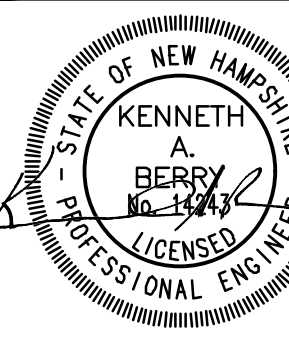
GRAPHIC SCALE

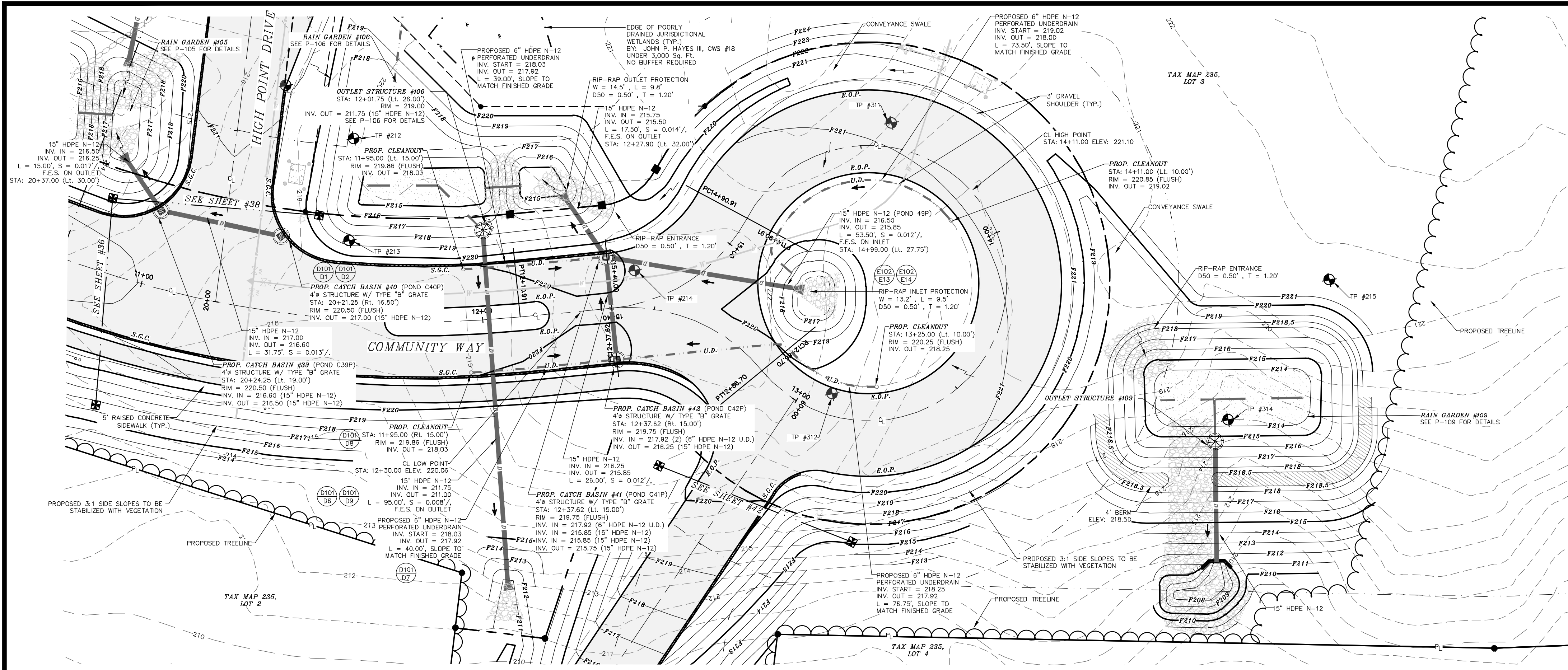


REVISION	DATE	DESCRIPTION

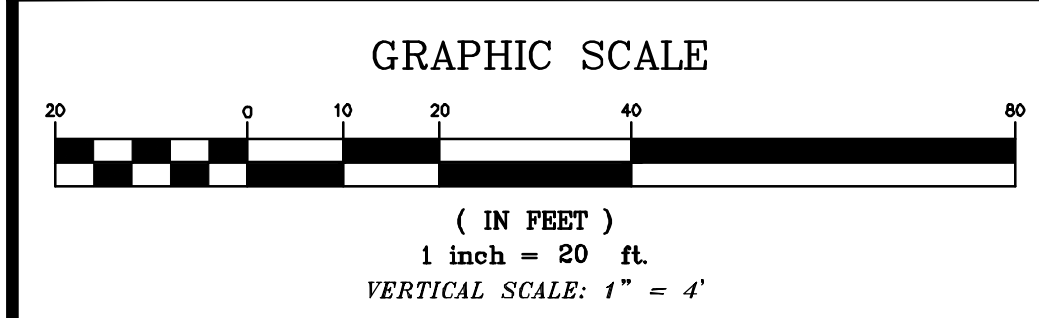
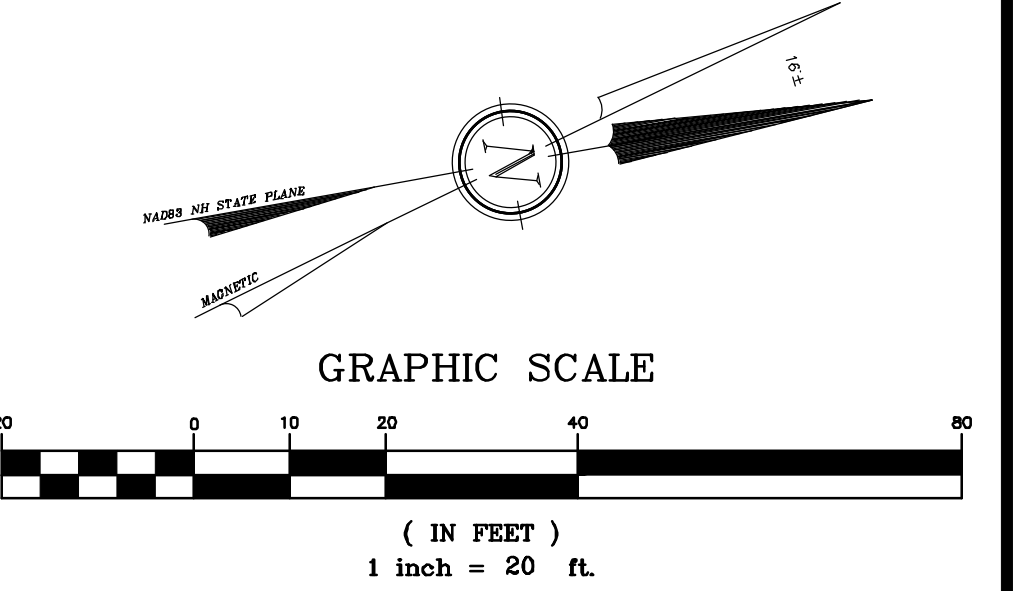
PLAN AND PROFILE COMMUNITY WAY 5+50 - 11+00
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



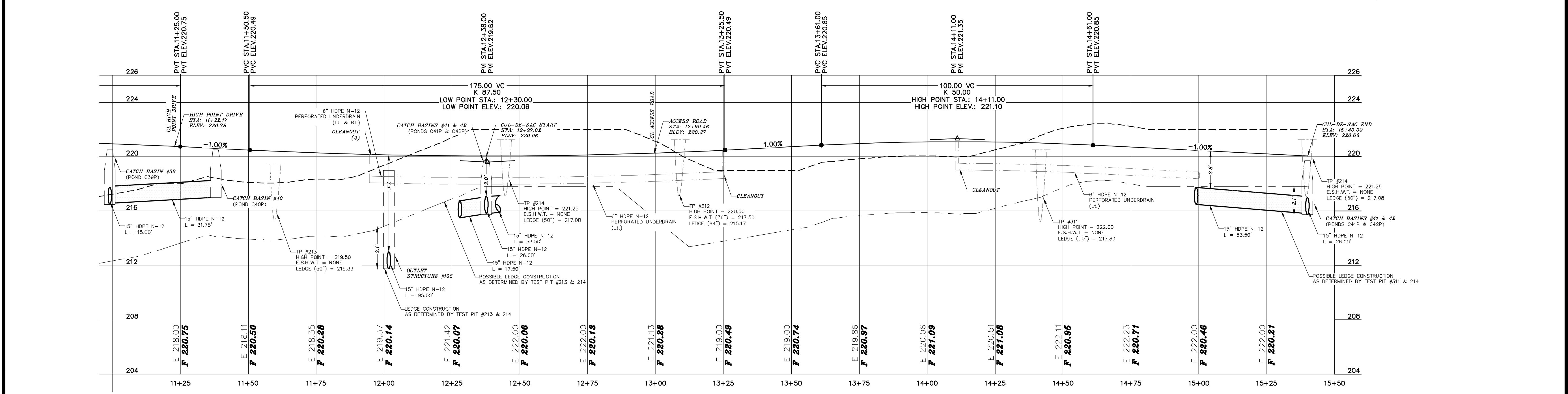


- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 AC.
B.) 743,421 Sq. Ft., 17.07 AC.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



REVISION	DATE	DESCRIPTION

PLAN AND PROFILE COMMUNITY WAY 11+00 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: JUNE 14, 2021
FILE NO.: DB 2020 - 097

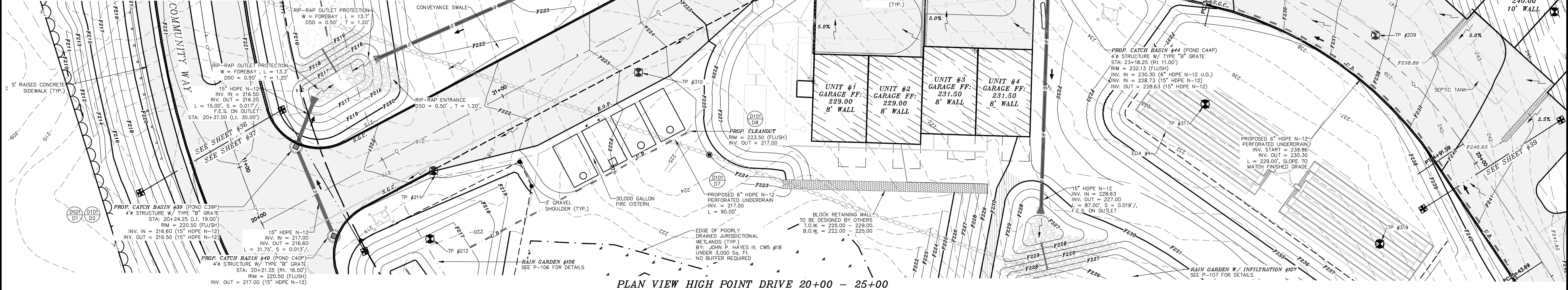
NOTES:

- 1.) OWNER & APPLICANT:
 - A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
 - A.) 333,215 Sq. Ft., 7.43 Ac.
 - B.) 743,420 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF HIGH POINT DRIVE AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOCKS).
- 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

GRAPHIC SCALE

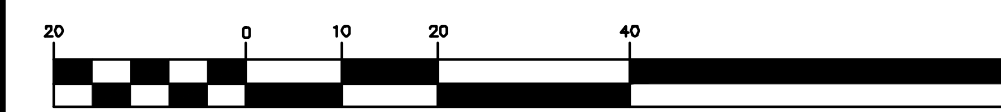


(IN FEET)
1 inch = 20 ft



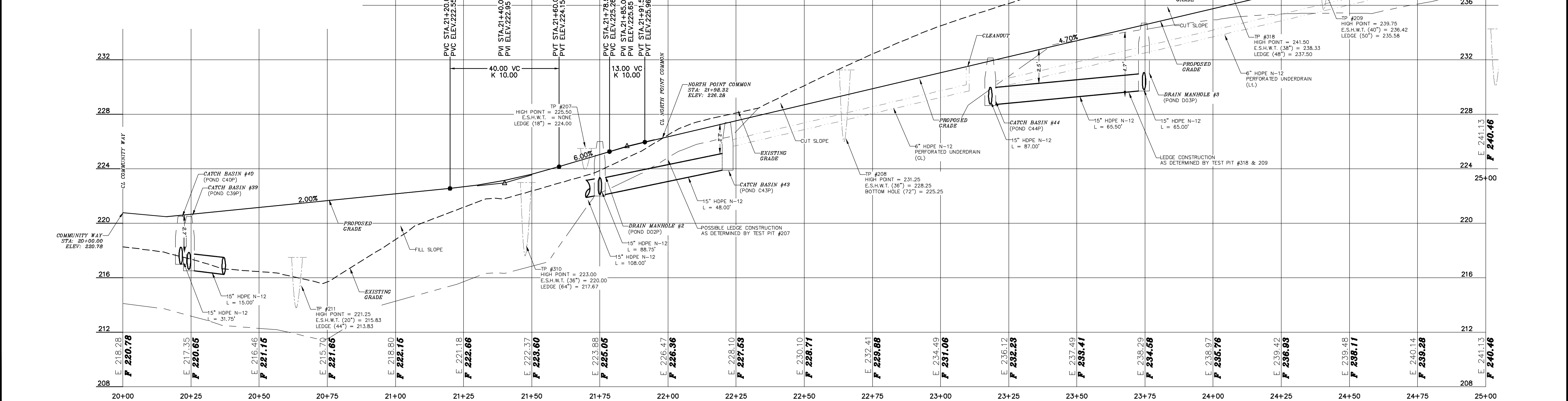
PLAN VIEW HIGH POINT DRIVE 20+00 - 25+00

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft

VERTICAL SCALE: 1" = 4'



PROFILE VIEW HIGH POINT DRIVE 20+00 - 25+00

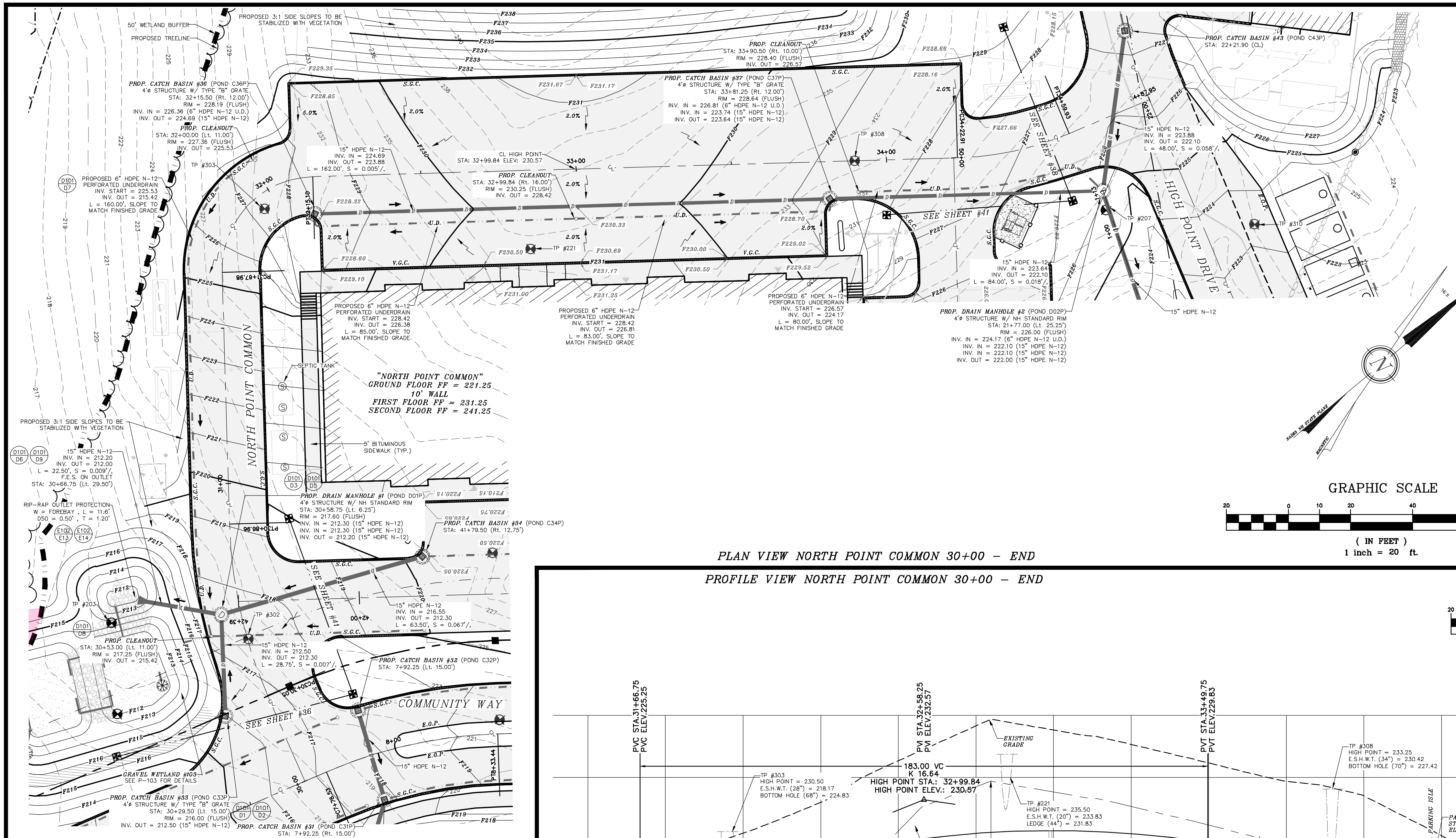
FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

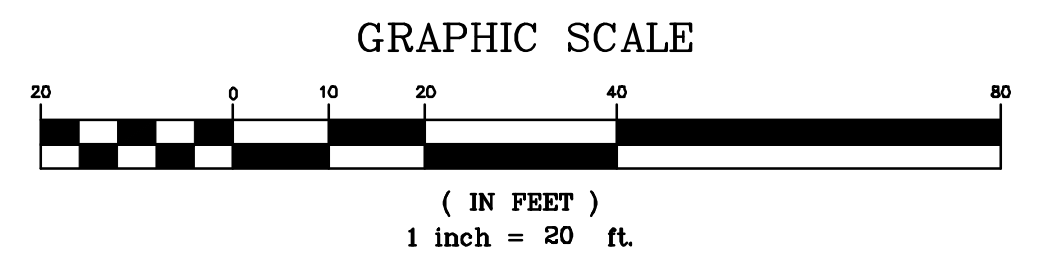
PLAN AND PROFILE HIGH POINT DRIVE 20+00 - 25+00
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



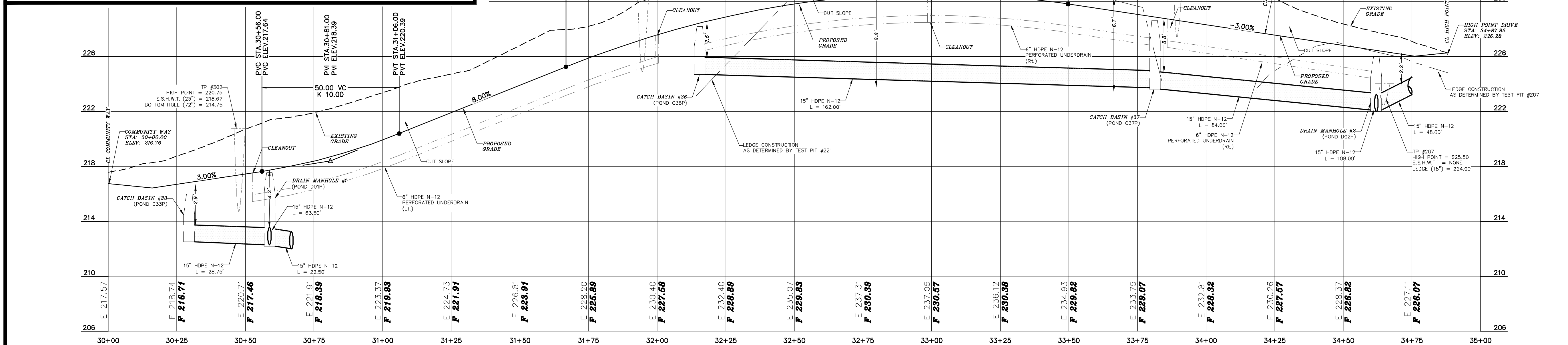
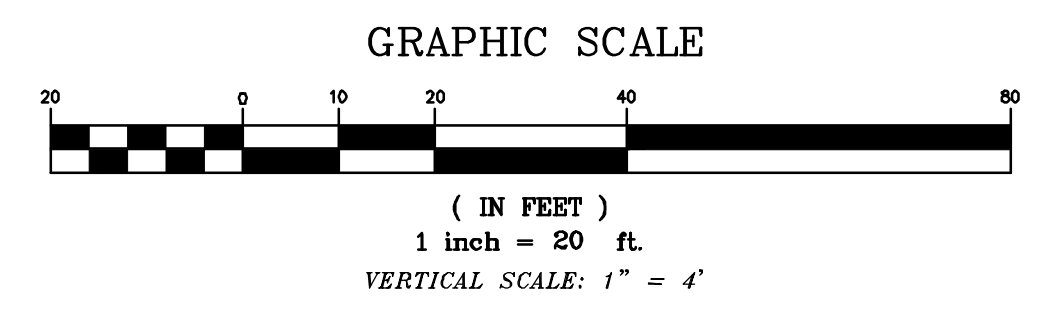
PLAN VIEW NORTH POINT COMMON 30+00 - END
 PROFILE VIEW NORTH POINT COMMON 30+00 - END

- NOTES:**
- 1.) OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A) TAX MAP 235, LOT 1-1
B) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.
B) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A) BOOK 4816, PAGE 500
B) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF NORTH POINT COMMON AND TAX MAP 235, LOTS 1-1 & 3.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
 - 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1" INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



FOR TOWN APPROVAL PURPOSES :

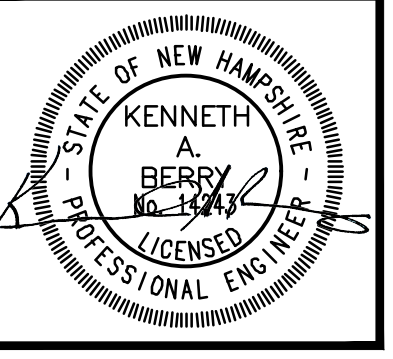
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



REVISION	DATE	DESCRIPTION

PLAN AND PROFILE NORTH POINT COMMONS 30+00 - END
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

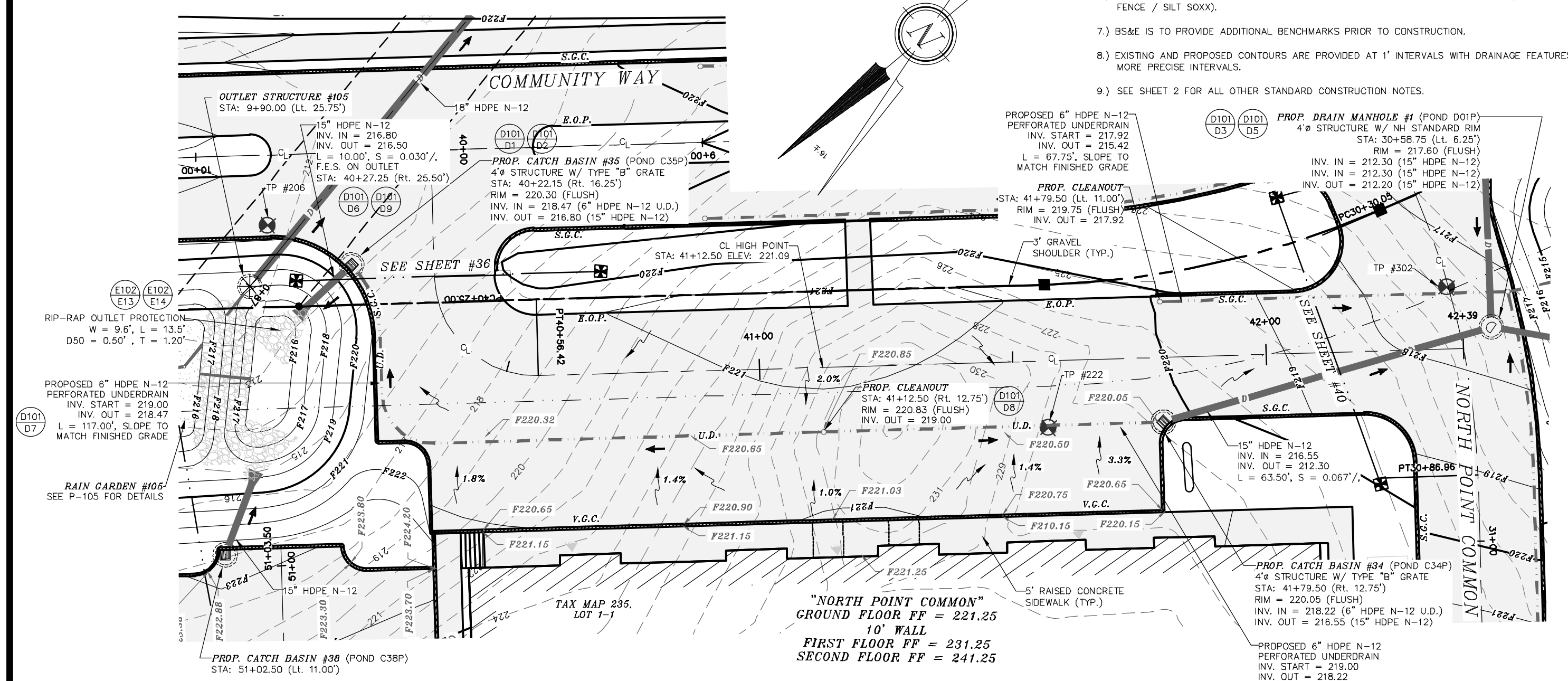
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

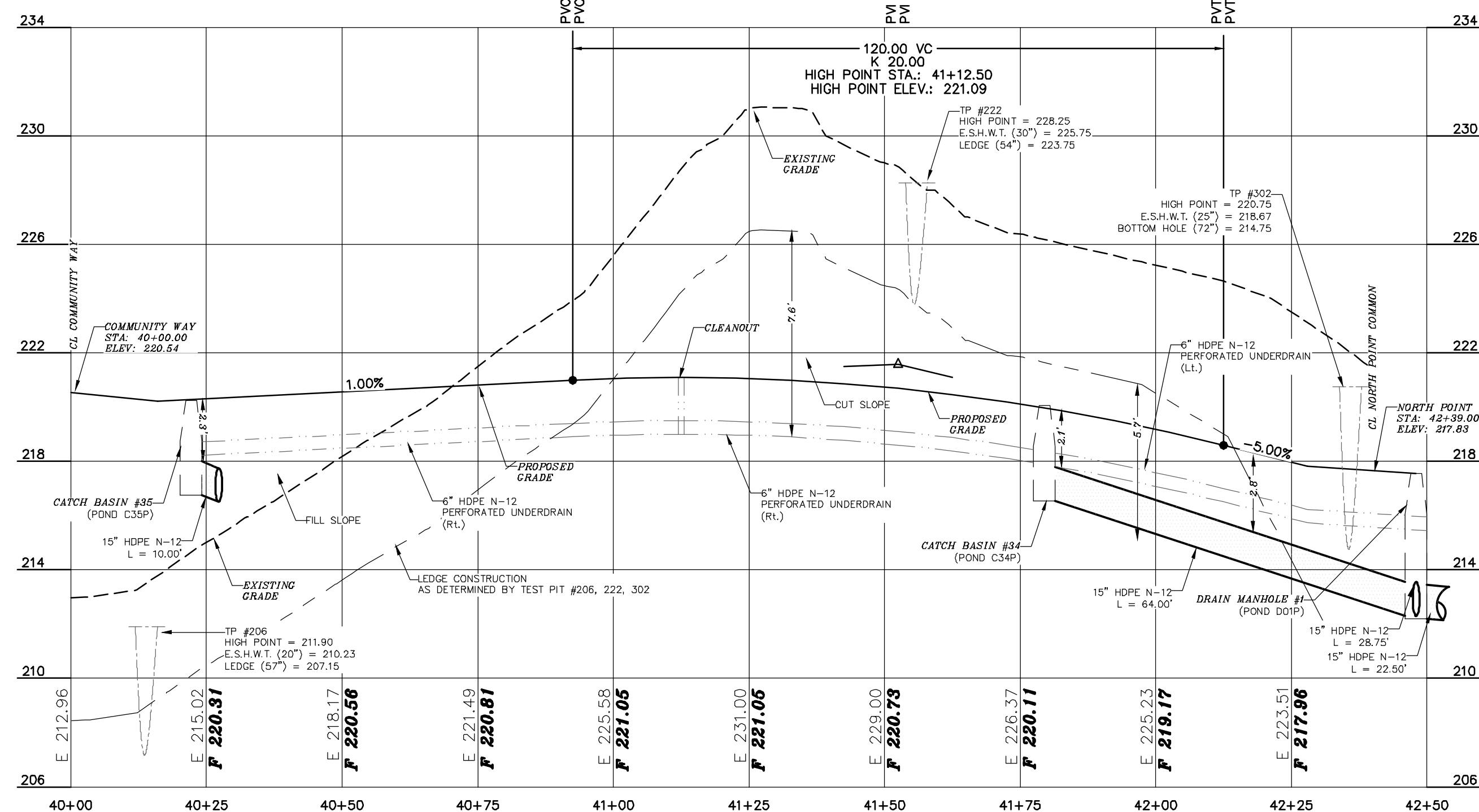


PLAN VIEW NORTH POINT COMMONS FRONT PARKING 40+00 - END
PROFILE VIEW NORTH POINT COMMONS FRONT PARKING 40+00 - END

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.
VERTICAL SCALE: 1" = 4'



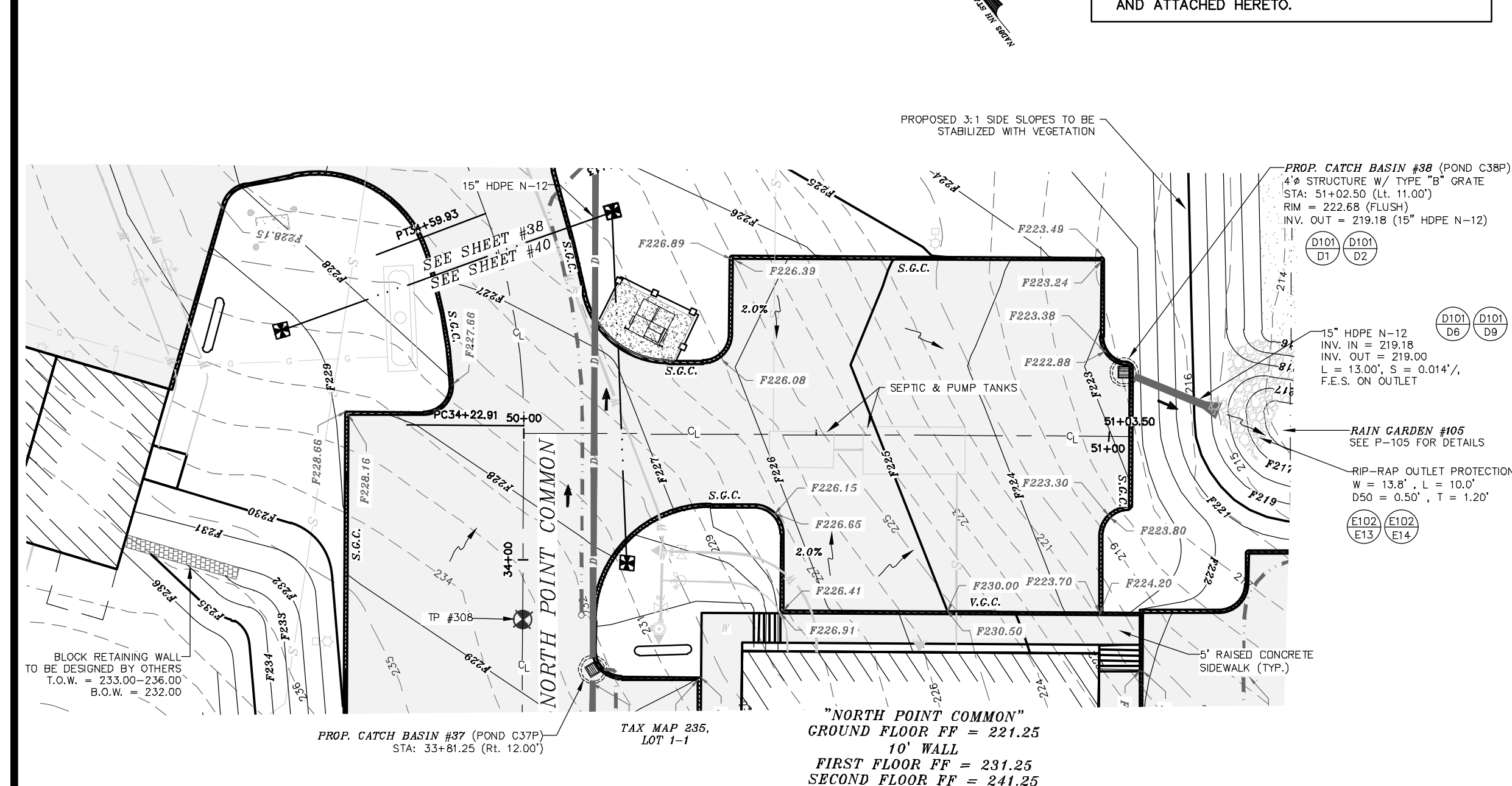
NOTES:

- 1.) OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD: A) TAX MAP 235, LOT 1-1
B) TAX MAP 235, LOT 3
- 3.) LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.
B) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A) BOOK 4816, PAGE 500
B) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF NORTH POINT COMMON FRONT AND SIDE PARKING AREAS AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

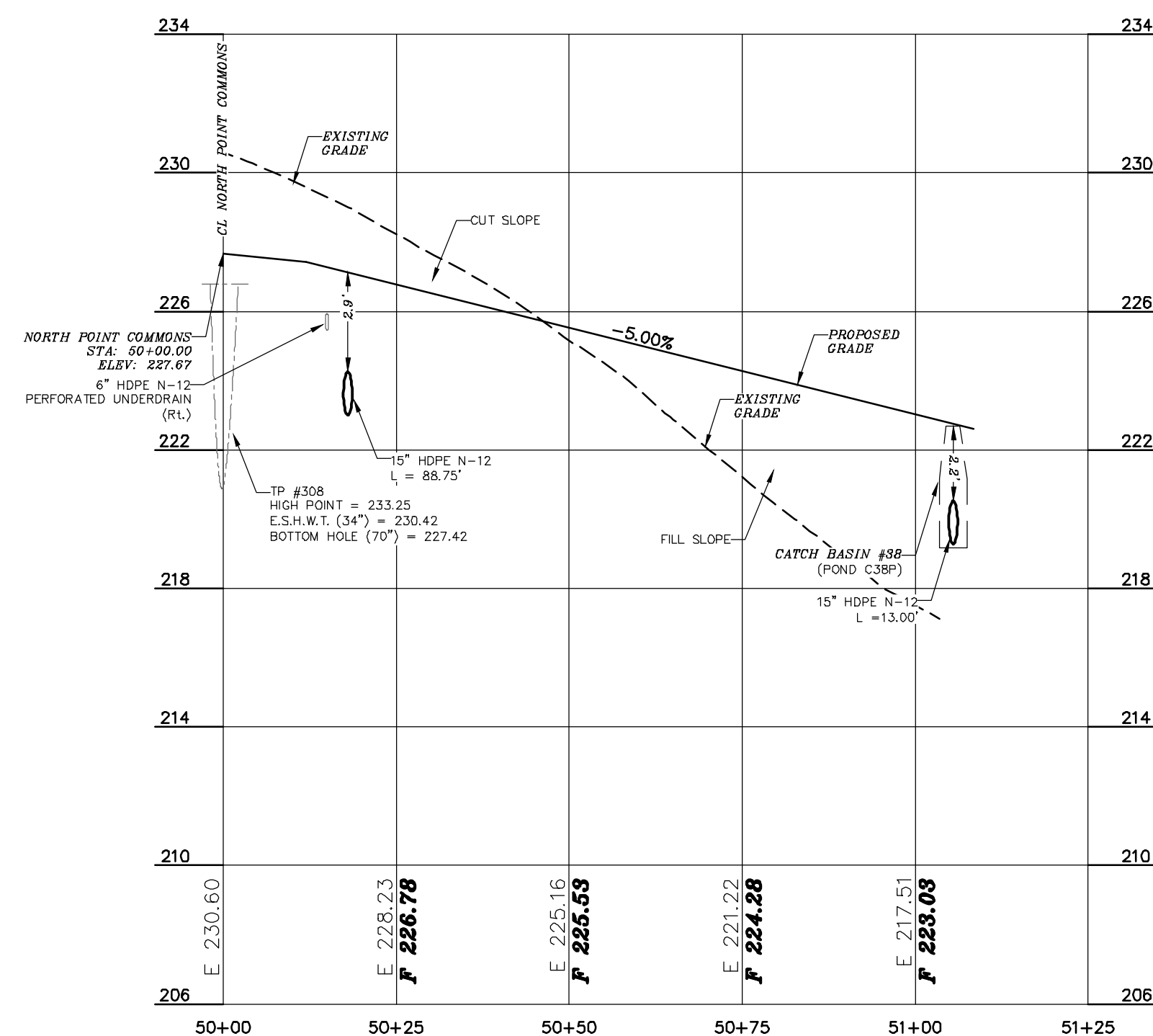


PLAN VIEW NORTH POINT COMMONS SIDE PARKING 50+00 - END
PROFILE VIEW NORTH POINT COMMONS SIDE PARKING 50+00 - END

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.
VERTICAL SCALE: 1" = 4'



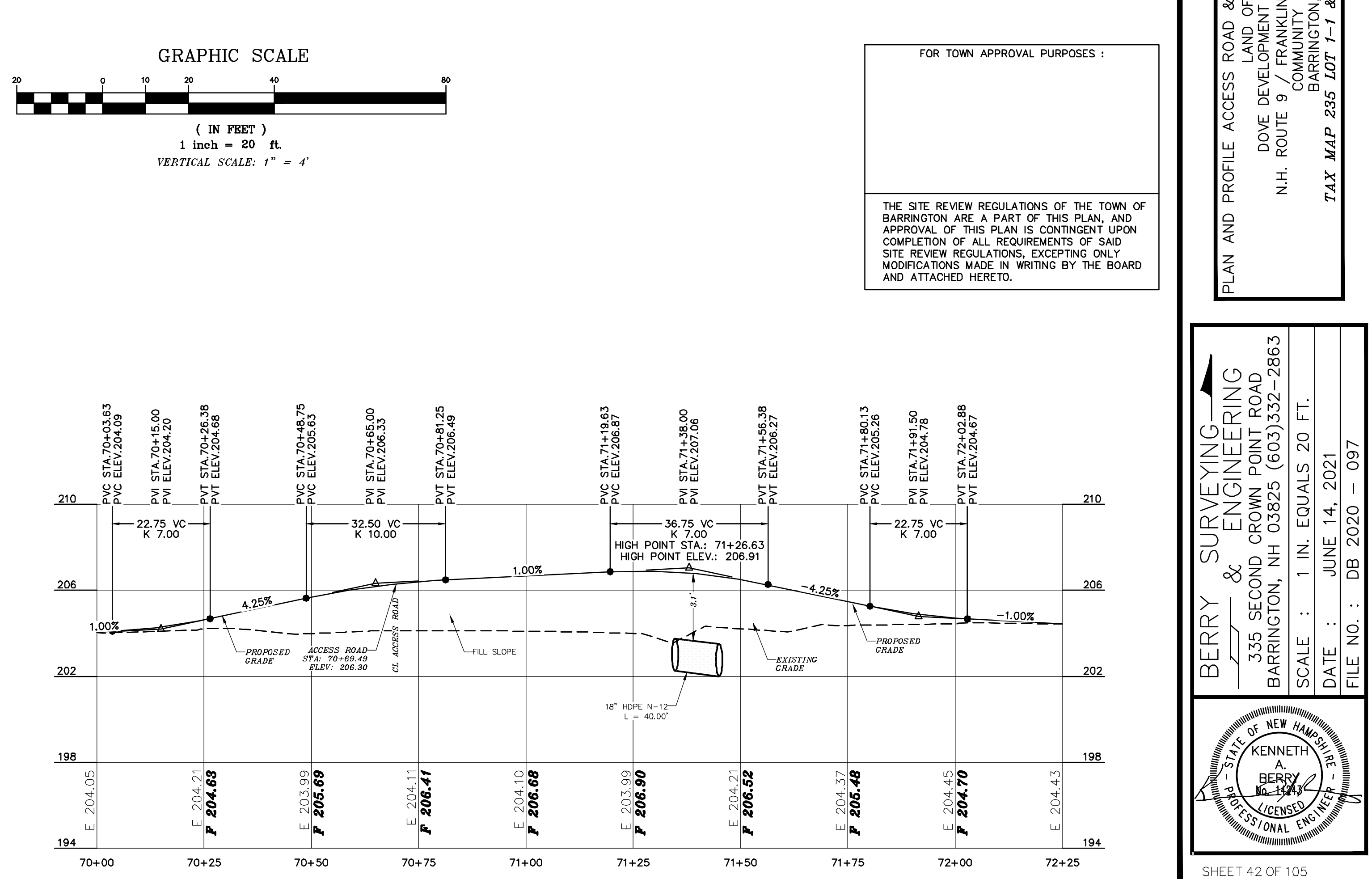
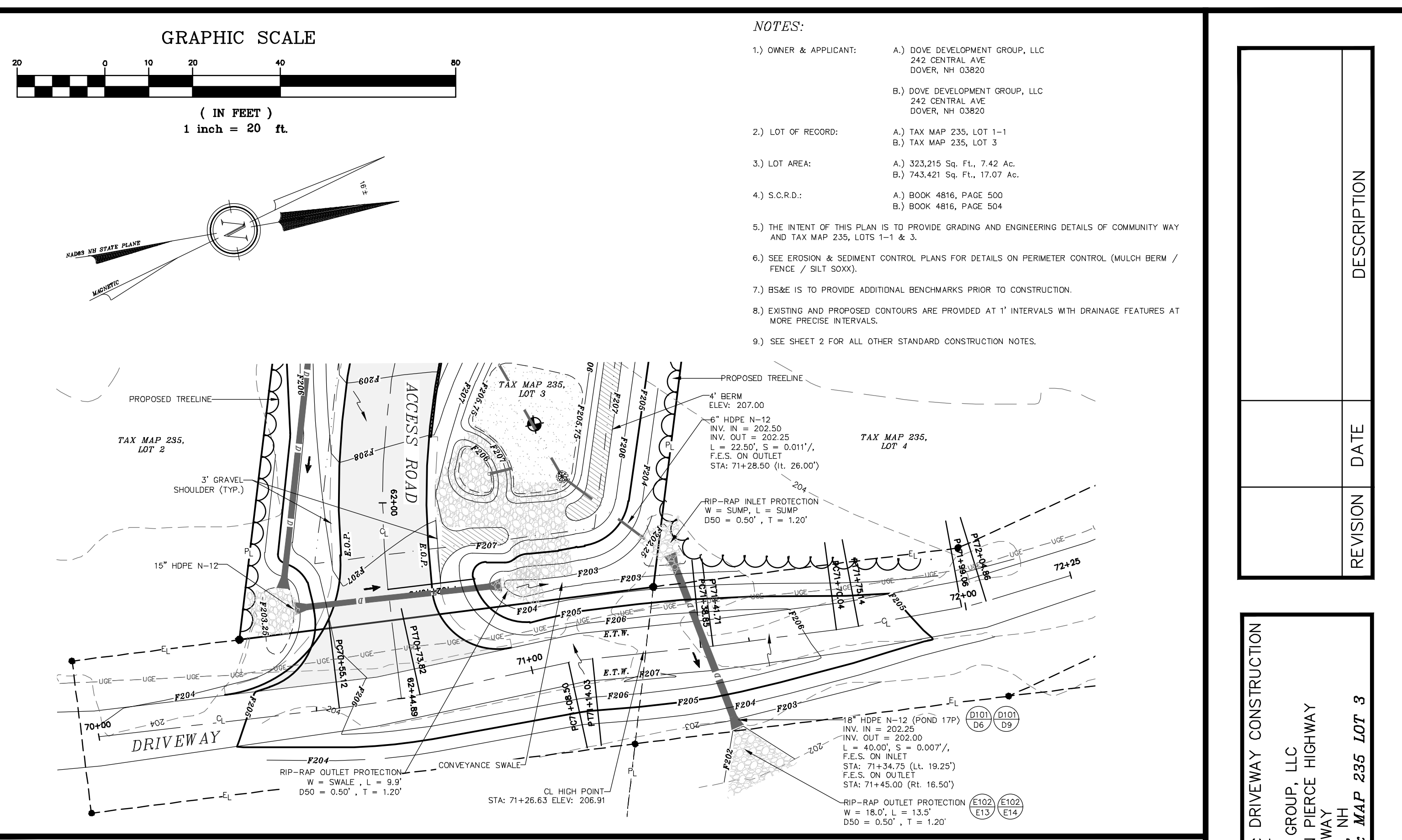
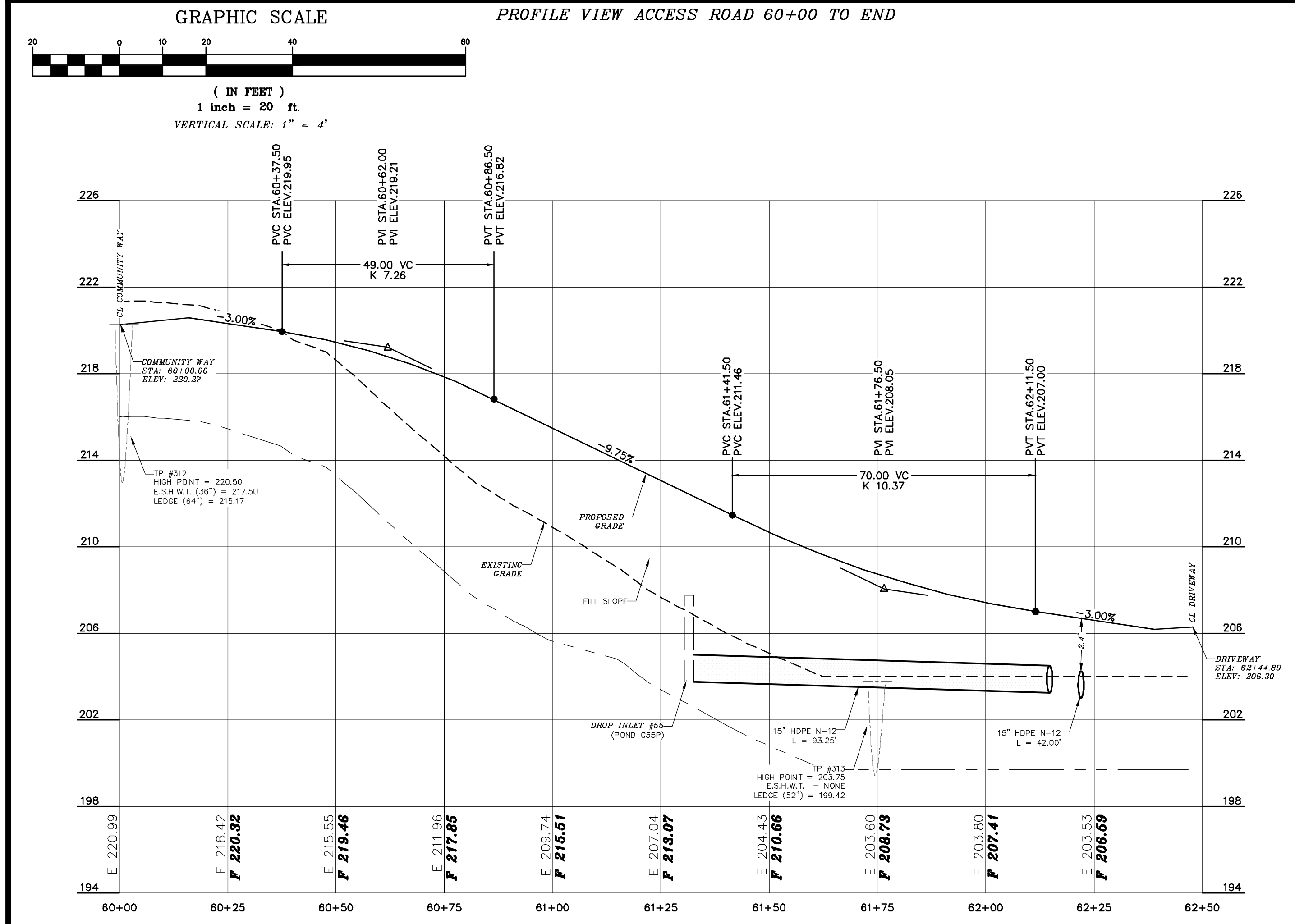
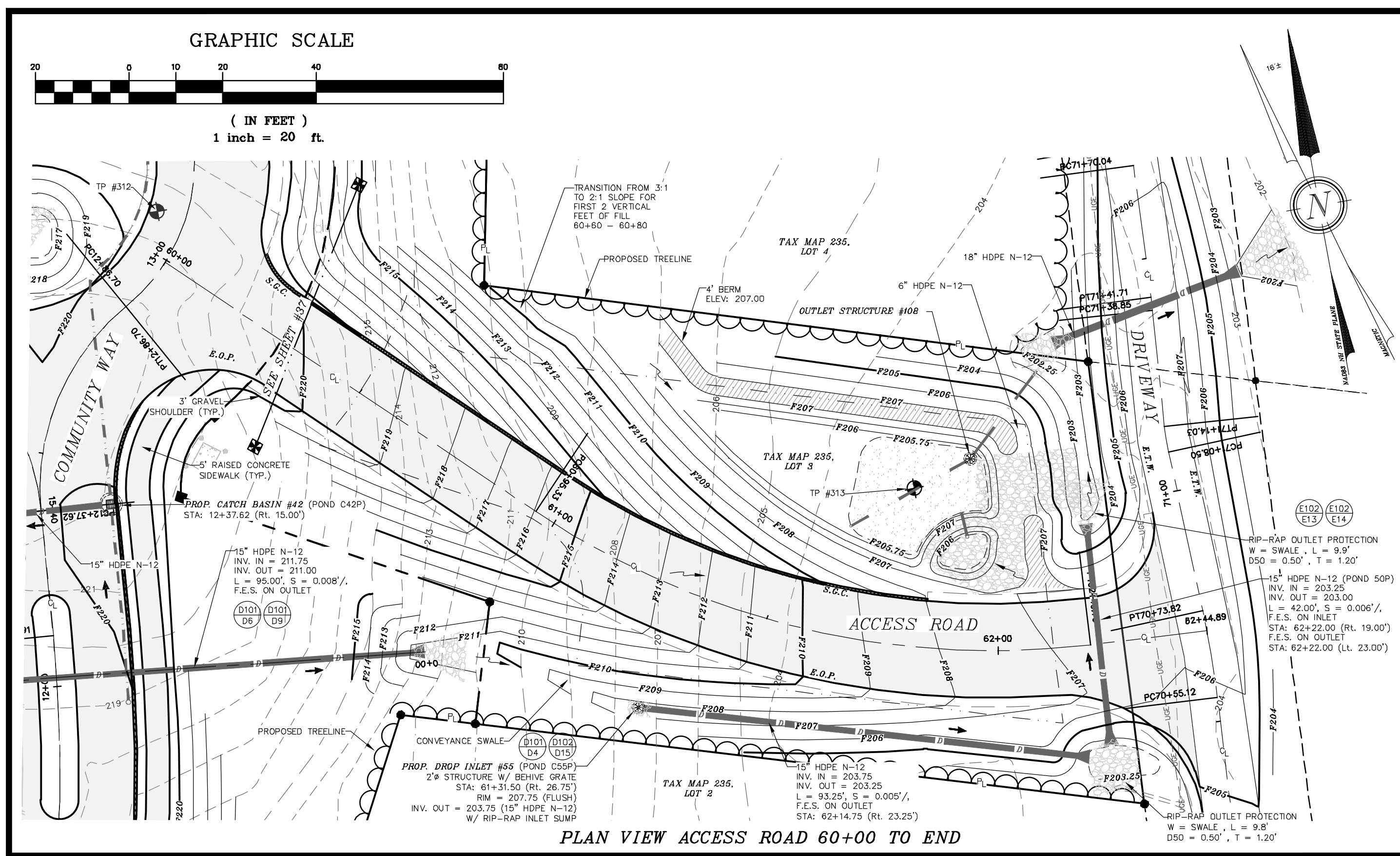
FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

PLAN AND PROFILE NP COMMONS FRONT & SIDE PARKING
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,216 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

REVISION	DATE	DESCRIPTION

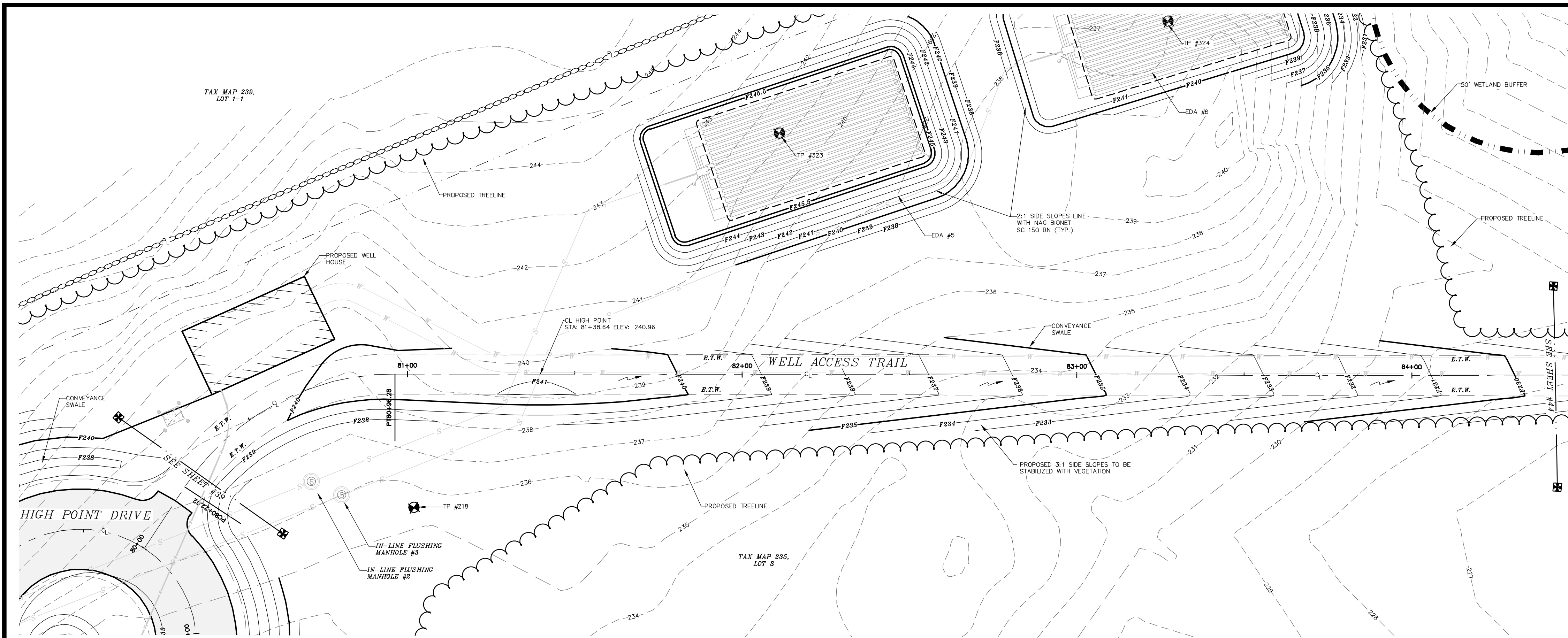
PLAN AND PROFILE ACCESS ROAD & DRIVEWAY CONSTRUCTION
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

FOR TOWN APPROVAL PURPOSES :

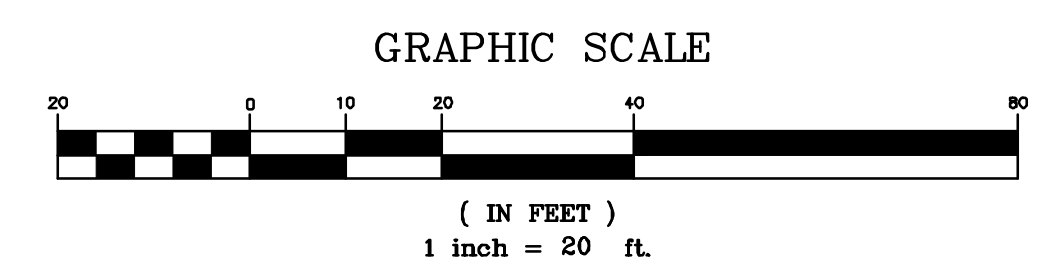
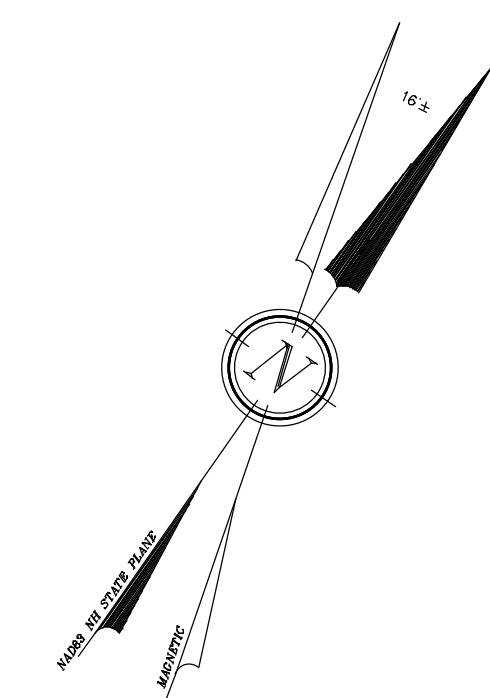
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

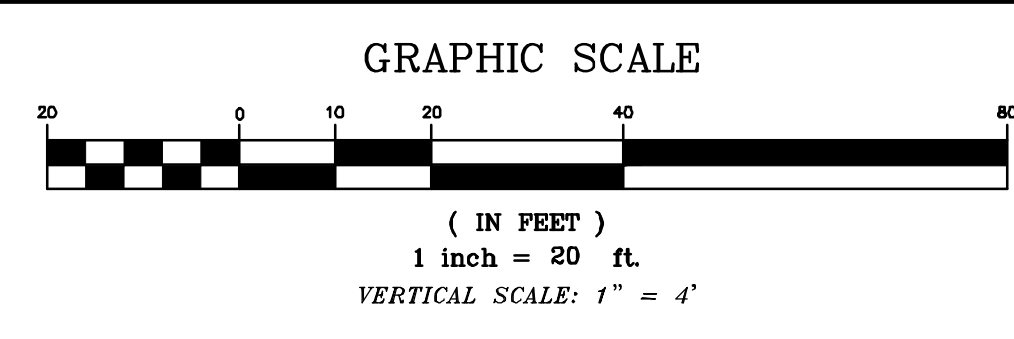
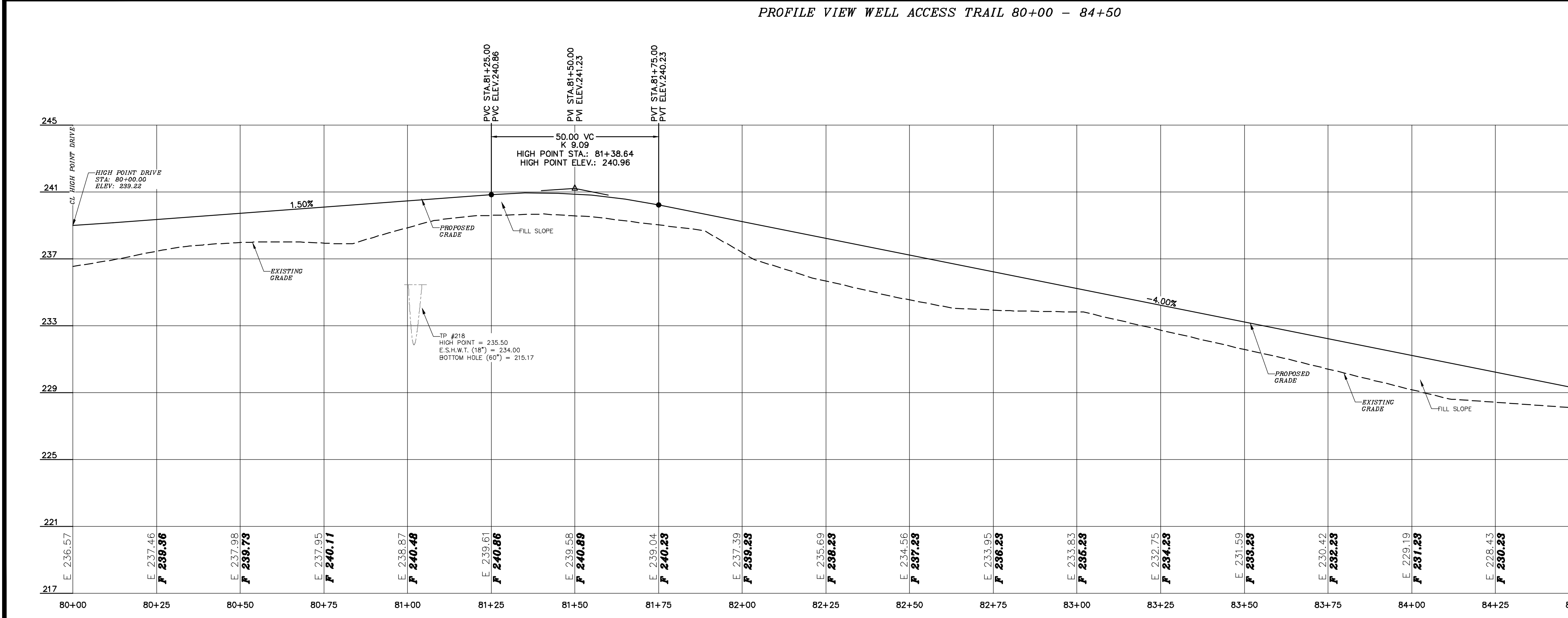
SHEET 42 OF 105



- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW WELL ACCESS TRAIL 80+00 - 84+50



PROFILE VIEW WELL ACCESS TRAIL 80+00 - 84+50

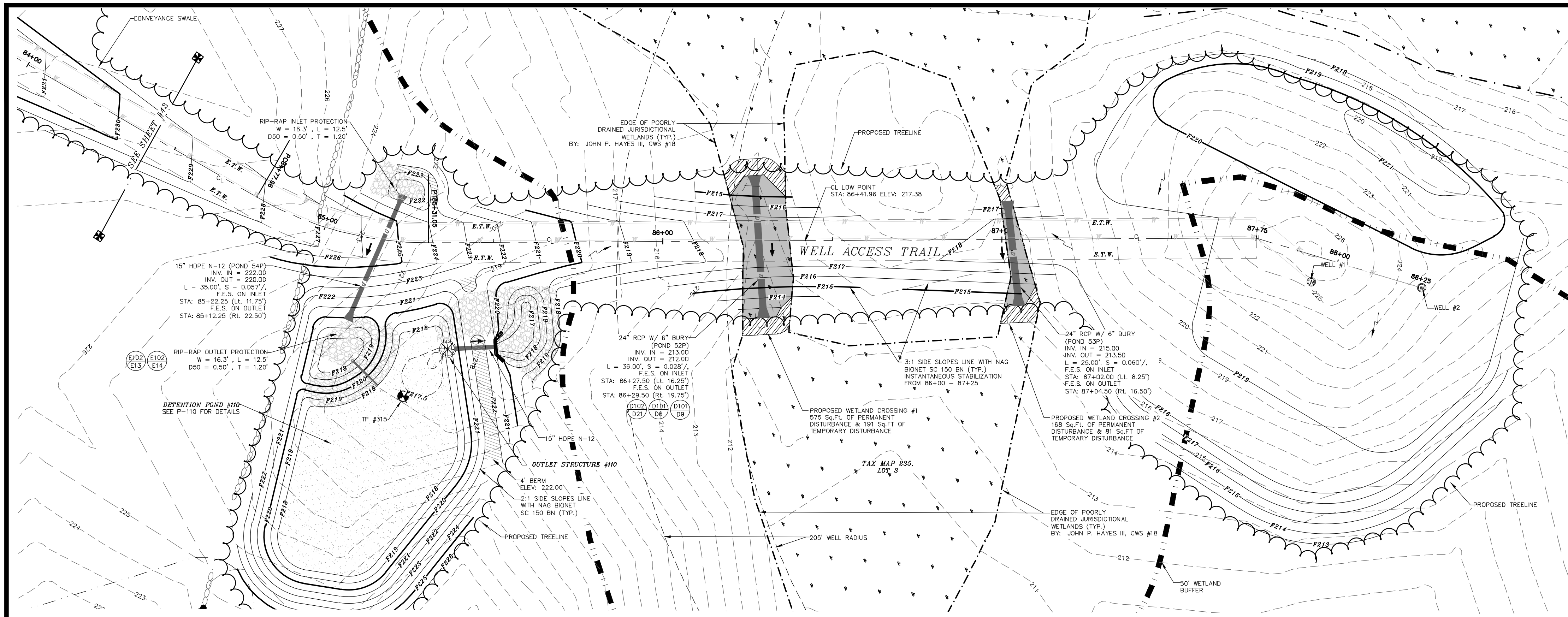
FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

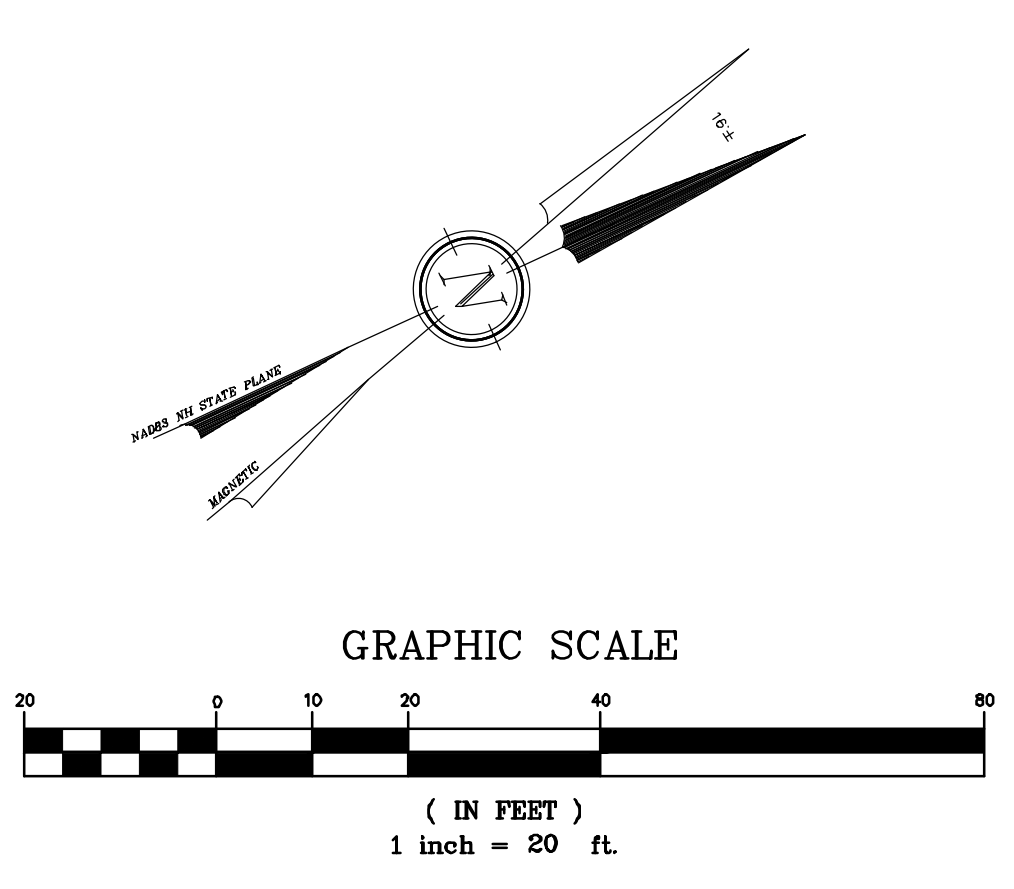
REVISION	DATE	DESCRIPTION

PLAN AND PROFILE WELL ACCESS TRAIL 80+00 - 84+50
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

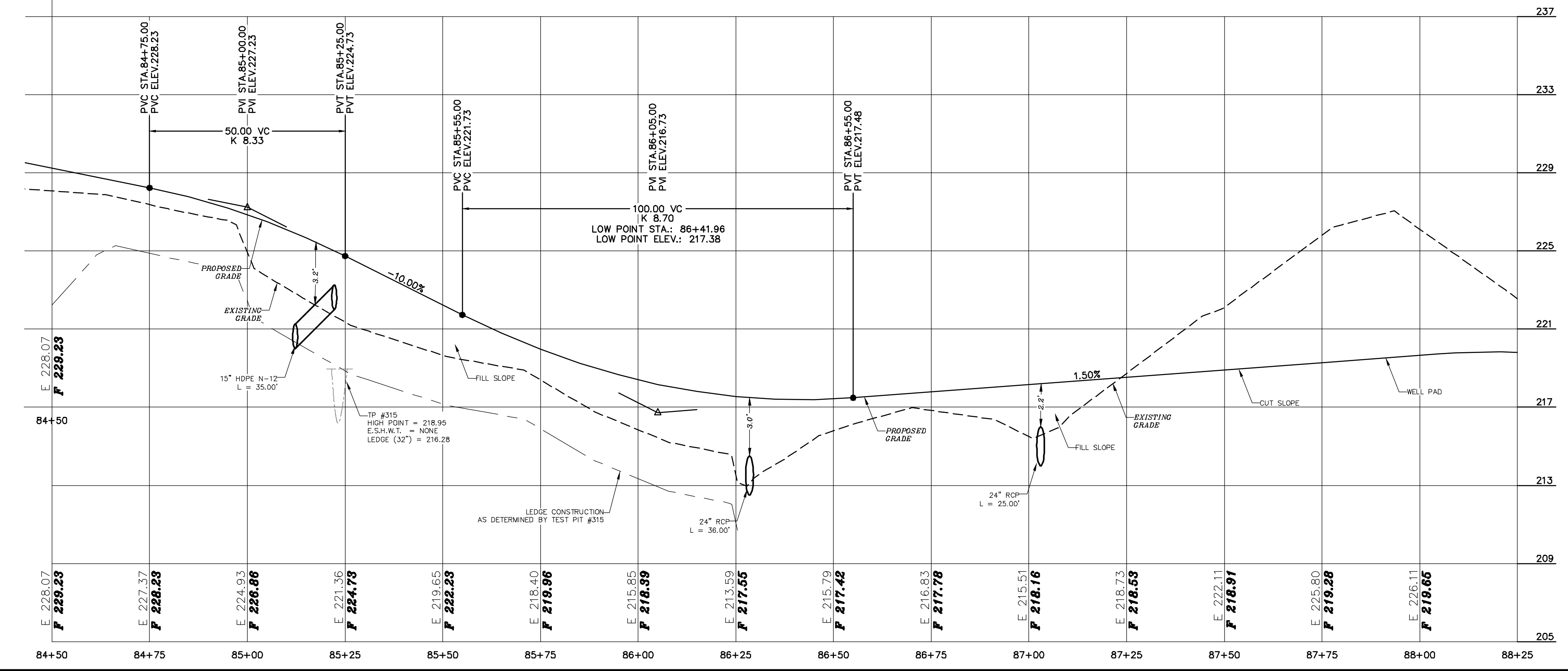
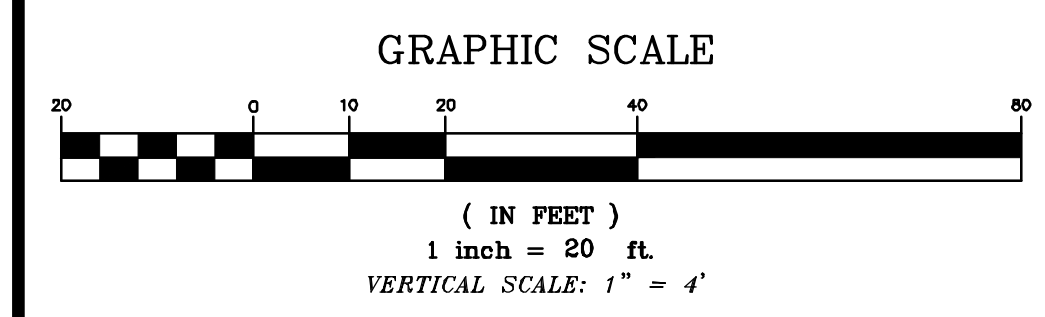
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW WELL ACCESS TRAIL 84+50 - END
PROFILE VIEW WELL ACCESS TRAIL 84+50 - END



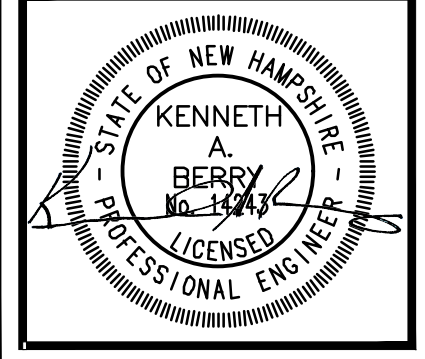
FOR TOWN APPROVAL PURPOSES :

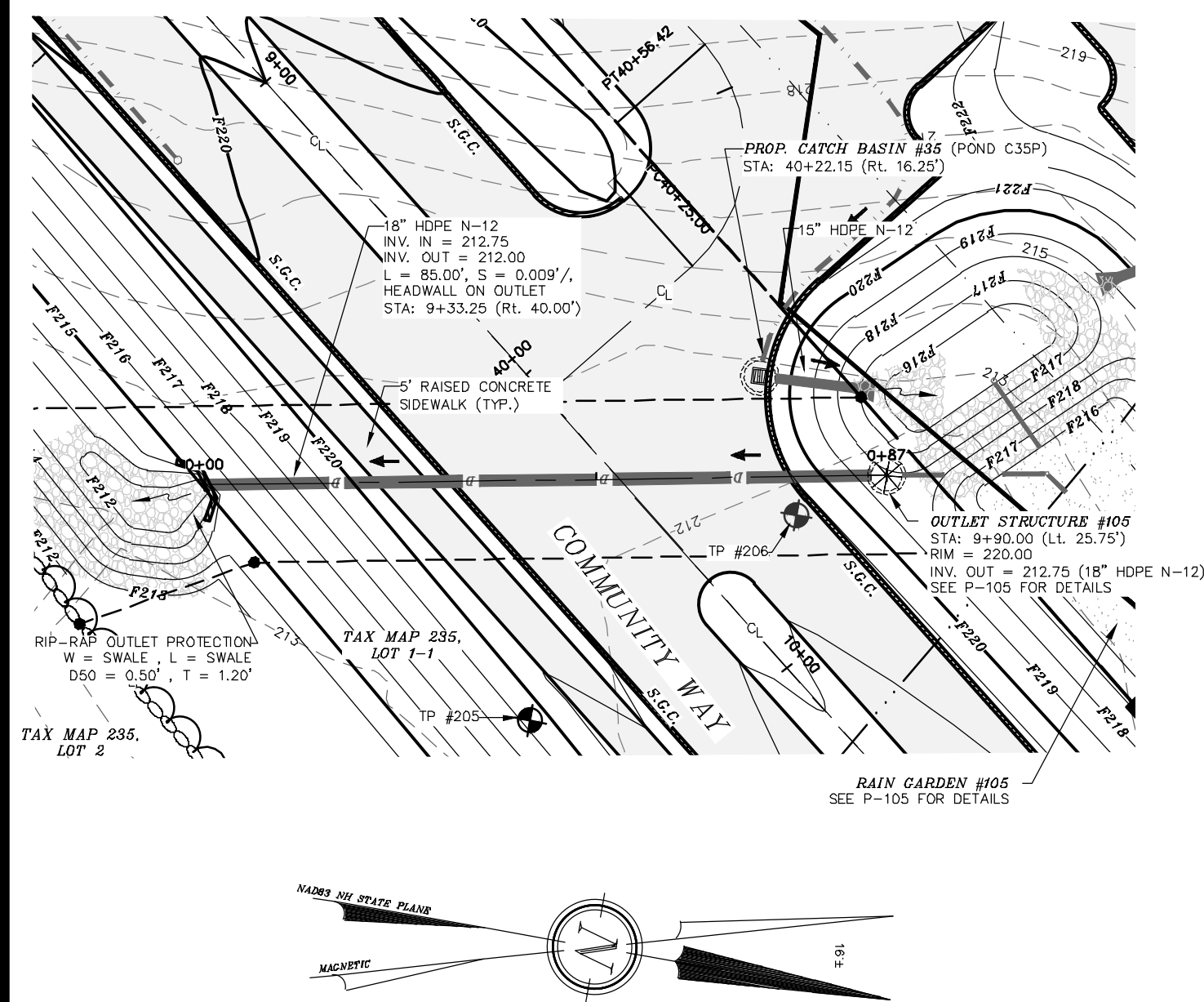
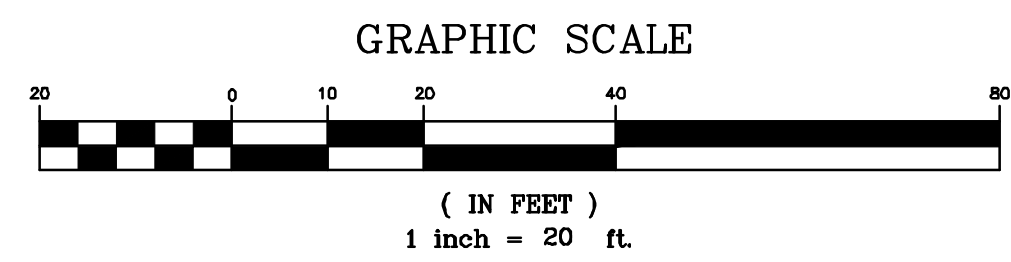
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

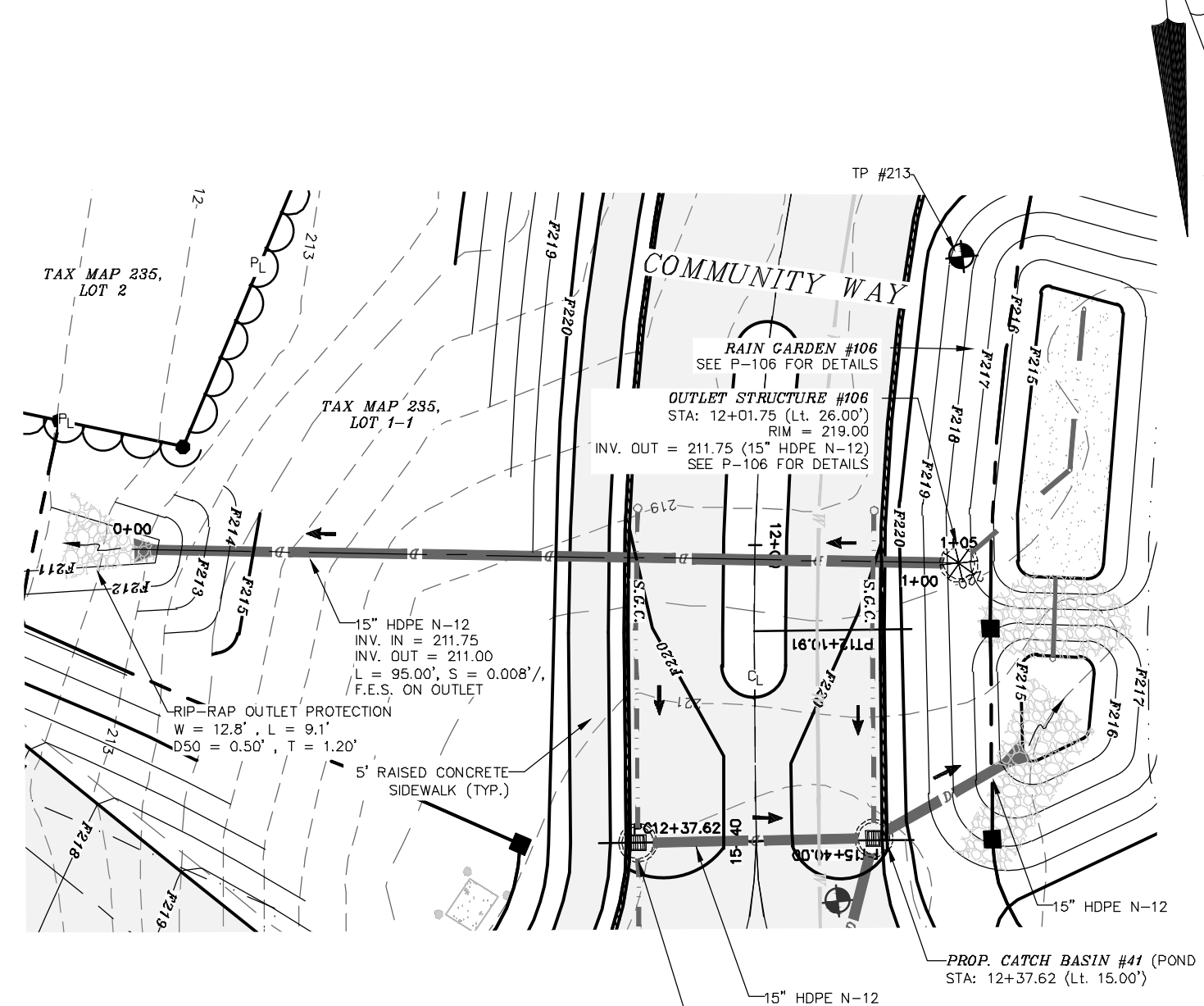
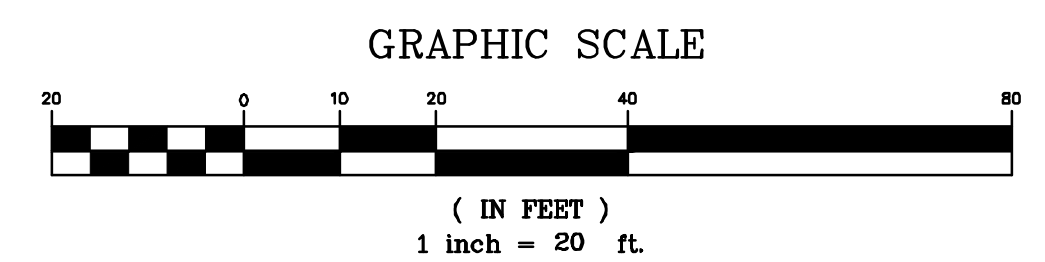
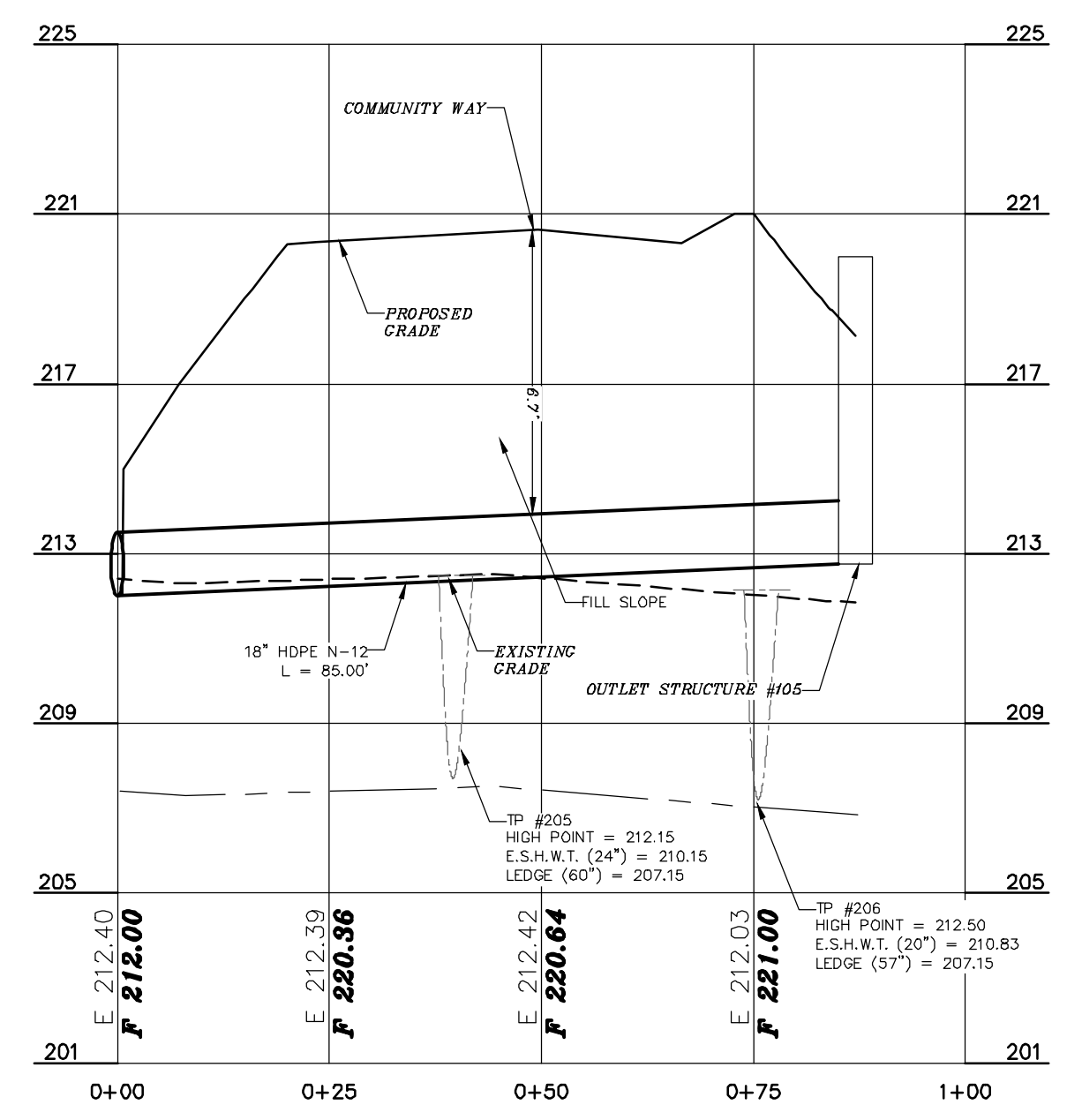
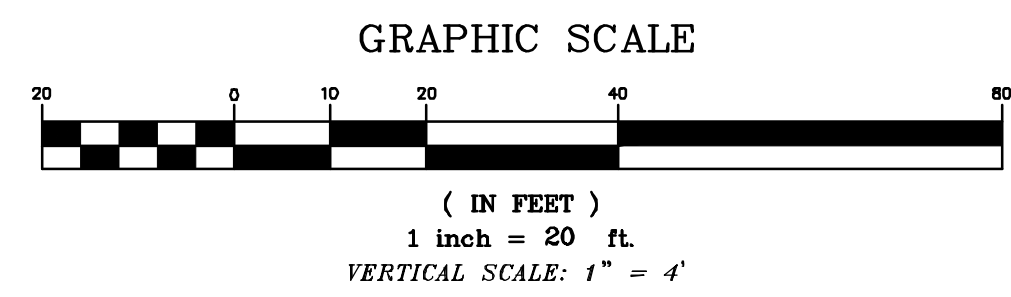
PLAN AND PROFILE WELL ACCESS TRAIL 84+50 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

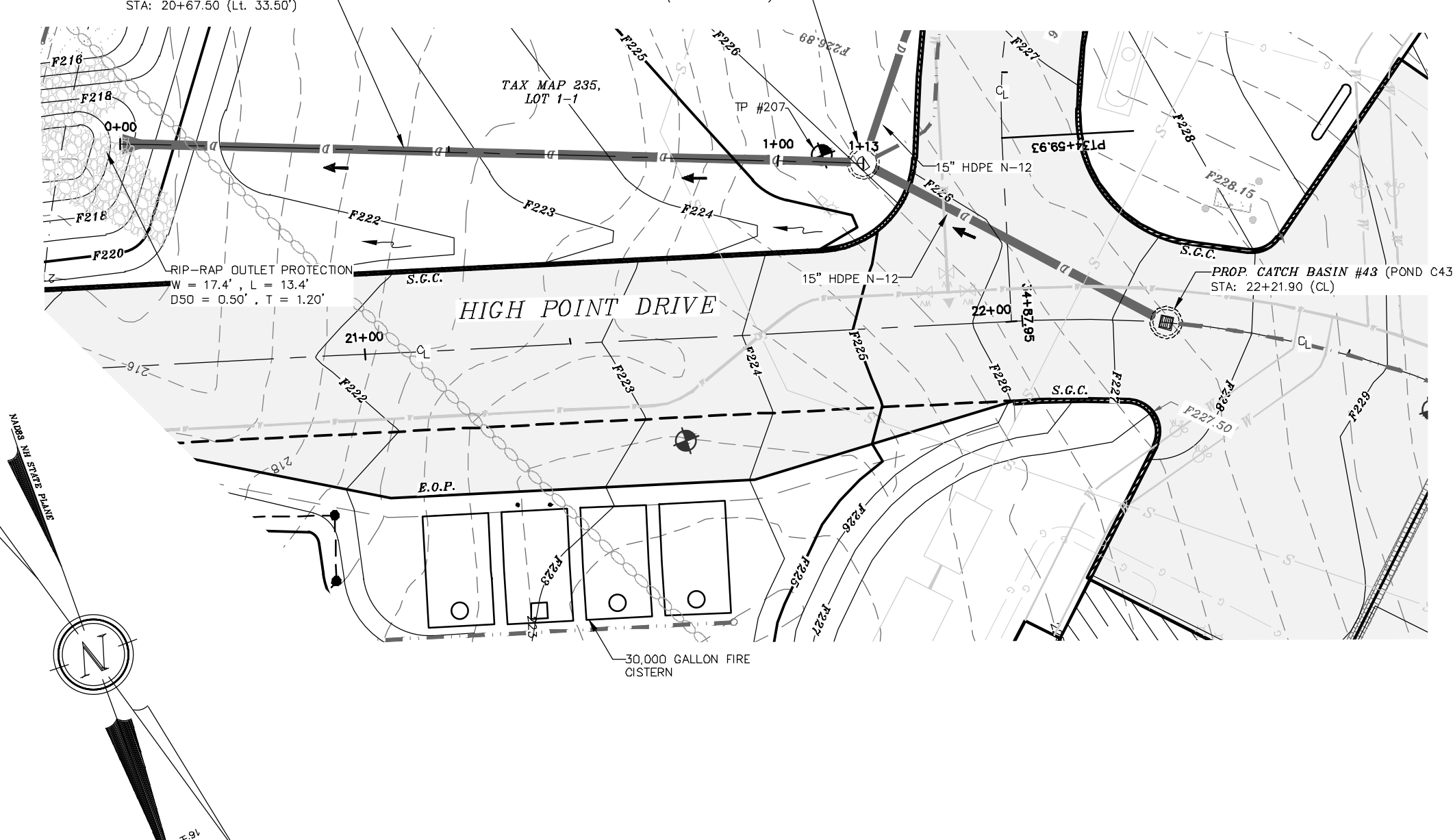
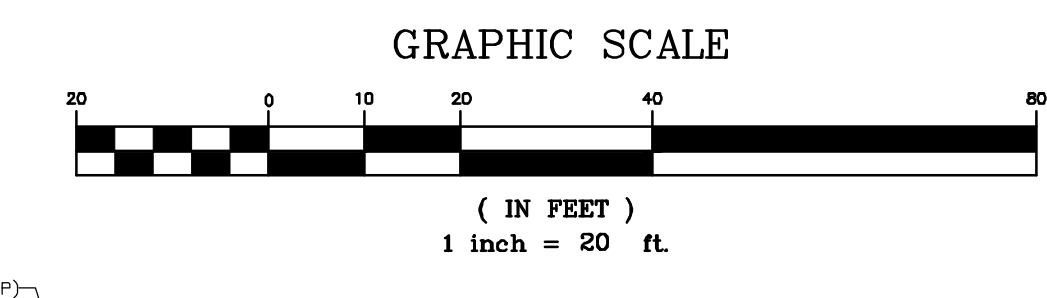
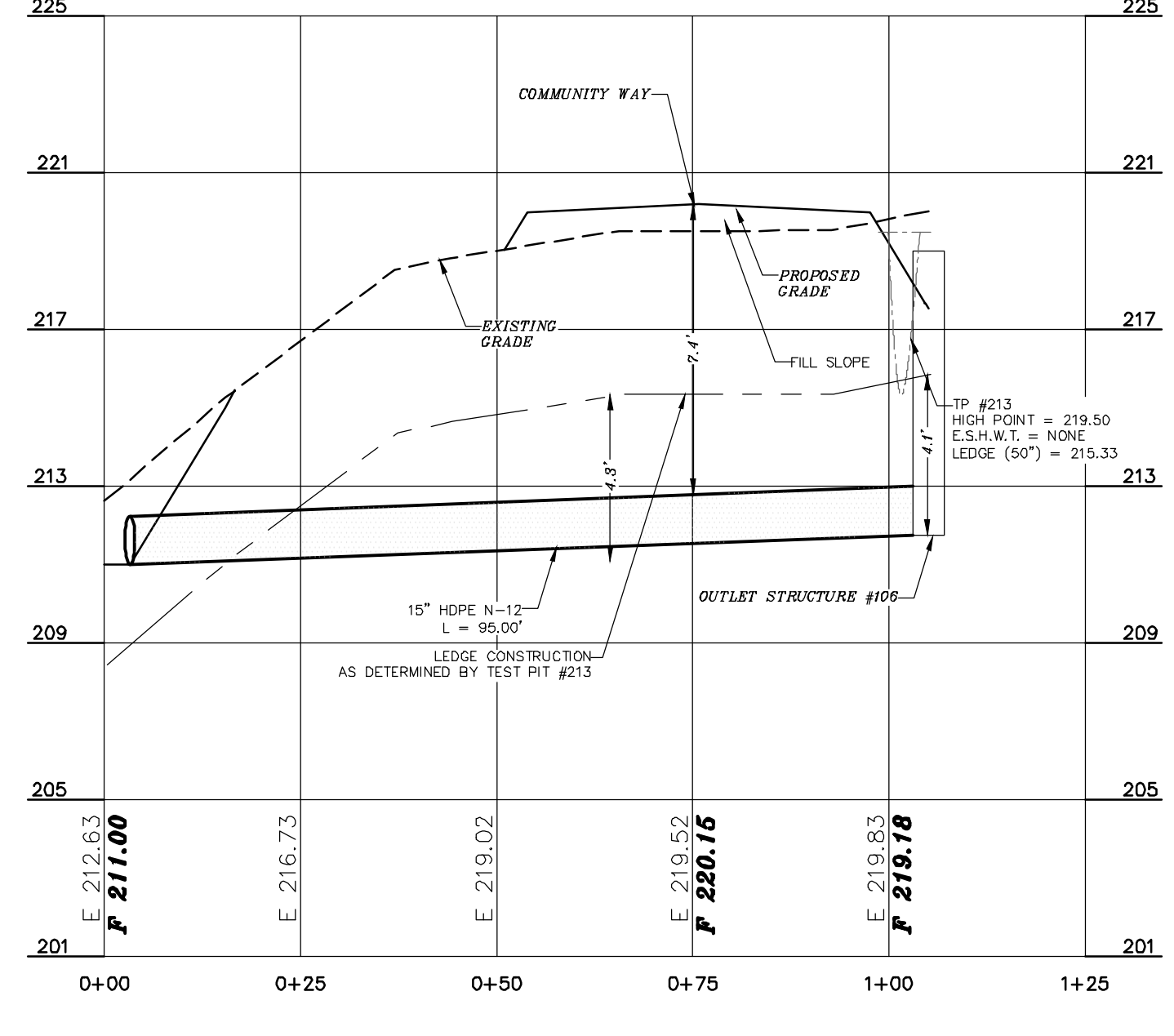
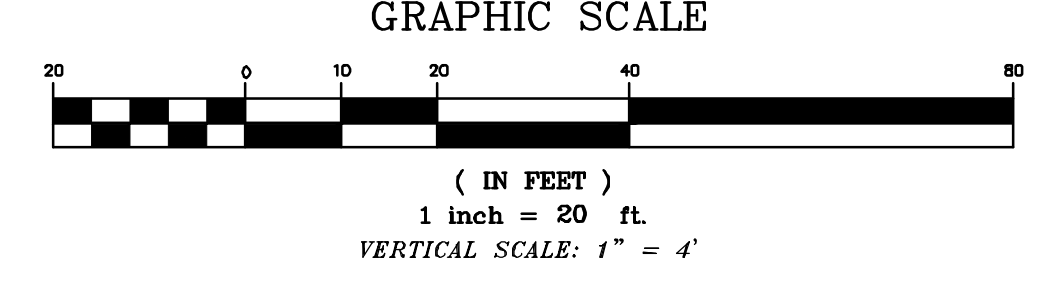


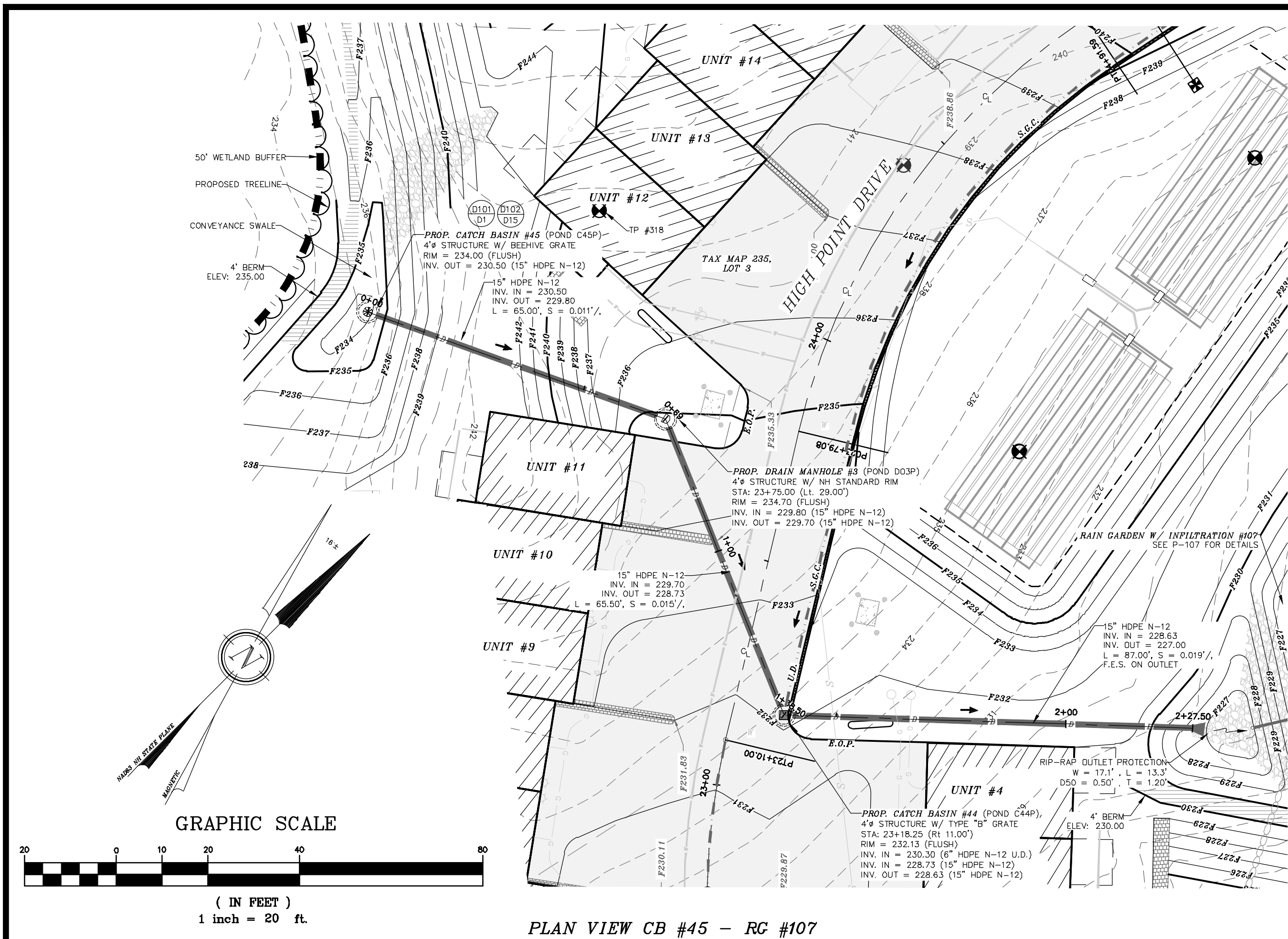


PLAN VIEW RC #105 OUTLET PIPE
PROFILE VIEW RC #105 OUTLET PIPE

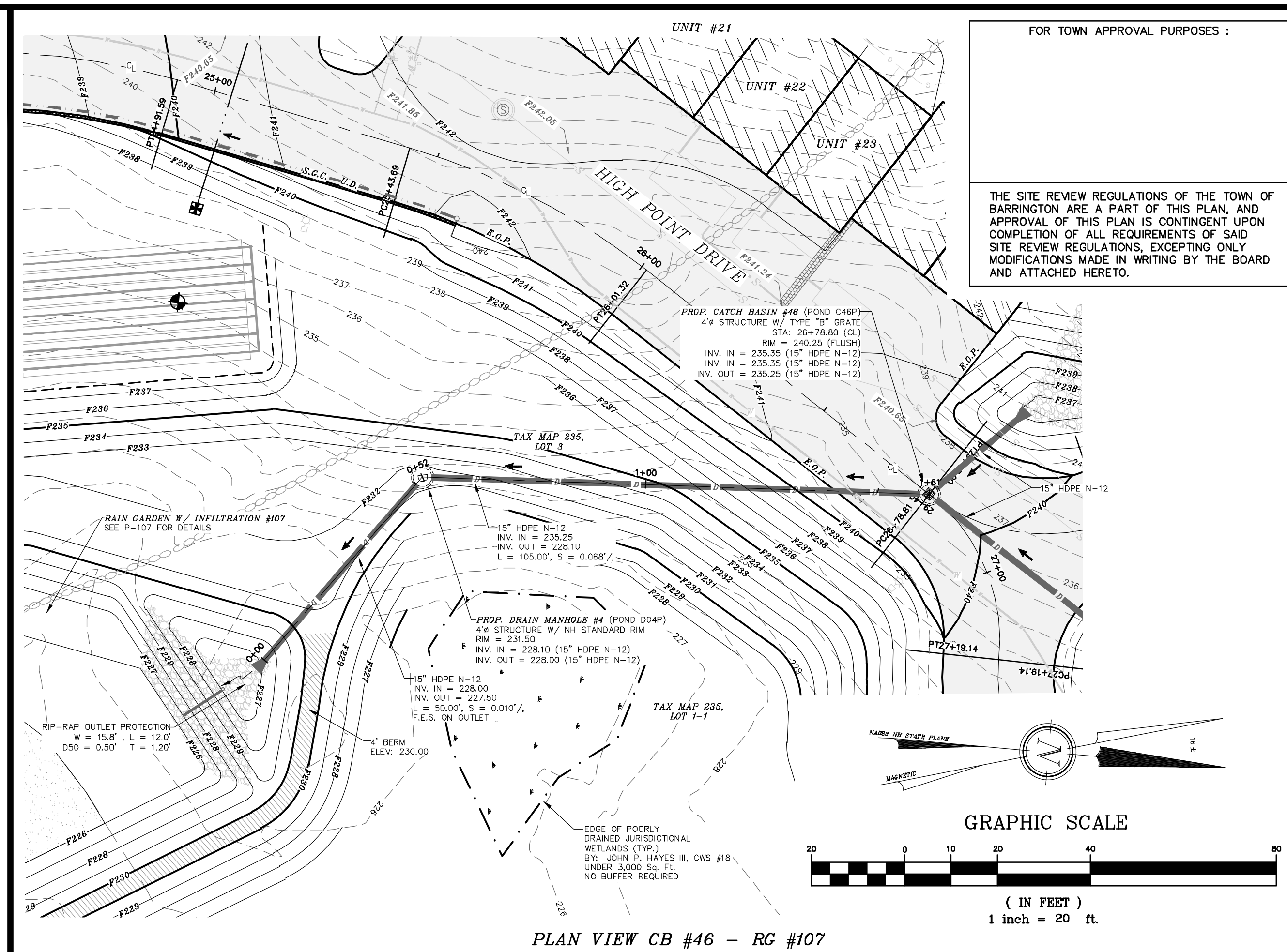
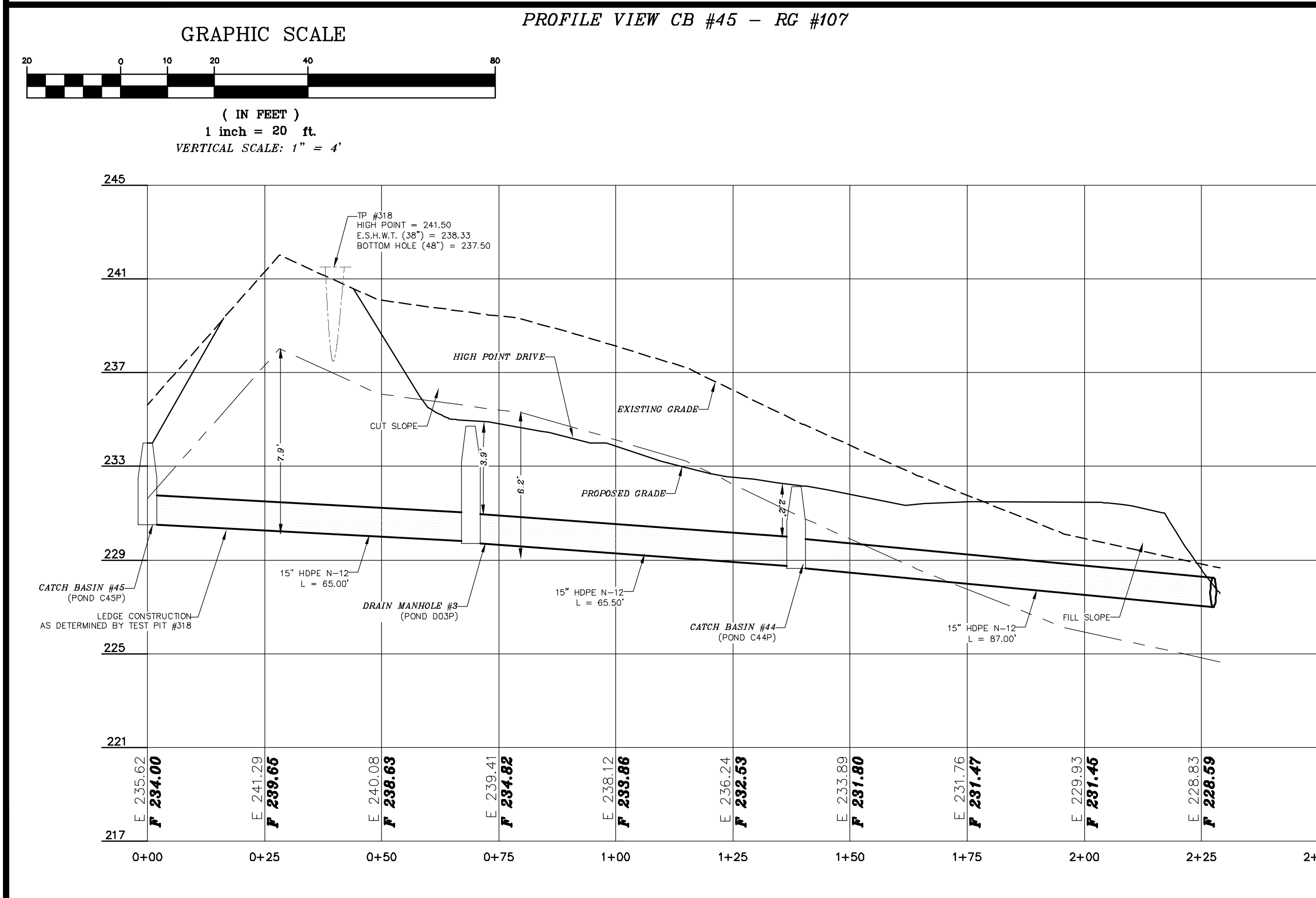


PLAN VIEW RC #106 OUTLET PIPE
PROFILE VIEW RC #106 OUTLET PIPE

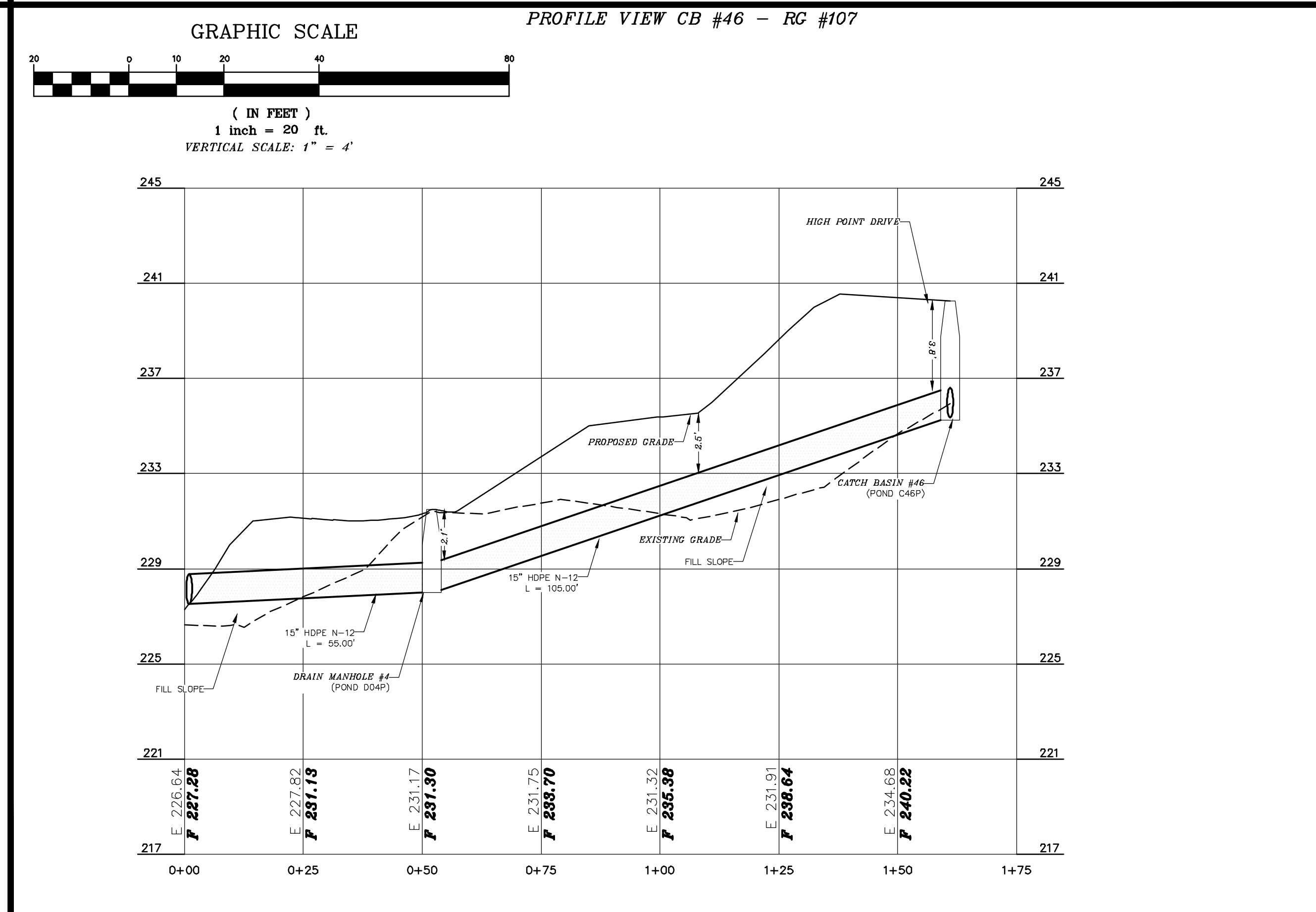




PLAN VIEW CB #45 - RG #107
 PROFILE VIEW CB #45 - RG #107



PLAN VIEW CB #46 - RG #107
 PROFILE VIEW CB #46 - RG #107



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

LAND OF
 DRAINAGE PIPE PROFILES
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 - 10
# 8	0 - 5

CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	90 - 100
#4"	20 - 55
# 8	5 - 30
# 16	0 - 10
# 50	0 - 5

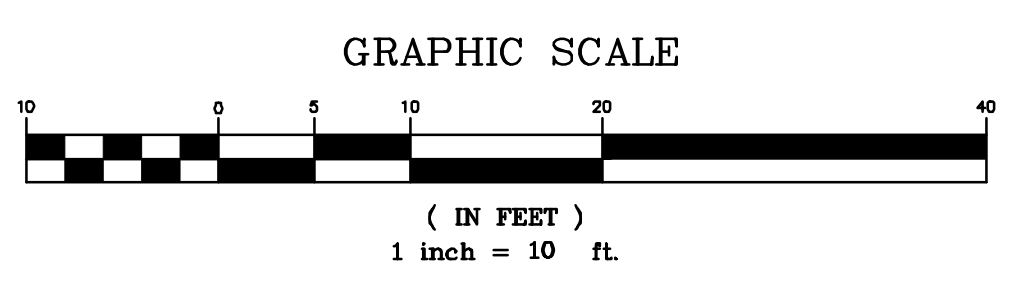
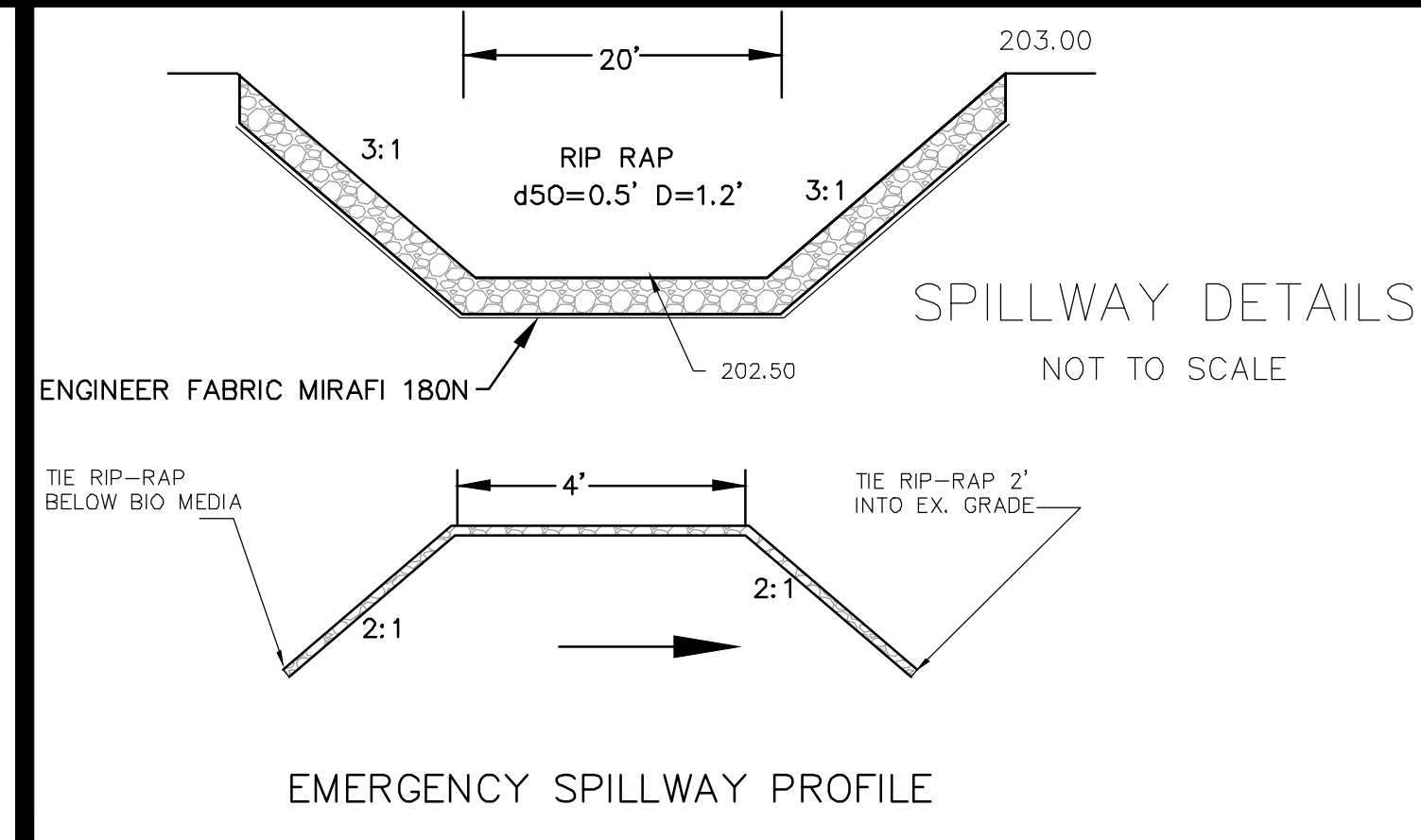
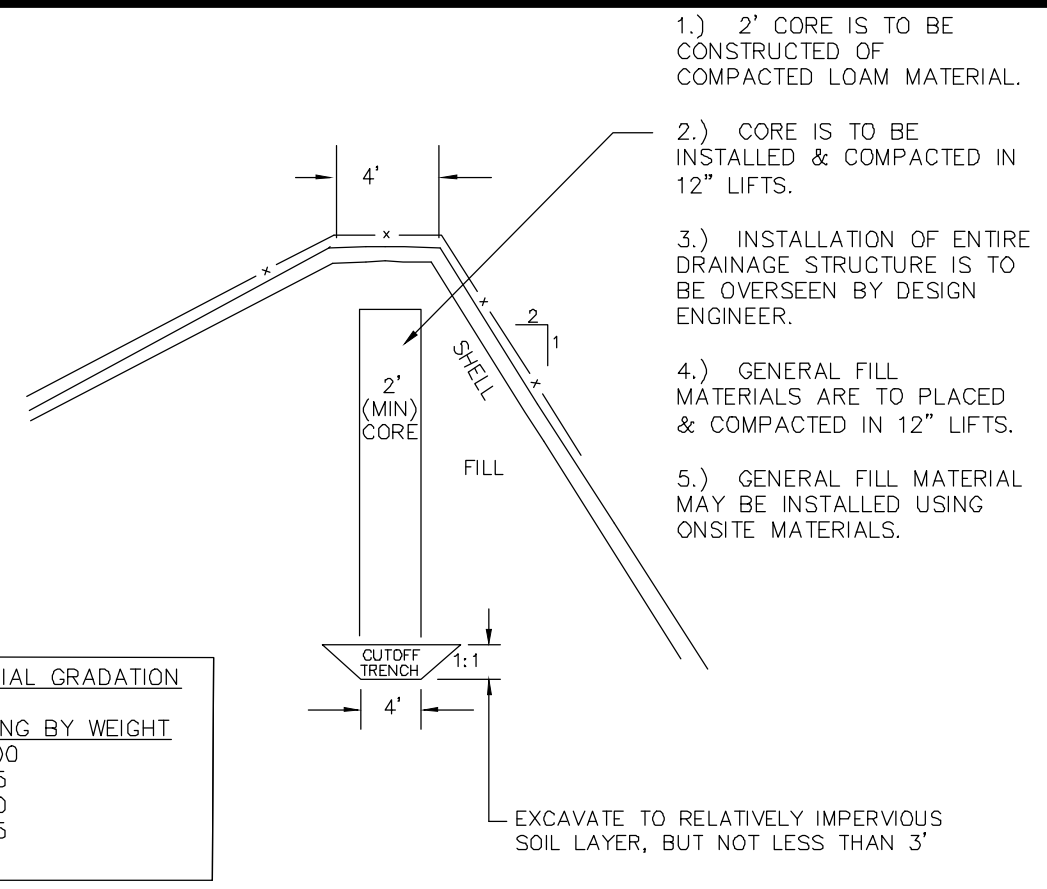
* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

* EQUIVALENT TO STANDARD STONE SIZE #89 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

- NOTES**
- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
 - SOIL FILTER MEDIA SHALL BE AS SHOWN ABOVE.
 - COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
 - DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 - BUILD RAIN GARDENS FIRST TO DIRECT SITE RUN OFF TO THEM.
- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
 - PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
 - AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
 - VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
- DESIGN REFERENCES**
- UWH STORMWATER CENTER
 - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

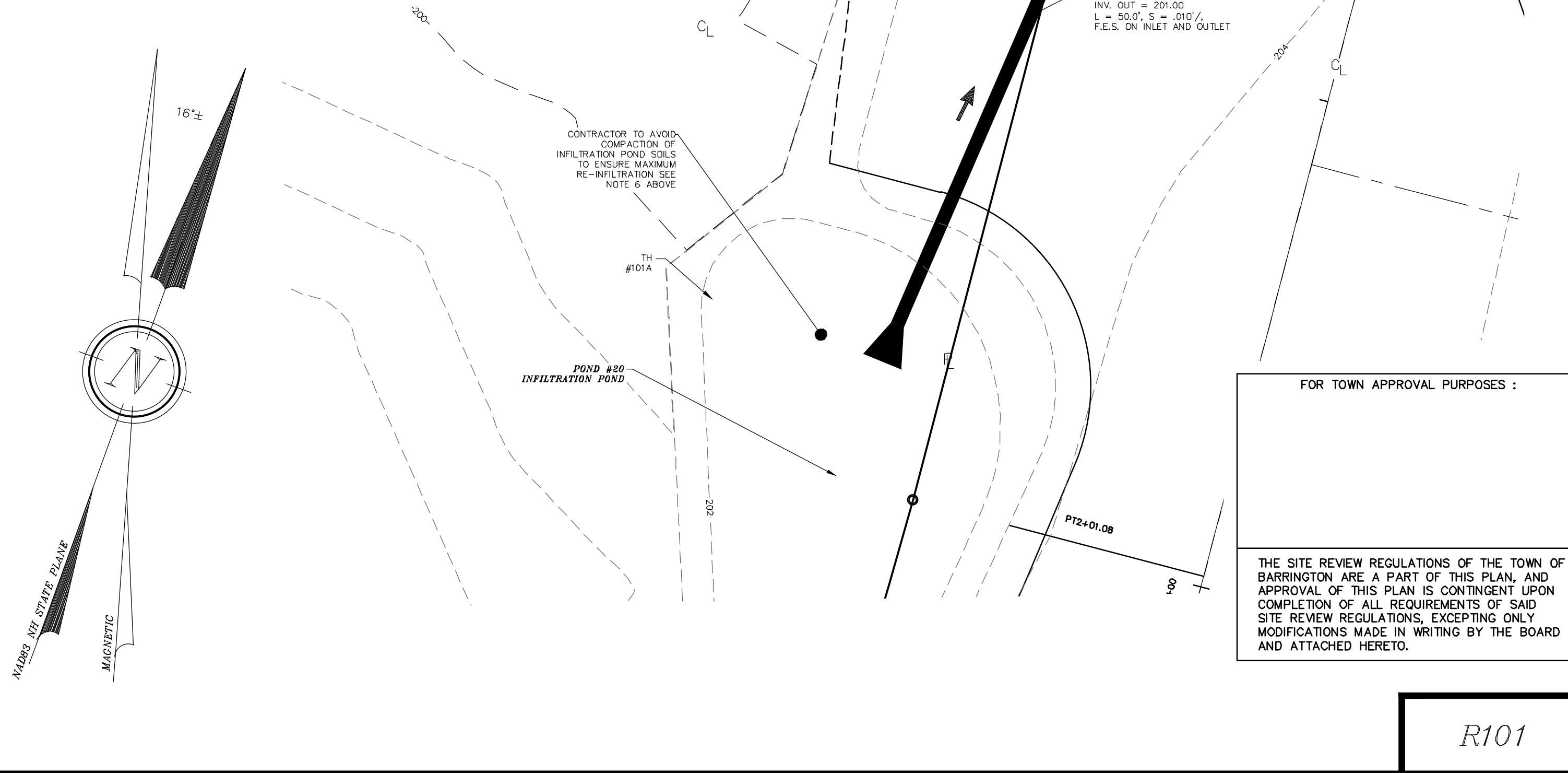
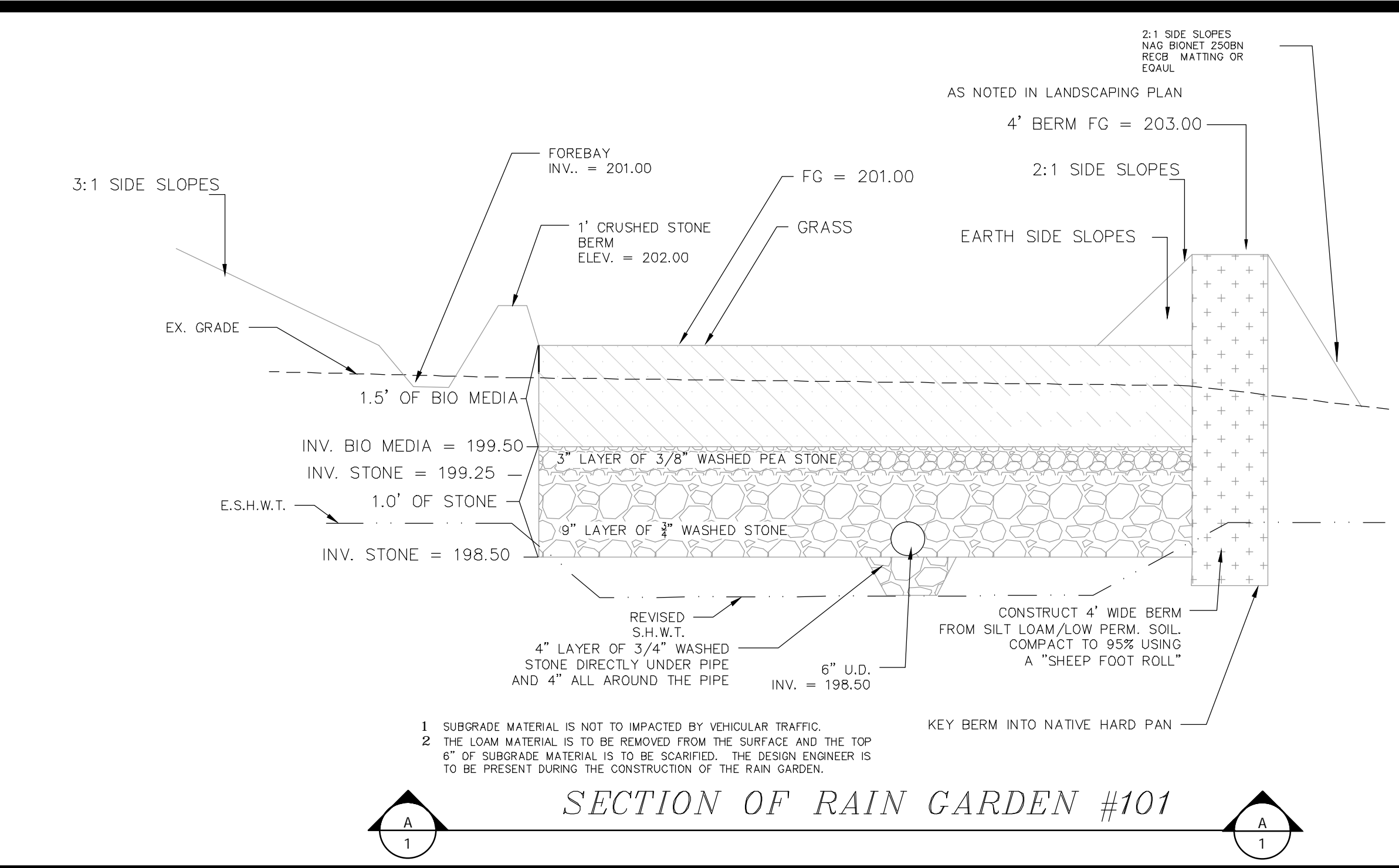
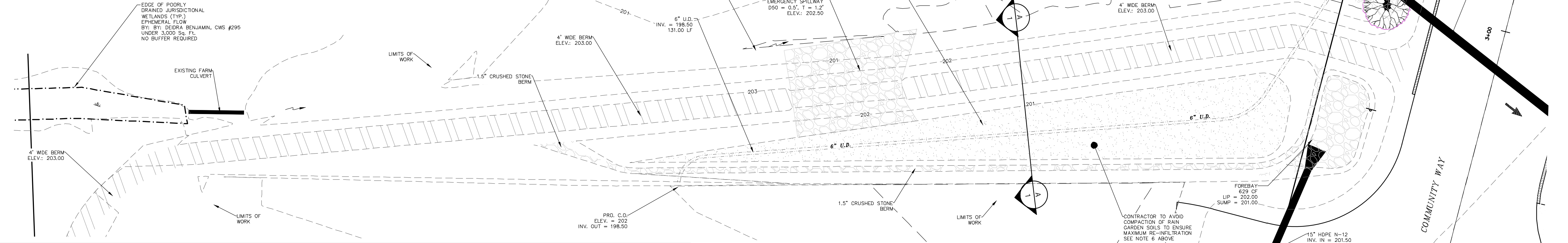
LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



SWPPP & CONSTRUCTION
INSPECTIONS COMPLETED BY
BERRY SURVEYING & ENGINEERING

PLAN VIEW RAIN GARDEN #101
(EXISTING 2019 CONSTRUCTION)



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

RAIN GARDEN #101 DETAILS
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

CRUSHED STONE BEDDING *		CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1"	100	1/2"	100
3/4"	90 - 100	3/8"	90 - 100
3/8"	20 - 55	#4"	20 - 55
#4	0 - 10	#8	5 - 30
#8	0 - 5	#16	0 - 10
		#50	0 - 5

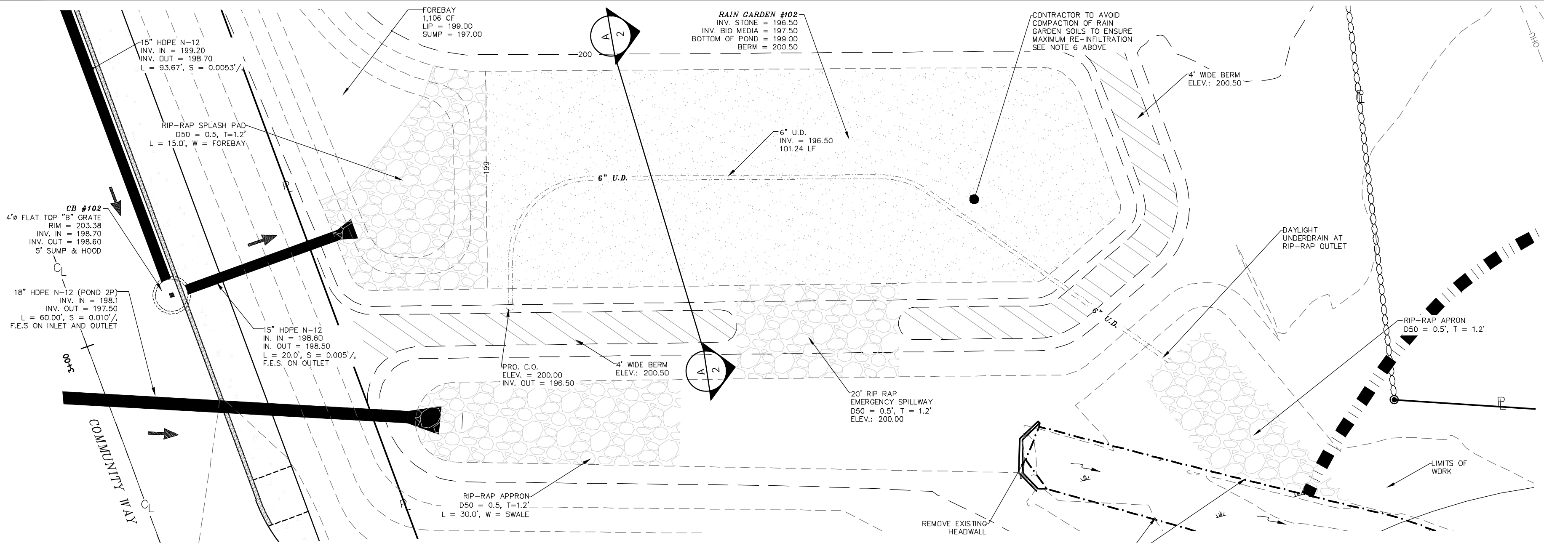
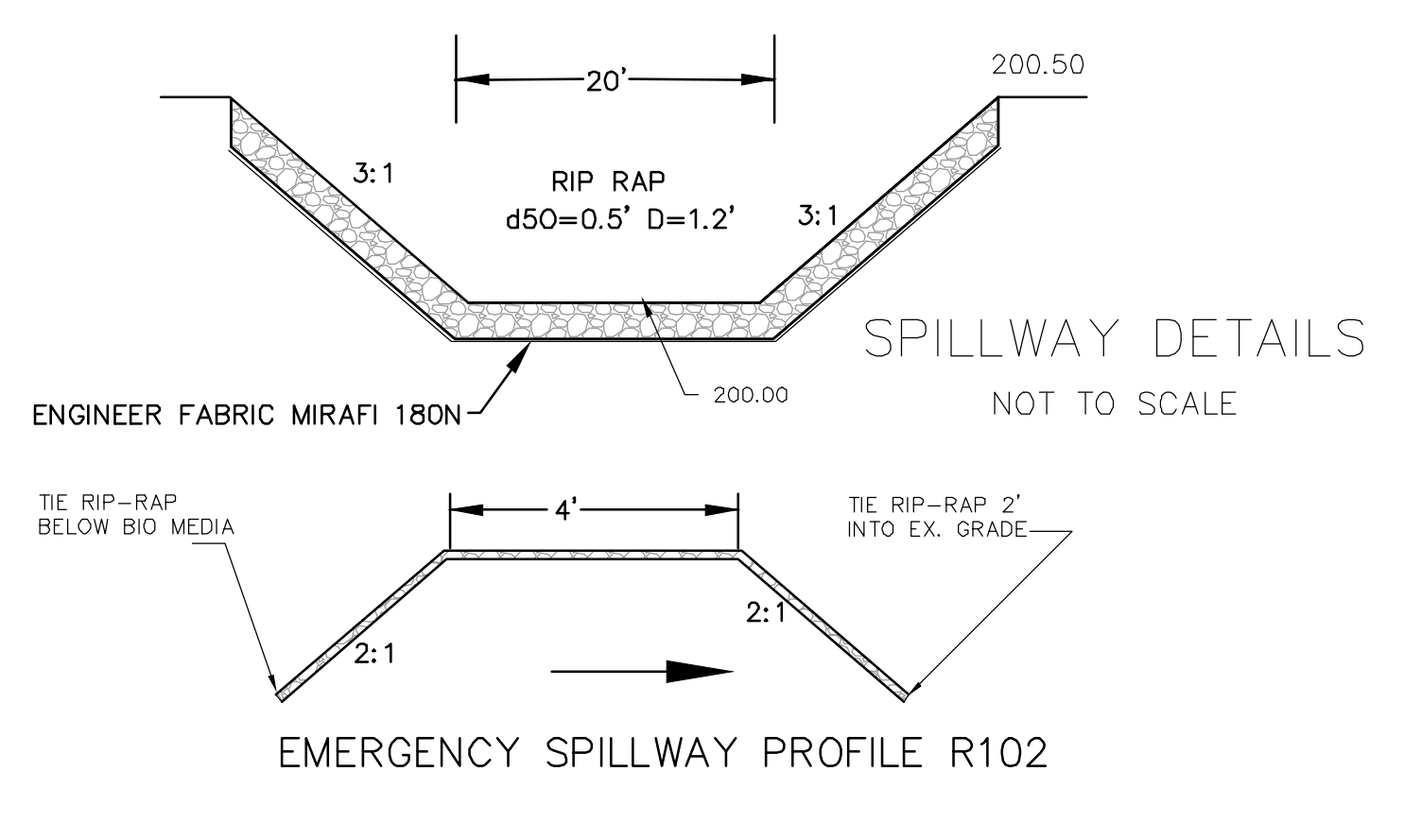
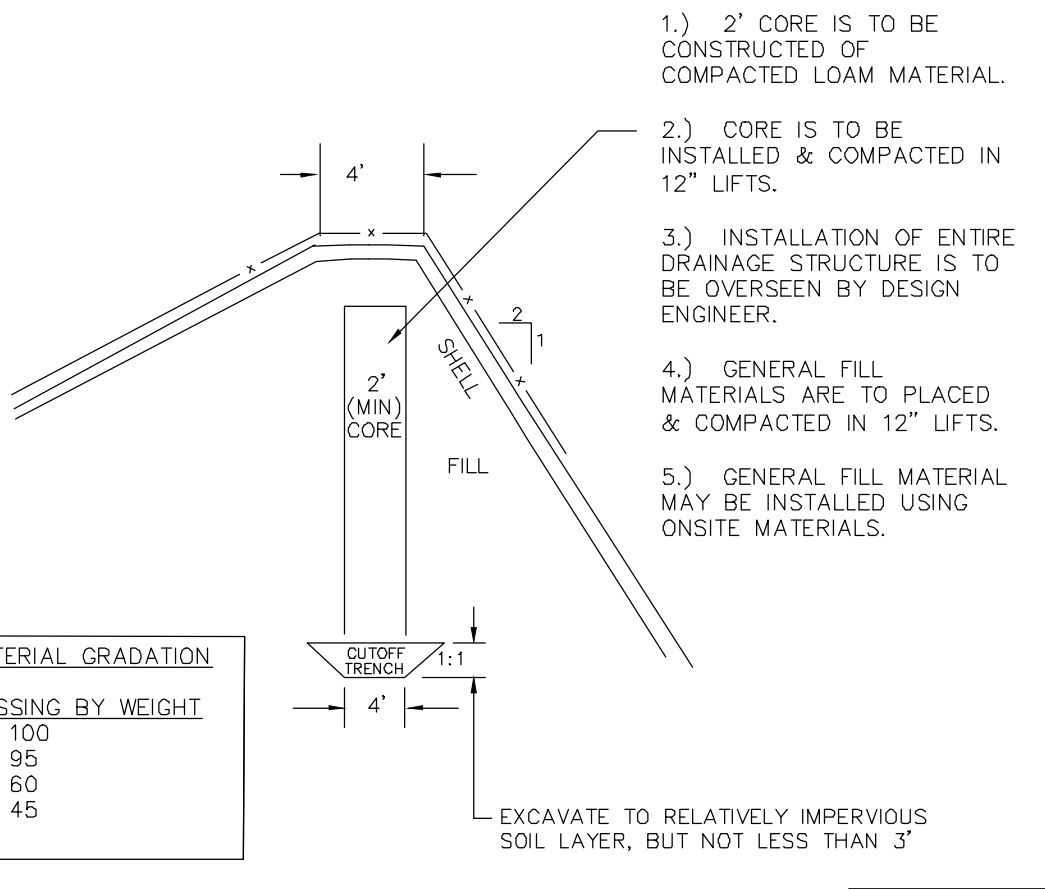
* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

* EQUIVALENT TO STANDARD STONE SIZE #69 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

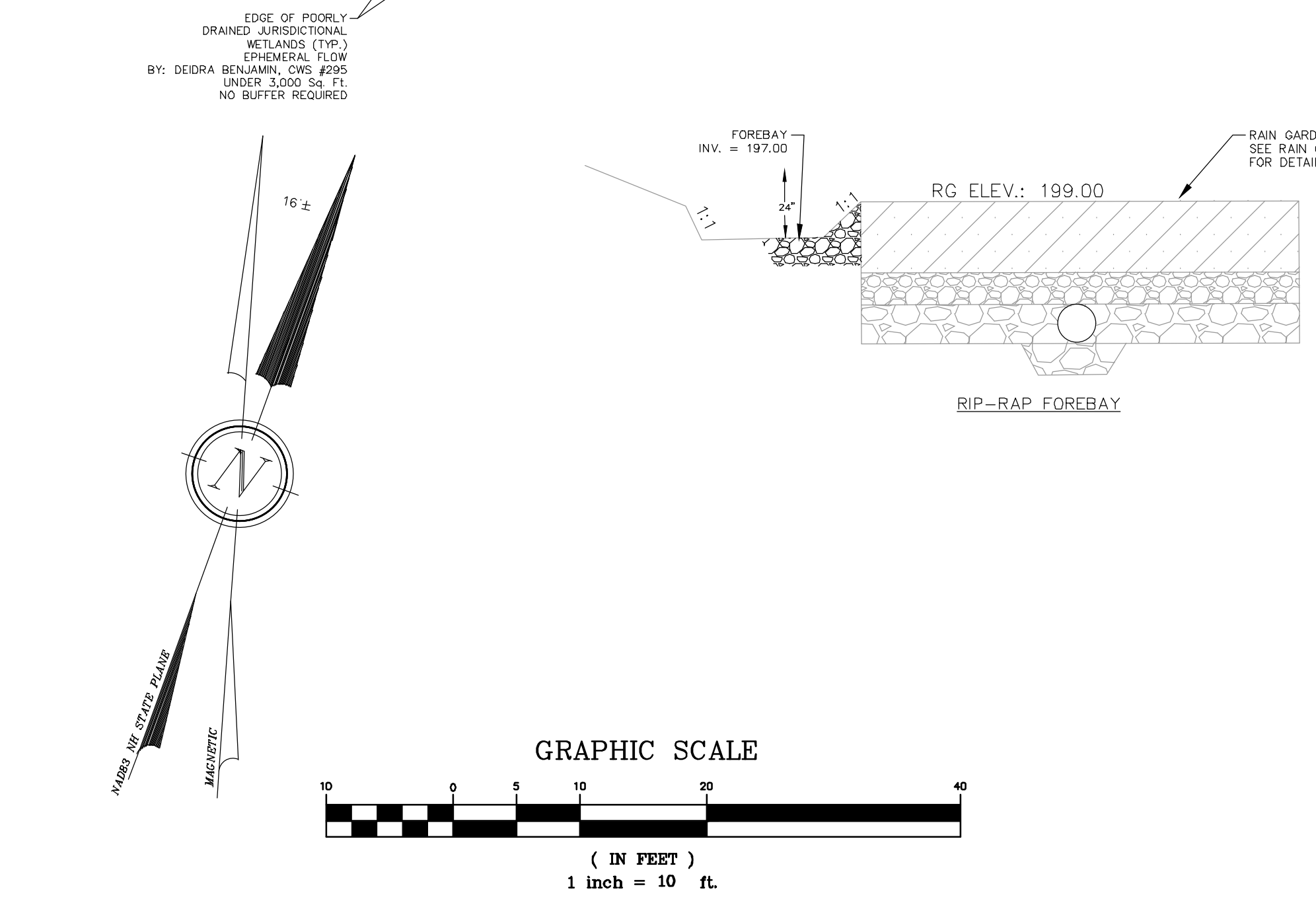
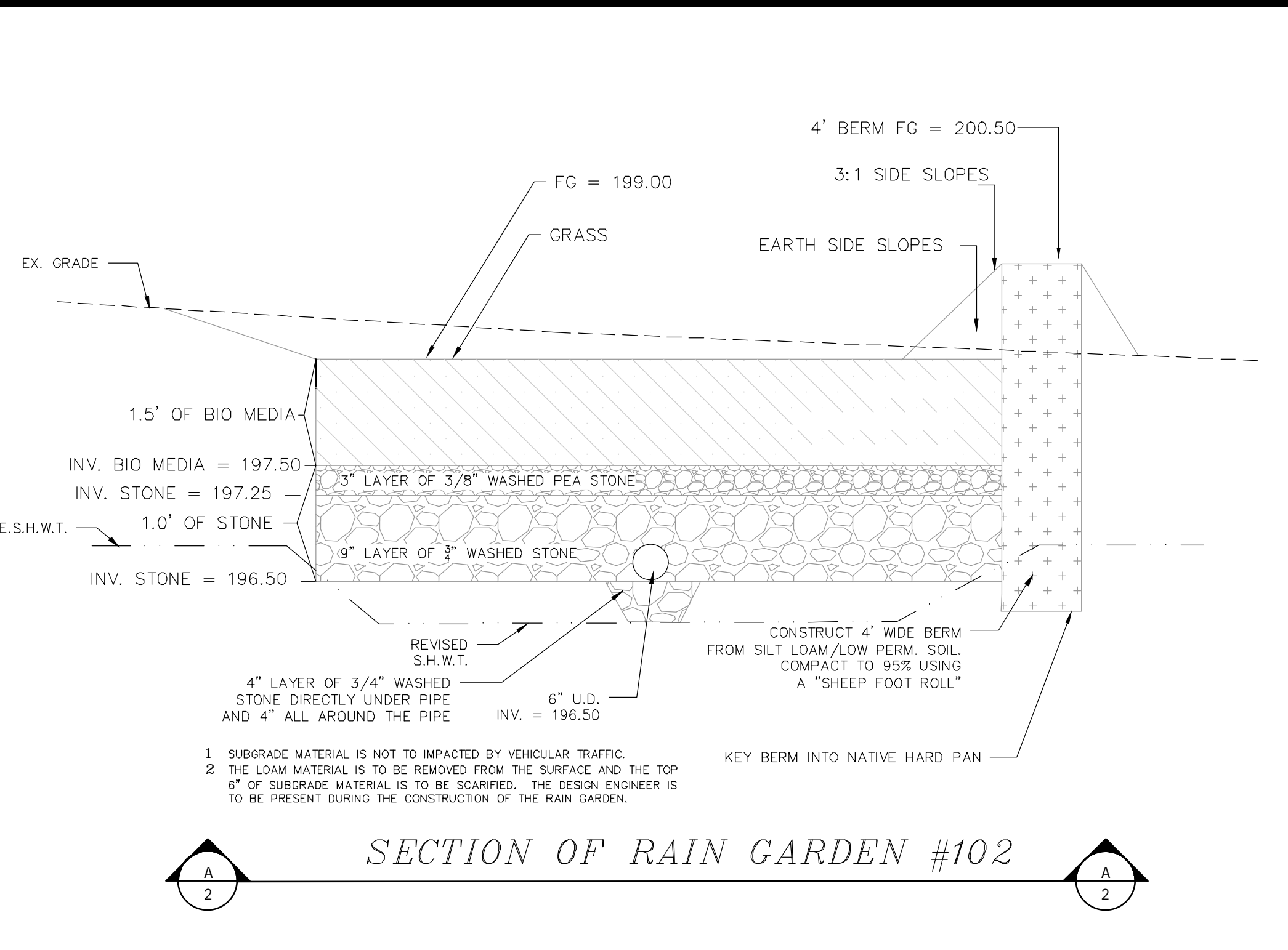
- NOTES**
- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
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 - BUILD RAIN GARDENS FIRST TO DIRECT SITE RUN OFF TO THEM.
- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
 - PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
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- DESIGN REFERENCES**
- UWH STORMWATER CENTER
 - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



SWPPP & CONSTRUCTION INSPECTIONS COMPLETED BY BERRY SURVEYING & ENGINEERING



FOR TOWN APPROVAL PURPOSES :

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BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : AS SHOWN
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 No. 15423
 LICENSED PROFESSIONAL ENGINEER

REVISION	DATE	DESCRIPTION

RAIN GARDEN #102 DETAILS
 LAND OF DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

R102

MAINTENANCE REQUIREMENTS

ACTIVITY	CLOGGING AND SYSTEM PERFORMANCE	FREQUENCY
INSPECT INLETS AND OUTLETS TO ENSURE GOOD CONDITION AND NO EVIDENCE OF DETRIORATION. CHECK TO SEE IF HIGH-FLOW BYPASS IS FUNCTIONING.		
REMEDY: REPAIR OR REPLACE ANY DAMAGED STRUCTURAL PARTS, INLETS AND OUTLETS. CLEAR OR REMOVE DEBRIS OR RESTRICTIONS.		
CHECK FOR INTERNAL EROSION, EVIDENCE OF SHORT-CIRCUITING, AND ANIMAL BURROWS.		ANNUALLY, MORE FREQUENTLY IN THE FIRST YEAR OF OPERATION
REMEDY: SOIL EROSION FROM SHORT-CIRCUITING OR ANIMAL BURROWS SHOULD BE REPAIRED WHEN THEY OCCUR.		
CHECK THAT THE SYSTEM IS FULLY DRAINING WITHIN A 24-48 HOUR PERIOD AFTER RAIN EVENTS.		
REMEDY: REPAIR OR RESTORE HYDRAULIC INLET OR OUTLET CONFIGURATION.		
VEGETATION		
CHECK FOR ROBUST VEGETATION COVERAGE THROUGHOUT THE SYSTEM AND DEAD OR DYING PLANTS		ANNUALLY, OR AS NEEDED
REMEDY: VEGETATION SHOULD COVER > 75% OF THE SYSTEM AND SHOULD BE RESEEDED AND CARED FOR AS NEEDED		
CUT AND REMOVE VEGETATION FROM GRAVEL WETLAND SYSTEM AND FOREBAY IN ORDER TO MAINTAIN NITROGEN REMOVAL PERFORMANCE		
REMEDY: THE VEGETATION SHOULD BE CUT AND REMOVED FROM THE SYSTEM TO PREVENT NITROGEN FROM CYCLING BACK INTO THE SYSTEM		ONCE EVERY 3 YEARS

3/8" WASHED CRUSHED STONE*		1-1/2" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100	2"	100
3/8"	95 - 100	1-1/2"	90 - 100
# 4	22 - 55	1"	20 - 55
# 8	0 - 10	1-1/2"	0 - 15
		3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

WETLAND SOIL	
SIEVE SIZE	% PASSING BY WEIGHT
0.5	100
#10"	90 - 75
#100	40 - 50
#200	25 - 50
SIEVE SIZE	% PASSING TOLERANCES
0.5	±10.0
#10	±5.0
#100	±5.0
#200	±5.0

DESIGN REFERENCES
1 UNH STORMWATER CENTER

CONSTRUCTION NOTE: THE DESIGN ENGINEER IS TO BE ON SITE PRIOR TO AND DURING THE PLACEMENT OF THE RESERVOIR STONE, AND TO WITNESS THE INSTALLATION OF THE UNDER-DRAIN AND INTER-CHAMBER PIPES. PLEASE PROVIDE 24 HOURS NOTICE PRIOR TO REQUESTED INSPECTION.

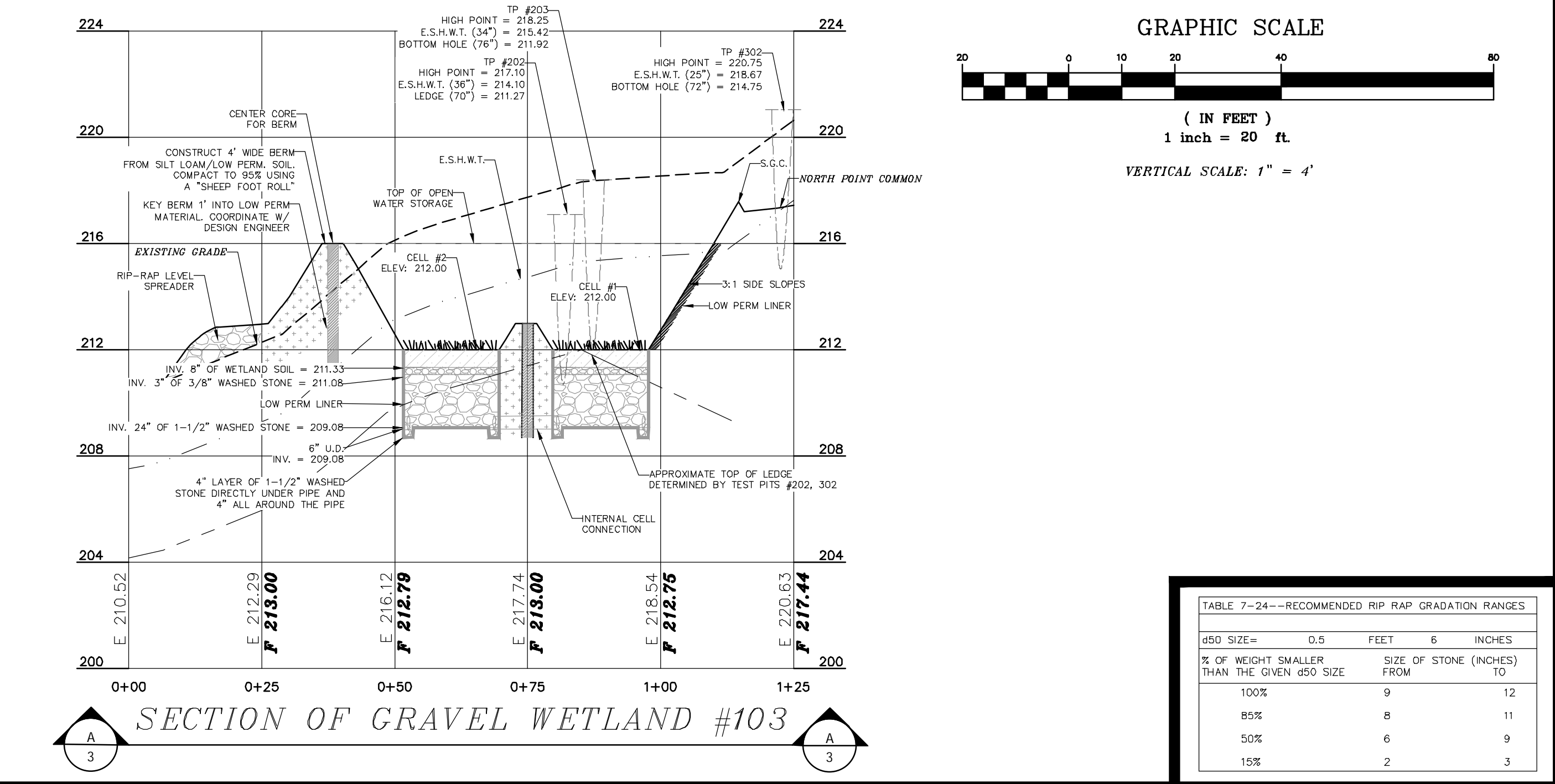
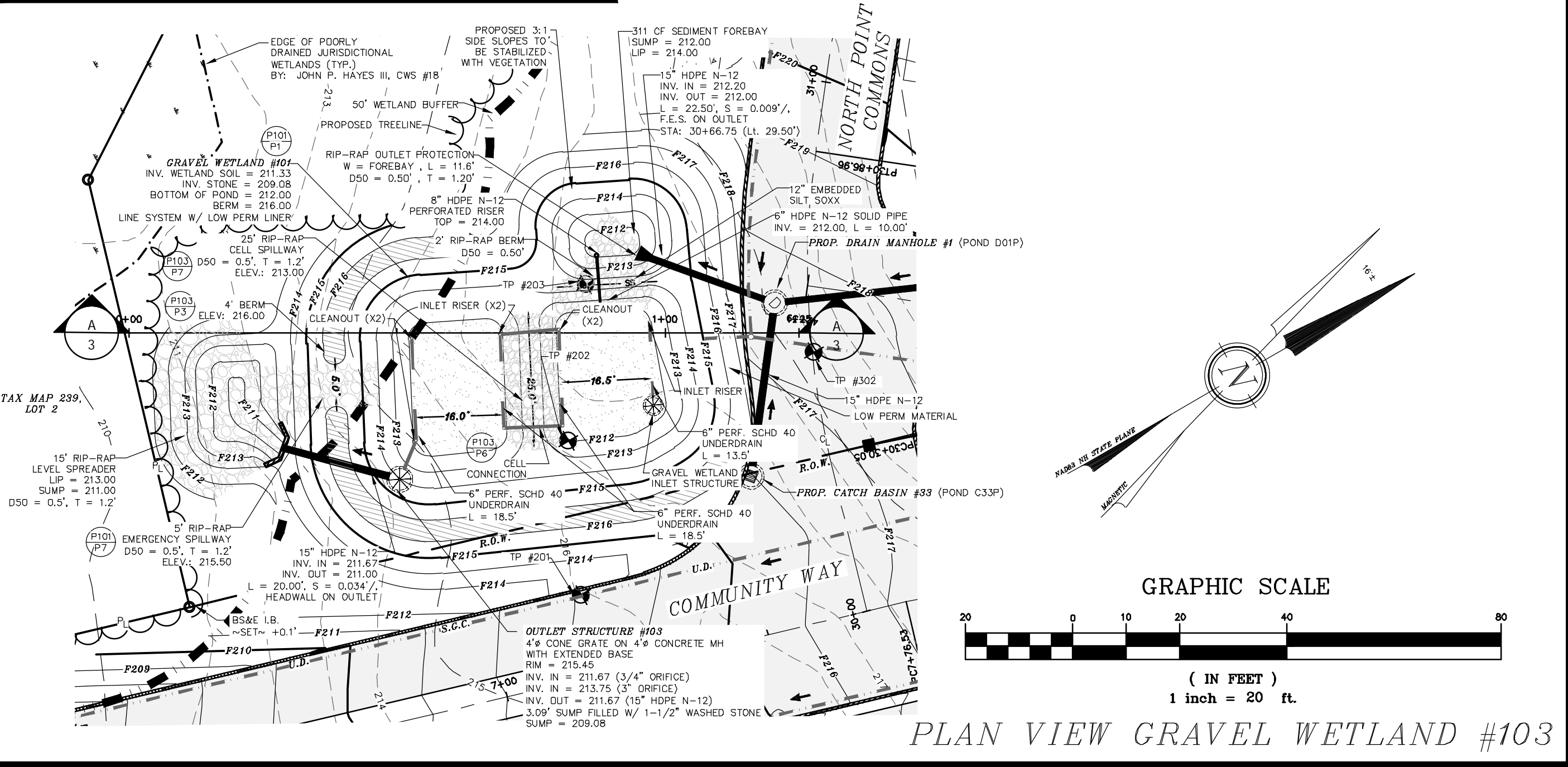
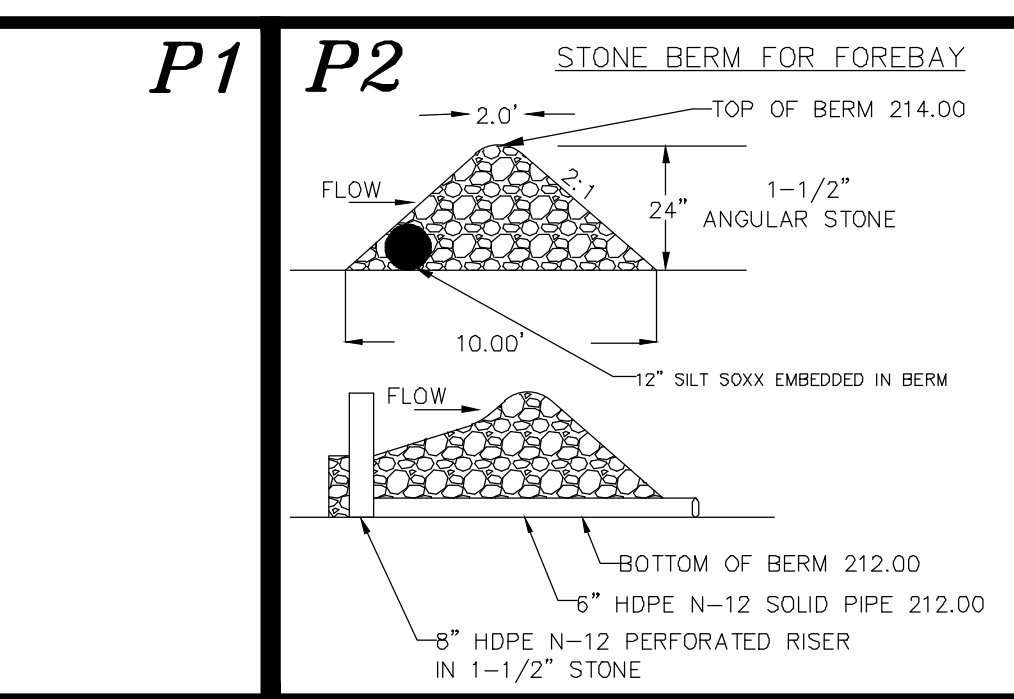


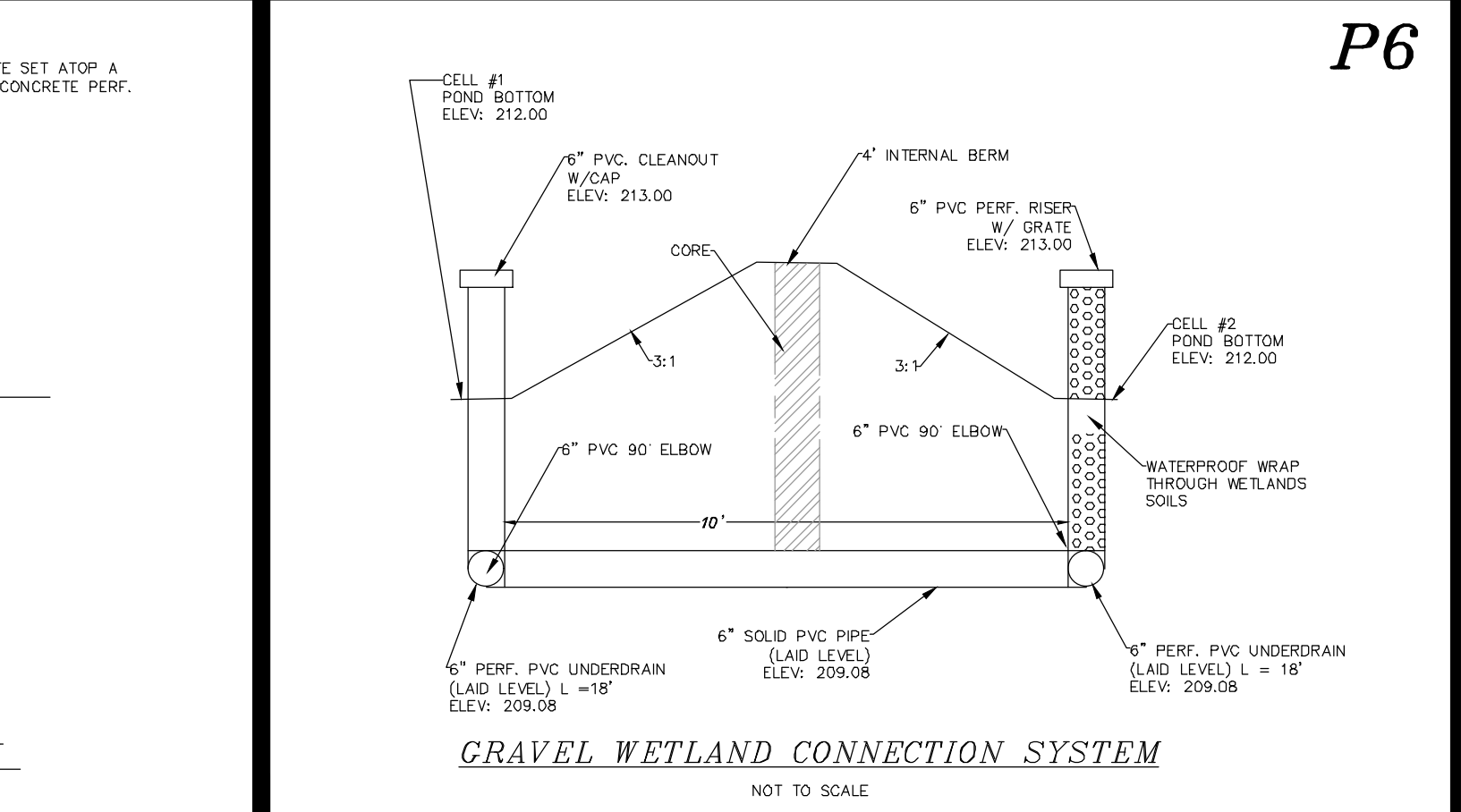
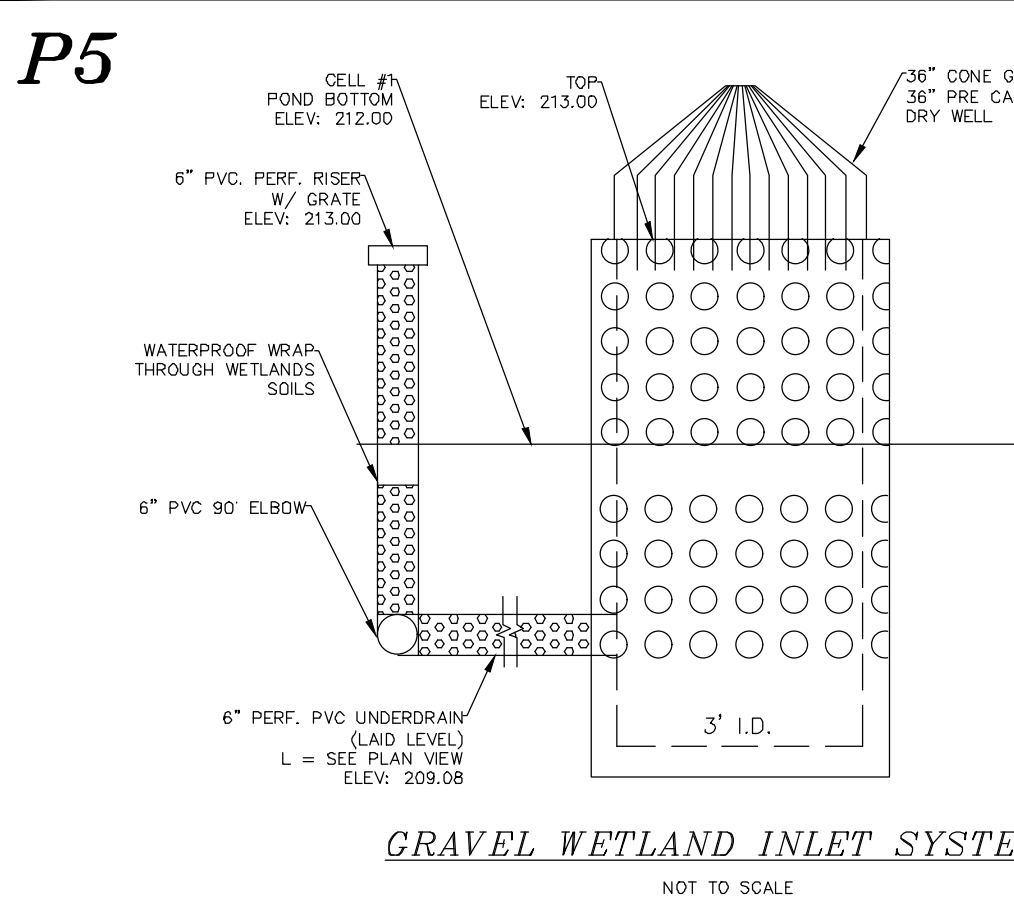
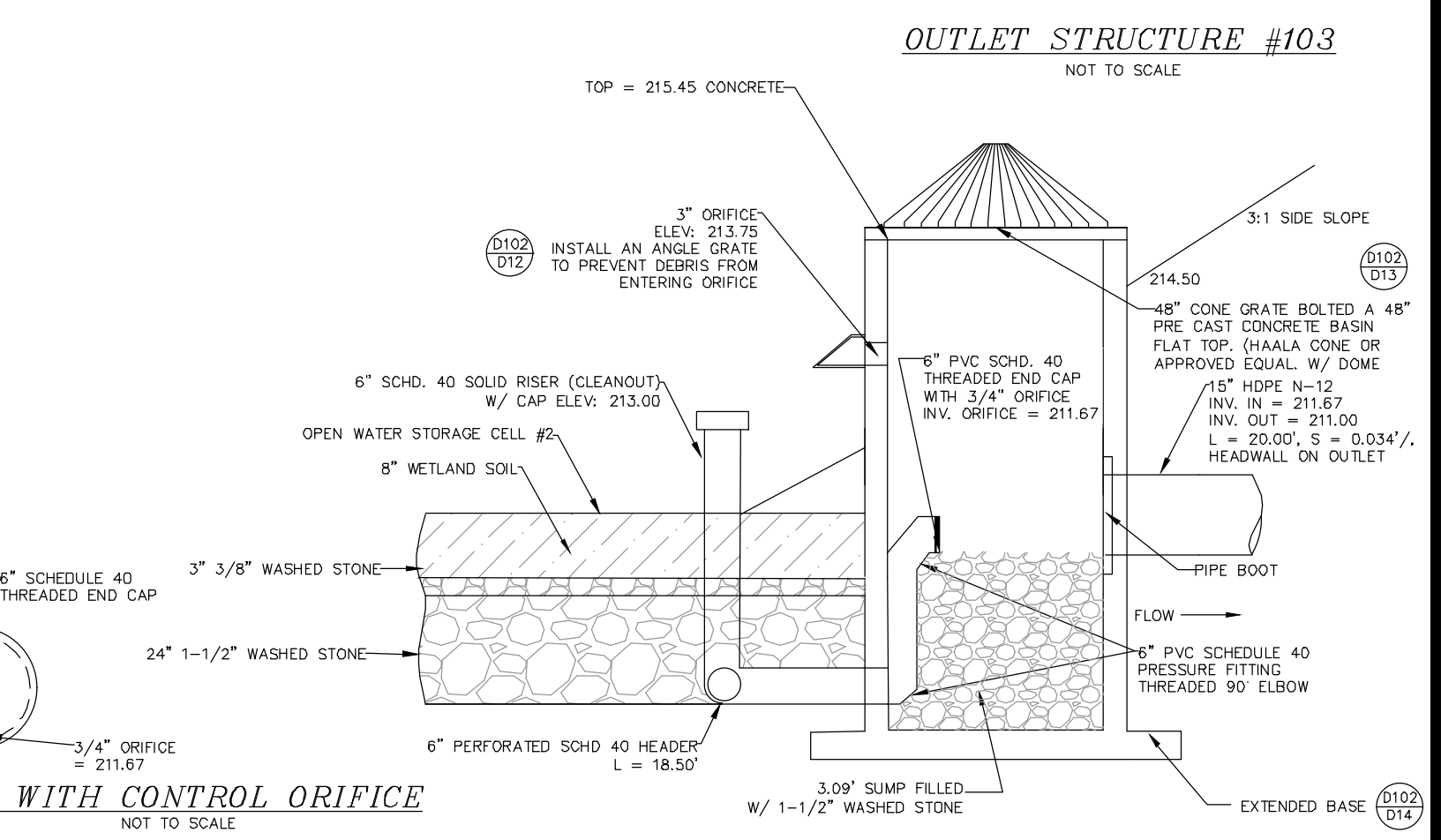
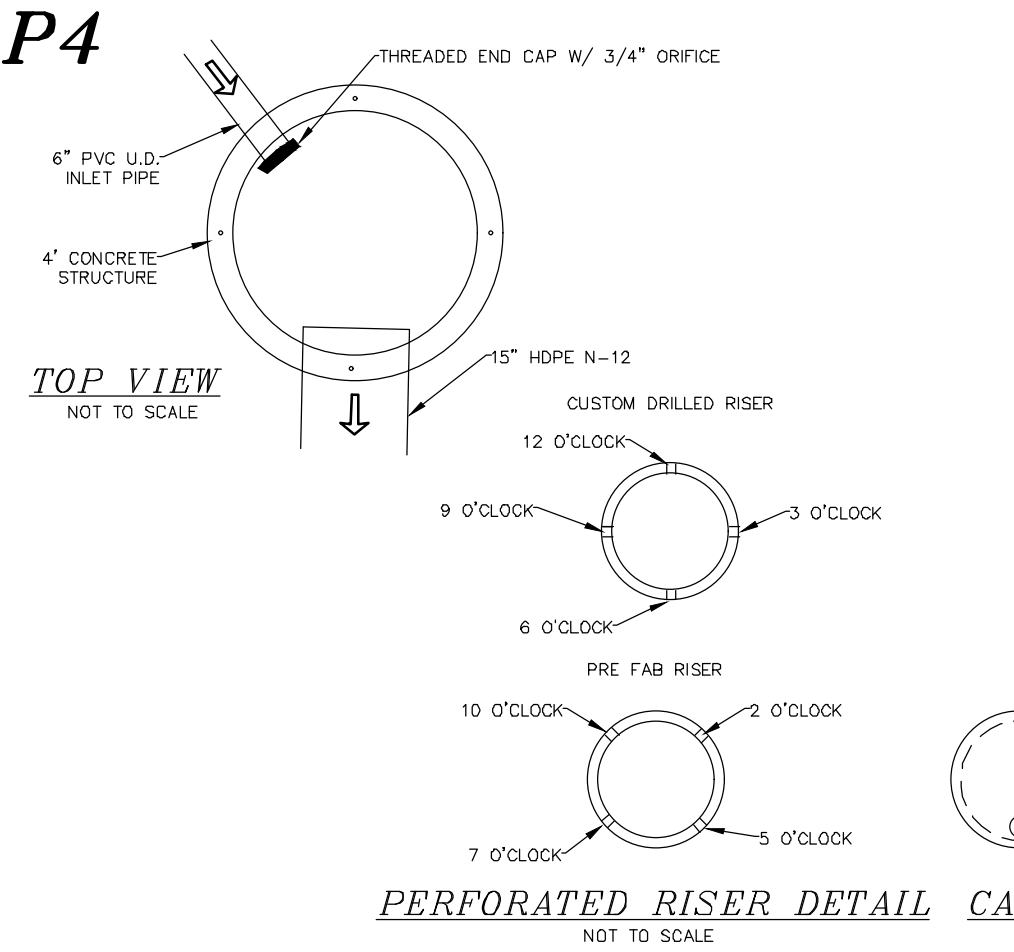
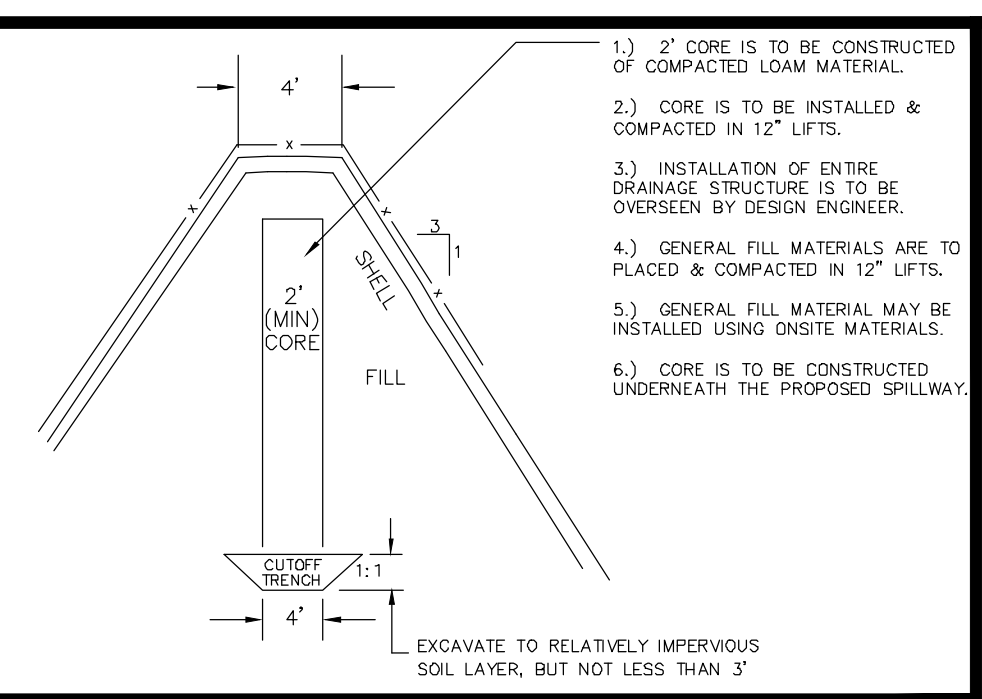
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE-	0.5 FEET	6 INCHES
% OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3



P3 LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



REVISION	DATE	DESCRIPTION

GRAVEL WETLAND #103
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: JUNE 14, 2021
FILE NO.: DB 2020 - 097

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KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

MAINTENANCE REQUIREMENTS

ACTIVITY	CLOGGING AND SYSTEM PERFORMANCE	FREQUENCY
INSPECT INLETS AND OUTLETS TO ENSURE GOOD CONDITION AND NO EVIDENCE OF DETRIORATION. CHECK TO SEE IF HIGH-FLOW EMPASS IS FUNCTIONING.		
REMEDY: REPAIR OR REPLACE ANY DAMAGED STRUCTURAL PARTS, INLETS AND OUTLETS. CLEAR OR REMOVE DEBRIS OR RESTRICTIONS.		
CHECK FOR INTERNAL EROSION, EVIDENCE OF SHORT-CIRCUITING, AND ANIMAL BURROWS.		ANNUALLY, MORE FREQUENTLY IN THE FIRST YEAR OF OPERATION
REMEDY: SOIL EROSION FROM SHORT-CIRCUITING OR ANIMAL BURROWS SHOULD BE REPAIRED WHEN THEY OCCUR.		
CHECK THAT THE SYSTEM IS FULLY DRAINING WITHIN A 24-48 HOUR PERIOD AFTER RAIN EVENTS.		
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VEGETATION		
CHECK FOR ROBUST VEGETATION COVERAGE THROUGHOUT THE SYSTEM AND DEAD OR DYING PLANTS		ANNUALLY, OR AS NEEDED
REMEDY: VEGETATION SHOULD COVER > 75% OF THE SYSTEM AND SHOULD BE RESEEDED AND CARED FOR AS NEEDED		
CUT AND REMOVE VEGETATION FROM GRAVEL WETLAND SYSTEM AND FOREBAY IN ORDER TO MAINTAIN NITROGEN REMOVAL PERFORMANCE		ONCE EVERY 3 YEARS
REMEDY: THE VEGETATION SHOULD BE CUT AND REMOVED FROM THE SYSTEM TO PREVENT NITROGEN FROM CYCLING BACK INTO THE SYSTEM		

3/8" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

1-1/2" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1-1/2"	0 - 15
3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

WETLAND SOIL

SIEVE SIZE	% PASSING BY WEIGHT
0.5	100
#10"	90 - 75
#100	40 - 50
#200	25 - 50
SIEVE SIZE	% PASSING TOLERANCES
0.5	±10.0
#10	±5.0
#100	±5.0
#200	±5.0

DESIGN REFERENCES
1 UNH STORMWATER CENTER

CONSTRUCTION NOTE: THE DESIGN ENGINEER IS TO BE ON SITE PRIOR TO AND DURING THE PLACEMENT OF THE RESERVOIR STONE, AND TO WITNESS THE INSTALLATION OF THE UNDER-DRAIN AND INTER-CHAMBER PIPES. PLEASE PROVIDE 24 HOURS NOTICE PRIOR TO REQUESTED INSPECTION.

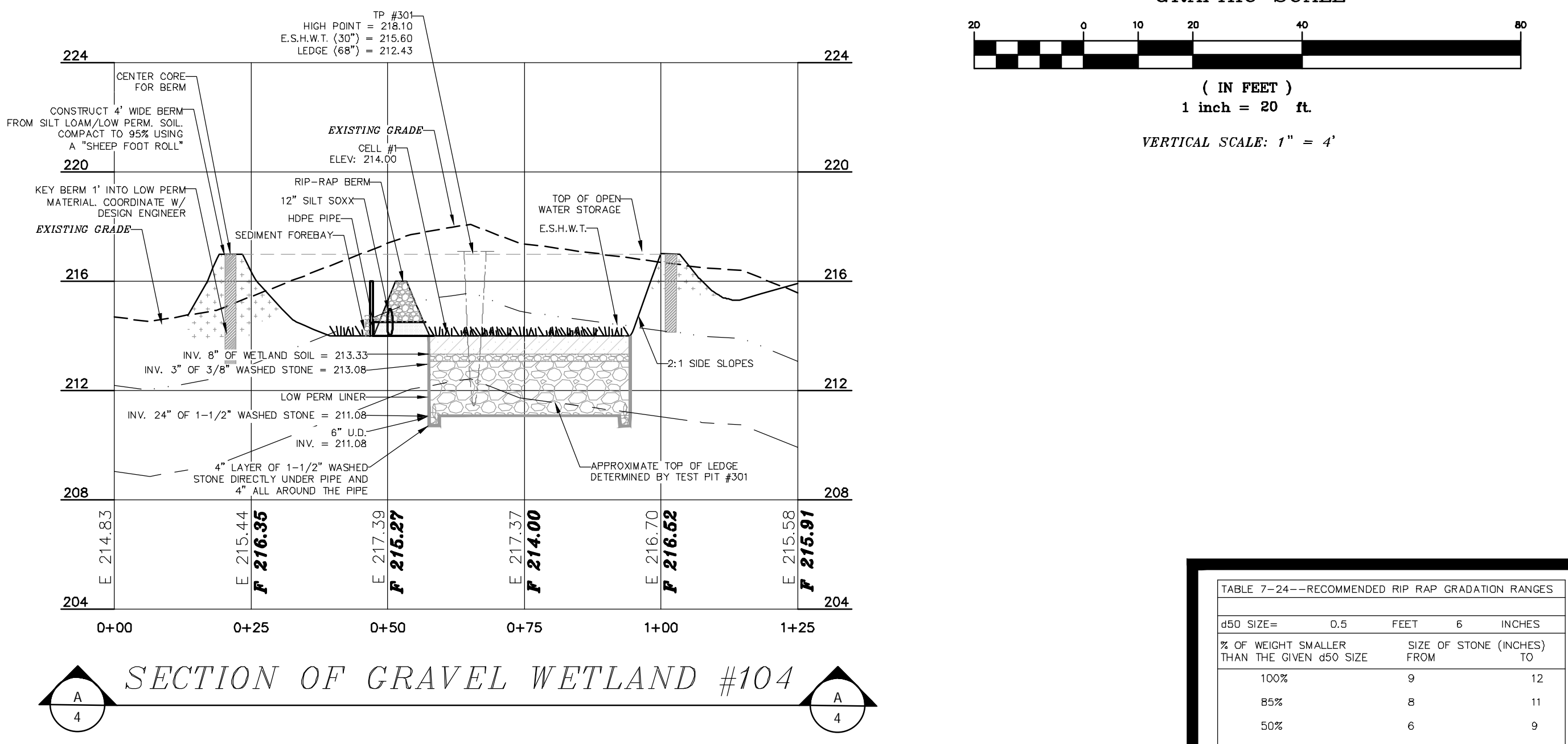
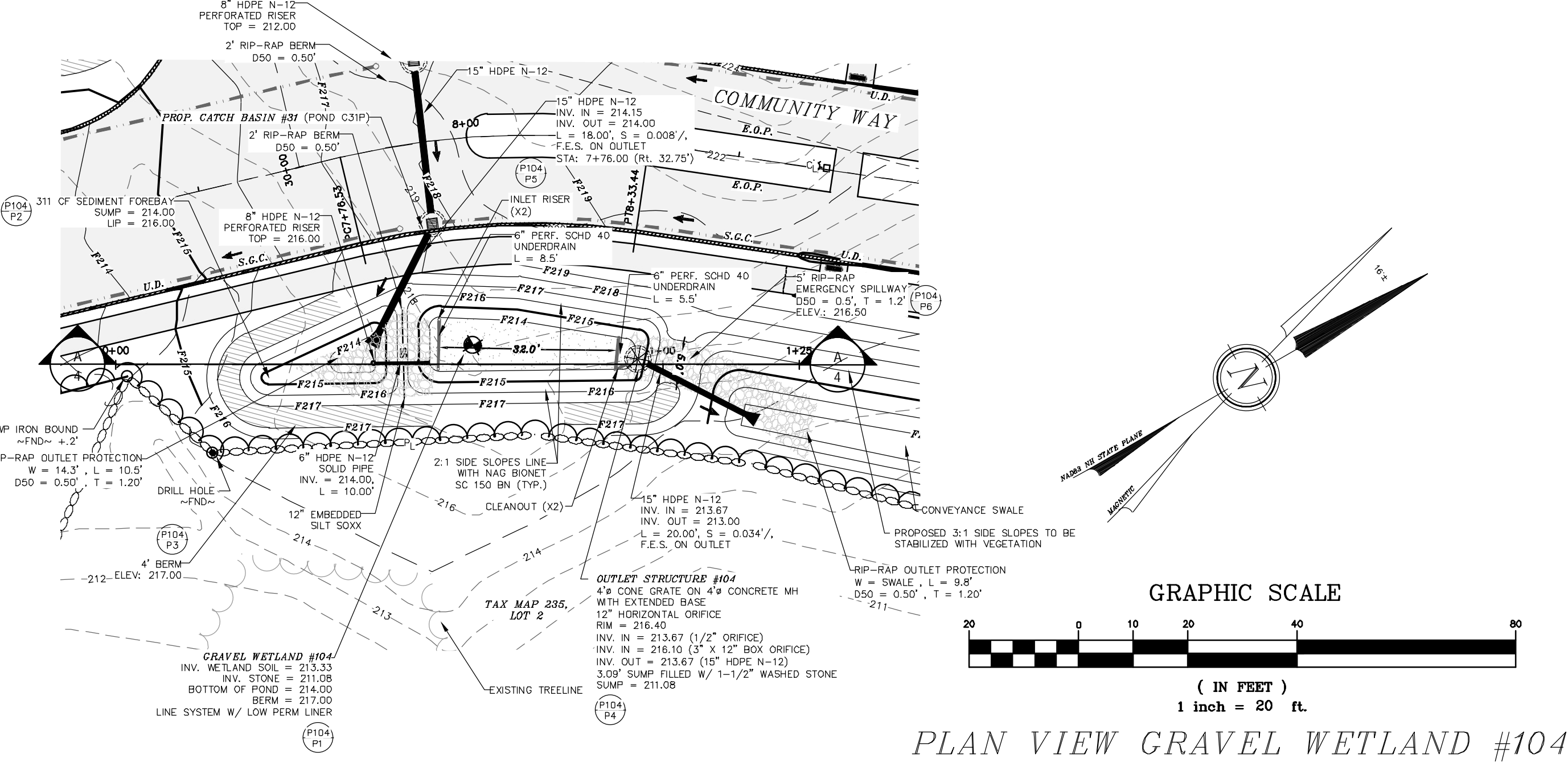
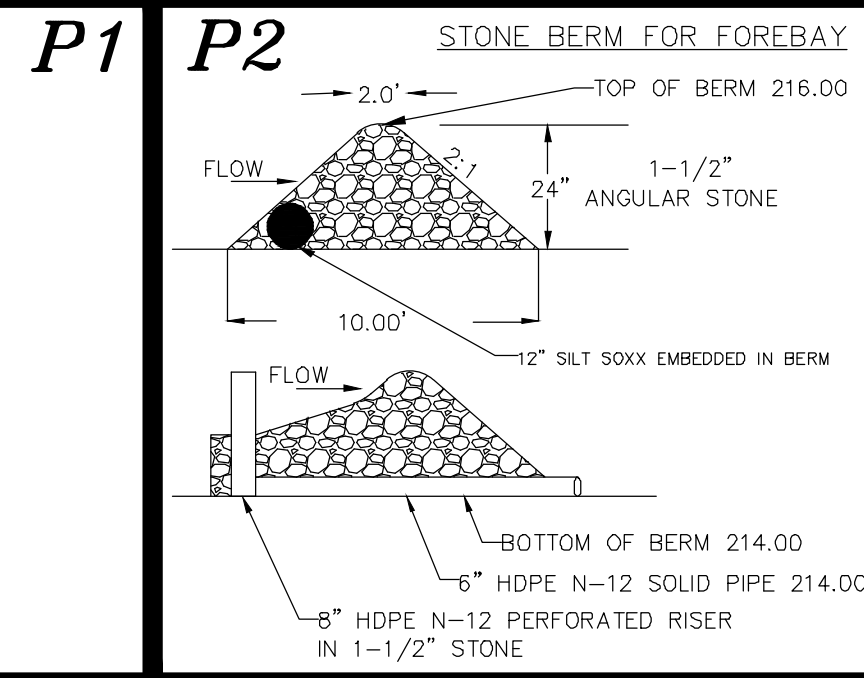


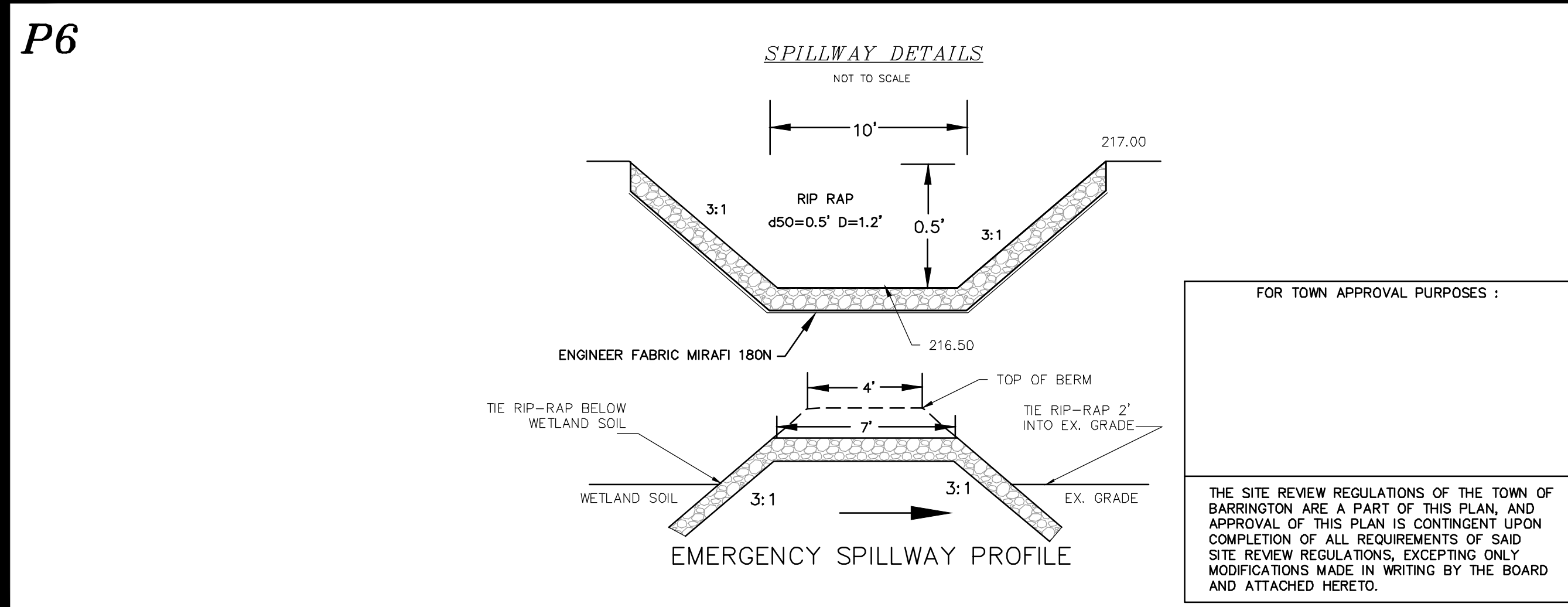
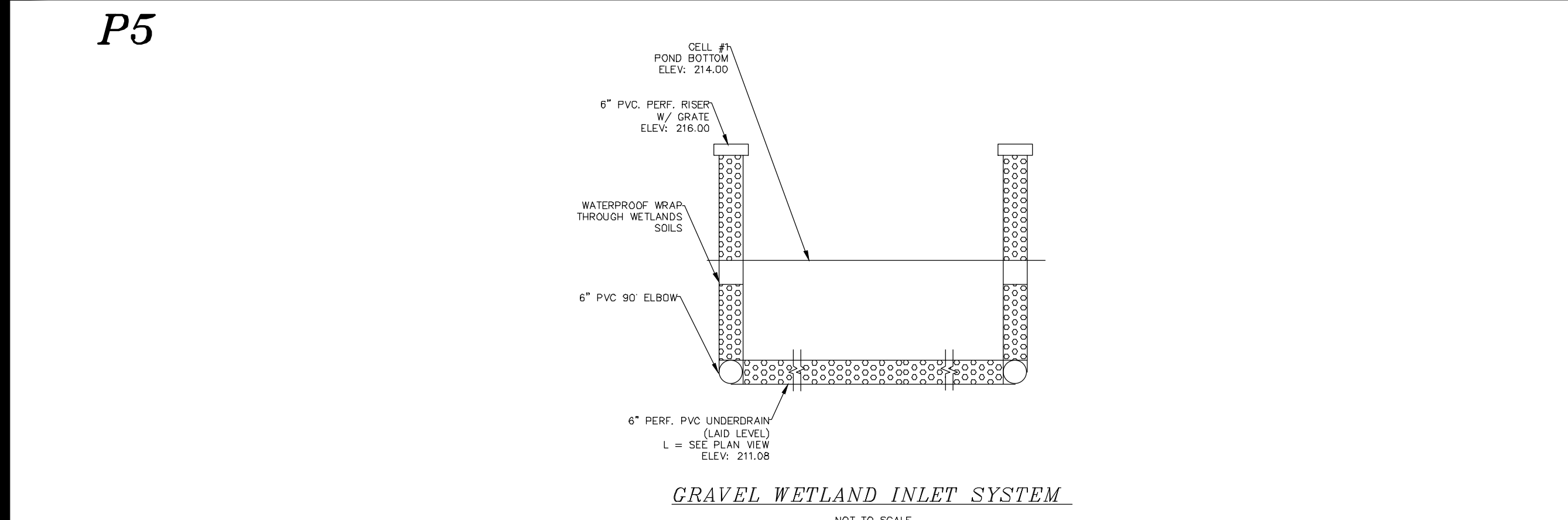
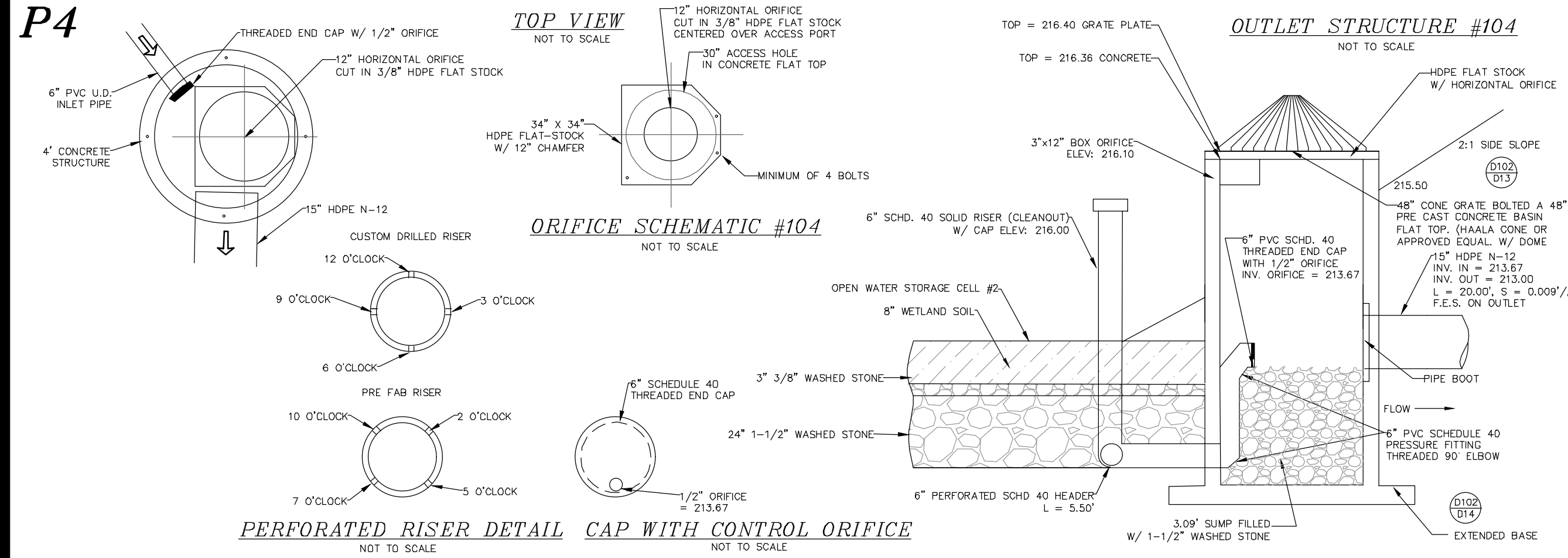
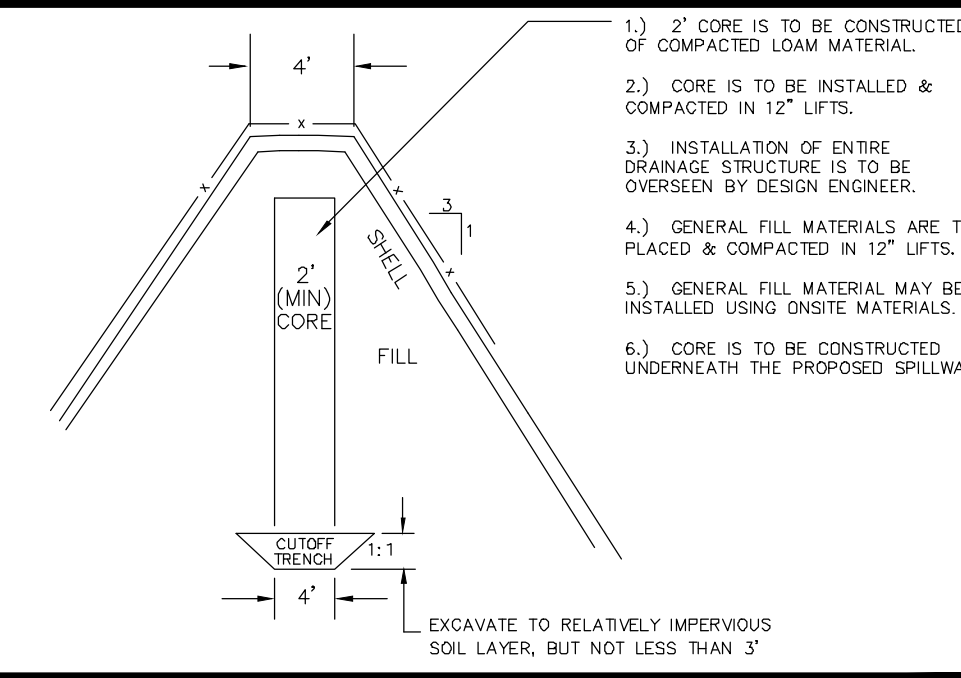
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3



P3 LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



FOR TOWN APPROVAL PURPOSES :

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REVISION	DATE	DESCRIPTION

GRAVEL WETLAND #104
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
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TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
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STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
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Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

1-1/2" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

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MAINTENANCE REQUIREMENTS

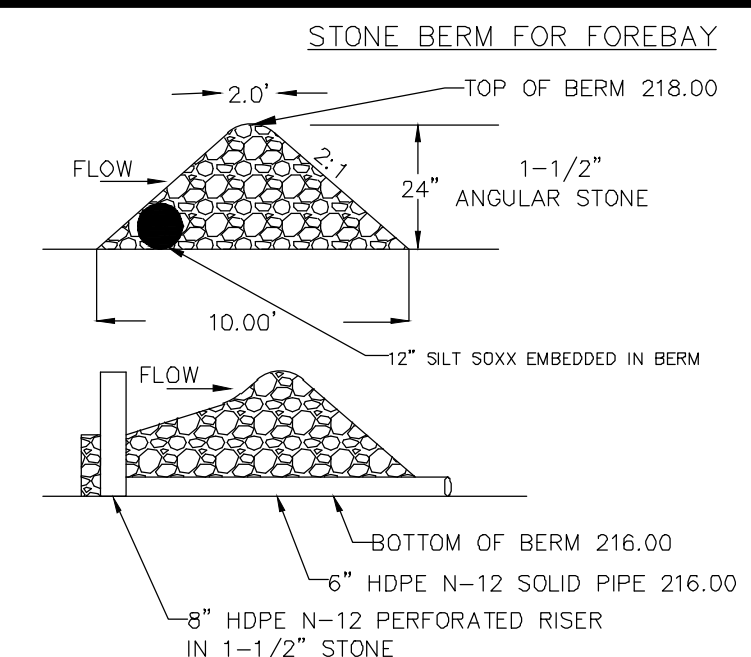
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DESIGN REFERENCES

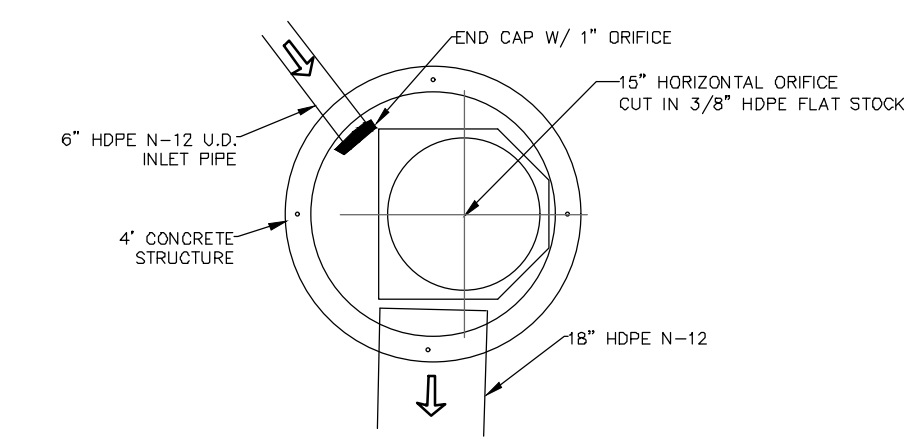
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RAIN GARDEN MIX
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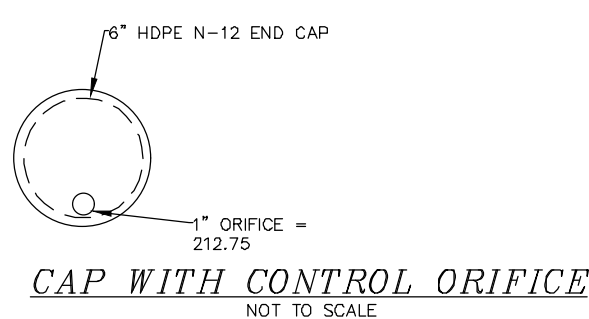
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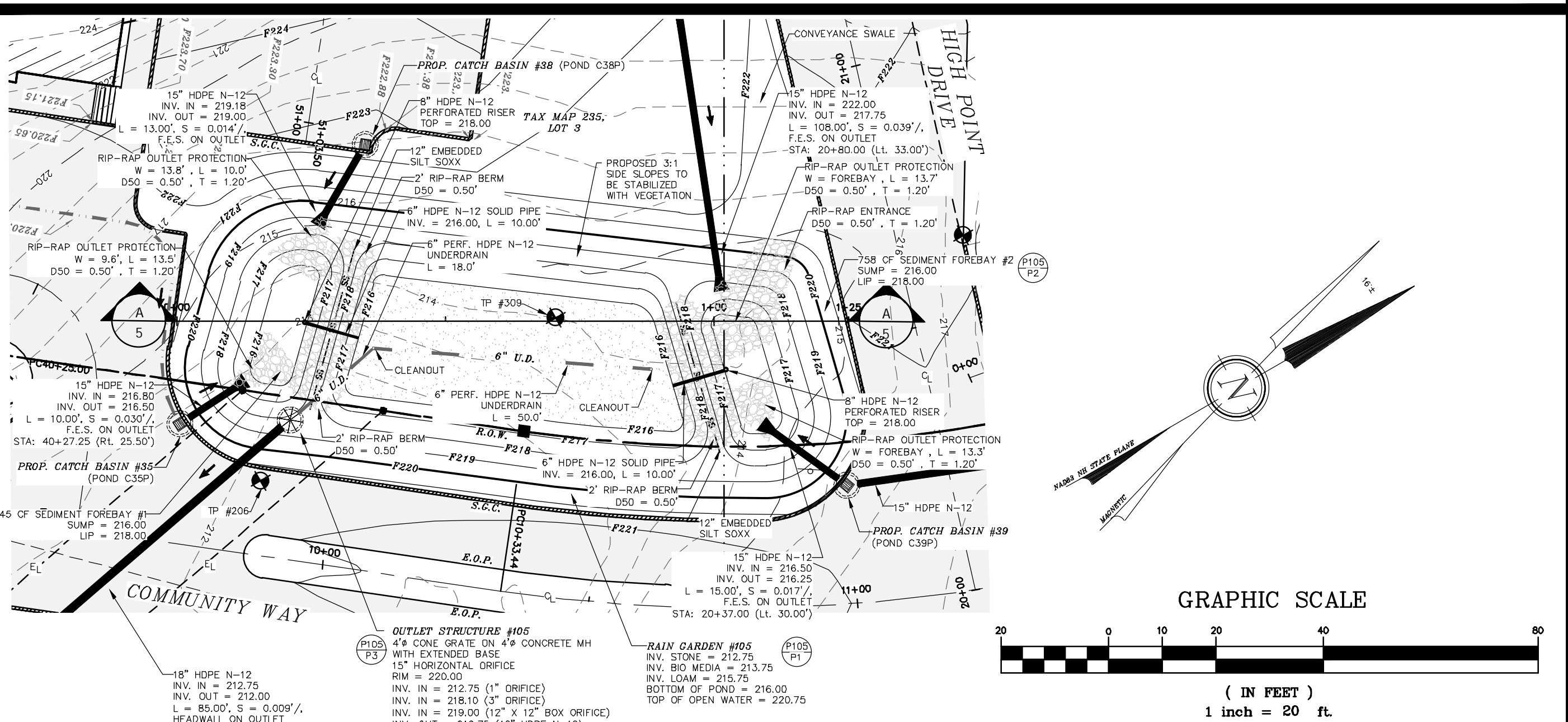
TOP VIEW
NOT TO SCALE



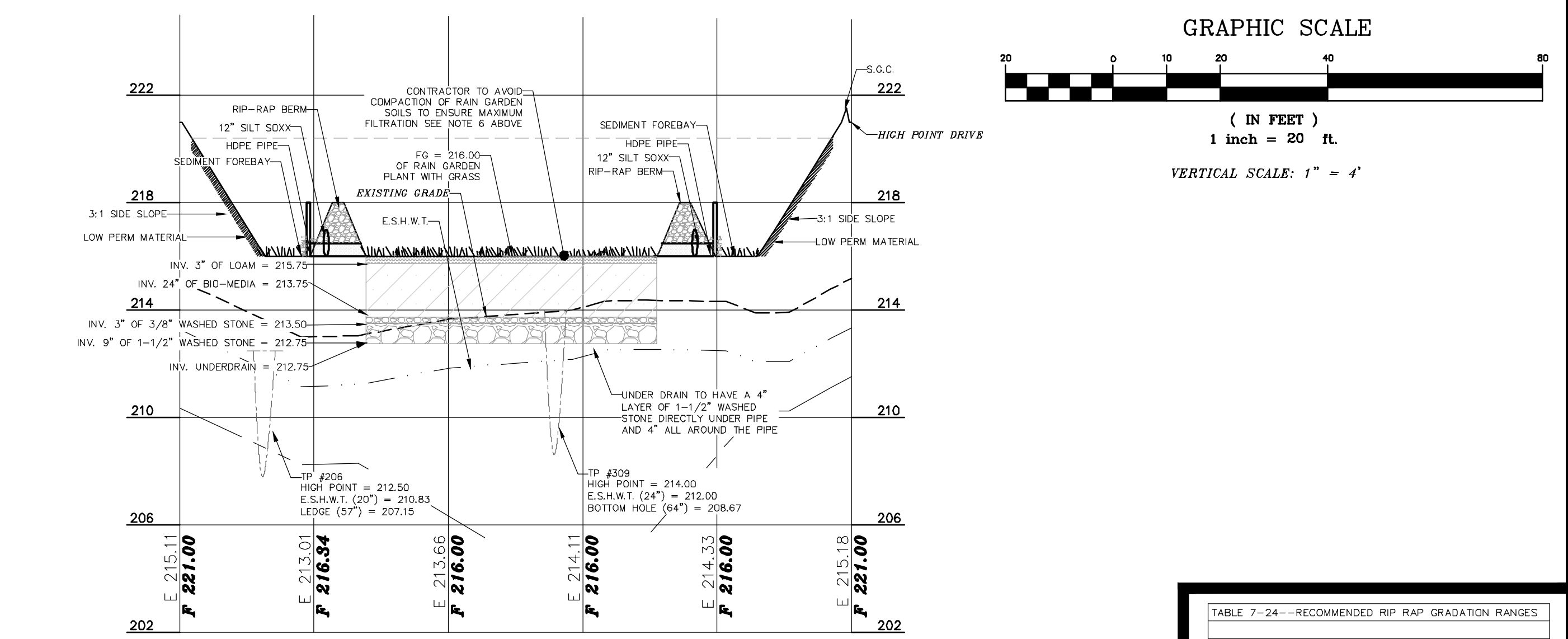
ORIFICE SCHEMATIC #105
NOT TO SCALE



CAP WITH CONTROL ORIFICE
NOT TO SCALE



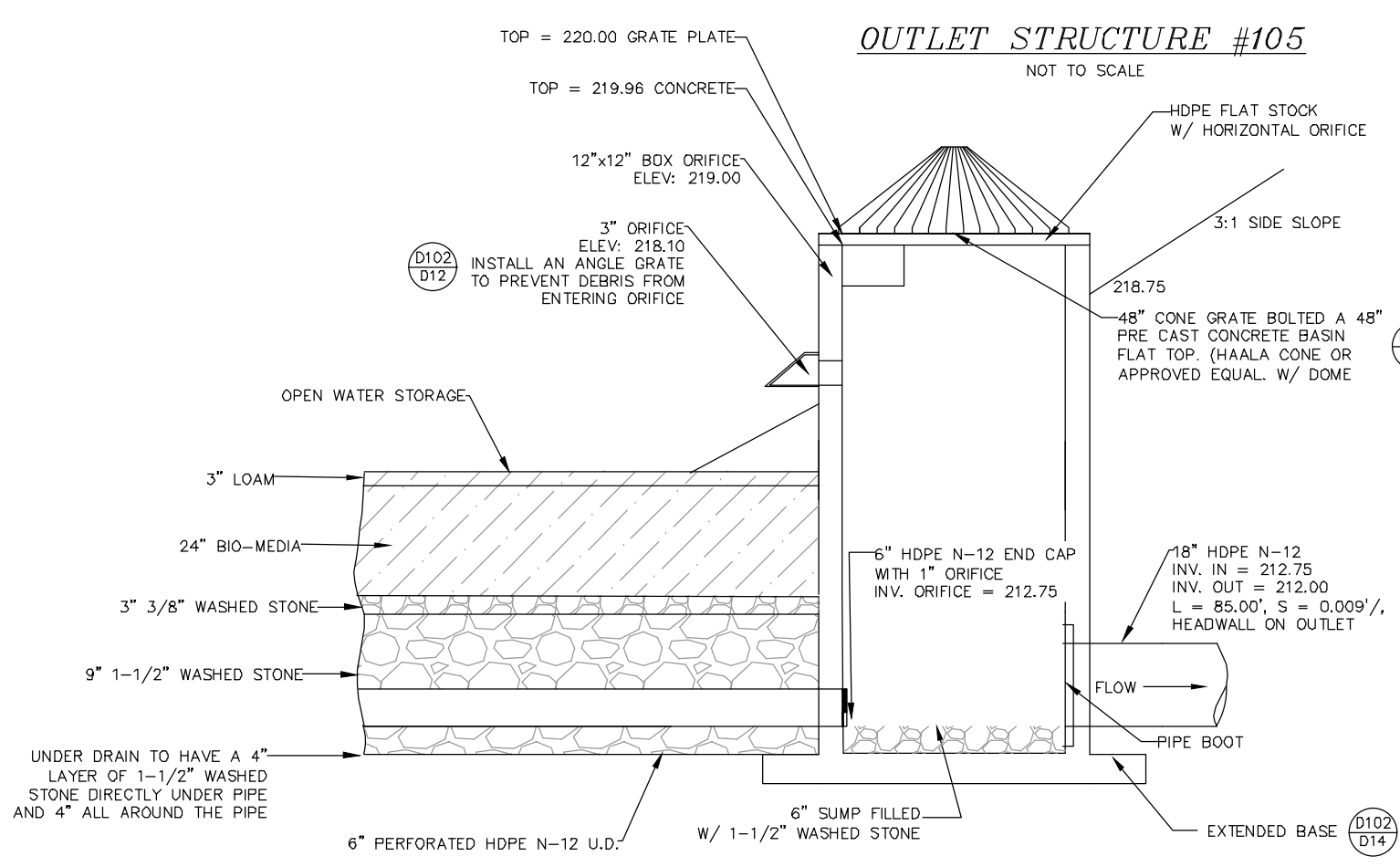
PLAN VIEW RAIN GARDEN #105



SECTION OF RAIN GARDEN #105

SIZE OF STONE (INCHES) FROM	TO	PERCENT SMALLER THAN THE GIVEN SIZE
6	12	100%
8	11	85%
6	9	50%
2	3	15%

P3



OUTLET STRUCTURE #105
NOT TO SCALE

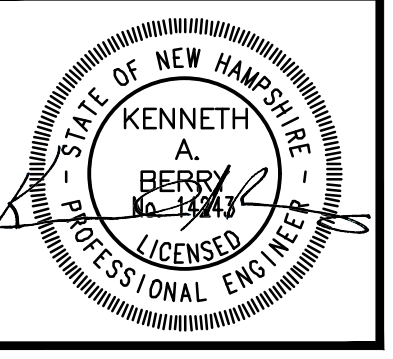
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REVISION	DATE	DESCRIPTION

RAIN GARDEN #105
AND
OUTLET #105
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loomy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

1-1/2" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

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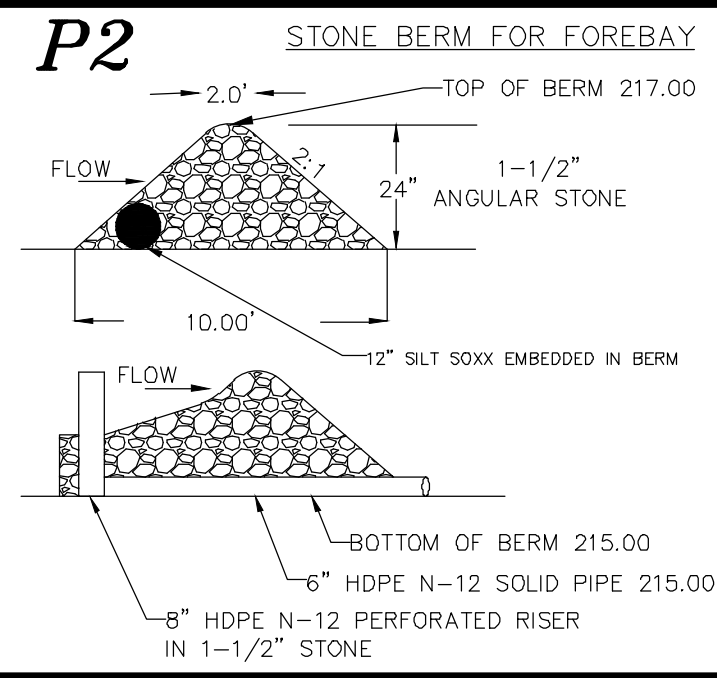
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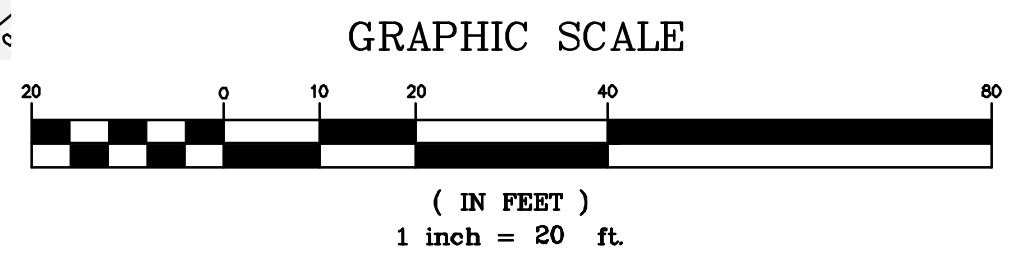
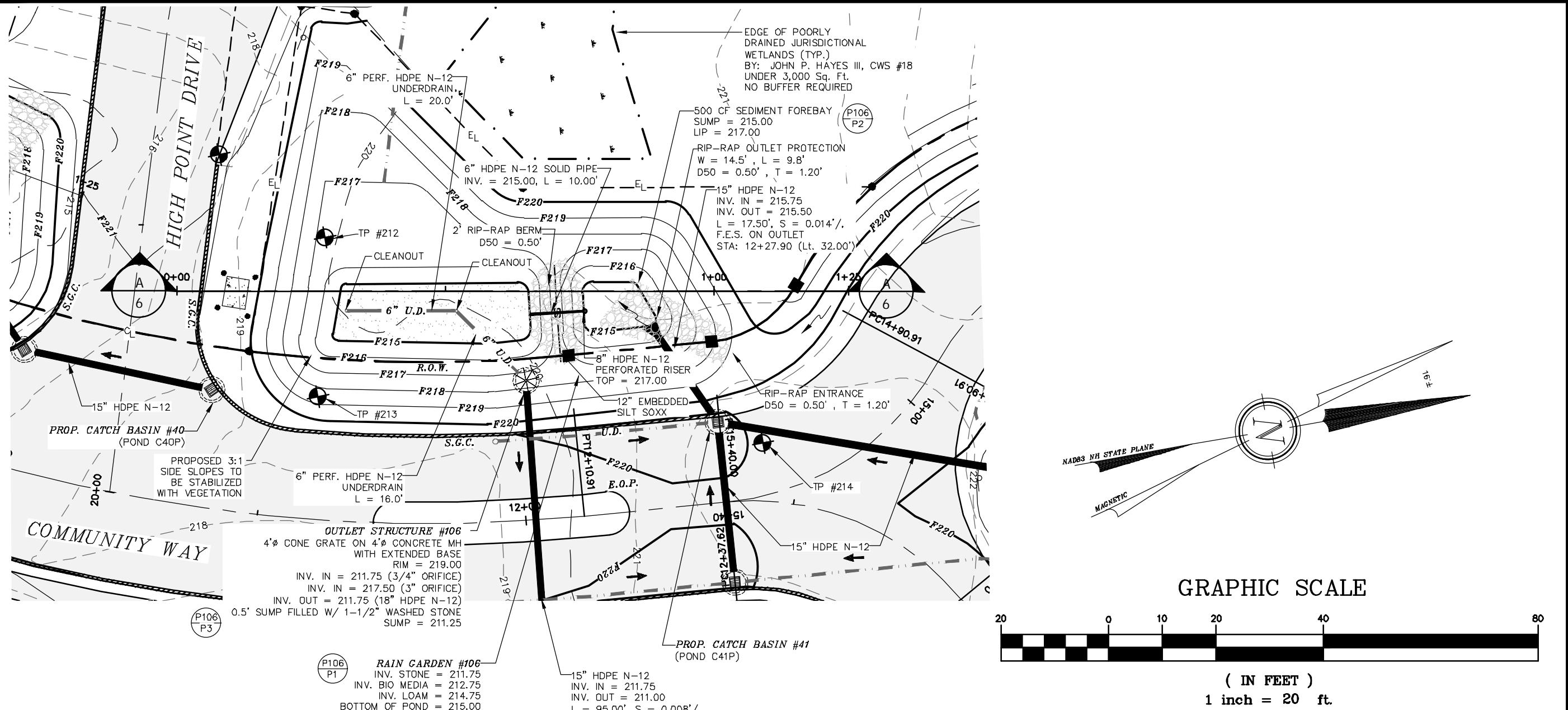
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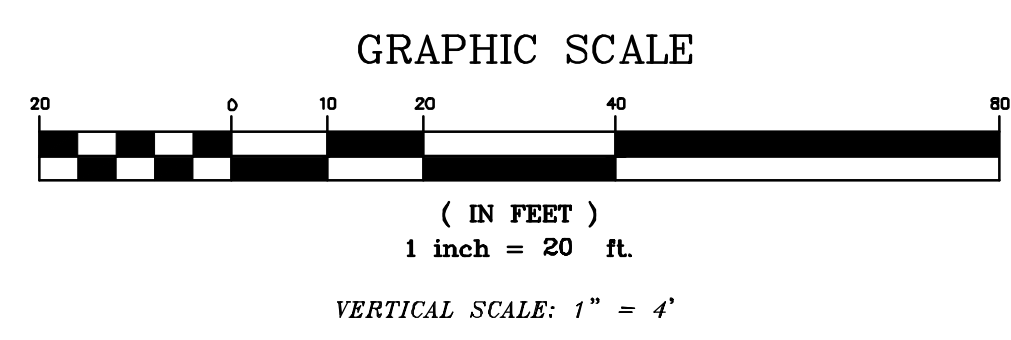
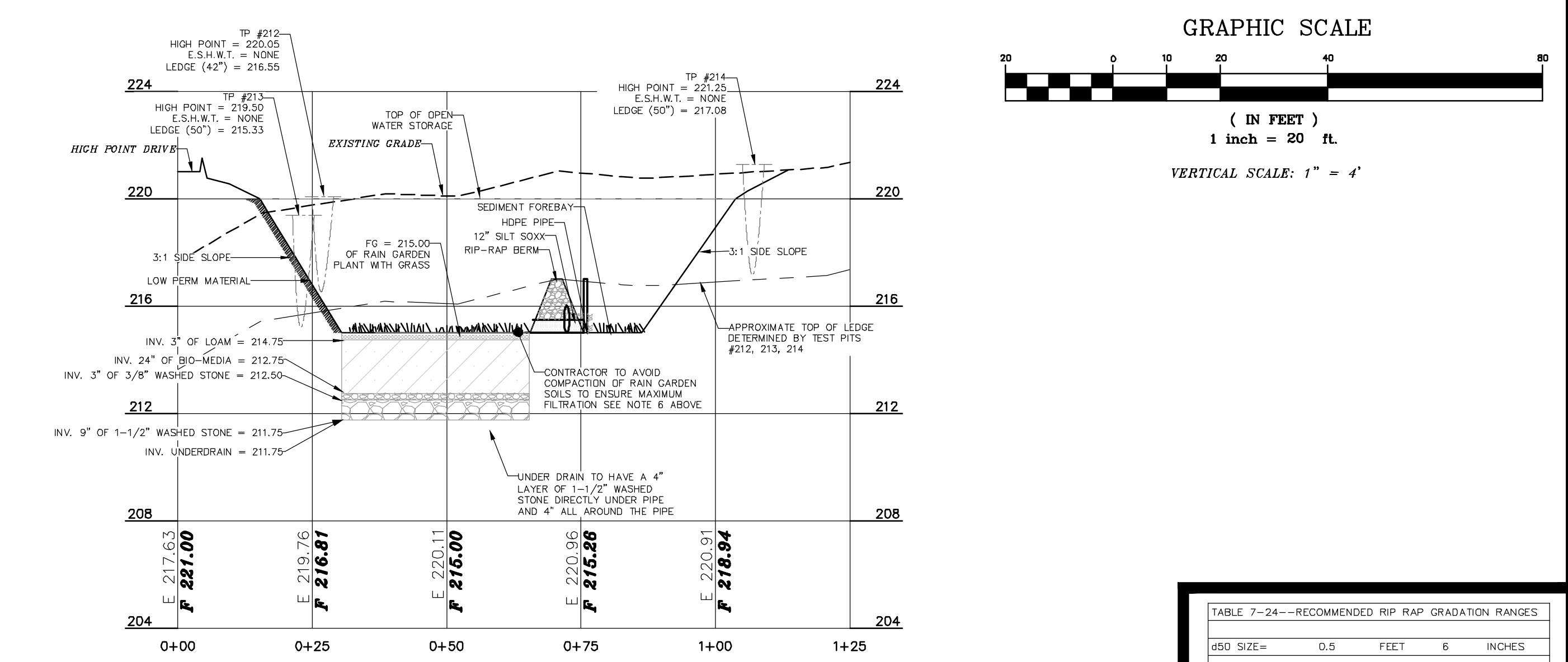
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P3

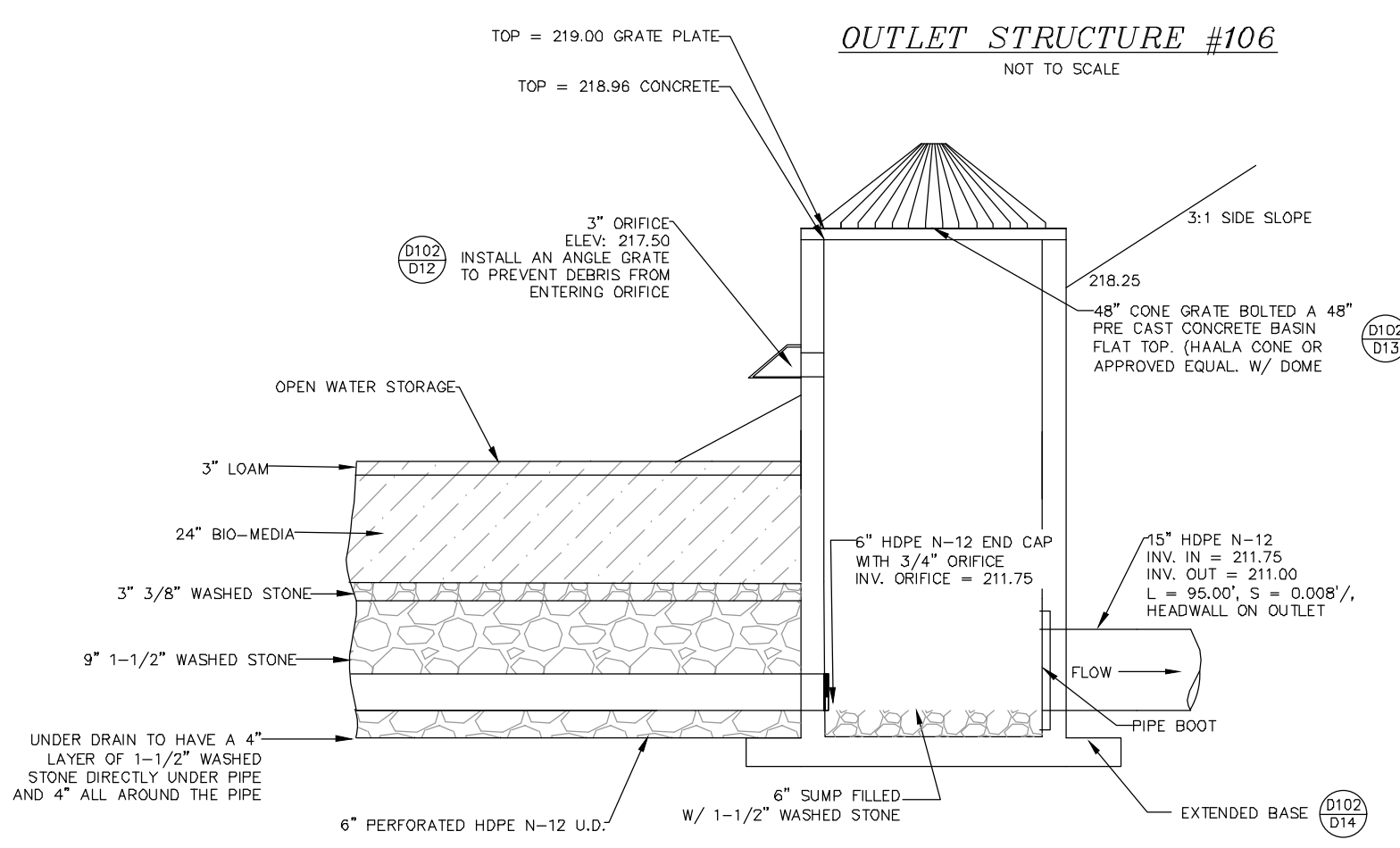
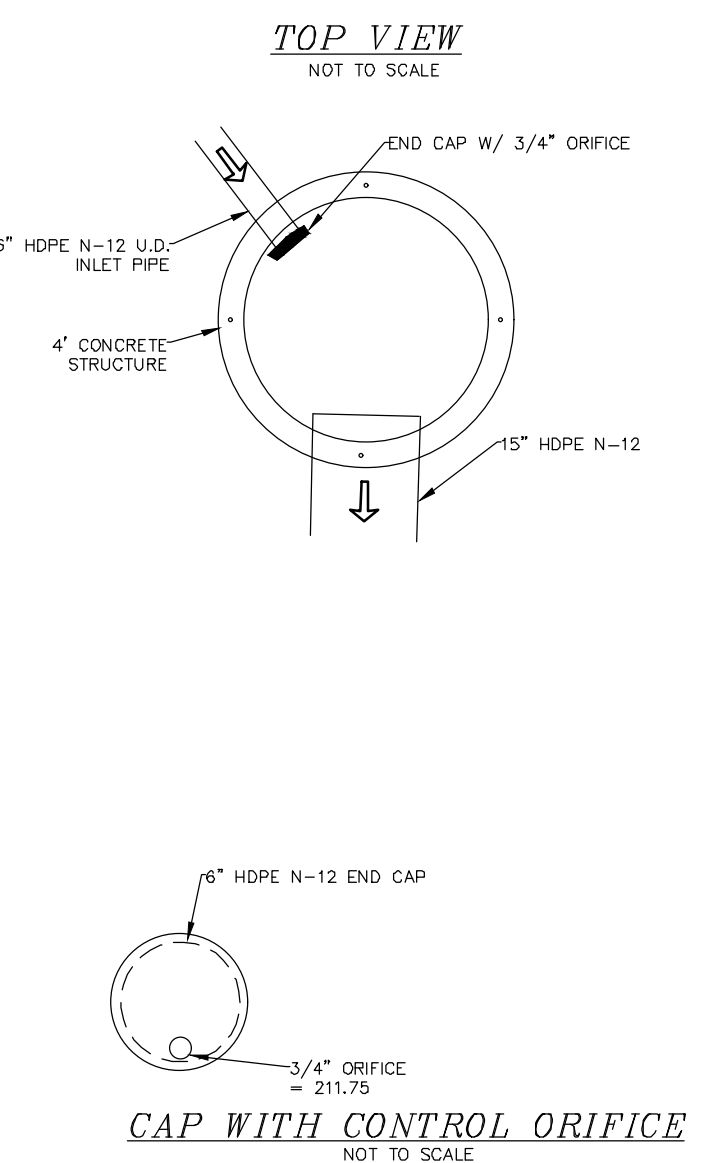


PLAN VIEW RAIN GARDEN #106



SECTION OF RAIN GARDEN #106

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES		
SIZE OF STONE (INCHES) TO	FEET	PERCENT
6	6	100%
8	8	85%
11	11	50%
12	12	15%



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REVISION	DATE	DESCRIPTION

RAIN GARDEN #106
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loomy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

1-1/2" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
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* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

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- NOTES**
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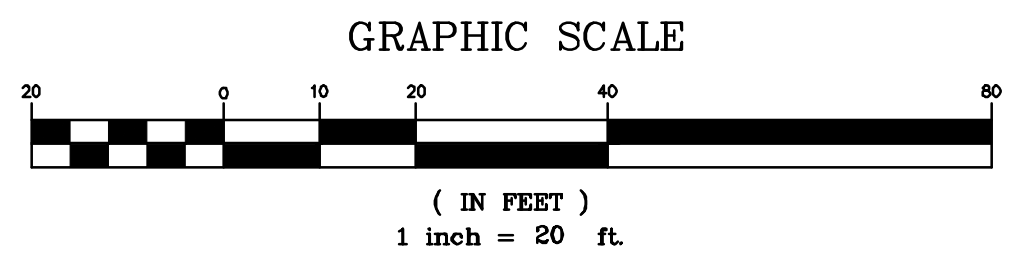
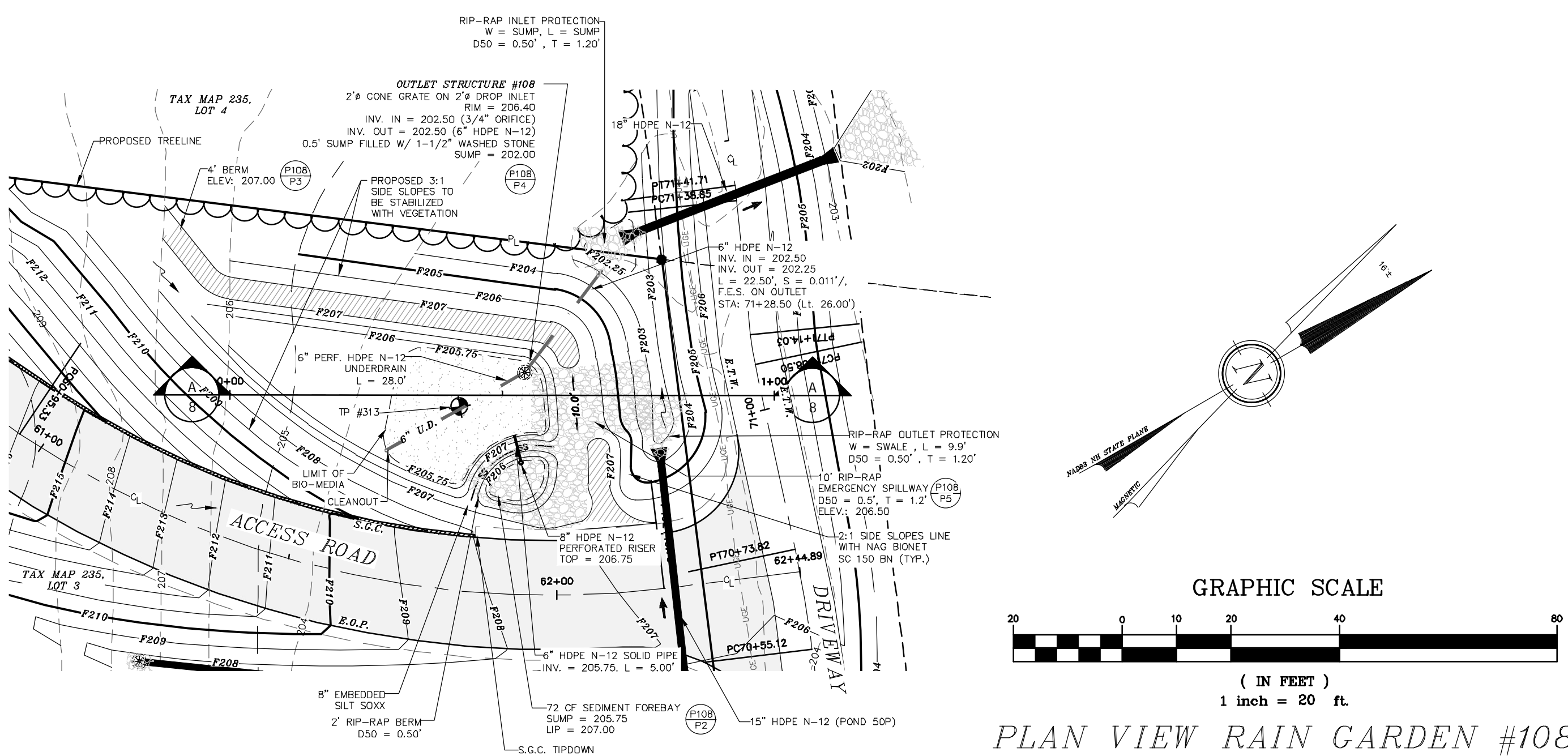
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PLAN VIEW RAIN GARDEN #108

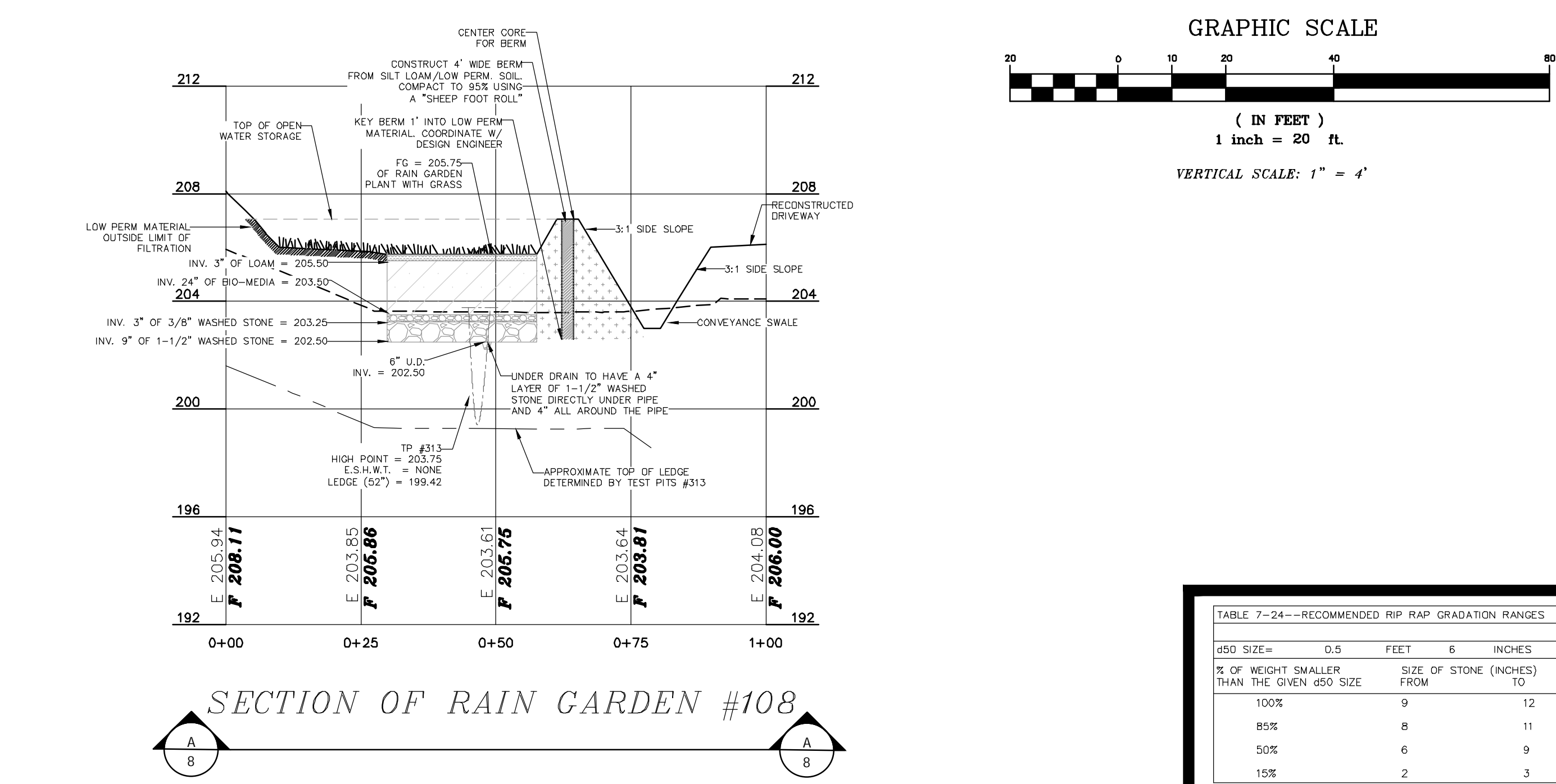
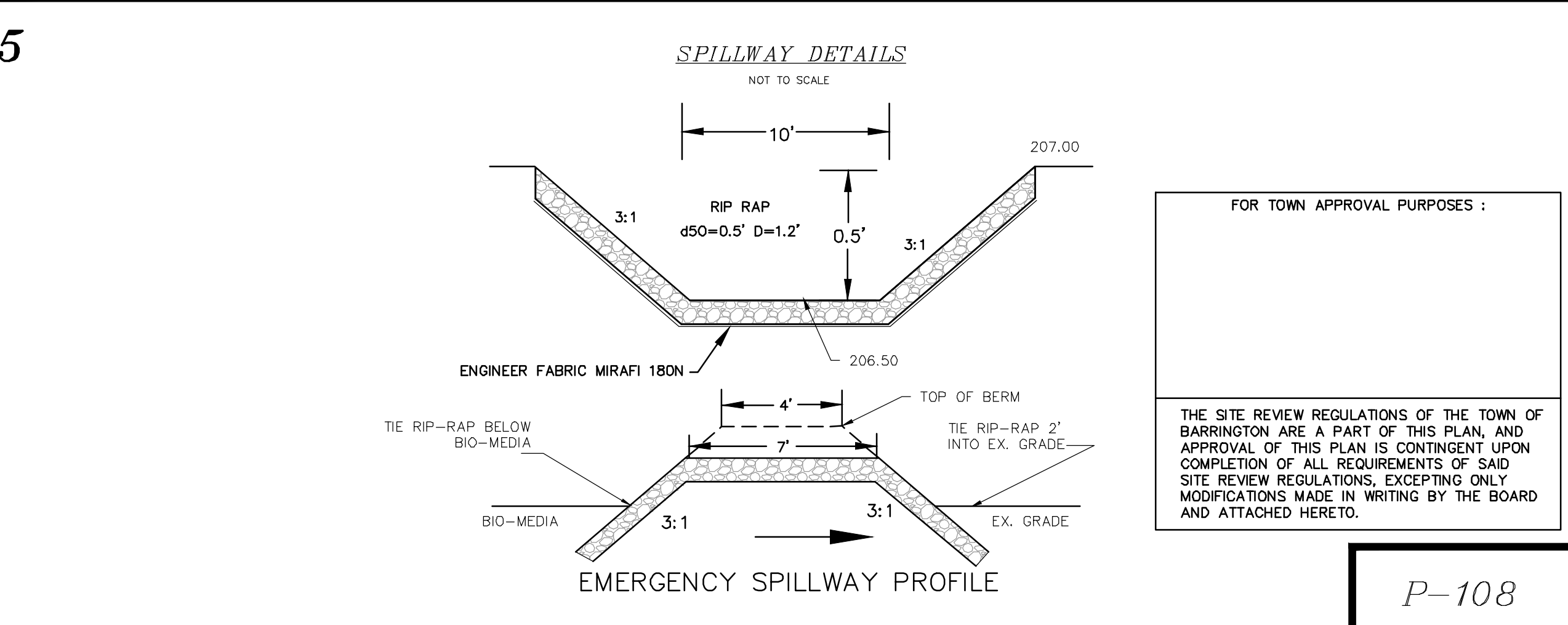
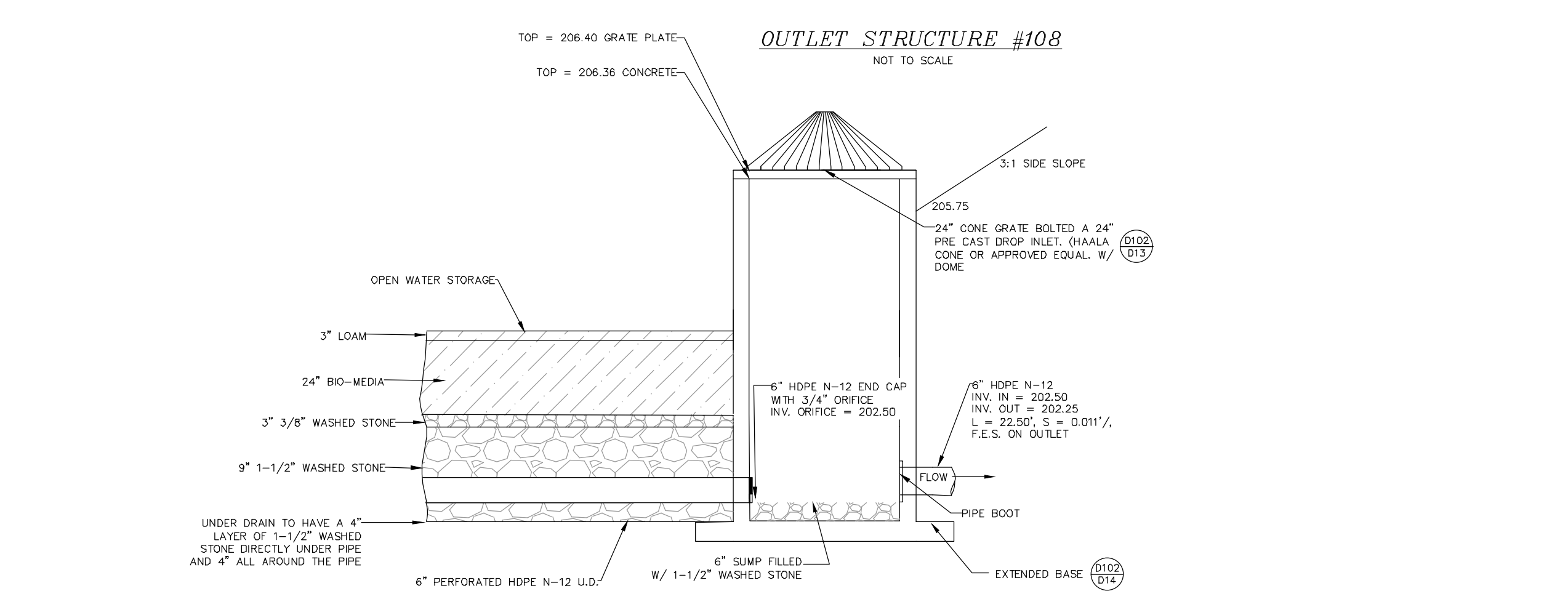
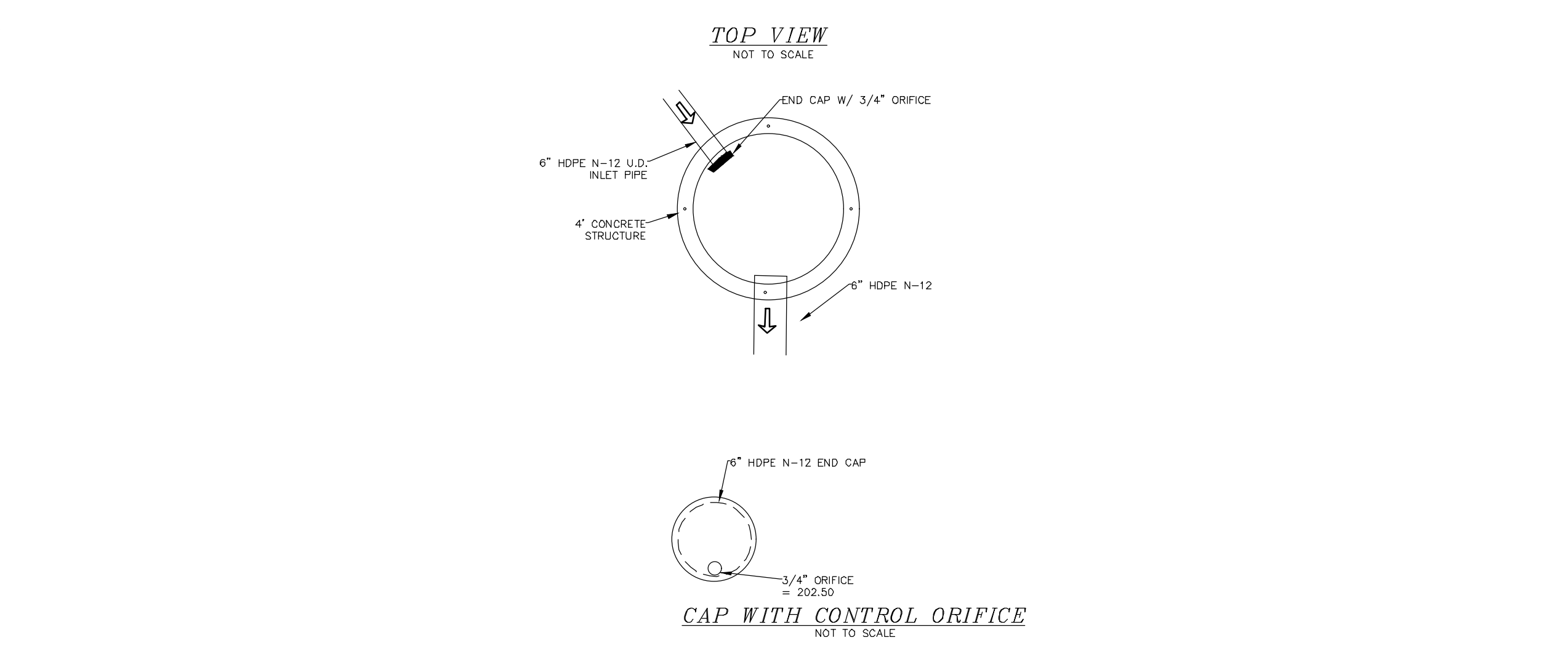
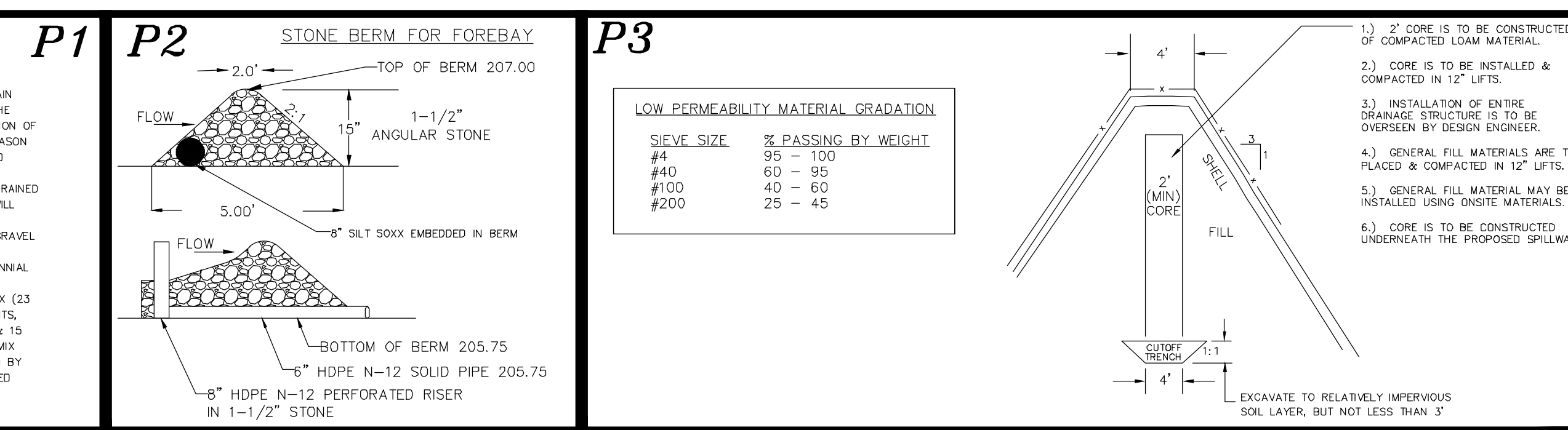


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3



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REVISION	DATE	DESCRIPTION

RAIN GARDEN #108
LAND OF DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loomy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

1-1/2" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
2"	100
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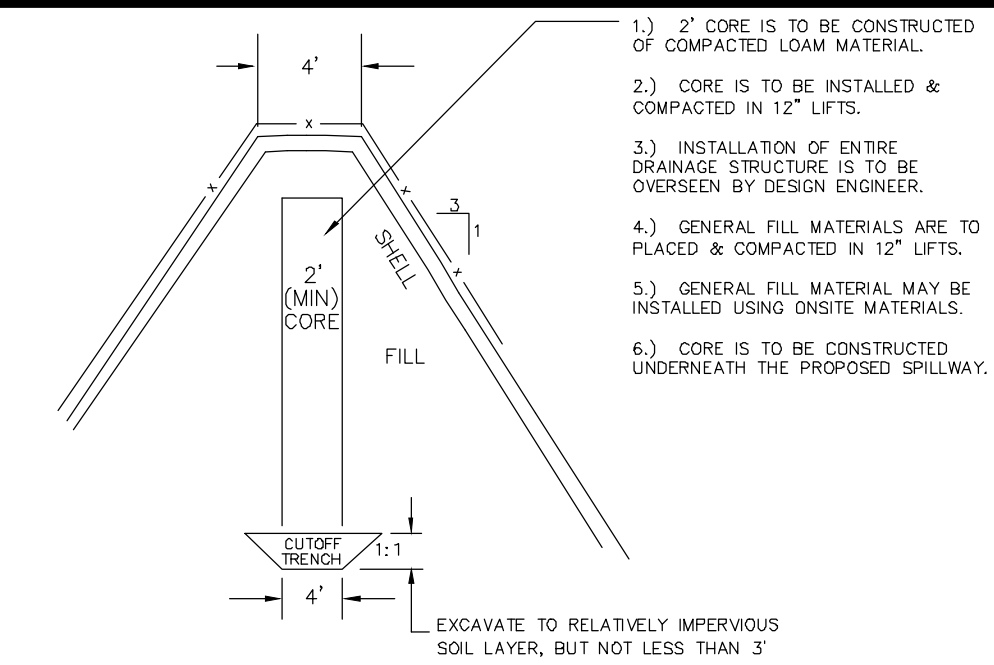
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RAIN GARDEN MIX

THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BI-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS" MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

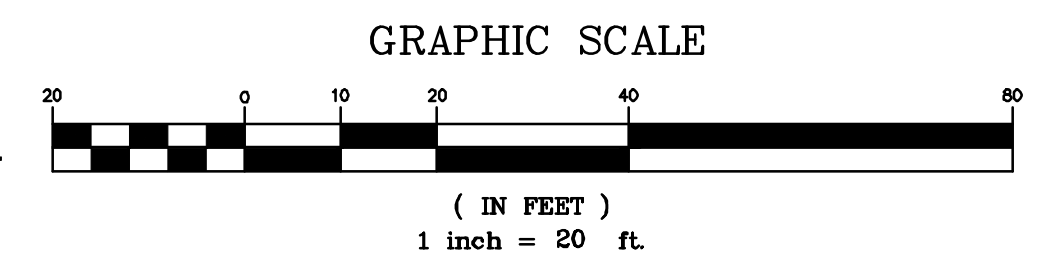
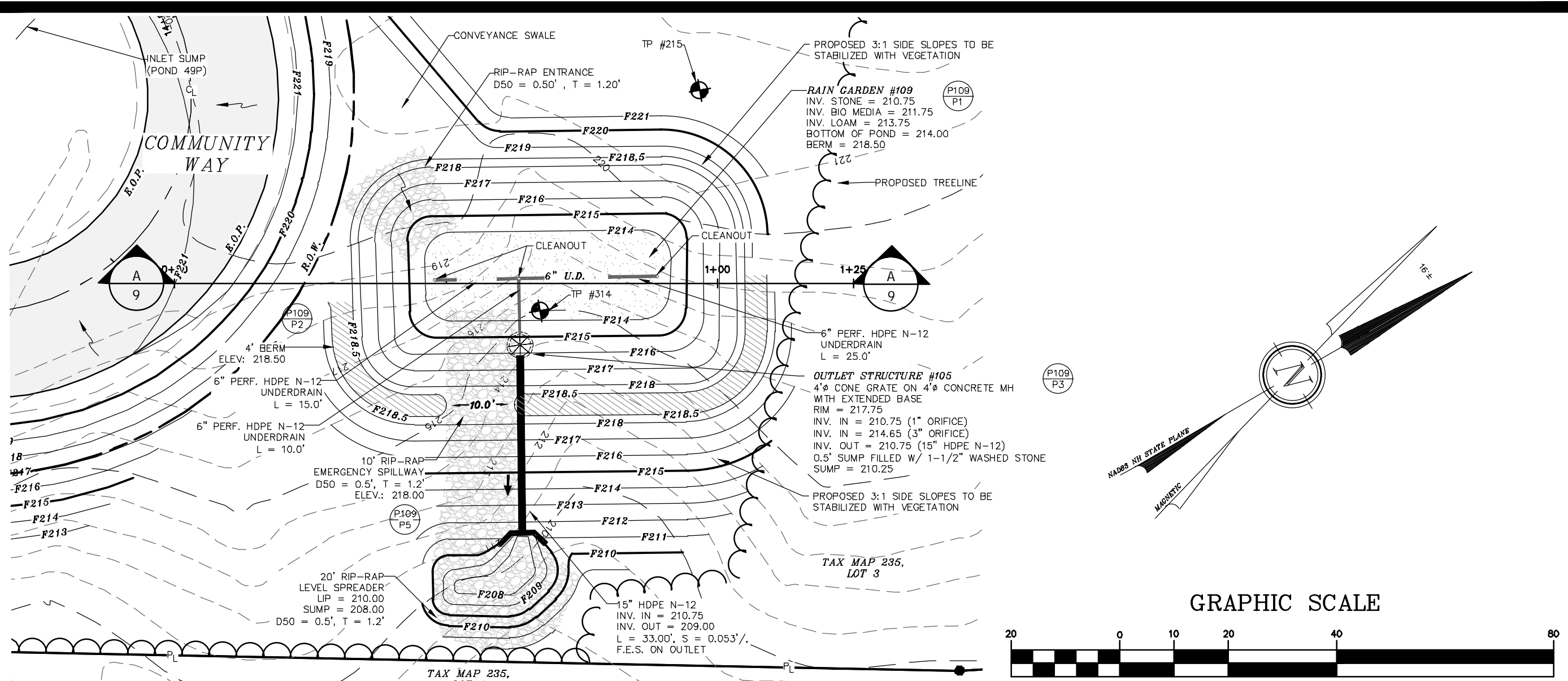
P1 P2

LOW PERMEABILITY MATERIAL GRADATION	
SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



- 2" CORE IS TO BE CONSTRUCTED OF COMPACTED LOAM MATERIAL.
- CORE IS TO BE INSTALLED & COMPACTED IN 12" LIFTS.
- INSTALLATION OF ENTIRE DRAINAGE STRUCTURE IS TO BE OVERSEEN BY DESIGN ENGINEER.
- GENERAL FILL MATERIALS ARE TO BE PLACED & COMPACTED IN 12" LIFTS.
- GENERAL FILL MATERIAL MAY BE INSTALLED USING ONSITE MATERIALS.
- CORE IS TO BE CONSTRUCTED UNDERNEATH THE PROPOSED SPILLWAY.

P3



PLAN VIEW RAIN GARDEN #109

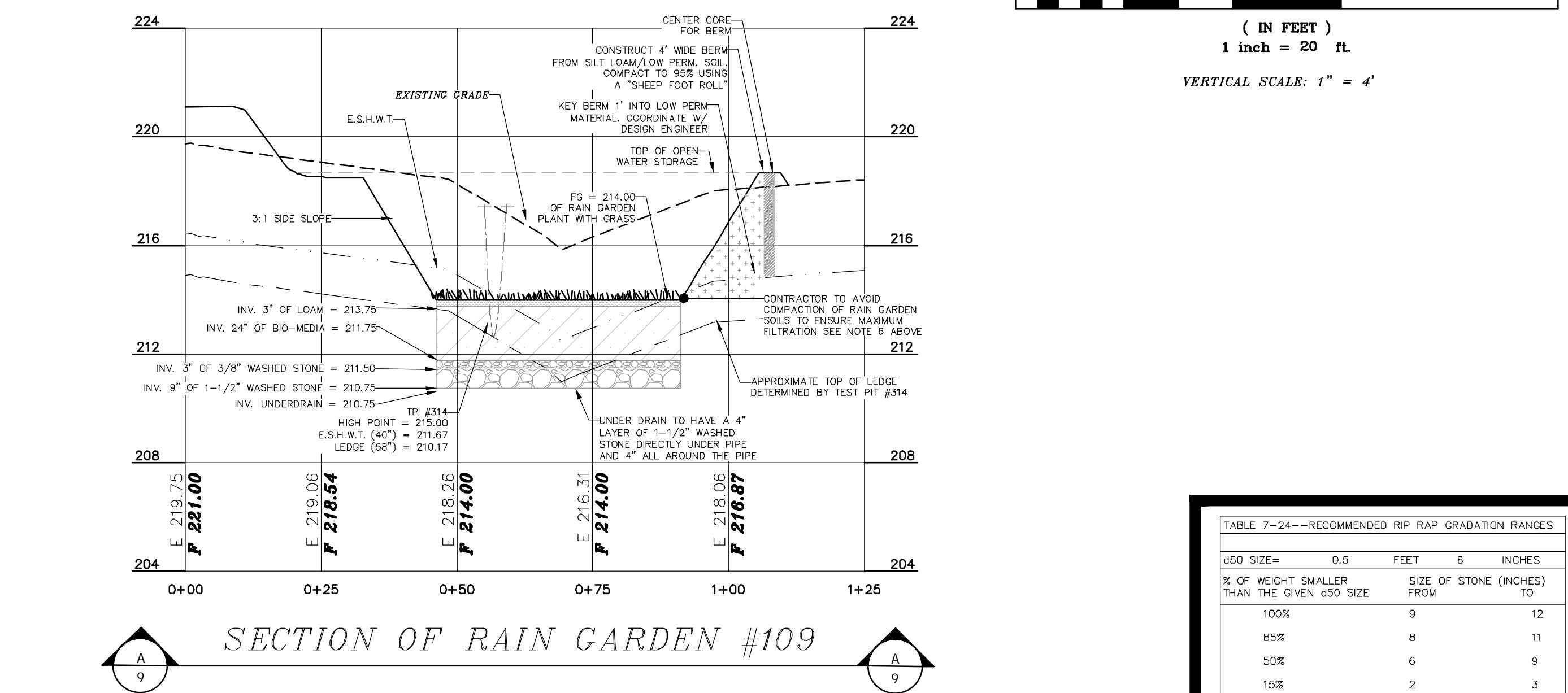
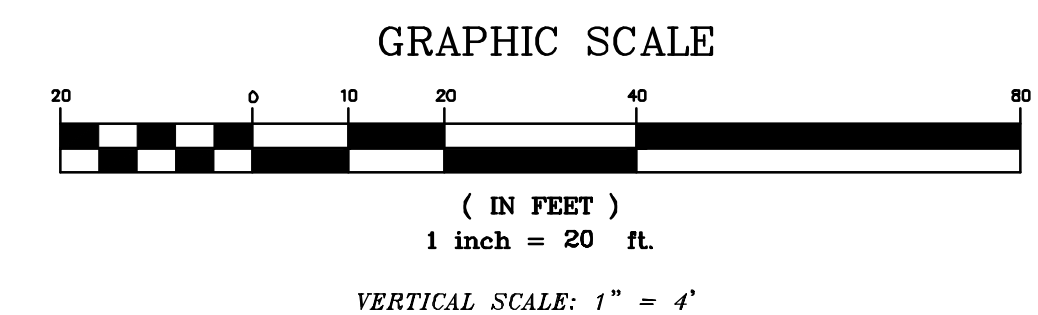
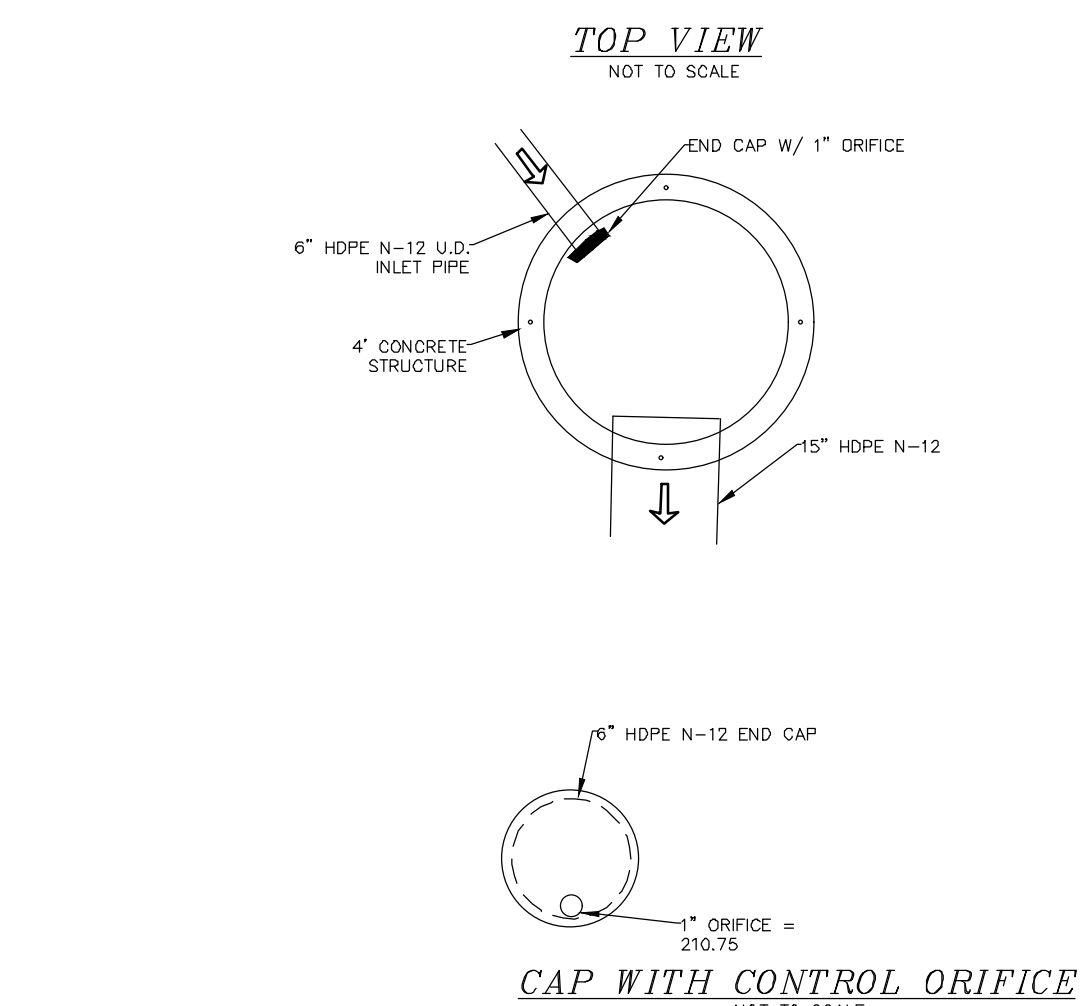
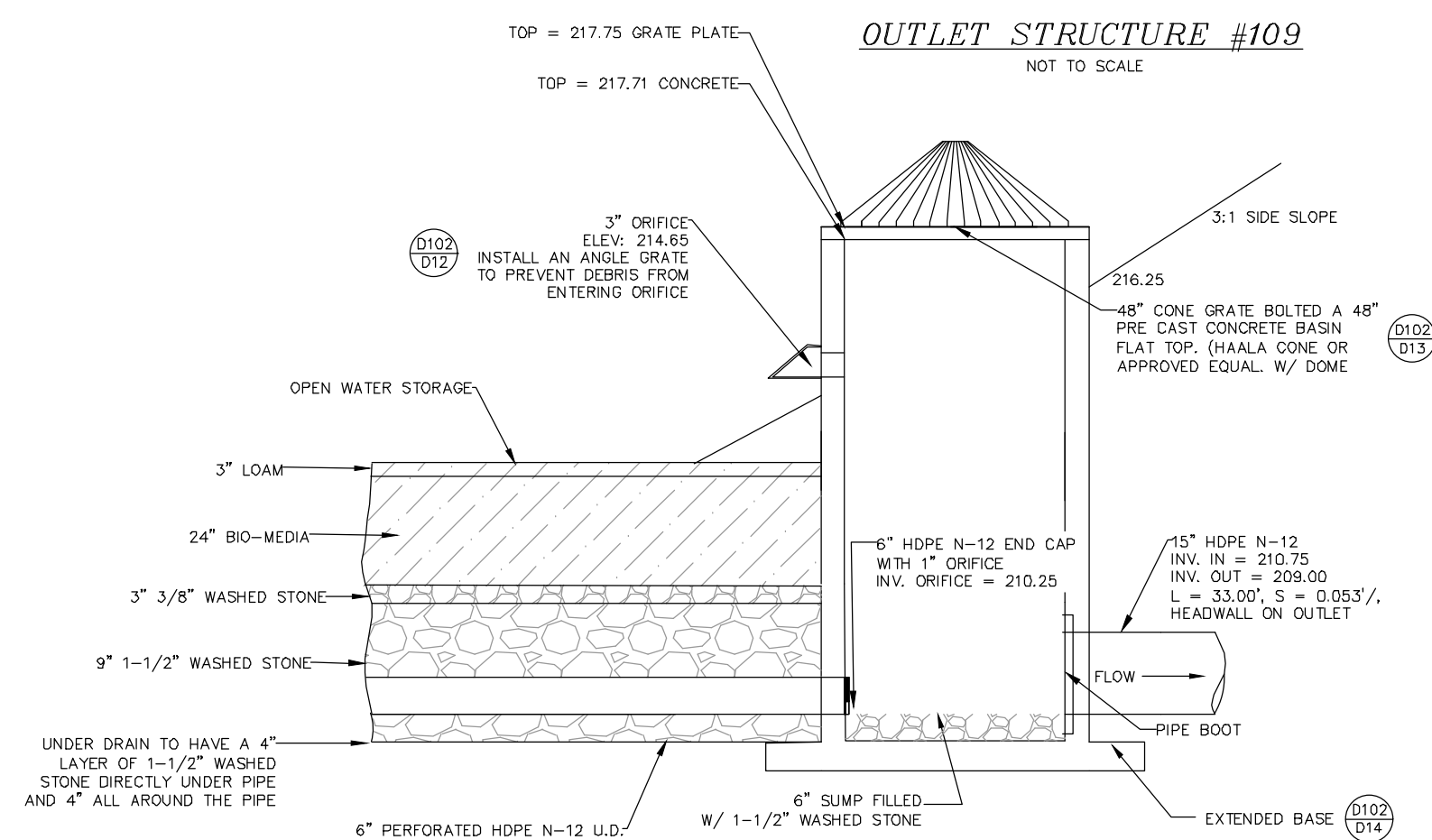


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES		
d50 SIZE=	FEET	6 INCHES
% OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

P5

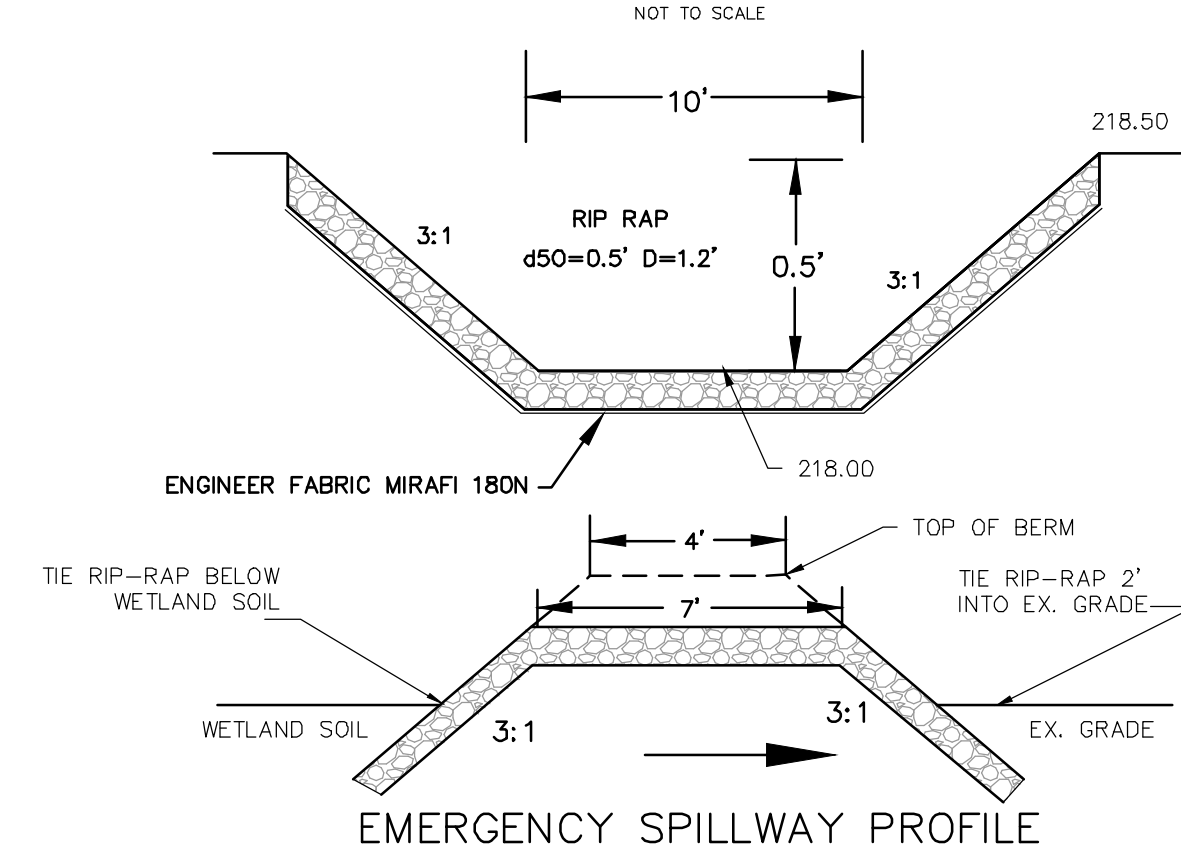


CAP WITH CONTROL ORIFICE



OUTLET STRUCTURE #109

SPILLWAY DETAILS



EMERGENCY SPILLWAY PROFILE

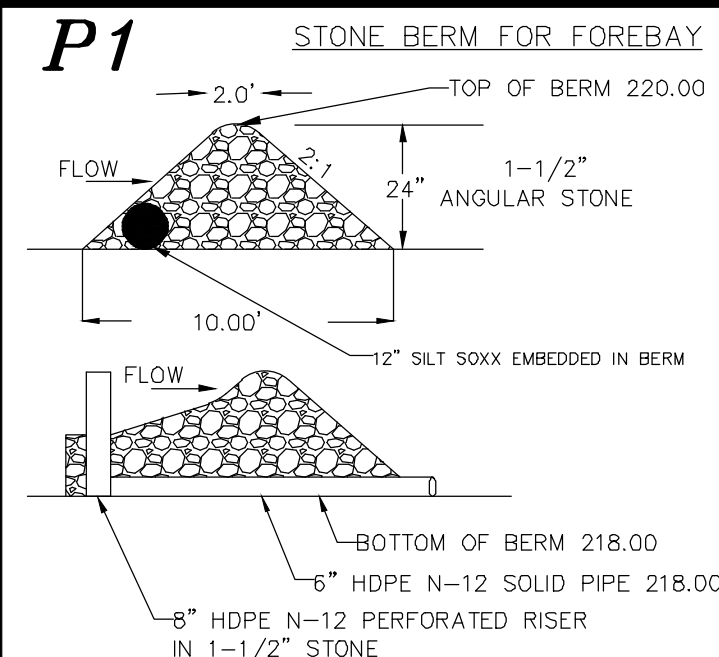
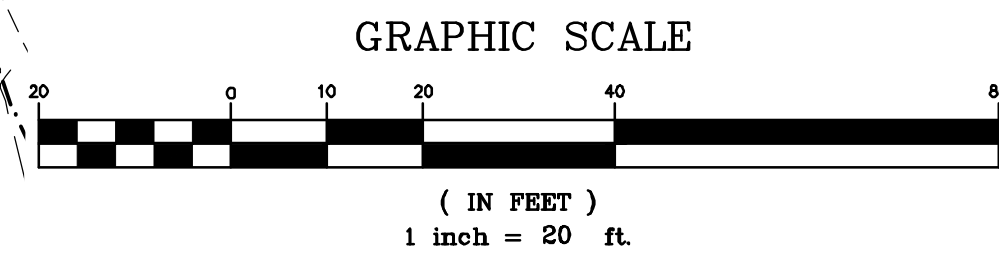
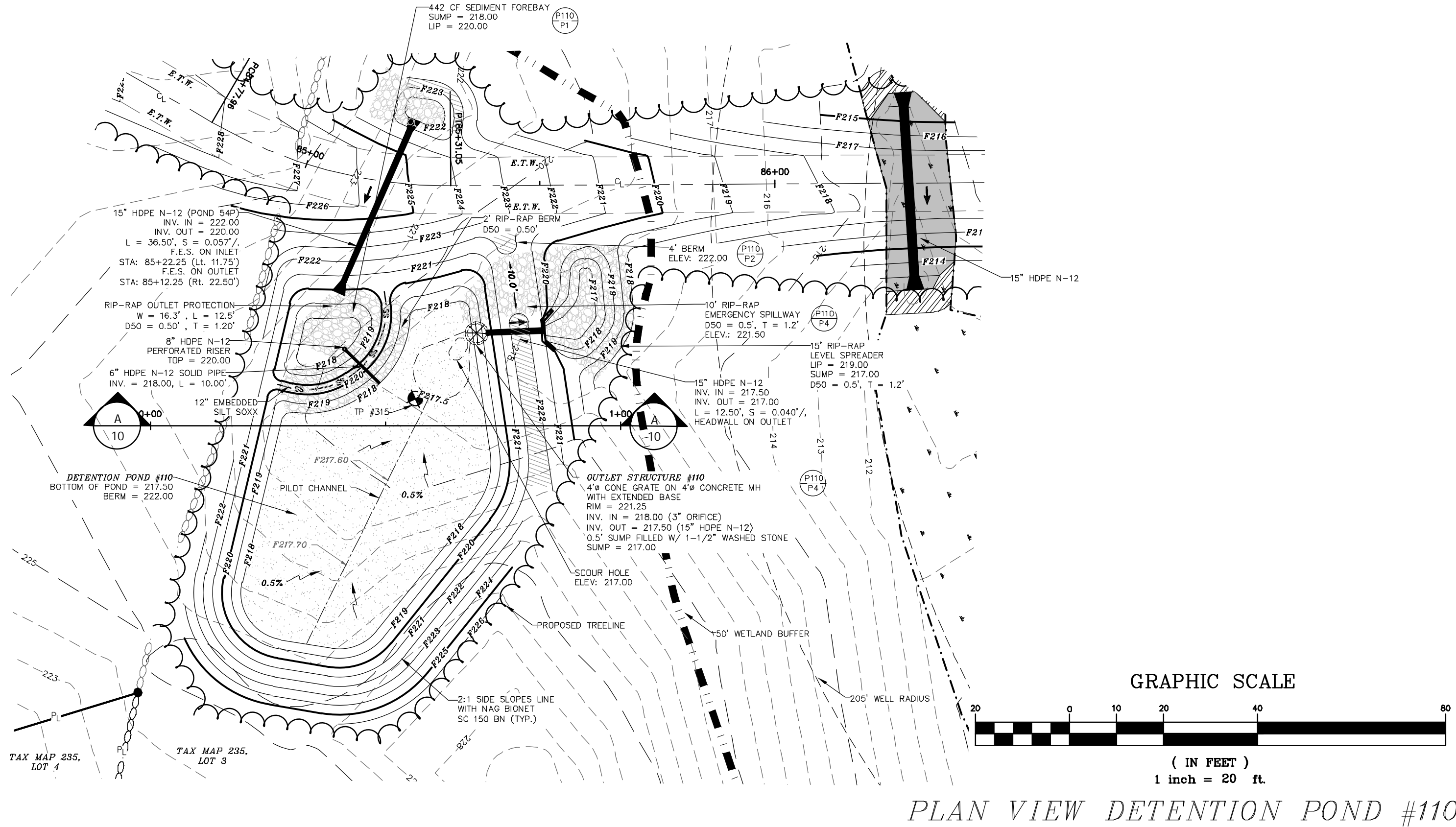
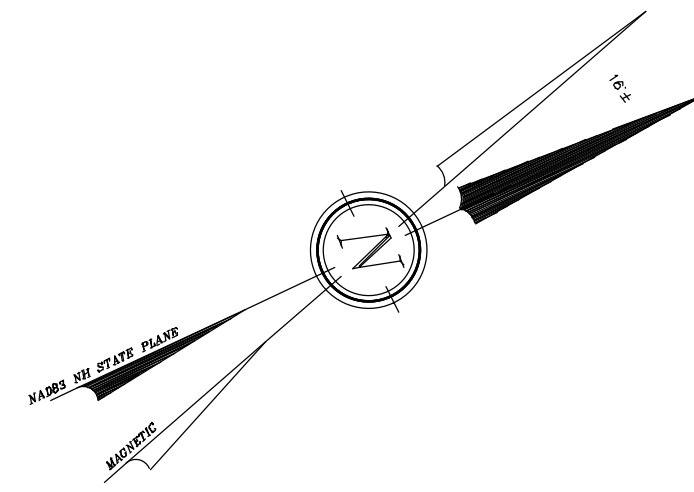
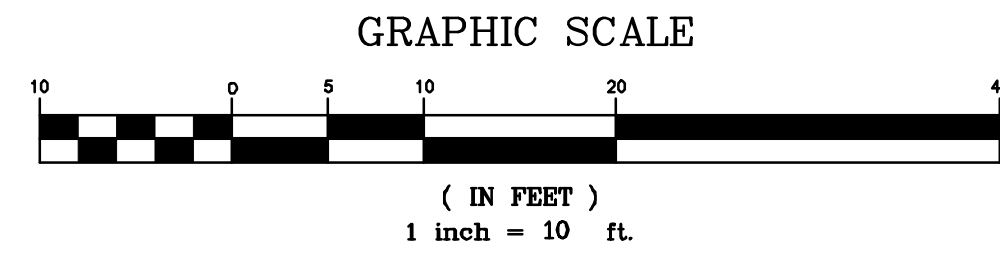
FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

RAIN GARDEN #109
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



P2 LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45

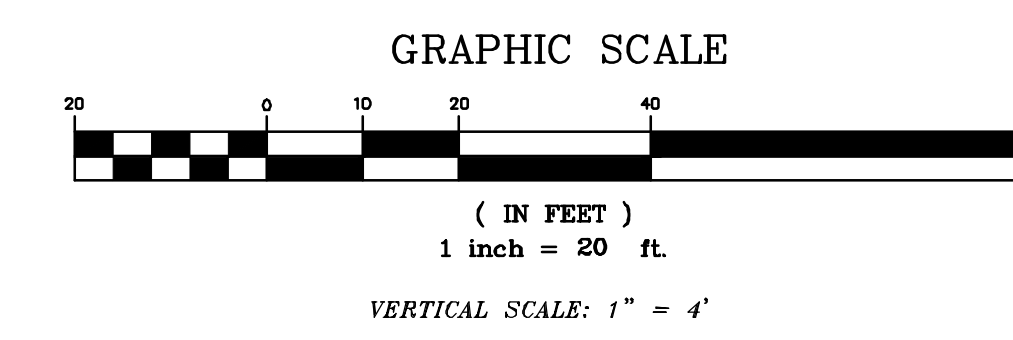
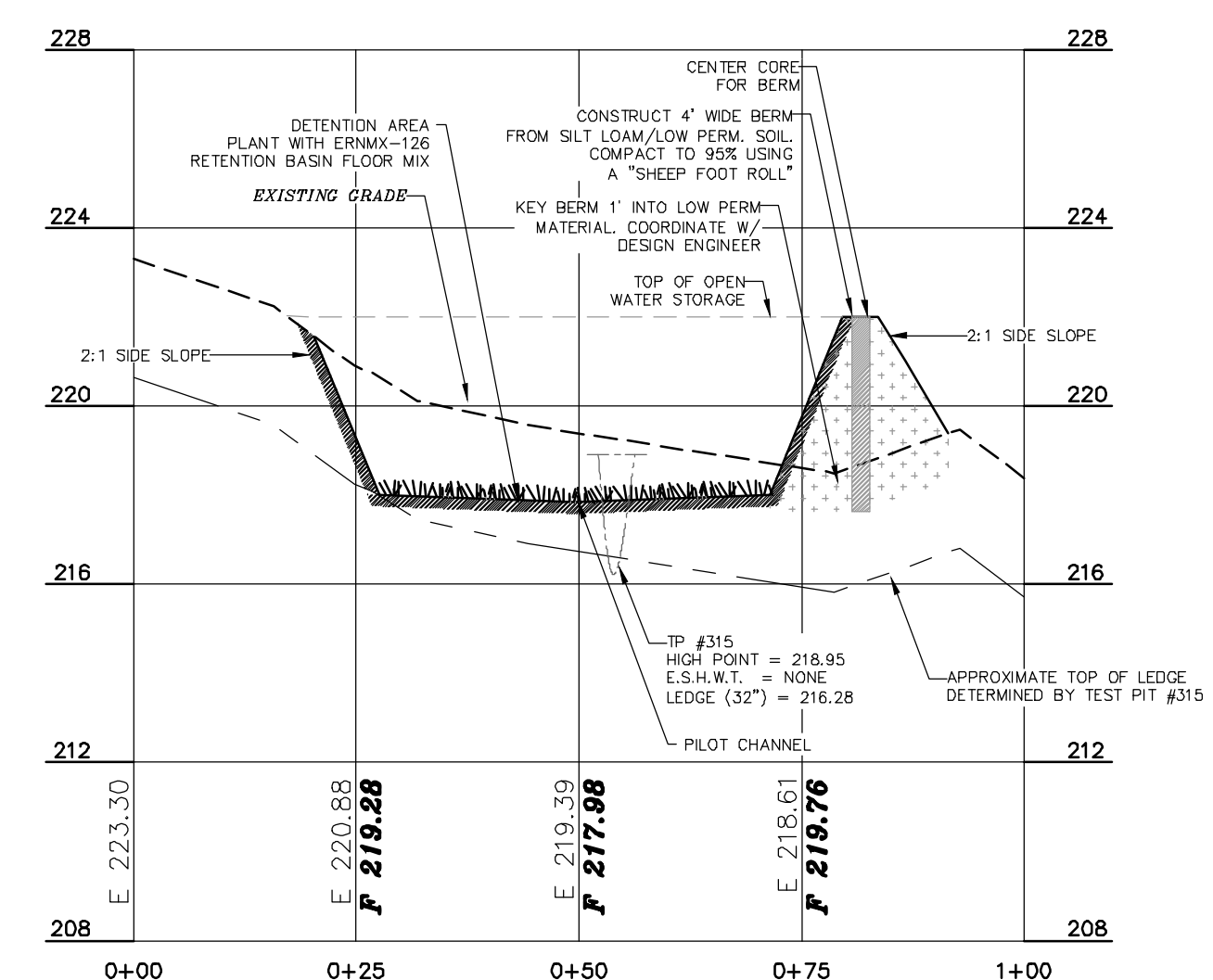
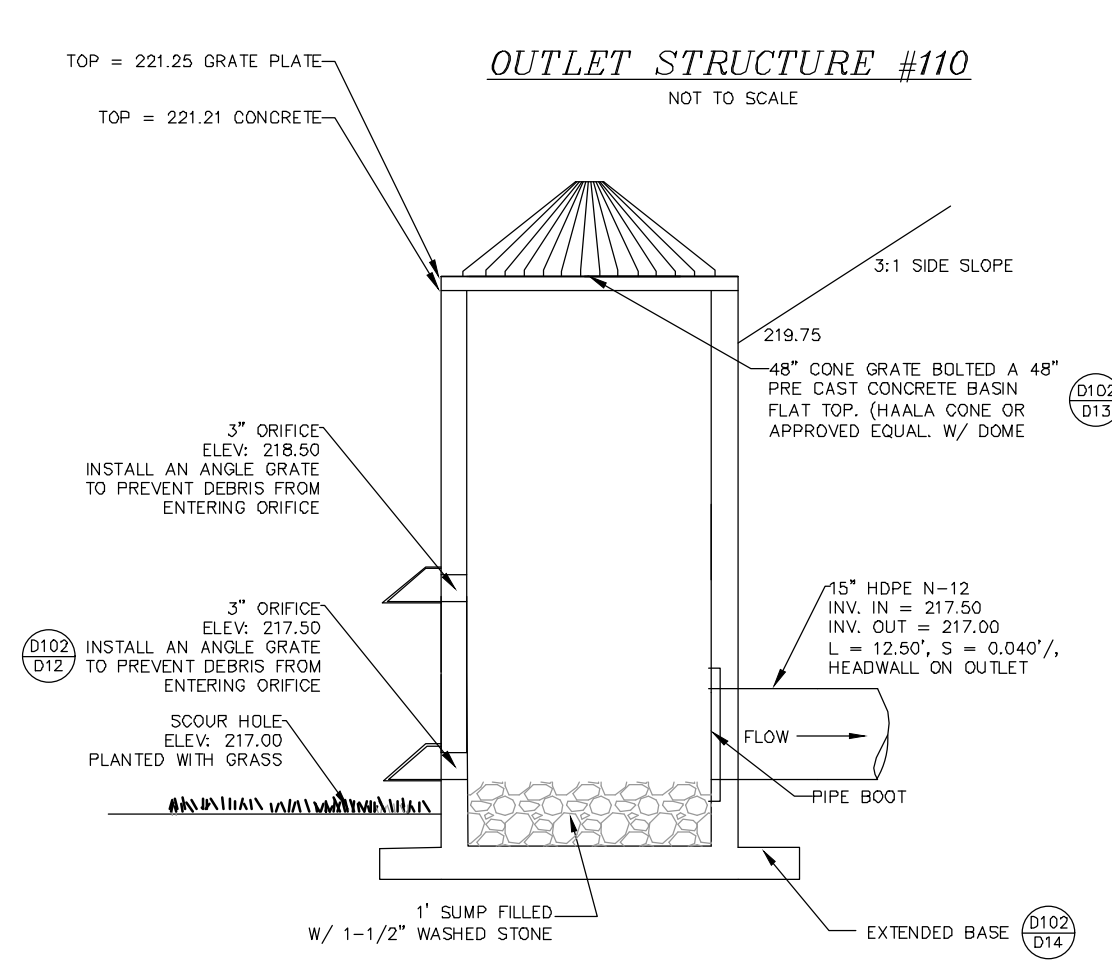
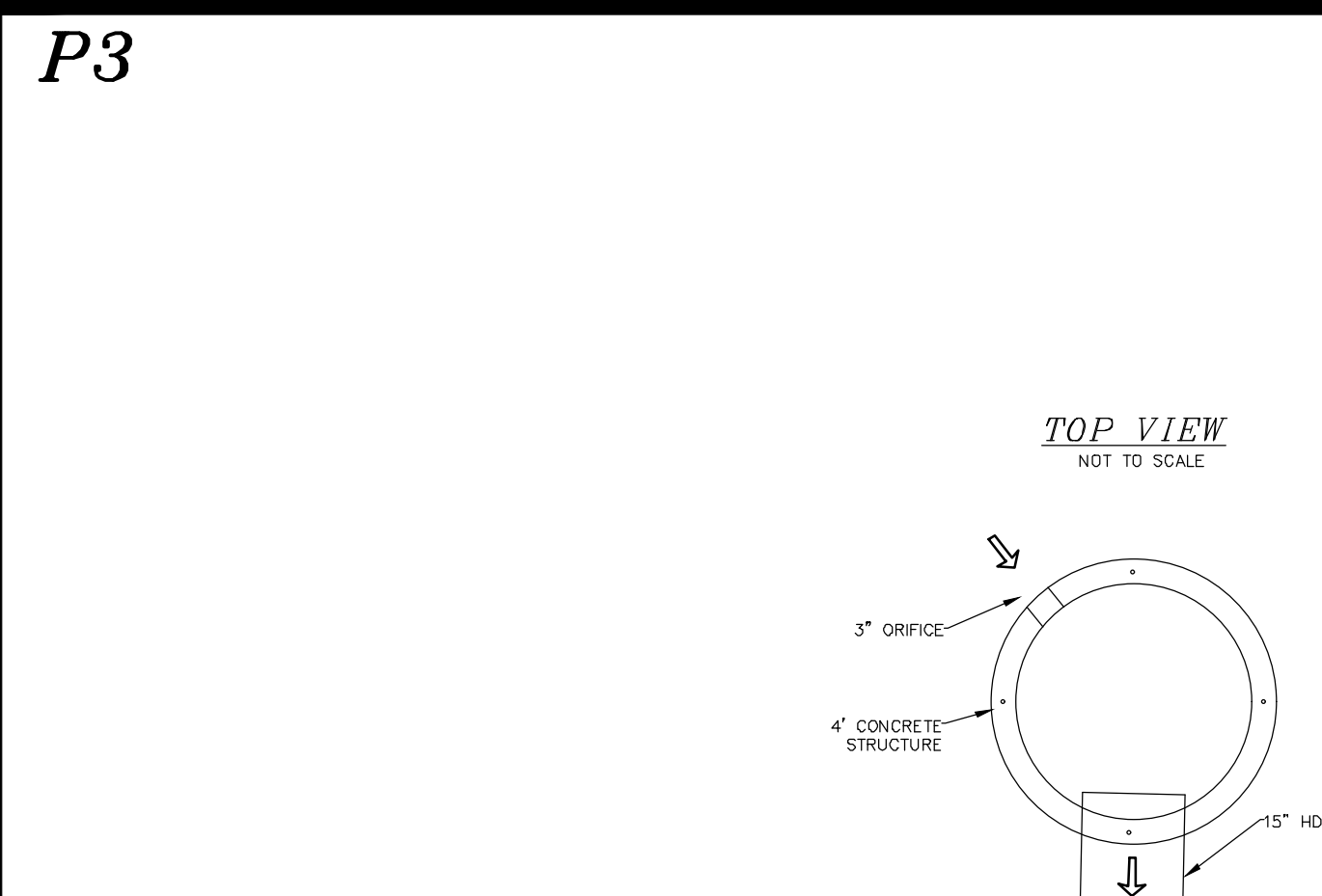
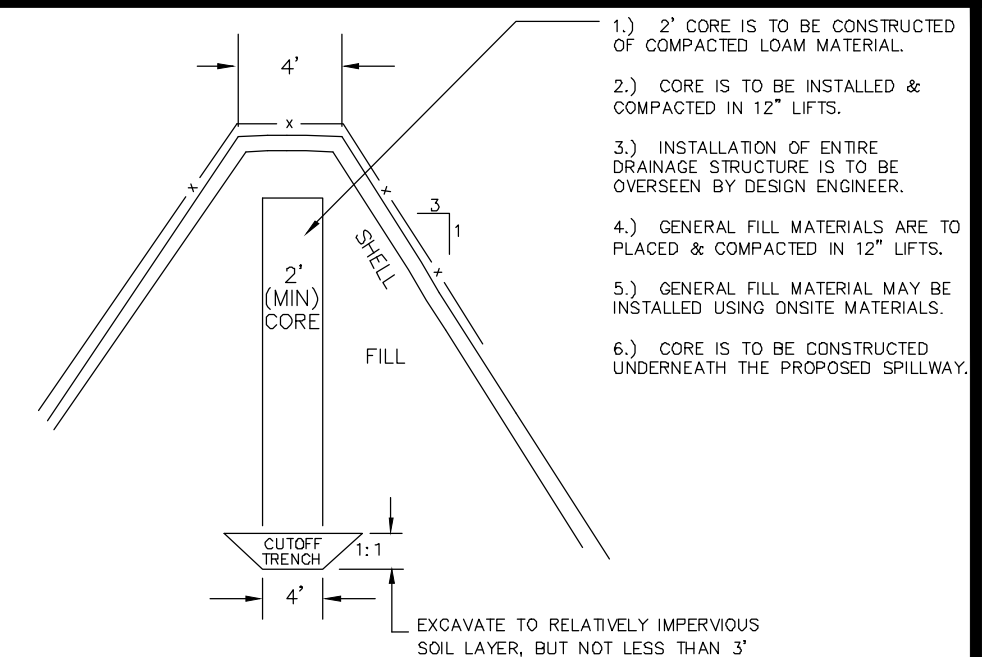
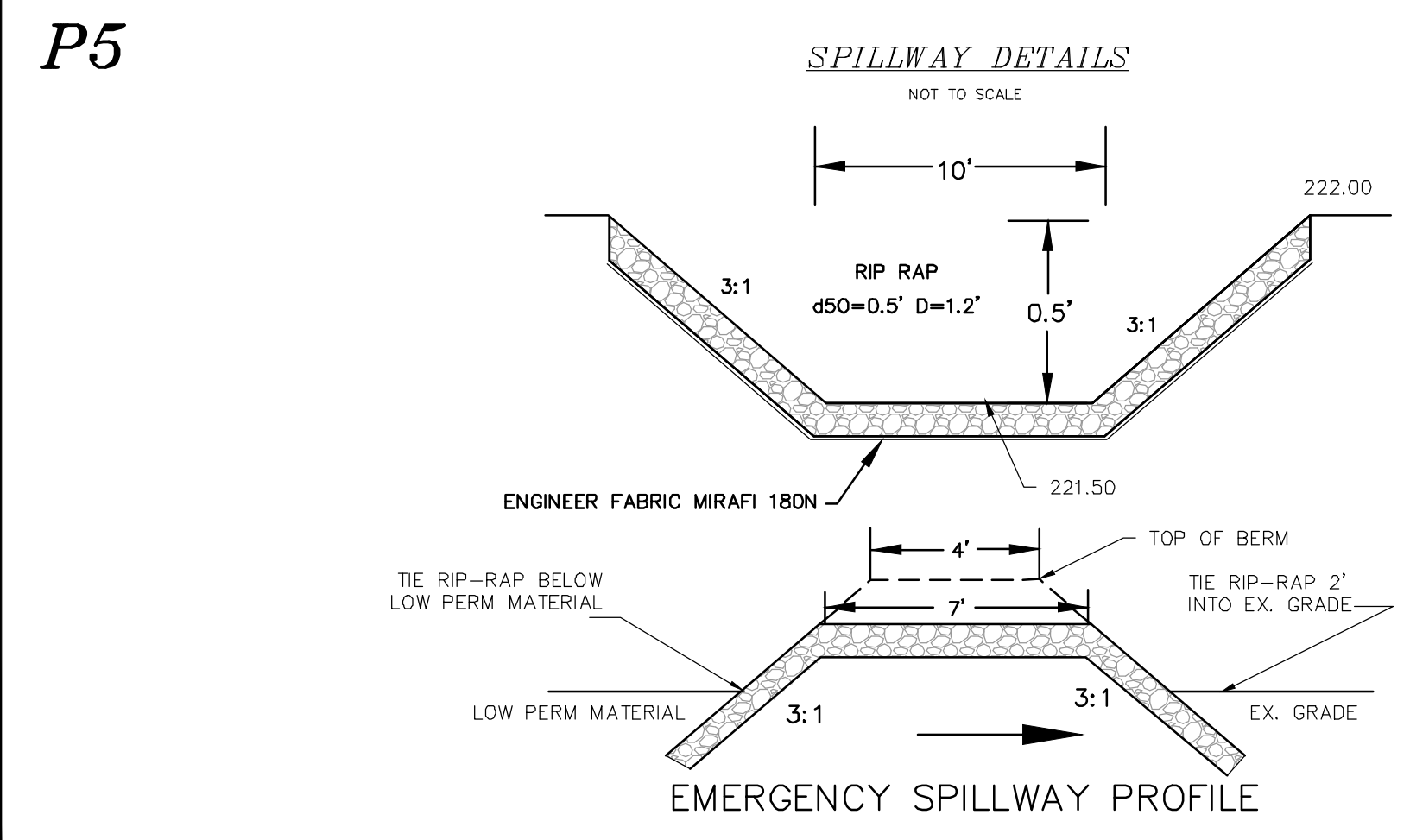


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3



FOR TOWN APPROVAL PURPOSES :

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REVISION	DATE	DESCRIPTION

DETENTION POND #110
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

KENNETH A. BERRY
No. 13423
LICENSED PROFESSIONAL ENGINEER

NOTES:

- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE EROSION AND SEDIMENT CONTROL DETAIL FOR THE PROPOSED DEVELOPMENT.
- 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- 3.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 6.) SEE SHEET 2 FOR STANDARD EROSION AND SEDIMENT CONTROL NOTES.

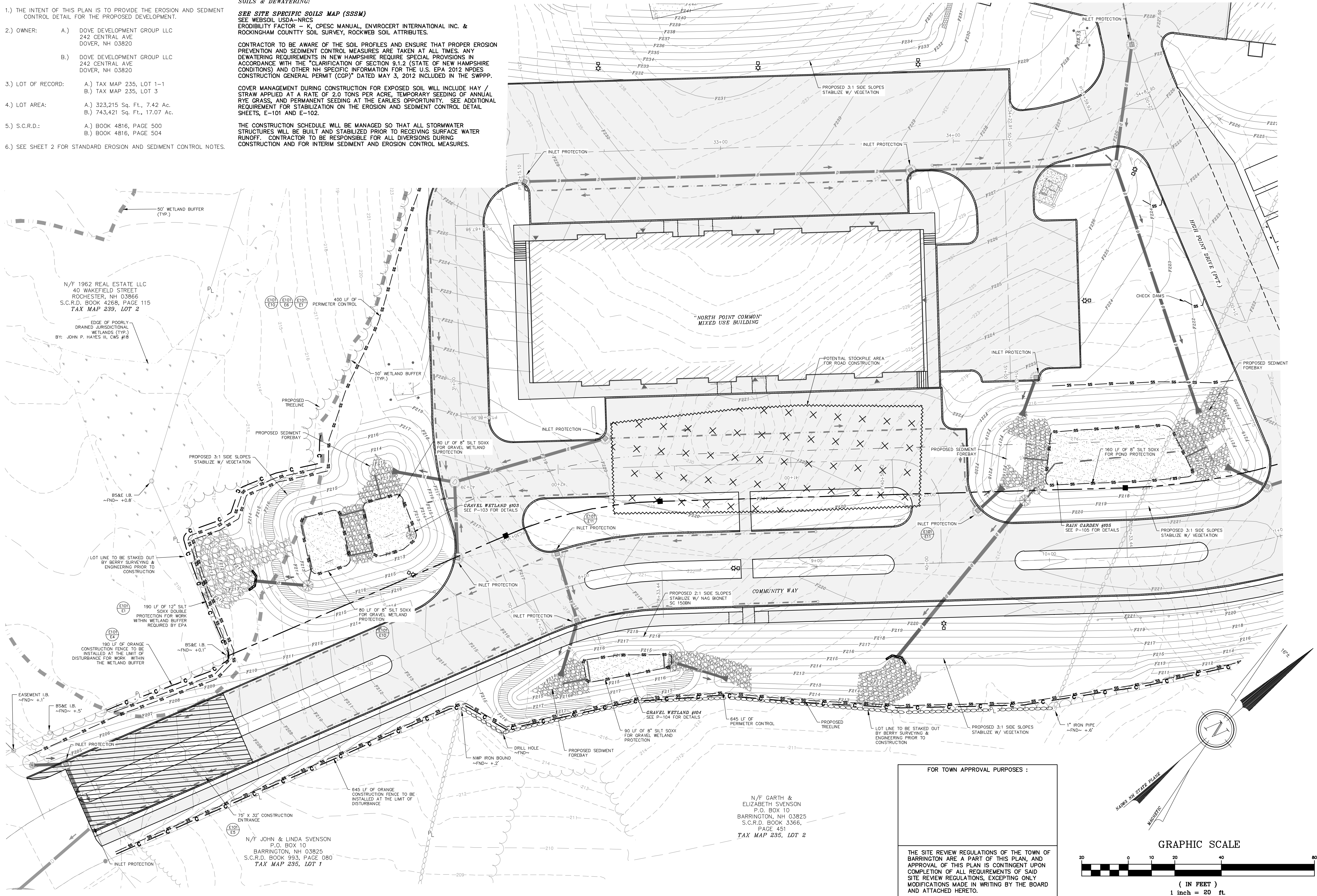
SOILS & DEWATERING:

SEE SITE SPECIFIC SOILS MAP (SSSM)
SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPESC MANUAL, ENVROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.



REVISION	DATE	DESCRIPTION

EROSION AND SEDIMENT CONTROL PLAN SOUTH
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

N/F GARTH & ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366,
PAGE 451
TAX MAP 235, LOT 2

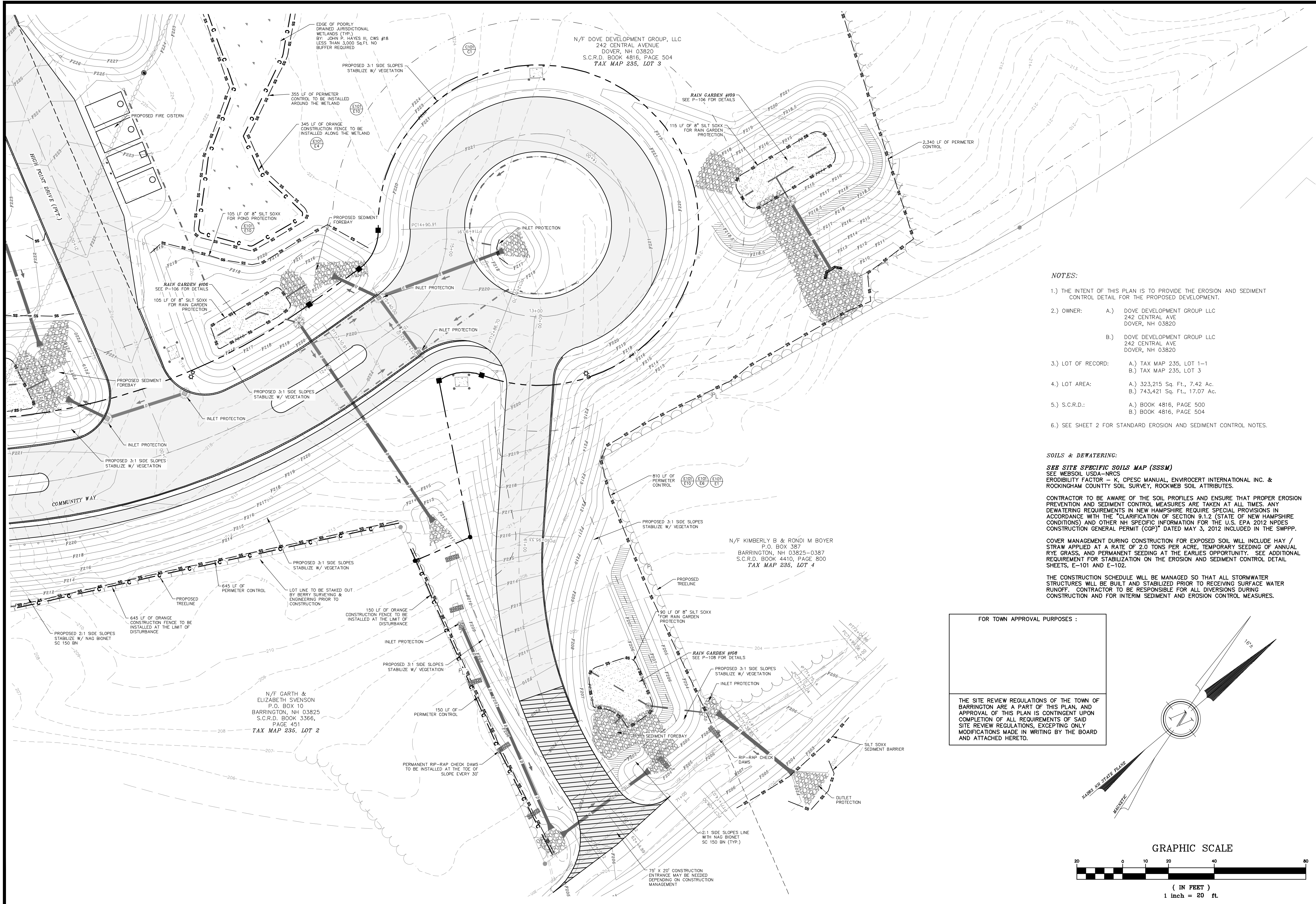
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GRAPHIC SCALE
20 0 20 40 80
(IN FEET)
1 inch = 20 ft.

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 12423
LICENSED PROFESSIONAL ENGINEER

SHEET 57 OF 105



NOTES:

- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE EROSION AND SEDIMENT CONTROL DETAIL FOR THE PROPOSED DEVELOPMENT.
- 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- 3.) LOT OF RECORD:
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 - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
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 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
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SOILS & DEWATERING:

SEE SITE SPECIFIC SOILS MAP (SSSM)
 SEE WEBSOIL USDA-NRCS
 ERODIBILITY FACTOR - K: OPSC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

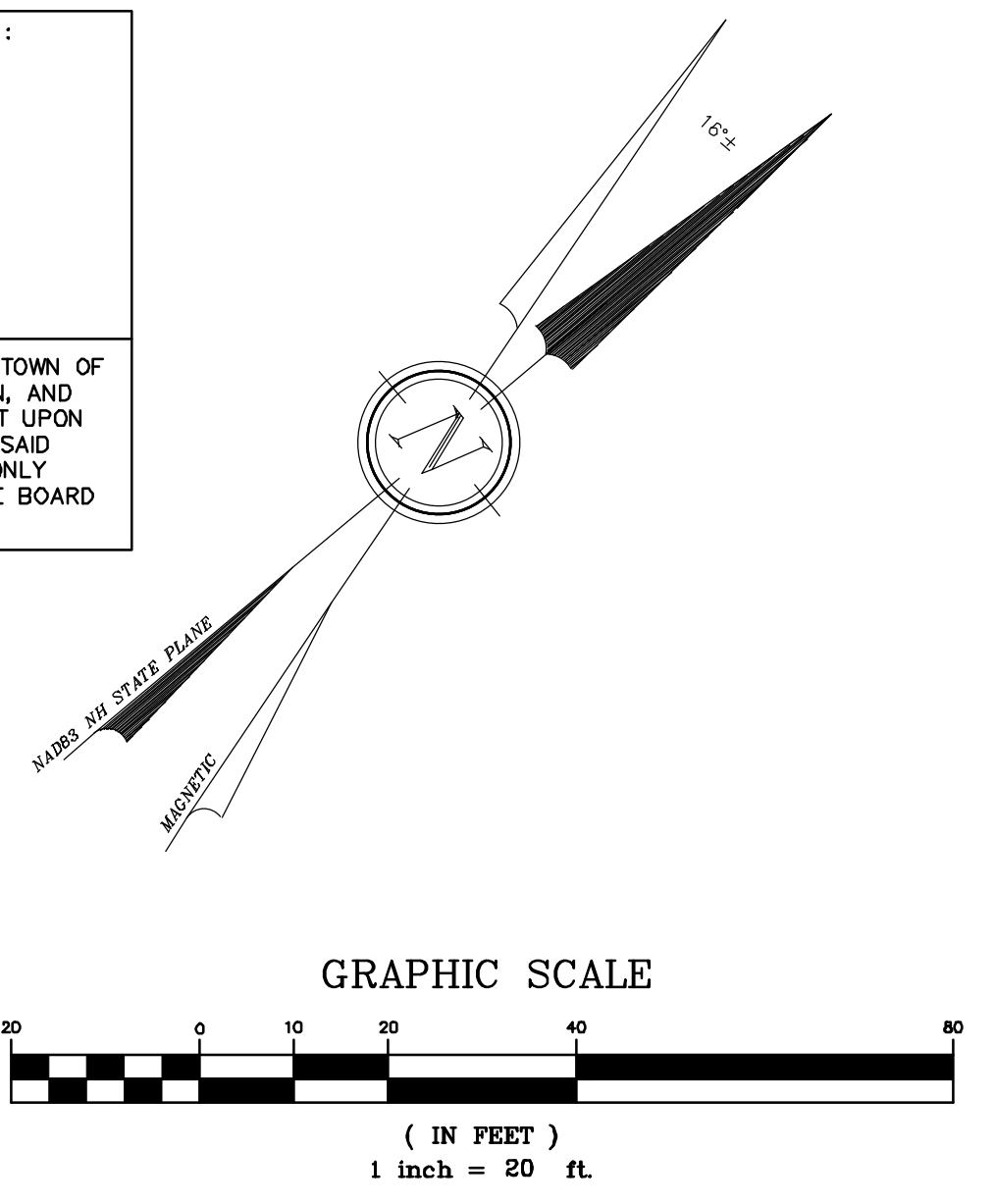
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FOR TOWN APPROVAL PURPOSES :

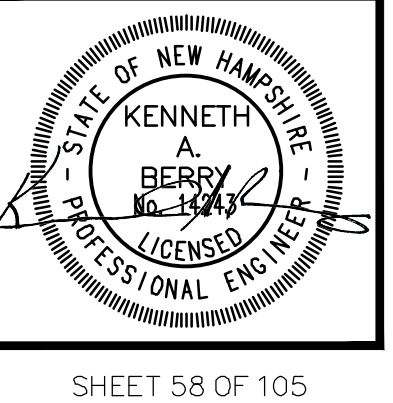
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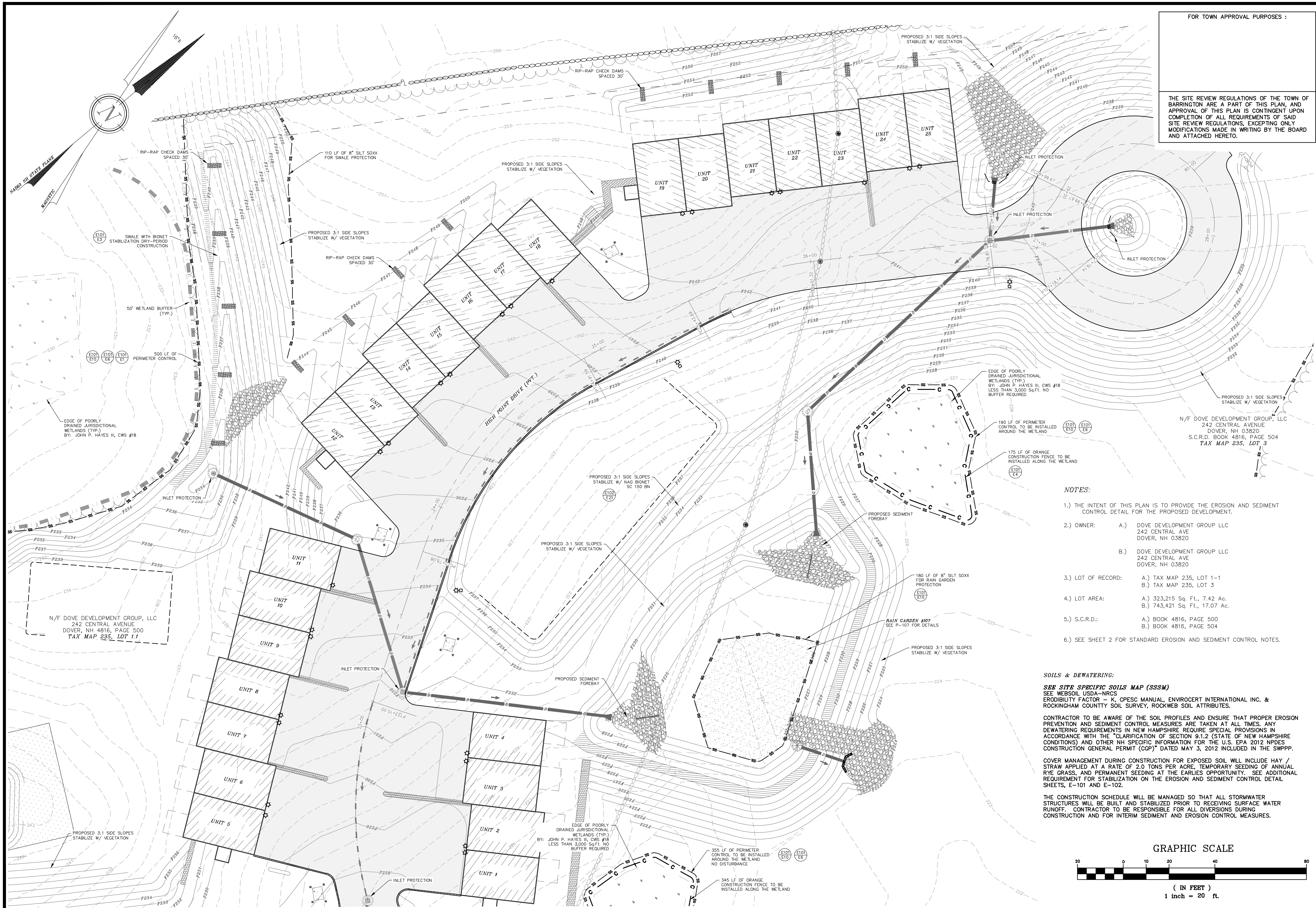


REVISION	DATE	DESCRIPTION

EROSION AND SEDIMENT CONTROL PLAN EAST
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097





FOR TOWN APPROVAL PURPOSES :

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- NOTES:**
- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE EROSION AND SEDIMENT CONTROL DETAIL FOR THE PROPOSED DEVELOPMENT.
 - 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 3.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
 - 4.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
 - 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
 - 6.) SEE SHEET 2 FOR STANDARD EROSION AND SEDIMENT CONTROL NOTES.

SOILS & DEWATERING:

SEE SITE SPECIFIC SOILS MAP (SSSM)

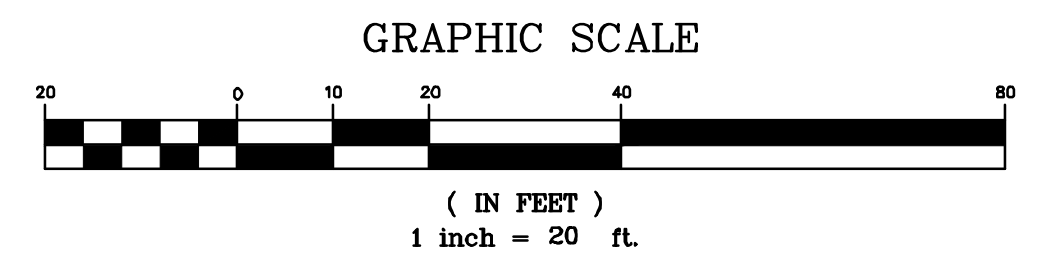
SEE WEBSOIL USDA-NRCS

ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

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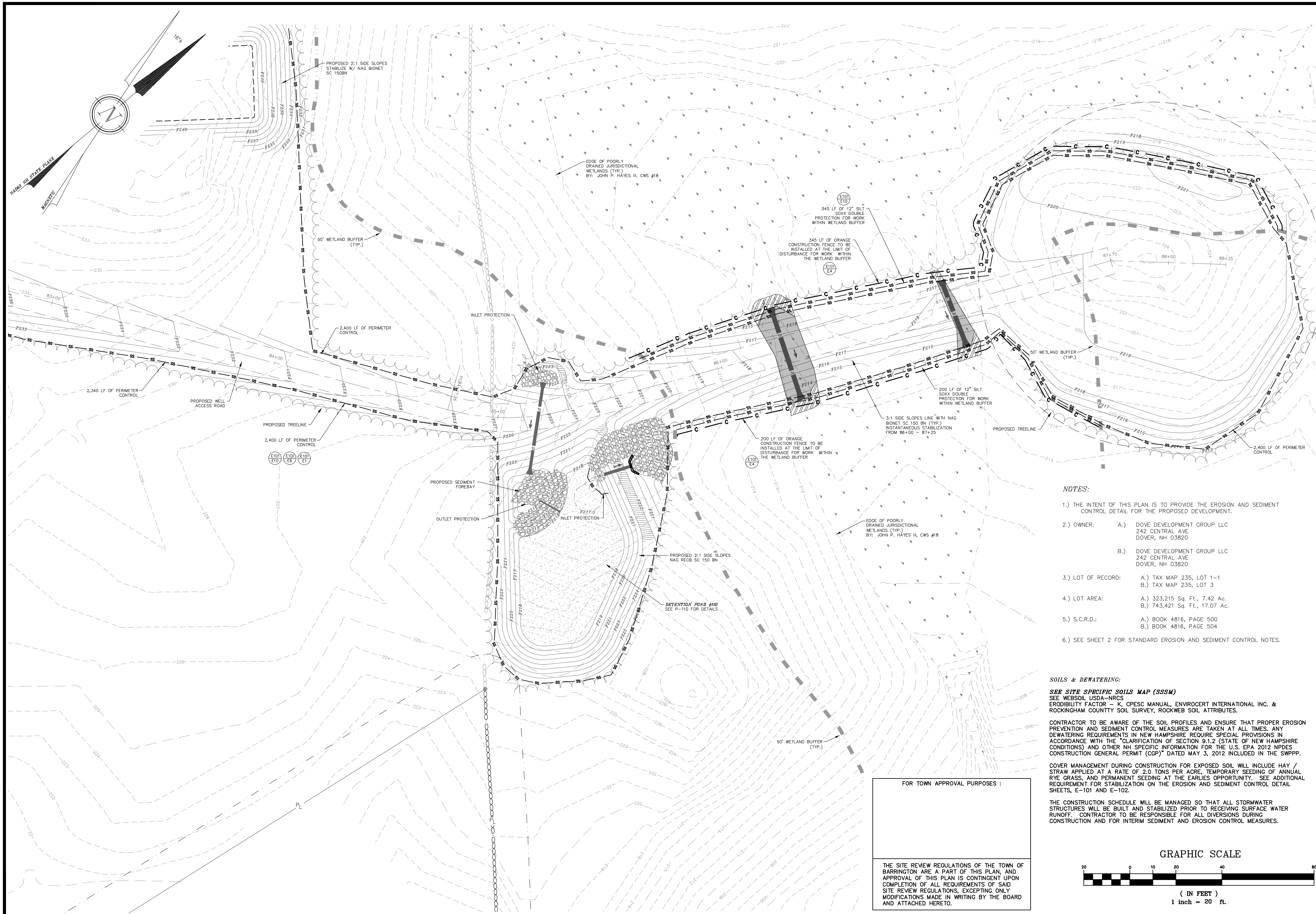


REVISION	DATE	DESCRIPTION

EROSION AND SEDIMENT CONTROL PLAN NORTH
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

SHEET 59 OF 105



- NOTES:**
- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE EROSION AND SEDIMENT CONTROL DETAIL FOR THE PROPOSED DEVELOPMENT.
 - 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 3.) LOT OF RECORD:
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 - 4.) LOT AREA:
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 - 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
 - 6.) SEE SHEET 2 FOR STANDARD EROSION AND SEDIMENT CONTROL NOTES.

SOILS & DEWATERING:
SEE SITE SPECIFIC SOILS MAP (SSSM)
 SEE WEBSOIL USDA-NRCS
 ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

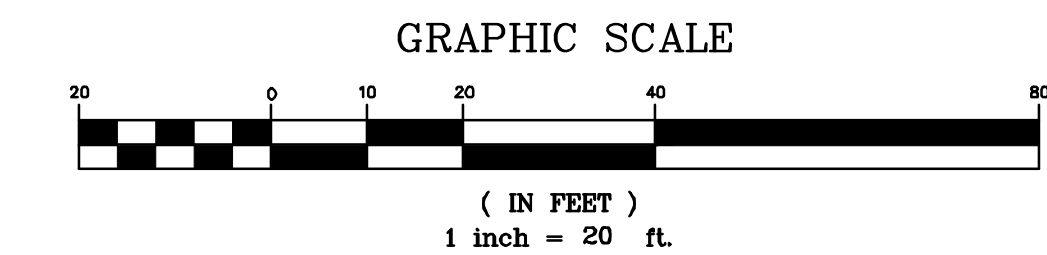
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FOR TOWN APPROVAL PURPOSES :

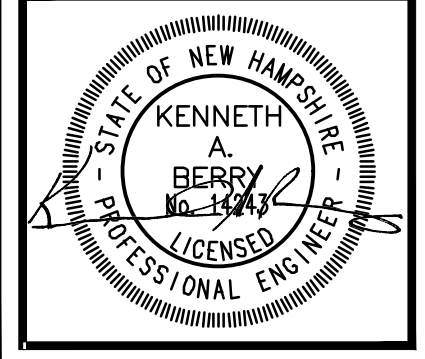
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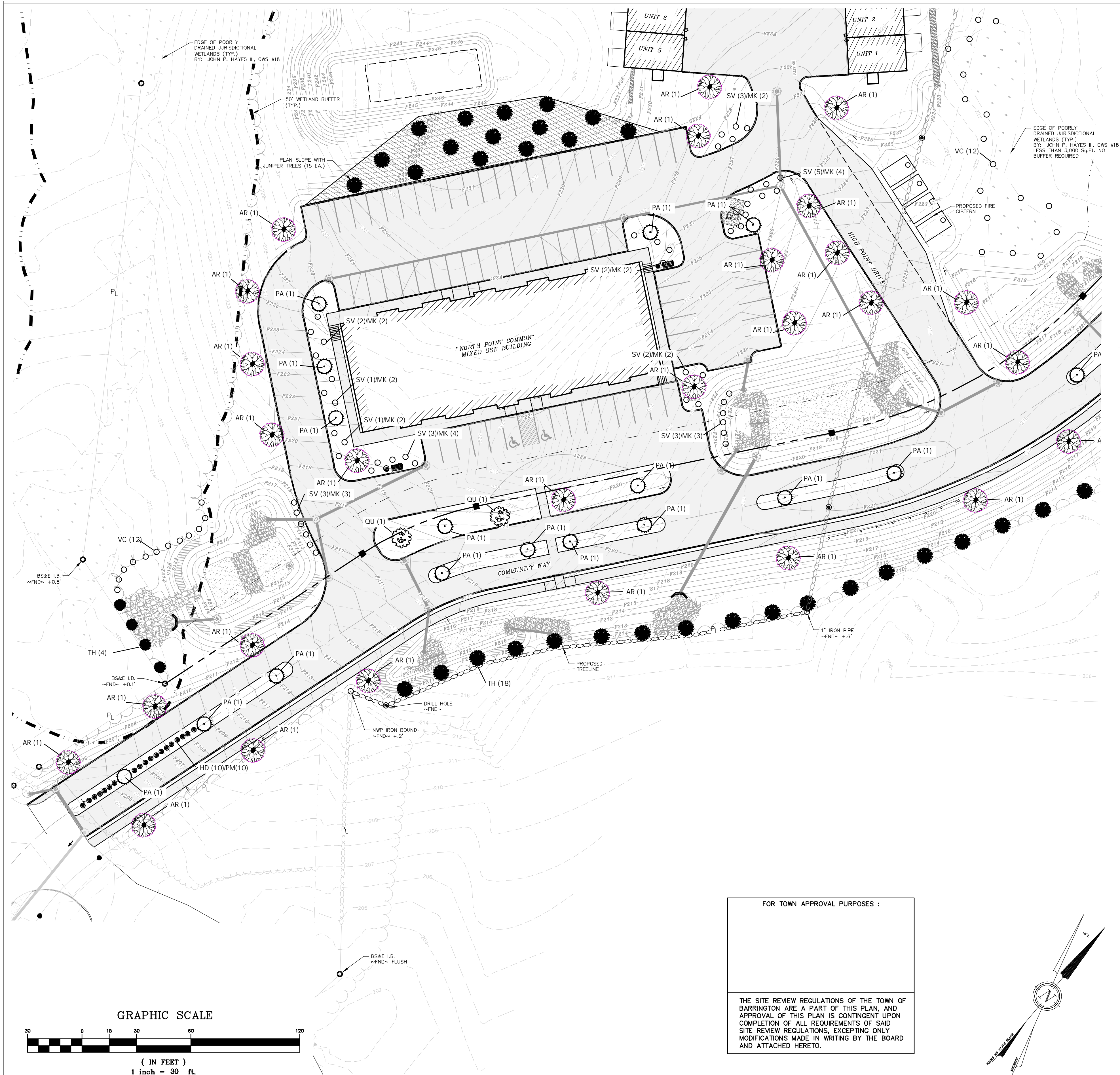


REVISION	DATE	DESCRIPTION

EROSION AND SEDIMENT CONTROL PLAN NORTHEAST
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
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- PLANTING NOTES**
- CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
 - CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
 - LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
 - CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY & FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY L.A.
 - ALL BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

- TEMPORARY WATERING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
 - THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
 - TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

**PLANTING SCHEDULE
Community Way
Botanical Name/ Common Name**

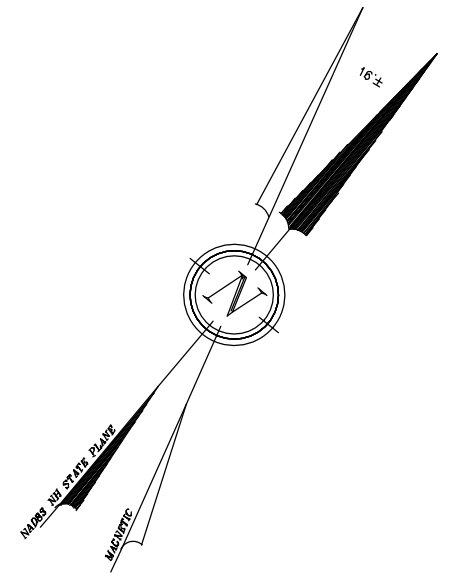
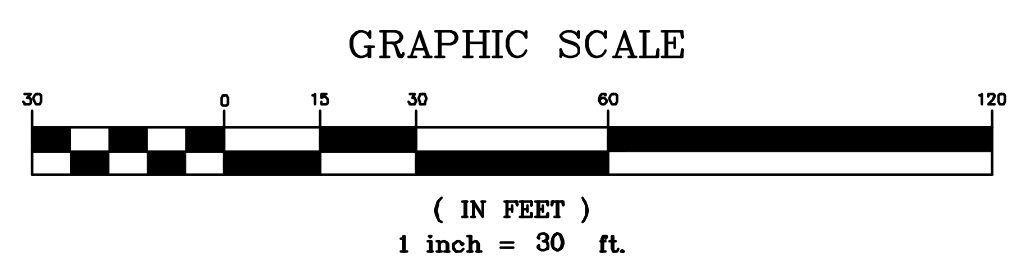
Trees	Size	Qty	Label
Plantanus acerifolia/ London Planetree	3" Cal.	18	PA
Acer Rubrum / Red maple	3" Cal.	37	AR
Thuja / arborvitae	3" Cal.	18	TH
Quercus / Oak	3" Cal.	2	QU
Shrubs			
Syringa Pubescens / Miss Kim Lilac	#3 3'-4'	26	MK
Cornus sanguina 'Winter Flame' / Winter Flame Dogwood	2-3' B&B	23	SV
Vaccinium corybosum / Highbush Blueberry	3'-4'	40	VC
Perennials			
Hemerocallis 'Big Time Happy' / Big Time Happy Daylily	#1	10	HD
Hemerocallis 'Pardon Me' / Pardon Me Daylily	#1	10	PM

General Plant Maintenance Guide

- General Plant Bed Maintenance:**
- All plant maintenance should be performed by a qualified horticulturist or licensed arborist. Clearing the dead material out of the planting bed in the fall helps keep litter from building up around the plants and in some cases killing the plants. Mulching the first year during dry periods will help get the plants established. Mulching every year is not necessary. Raking the old mulch and turning it over is all that is needed. When necessary only install one inch of mulch and do not place the mulch closer than 3" to the trunks or stems of woody plants.
- Trees:**
- The first year watering during dry periods will be necessary.
 - 3" inches of mulch may be used. The mulch should be kept 3 inches from the trunk.
 - Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
 - Fertilization should occur prior to May 31st or after trees have dropped their leaves for the year.
 - Prune dead wood once a year.
 - Depending on the amount of compaction the bed area receives, deep root aeration may be needed over time.
- Woody Shrubs:**
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- Grasses:**
- Grasses only need to be clipped back at the end of the growing season and all the clippings removed from the area.
 - Do not over mulch. Too much mulch will prohibit the grass from developing into a strong clump.
- Perennials:**
- All perennials need to be pruned back after the first or second hard frost. A two-step method: first dead head all the flower heads and let drop to the ground for re-seeding. Second, cut the stems back to 3" above the ground and remove the stem and leaf litter and place in compost. Do not over mulch. Too much mulch will prohibit the growth and development.
 - Fertilizing perennials once in the spring with a low phosphate fertilizer will help the plants to get started in the spring.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



311 kast hill road
hopkinton, nh 03229
603. 491. 2322
terrainplanning.com

COMMUNITY WAY

Site Location:
N.H. ROUTE 9/COMMUNITY WAY
BARRINGTON, NH
Tax Map: 235

Prepared For:
Berry Surveying & Engineering
335 Second Crown Point Rd
Barrington, NH 03825

LANDSCAPE PLAN

DATE: 6/14/2021

SCALE: 1" = 30'

PROJECT #: 2097

Drawn By: ID

Checked By: ERB

REVISIONS: DATE:
Issued for Client Review

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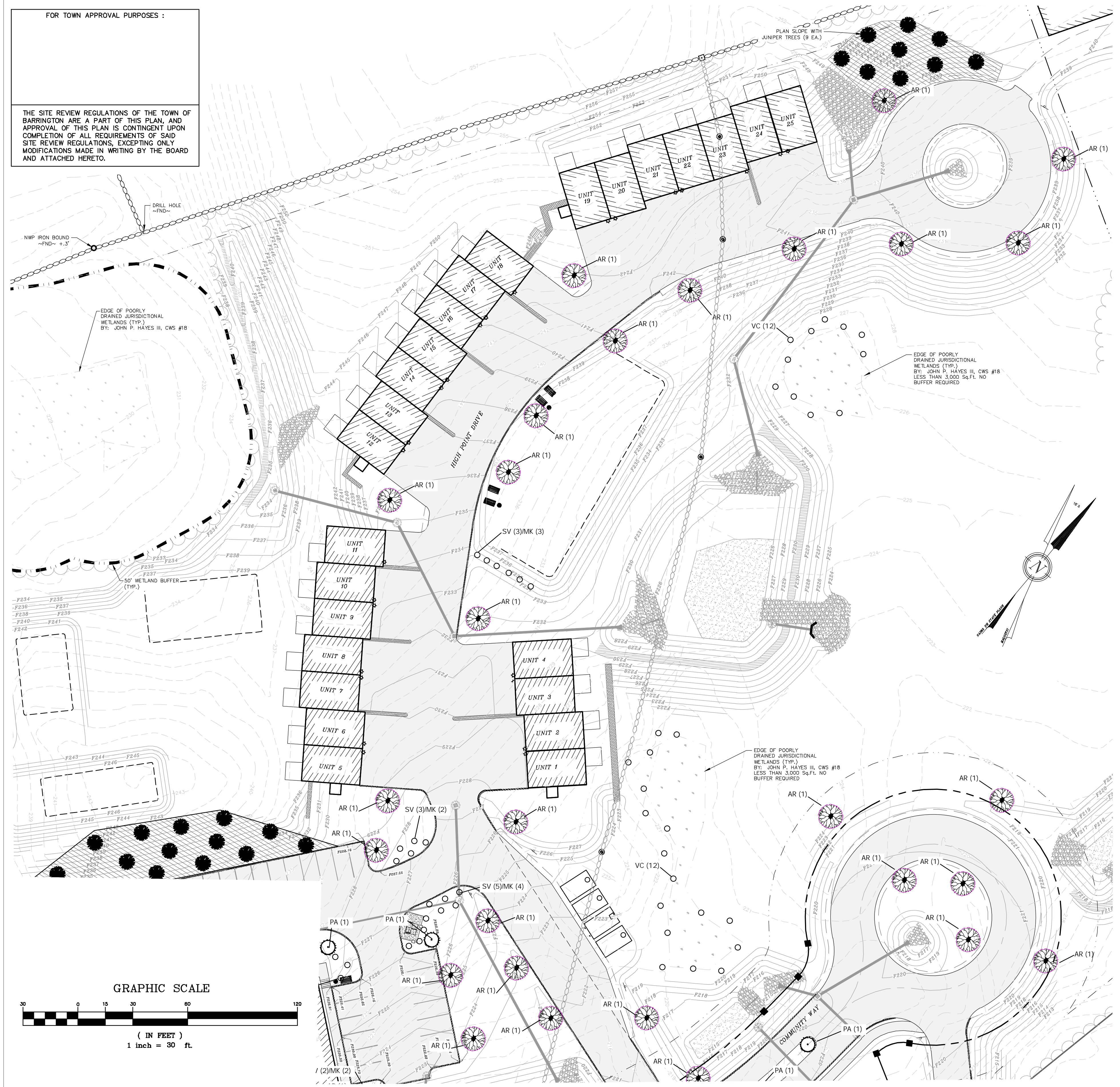
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SHEET 61 OF 105



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



PLANTING NOTES

- CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
- CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
- LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
- CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY & FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY L.A.
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Community Way
Botanical Name / Common Name

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<i>Thuja / arborvitae</i>	3" Cal.	18	TH
<i>Quercus / Oak</i>	3" Cal.	2	QU
Shrubs			
<i>Syringa Pubescens</i> / Miss Kim Lilac	#3-3-4'	29	MK
<i>Cornus sanguinea</i> 'Winter Flame' / Winter Flame Dogwood	2-3' B&B	26	SV
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terrain
planning & design llc

311 kast hill road
hopkinton, nh 03229
603.491.2322
terrainplanning.com

COMMUNITY WAY

Site Location:
N.H. ROUTE 9/COMMUNITY WAY
BARRINGTON, NH
Tax Map: 235

Prepared For:
Berry Surveying & Engineering
335 Second Crown Point Rd
Barrington, NH 03825

LANDSCAPE PLAN

DATE: 6/14/2021

SCALE: 1" = 30'

PROJECT #: 2097

Drawn By: ID

Checked By: ERB

REVISIONS: DATE:
Issued for Client Review

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SHEET 62 OF 105



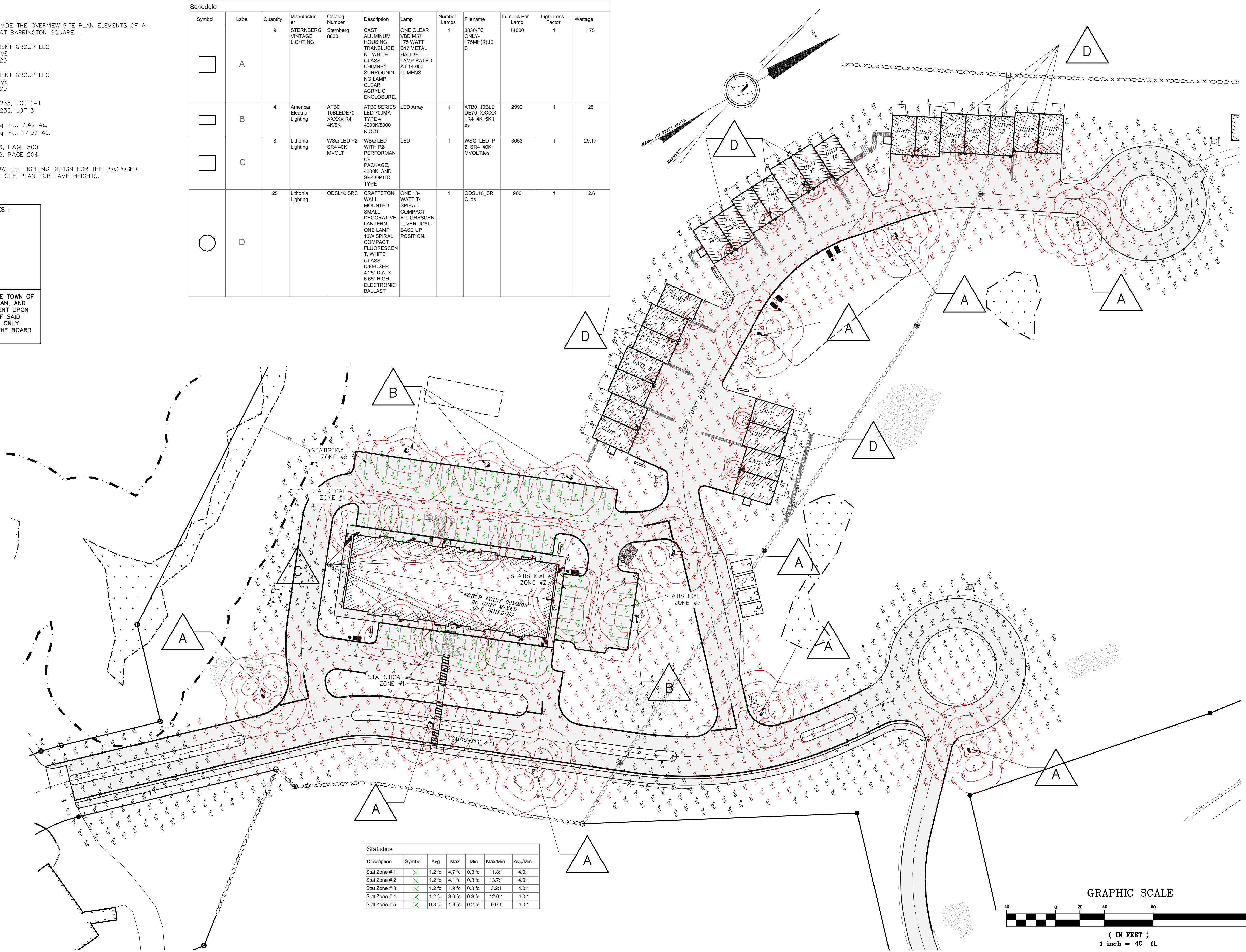
NOTES:

- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE OVERVIEW SITE PLAN ELEMENTS OF A PROJECT KNOWN AS THE VILLAGE AT BARRINGTON SQUARE.
- 2.) OWNER:
 - A.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP LLC
242 CENTRAL AVE
DOVER, NH 03820
- 3.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 6.) THE INTENT OF THIS PLAN IS TO SHOW THE LIGHTING DESIGN FOR THE PROPOSED MIXED USE SITE PLAN DEVELOPMENT. SEE SITE PLAN FOR LAMP HEIGHTS.

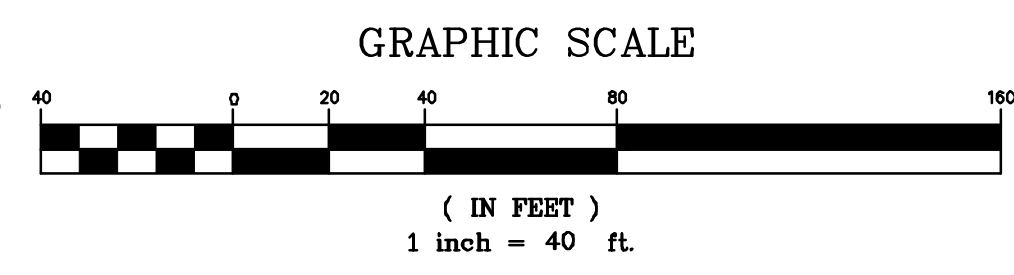
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	9	STERNBERG LIGHTING	Sternberg 8830	CAST ALUMINUM VINTAGE TRANSLUCENT WHITE GLASS CHIMNEY SURROUNDING LAMP, CLEAR ACRYLIC ENCLOSURE.	ONE CLEAR VSD M57 175 WATT B17 METAL HALIDE LAMP RATED AT 14,000 LUMENS.	1	8830-FC ONLY-175MH(R)IES	14000	1	175
□	B	4	American Electric Lighting	ATB0 10BLEDE70 XXXXX R4 4K/5K	ATB0 SERIES LED 700MA TYPE 4 4000K/5000 K CCT	LED Array	1	ATB0_10BLE DE70_XXXXX R4_4K_5K1.es	2992	1	25
□	C	8	Lithonia Lighting	WSQ LED P2 SR4 40K MVOLT	WSQ LED WITH P2 PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	LED	1	WSQ_LED_P2_SR4_40K_MVOLT.es	3053	1	29.17
○	D	25	Lithonia Lighting	OOSL10 SRC	CRAFTSTON WALL MOUNTED SMALL DECORATIVE LANTERN, ONE LAMP, 13W SPIRAL COMPACT FLUORESCENT, WHITE GLASS DIFFUSER 4.25" DIA. X 6.65" HIGH, ELECTRONIC BALLAST	ONE 13-WATT T4 SPIRAL COMPACT FLUORESCENT, VERTICAL BASE UP POSITION.	1	OOSL10_SRC.es	900	1	12.6

FOR TOWN APPROVAL PURPOSES :

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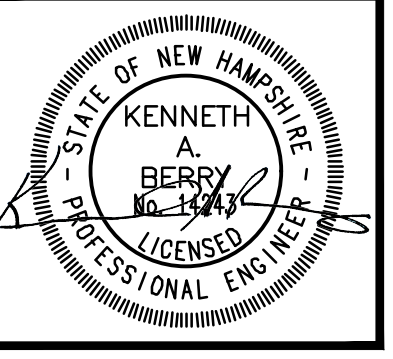
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Stat Zone #1	✕	1.2 fc	4.7 fc	0.3 fc	11.8:1	4.0:1
Stat Zone #2	✕	1.2 fc	4.1 fc	0.3 fc	13.7:1	4.0:1
Stat Zone #3	✕	1.2 fc	1.9 fc	0.3 fc	3.2:1	4.0:1
Stat Zone #4	✕	1.2 fc	3.6 fc	0.3 fc	12.0:1	4.0:1
Stat Zone #5	✕	0.8 fc	1.8 fc	0.2 fc	9.0:1	4.0:1

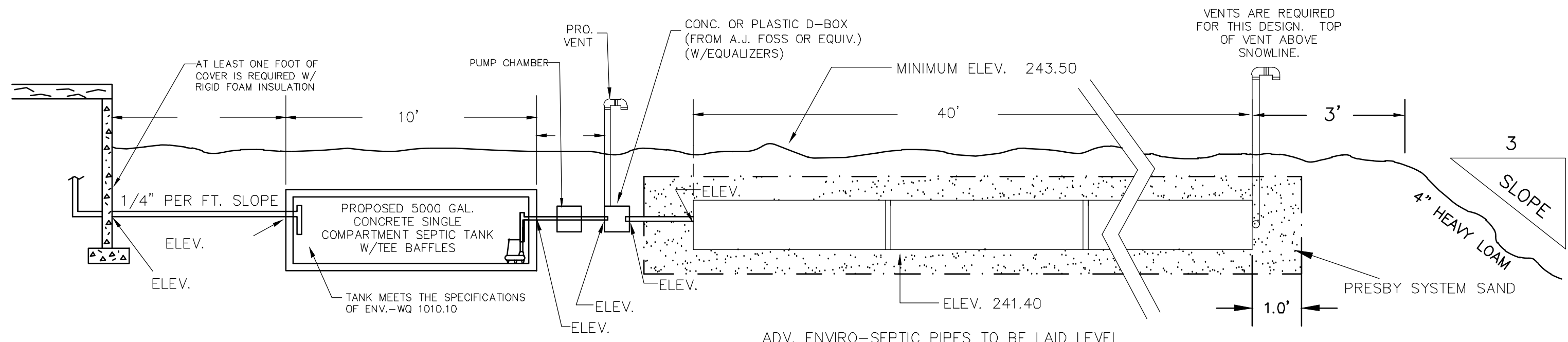


REVISION	DATE	DESCRIPTION

LIGHTING PLAN
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

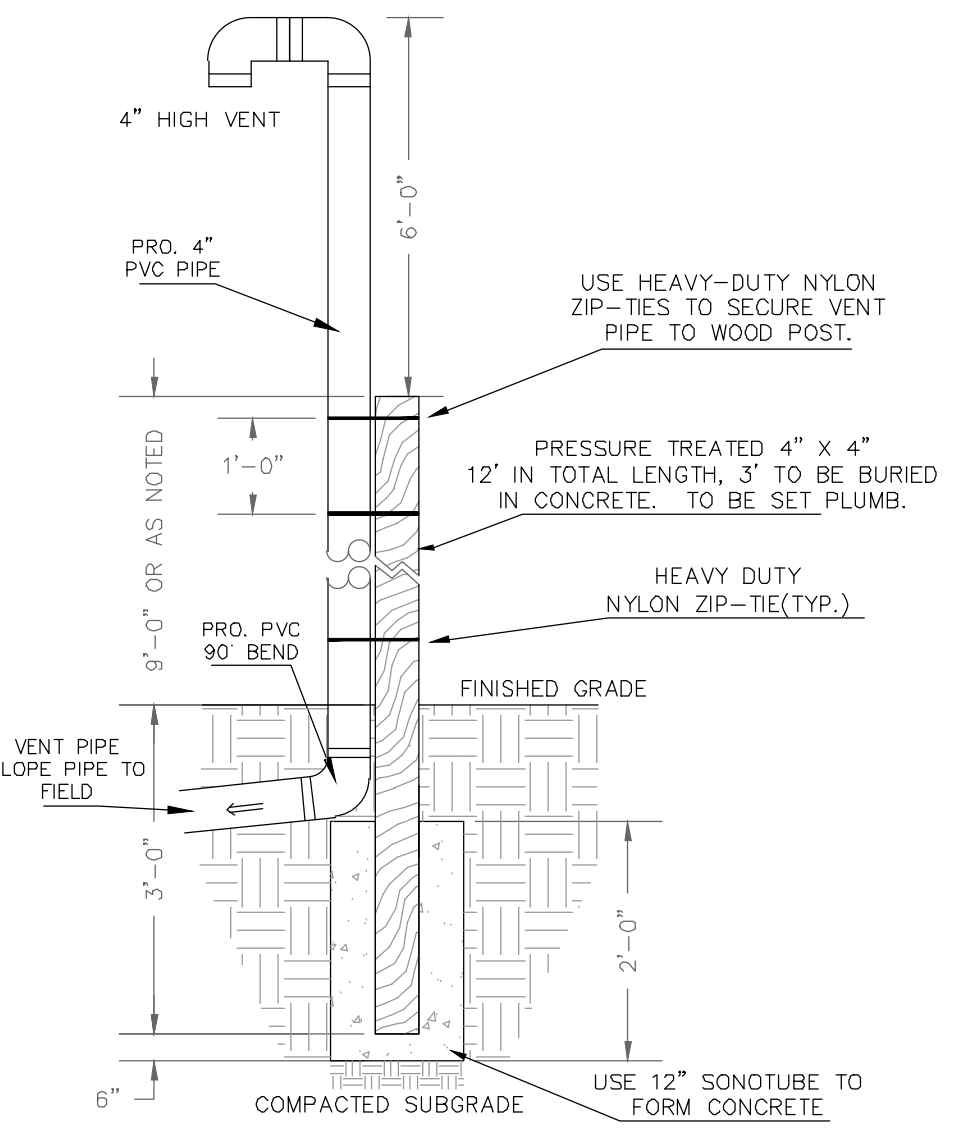
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 40 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097





SOLID PLASTIC PIPE IS 4" SDR35. ALL CONNECTIONS BETWEEN THE SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE TANK SHALL BE SEALED WITH A WATER-TIGHT, FLEXIBLE JOINT CONNECTOR.

PROFILE OF SEPTIC SYSTEM

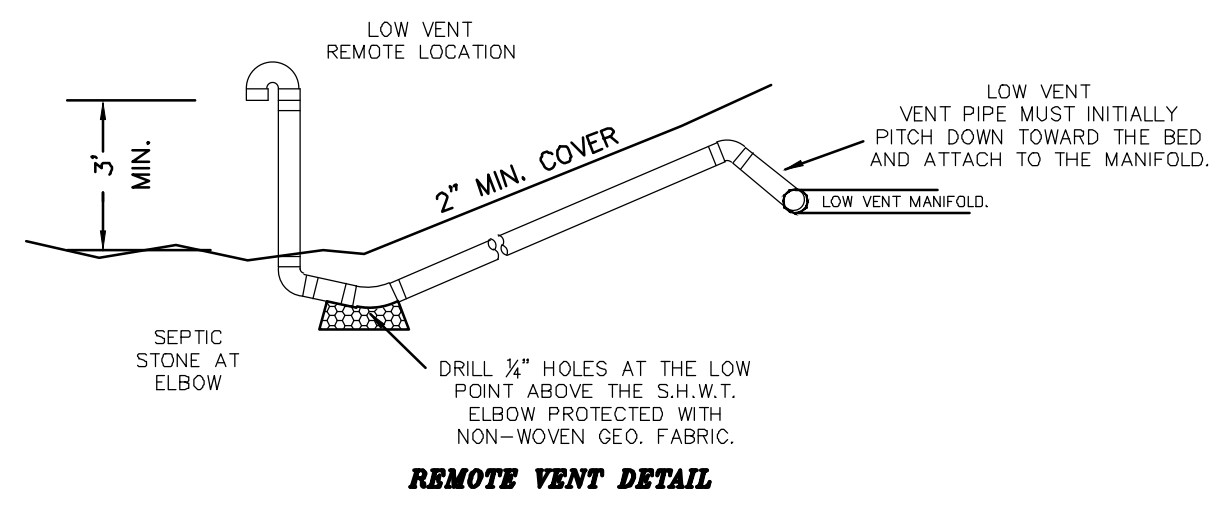


HIGH VENT DETAIL

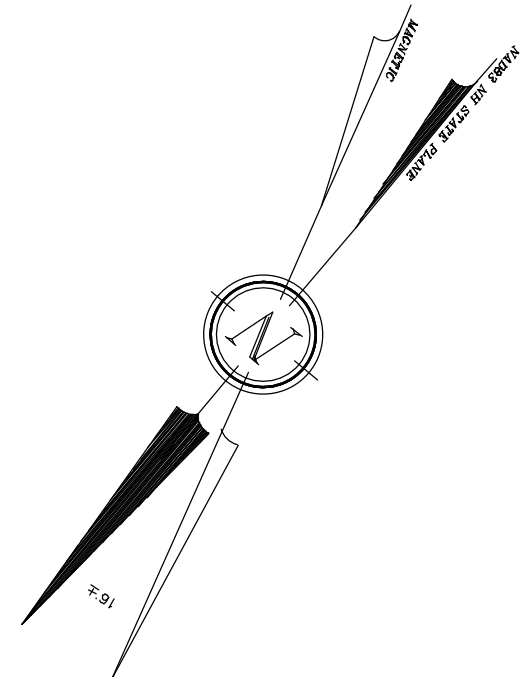
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Soil	Group	Slope	Area	Acres	Factor	GPD
CsB	2	3-8%	95337	2.189	1.30	3367.133
CsC	2	8-15%	324681	7.454	1.43	10424.69
CsD	2	15-25%	101,708	2.335	1.56	2993.396
CsE	2	25-50%	61,285	1.407	1.69	1664.982
HcA	4	8-15%	9,546	0.219	1.6	273.9325
HcD	4	15-25%	6215	0.143	1.73	164.9442
HcE	4	25-50%	13890	0.319	1.9	335.6532
HdE	4	25-50%	48,207	1.107	1.90	1164.927
LeB	5	3-8%	25,917	0.595	3.00	396.6483
LeC	5	8-15%	9,488	0.218	N/A	
LeD	5	15-25%	5280	0.121	N/A	
SuB	3	3-8%	55,882	1.283	1.8	1603.593
SuC	3	8-15%	98,220	2.255	1.76	2562.297
SuD	3	15-25%	32,672	0.750	1.73	867.1051
Total GPD						25819.3



REMOTE VENT DETAIL



SOILS:

- GsC - CLOUDESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
- HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
- HdC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
- WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES

TEST PIT DATA:

TEST PIT #305
 0-0.3' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
 0.3-1.5' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
 1.5-2.3' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
 2.3-6.0' 2.5Y 5/2, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
 REFUSAL @ 4.7'
 S.H.W.T. @ 1.6'
 GROUND WATER @ 3.3'
 TERMINATED @ 6.0'
 PERC. RATE = 6 MIN./IN.

CALCULATIONS :

4 (2) BEDROOM UNITS, 1,200 GPD
 5,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM SHEA CONCRETE OR EQUIV.)
 6 MIN/IN MEASURED PERC RATE
 660 - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED
 680 - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE
 68 - TOTAL NUMBER OF 10' SECTIONS OF ADV. ENVIRO SEPTIC PIPE REQUIRED
 17 ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW 40' LONG

PLAN INTENT :

THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED IS 0.9' ABOVE THE HIGH POINT OF THE EXISTING LAND.
 IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

ELEVATIONS :

240.50 - HIGH POINT OF LEACH BED
 238.90 - S.H.W.T.
 N/A - IMPERVIOUS LAYER
 241.40 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

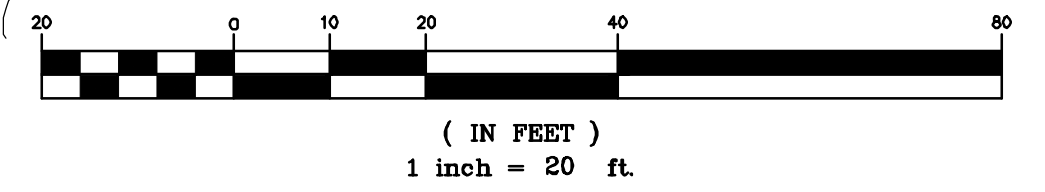
WETNOTE :

THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021. IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL, JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY: JOHN P. HAYES III

CAUTION!!!!

ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

GRAPHIC SCALE



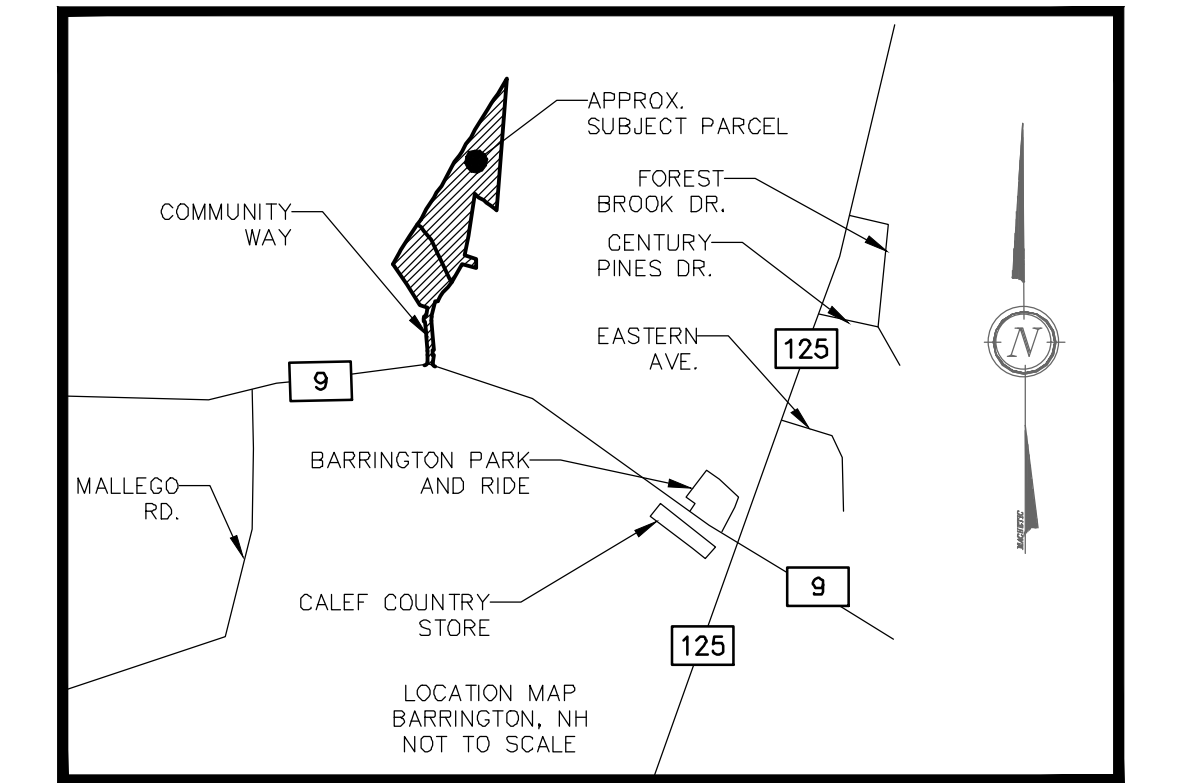
(IN FEET)
 1 inch = 20 ft.

CROSS-SECTION OF DISPOSAL FIELD



NOTES:

- OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
- DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- A) TAX MAP 235, LOT 1-1
B) TAX MAP 235, LOT 3
- LOT AREA: A) 323,215 Sq. Ft. 7.42 Ac.
B) 743,421 Sq. Ft. 17.07 Ac.
- S.C.R.D. A) BOOK 4816 PAGE 500
B) BOOK 4816 PAGE 504
- SUBDIVISION STATUS: OVER 5 ACRES
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- THIS IS NOT A BOUNDARY SURVEY.
- THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

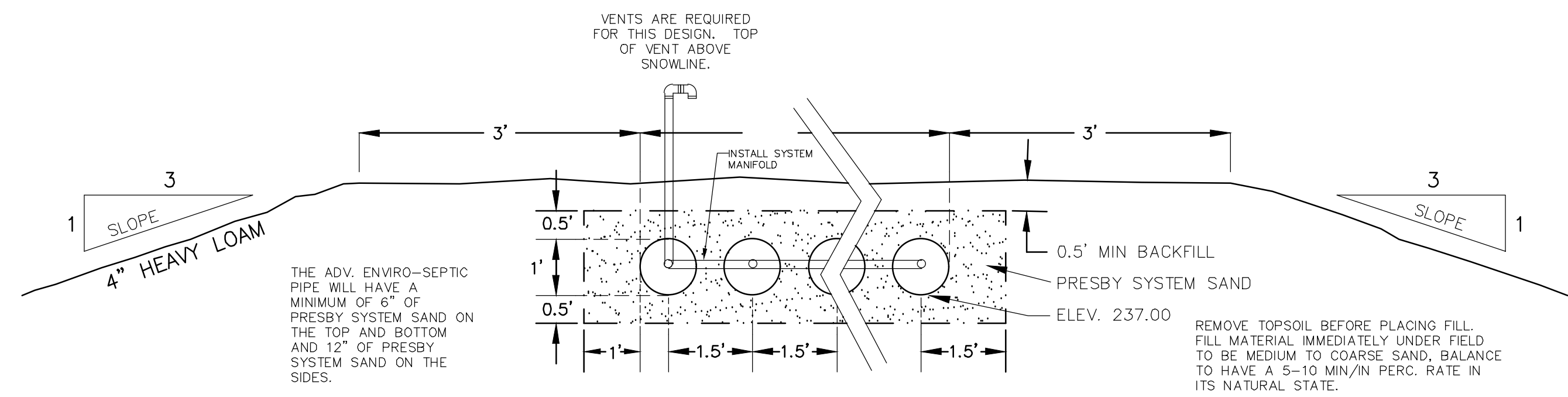
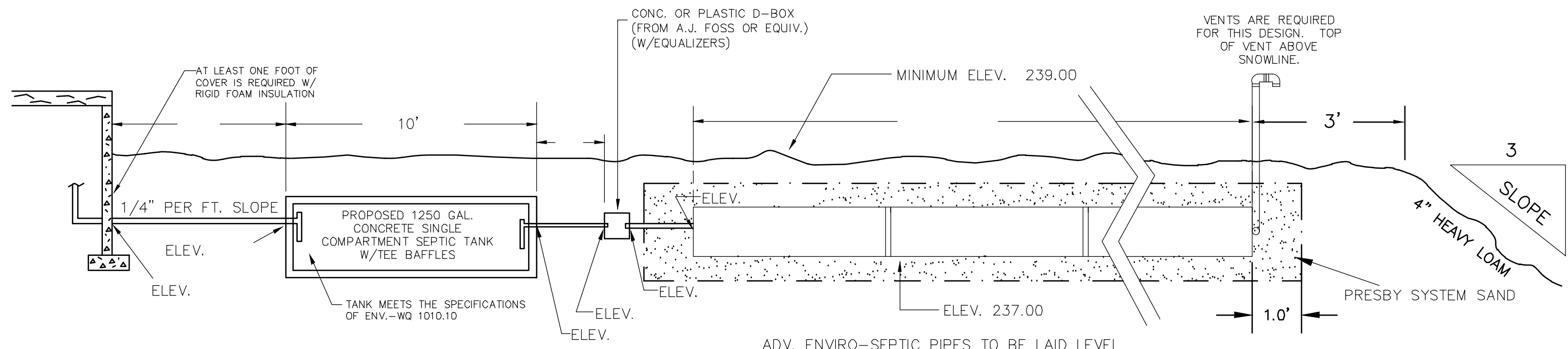


REVISION	DATE	DESCRIPTION
		PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 2)

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT RD.
 BARRINGTON, N.H. 332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

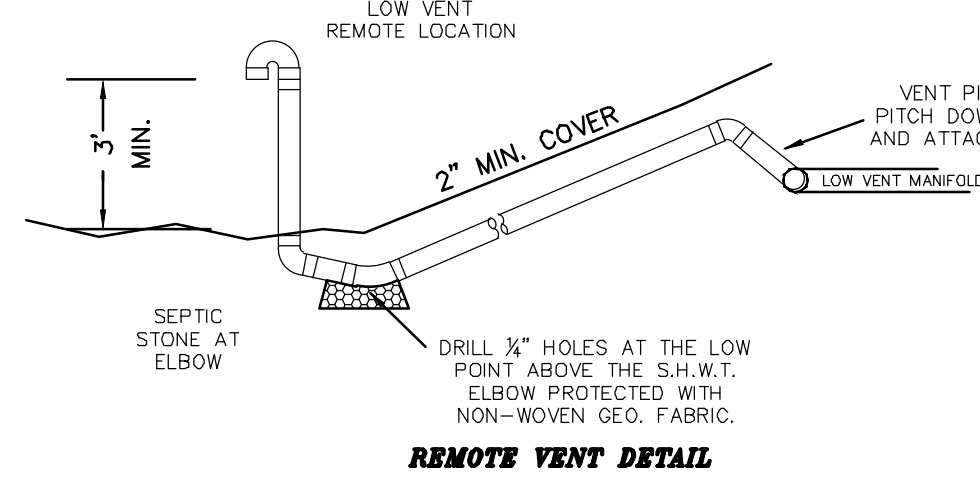
STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 LICENSE # 12445
 PROFESSIONAL ENGINEER

SHEET 65 OF 105



SOLID PLASTIC PIPE IS 4" SDR35. ALL CONNECTIONS BETWEEN THE SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR

PROFILE OF SEPTIC SYSTEM



REMOTE VENT DETAIL

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CsC	2	8-15%	324681	7.454	1.43	10424.69
CsD	2	15-25%	101706	2.335	1.58	2993.395
CsE	2	25-50%	61285	1.407	1.69	1064.982
HcC	4	8-15%	9546	0.219	1.6	273.925
HcD	4	15-25%	6215	0.143	1.73	164.942
HcE	4	25-50%	13890	0.319	1.9	335.652
HcF	4	25-50%	48207	1.107	1.90	1164.927
LeB	5	3-8%	25917	0.595	3.00	396.6483
LeC	5	8-15%	9488	0.218	N/A	
LeD	5	15-25%	5260	0.121	N/A	
Sub	3	3-8%	55882	1.283	1.6	1603.593
SuC	3	8-15%	98220	2.255	1.76	2562.297
SuD	3	15-25%	32872	0.750	1.73	867.1051
Total GPD						25819.3

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

NOTES:

- OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
- DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.
B.) 743,421 Sq. Ft. 17.07 Ac.
- S.C.R.D. A.) BOOK 4816 PAGE 500
B.) BOOK 4816 PAGE 504
- SUBDIVISION STATUS: OVER 5 ACRES
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- THIS IS NOT A BOUNDARY SURVEY.
- THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

TEST PIT DATA:

TEST PIT #306

0-0.3' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
0.3-1.6' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
1.6-2.3' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
2.3-6.1' 2.5Y 5/2, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
REFUSAL N/A
S.H.W.T. @ 2.3'
GROUND WATER N/A
TERMINATED @ 6.1'
PERC. RATE = 6 MIN./IN.

CALCULATIONS :

7 (2) BEDROOM UNITS, 2,100 GPD
US A 5,000 GAL. & 4,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM SHEA CONCRETE OR EQUIV.)
6 MIN/IN MEASURED PERC RATE
6 MIN/IN DESIGN PERC RATE
1,155 - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED
1,200 - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE
120 - TOTAL NUMBER OF 10' SECTIONS OF ADV. ENVIRO SEPTIC PIPE REQUIRED
20 ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW 60' LONG

ELEVATIONS :

236.50 - HIGH POINT OF LEACH BED
234.20 - S.H.W.T.
N/A - IMPERVIOUS LAYER
237.00 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

PLAN INTENT :

THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED IS 0.5' ABOVE THE HIGH POINT OF THE EXISTING LAND.
IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

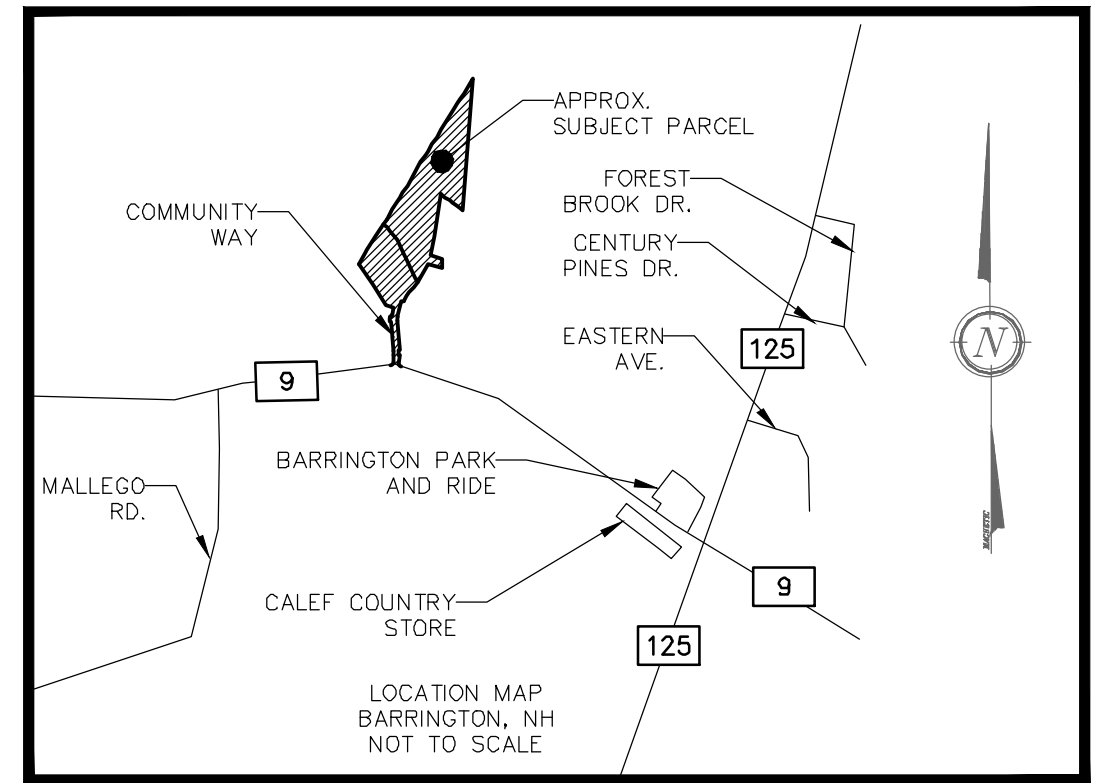
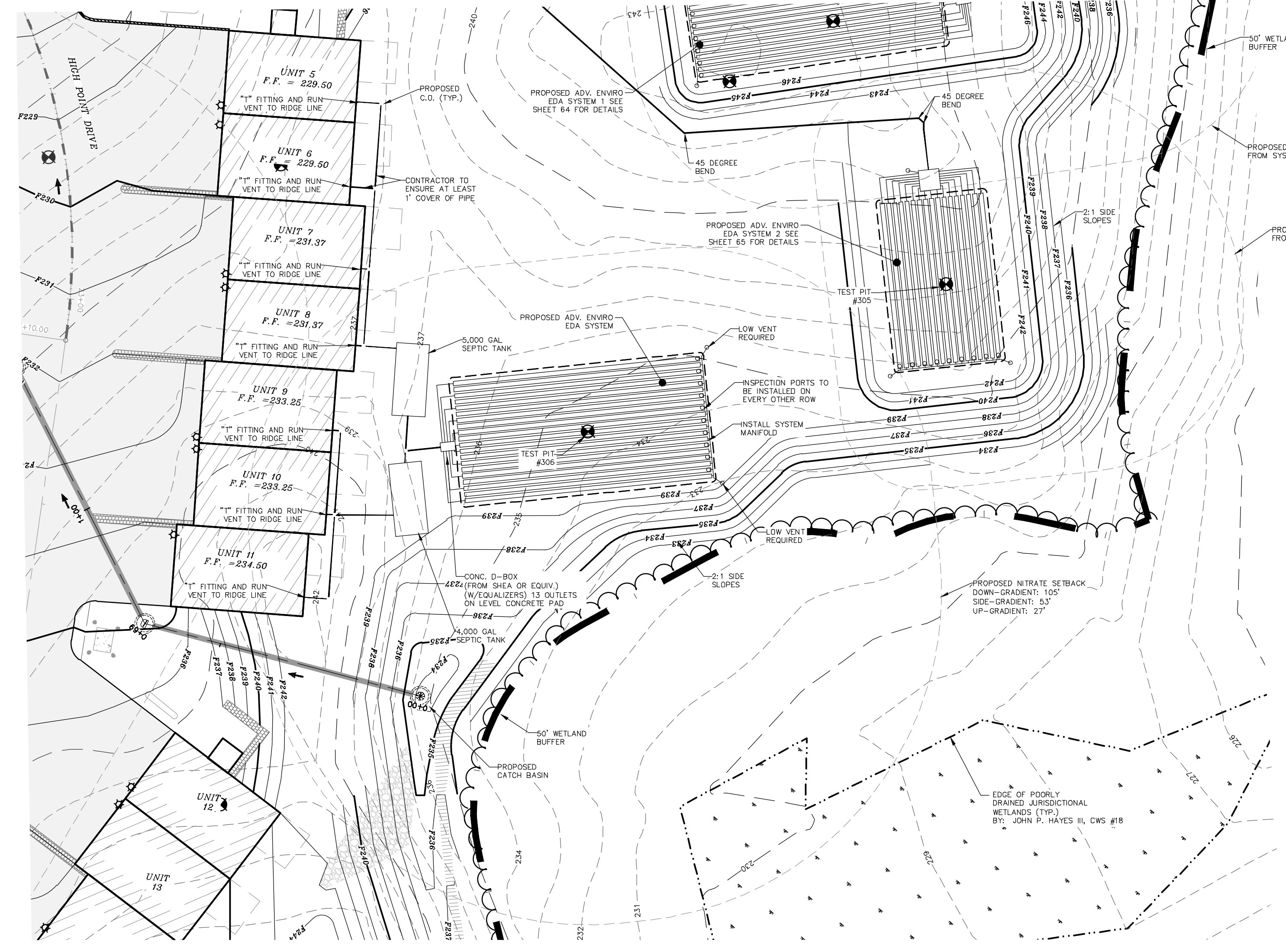
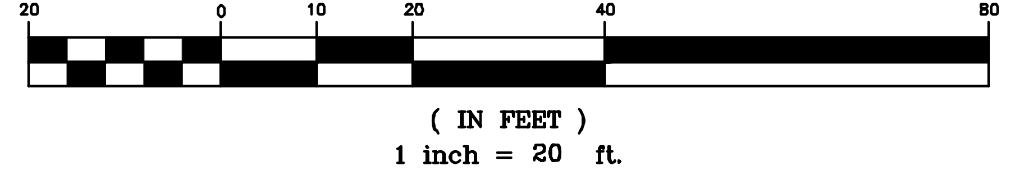
WETNOTE :

THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:
JOHN P. HAYES III

CAUTION !!!!!

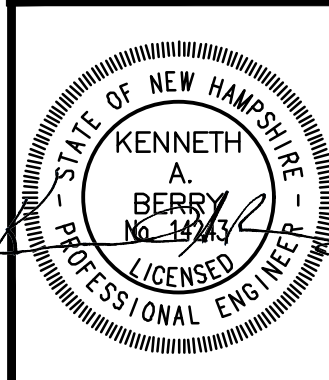
ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

GRAPHIC SCALE

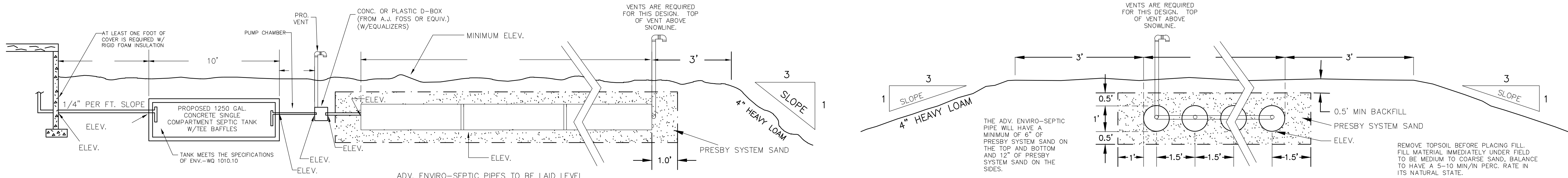


REVISION	DATE	DESCRIPTION

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 3)



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



SOLID PLASTIC PIPE IS 4" SDR35. ALL CONNECTIONS BETWEEN THE SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR

PROFILE OF SEPTIC SYSTEM

CROSS-SECTION OF DISPOSAL FIELD

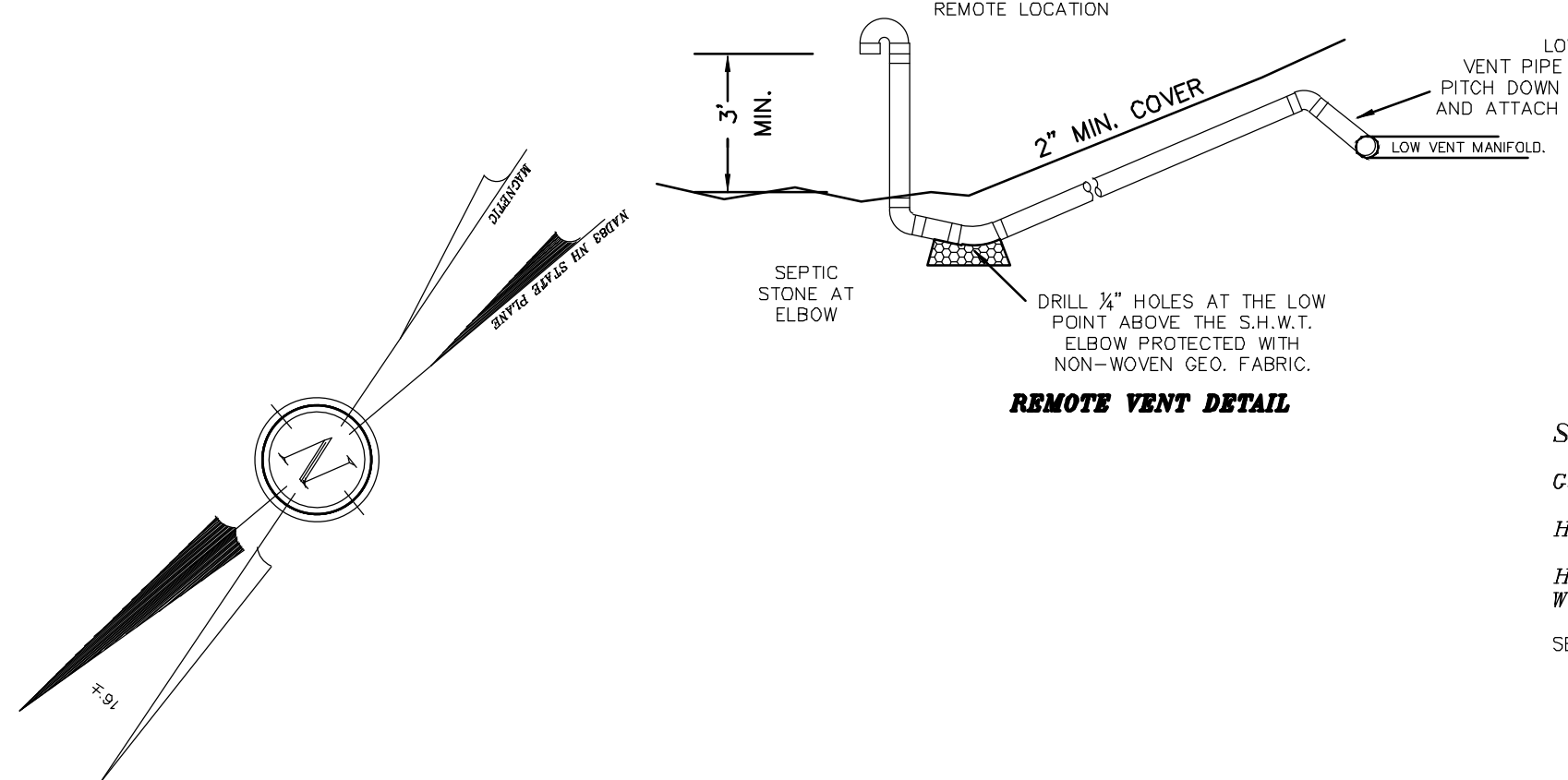
NOTES:

- 1.) OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
- 2.) DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- 3.) A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- 4.) LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.
B.) 743,421 Sq. Ft. 17.07 Ac.
- 5.) S.C.R.D. A.) BOOK 4816 PAGE 500
B.) BOOK 4816 PAGE 504
- 6.) SUBDIVISION STATUS: OVER 5 ACRES
- 7.) FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- 8.) THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- 9.) THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- 10.) THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- 11.) IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- 12.) THIS IS NOT A BOUNDARY SURVEY.
- 13.) THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

Soil	Group	Slope	Area	Acres	Factor	GPD
CsB	2	3-8%	96337	2.189	1.30	3367.133
CsC	2	8-15%	324681	7.454	1.43	10424.69
CsD	2	15-25%	101706	2.335	1.56	2993.395
CsE	2	25-50%	61285	1.407	1.69	1064.982
HcC	4	8-15%	9546	0.219	1.6	273.9325
HcD	4	15-25%	6215	0.143	1.73	164.9442
HcE	4	25-50%	13890	0.319	1.9	335.6532
HcF	4	25-50%	48207	1.107	1.90	1164.927
LeB	5	3-8%	25917	0.595	3.00	396.6483
LeC	5	8-15%	9488	0.218	N/A	
LeD	5	15-25%	5260	0.121	N/A	
Sub	3	3-8%	55882	1.283	1.6	1803.593
SuC	3	8-15%	98220	2.255	1.76	2562.297
SuD	3	15-25%	32872	0.750	1.73	867.1051
Total GPD						25819.3

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



SOILS:

- CsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
 - HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
 - HcC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
 - WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES
- SEE WEBSOIL USDA-NRCS

CALCULATIONS :

40 BEDROOMS TOTAL, 6,000 GPD
USE 4,500/2,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM SHEA CONCRETE OR EQUIV.)
3.65 MIN/IN MEASURED PERC RATE
4 MIN/IN DESIGN PERC RATE
3.41 GPD/SF HYDRAULIC LOADING
541 - MIN. LENGTH GEOMAT SEPTIC PIPE REQUIRED
685 - PROPOSED LENGTH OF GEOMAT SEPTIC PIPE
14 ROWS OF GEOMAT SEPTIC PIPE, EACH ROW 49' LONG

ELEVATIONS :

XXX.00 - HIGH POINT OF LEACH BED
XXX.00 - S.H.W.T.
N/A - IMPERVIOUS LAYER
XXX.00 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

PLAN INTENT :

THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED XXXXXXXXXXXX THE HIGH POINT OF THE EXISTING LAND.
IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

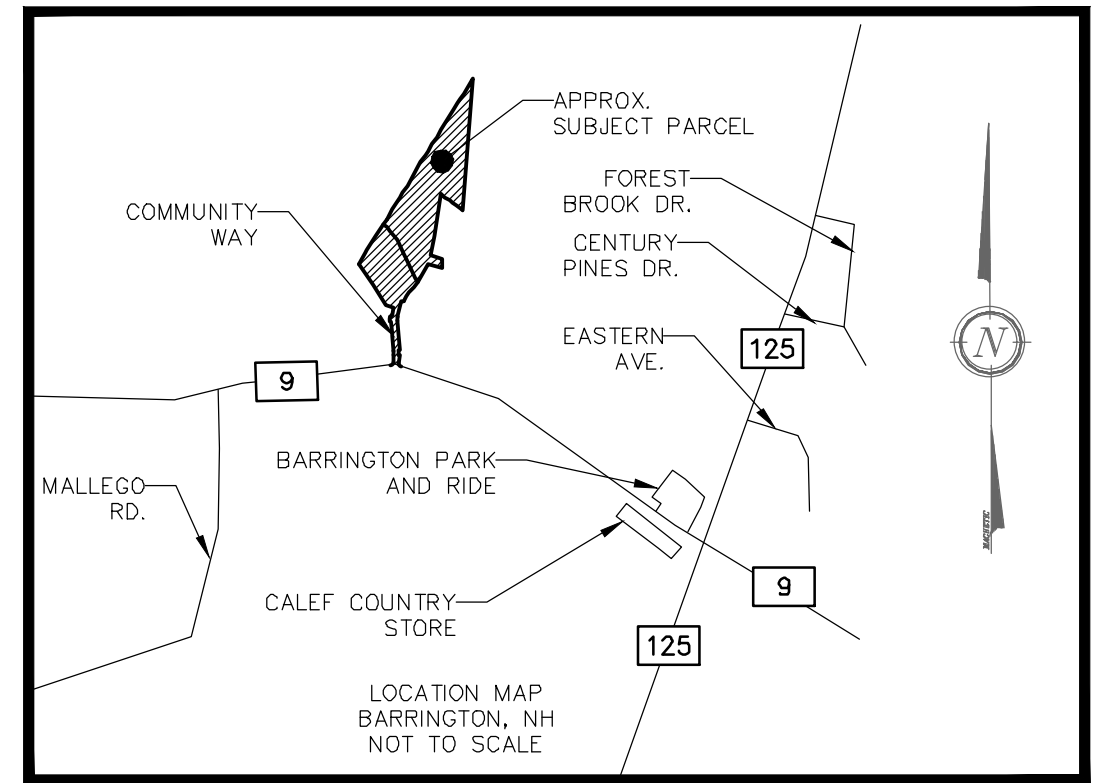
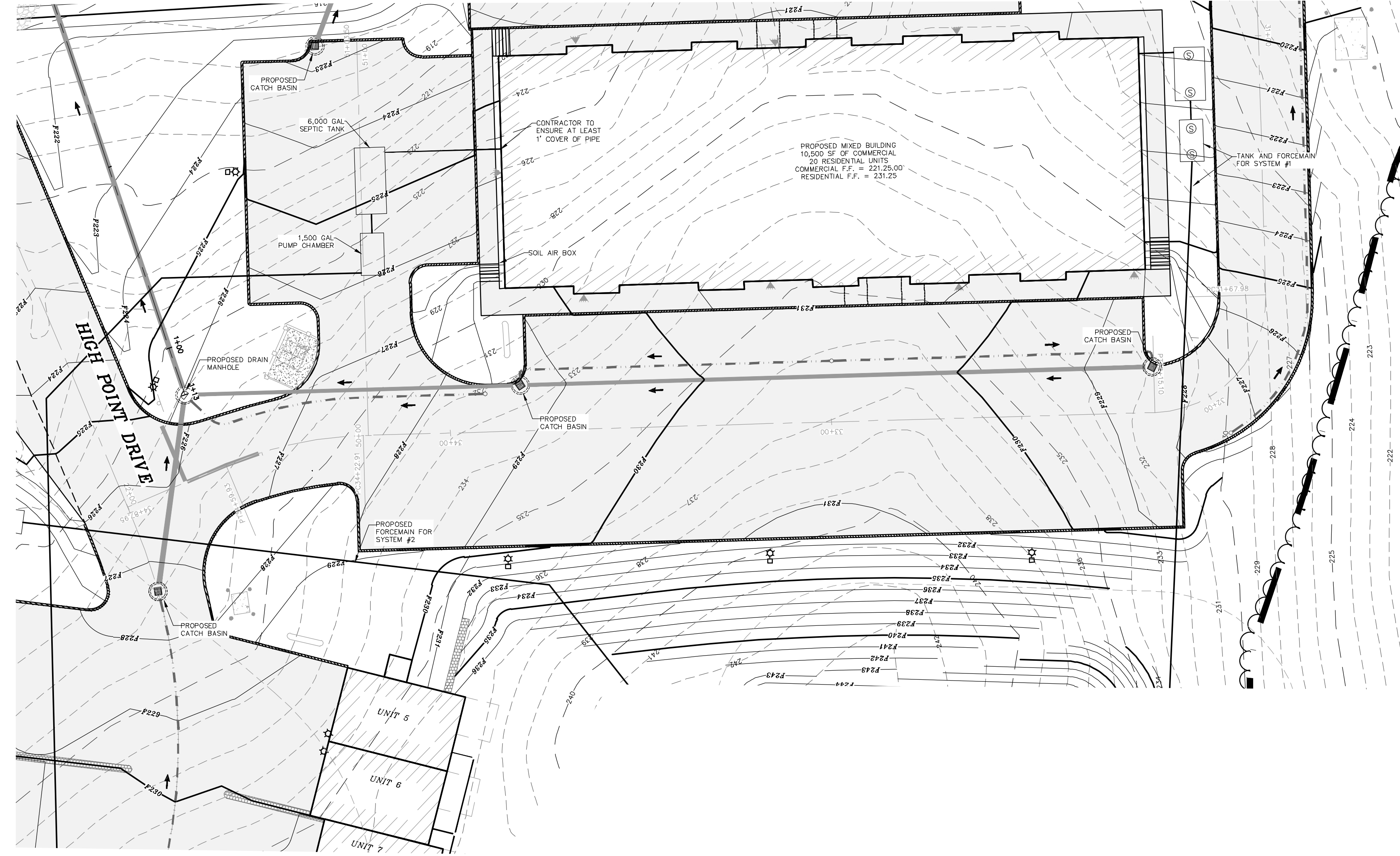
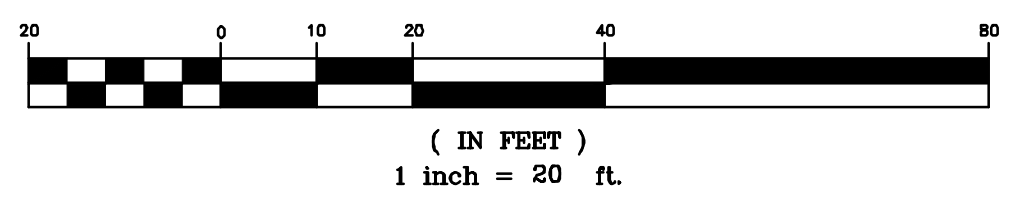
WETNOTE :

THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:
JOHN P. HAYES III

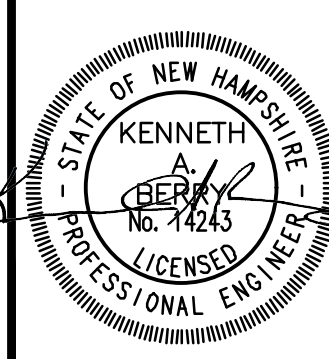
CAUTION !!!!

ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

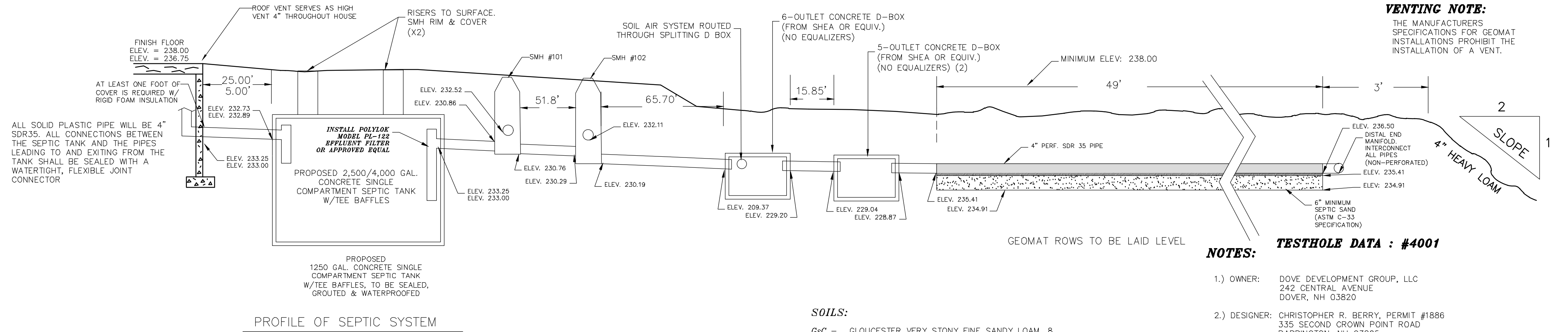
GRAPHIC SCALE



REVISION	DATE	DESCRIPTION
PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 4A)		
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. 332-2863 SCALE : 1 IN. EQUALS 20 FT. DATE : JUNE 14, 2021 FILE NO. : DB 2020 - 097		



Soil	Group	Slope	Area	Acres	Factor	GPD
CsB	2	3-8%	95337	2.189	1.30	3367.133
CsC	2	8-15%	324801	7.464	1.43	10424.89
CsD	2	15-25%	101708	2.395	1.56	2993.395
CsE	2	25-50%	61285	1.407	1.69	1864.982
HcC	4	8-15%	9546	0.219	1.6	273.9325
HcD	4	15-25%	6215	0.143	1.73	164.9442
HcE	4	25-50%	13890	0.319	1.9	335.8532
HcF	4	25-50%	48207	1.107	1.90	1164.927
LeB	5	3-8%	25317	0.595	3.00	390.6493
LeC	5	8-15%	9498	0.218	N/A	
LeD	5	15-25%	6260	0.121	N/A	
SuB	3	3-8%	55882	1.283	1.6	1603.599
SuC	3	8-15%	98220	2.255	1.78	2562.297
SuD	3	15-25%	32672	0.750	1.73	867.1051
Total GPD						25819.3



VENTING NOTE:
THE MANUFACTURERS' SPECIFICATIONS FOR GEOMAT INSTALLATIONS PROHIBIT THE INSTALLATION OF A VENT.

NOTES: TESTHOLE DATA : #4001

- OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
- DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.
B.) 743,421 Sq. Ft. 17.07 Ac.
- S.C.R.D. A.) BOOK 4816 PAGE 500
B.) BOOK 4816 PAGE 504
- SUBDIVISION STATUS: OVER 5 ACRES
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- THIS IS NOT A BOUNDARY SURVEY.
- THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

SOILS:
Gsc - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
HdC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES
SEE WEBSOIL USDA-NRCS

TEST PIT DATA:
TEST PIT #317
0-0.3' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
0.3-1.6' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
1.6-2.5' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
2.5-5.0' 2.5Y 5/3, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
REFUSAL @ 5.0'
S.H.W.T. @ 2.5'
GROUND WATER N/A
TERMINATED @ 5.0'
PERC. RATE = 6 MIN./IN.
TEST PIT #319
0-0.3' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
0.3-1.6' 7.5YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
1.6-2.6' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
2.6-4.1' 2.5Y 5/3, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
REFUSAL @ 4.1'
S.H.W.T. @ 2.6'
GROUND WATER N/A
TERMINATED @ 4.1'
PERC. RATE = 6 MIN./IN.

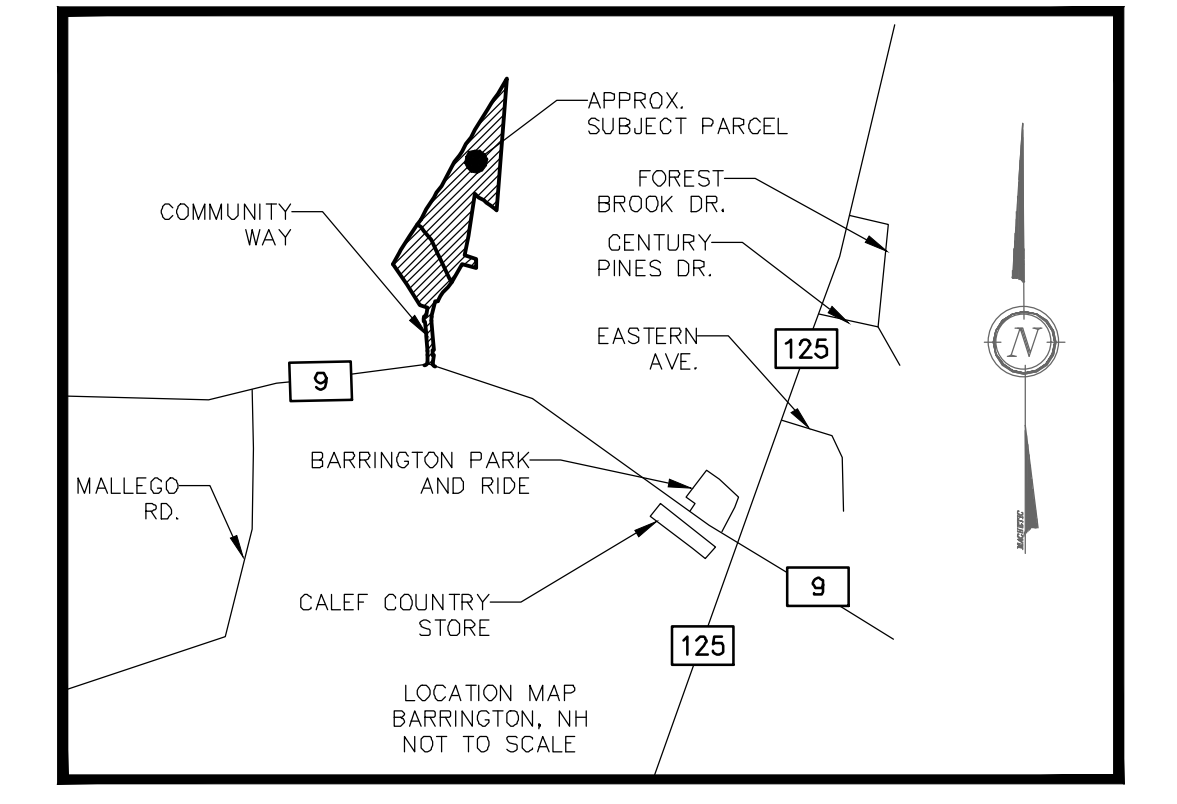
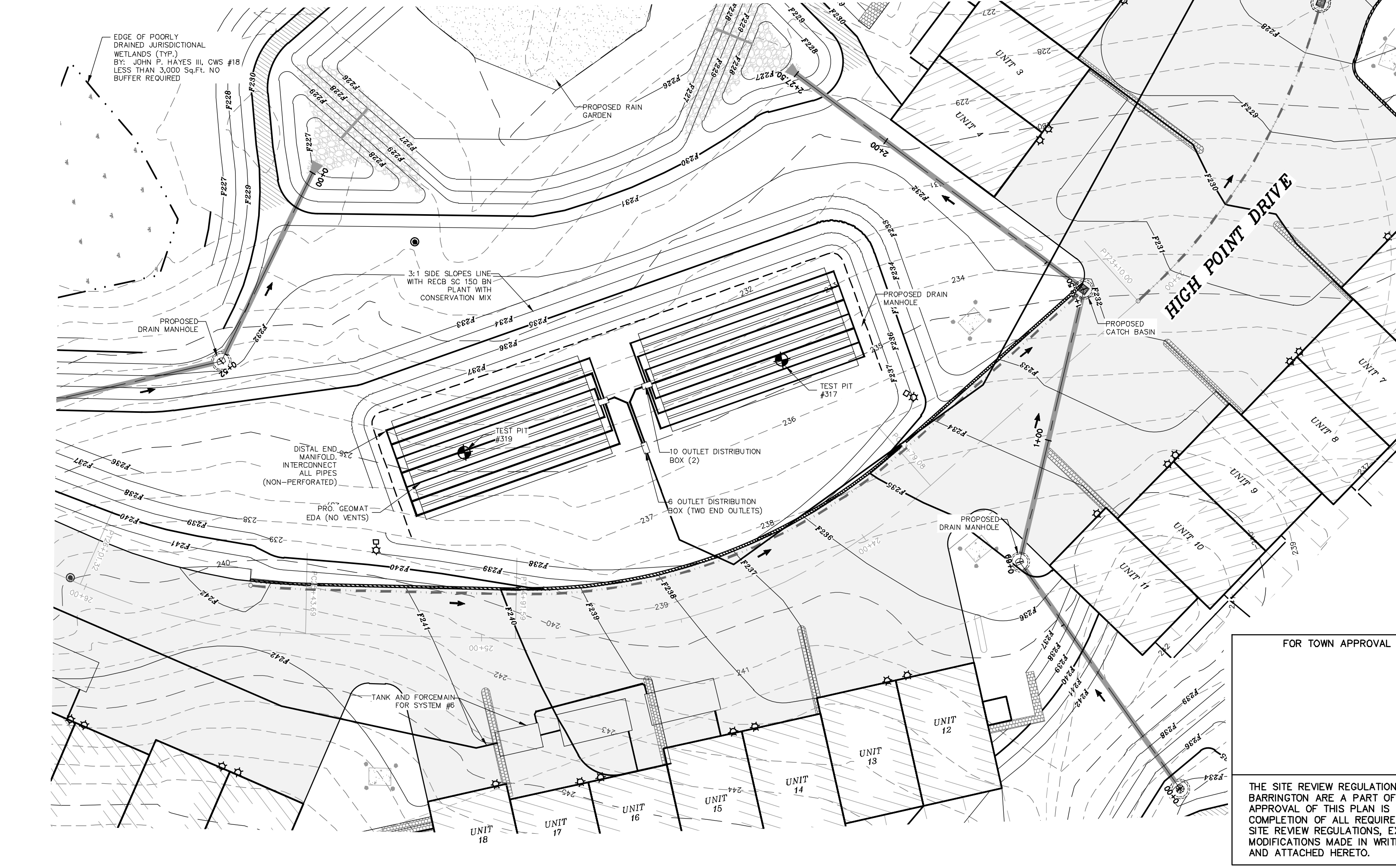
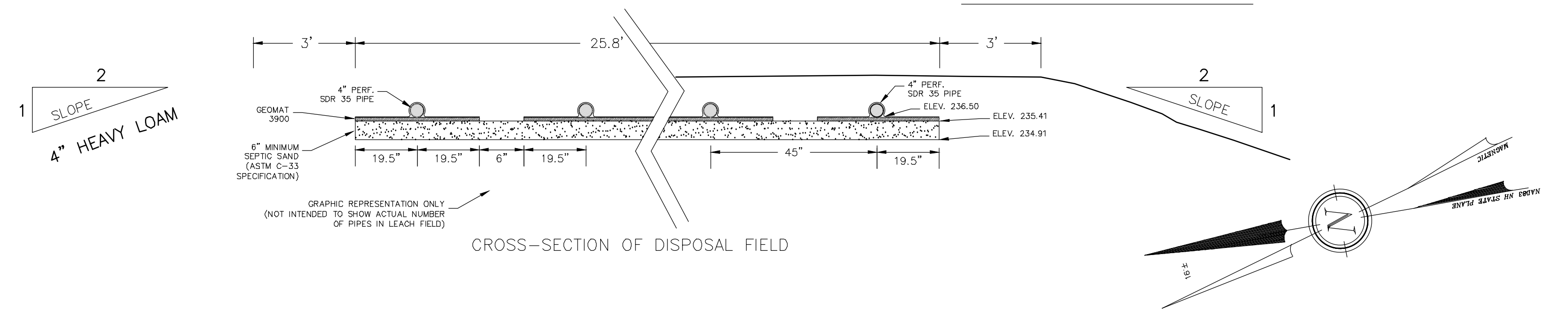
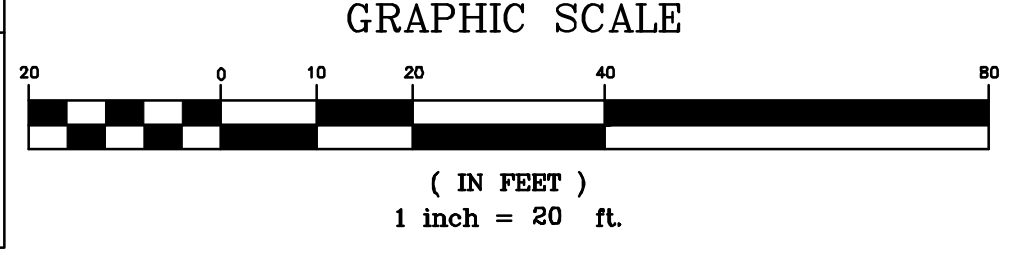
CALCULATIONS :
40 BEDROOMS TOTAL, 6,000 GPD
USE 4,500/2,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM SHEA CONCRETE OR EQUIV.)
3.65 MIN/IN MEASURED PERC RATE
4 MIN/IN DESIGN PERC RATE
3.41 GPD/SF HYDRAULIC LOADING
541 - MIN. LENGTH GEOMAT SEPTIC PIPE REQUIRED
686 - PROPOSED LENGTH OF GEOMAT SEPTIC PIPE
14 ROWS OF GEOMAT SEPTIC PIPE, EACH ROW 49' LONG

ELEVATIONS :
237.00 - HIGH POINT OF LEACH BED
234.40 - S.H.W.T.
N/A - IMPERVIOUS LAYER
236.50 - BOTTOM OF GEOMAT SYSTEM

PLAN INTENT :
THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED 0.5' BELOW THE HIGH POINT OF THE EXISTING LAND.
IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

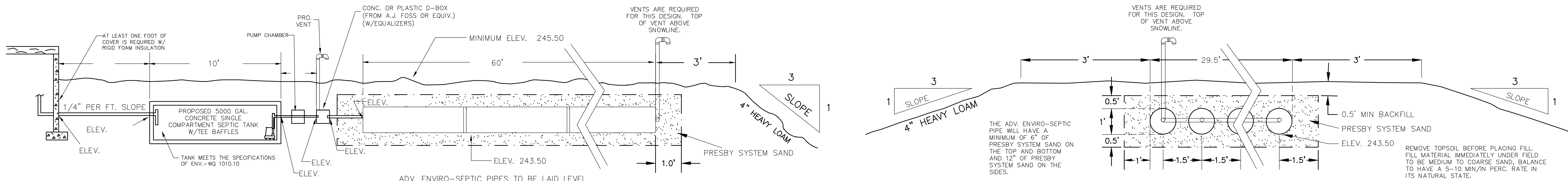
WETNOTE :
THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:
JOHN P. HAYES III

CAUTION !!!!!
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REVISION	DATE	DESCRIPTION
		PROPOSED GEOMAT SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 4B)

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



PROFILE OF SEPTIC SYSTEM

CROSS-SECTION OF DISPOSAL FIELD

NOTES:

- 1.) OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
- 2.) DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- 3.) A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- 4.) LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.
B.) 743,421 Sq. Ft. 17.07 Ac.
- 5.) S.C.R.D. A.) BOOK 4816 PAGE 500
B.) BOOK 4816 PAGE 504
- 6.) SUBDIVISION STATUS: OVER 5 ACRES
- 7.) FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- 8.) THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- 9.) THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- 10.) THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- 11.) IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- 12.) THIS IS NOT A BOUNDARY SURVEY.
- 13.) THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

Soil	Group	Slope	Area	Acres	Factor	GPD
CsB	2	3-8%	96337	2.189	1.30	3367.133
CsC	2	8-15%	324681	7.454	1.43	10424.89
CsD	2	15-25%	101706	2.335	1.56	2993.395
CsE	2	25-50%	61285	1.407	1.69	1064.982
HcC	4	8-15%	9546	0.219	1.6	273.9325
HcD	4	15-25%	8215	0.143	1.73	164.9442
HcE	4	25-50%	13890	0.319	1.9	335.6532
HcF	4	25-50%	48207	1.107	1.90	1164.927
LeB	5	3-8%	25917	0.595	3.00	396.6483
LeC	5	8-15%	9488	0.218	N/A	
LeD	5	15-25%	5260	0.121	N/A	
Sub	3	3-8%	55882	1.283	1.6	1603.593
SuC	3	8-15%	98220	2.255	1.76	2562.297
SuD	3	15-25%	32872	0.750	1.73	867.1051
Total GPD						25819.3

WETNOTE :
THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:

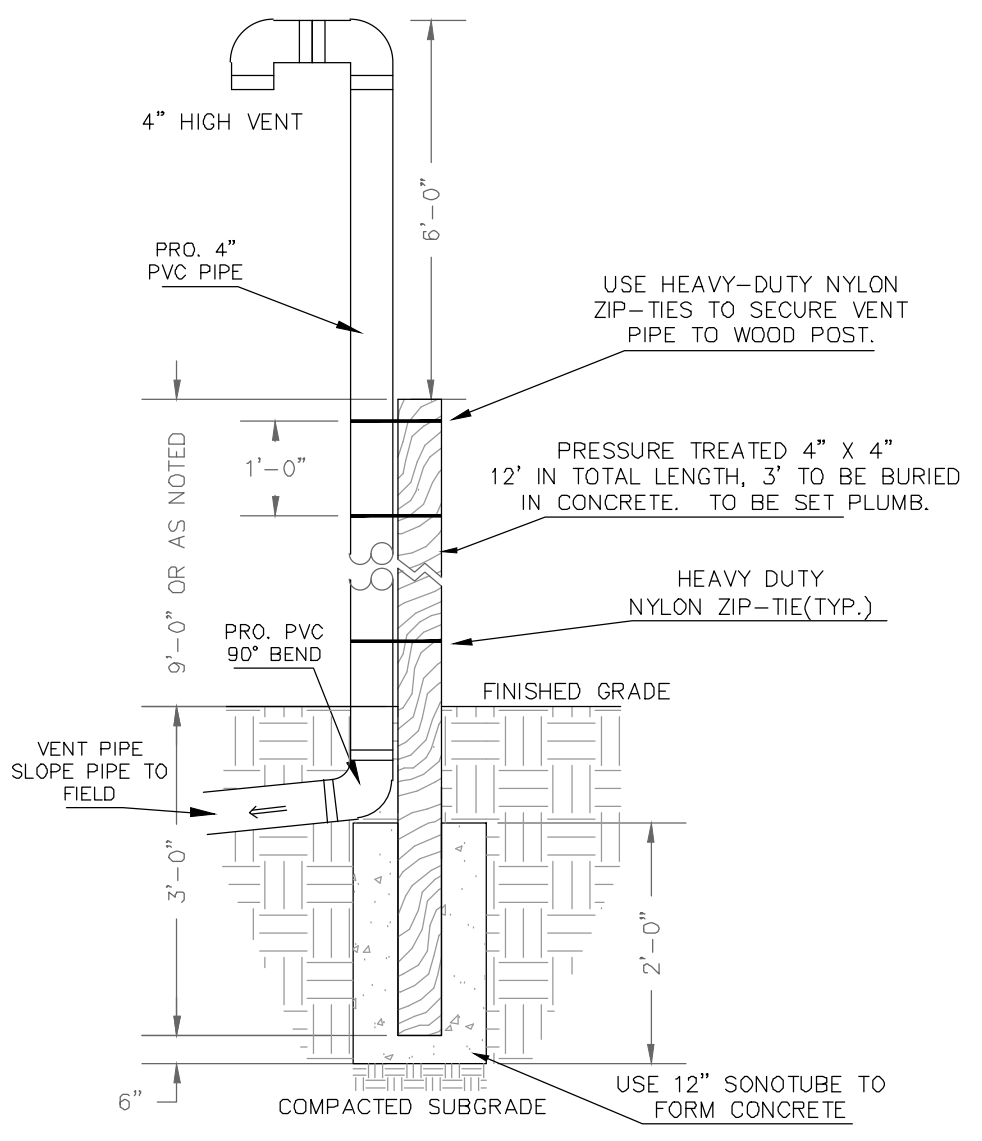
JOHN P. HAYES III

CAUTION !!!!!

ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

TEST PIT DATA:

TEST PIT #323
0-0.4' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
0.4-2.0' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
2.0-3.0' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
3.0-5.6' 2.5Y 5/2, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
REFUSAL N/A
S.H.W.T. @ 5.0'
GROUND WATER N/A
TERMINATED @ 5.6'
PERC. RATE = 6 MIN./IN.



HIGH VENT DETAIL
NOT TO SCALE

SOILS:

- CsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
 - HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
 - HdC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
 - WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES
- SEE WEBSOIL USDA-NRCS

ELEVATIONS :

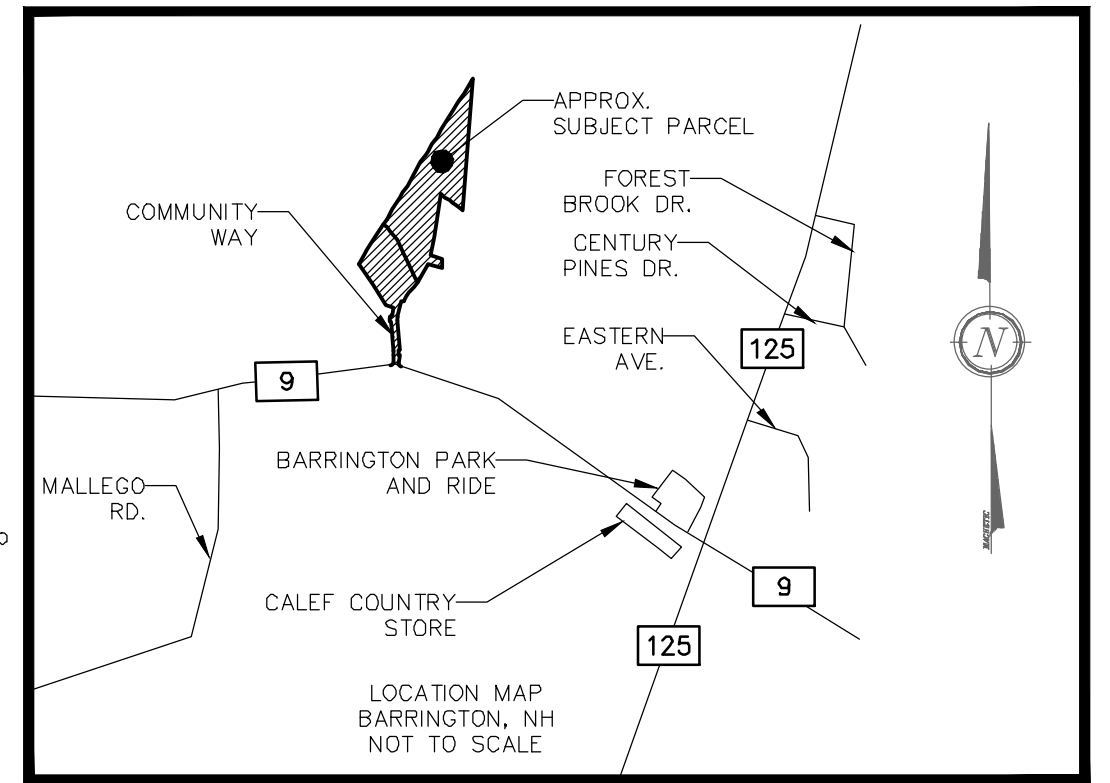
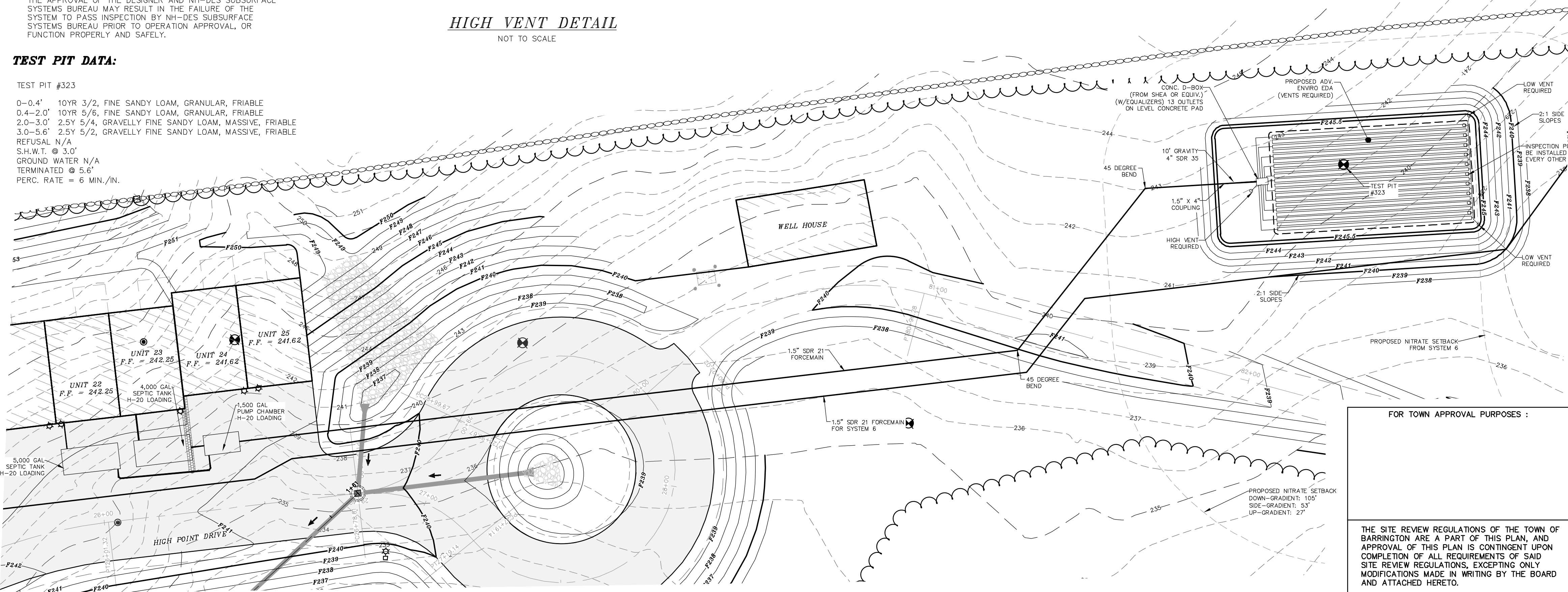
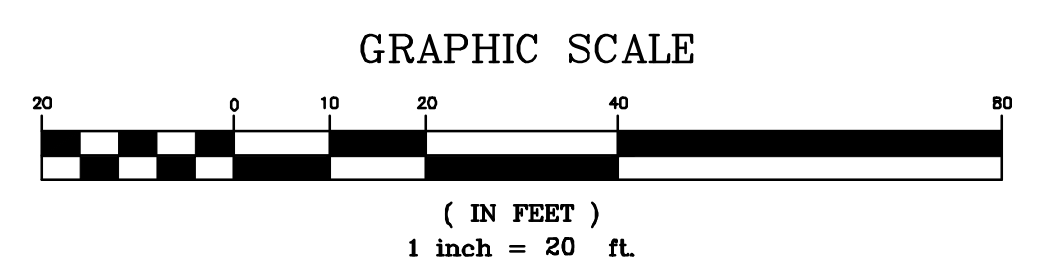
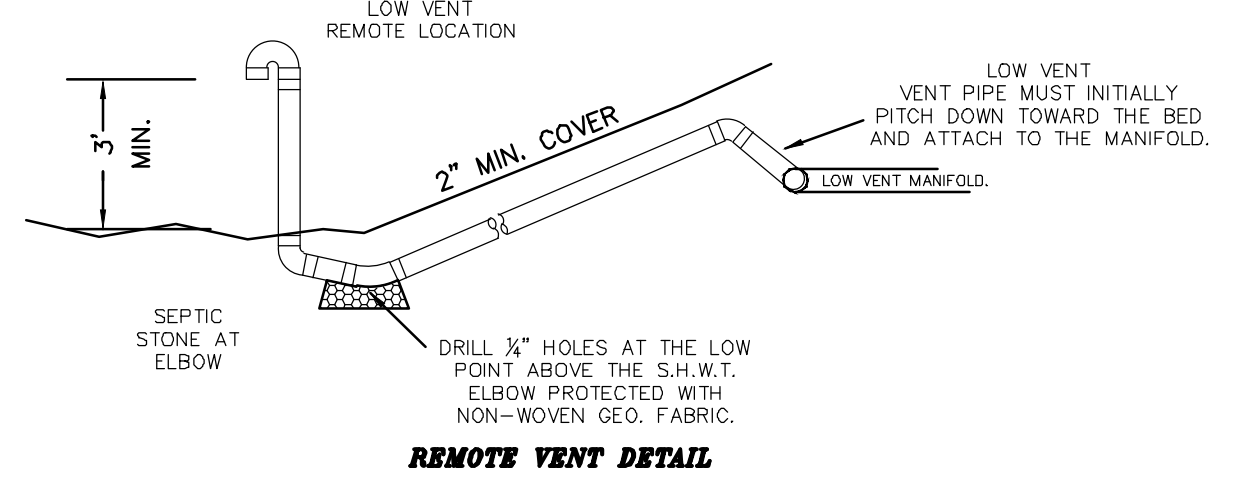
- 243.00 - HIGH POINT OF LEACH BED
- 240.00 - S.H.W.T.
- N/A - IMPERVIOUS LAYER
- 243.50 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

PLAN INTENT :

THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED IS 0.5' ABOVE THE HIGH POINT OF THE EXISTING LAND.
IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

CALCULATIONS :

- 7 (2) BEDROOM UNITS, 2,100 GPD
- US A 5,000 GAL. & 4,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM SHEA CONCRETE OR EQUIV.)
- 6 MIN/IN MEASURED PERC RATE
- 6 MIN/IN DESIGN PERC RATE
- 1,155 - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED
- 1,200 - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE
- 120 - TOTAL NUMBER OF 10' SECTIONS OF ADV. ENVIRO SEPTIC PIPE REQUIRED
- 20 ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW 60' LONG

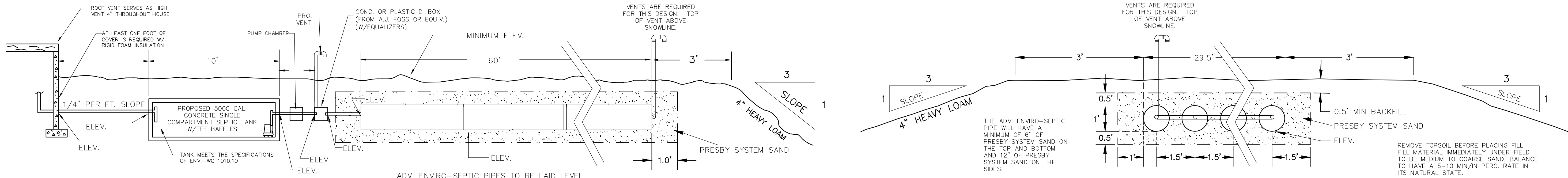


REVISION	DATE	DESCRIPTION

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 5)

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT RD. BARRINGTON, N.H. 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

FOR TOWN APPROVAL PURPOSES :
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



SOLID PLASTIC PIPE IS 4" SDR35. ALL CONNECTIONS BETWEEN THE SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR

PROFILE OF SEPTIC SYSTEM

CROSS-SECTION OF DISPOSAL FIELD

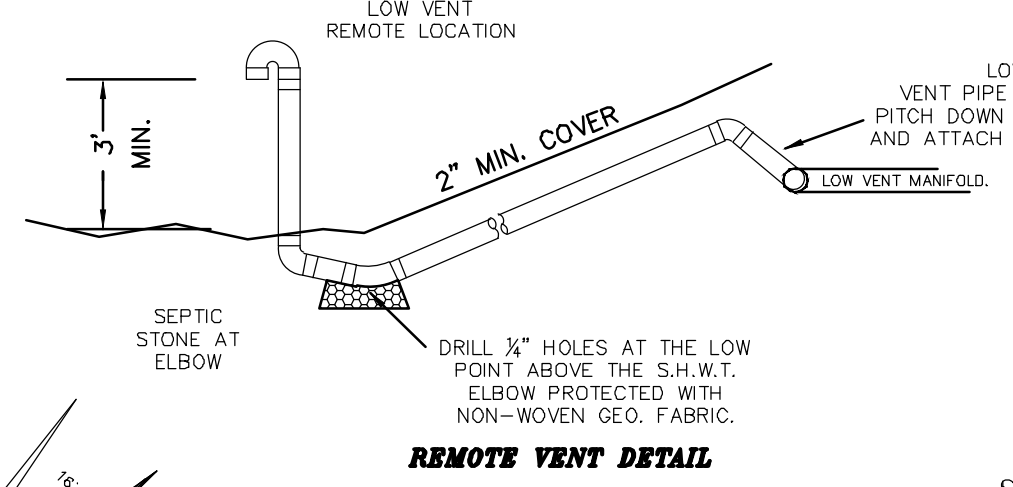
NOTES:

- 1.) OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
- 2.) DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- 3.) A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- 4.) LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.
B.) 743,421 Sq. Ft. 17.07 Ac.
- 5.) S.C.R.D. A.) BOOK 4816 PAGE 500
B.) BOOK 4816 PAGE 504
- 6.) SUBDIVISION STATUS: OVER 5 ACRES
- 7.) FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- 8.) THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- 9.) THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- 10.) THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- 11.) IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- 12.) THIS IS NOT A BOUNDARY SURVEY.
- 13.) THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

Soil	Group	Slope	Area	Acres	Factor	GPD
CsB	2	3-8%	96337	2.189	1.30	3367.133
CsC	2	8-15%	324681	7.454	1.43	10424.89
CsD	2	15-25%	101706	2.335	1.58	2993.395
CsE	2	25-50%	61285	1.407	1.69	1064.982
HcC	4	8-15%	9546	0.219	1.6	273.9325
HcD	4	15-25%	8215	0.143	1.73	164.9442
HcE	4	25-50%	13890	0.319	1.9	335.6532
HcF	4	25-50%	48207	1.107	1.90	1164.927
LeB	5	3-8%	25917	0.595	3.00	396.6483
LeC	5	8-15%	9488	0.218	N/A	
LeD	5	15-25%	5260	0.121	N/A	
Sub	3	3-8%	55882	1.283	1.6	1803.593
SuC	3	8-15%	98220	2.255	1.76	2562.297
SuD	3	15-25%	32872	0.750	1.73	867.1051
Total GPD						25819.3

FOR TOWN APPROVAL PURPOSES :

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REMOTE VENT DETAIL

SOILS:

- CsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
 - HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
 - HcC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
 - WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES
- SEE WEBSOIL USDA-NRCS

CALCULATIONS :

- XX BEDROOM HOUSE, XXX GPD USE 1250 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM A.J. FOSS OR EQUIV.)
- XX MIN/IN MEASURED PERC RATE
- XX MIN/IN DESIGN PERC RATE
- XX - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED
- XX - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE
- XX - TOTAL NUMBER OF 10' SECTIONS OF ADV. ENVIRO SEPTIC PIPE REQUIRED
- XX ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW XX' LONG

ELEVATIONS :

- XXX.00 - HIGH POINT OF LEACH BED
- XXX.00 - S.H.W.T.
- N/A - IMPERVIOUS LAYER
- XXX.00 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

PLAN INTENT :

THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED XXXXXXXXXX THE HIGH POINT OF THE EXISTING LAND.

IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

WETNOTE :

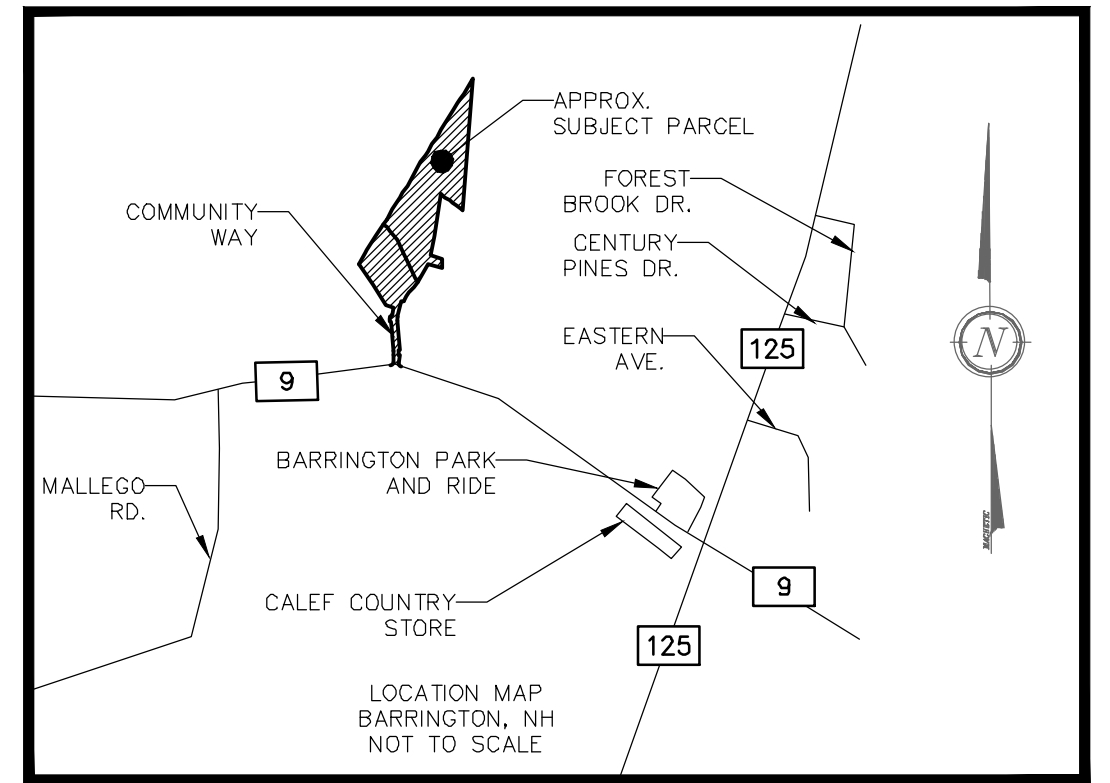
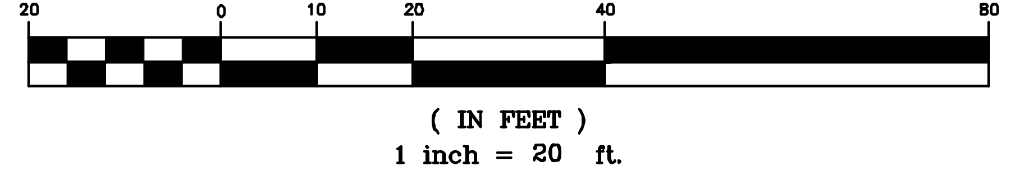
THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:

JOHN P. HAYES III

CAUTION !!!!!

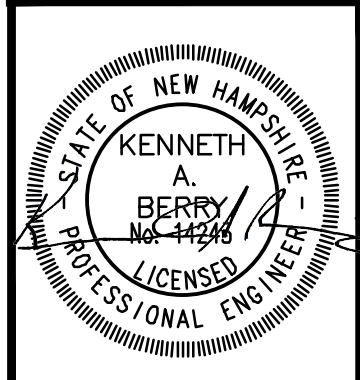
ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

GRAPHIC SCALE

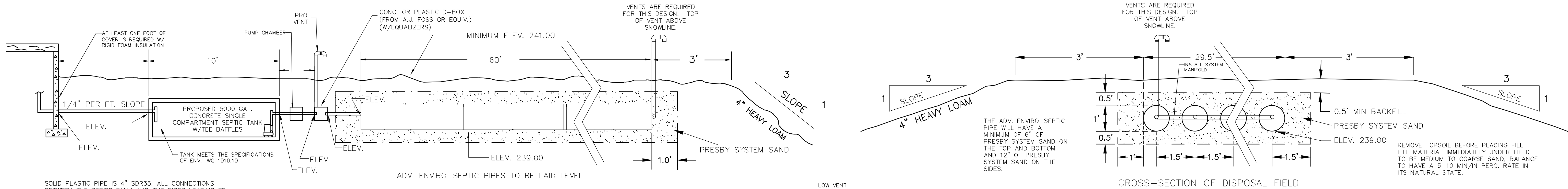


REVISION	DATE	DESCRIPTION

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 6A)



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



PROFILE OF SEPTIC SYSTEM

CROSS-SECTION OF DISPOSAL FIELD

NOTES:

- OWNER: DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVENUE
DOVER, NH 03820
- DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.
B.) 743,421 Sq. Ft. 17.07 Ac.
- S.C.R.D. A.) BOOK 4816 PAGE 500
B.) BOOK 4816 PAGE 504
- SUBDIVISION STATUS: OVER 5 ACRES
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- THIS IS NOT A BOUNDARY SURVEY.
- THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

Soil	Group	Slope	Area	Acres	Factor	GPD
CsB	2	3-8%	96337	2.189	1.30	3367.133
CsC	2	8-15%	324681	7.454	1.43	10424.69
CsD	2	15-25%	101706	2.335	1.58	2993.395
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Sub	3	3-8%	55882	1.283	1.6	1803.593
SuC	3	8-15%	98220	2.255	1.76	2562.297
SuD	3	15-25%	32872	0.750	1.73	867.1051
Total GPD						25819.3

CALCULATIONS :

7 (2) BEDROOM UNITS, 2,100 GPD
US A 5,000 GAL. & 4,000 GAL. SINGLE COMPARTMENT
CONCRETE SEPTIC TANK
(FROM SHEA CONCRETE OR EQUIV.)

6 MIN./IN MEASURED PERC RATE
6 MIN./IN DESIGN PERC RATE

1,155 - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED
1,200 - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE
120 - TOTAL NUMBER OF 10' SECTIONS OF
ADV. ENVIRO SEPTIC PIPE REQUIRED
20 ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW 60' LONG

TEST PIT DATA:

TEST PIT #323

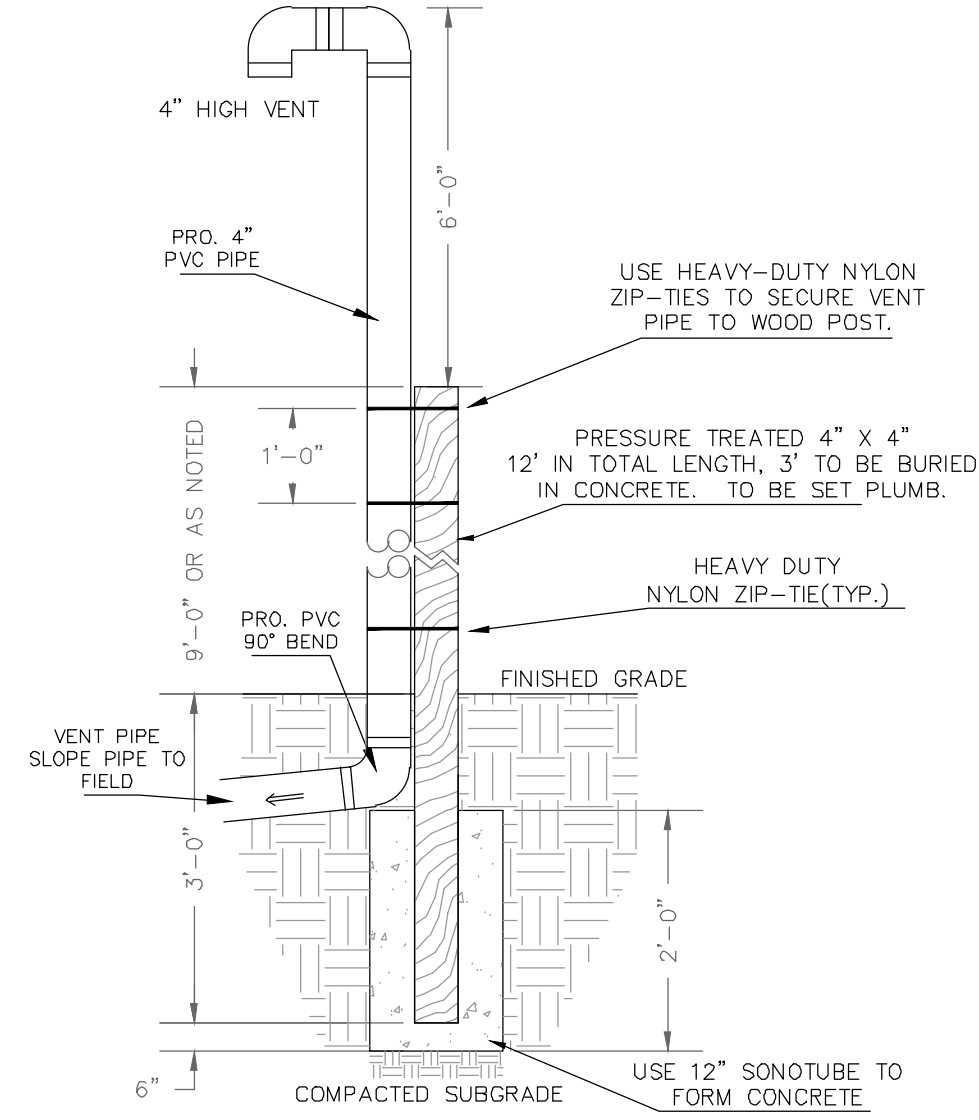
0-0.4' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
0.4-2.3' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
REFUSAL @ 2.3'

S.H.W.T. N/A
GROUND WATER N/A
TERMINATED @ 2.3'
PERC. RATE = 6 MIN./IN.

SOILS:

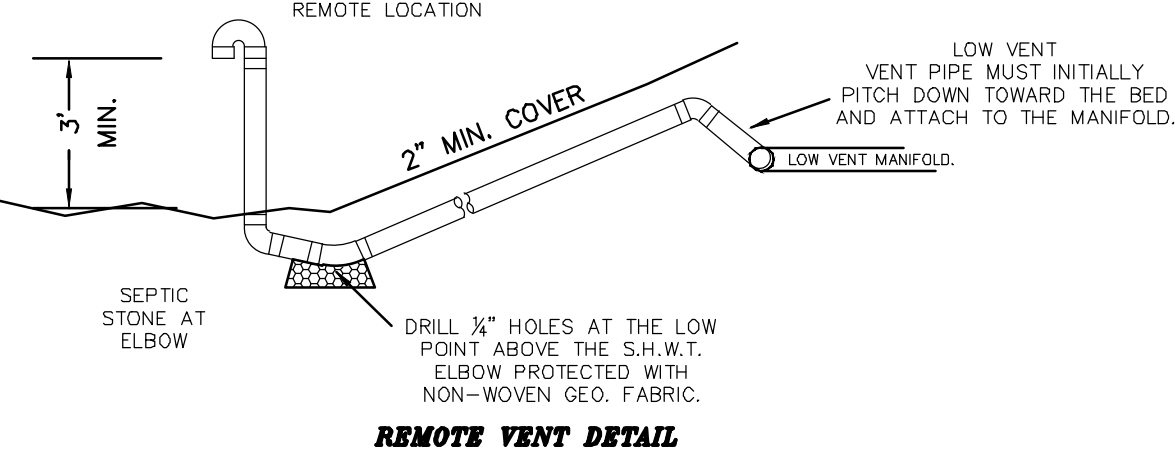
GsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
HdC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES

SEE WEBSOIL USDA-NRCS



HIGH VENT DETAIL

NOT TO SCALE



WETNOTE :

THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:

JOHN P. HAYES III

ELEVATIONS :

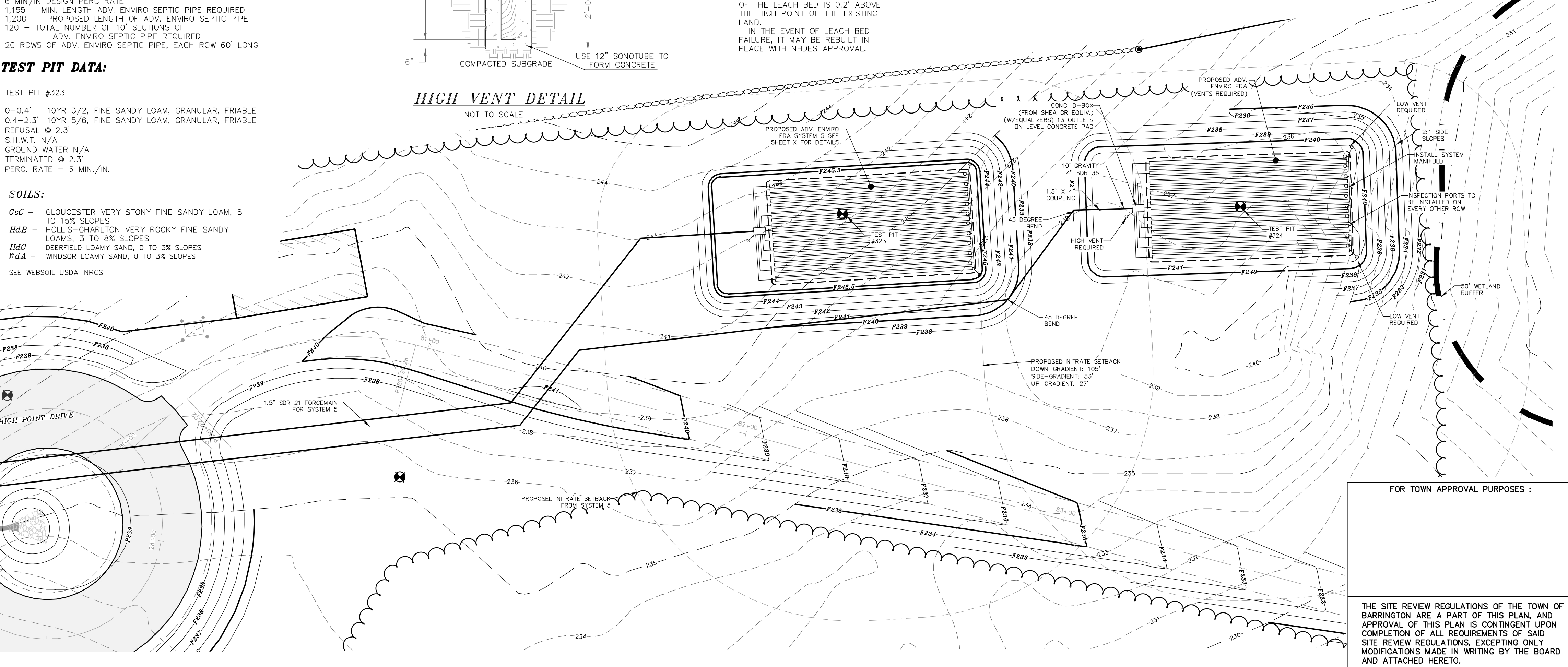
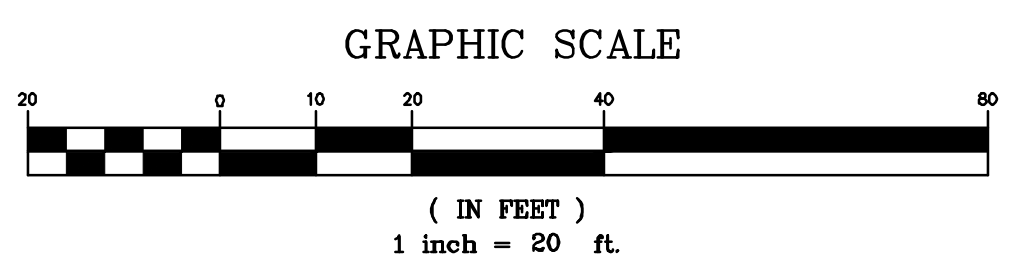
238.50 - HIGH POINT OF LEACH BED
236.20 - S.H.W.T. (REFUSAL)
N/A - IMPERVIOUS LAYER
238.70 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

PLAN INTENT :

THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED IS 0.2' ABOVE THE HIGH POINT OF THE EXISTING LAND.
IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

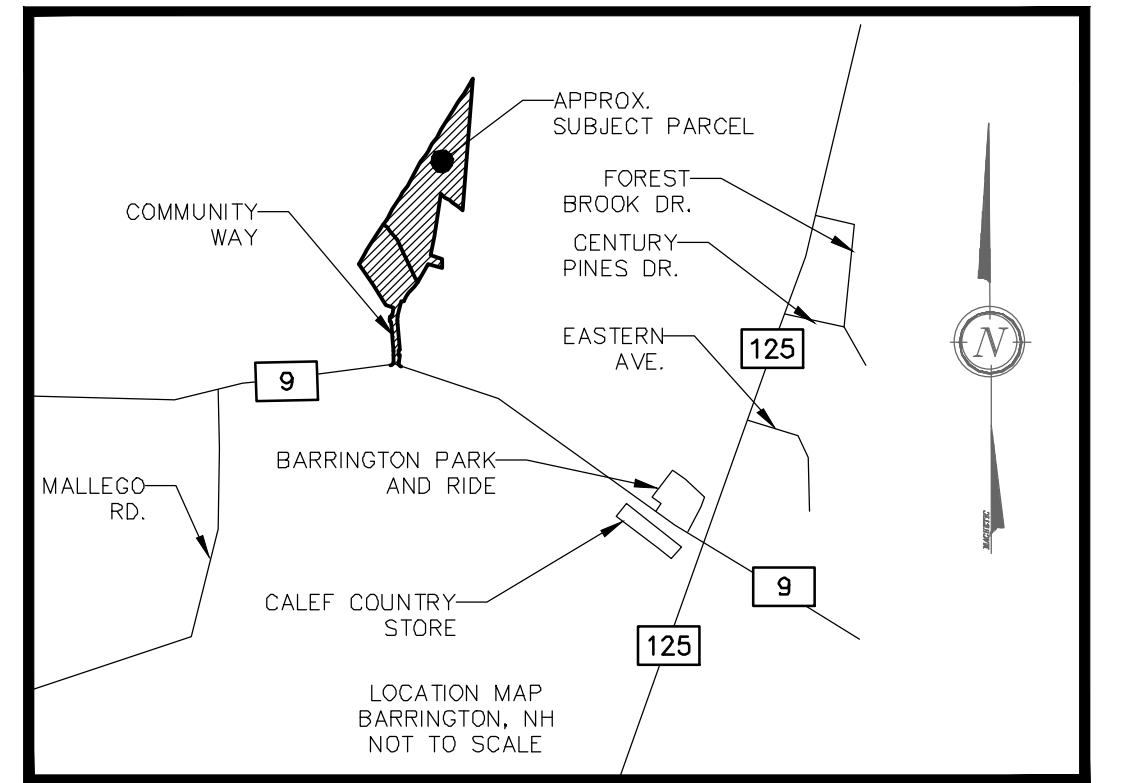
CAUTION !!!!

ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.



FOR TOWN APPROVAL PURPOSES :

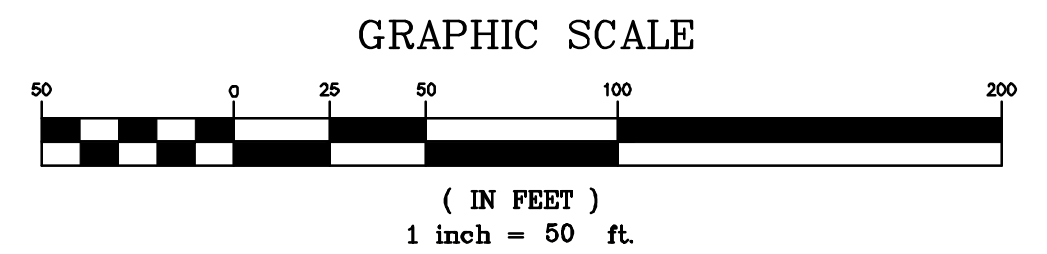
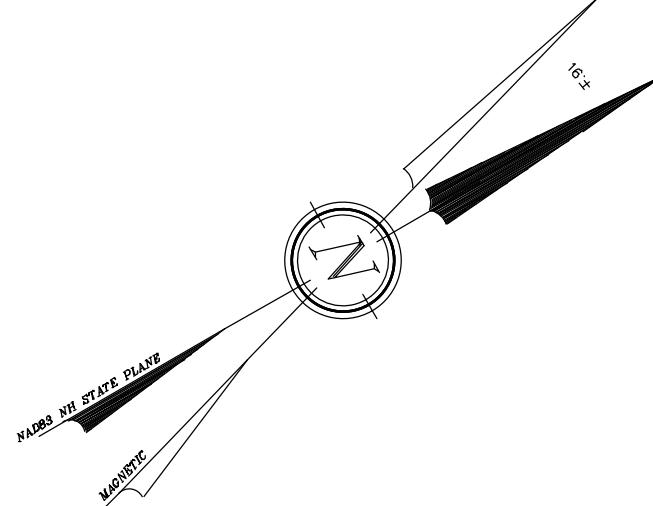
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



REVISION	DATE	DESCRIPTION
PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 6B)		
<p>BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. 332-2863</p> <p>SCALE : 1 IN. EQUALS 20 FT. DATE : JUNE 14, 2021 FILE NO. : DB 2020 - 097</p>		

NOTES:

- 1.) OWNER & APPLICANT:
 - A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF UTILITIES AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

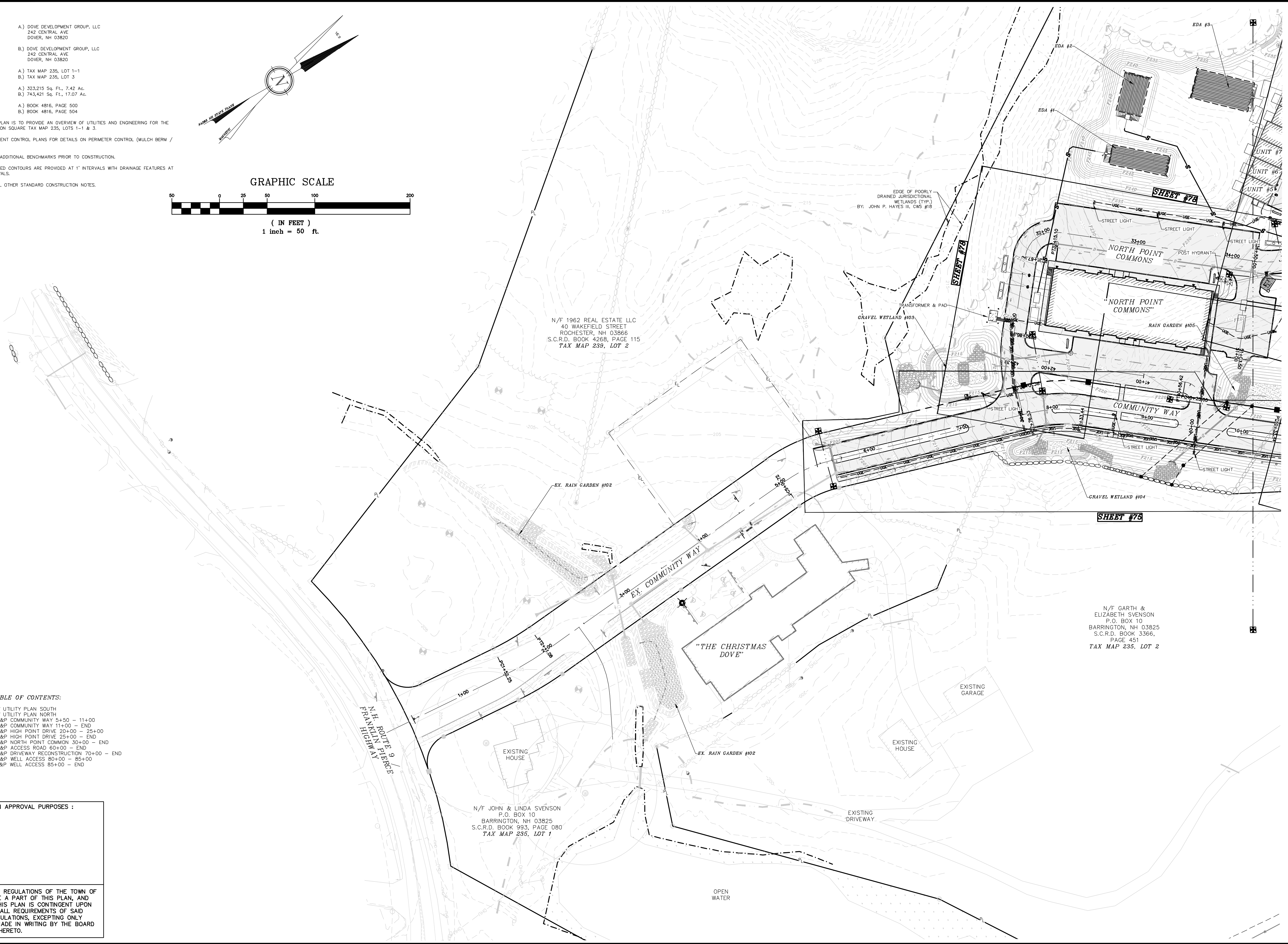


UTILITY PLAN TABLE OF CONTENTS:

SHEET #72:	OVERVIEW UTILITY PLAN SOUTH
SHEET #73:	OVERVIEW UTILITY PLAN NORTH
SHEET #74:	UTILITY P&P COMMUNITY WAY 5+50 - 11+00
SHEET #75:	UTILITY P&P HIGH POINT DRIVE 20+00 - 25+00
SHEET #76:	UTILITY P&P HIGH POINT DRIVE 25+00 - 30+00
SHEET #77:	UTILITY P&P NORTH POINT COMMON 30+00 - 35+00
SHEET #78:	UTILITY P&P ACCESS ROAD 60+00 - 65+00
SHEET #79:	UTILITY P&P DRIVEWAY RECONSTRUCTION 70+00 - 75+00
SHEET #80:	UTILITY P&P WELL ACCESS 80+00 - 85+00
SHEET #81:	UTILITY P&P WELL ACCESS 85+00 - 90+00

FOR TOWN APPROVAL PURPOSES :

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N/F 1962 REAL ESTATE LLC
40 WAKEFIELD STREET
ROCHESTER, NH 03866
S.C.R.D. BOOK 4268, PAGE 115
TAX MAP 239, LOT 2

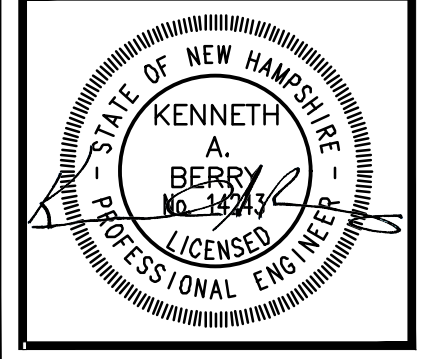
N/F JOHN & LINDA SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 993, PAGE 080
TAX MAP 235, LOT 1

N/F GARTH &
ELIZABETH SVENSON
P.O. BOX 10
BARRINGTON, NH 03825
S.C.R.D. BOOK 3366,
PAGE 451
TAX MAP 235, LOT 2

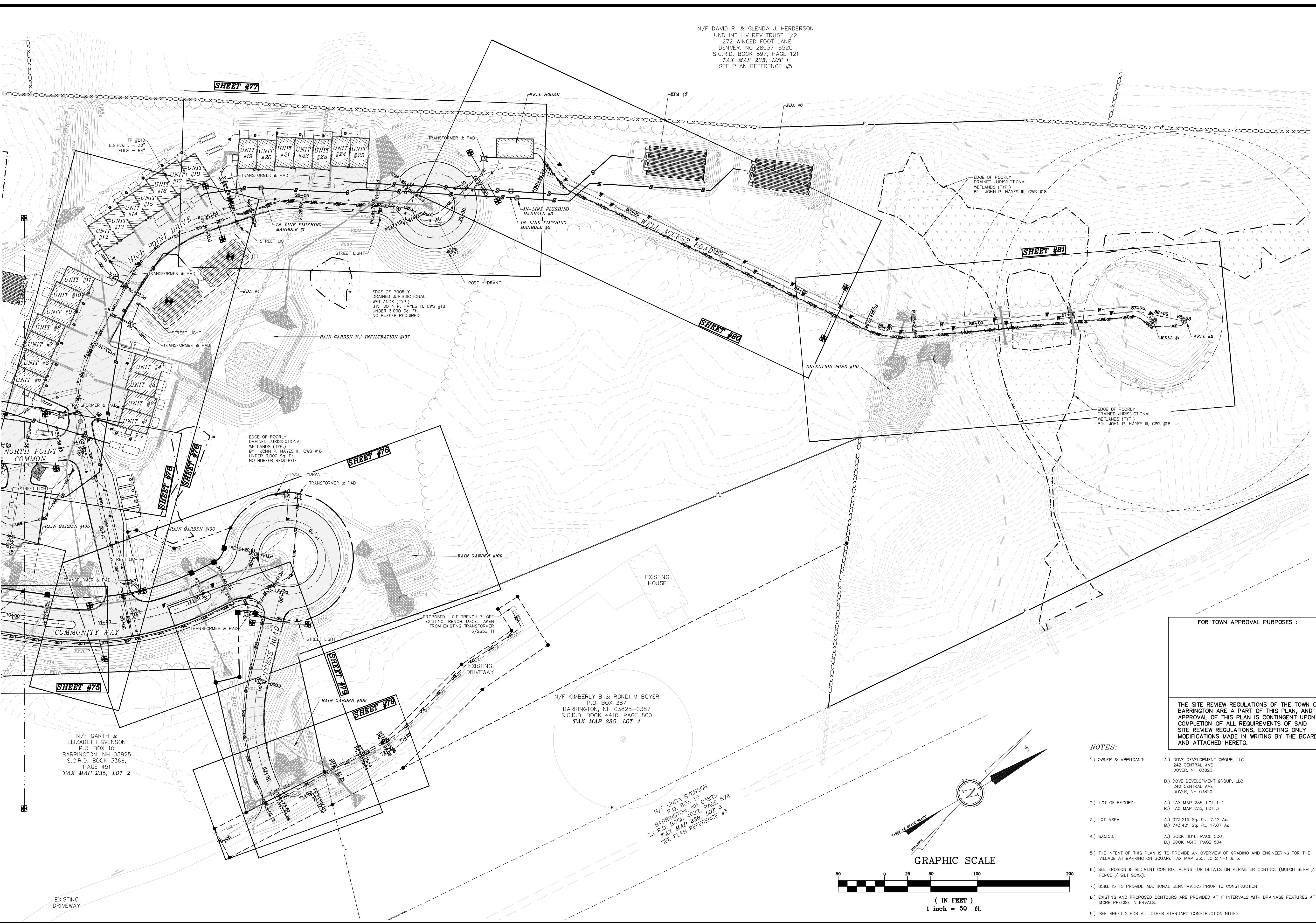
REVISION	DATE	DESCRIPTION

OVERVIEW UTILITY PLAN SOUTH
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



N/F DAVID R. & GLENDA J. HERDERSON
 UND INT LIV TRUST 1/2
 1272 WINGED FOOT LANE
 DENVER, NC 28037-6520
 S.C.R.D. BOOK 897, PAGE 121
 TAX MAP 235, LOT 1
 SEE PLAN REFERENCE #5



N/F GARTH & ELIZABETH SVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 3366,
 PAGE 451
 TAX MAP 235, LOT 2

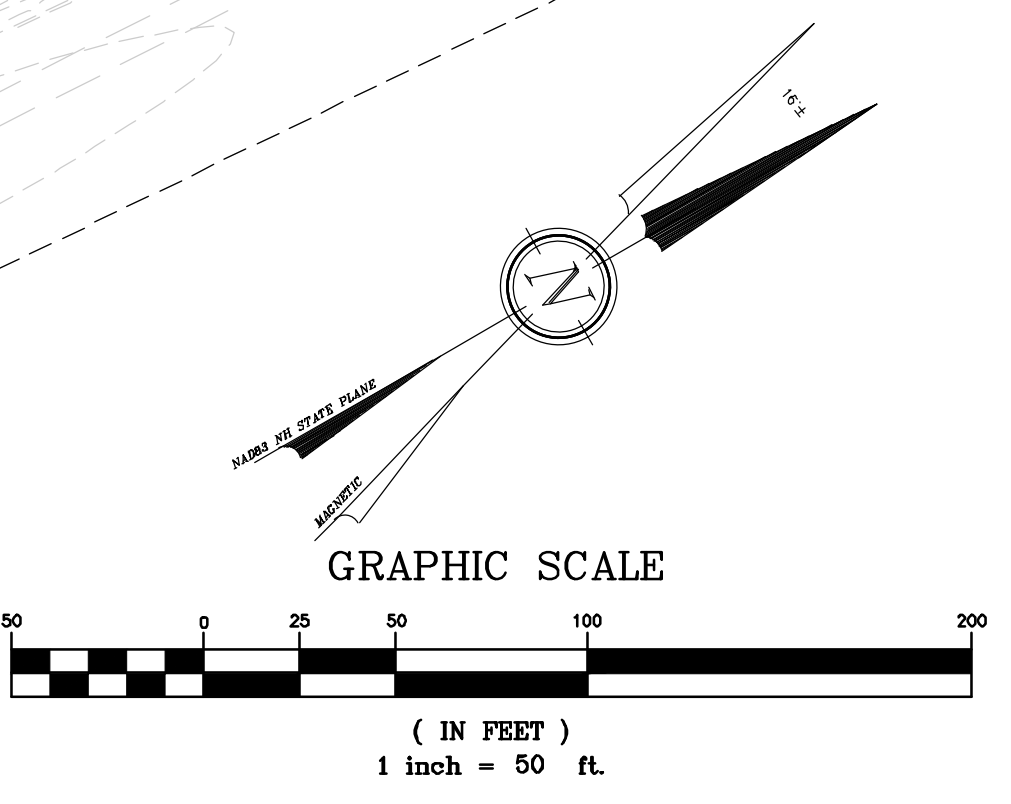
N/F KIMBERLY B & RONDI M BOYER
 P.O. BOX 387
 BARRINGTON, NH 03825-0387
 S.C.R.D. BOOK 4410, PAGE 800
 TAX MAP 235, LOT 4

N/F LINDA SVENSON
 P.O. BOX 10
 BARRINGTON, NH 03825
 S.C.R.D. BOOK 4022, PAGE 576
 TAX MAP 235, LOT 3
 SEE PLAN REFERENCE #5

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

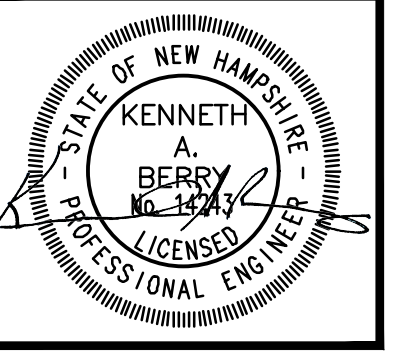
- NOTES:
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE, TAX MAP 235, LOTS 1-1 & 3.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



REVISION	DATE	DESCRIPTION

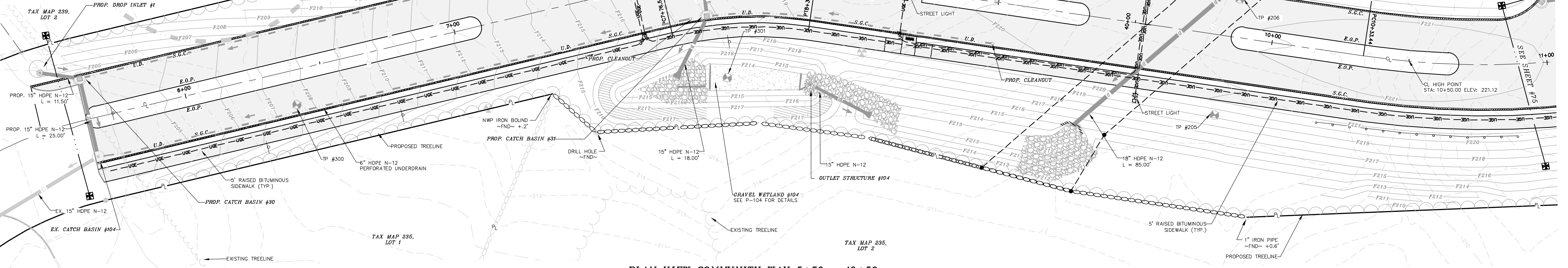
OVERVIEW UTILITY PLAN NORTH
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 50 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



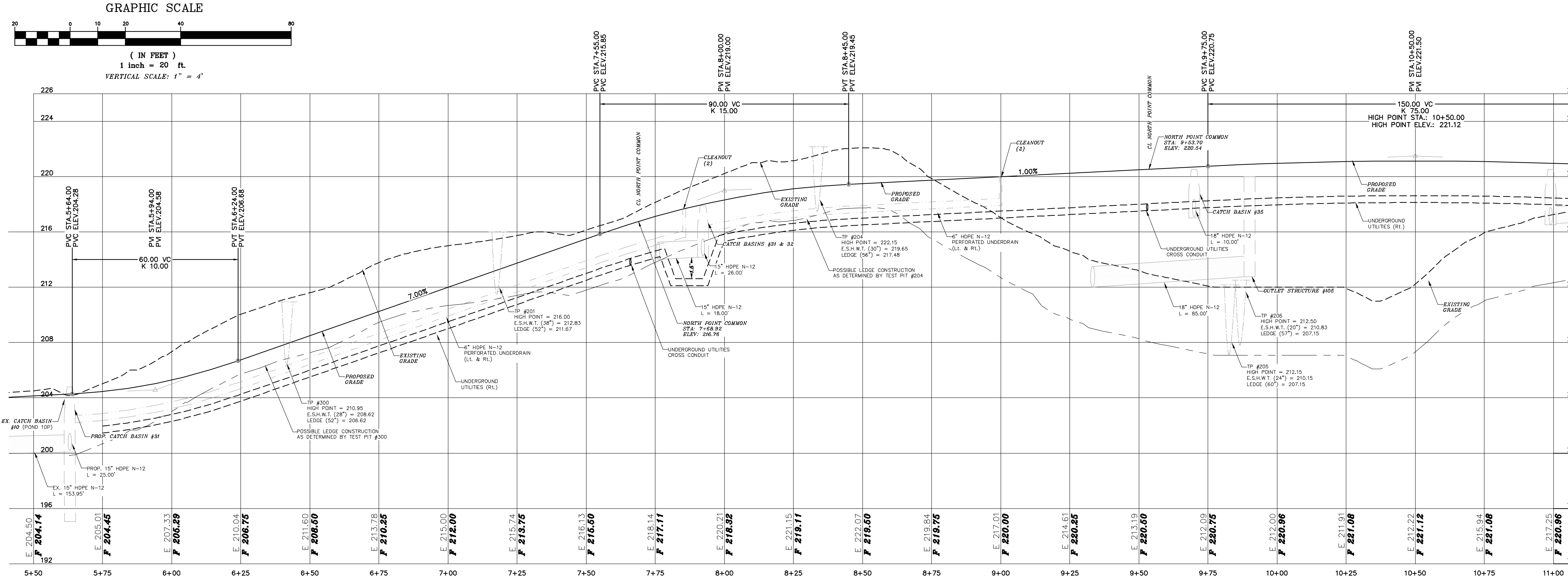
NOTES:

- 1.) OWNER & APPLICANT:
 - A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
 - A.) 323,215 Sq. Ft., 7.42 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 300
 - B.) BOOK 4816, PAGE 304
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOAK).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW COMMUNITY WAY 5+50 - 10+50

PROFILE VIEW COMMUNITY WAY 5+50 - 10+50



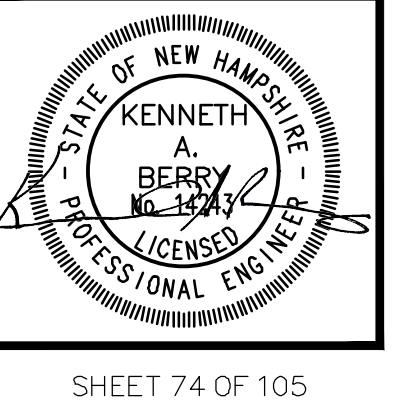
FOR TOWN APPROVAL PURPOSES:

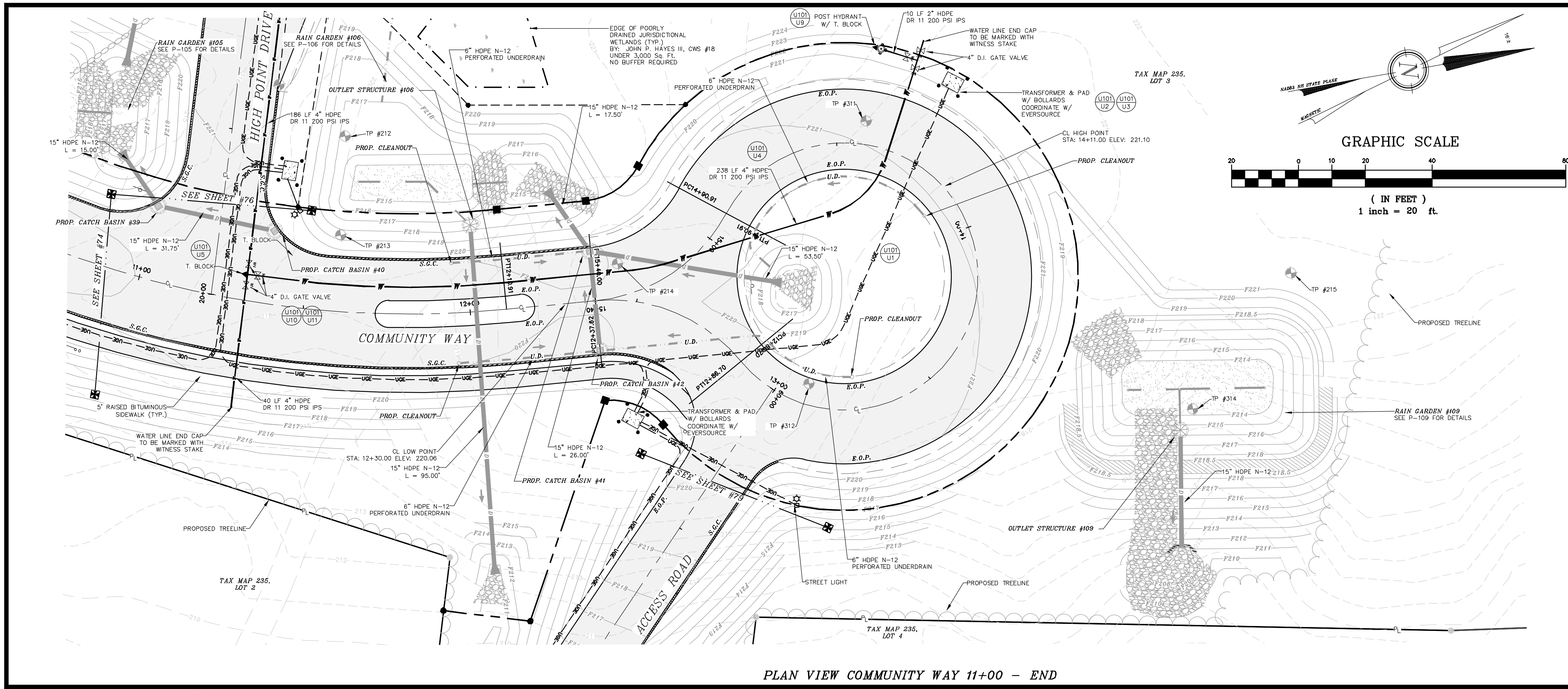
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

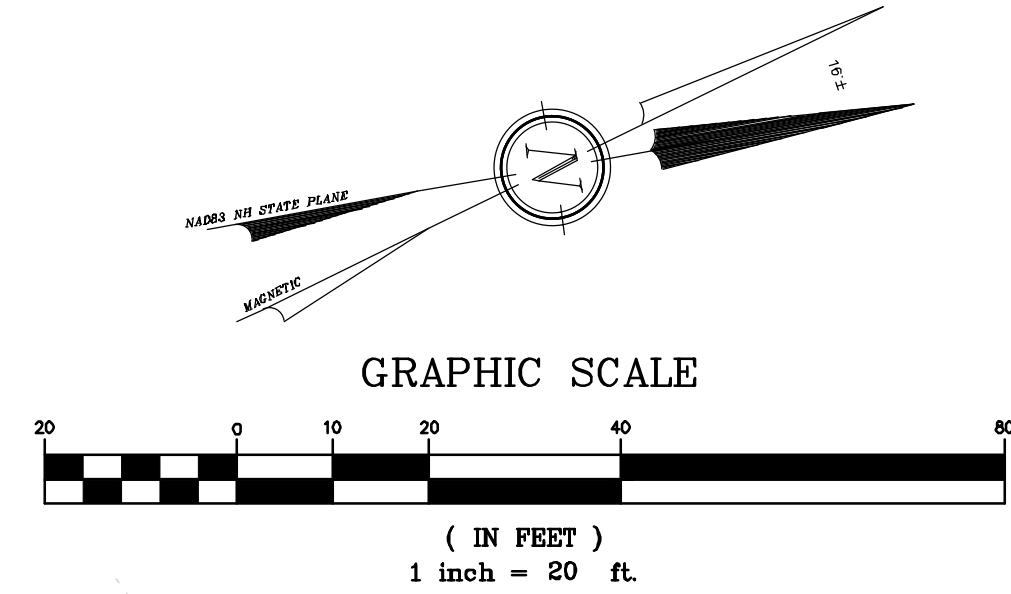
UTILITY
 PLAN AND PROFILE COMMUNITY WAY 5+50 - 11+00
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE: 1 IN. EQUALS 20 FT.
 DATE: JUNE 14, 2021
 FILE NO.: DB 2020 - 097





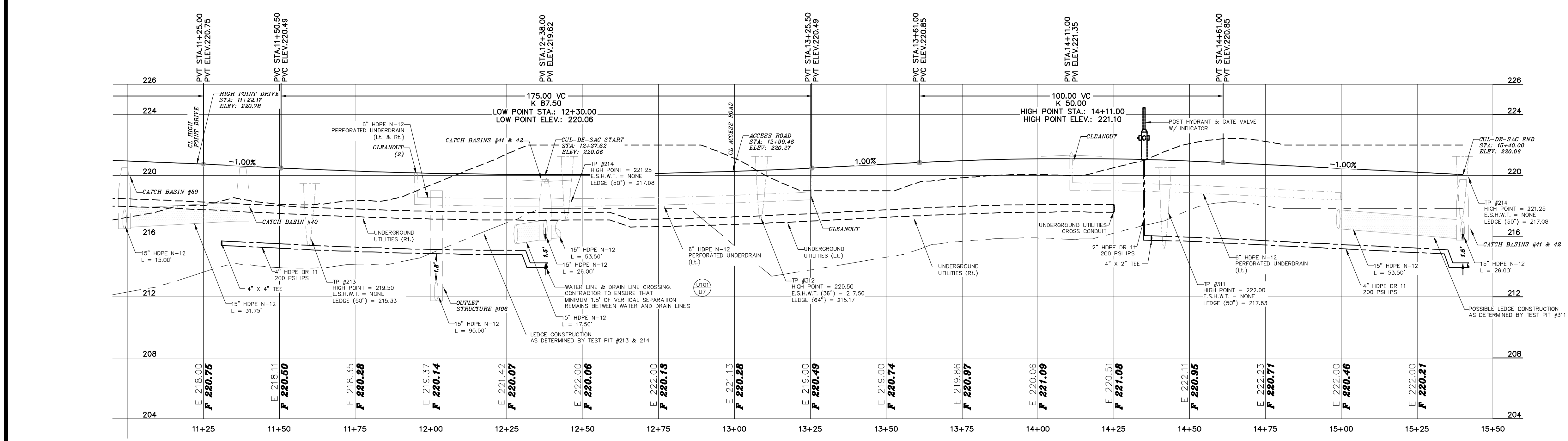
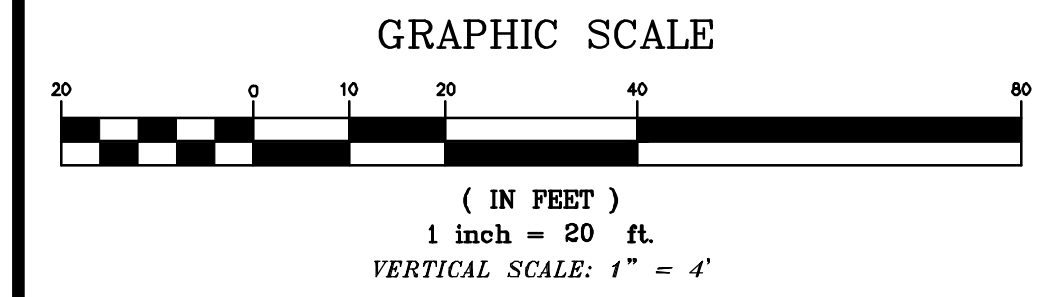
- NOTES:
- OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A) TAX MAP 235, LOT 1-1
B) TAX MAP 235, LOT 3
 - LOT AREA: A) 323,215 Sq. Ft., 7.42 AC.
B) 743,421 Sq. Ft., 17.07 AC.
 - S.C.R.D.: A) BOOK 4816, PAGE 500
B) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

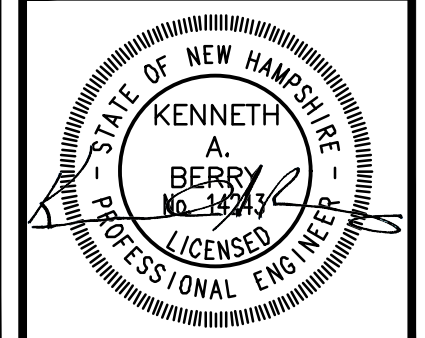
PROFILE VIEW COMMUNITY WAY 11+00 - END



UTILITY

PLAN AND PROFILE COMMUNITY WAY 11+00 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

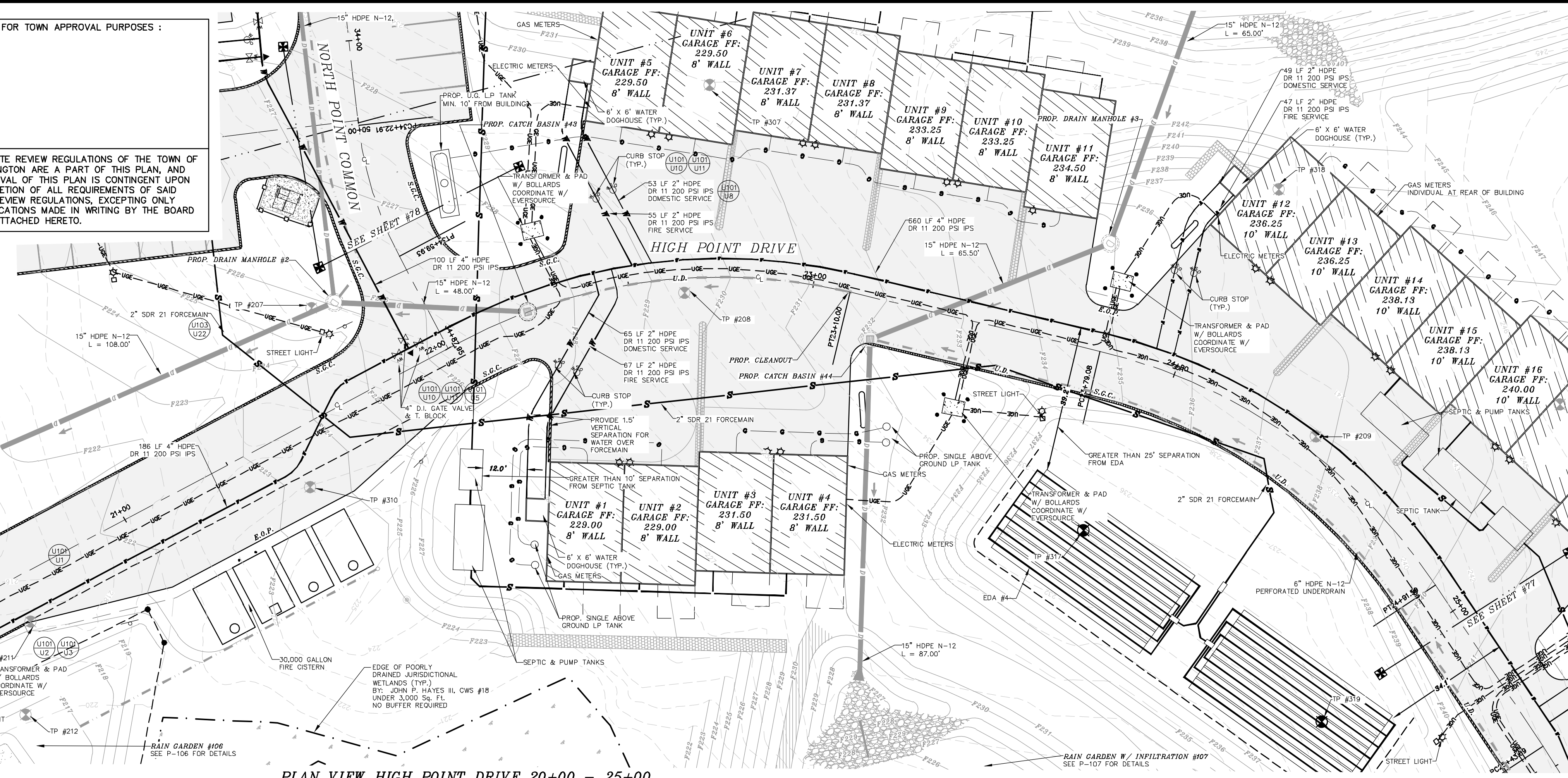
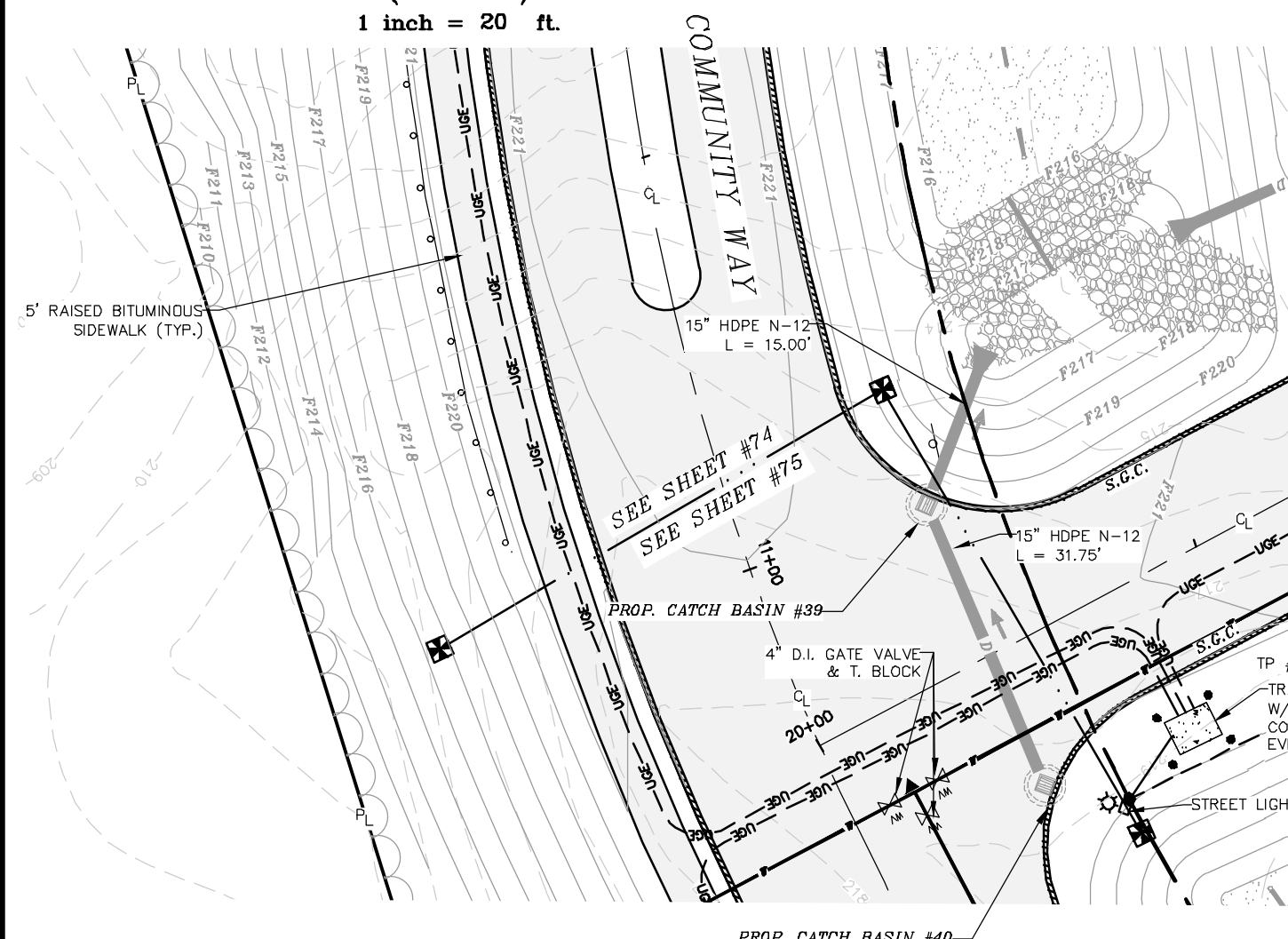
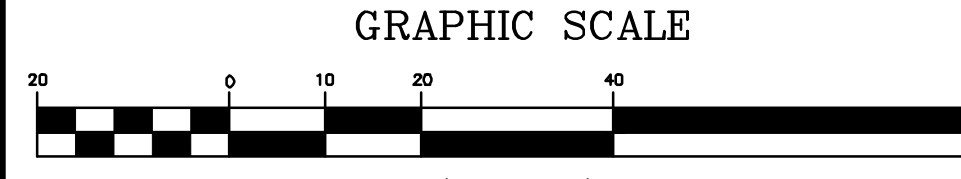


NOTES:

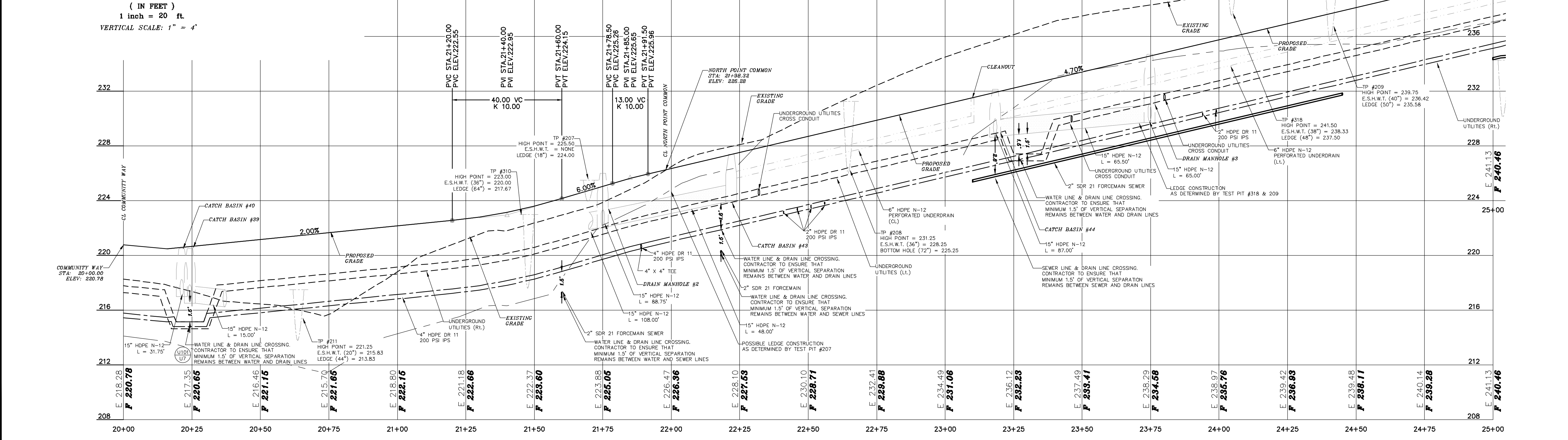
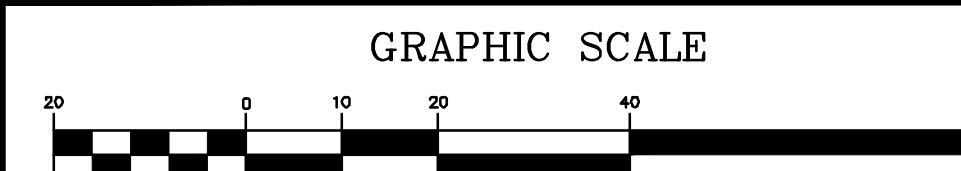
- 1.) OWNER & APPLICANT:
 - A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
- 2.) LOT OF RECORD:
 - A.) TAX MAP 235, LOT 1-1
 - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
 - A.) 333,215 Sq. Ft., 7.43 Ac.
 - B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
 - A.) BOOK 4816, PAGE 500
 - B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF HIGH POINT DRIVE AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCKS).
- 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



PLAN VIEW HIGH POINT DRIVE 20+00 - 25+00

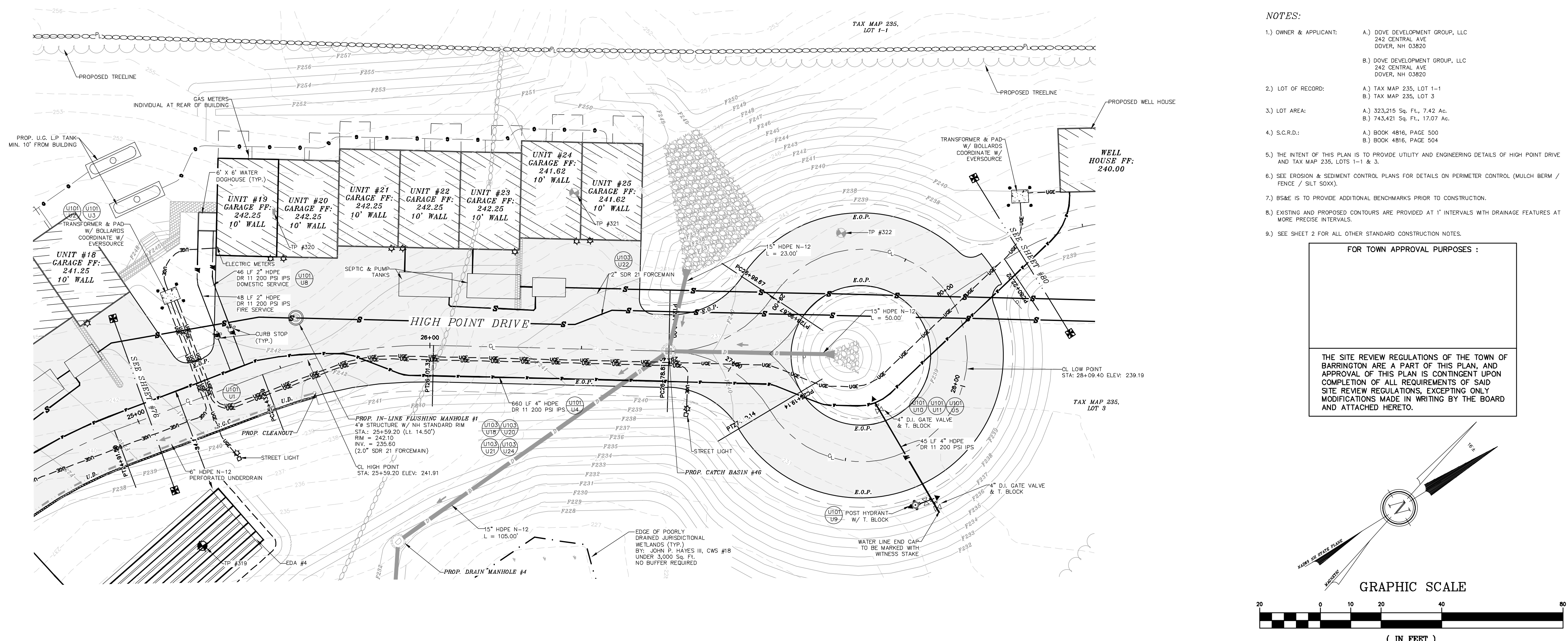


PROFILE VIEW HIGH POINT DRIVE 20+00 - 25+00

REVISION	DATE	DESCRIPTION

UTILITY
 PLAN AND PROFILE HIGH POINT DRIVE 20+00 - 25+00
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

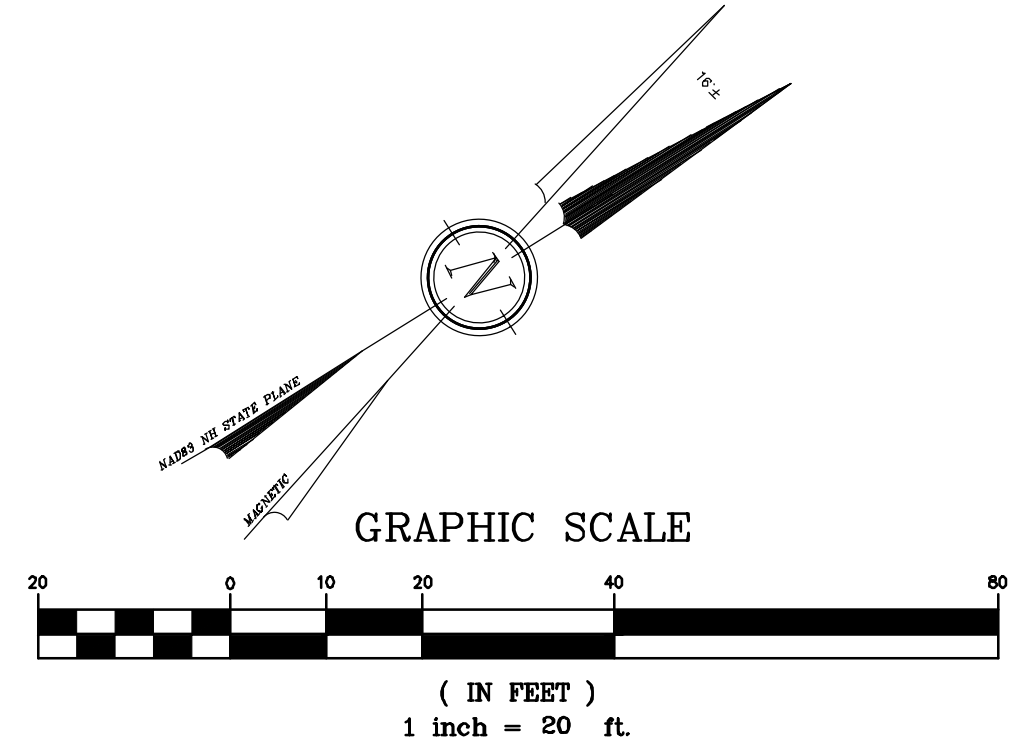
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



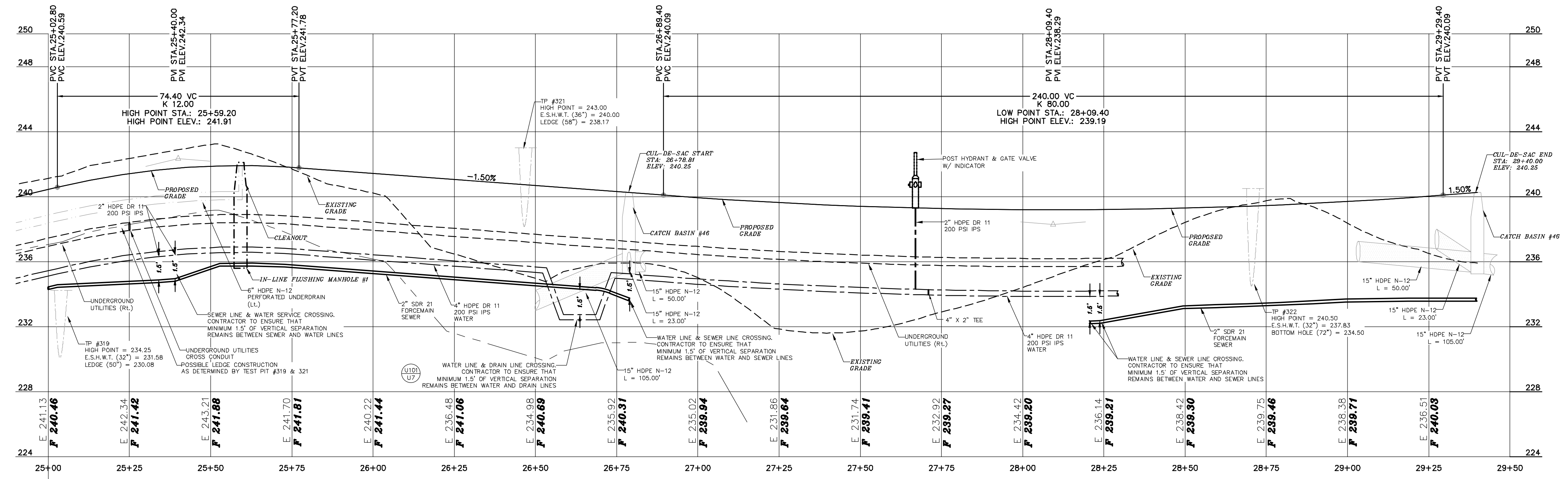
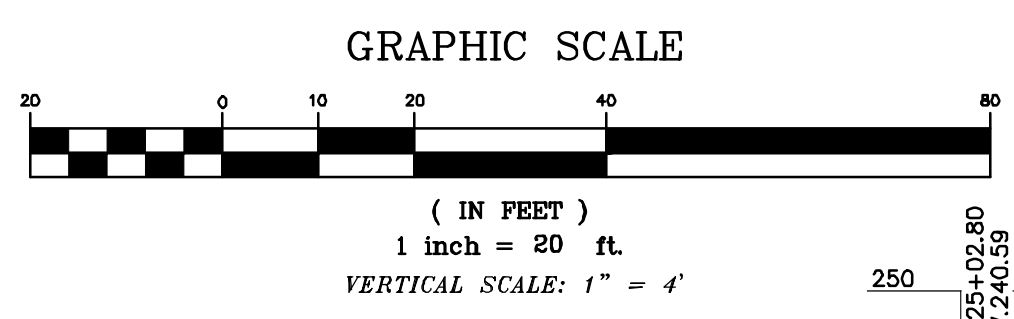
- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF HIGH POINT DRIVE AND TAX MAP 235, LOTS 1-1 & 3.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



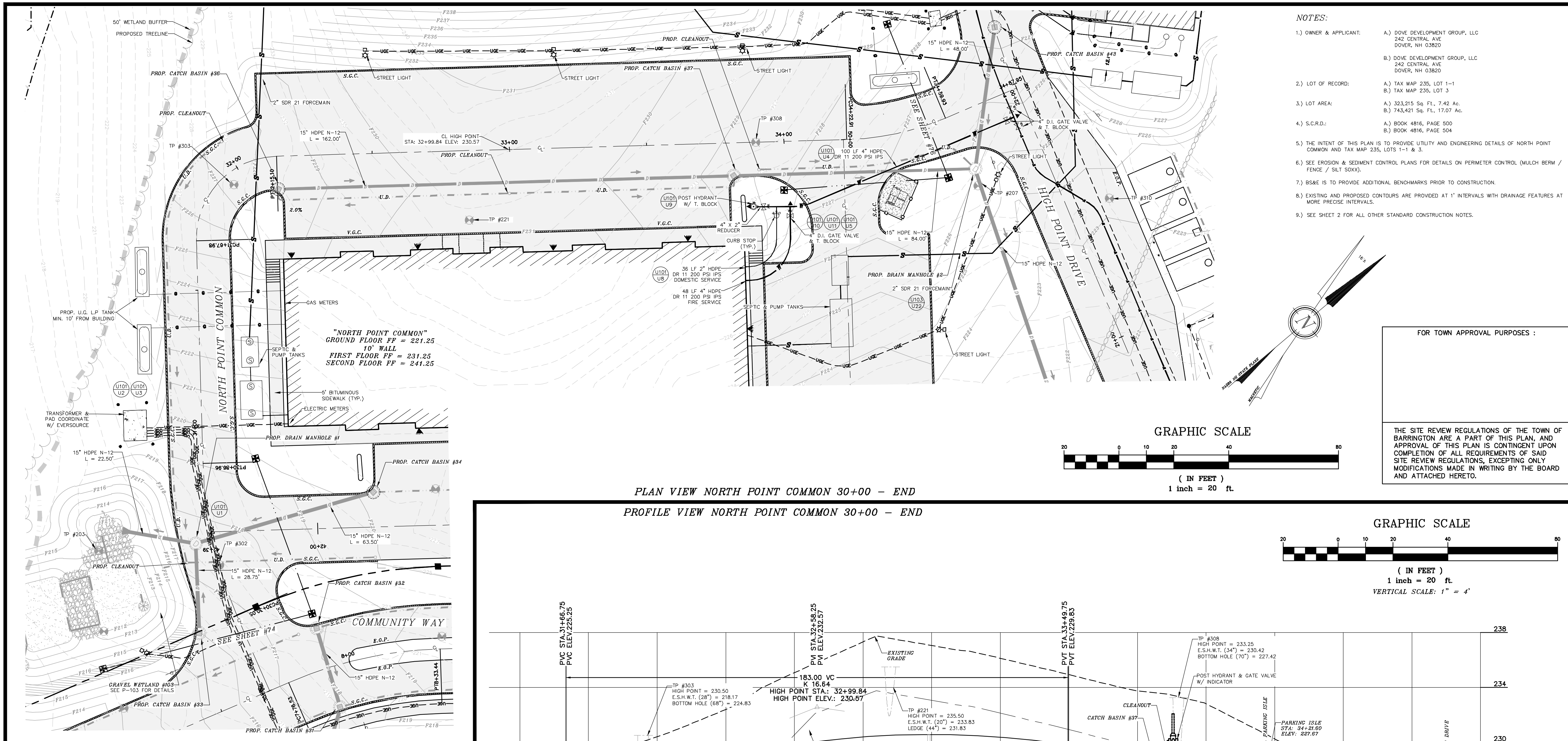
PLAN VIEW HIGH POINT DRIVE 25+00 - END
PROFILE VIEW HIGH POINT DRIVE 25+00 - END



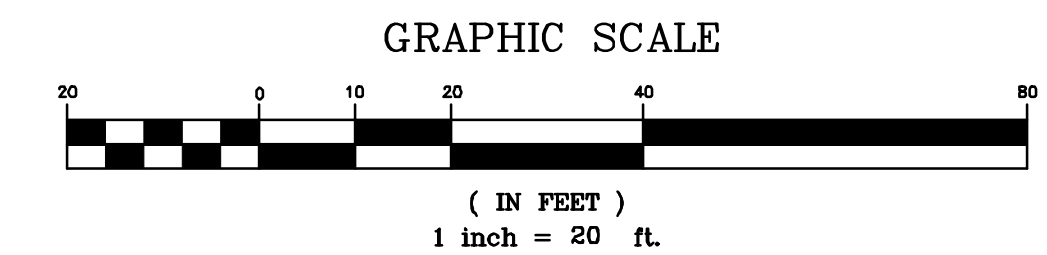
REVISION	DATE	DESCRIPTION

UTILITY
PLAN AND PROFILE HIGH POINT DRIVE 25+00 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



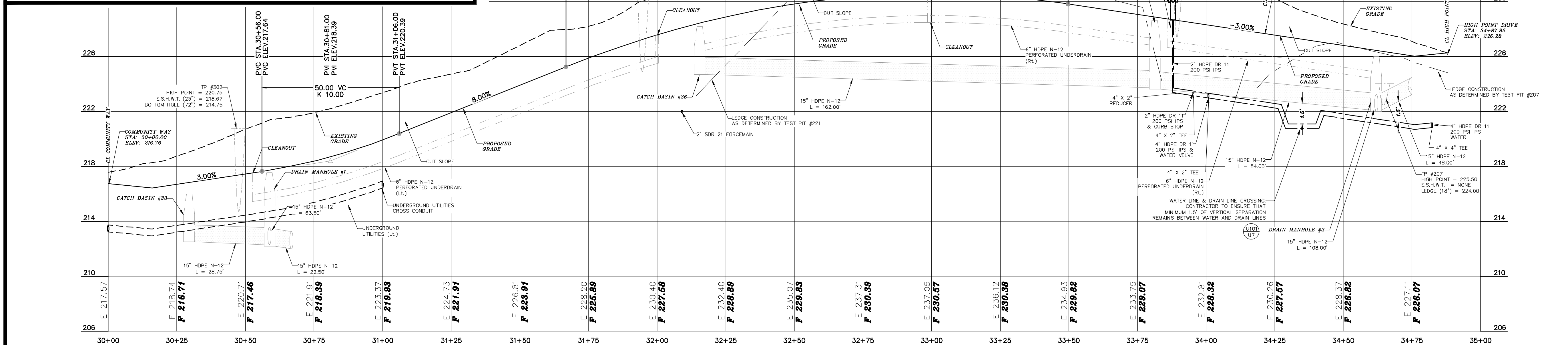
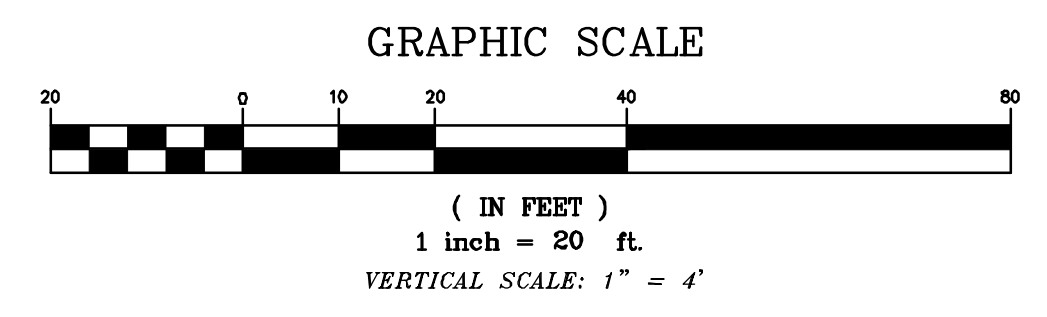
- NOTES:**
- 1.) OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A) TAX MAP 235, LOT 1-1
B) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.
B) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A) BOOK 4816, PAGE 500
B) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF NORTH POINT COMMON AND TAX MAP 235, LOTS 1-1 & 3.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
 - 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

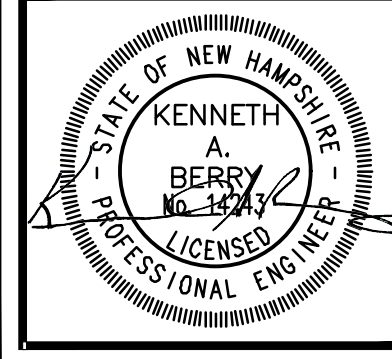
PLAN VIEW NORTH POINT COMMON 30+00 - END
PROFILE VIEW NORTH POINT COMMON 30+00 - END

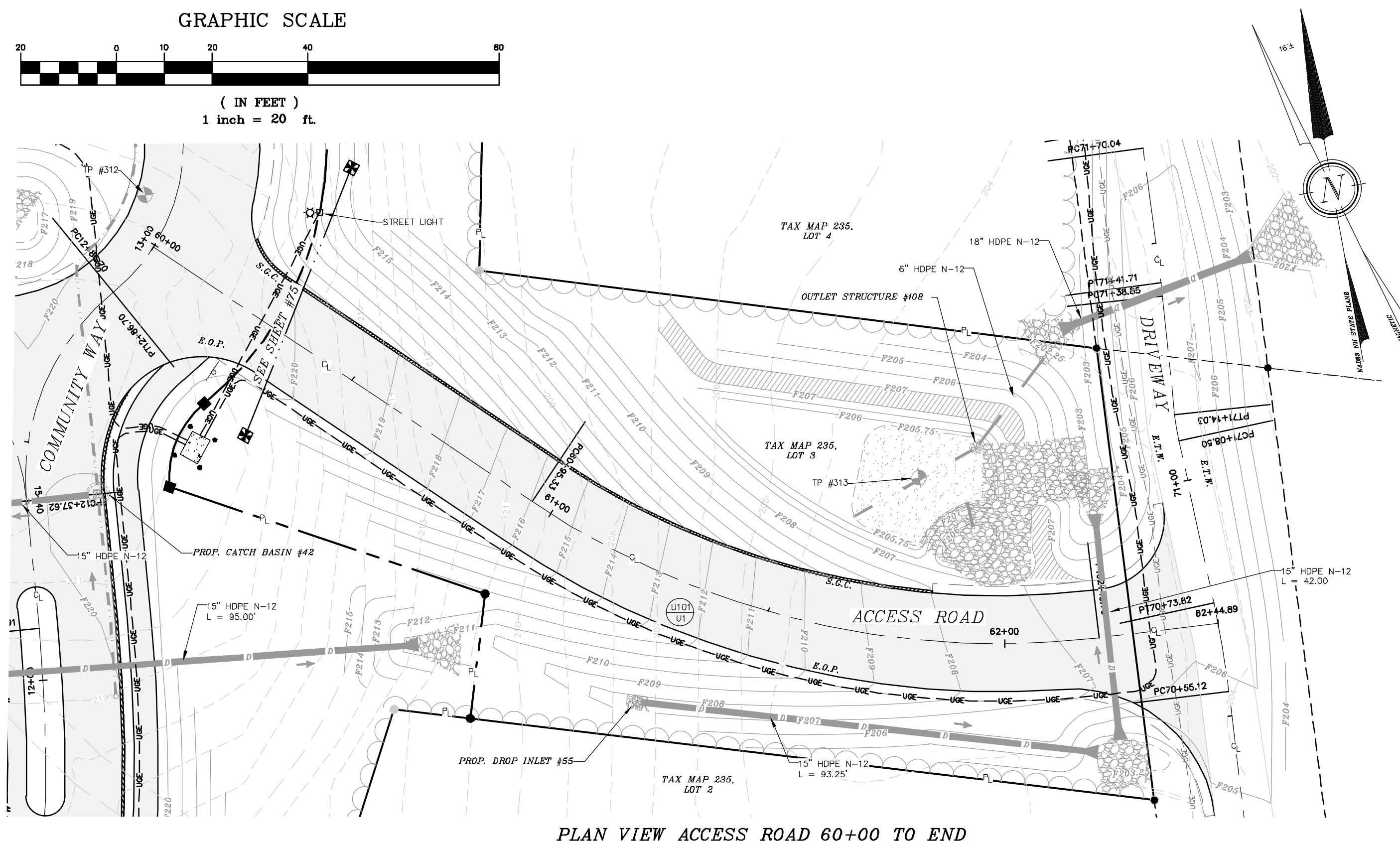


REVISION	DATE	DESCRIPTION

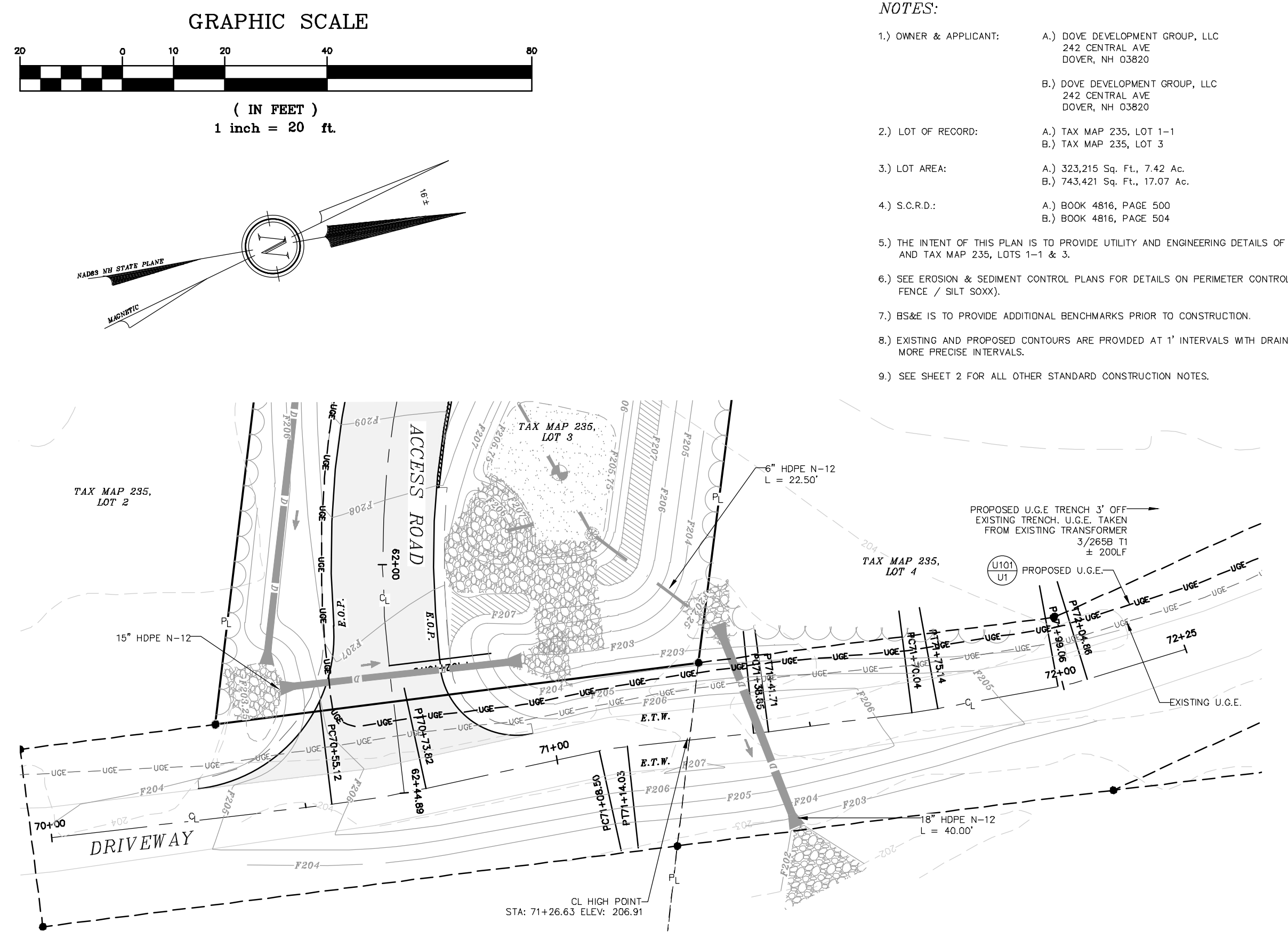
UTILITY
PLAN AND PROFILE NORTH POINT COMMONS 30+00 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

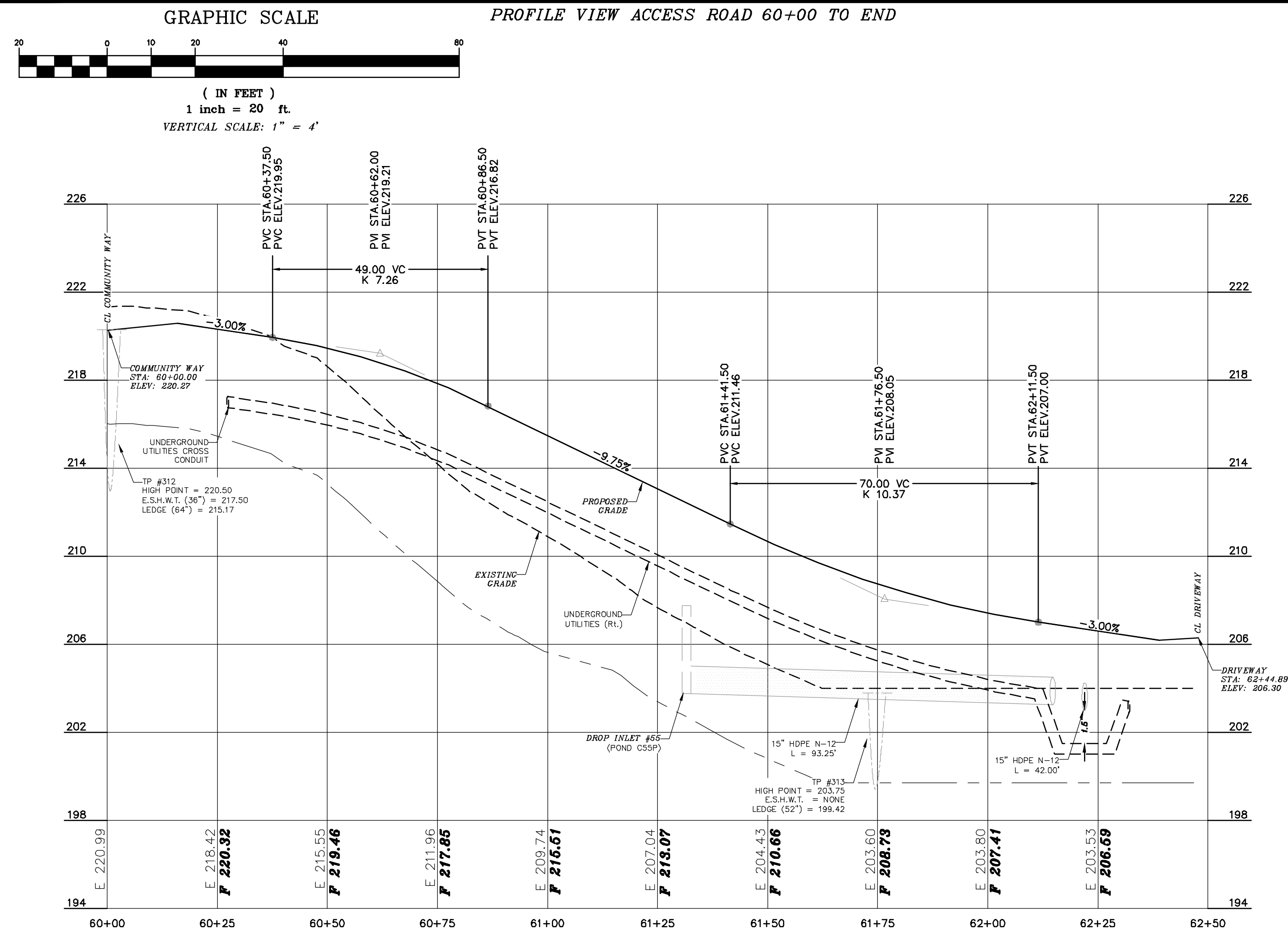




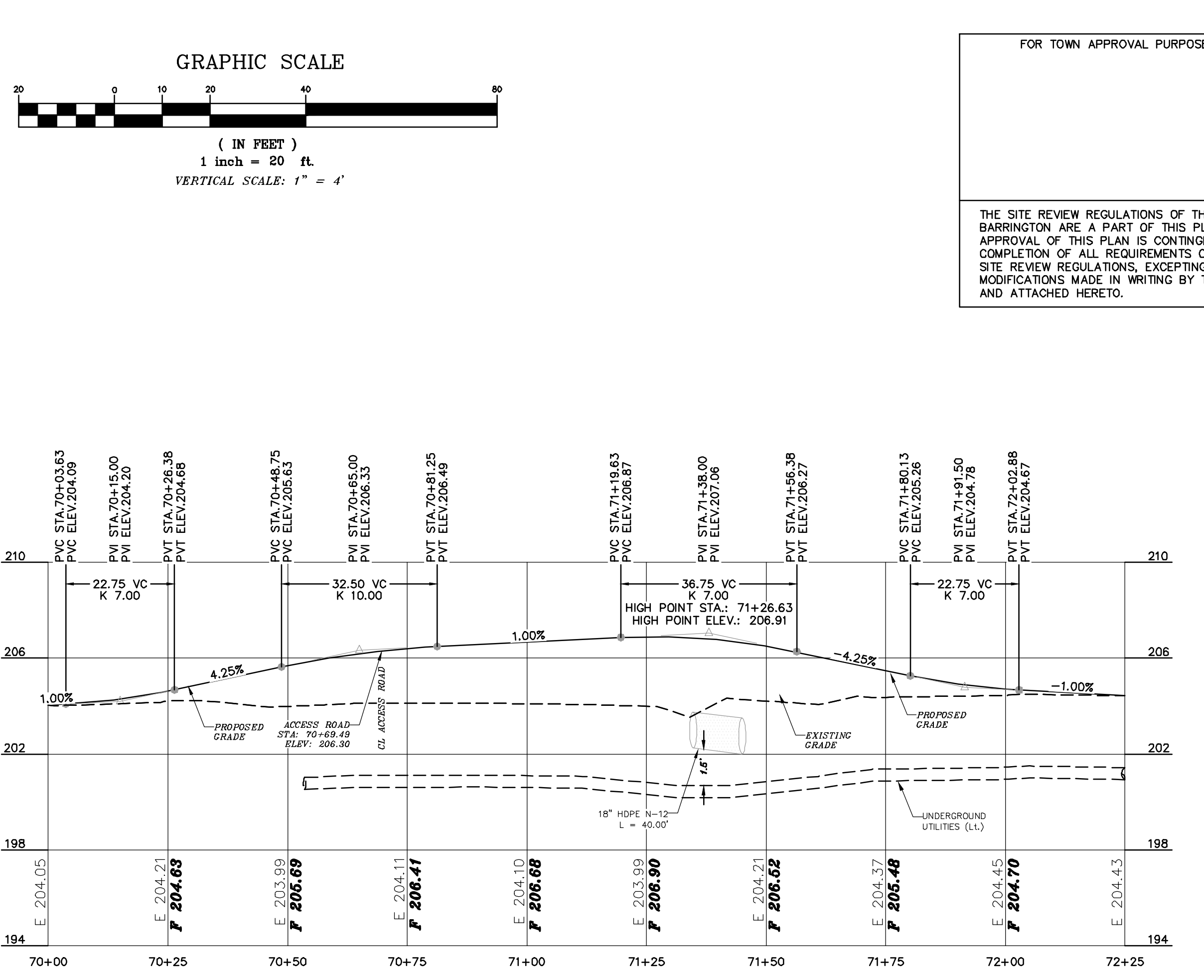
PLAN VIEW ACCESS ROAD 60+00 TO END



- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,216 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PROFILE VIEW ACCESS ROAD 60+00 TO END



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

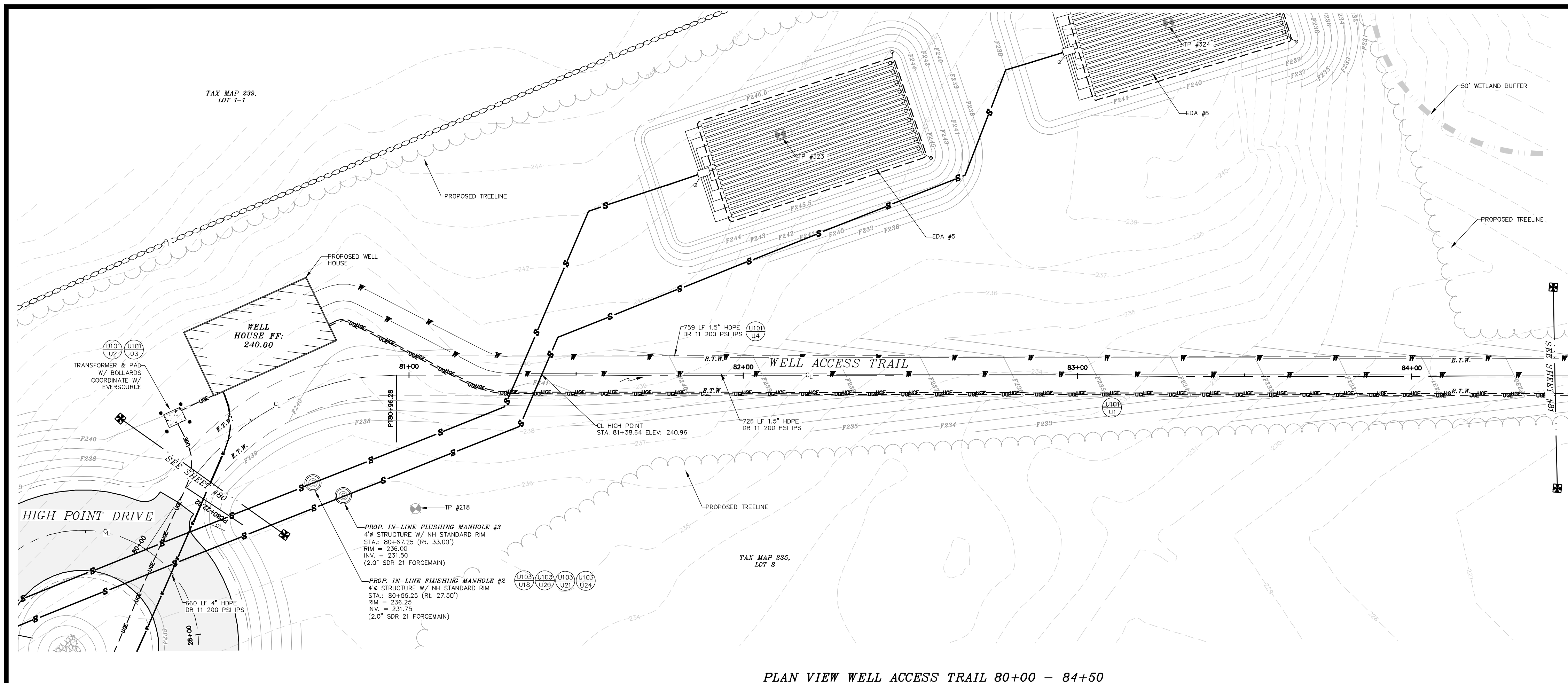
REVISION	DATE	DESCRIPTION

UTILITY
 PLAN AND PROFILE ACCESS ROAD & DRIVEWAY CONSTRUCTION
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

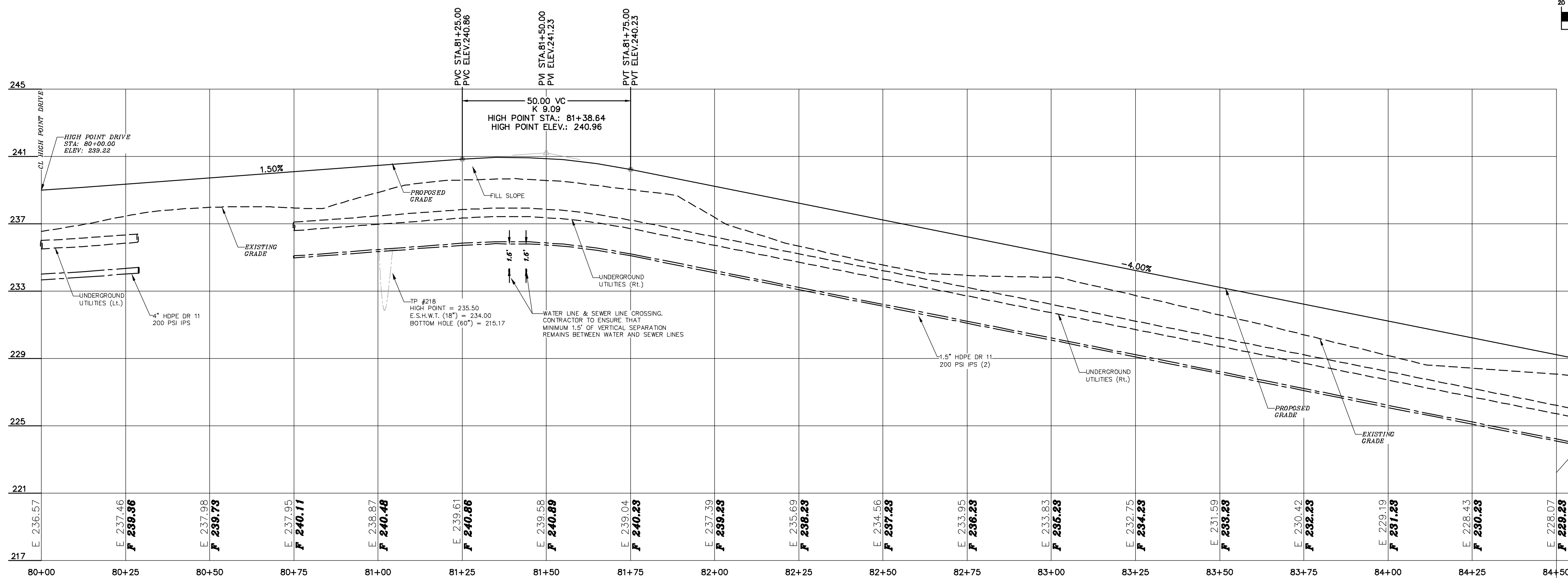
STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 LICENSED PROFESSIONAL ENGINEER

SHEET 79 OF 105

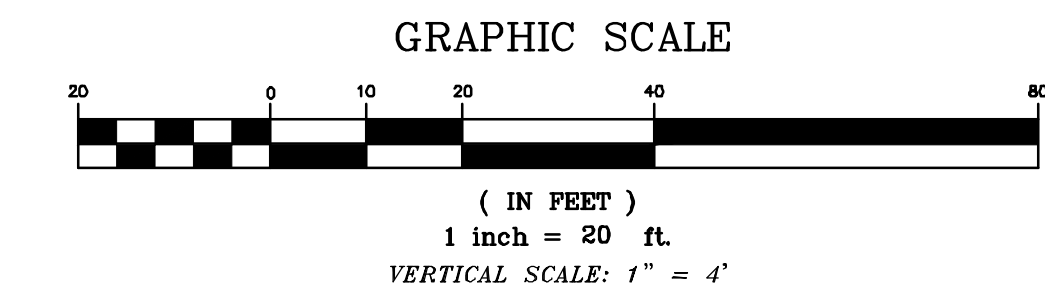
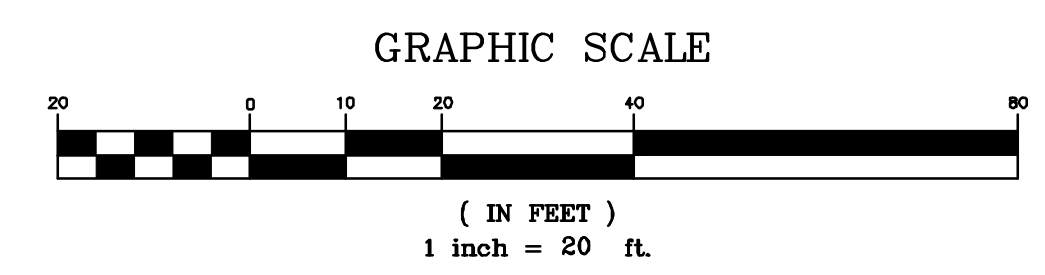
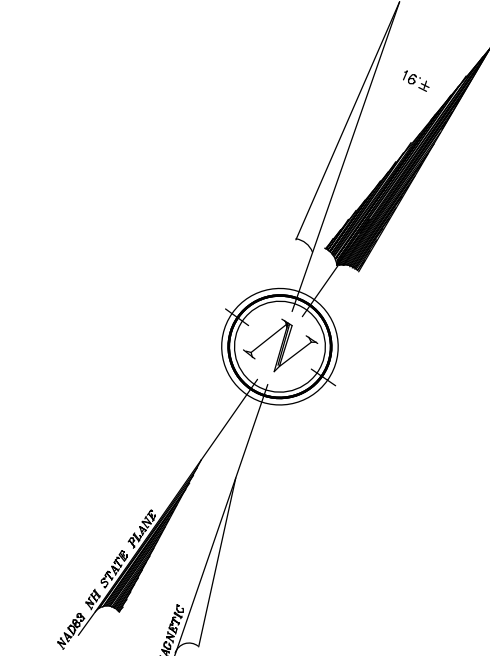


PLAN VIEW WELL ACCESS TRAIL 80+00 - 84+50

PROFILE VIEW WELL ACCESS TRAIL 80+00 - 84+50



- NOTES:**
- OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - LOT OF RECORD: A) TAX MAP 235, LOT 1-1
B) TAX MAP 235, LOT 3
 - LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.
B) 743,421 Sq. Ft., 17.07 Ac.
 - S.C.R.D.: A) BOOK 4816, PAGE 500
B) BOOK 4816, PAGE 504
 - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



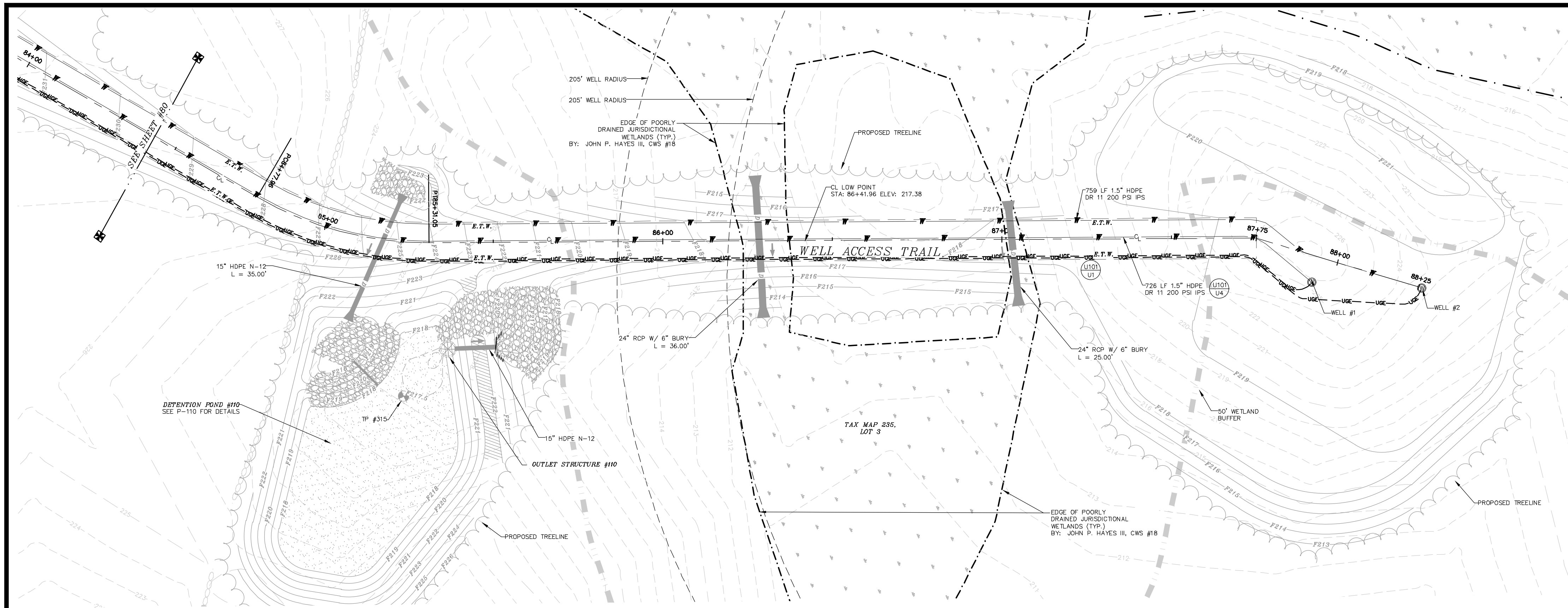
FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

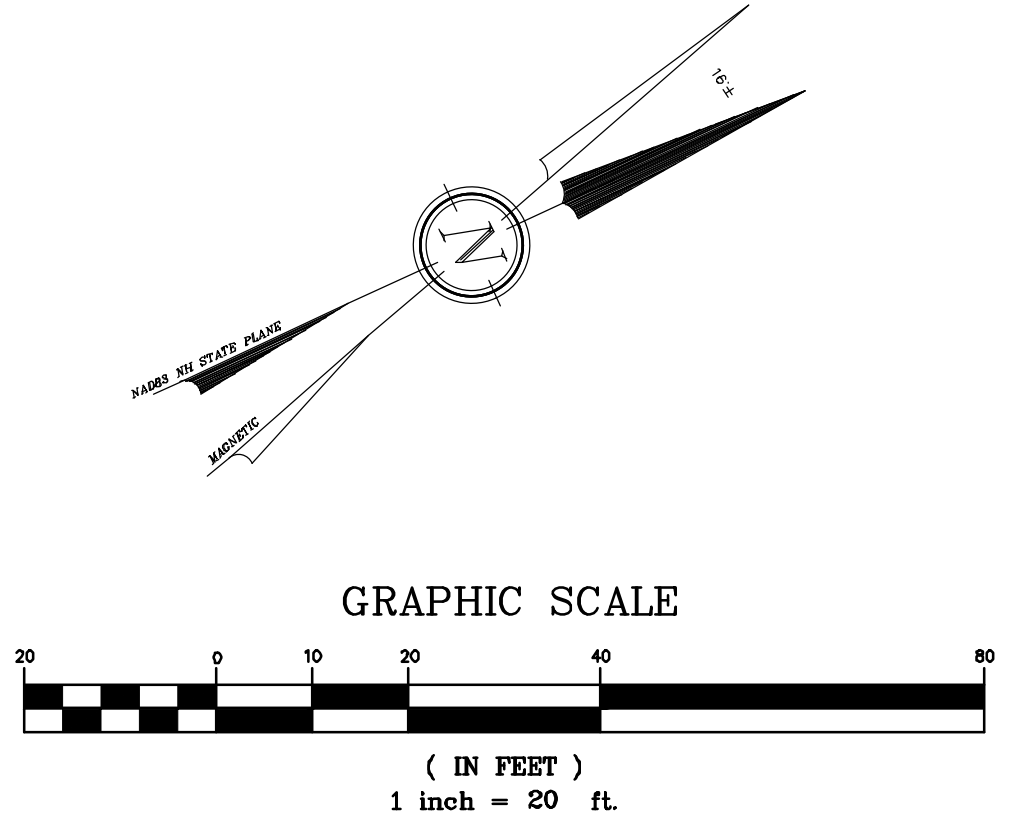
REVISION	DATE	DESCRIPTION

UTILITY
 PLAN AND PROFILE WELL ACCESS TRAIL 80+00 - 84+50
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

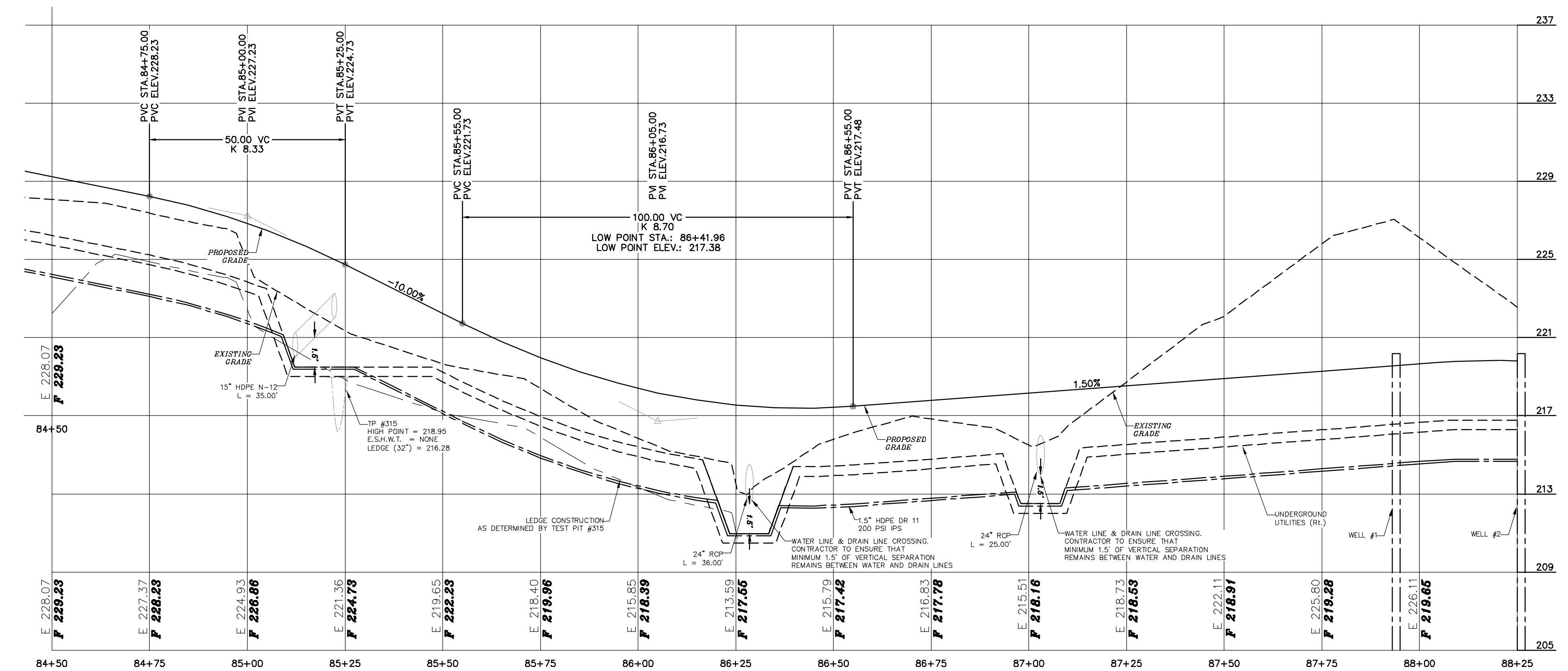
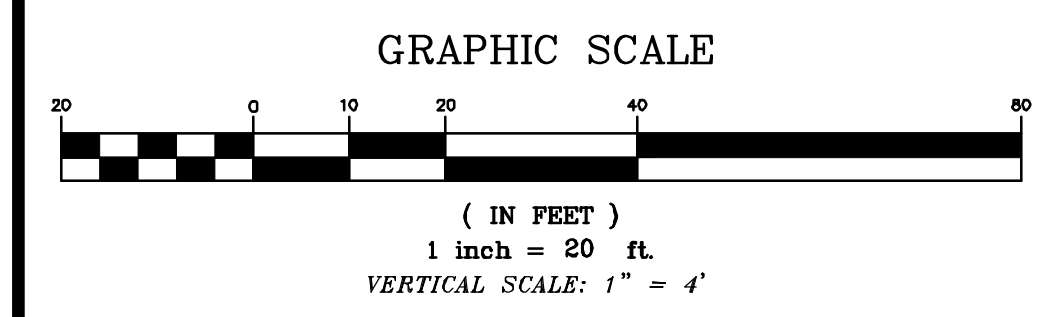
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097



- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
B.) DOVE DEVELOPMENT GROUP, LLC
242 CENTRAL AVE
DOVER, NH 03820
 - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1
B.) TAX MAP 235, LOT 3
 - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.
B.) 743,421 Sq. Ft., 17.07 Ac.
 - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500
B.) BOOK 4816, PAGE 504
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW WELL ACCESS TRAIL 84+50 - END
PROFILE VIEW WELL ACCESS TRAIL 84+50 - END



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REVISION	DATE	DESCRIPTION

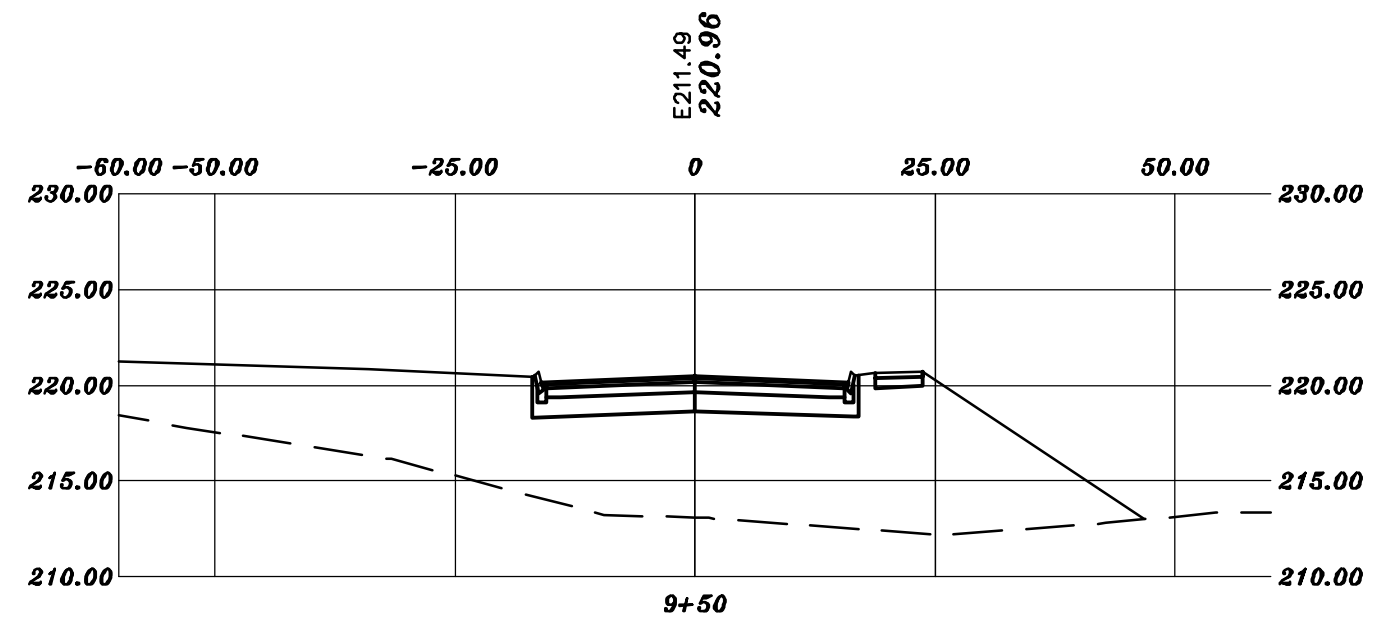
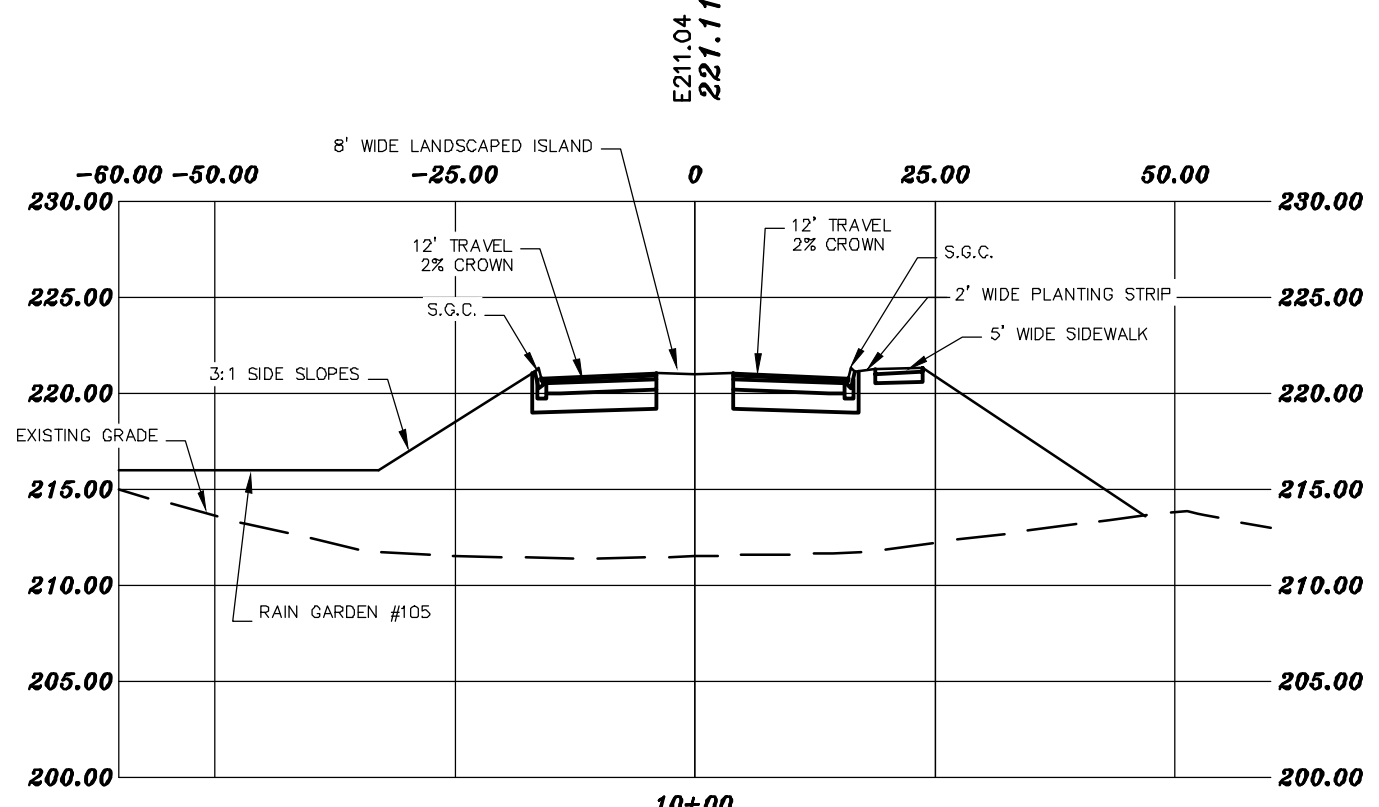
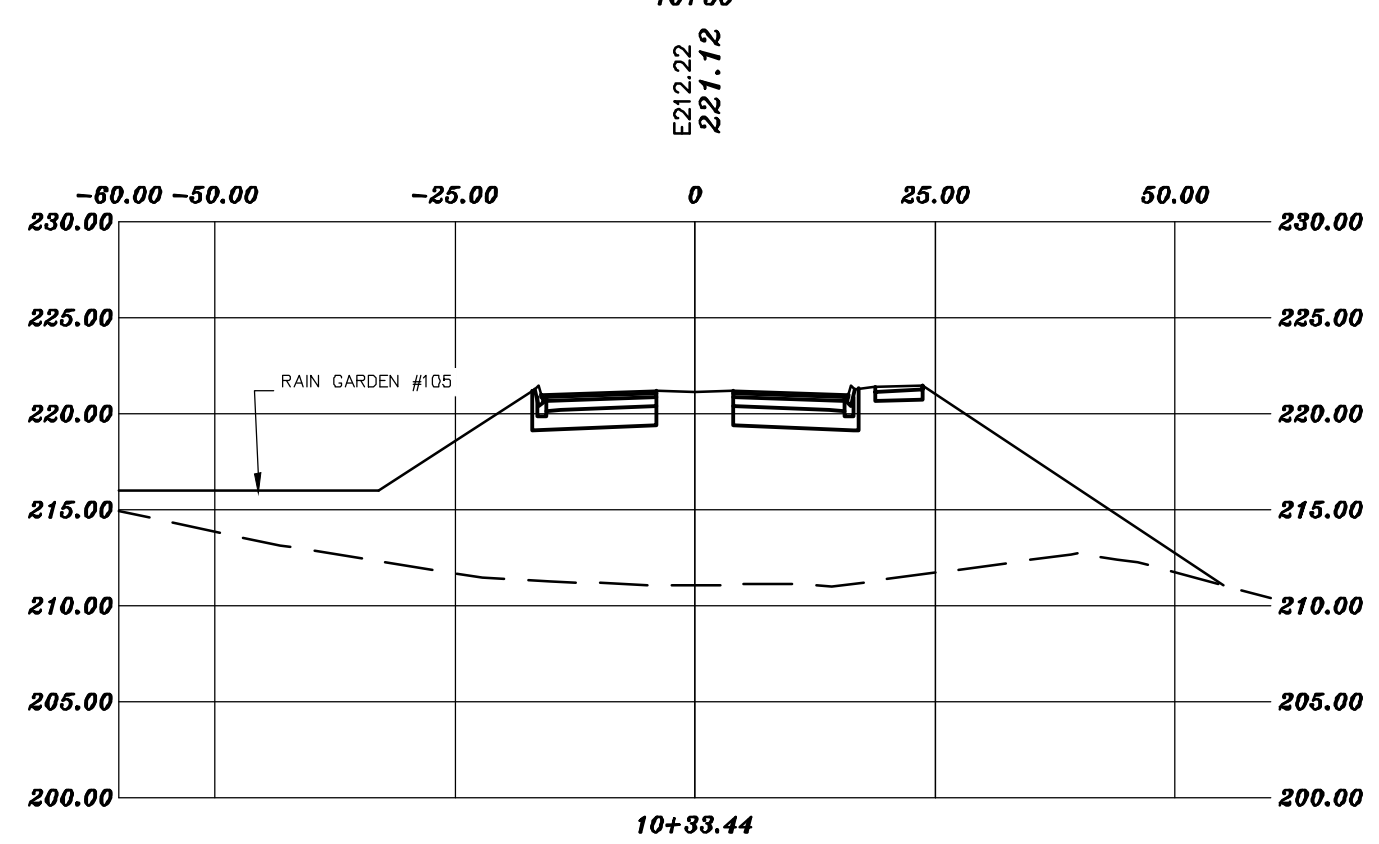
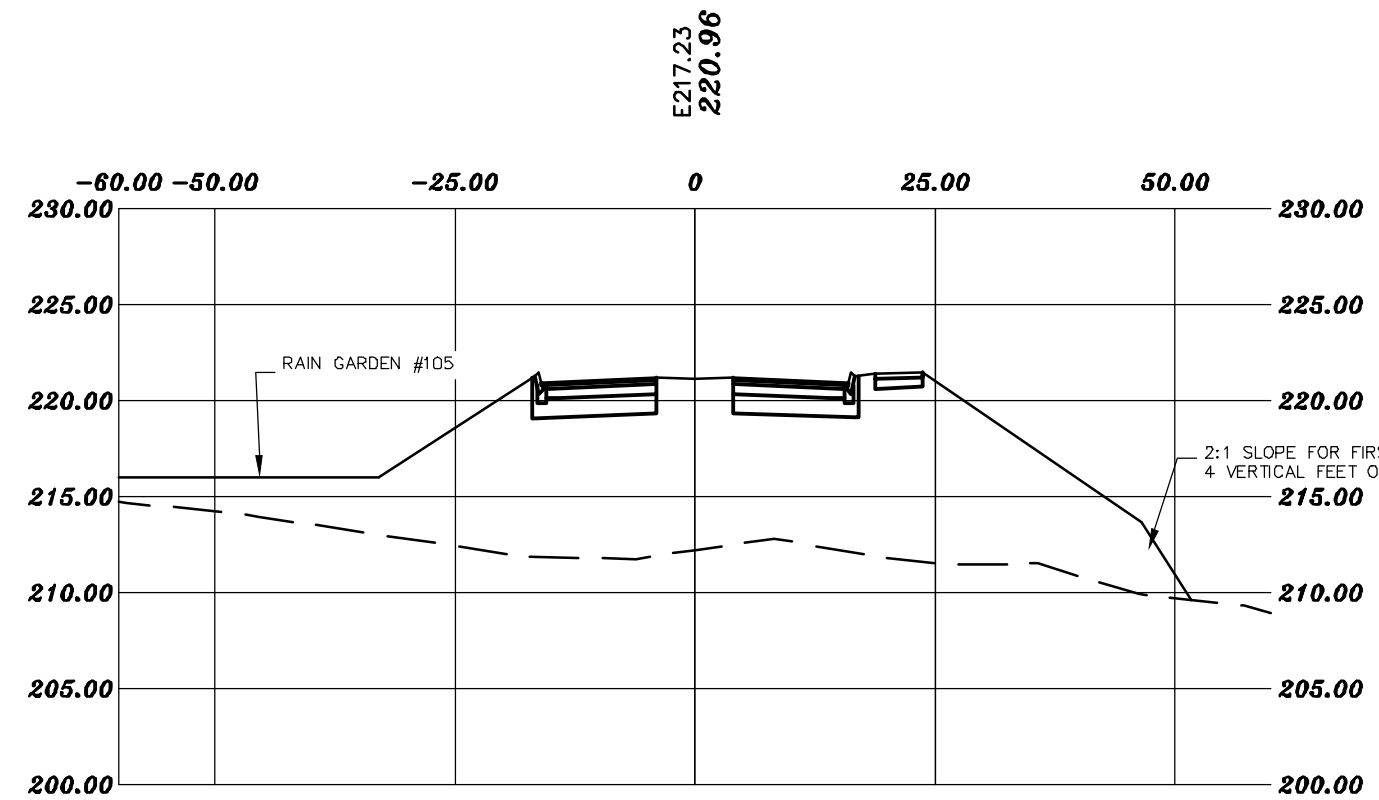
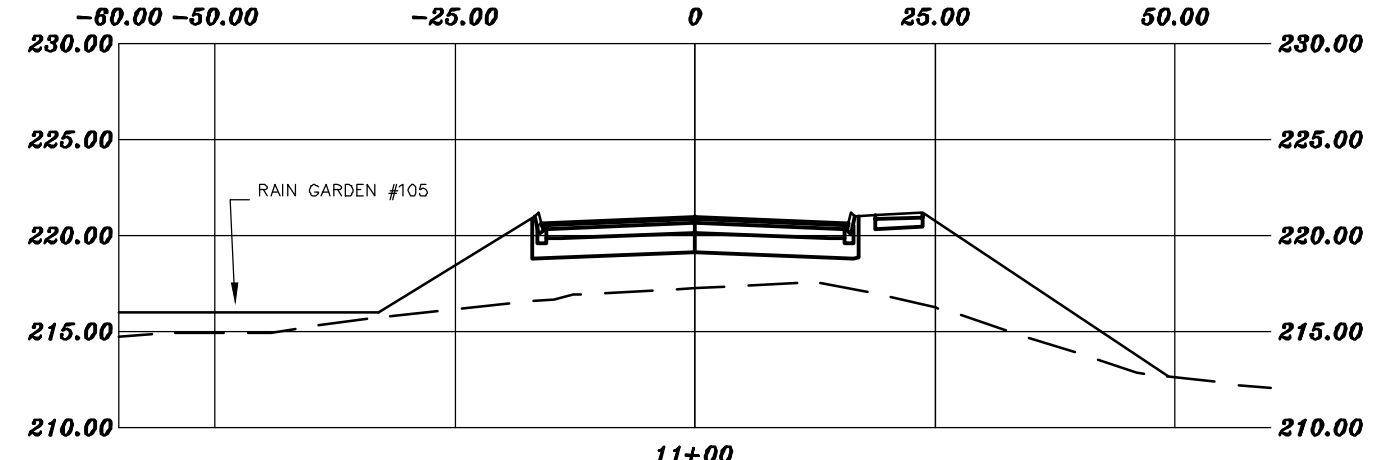
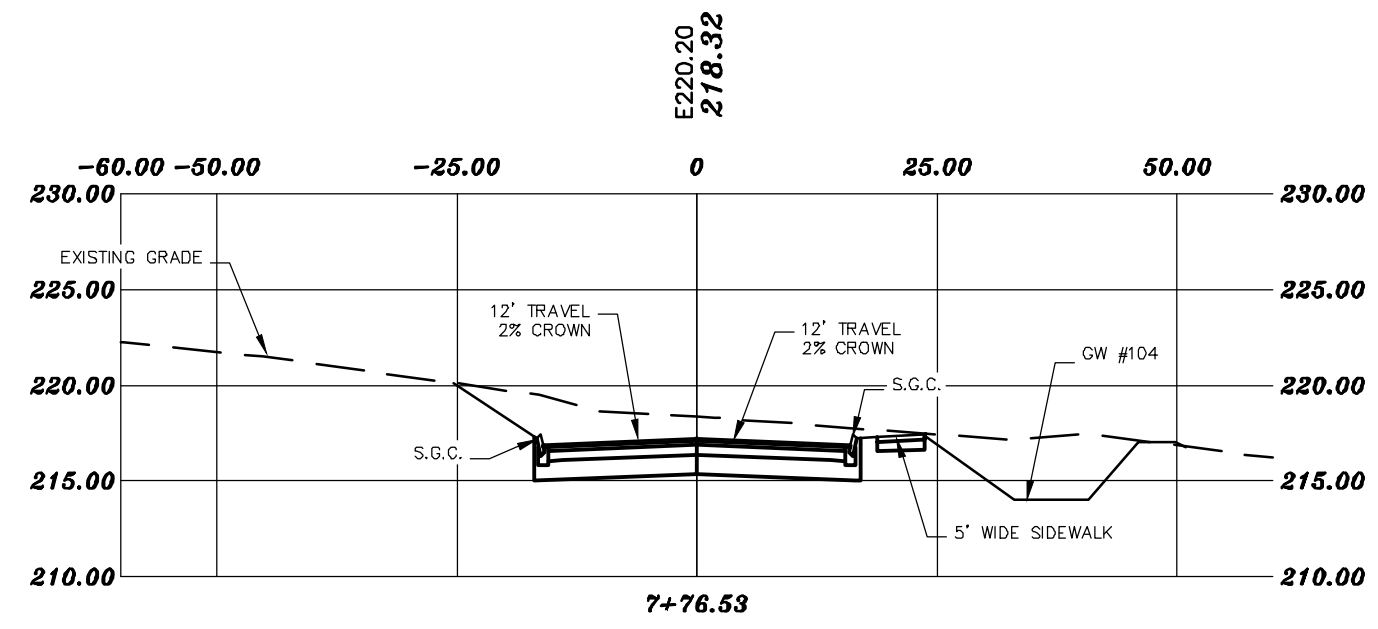
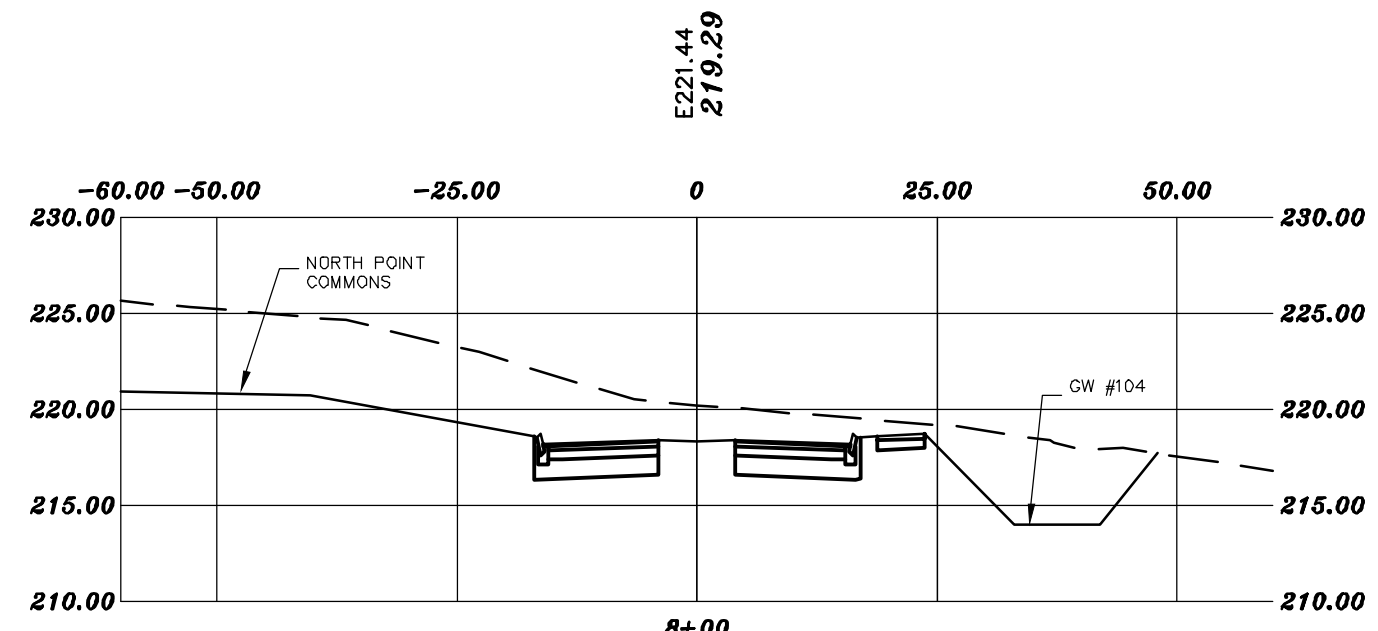
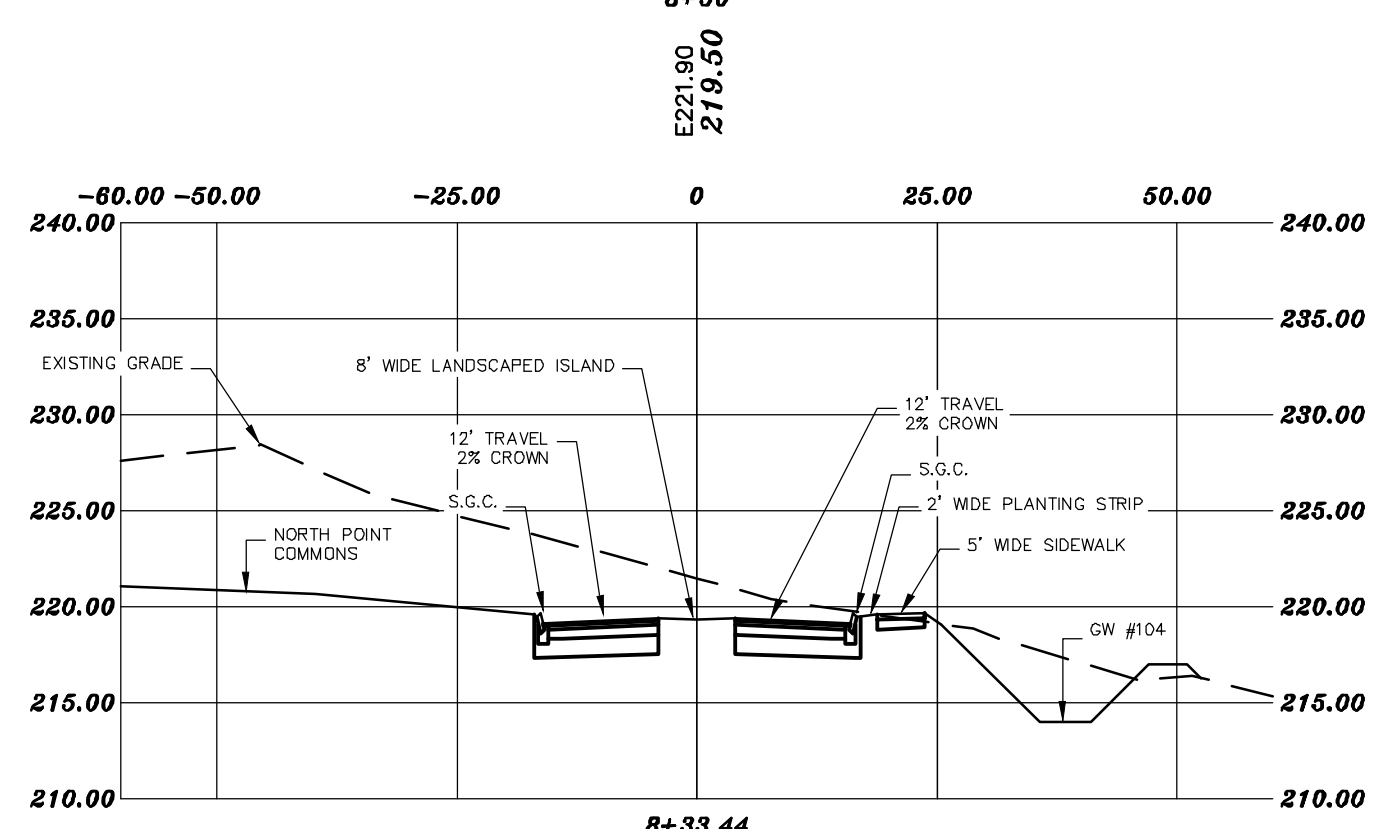
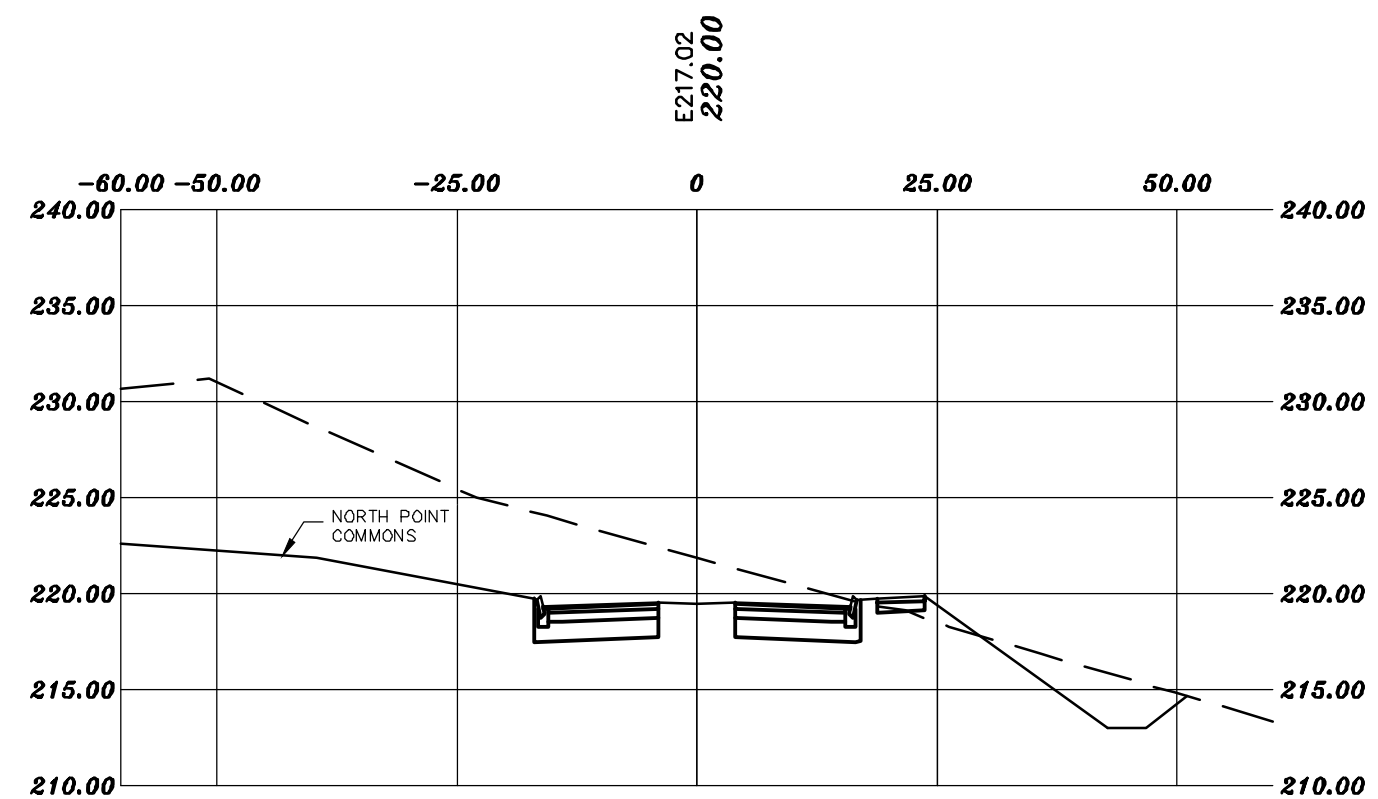
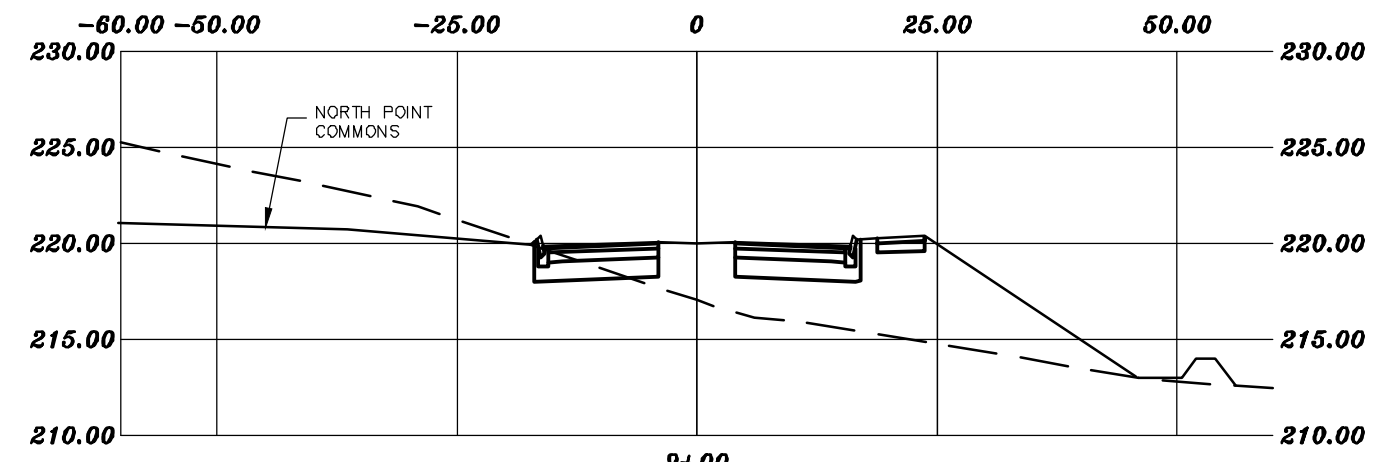
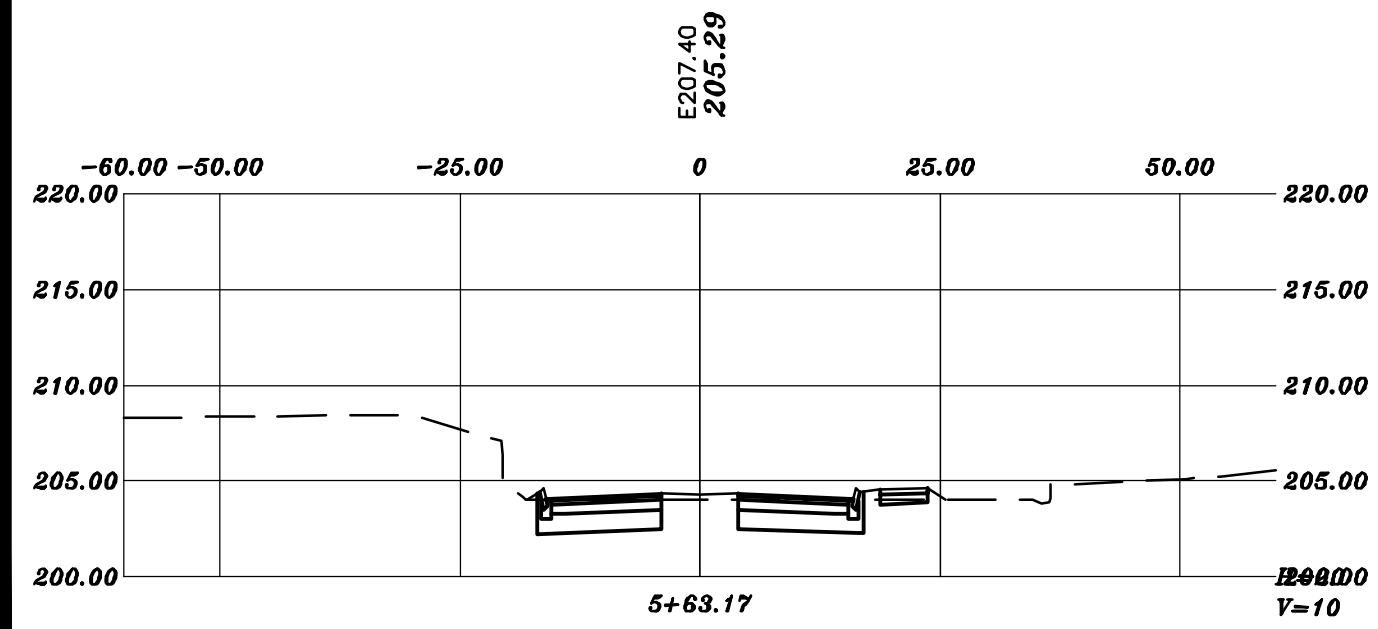
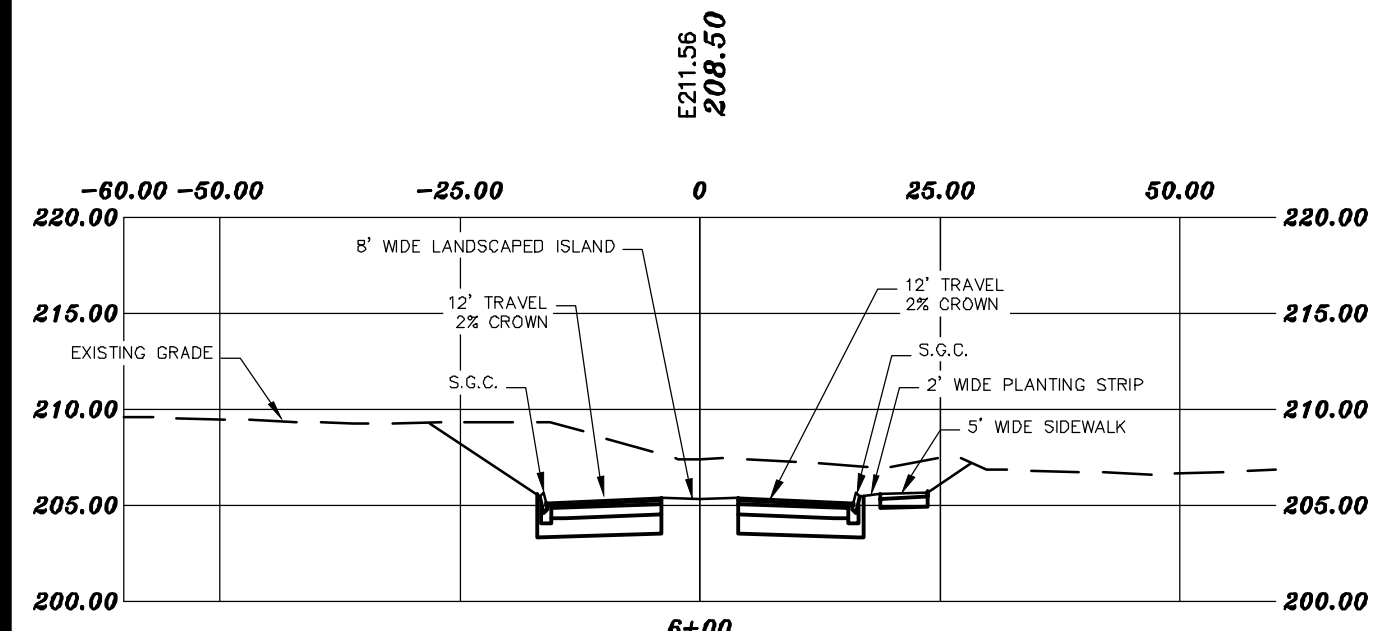
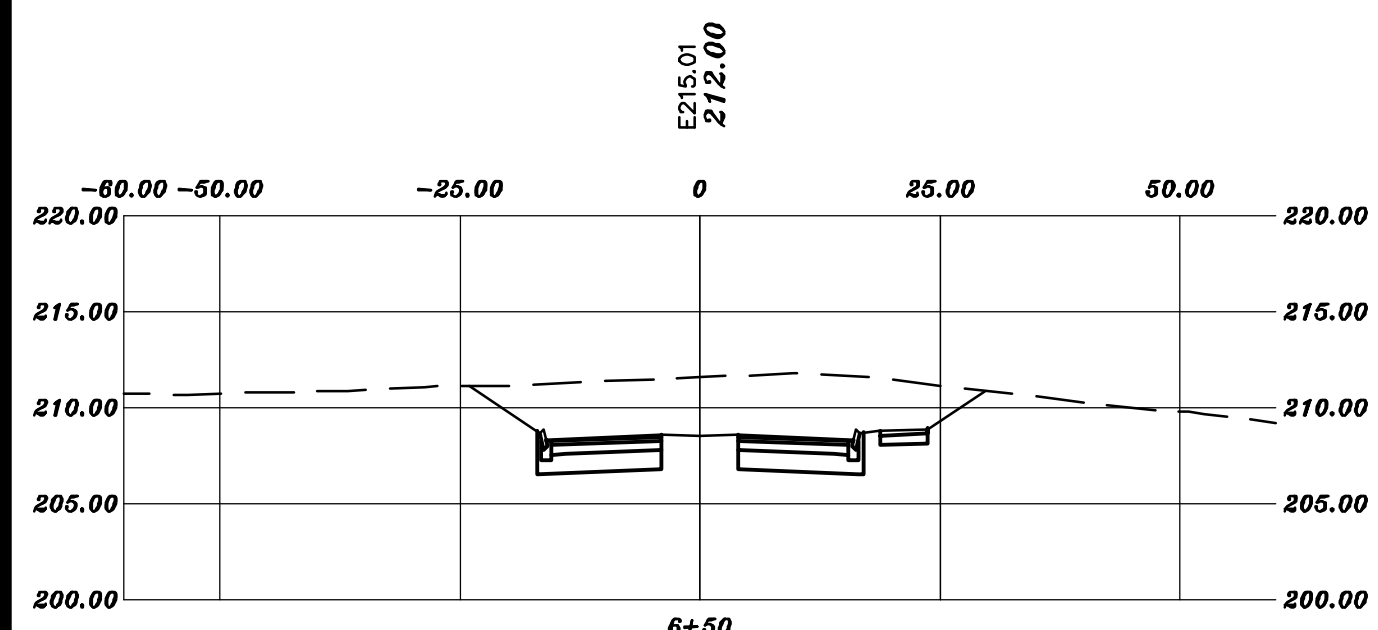
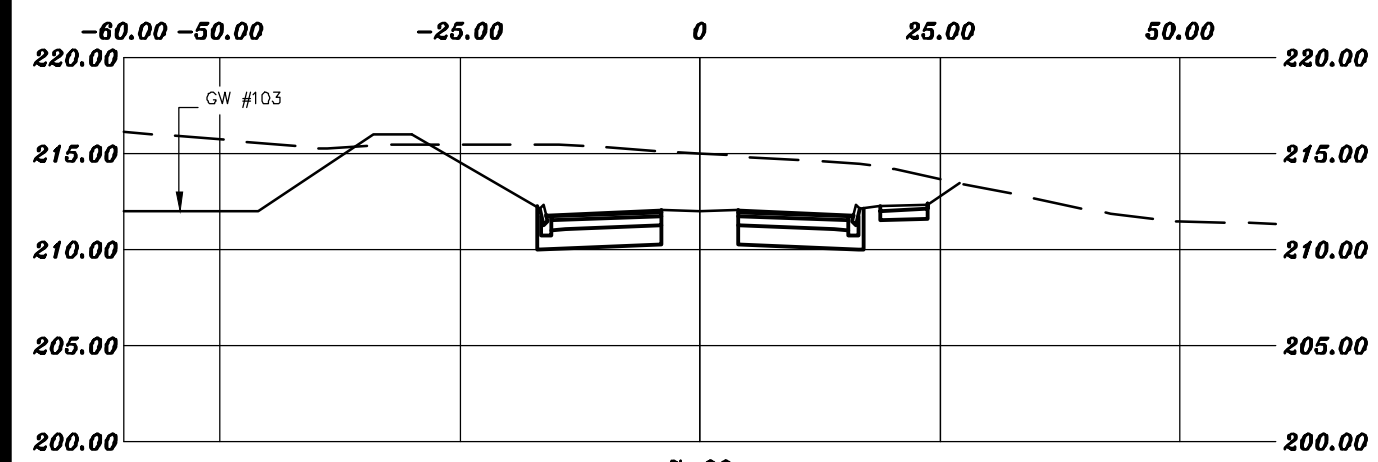
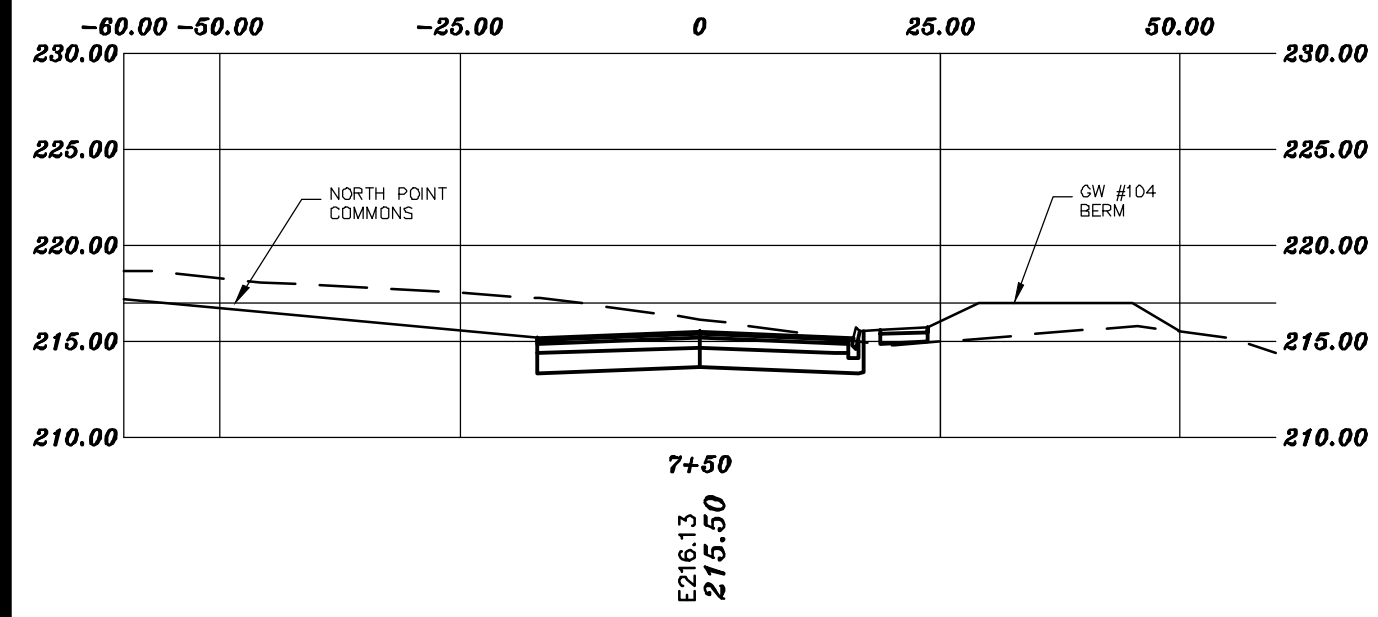
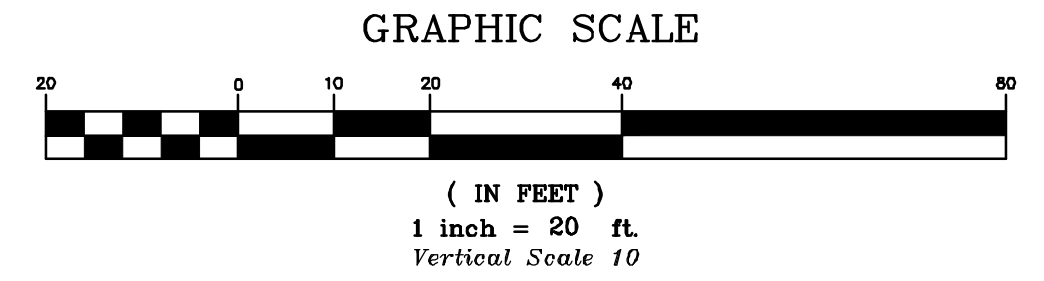
UTILITY
PLAN AND PROFILE WELL ACCESS TRAIL 84+50 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

SHEET 81 OF 105

FOR TOWN APPROVAL PURPOSES :

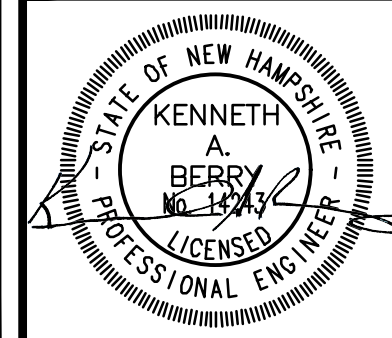
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

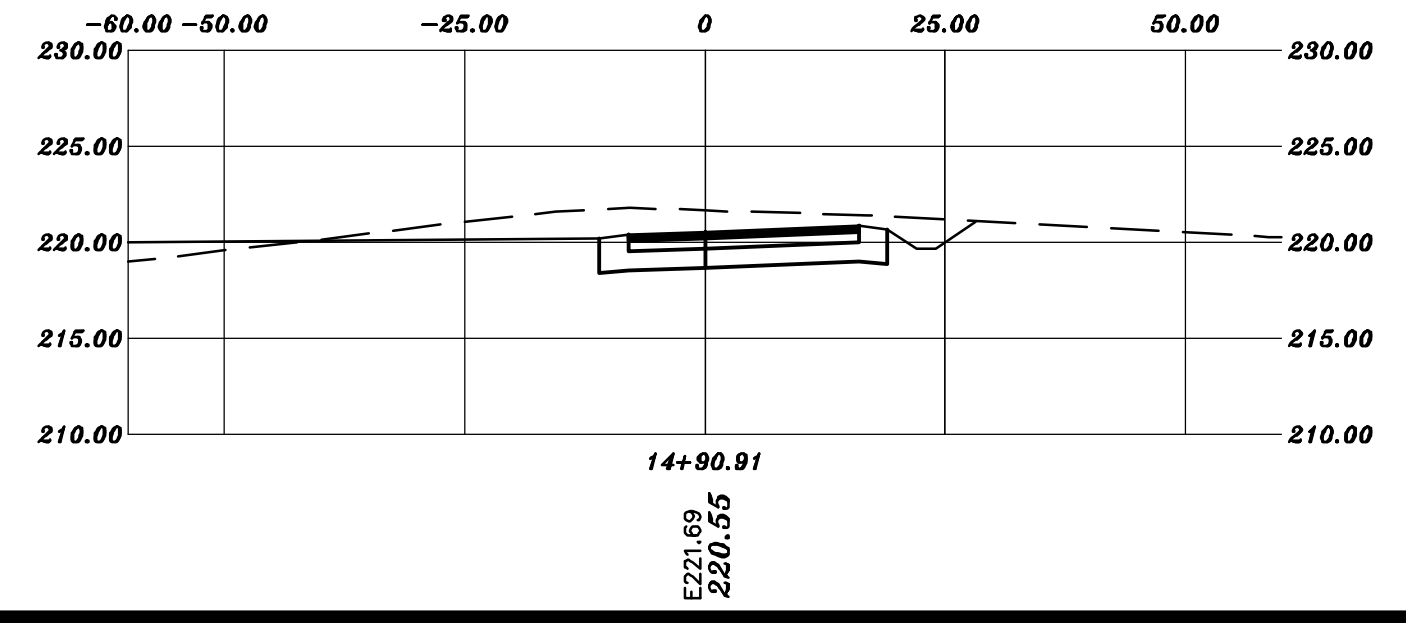
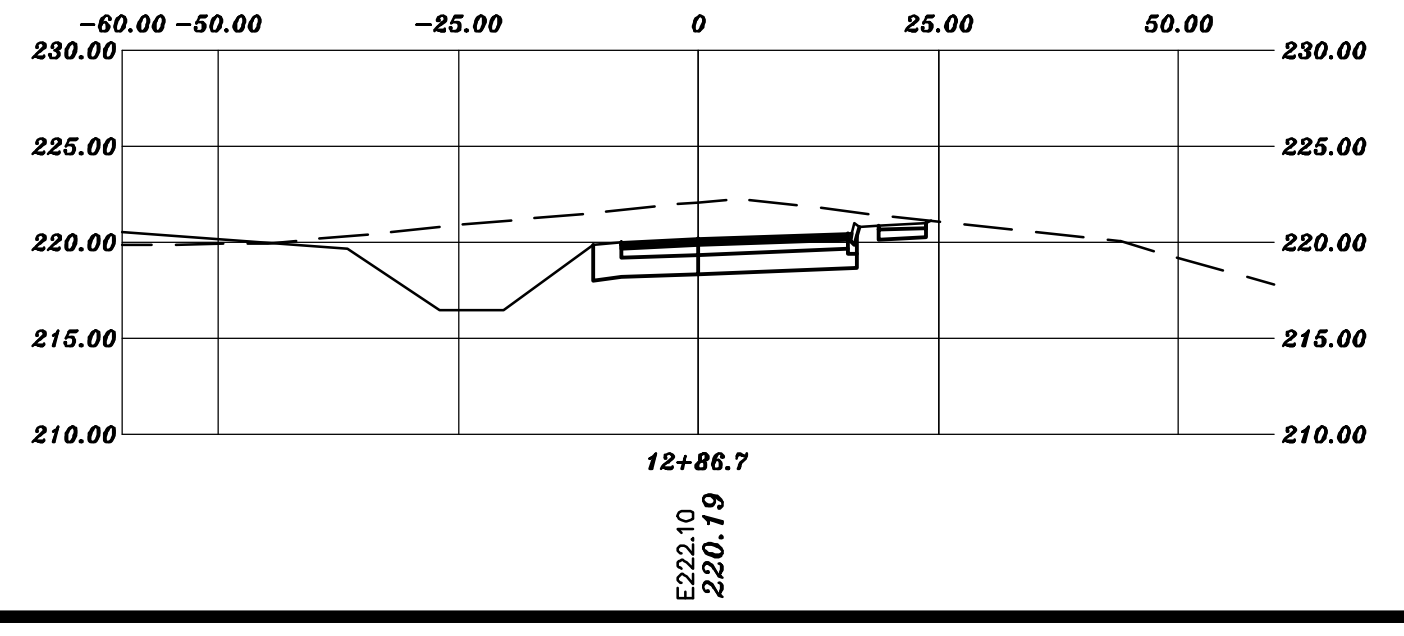
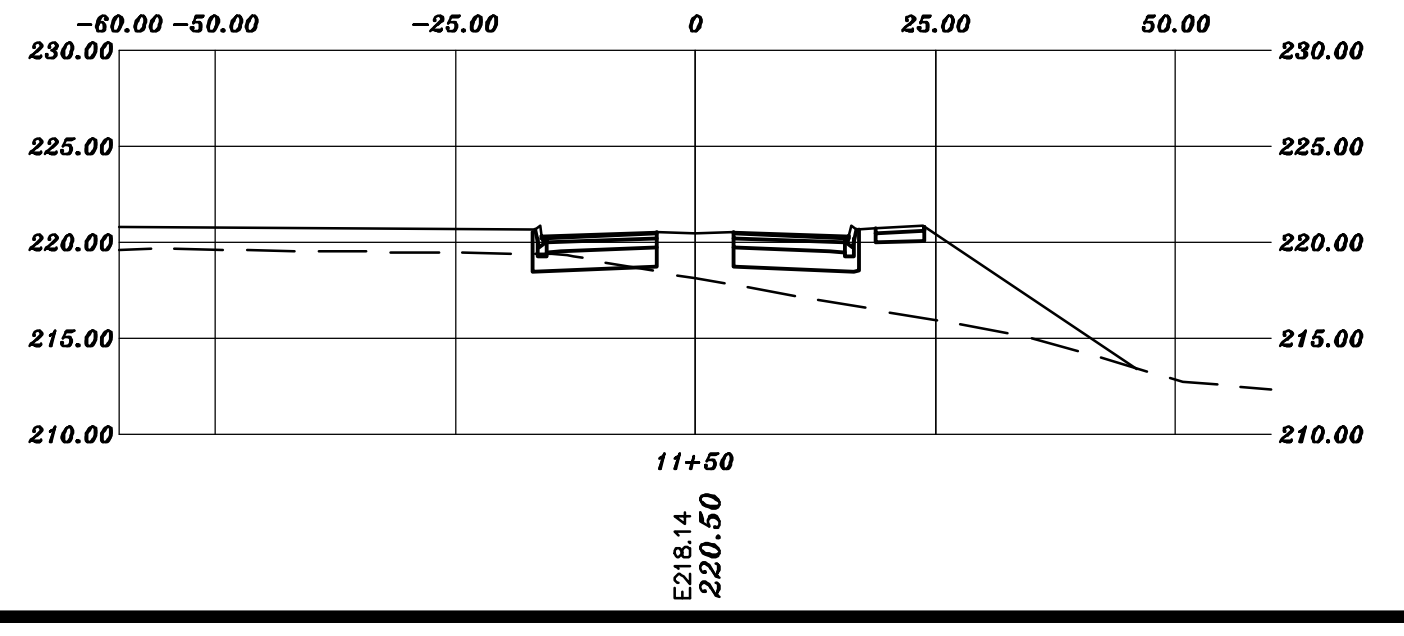
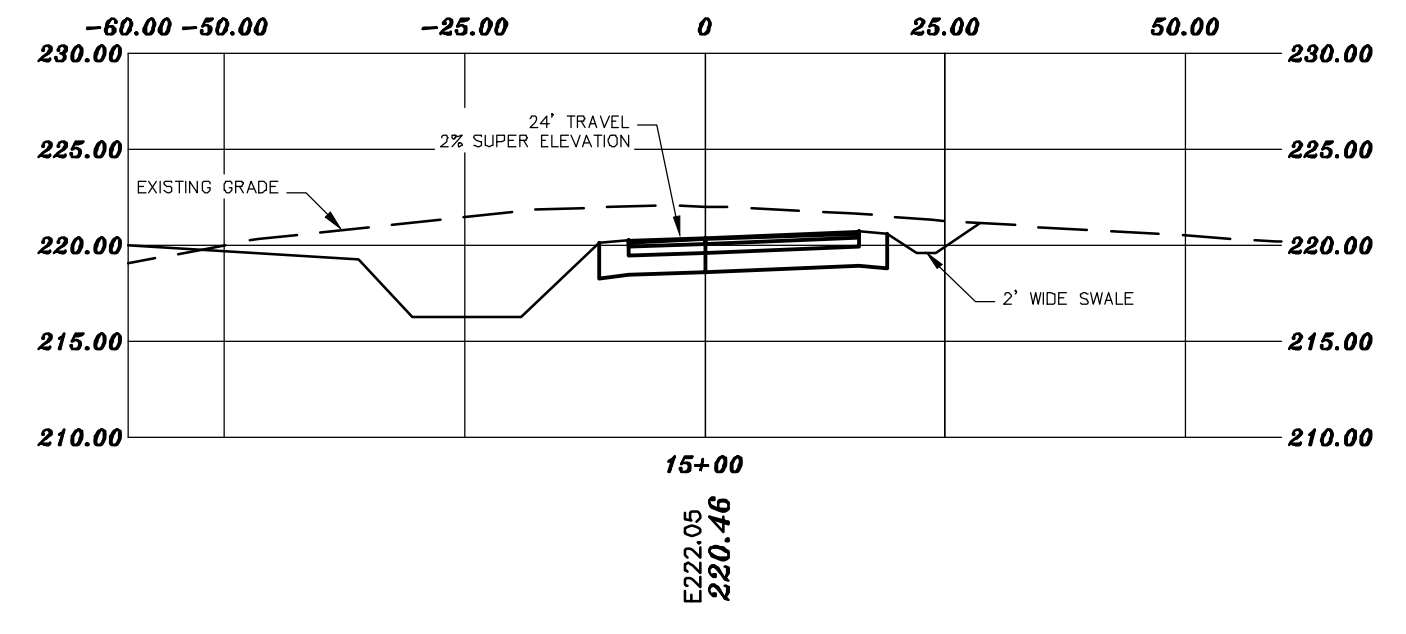
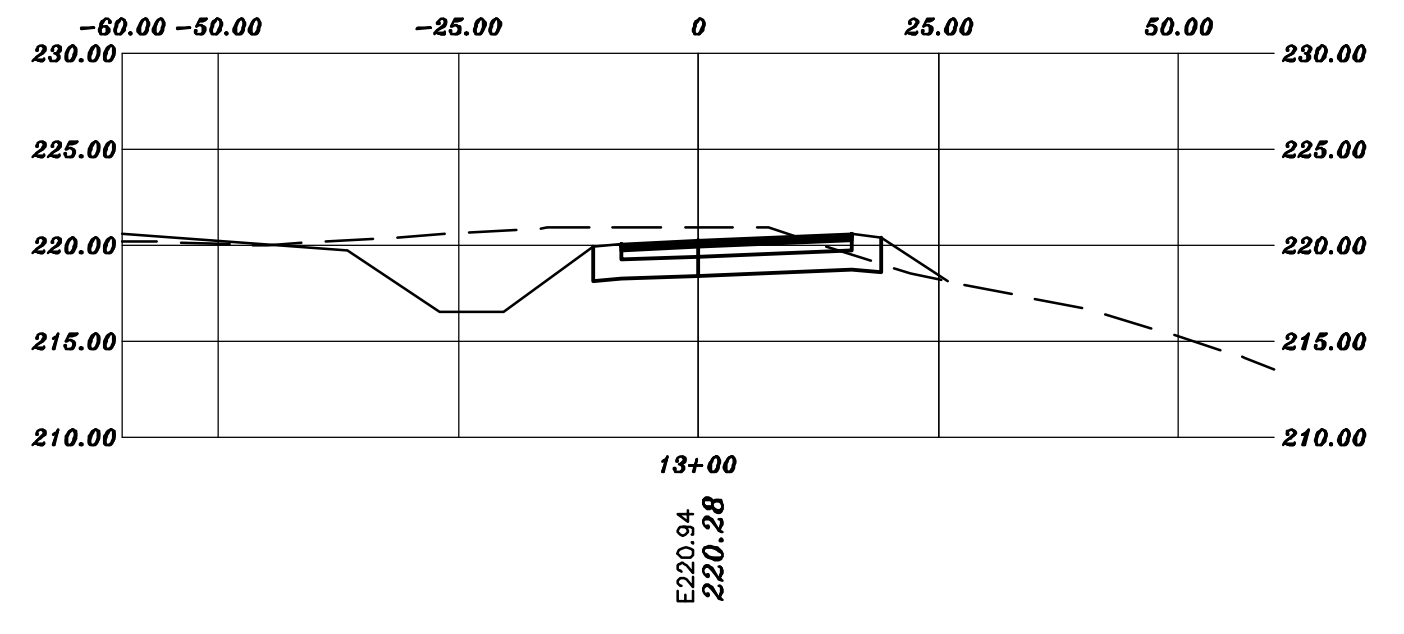
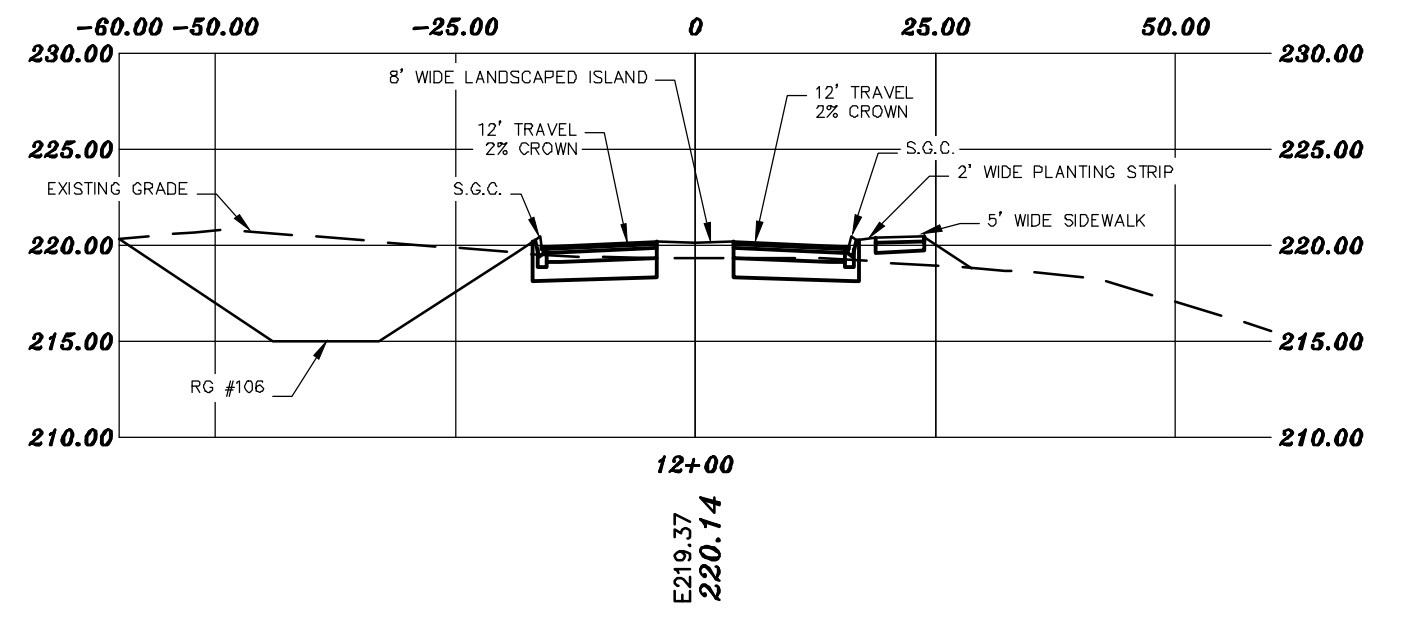
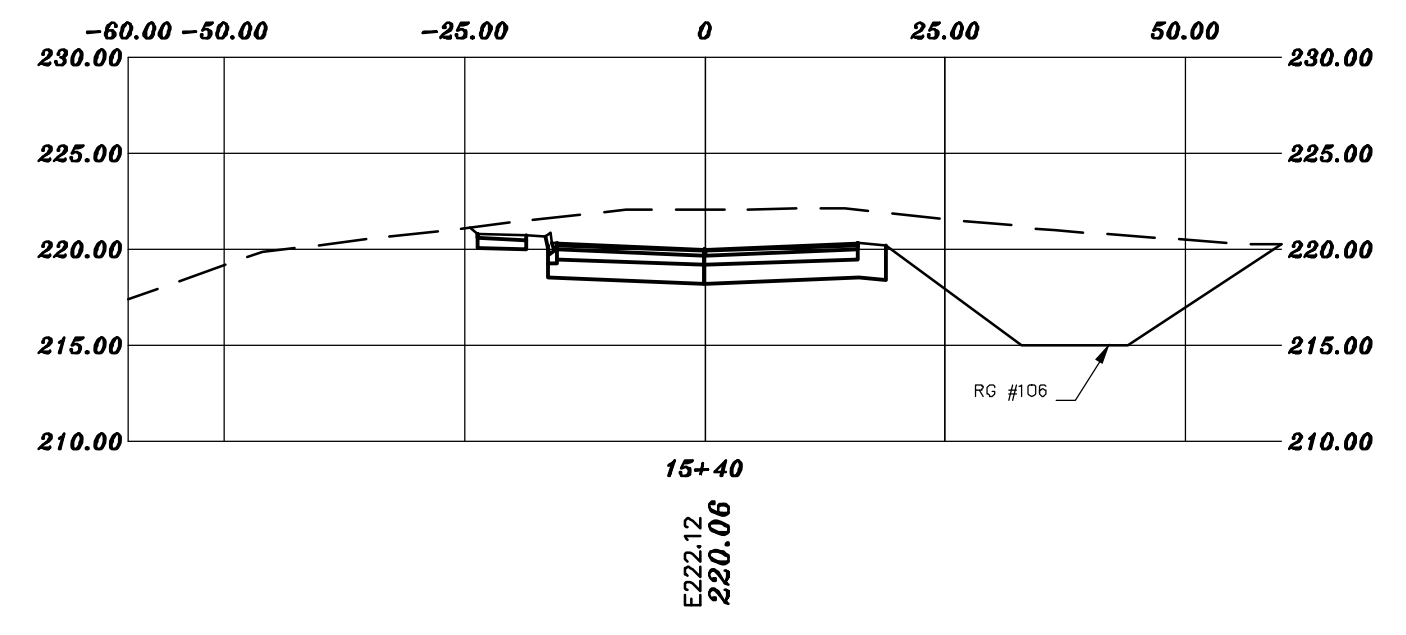
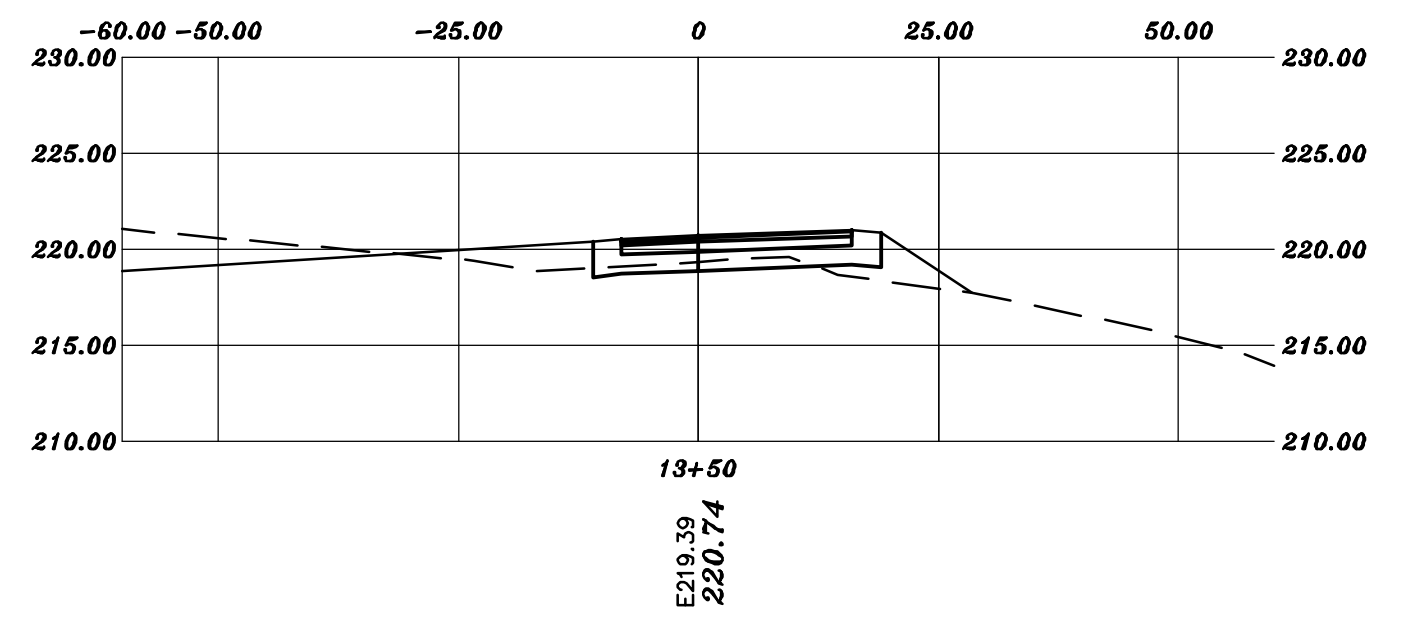
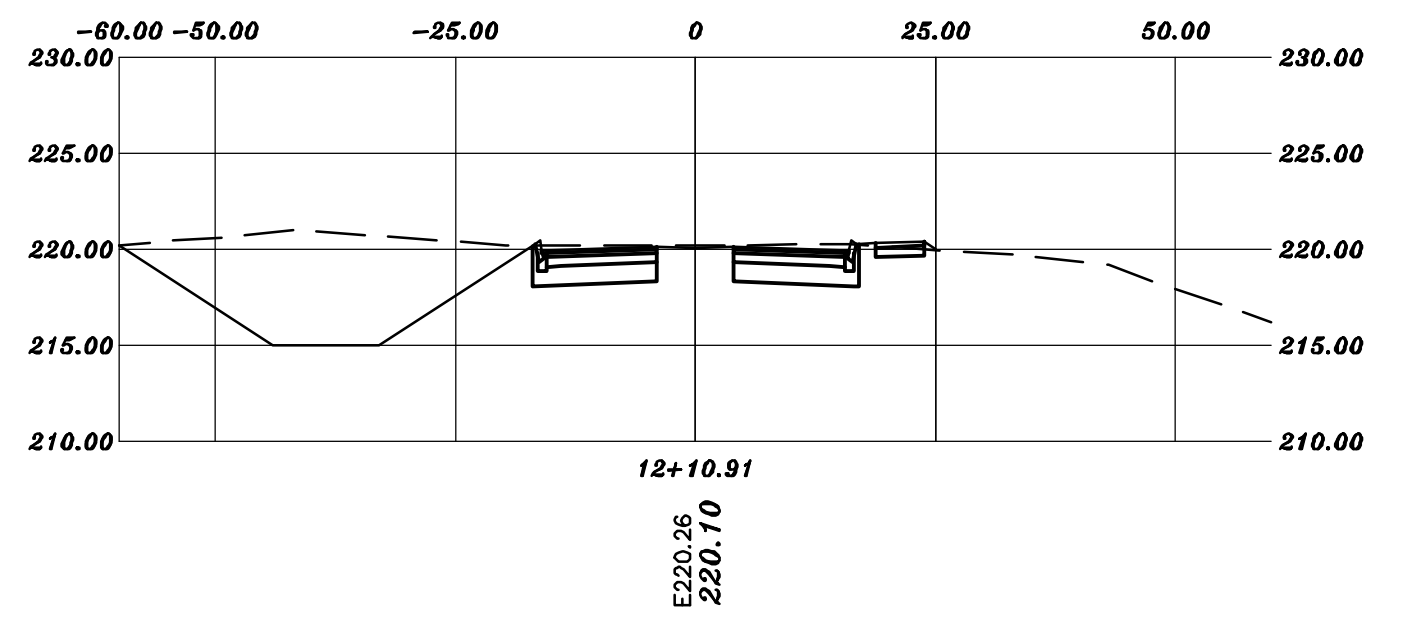
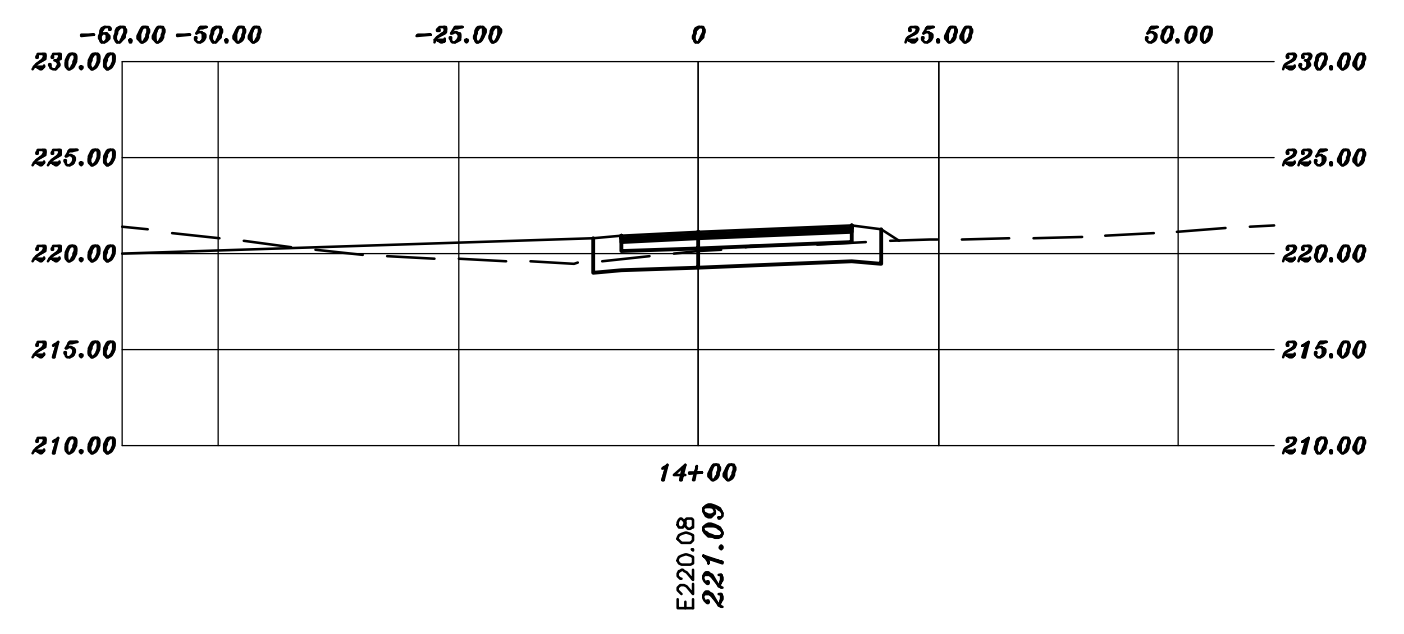
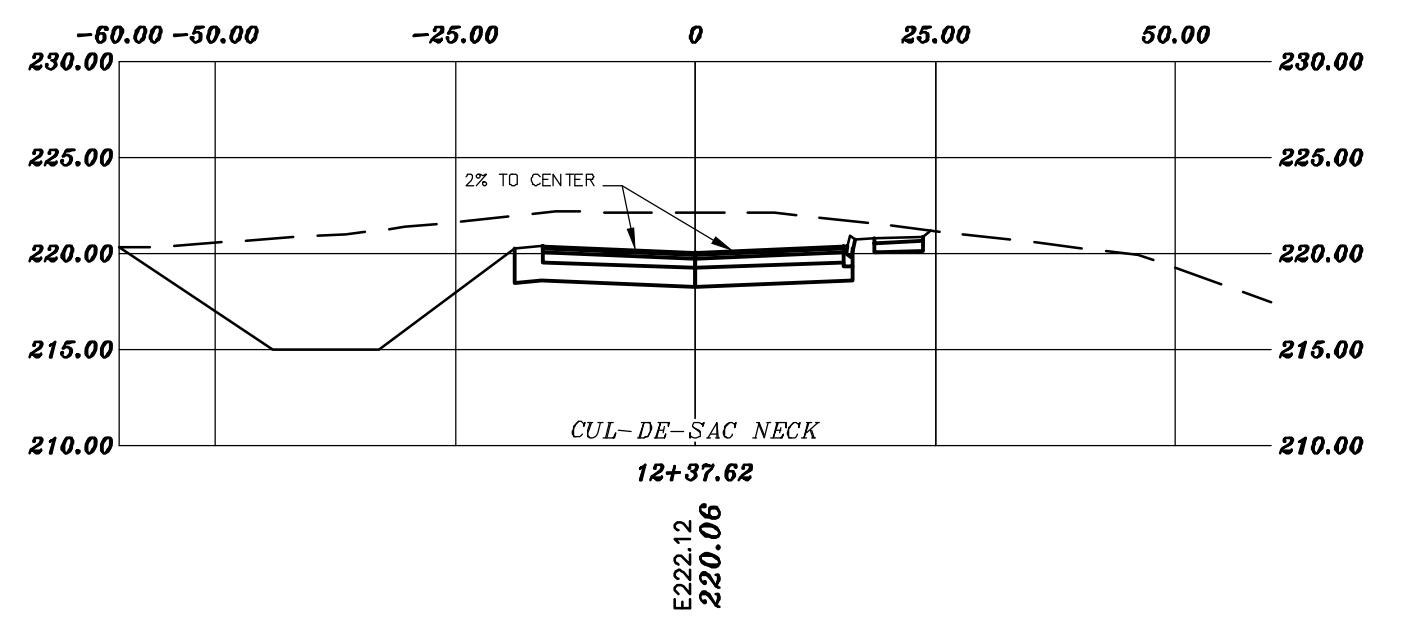
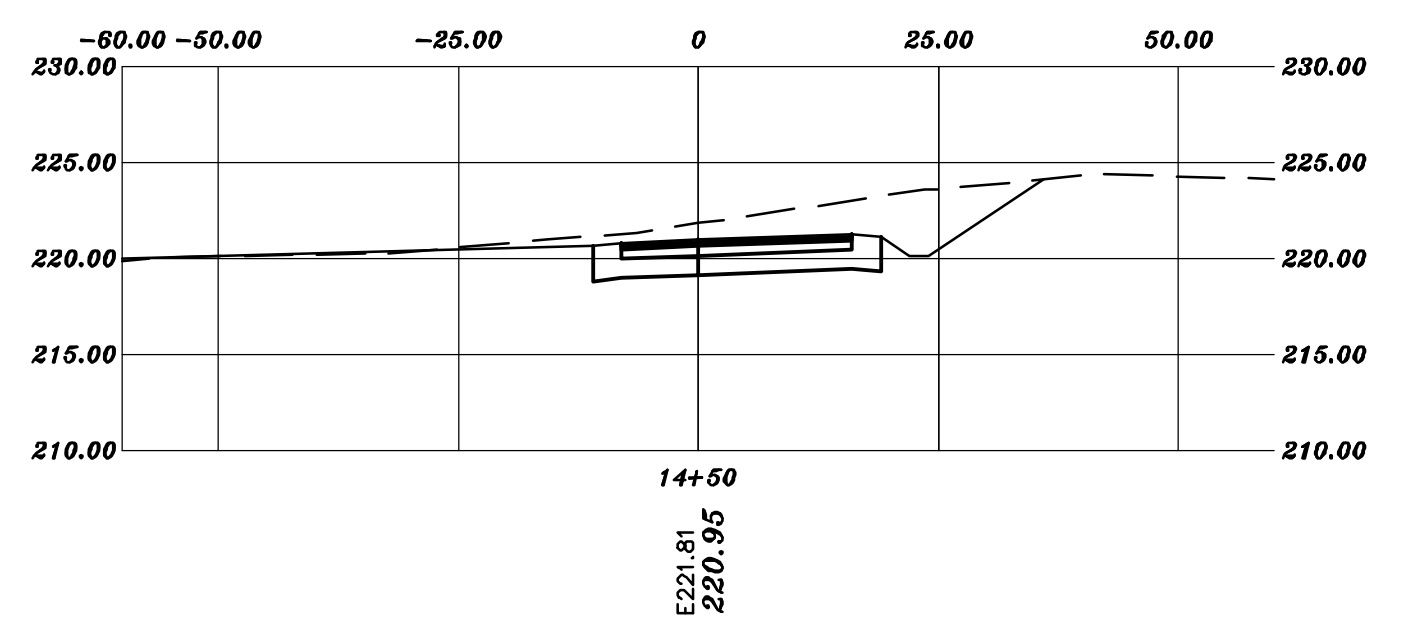
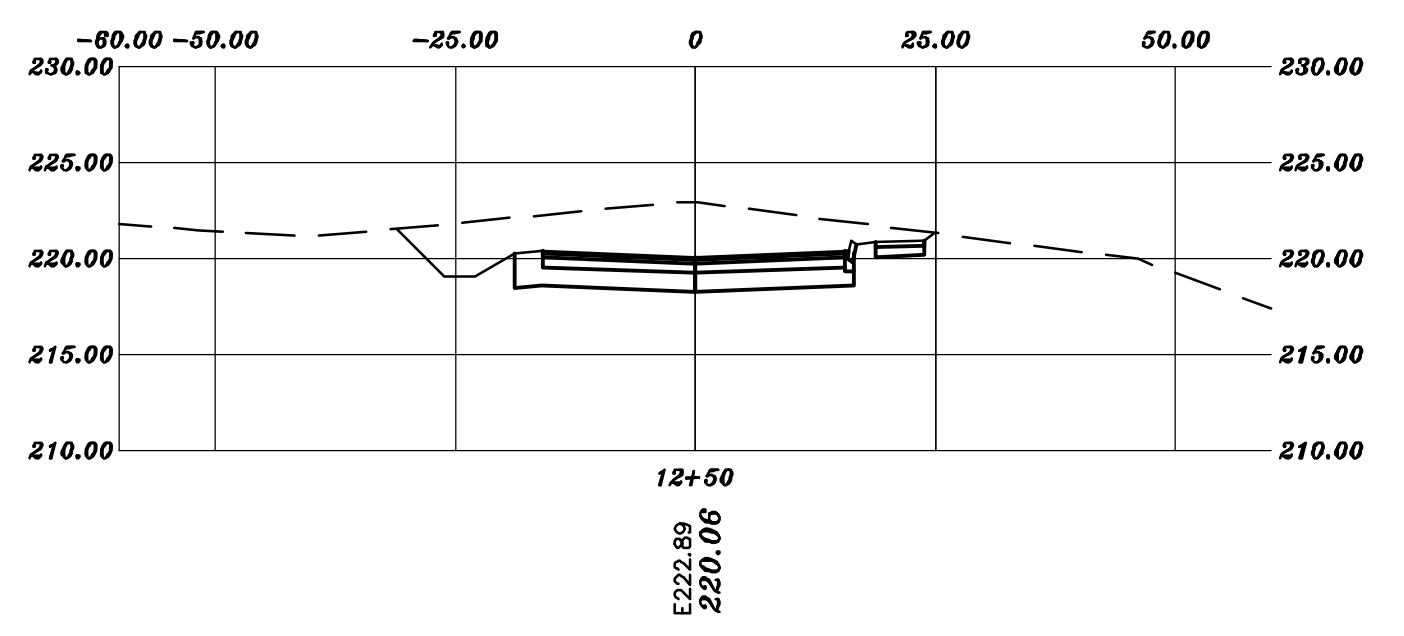
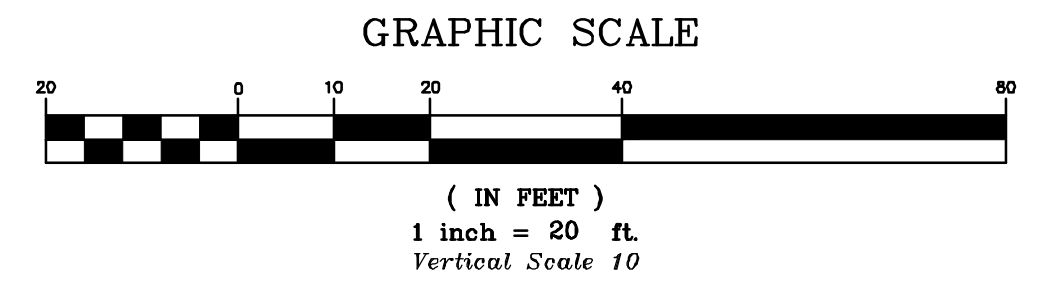


REVISION	DATE	DESCRIPTION

CROSS SECTIONS COMMUNITY WAY 5+63 - 11+00
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097





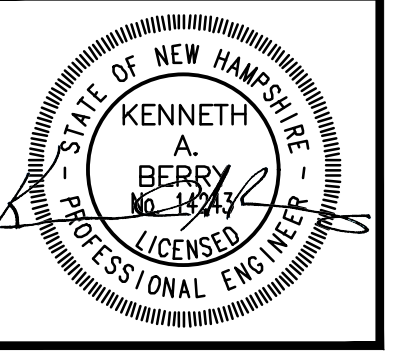
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REVISION	DATE	DESCRIPTION

CROSS SECTIONS COMMUNITY WAY 11+00 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
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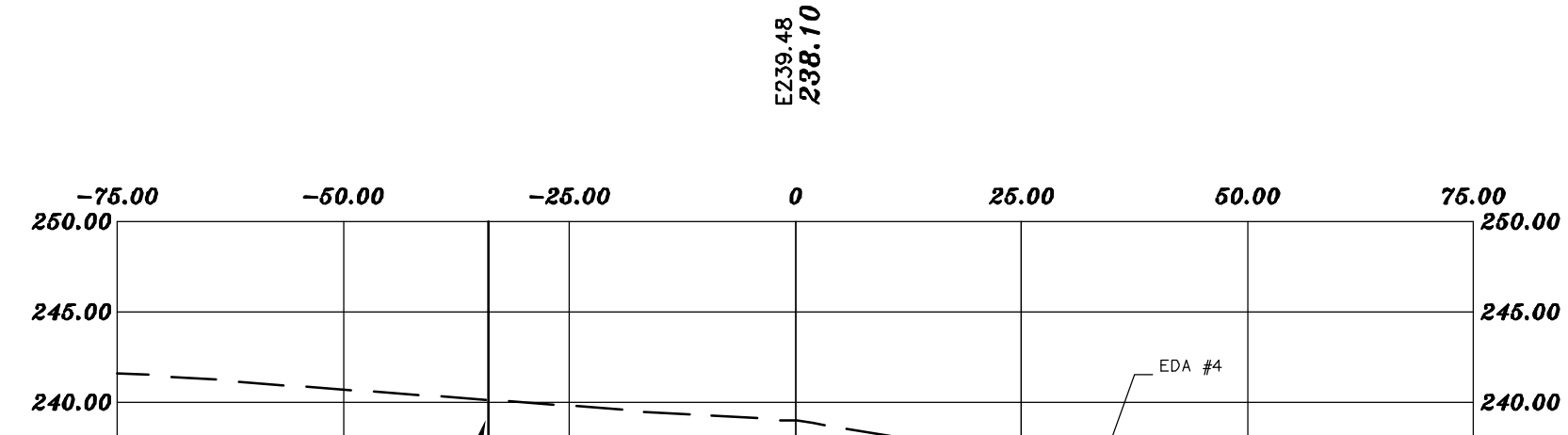
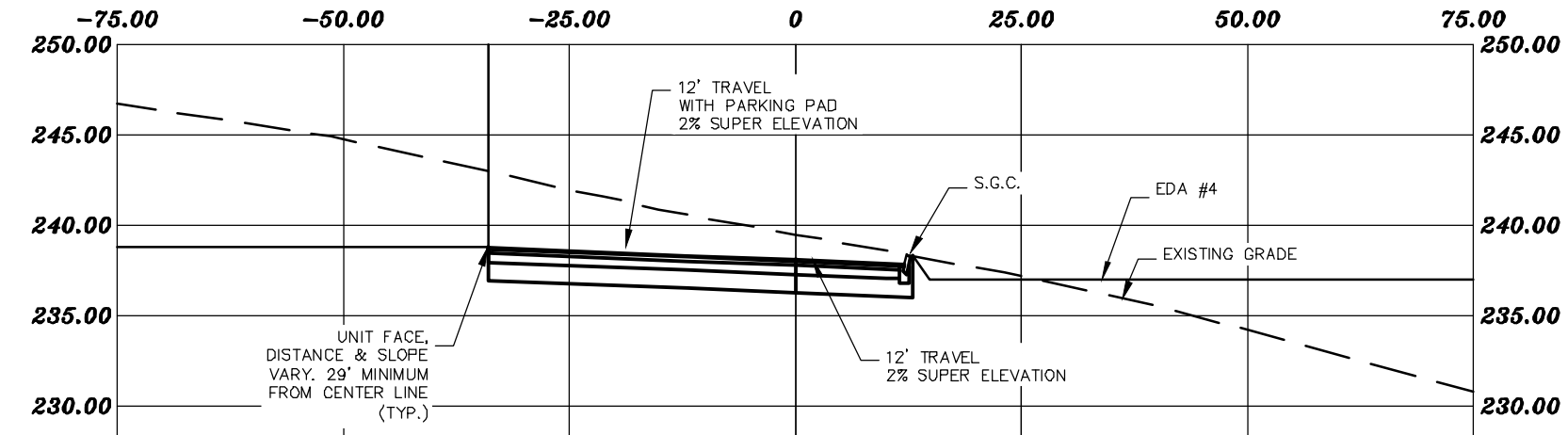
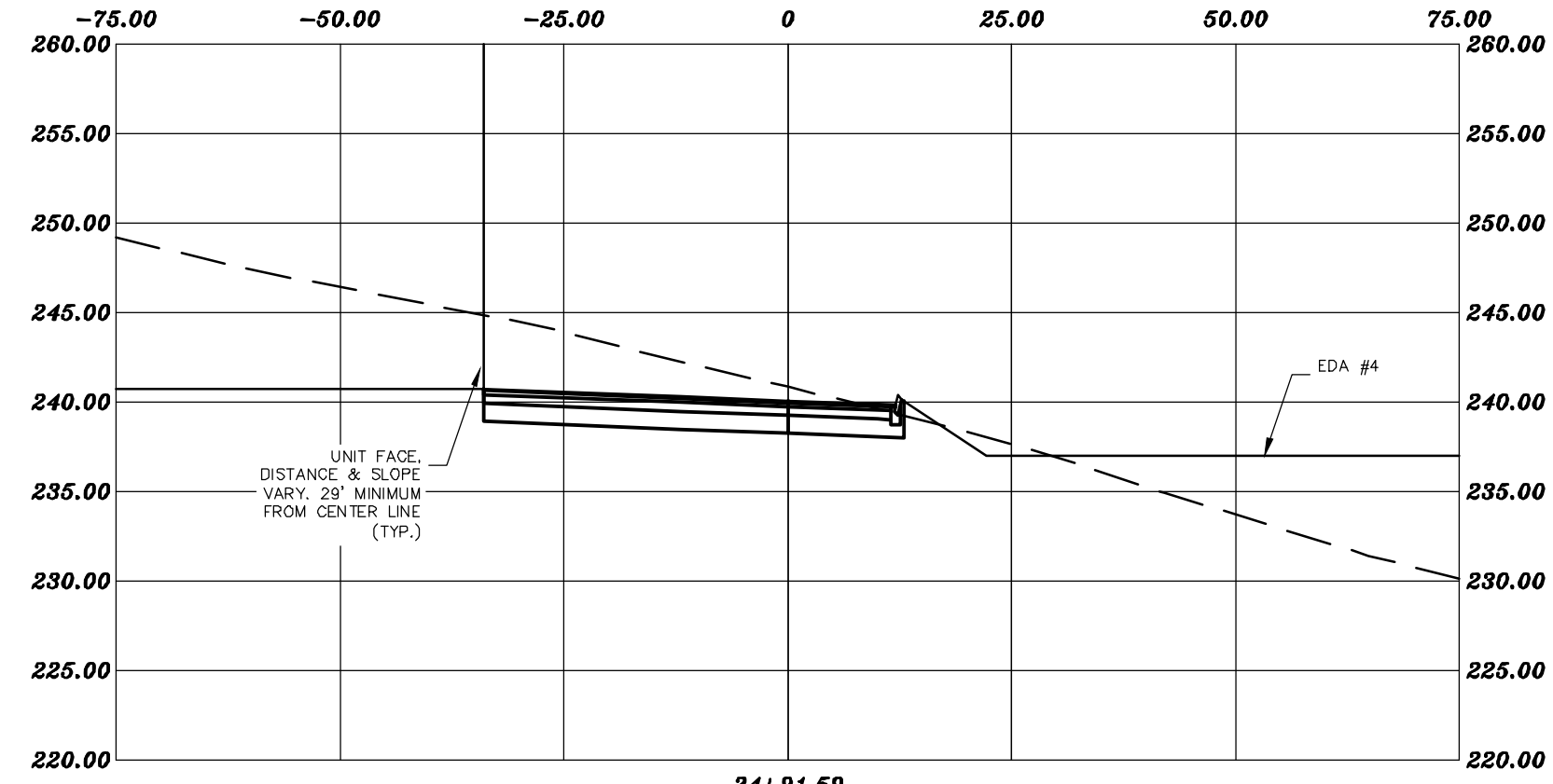
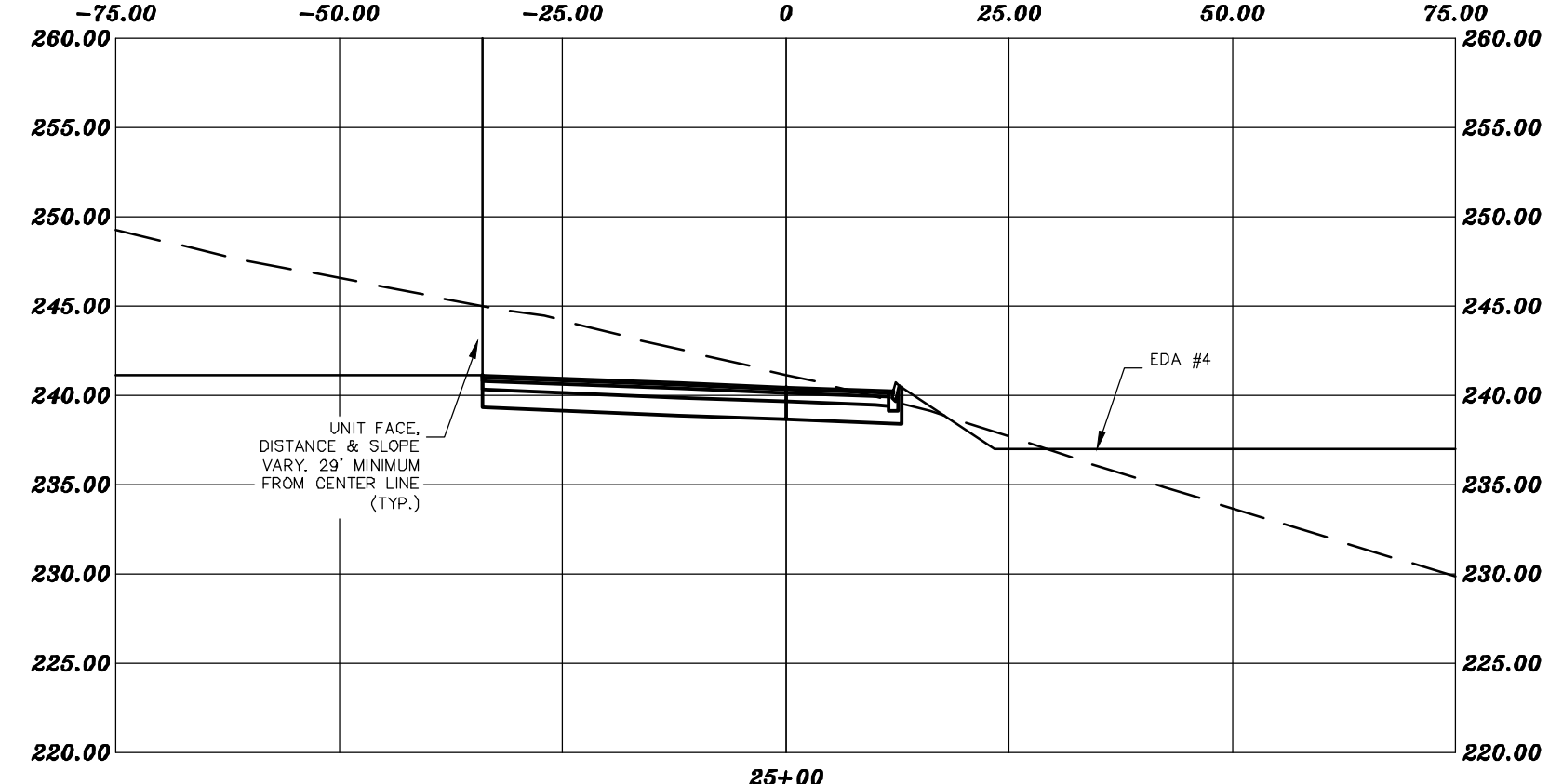
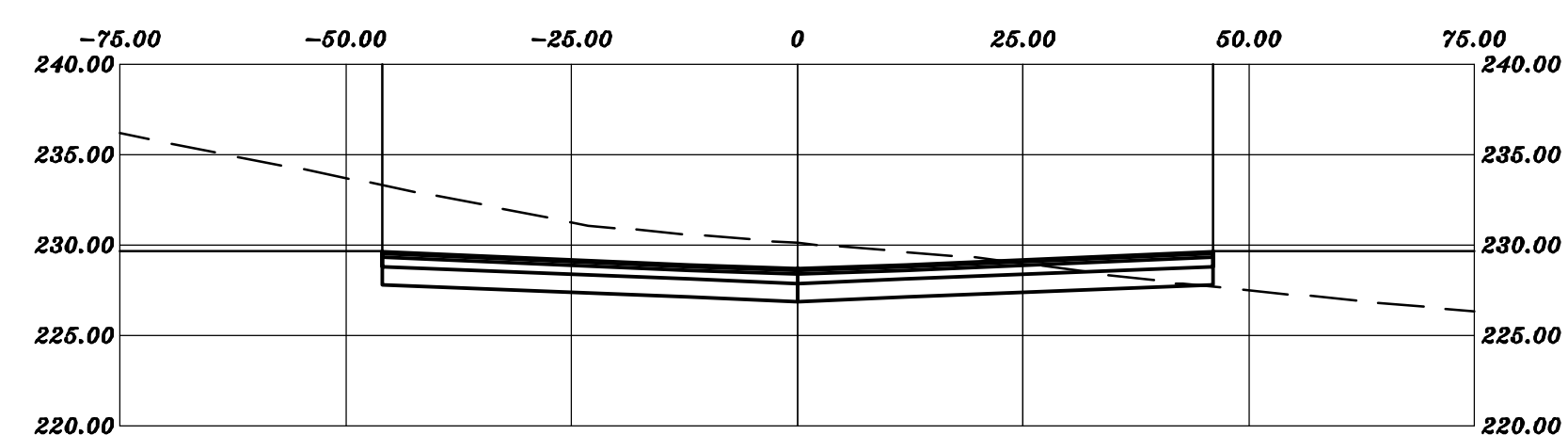
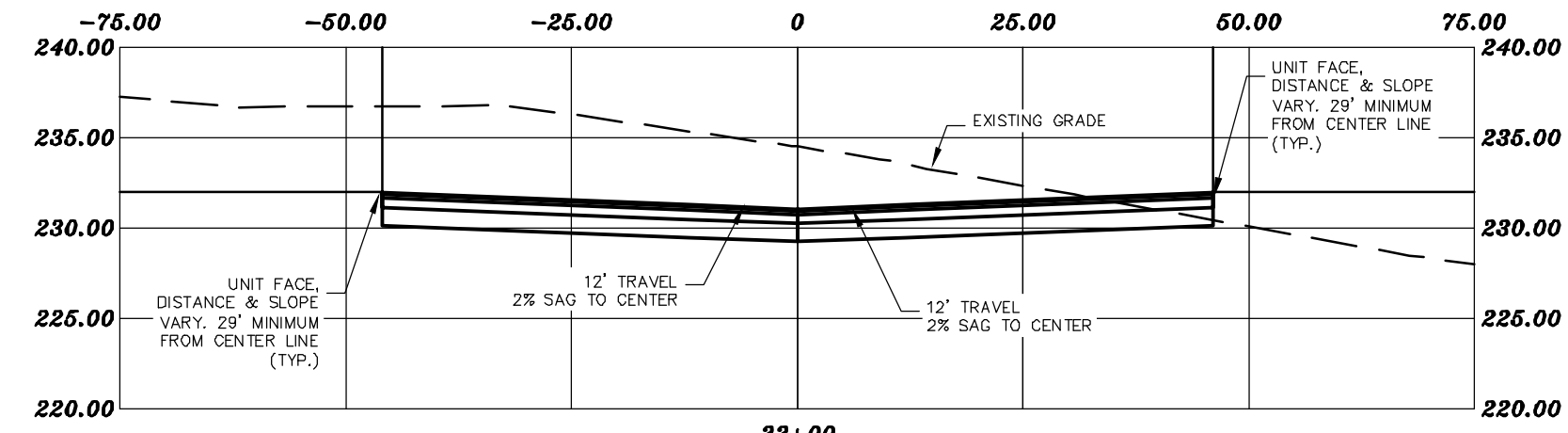
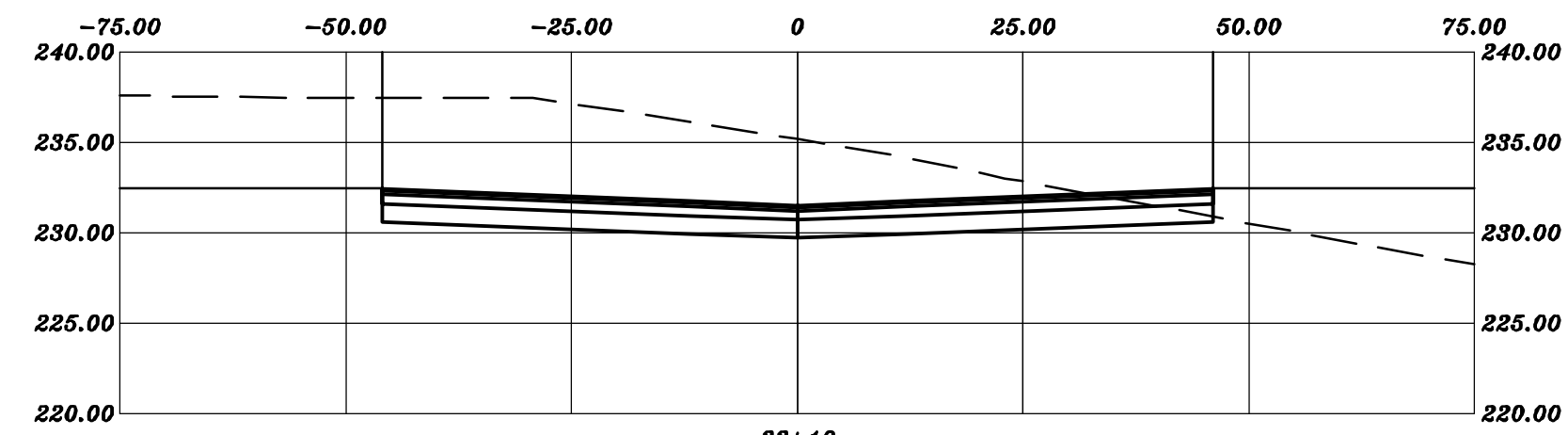
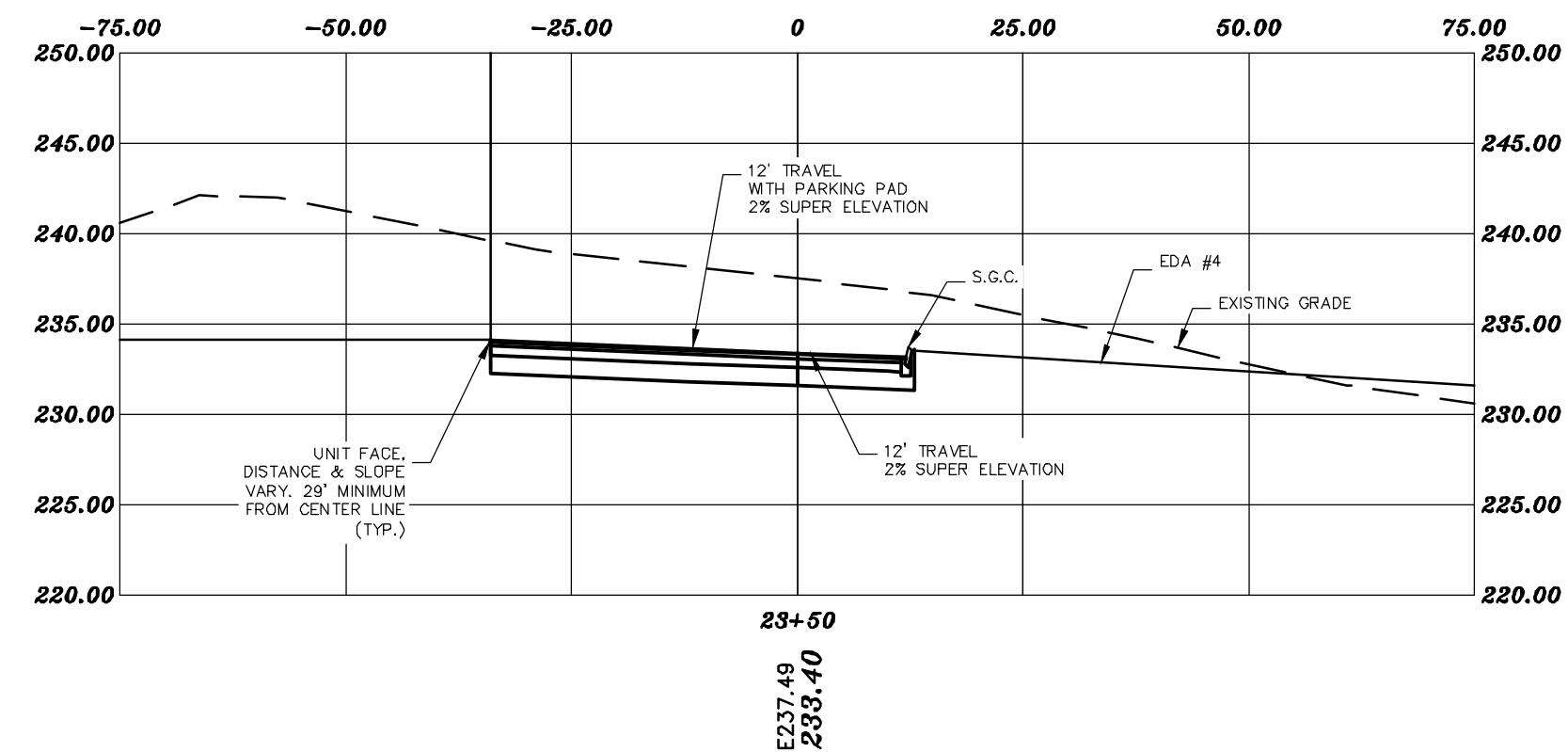
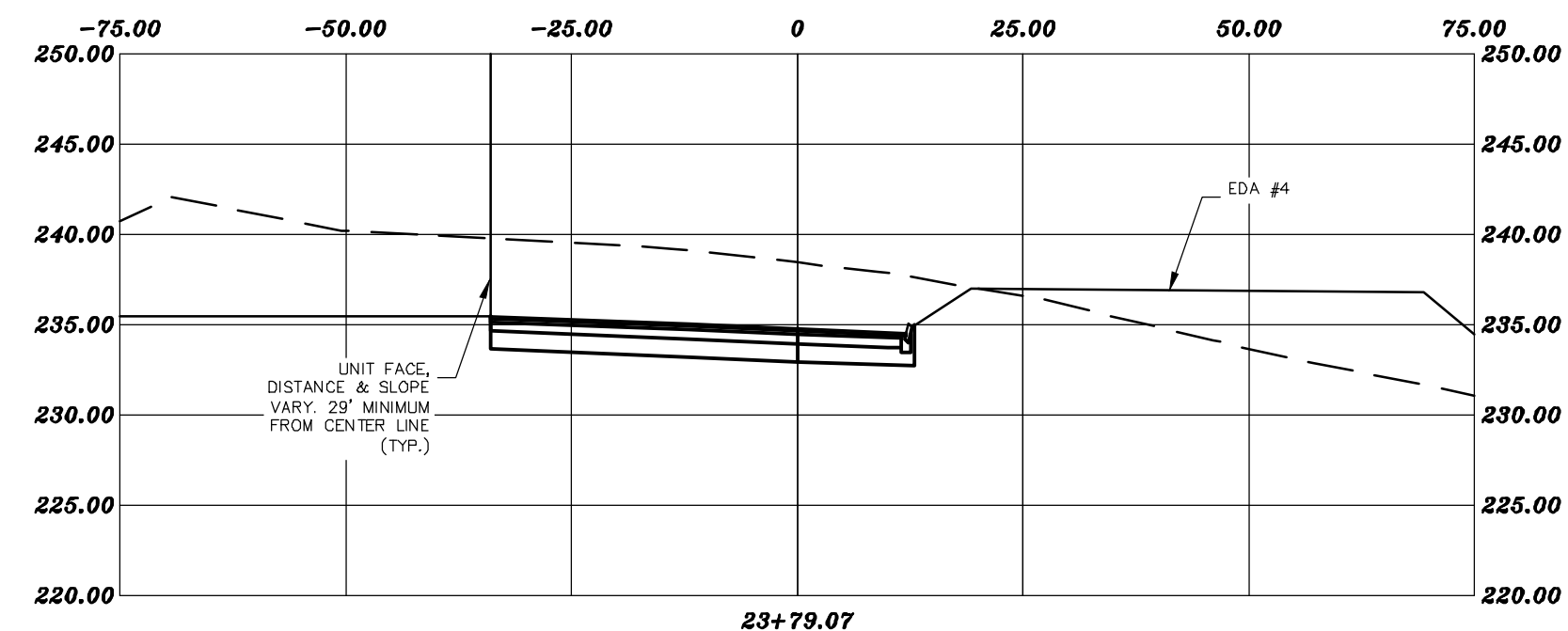
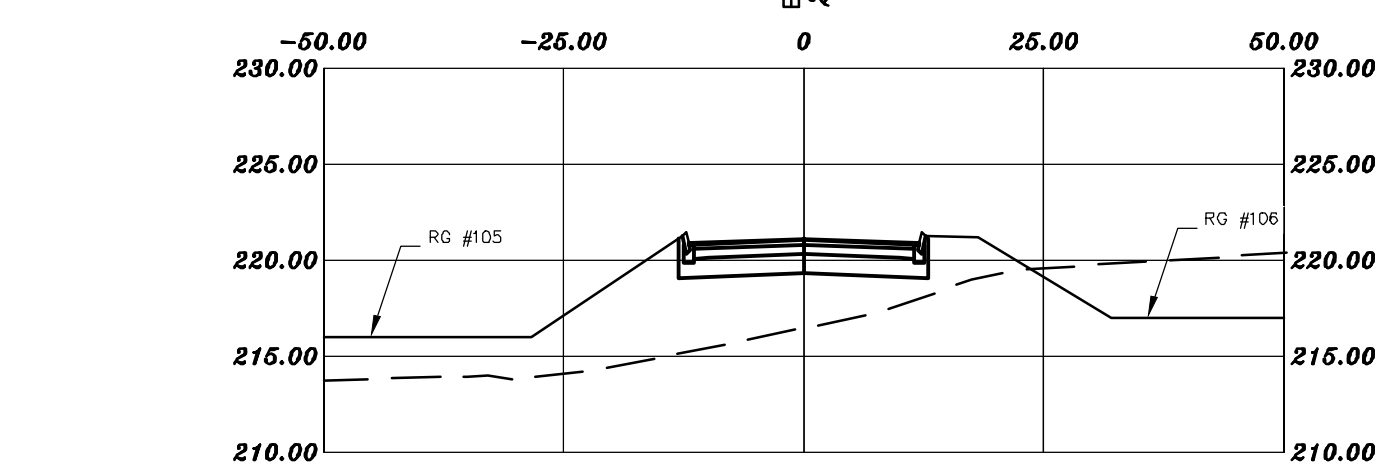
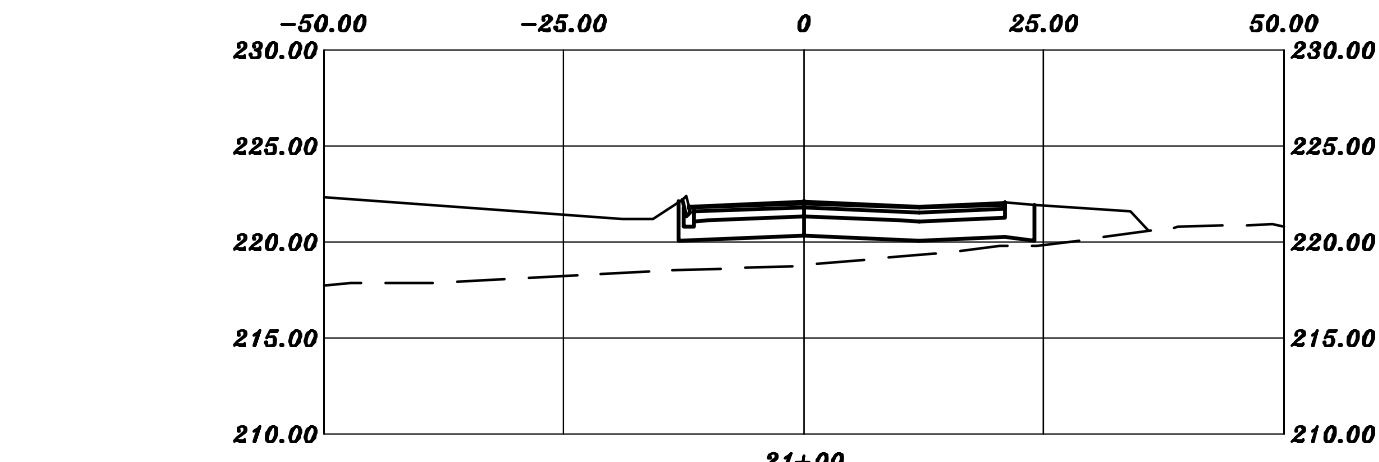
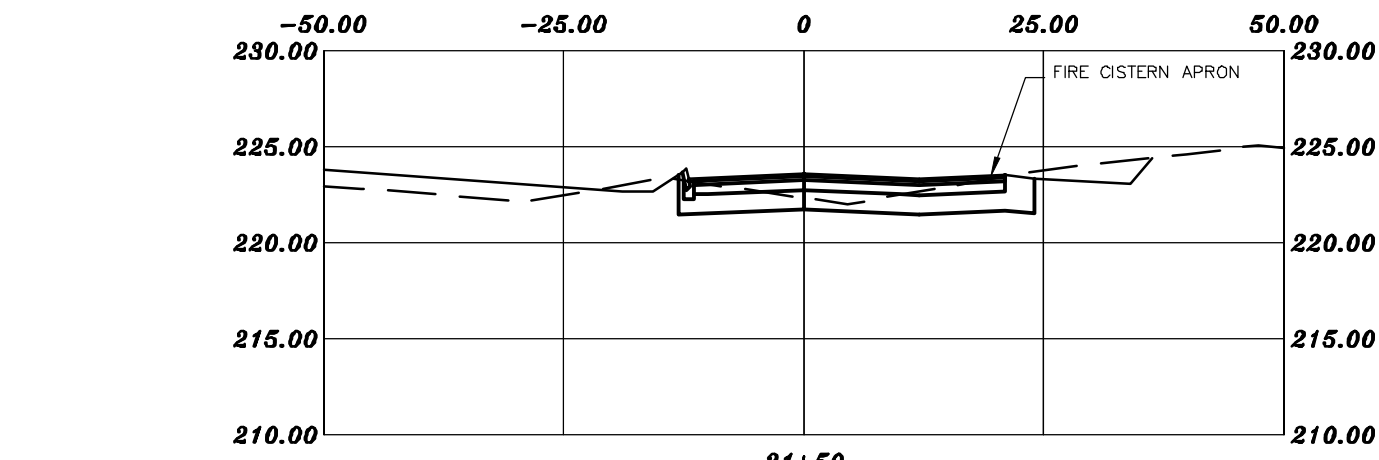
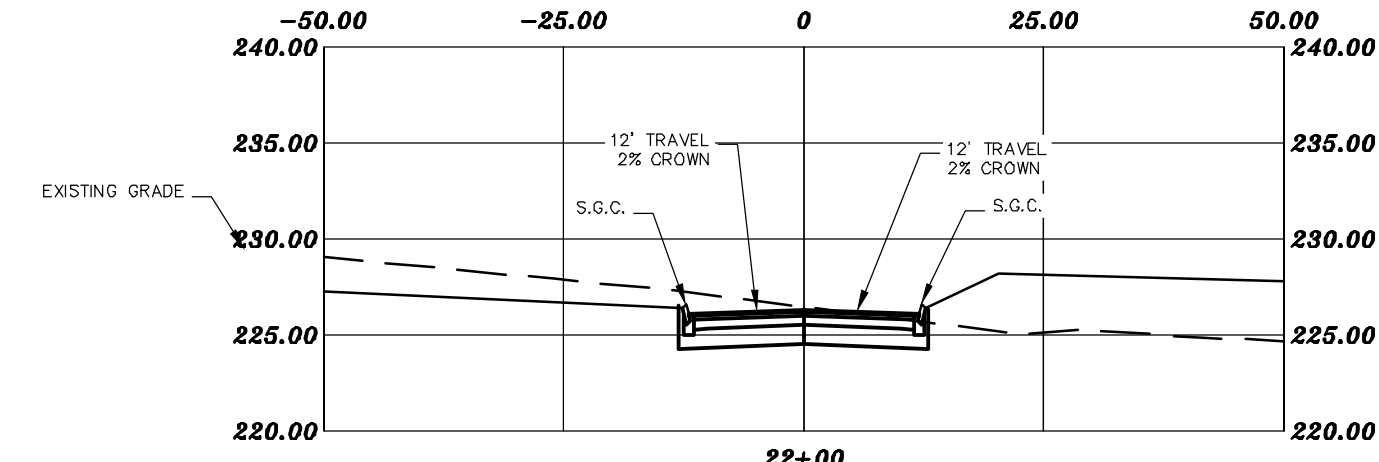
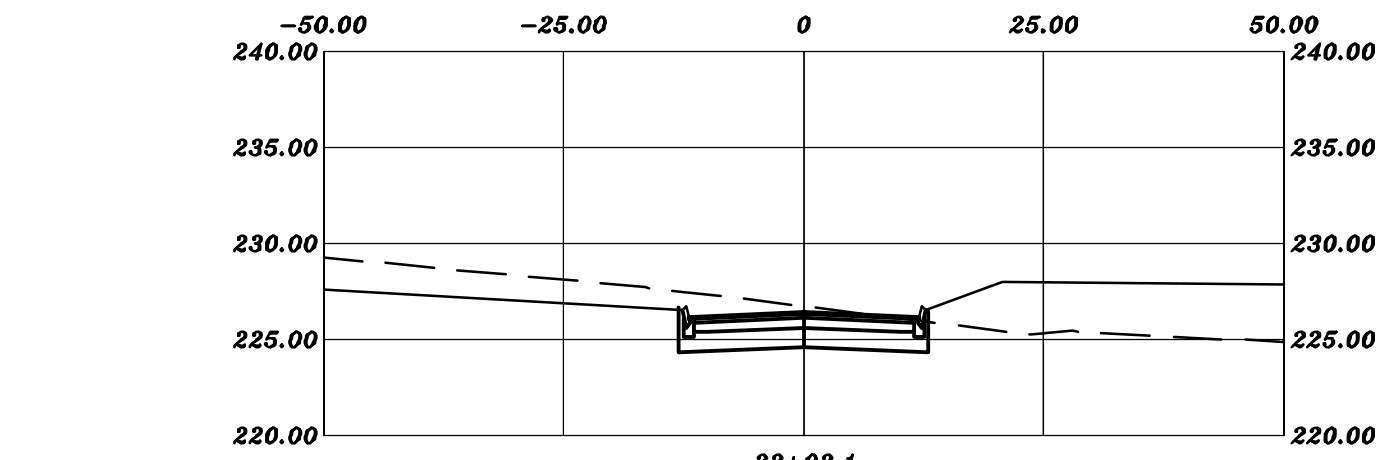
FOR TOWN APPROVAL PURPOSES :

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.
Vertical Scale 10

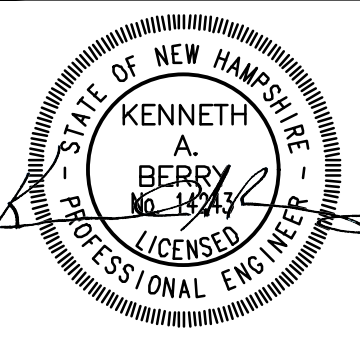
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REVISION	DATE	DESCRIPTION

CROSS SECTIONS HIGH POINT DRIVE 20+00 - 25+00
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



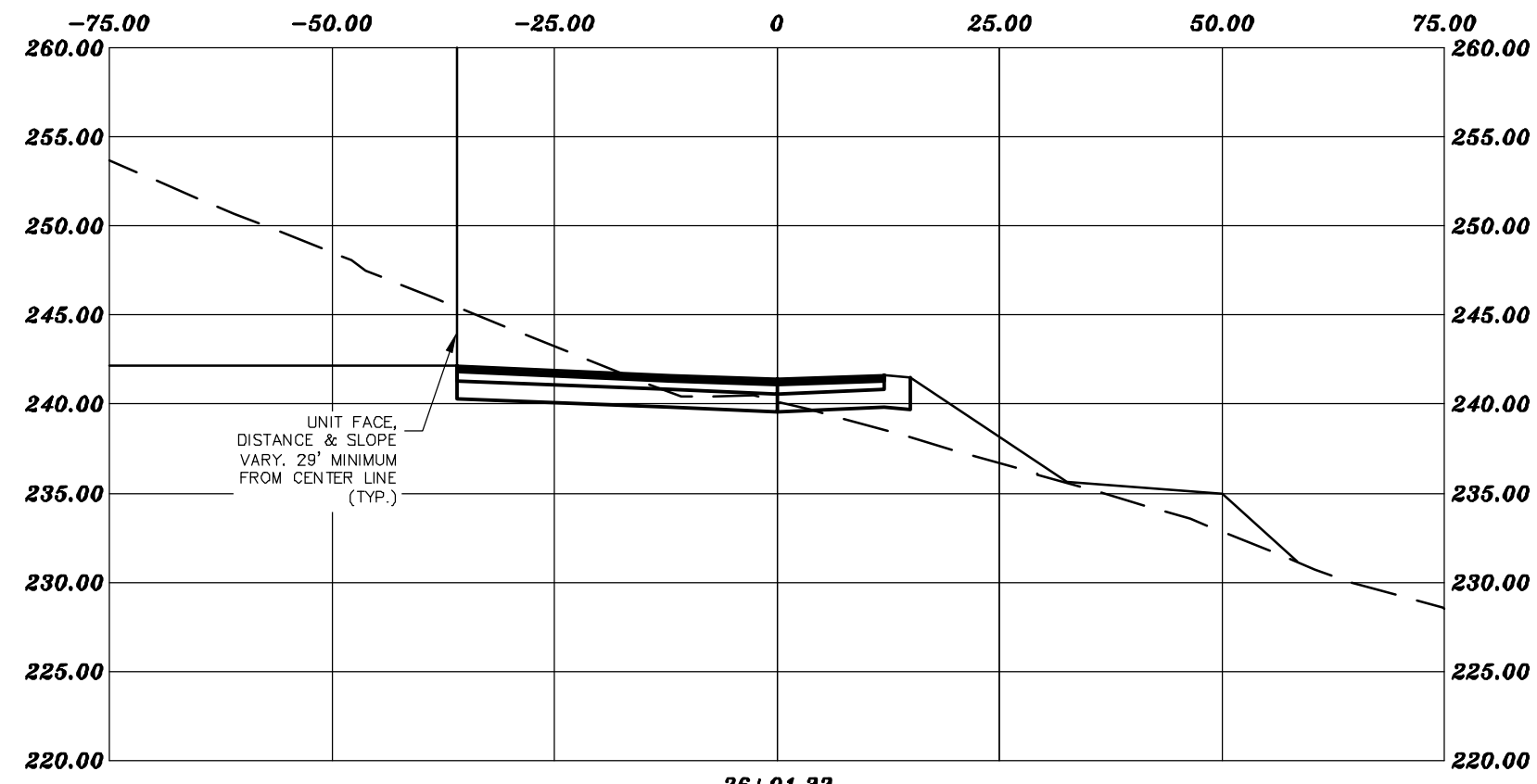
FOR TOWN APPROVAL PURPOSES :

GRAPHIC SCALE

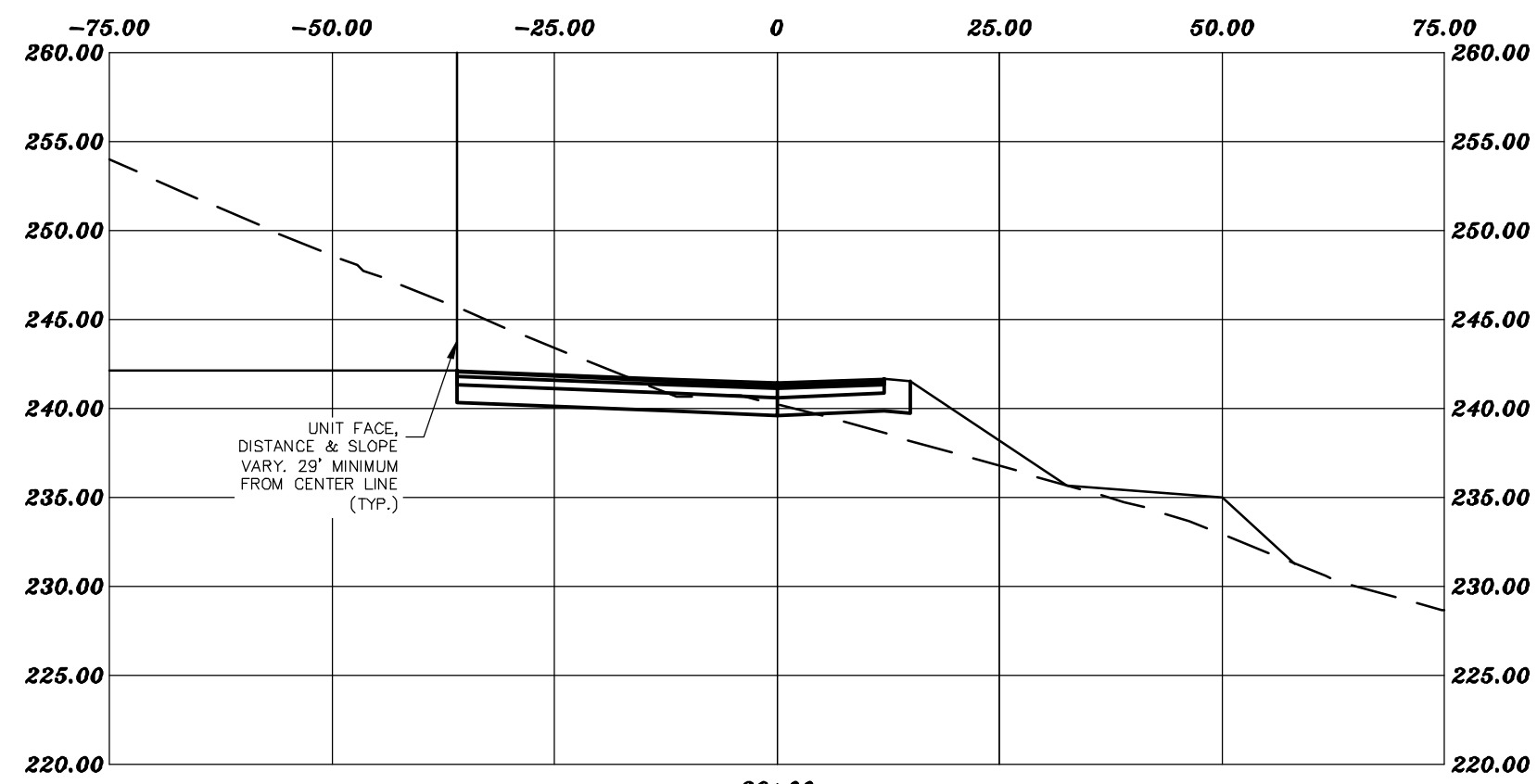


(IN FEET)
1 inch = 20 ft.
Vertical Scale 10

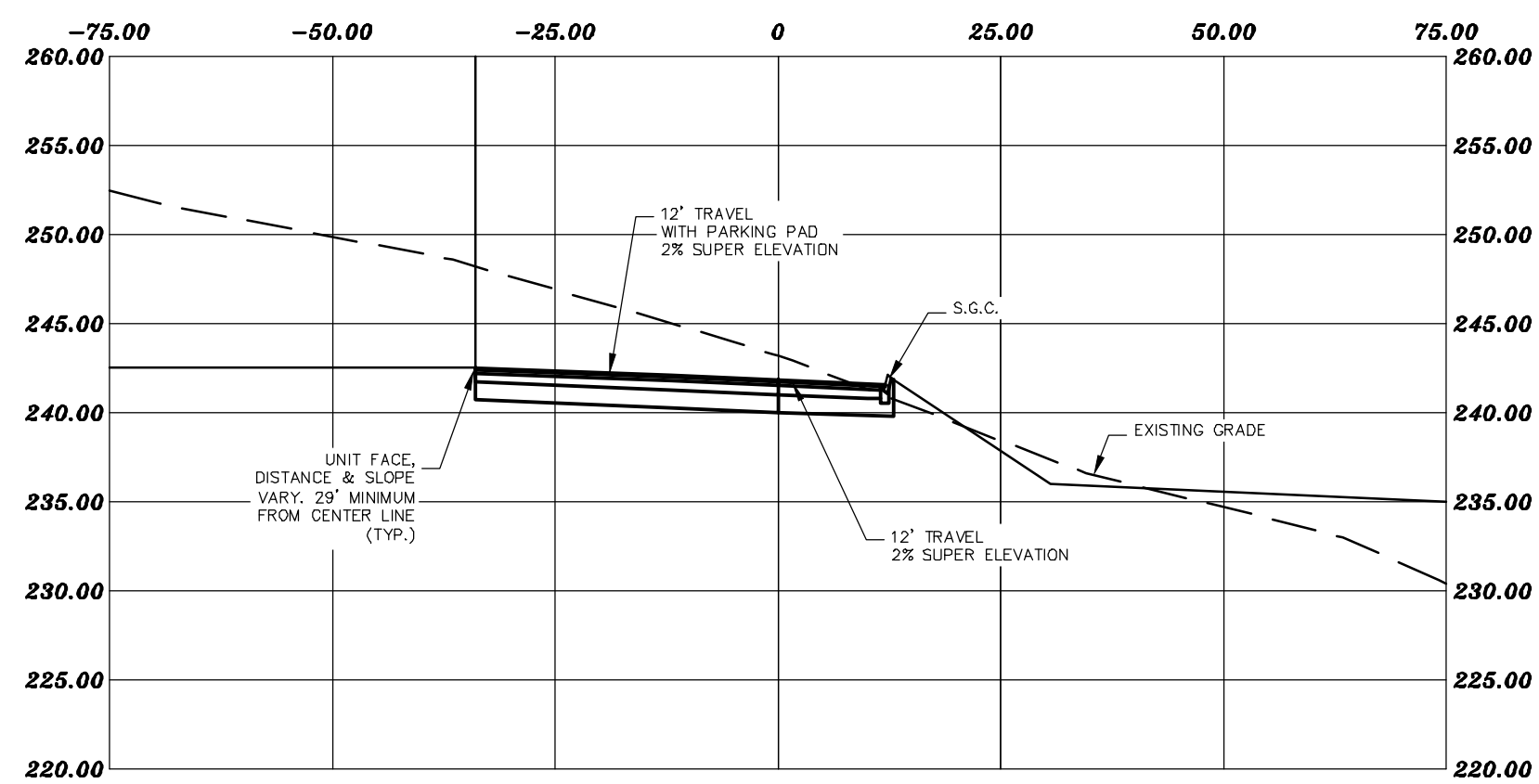
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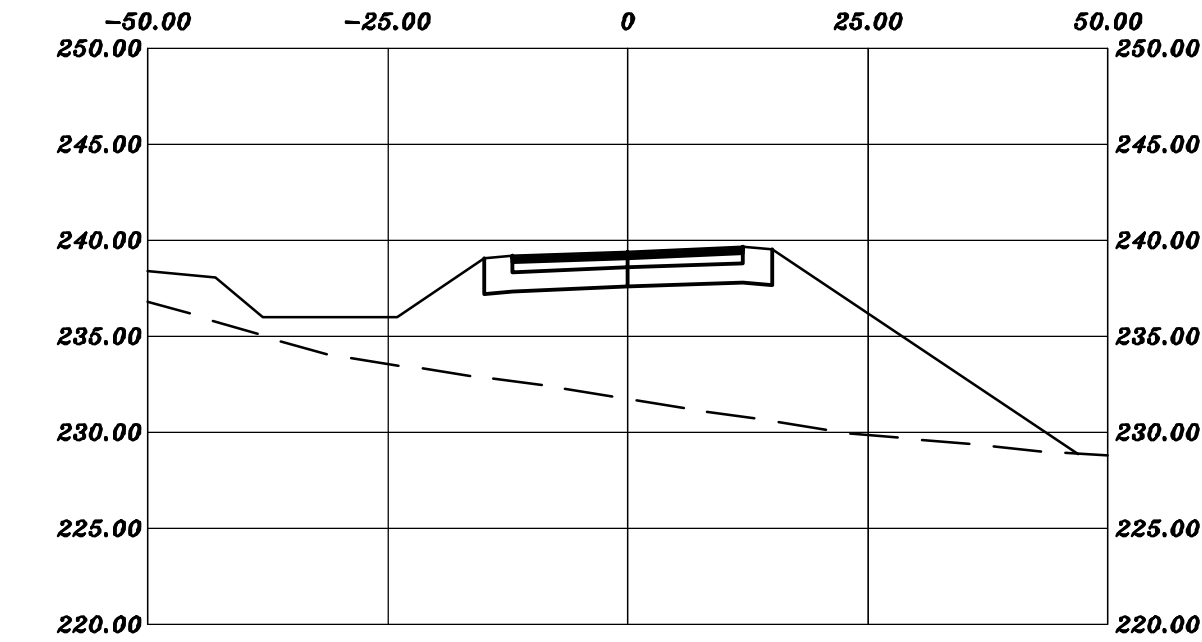
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E240.16
241.42



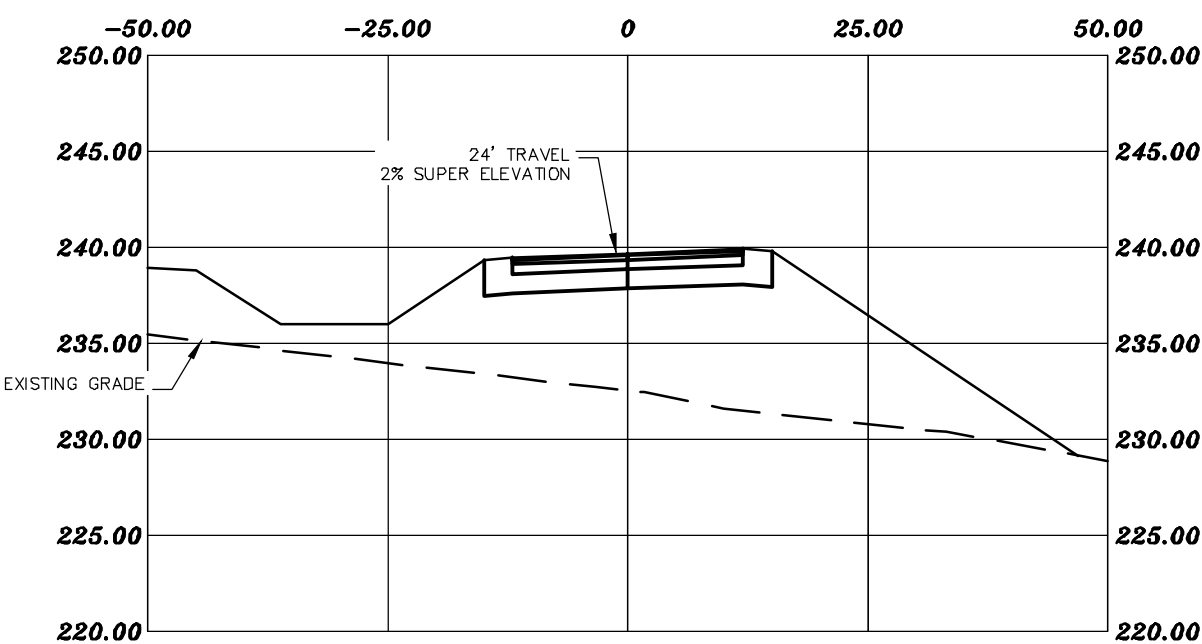
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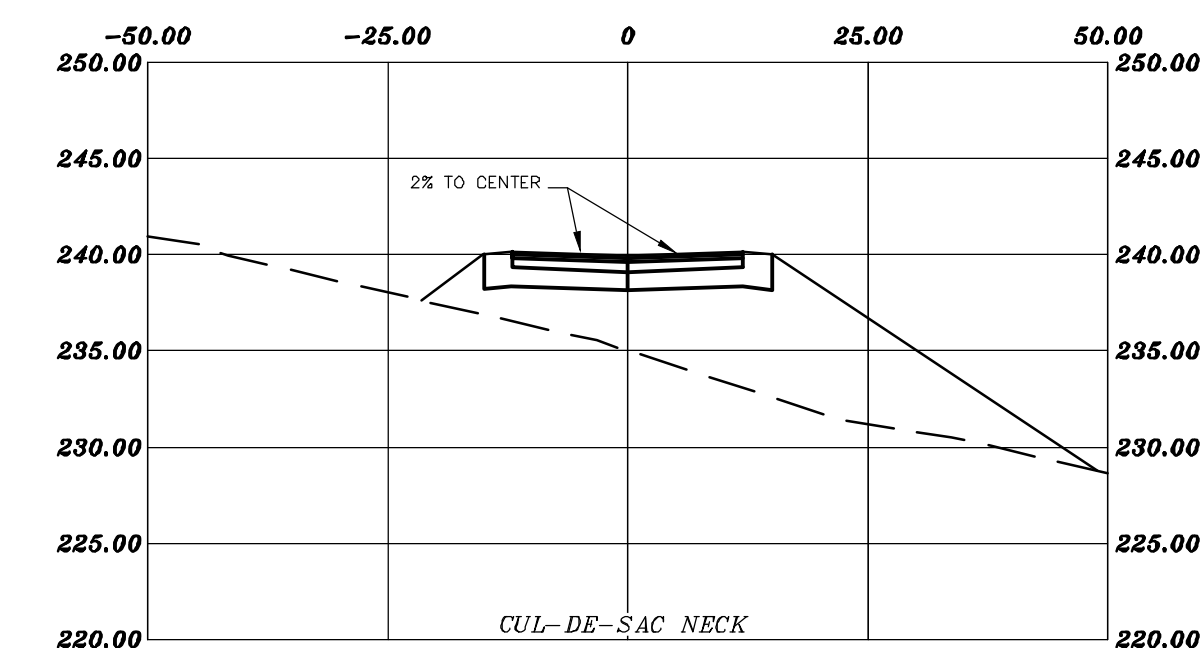
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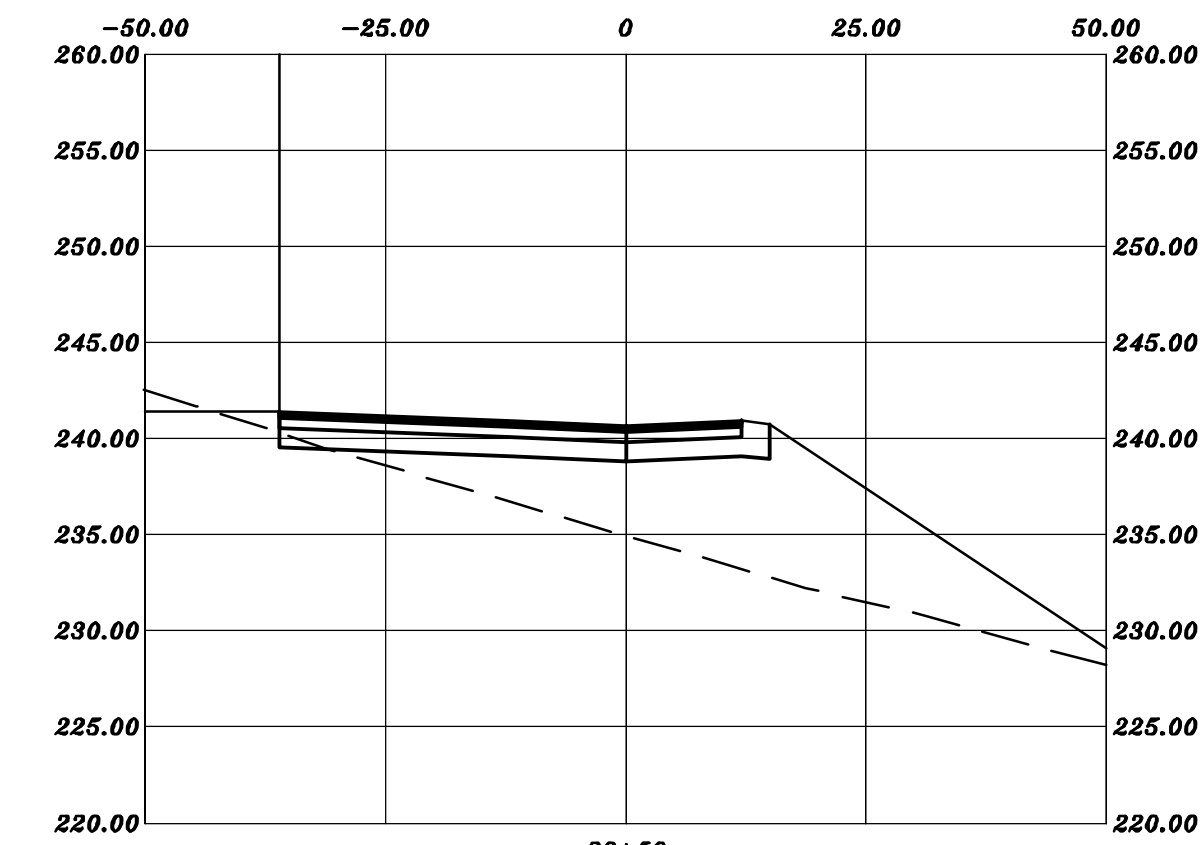
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E233.74
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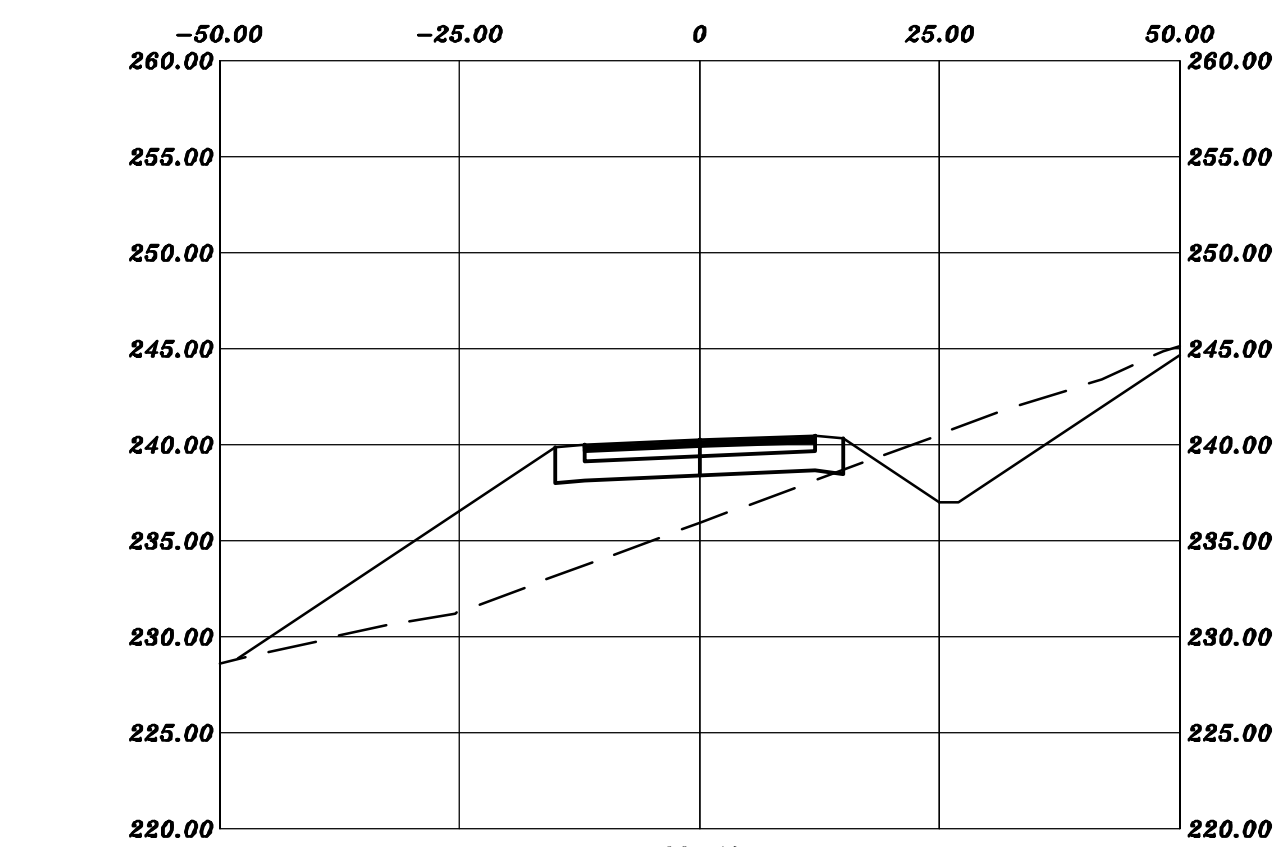
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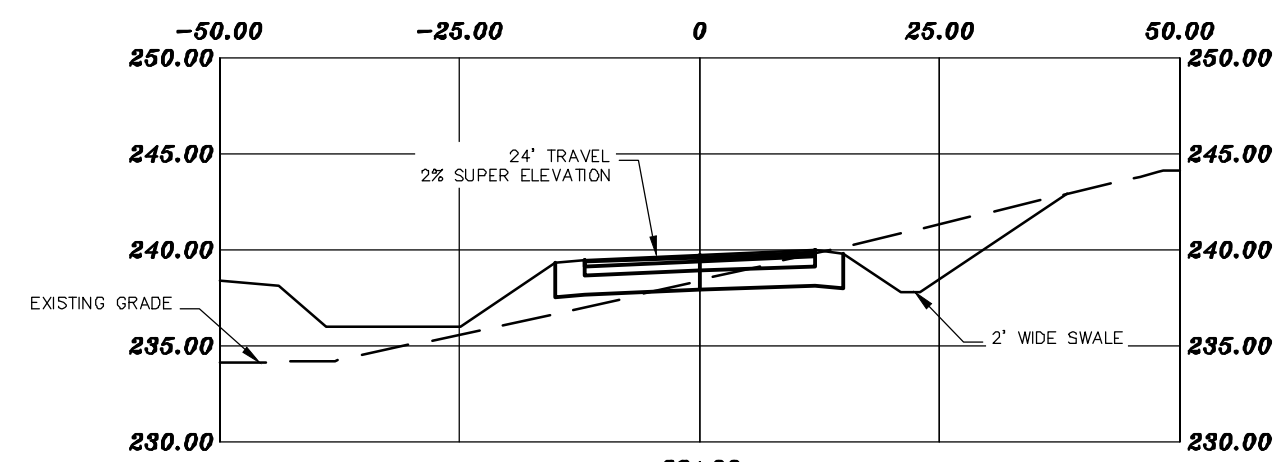
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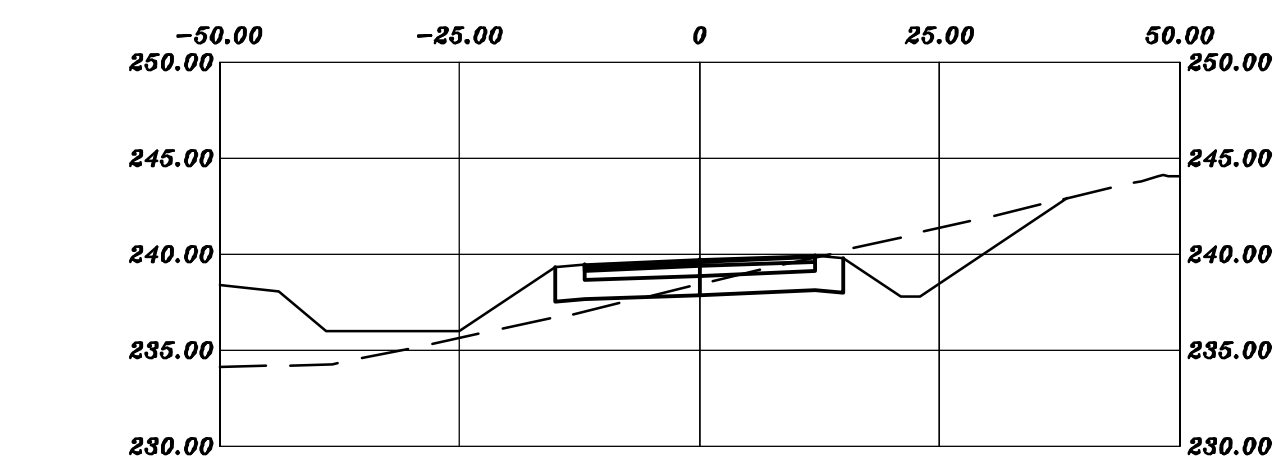
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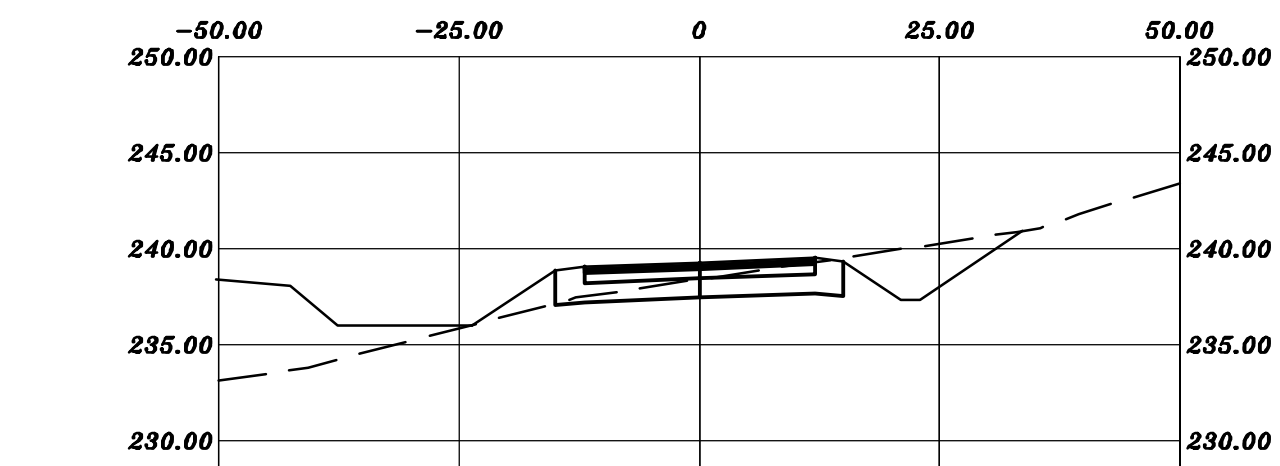
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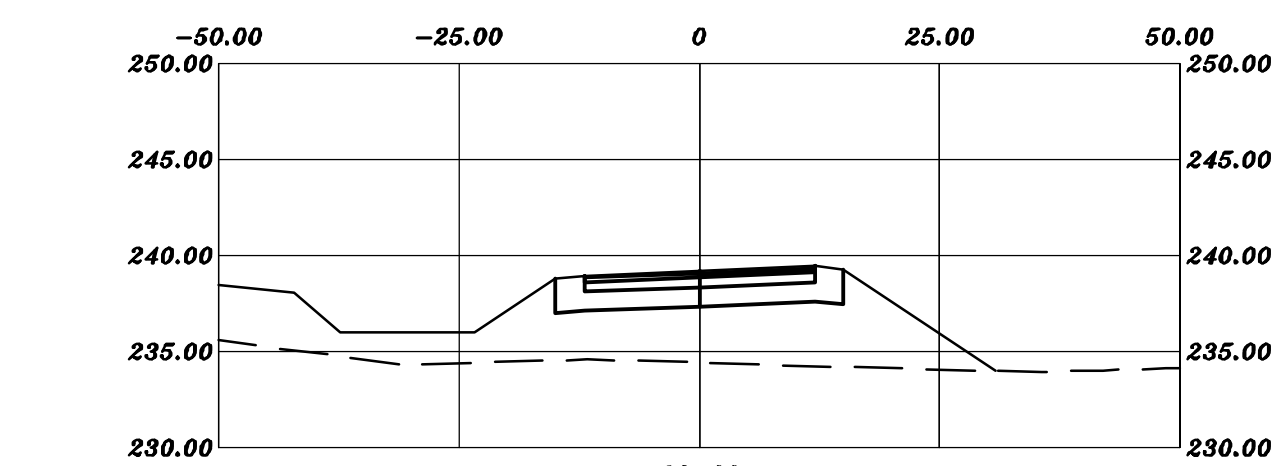
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E238.35
239.77



28+89.87
E238.41
239.70



28+50
E238.42
239.30

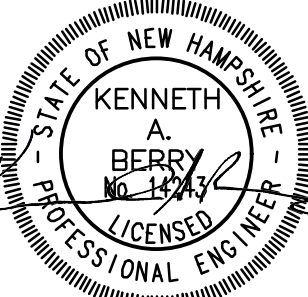


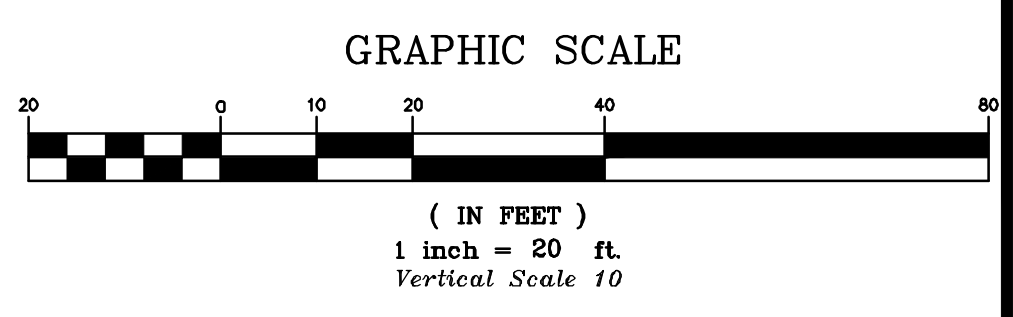
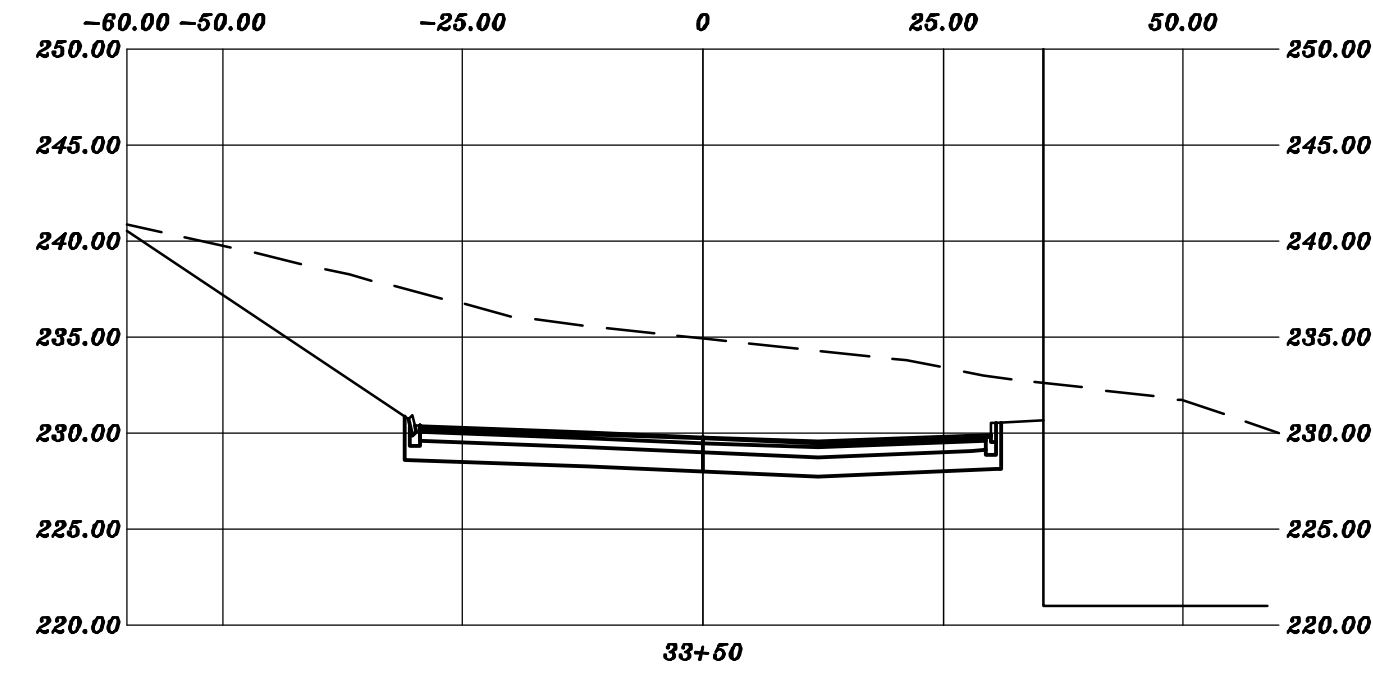
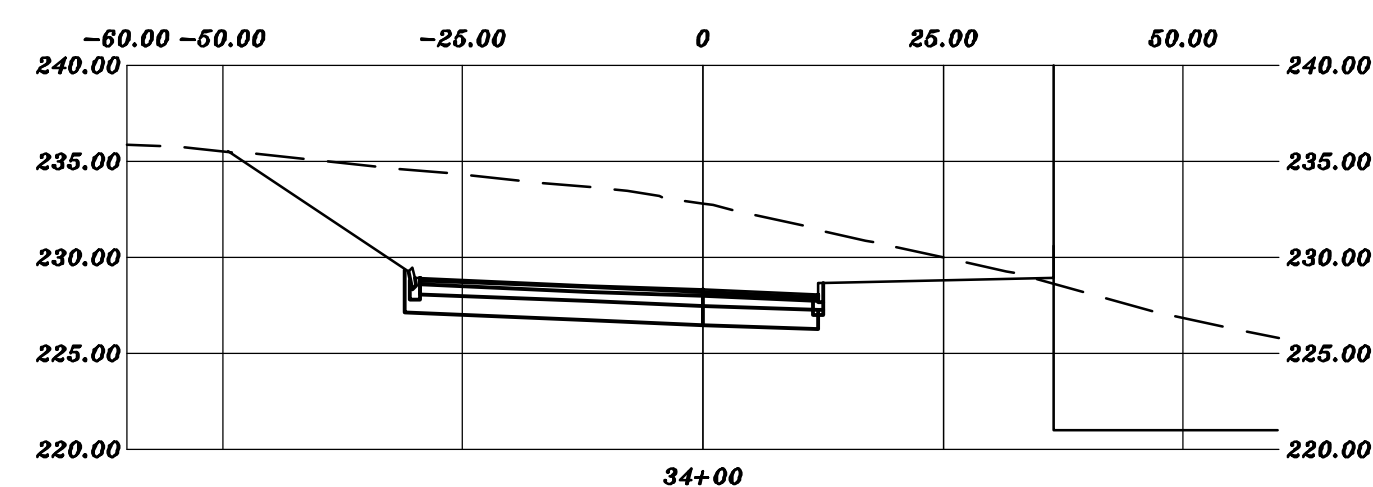
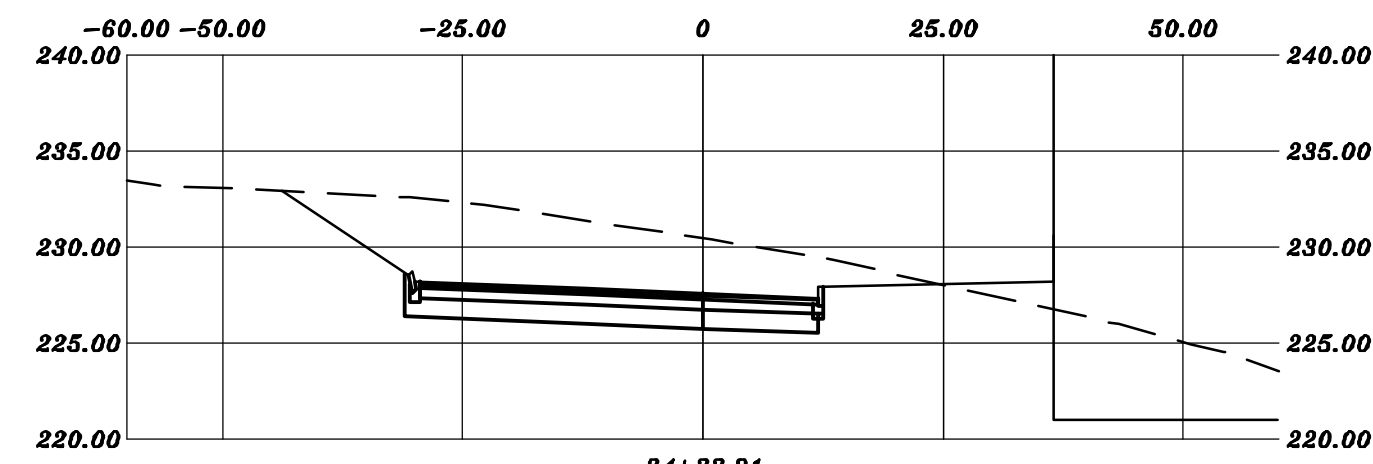
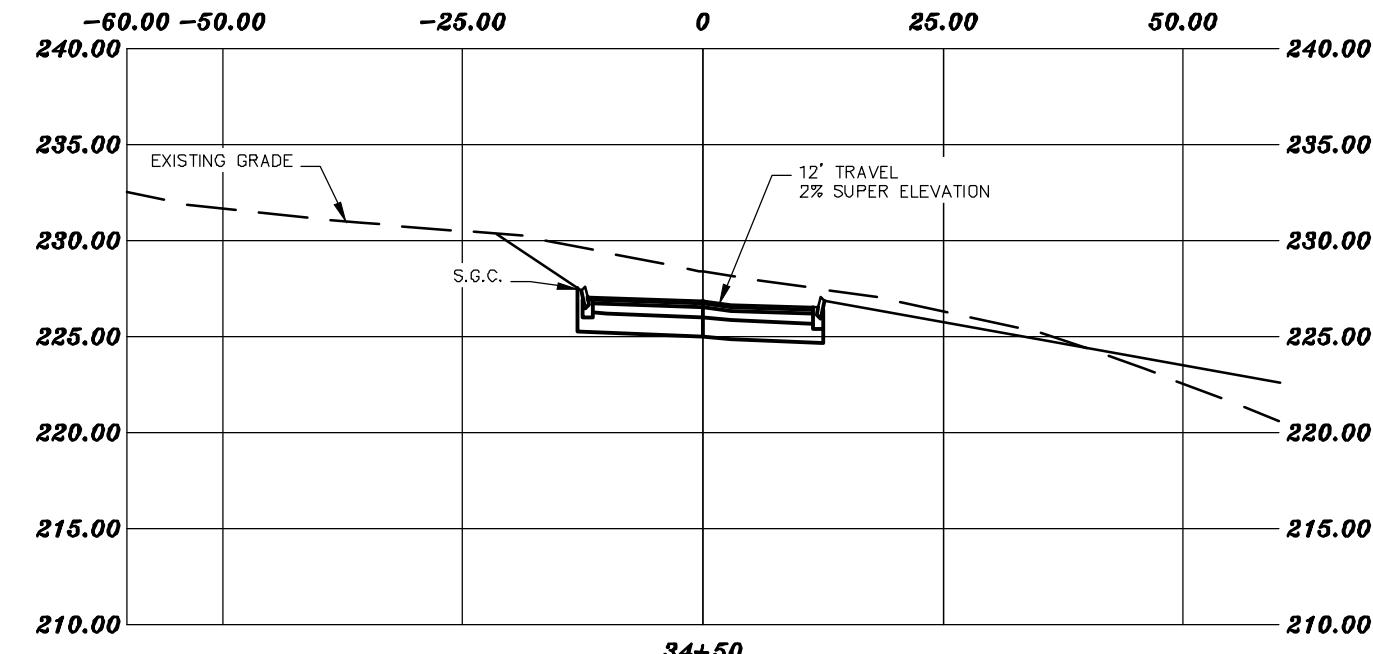
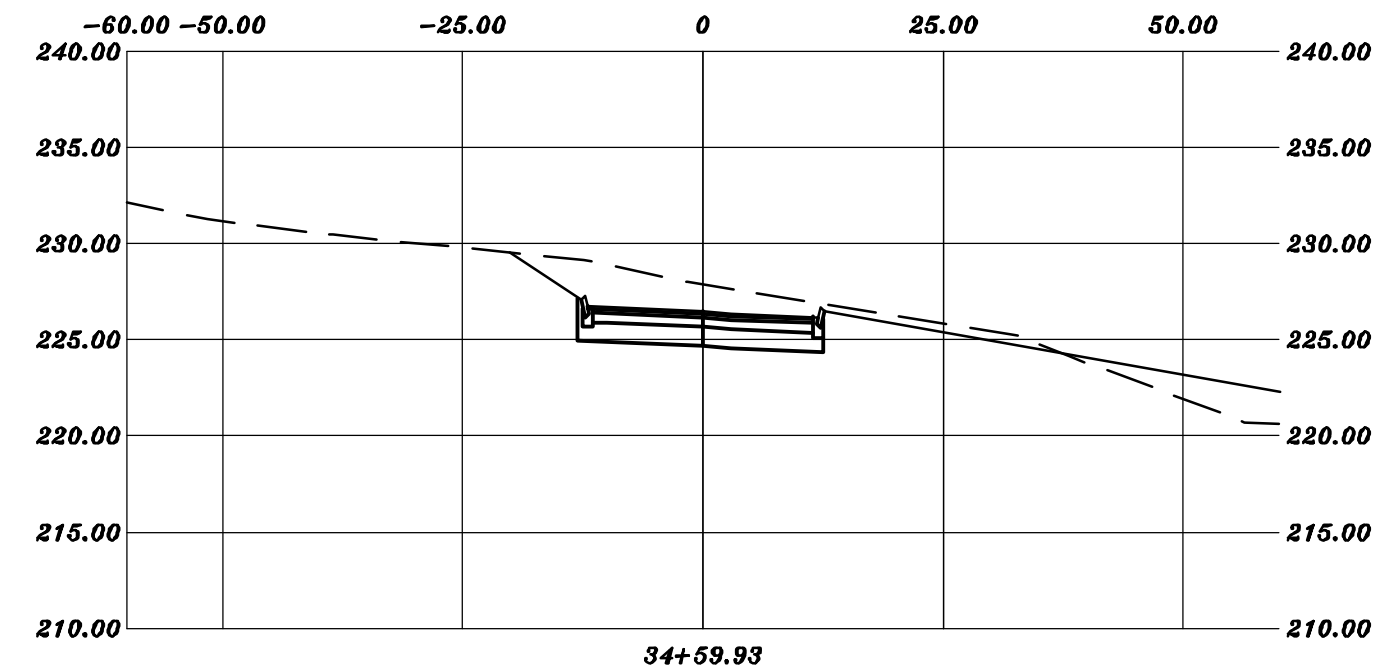
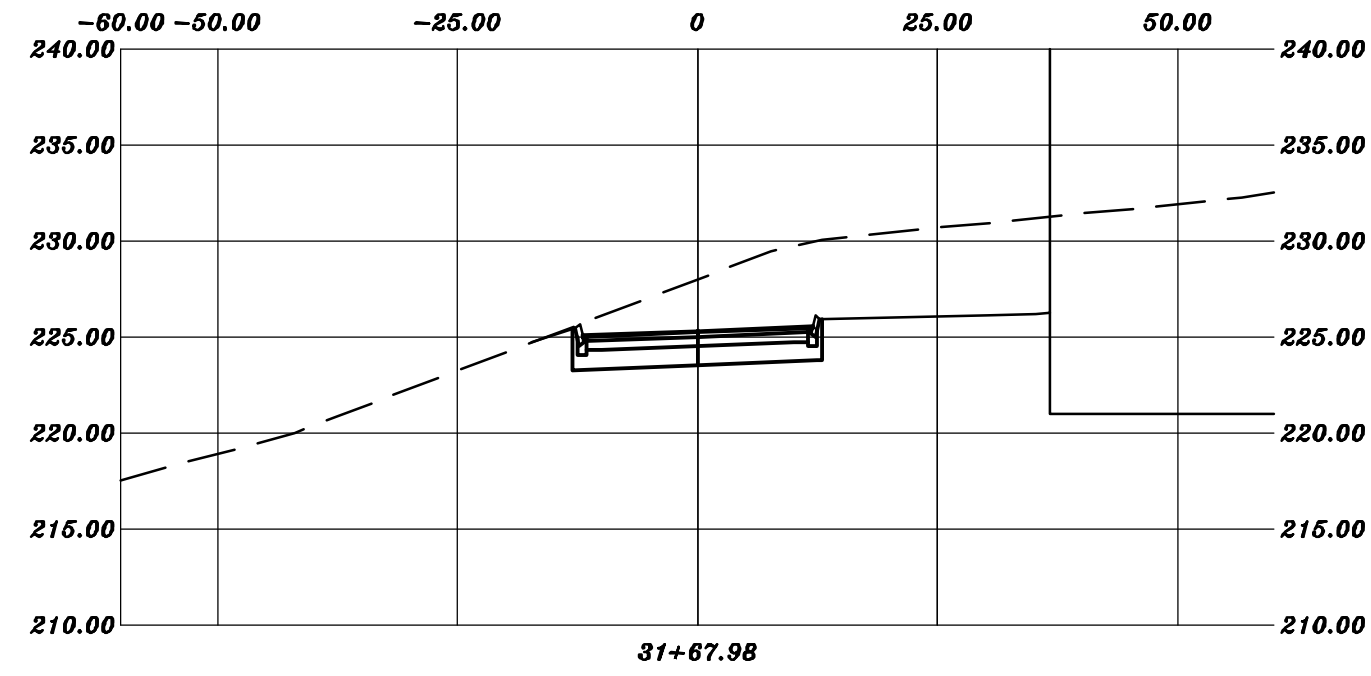
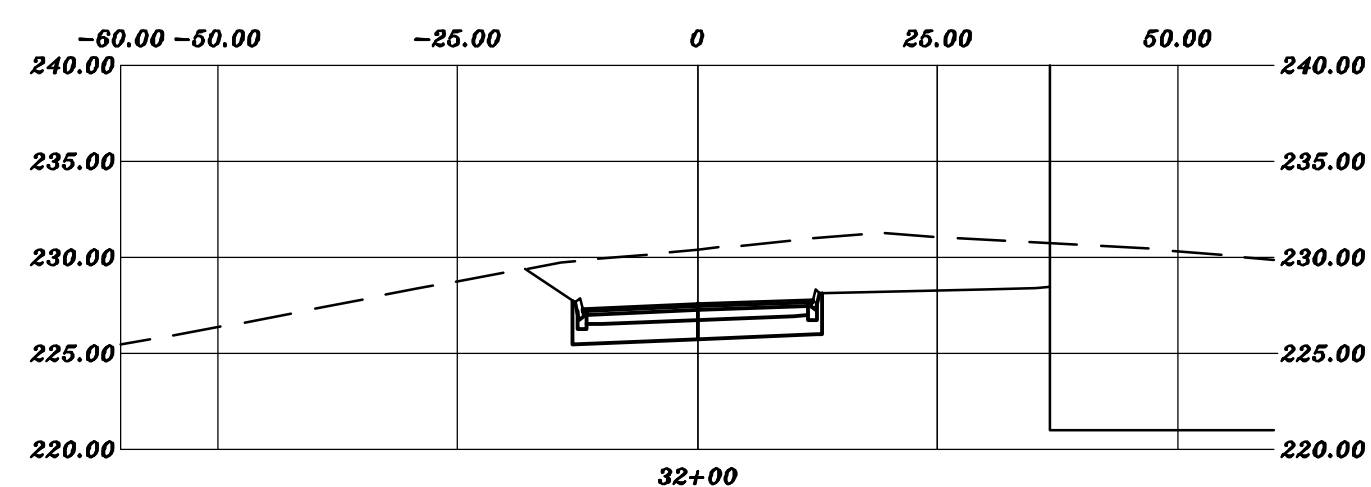
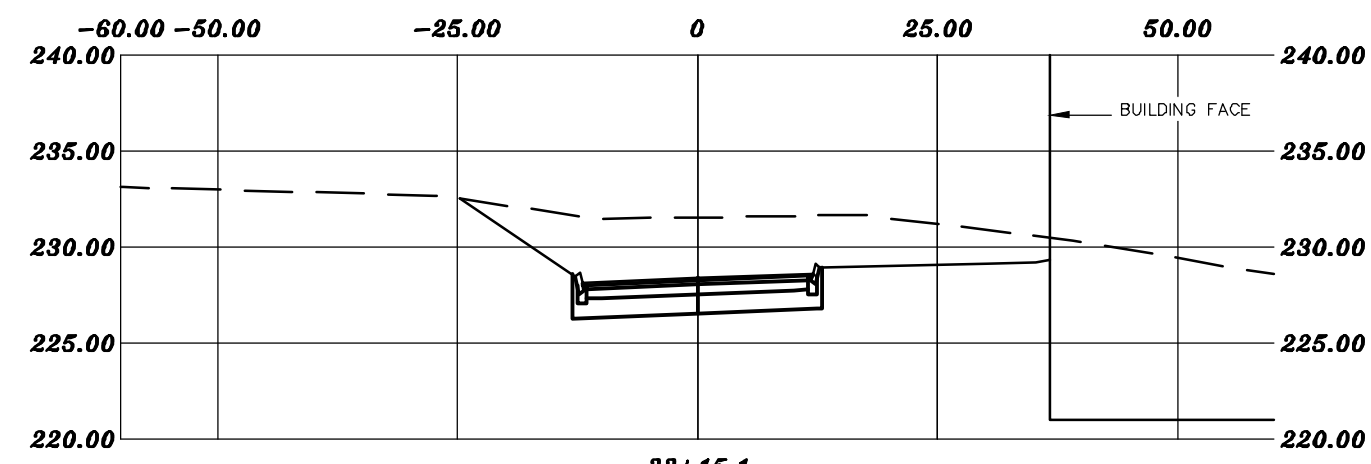
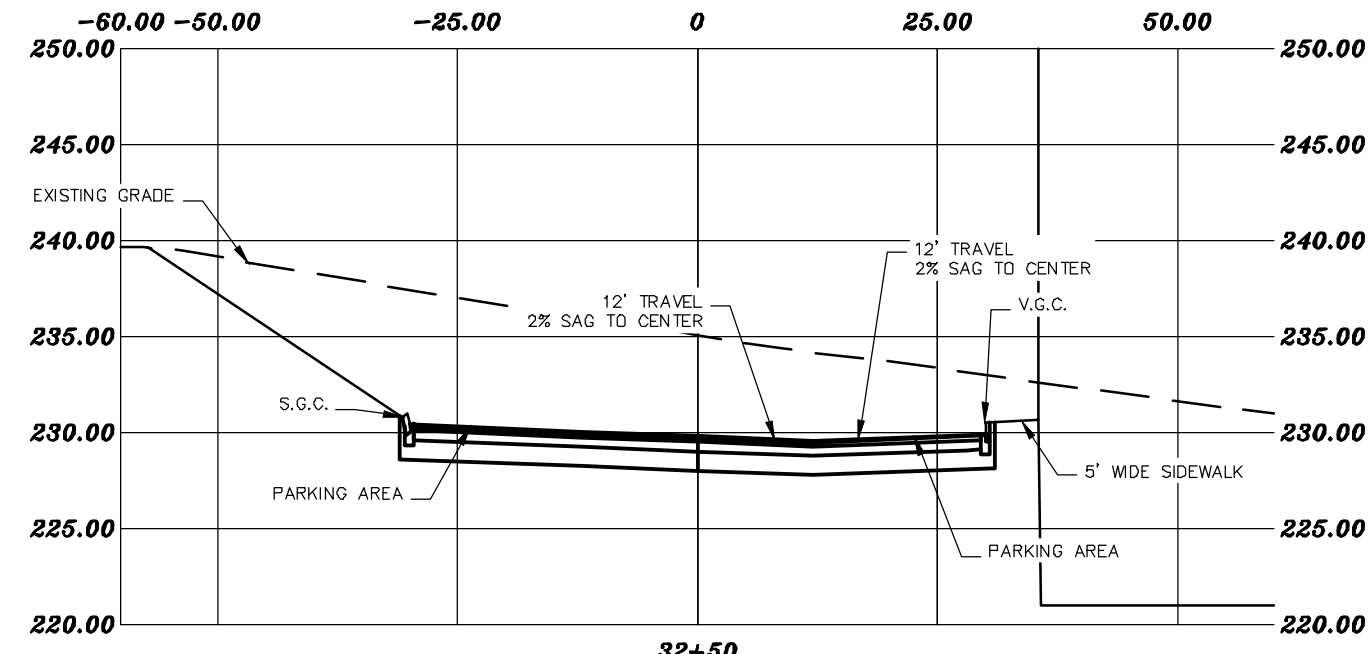
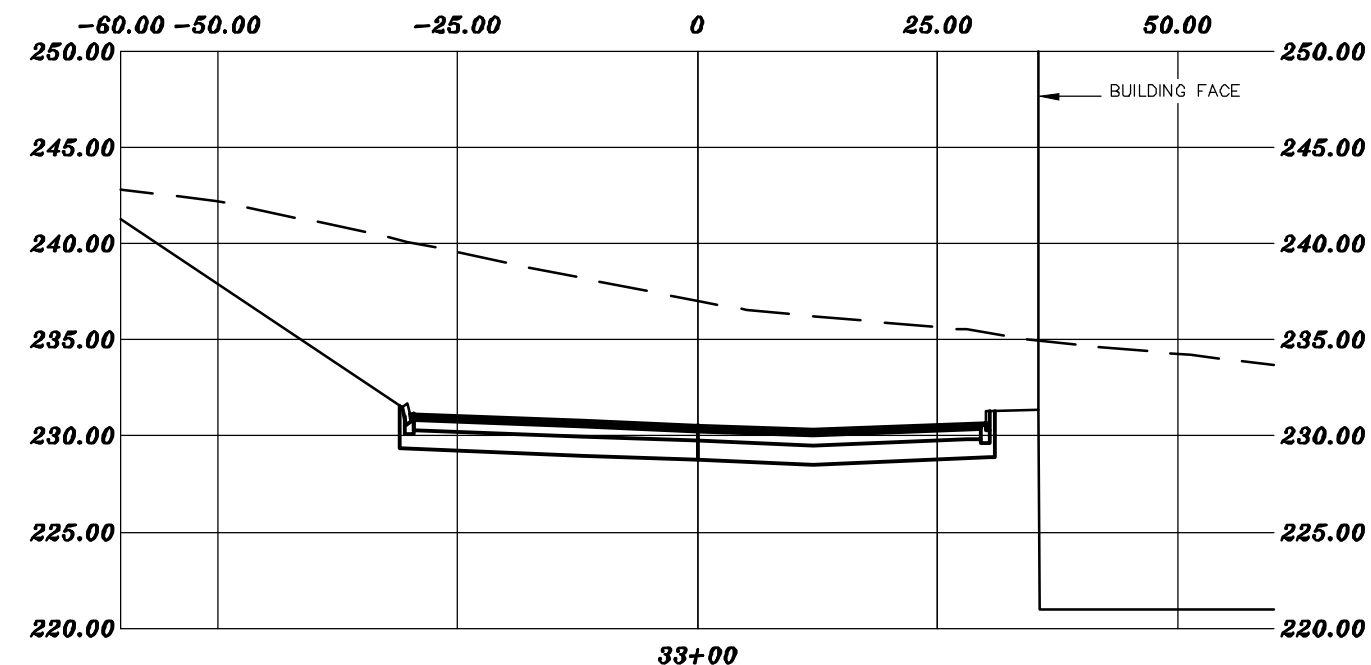
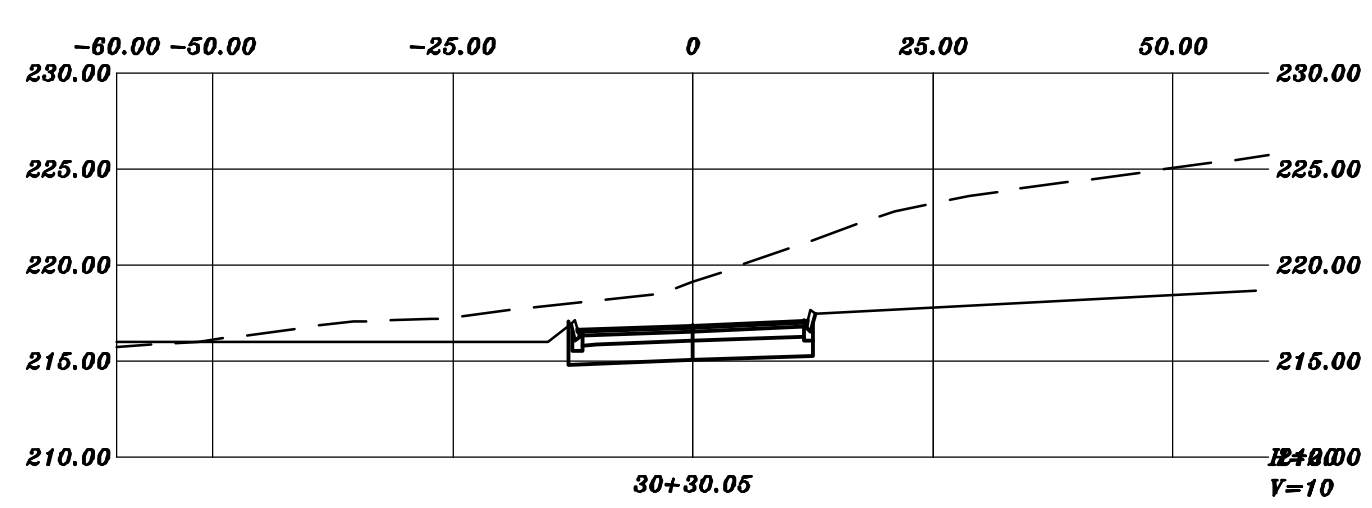
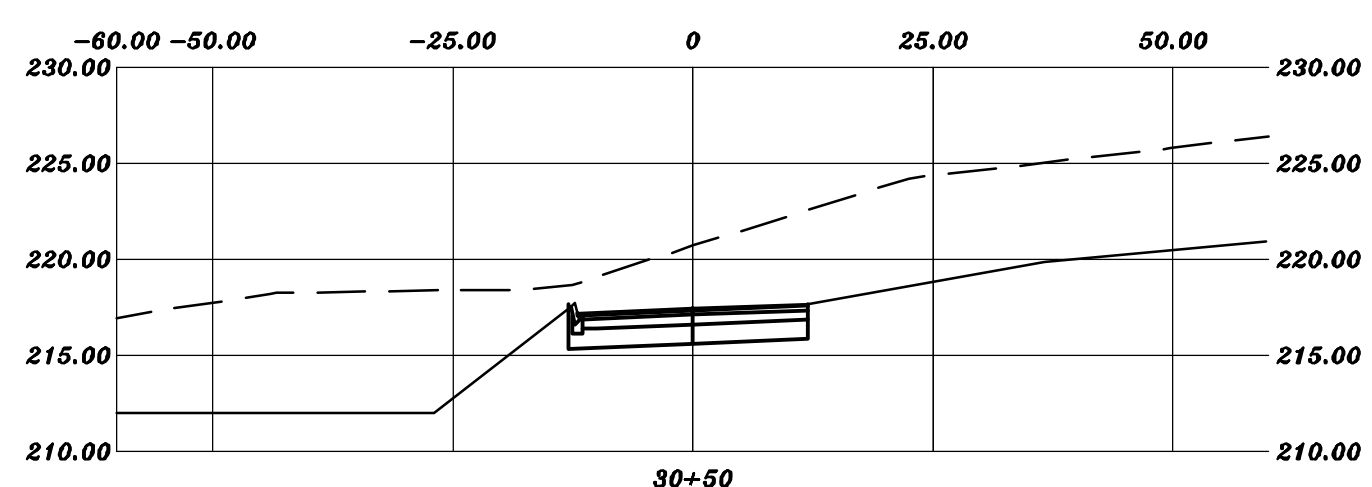
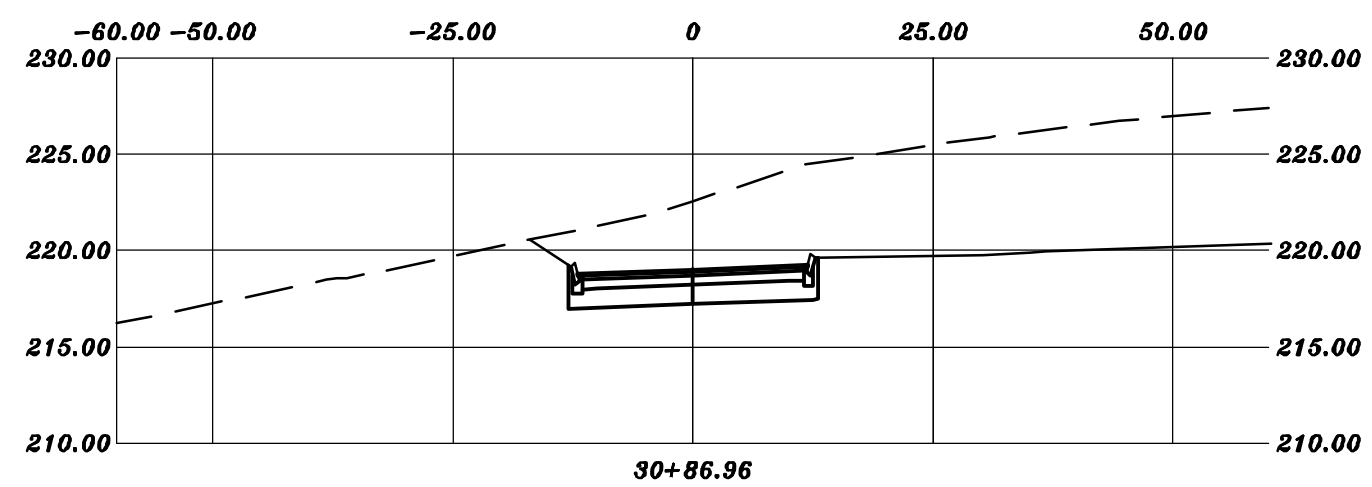
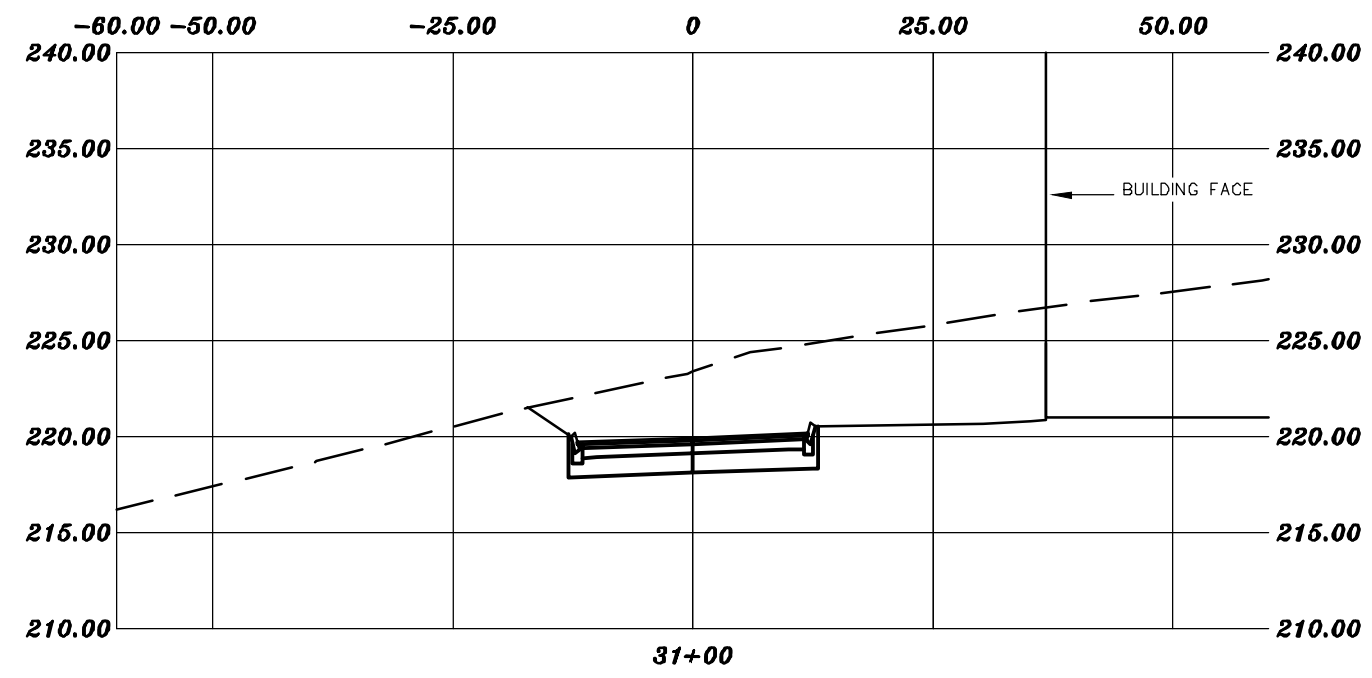
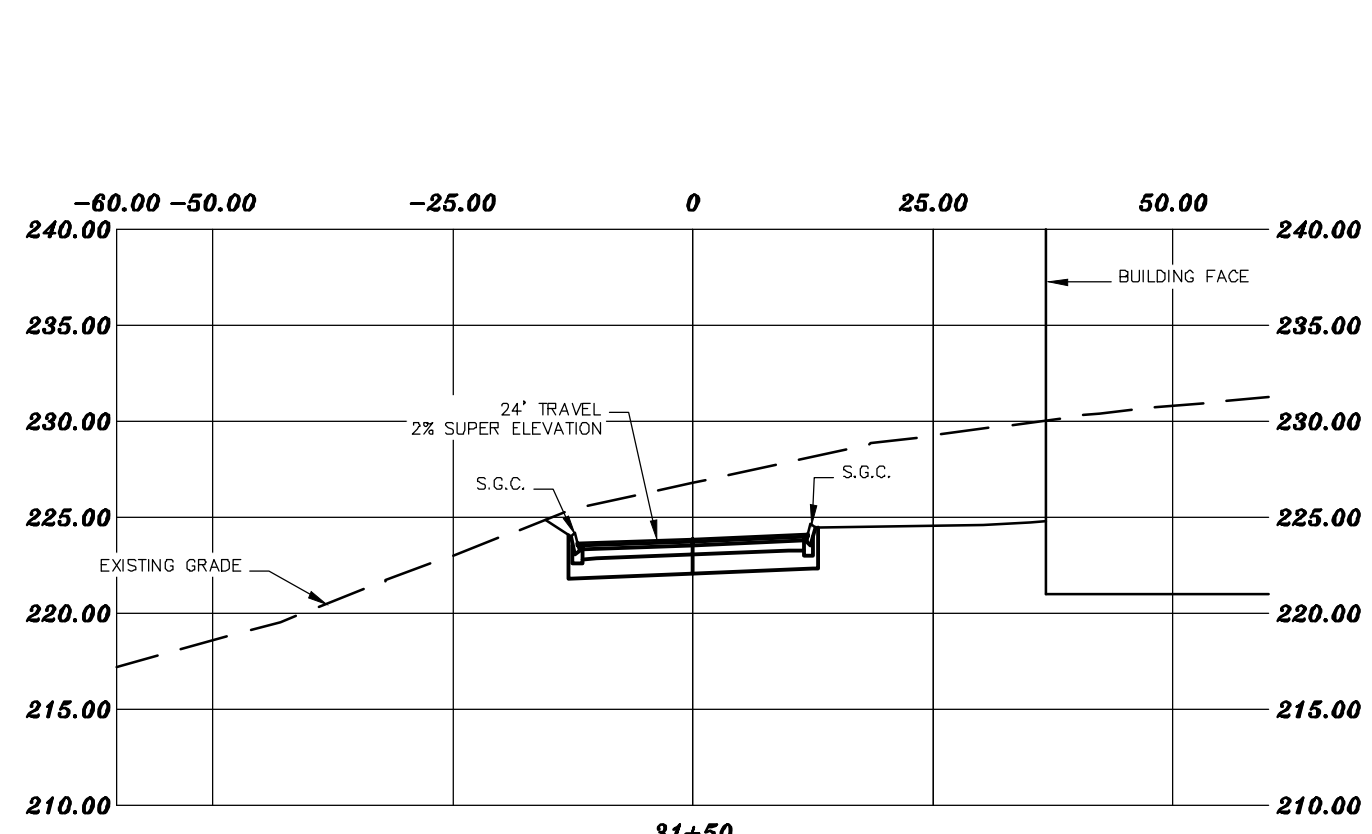
28+00
E234.42
239.20

REVISION	DATE	DESCRIPTION

CROSS SECTIONS HIGH POINT DRIVE 25+00 - END
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097





FOR TOWN APPROVAL PURPOSES :

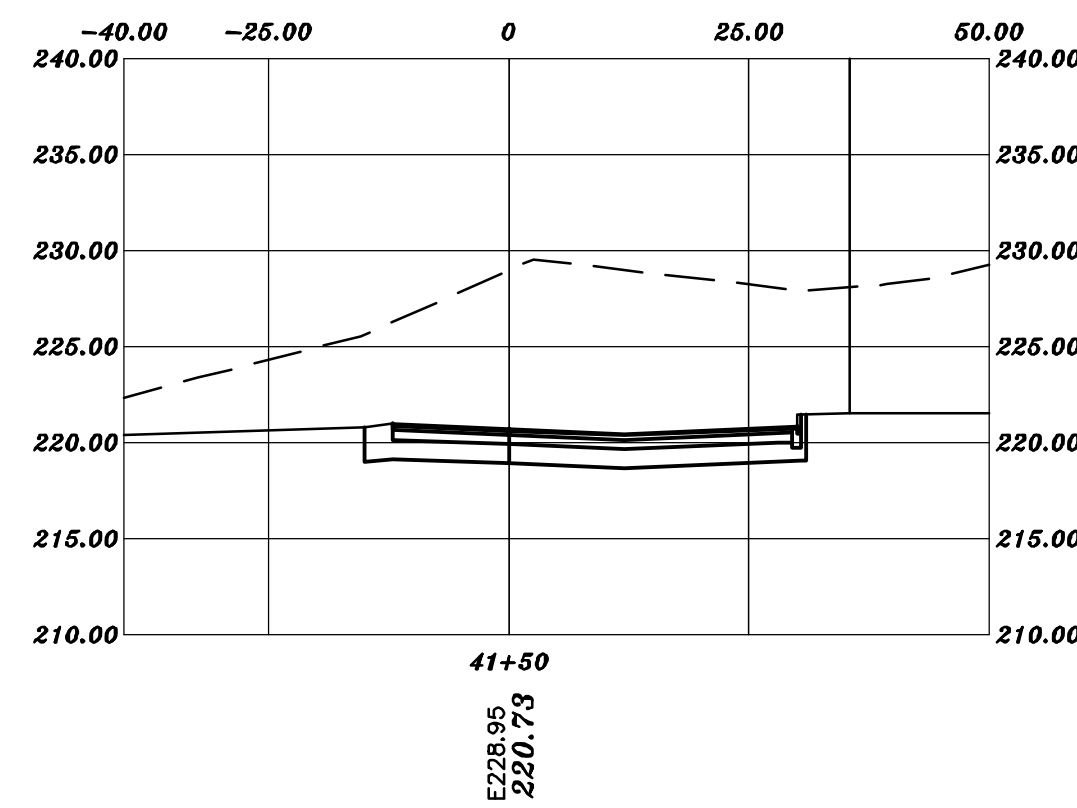
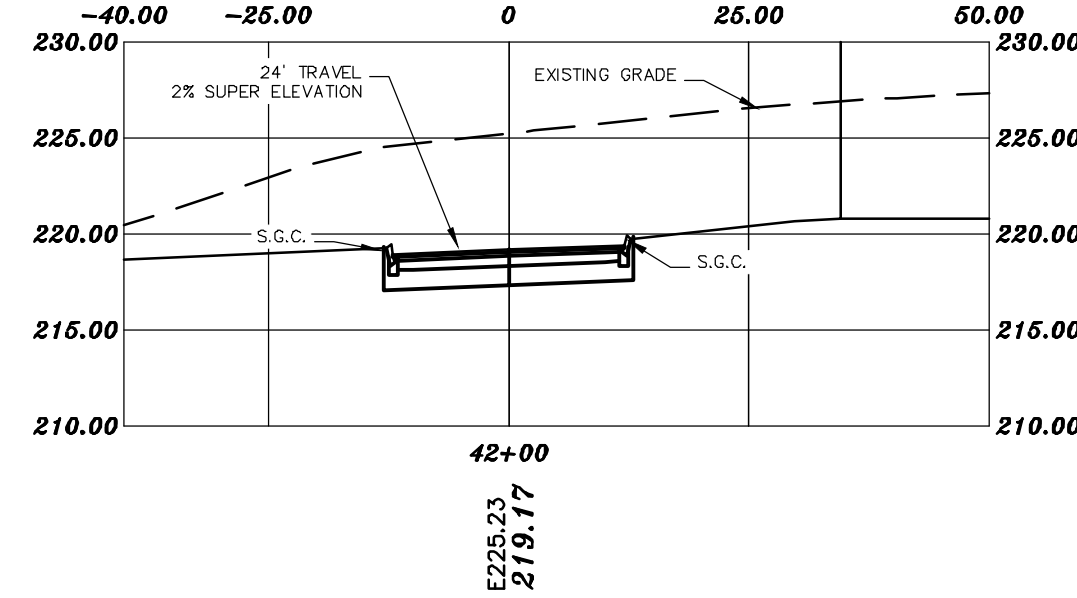
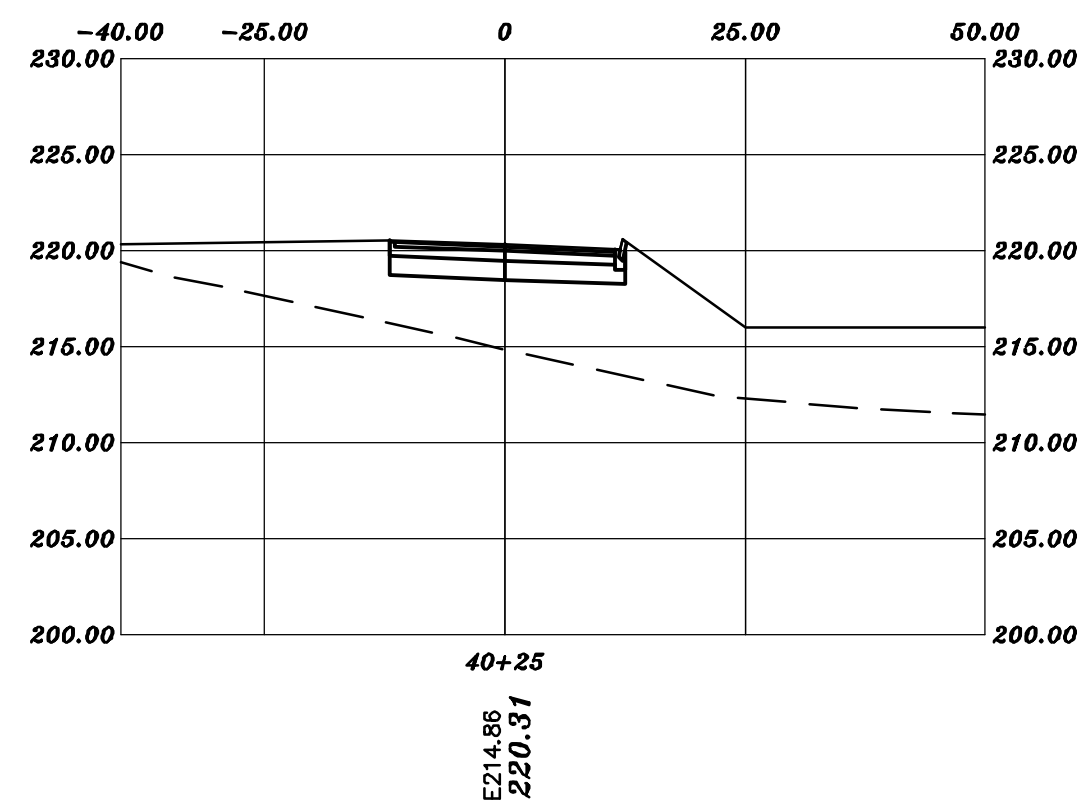
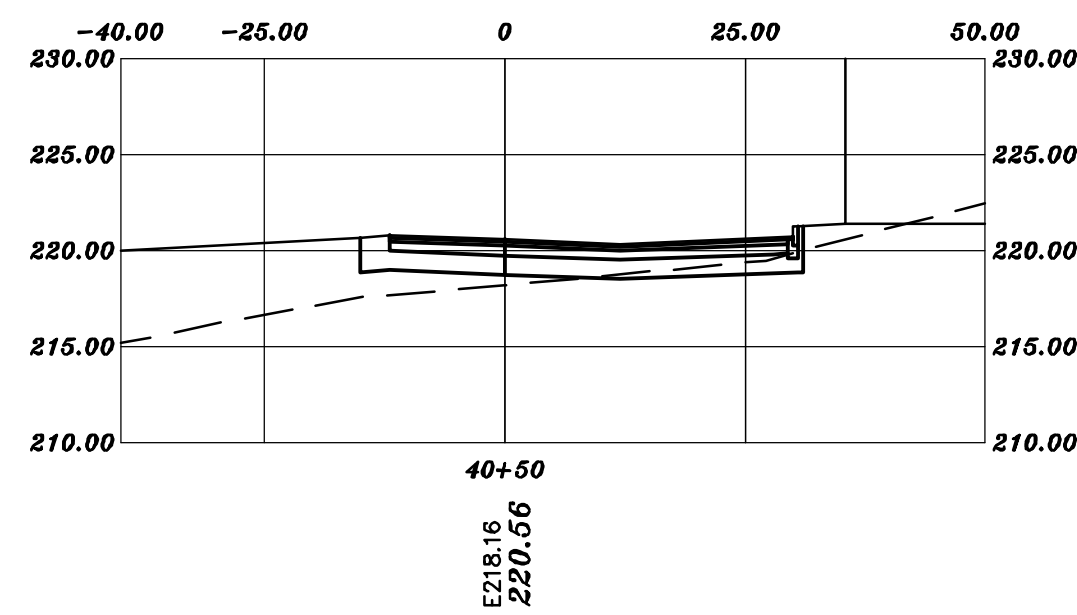
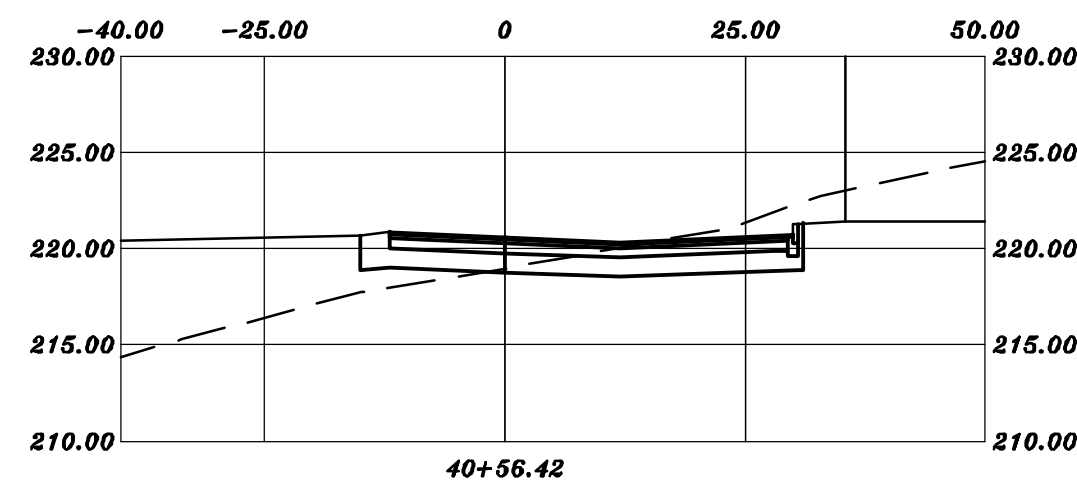
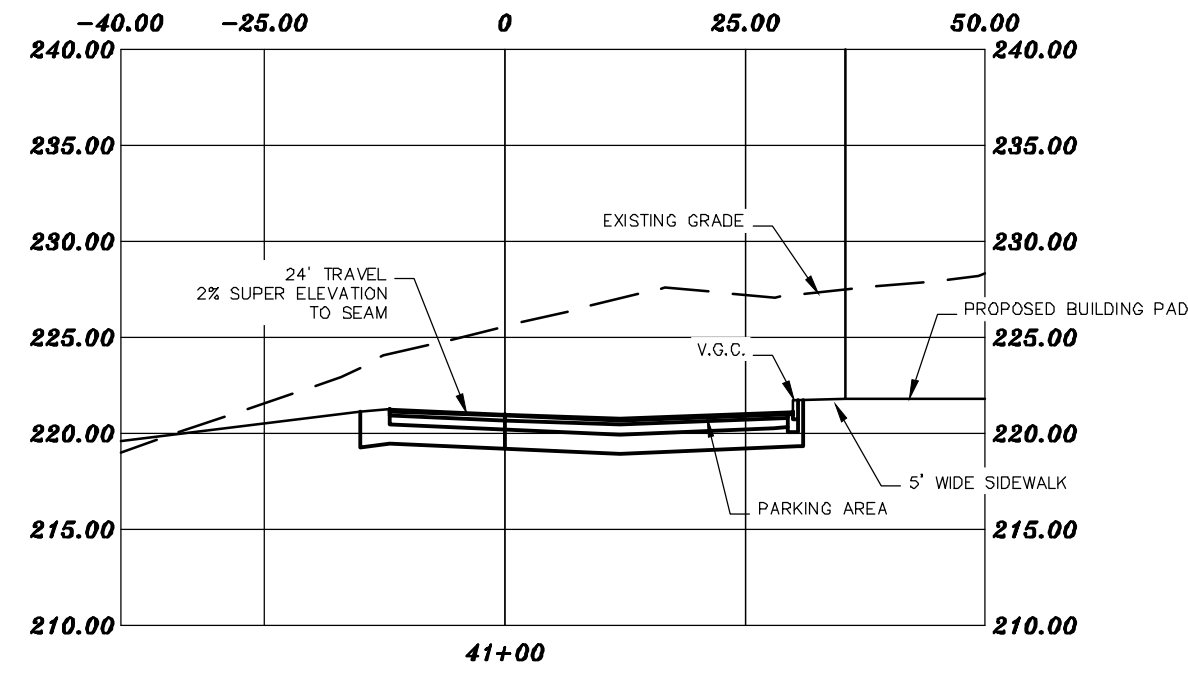
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

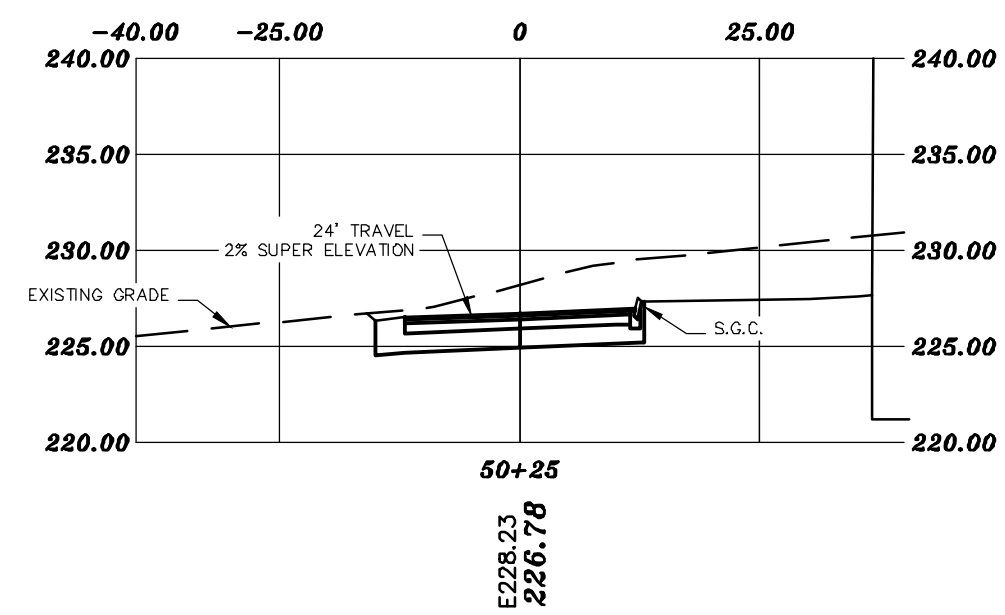
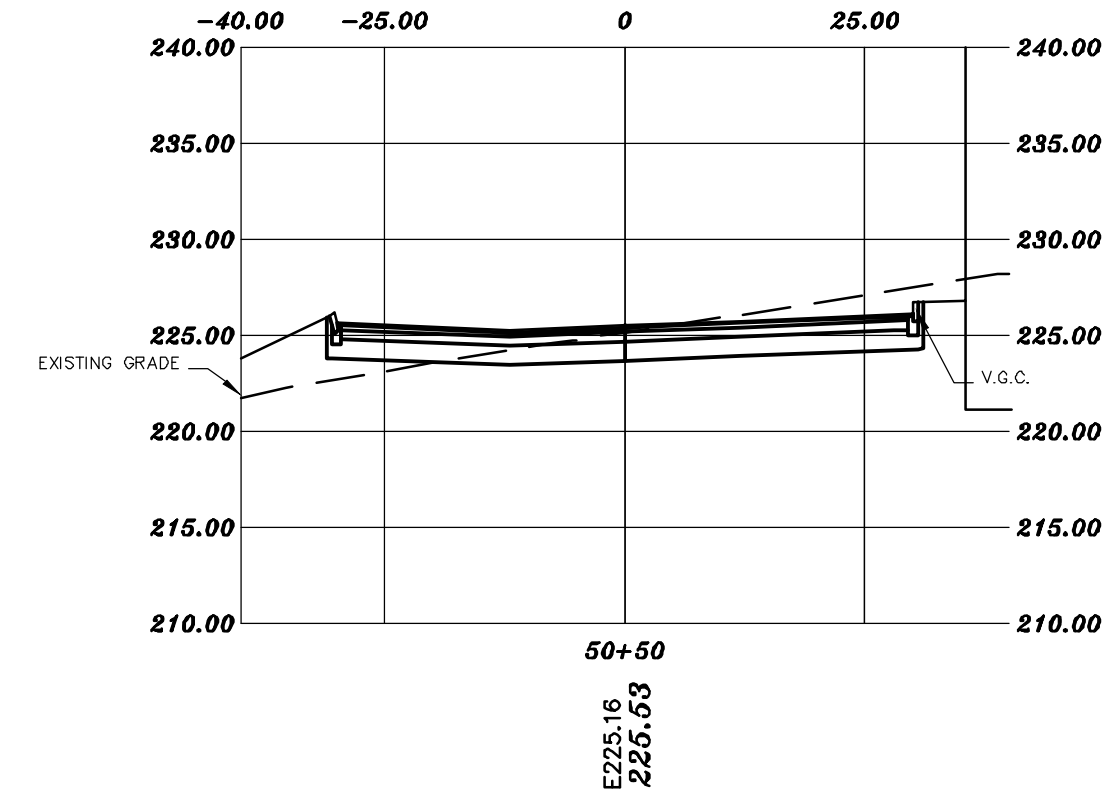
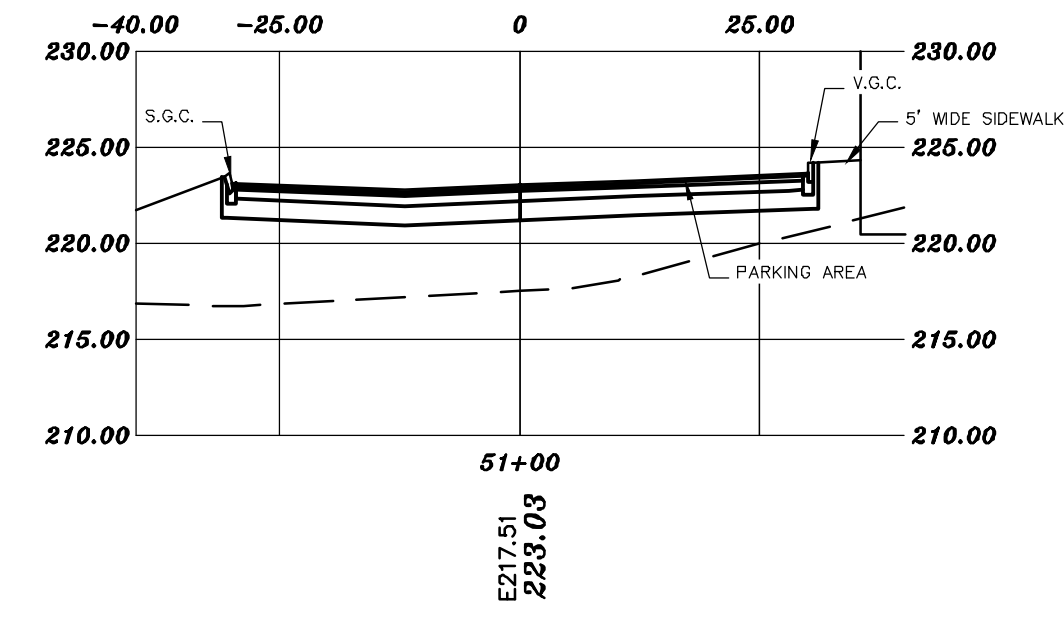
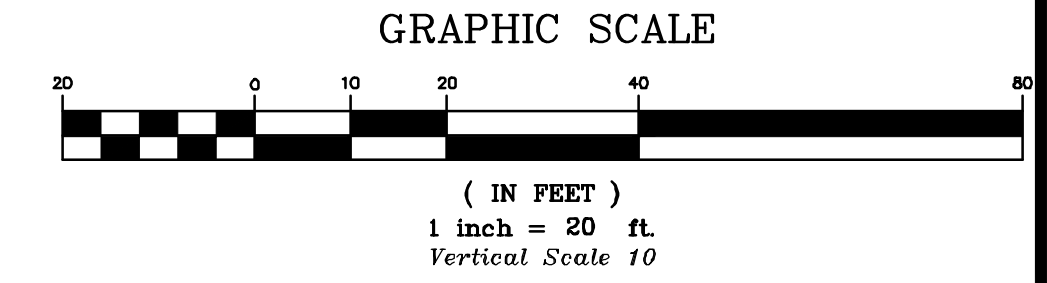
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 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : JUNE 14, 2021
 FILE NO. : DB 2020 - 097

NORTH POINT COMMON FRONT PARKING 40+00 - END



NORTH POINT COMMON SIDE PARKING 50+00 - END



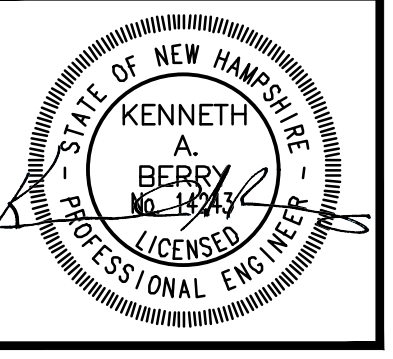
FOR TOWN APPROVAL PURPOSES :

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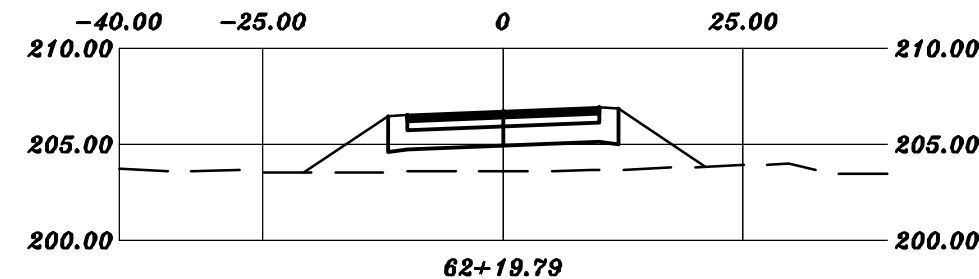
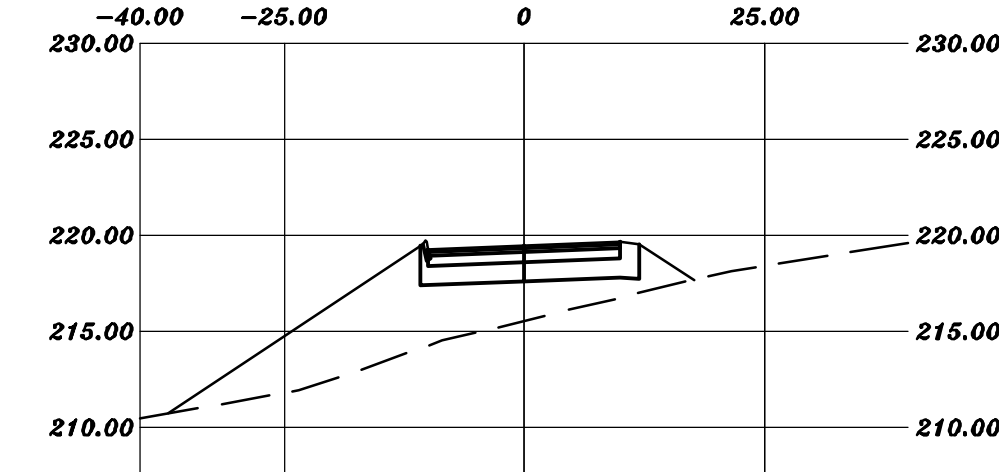
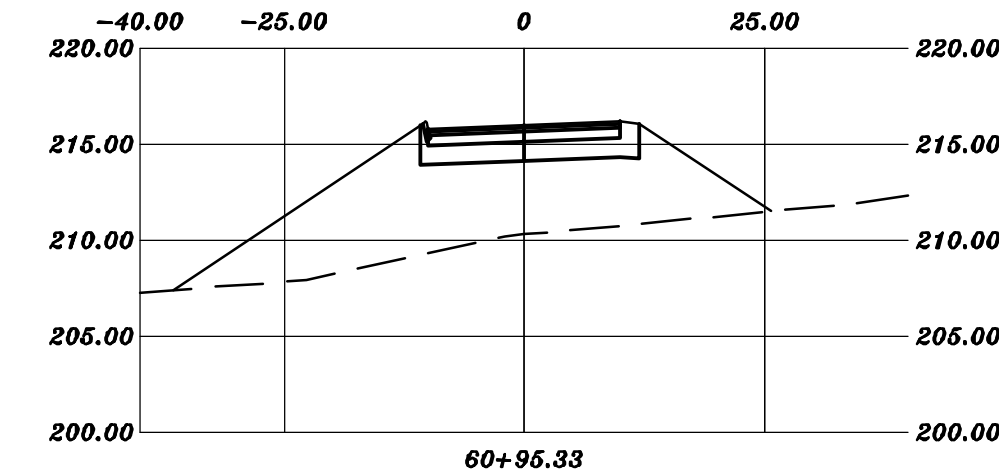
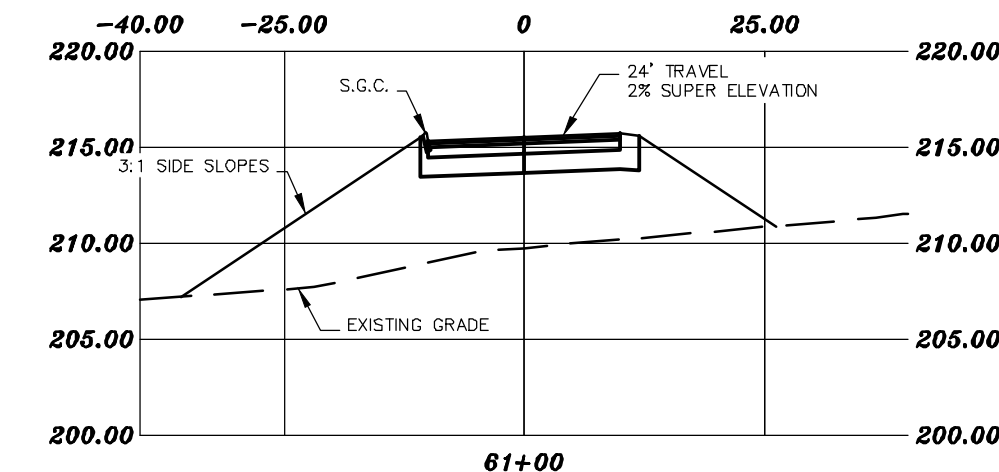
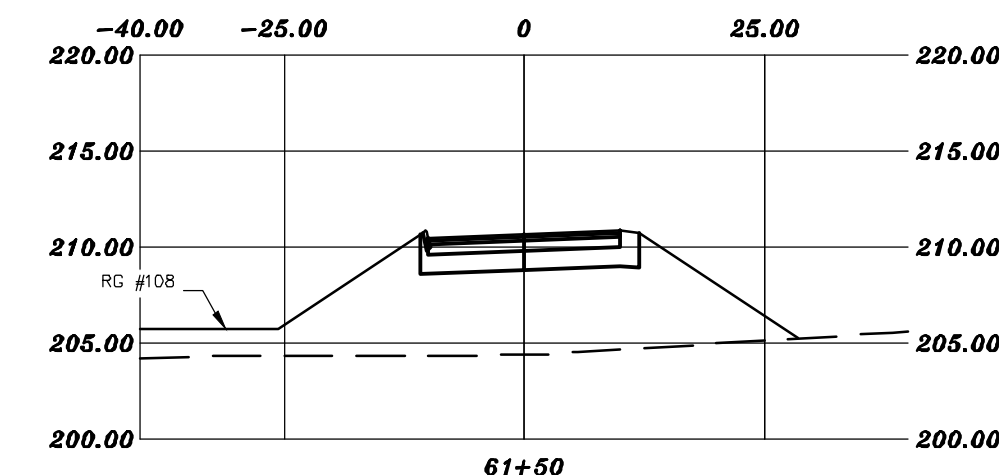
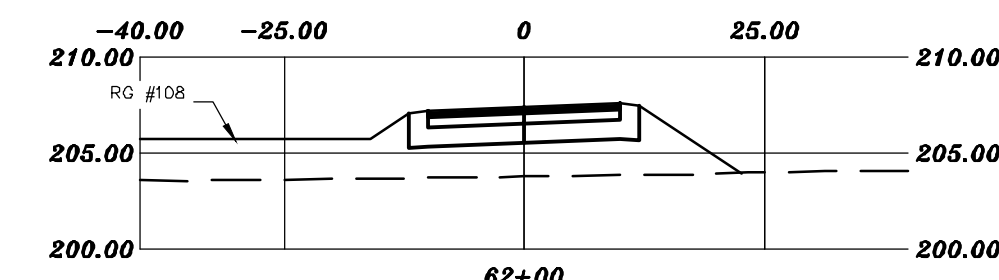
REVISION	DATE	DESCRIPTION

CROSS SECTIONS NP COMMON FRONT & SIDE PARKING
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

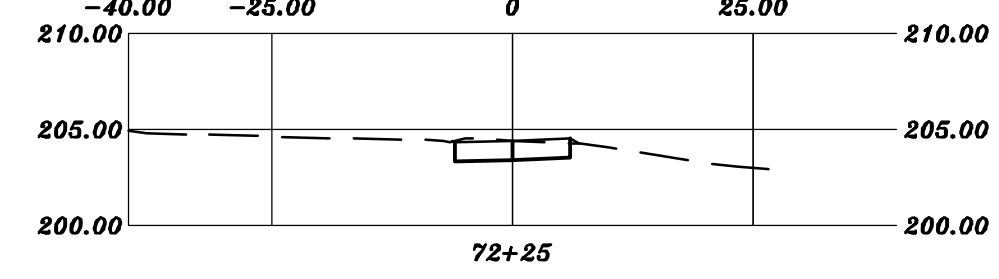
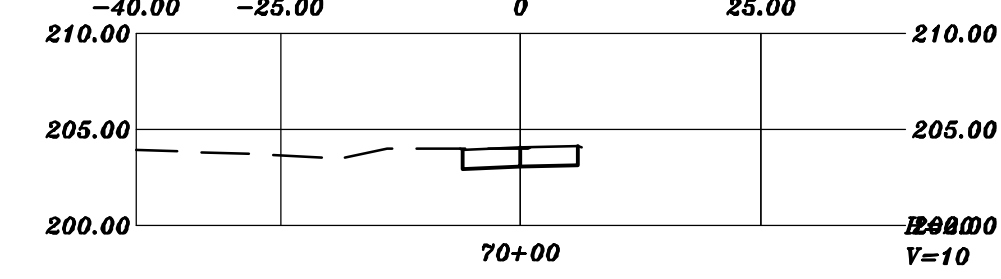
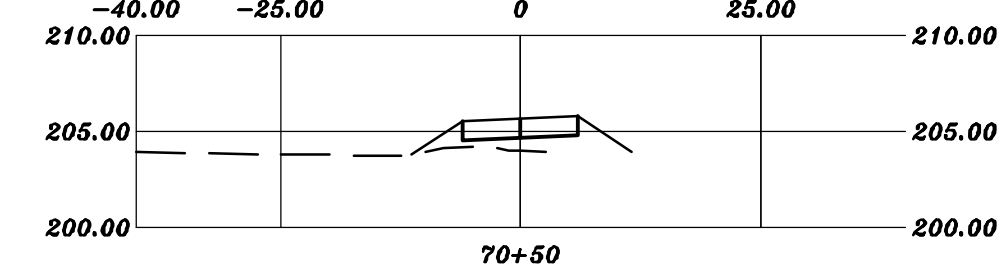
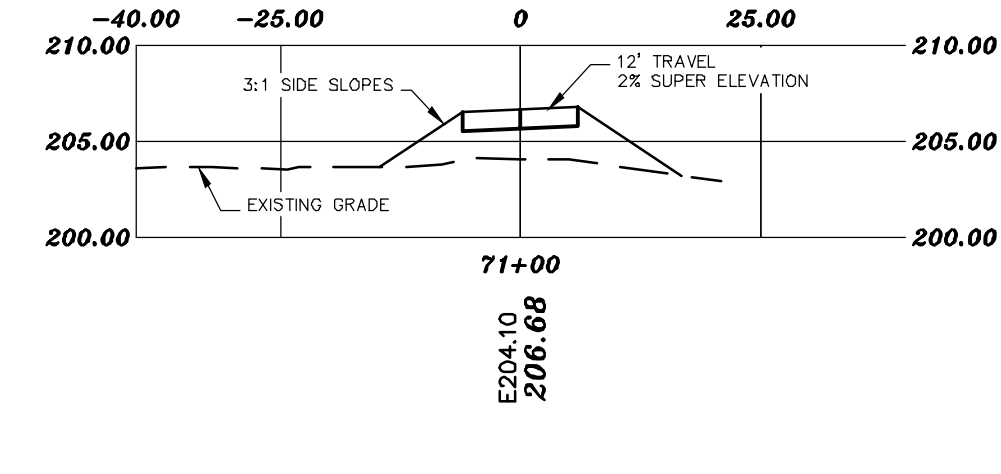
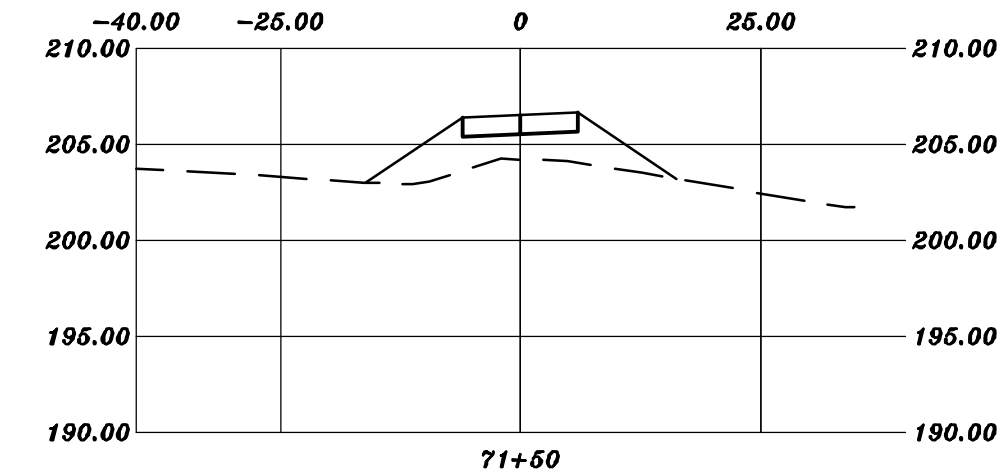
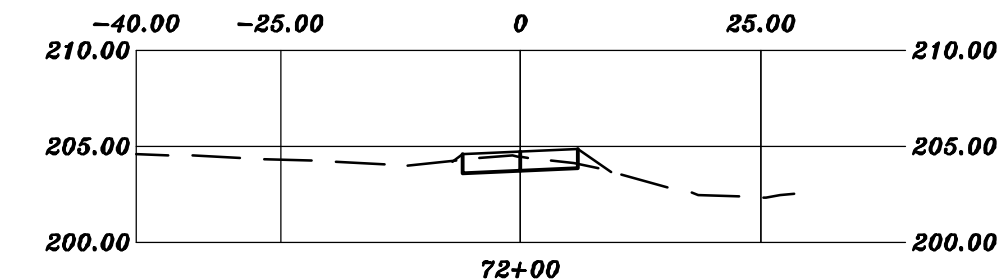
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



ACCESS ROAD 60+00 - END

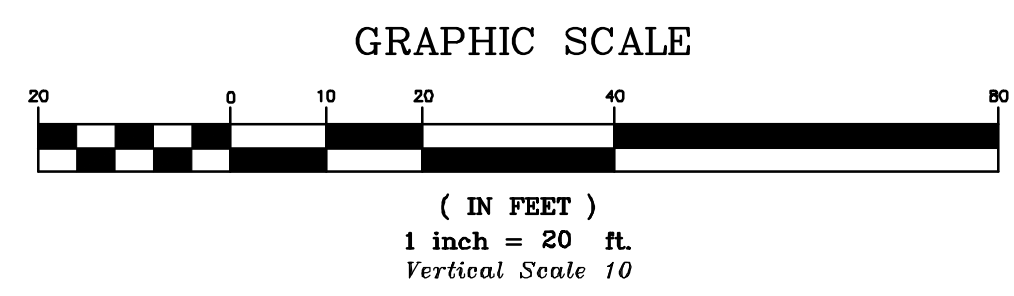


DRIVEWAY RECONSTRUCTION 70+00 - END



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REVISION	DATE	DESCRIPTION

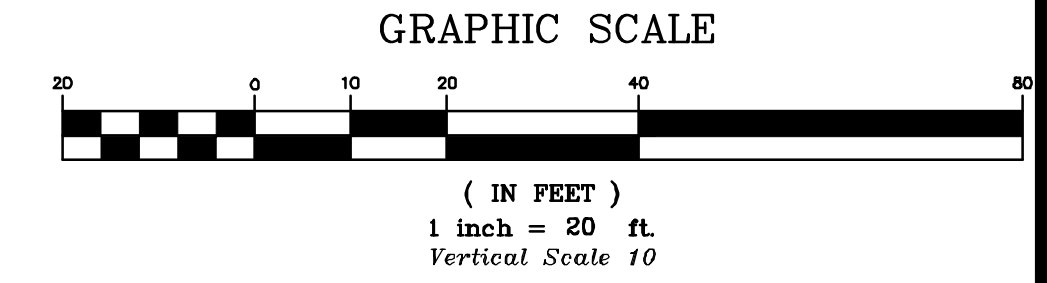
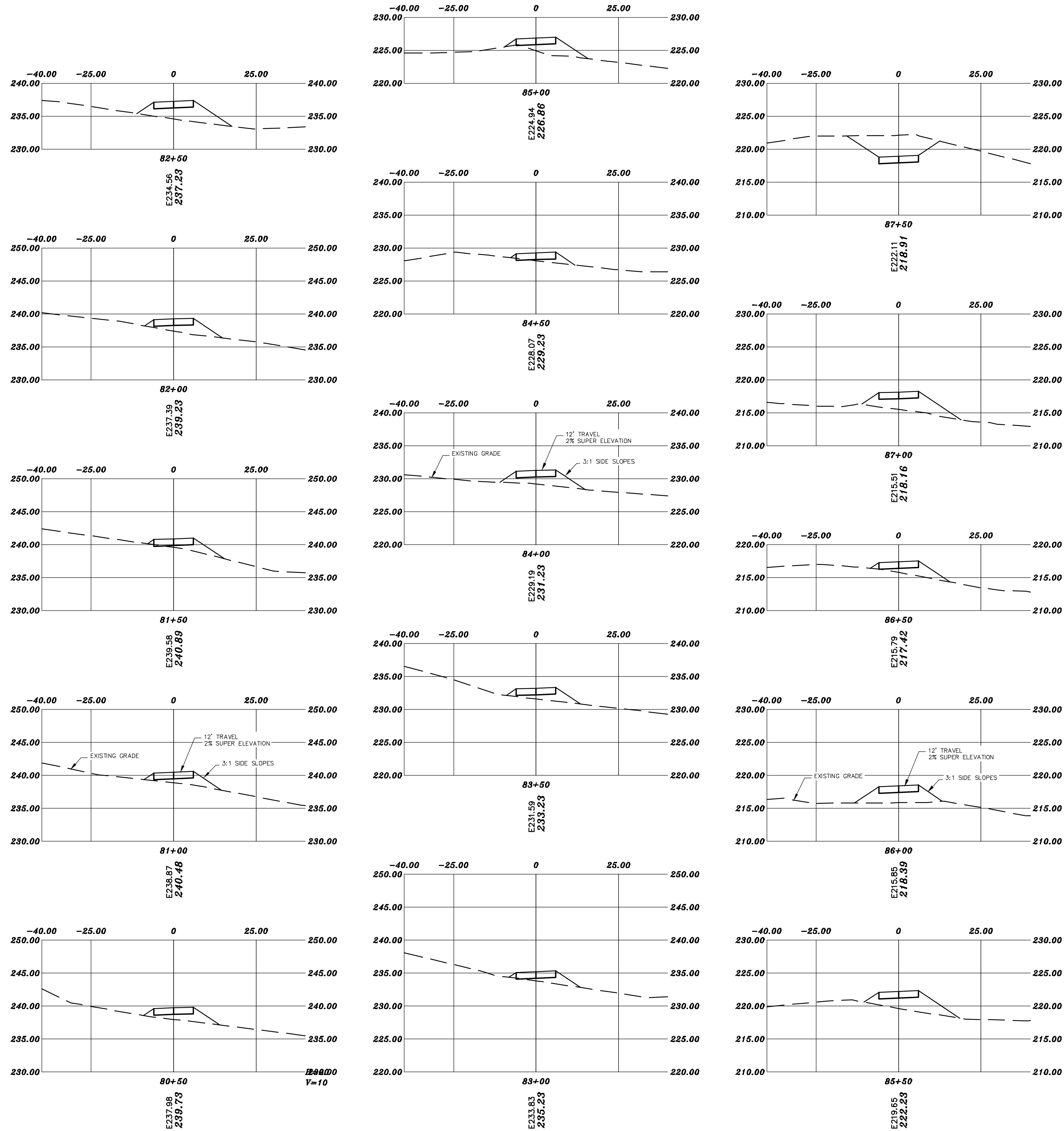
CROSS SECTIONS ACCESS ROAD & DRIVEWAY RECONSTRUCTION
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
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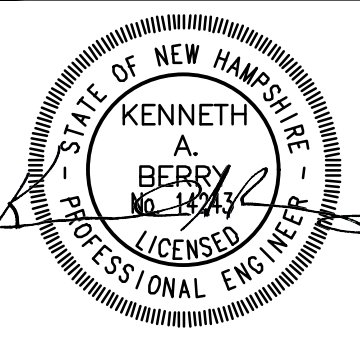
WELL ACCESS TRAIL 80+00 - END



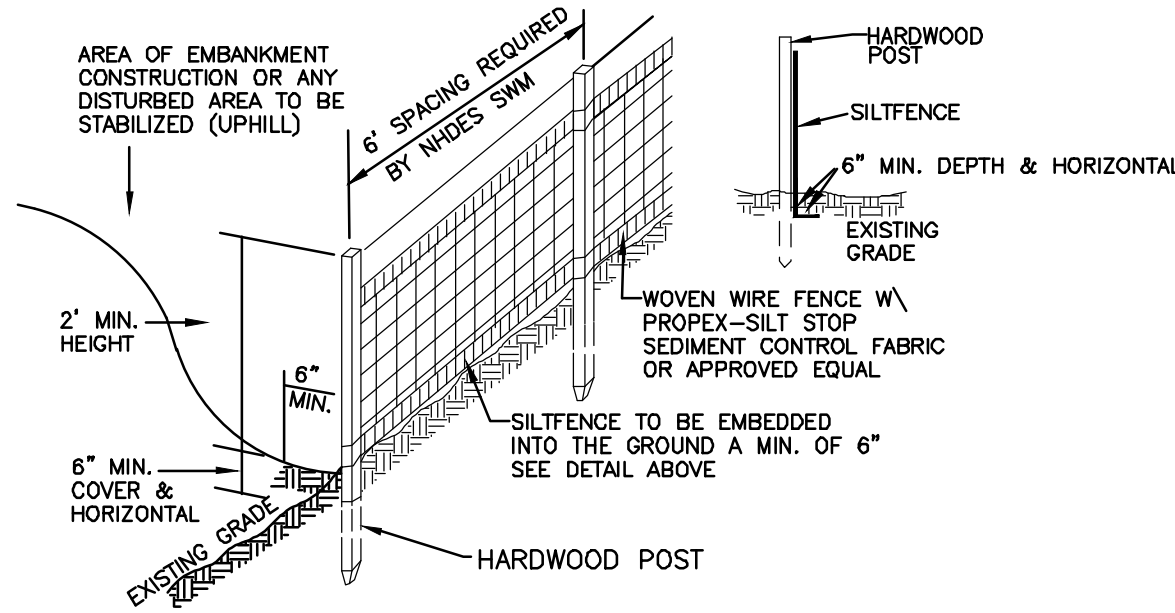
REVISION	DATE	DESCRIPTION

CROSS SECTIONS WELL ACCESS TRAIL
 LAND OF
 DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
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 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

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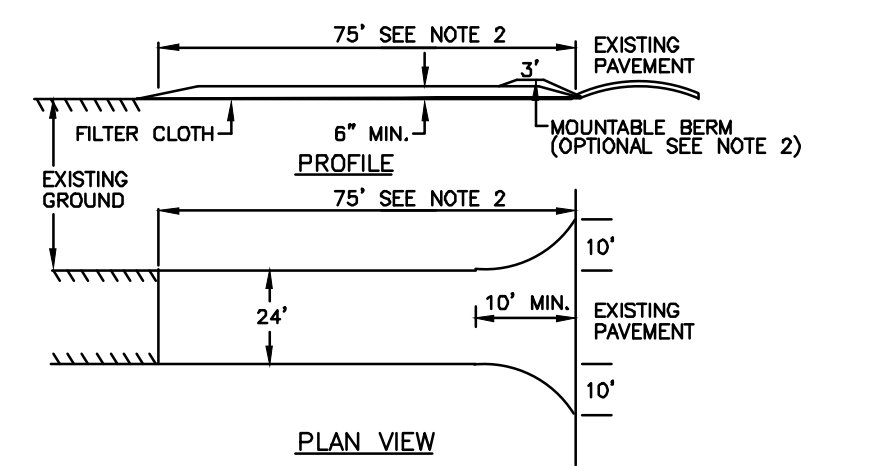
E1



- SILT FENCE CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
 - PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
 - SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
 - THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
 - TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

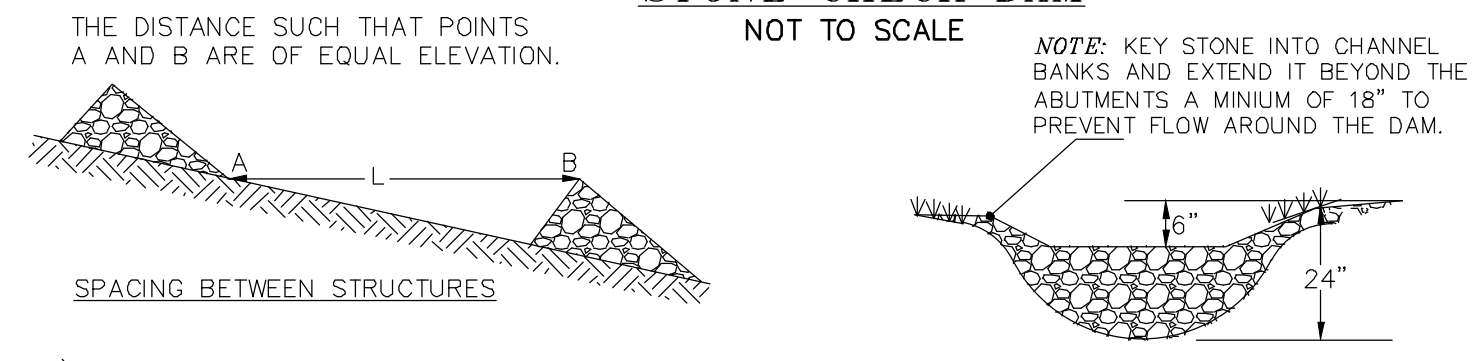
SILT FENCE DETAIL
NOT TO SCALE

E5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



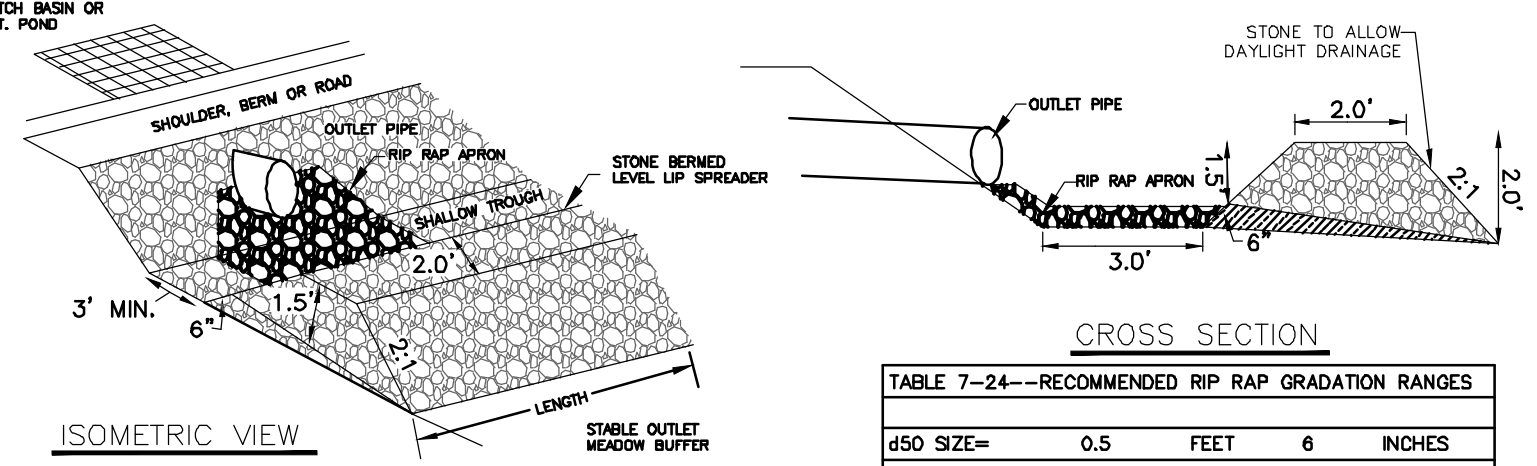
- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- THE THICKNESS OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.

STONE CHECK DAM
NOT TO SCALE



- CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
- THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
- THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGES.
- THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
- CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
- TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
- TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.

E2



CROSS SECTION

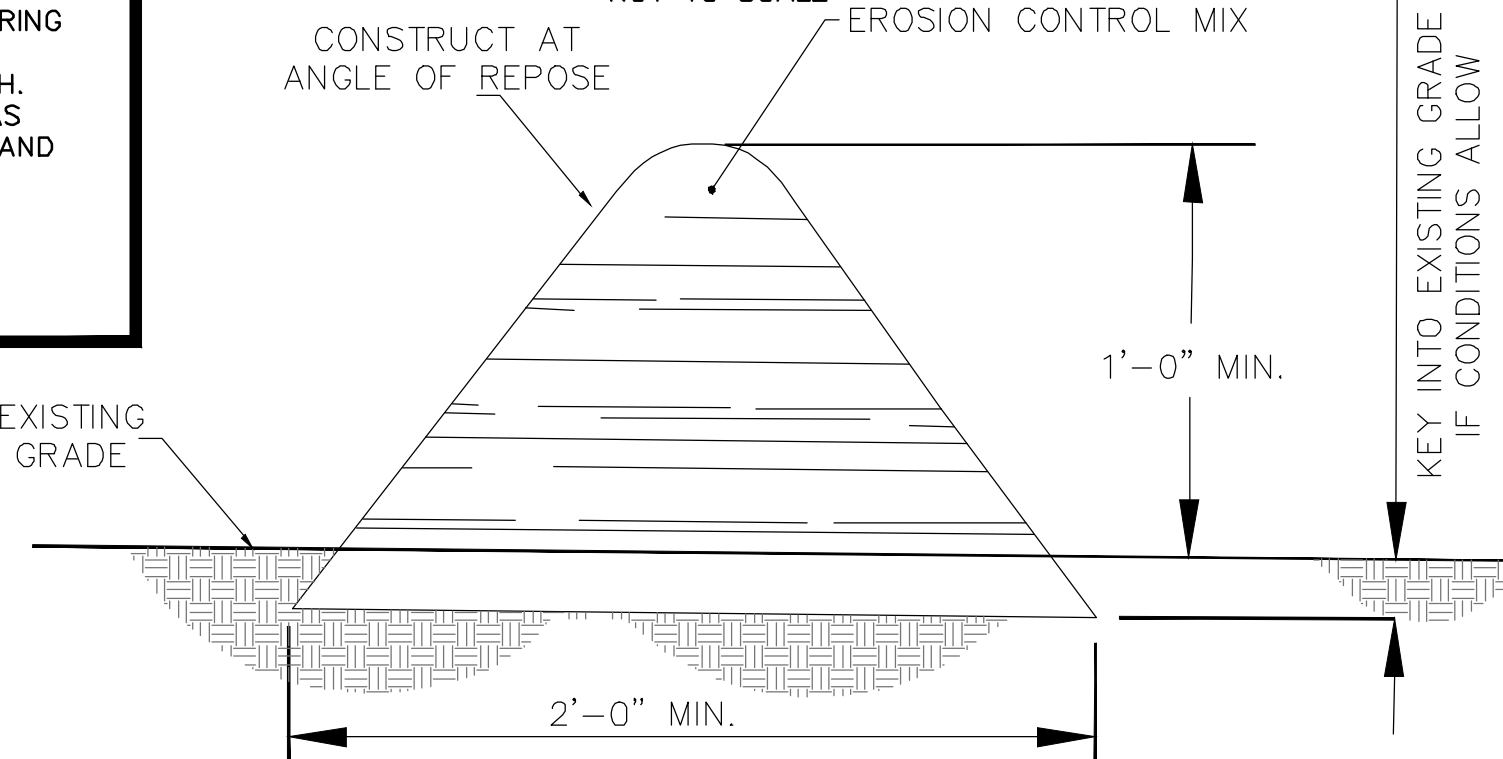
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

- CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
- LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
- THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
- THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
- MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.
- REFERENCE IS MADE TO NHDES SWM VOL. 2, 4-6, STONE BERM LEVEL SPREADERS, PAGE 162

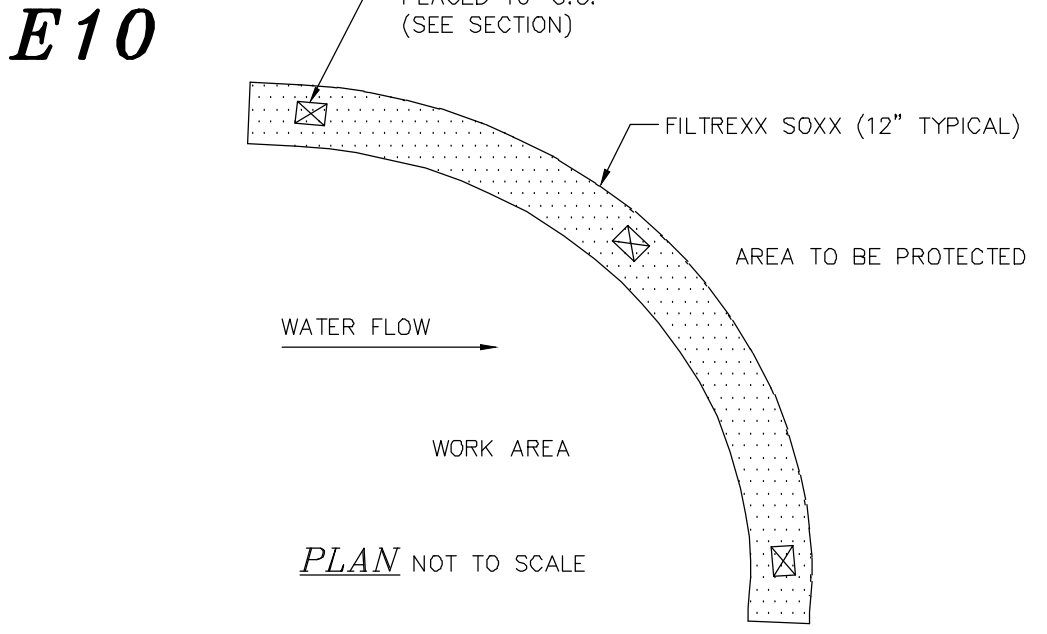
STONE BERM LEVEL SPREADER
NOT TO SCALE

E6 EROSION CONTROL MIX BERM
NOT TO SCALE



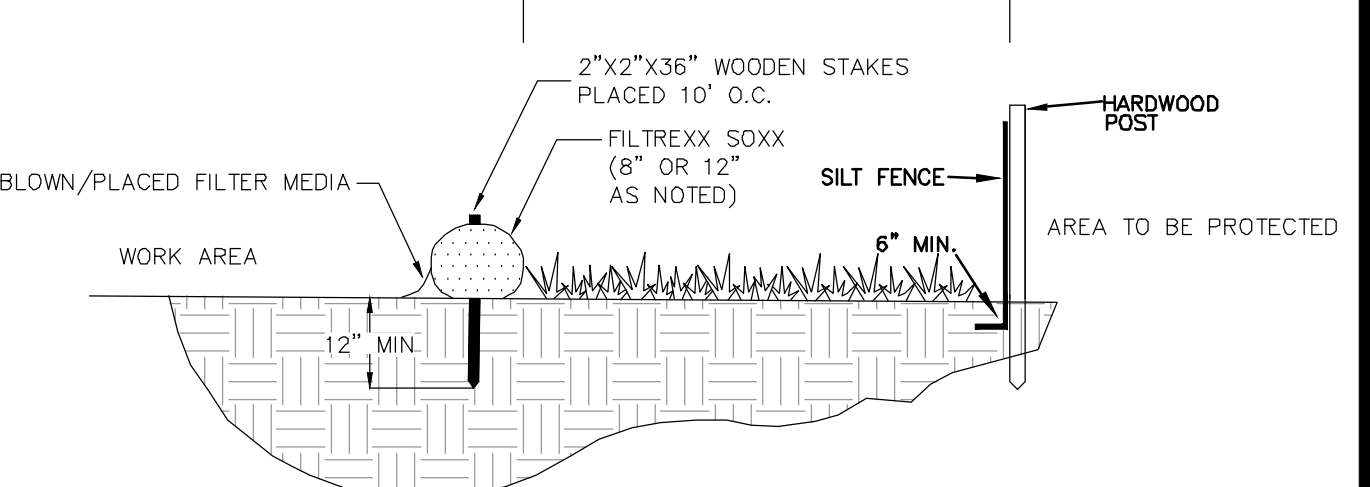
- EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:
- BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
 - THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
 - THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
 - SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOST BARK, OR EQUIVALENT MANUFACTURED PRODUCTS, WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
 - THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
 - THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
 - THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
 - THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
 - TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

E9



- NOTES**
- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 - FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 - SILT SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
 - SILT SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 - FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.
 - SILT FENCE IS NOT A SUBSTITUTION FOR SILT SOXX AND ANY EQUAL SUBSTITUTION TO BE APPROVED.
 - TO BE CONSTRUCTED IAW FILTREXX, SECTION 1: EROSION & SEDIMENT CONTROL (PAGE 323) - CONSTRUCTION ACTIVITIES, SWPPP CUT SHEET: FILTREXX SEDIMENT CONTROL.

FILTREXX SEDIMENT CONTROL
NOT TO SCALE

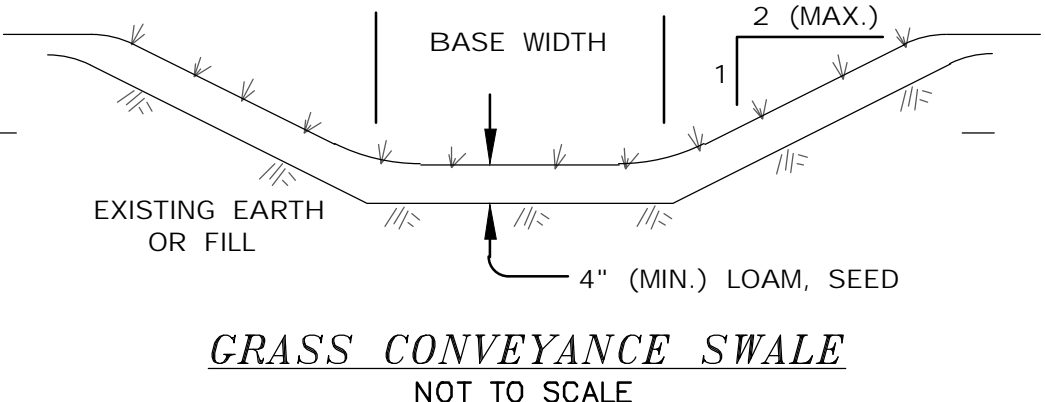


Filtrexx International, LLC
35481 Grafton Eastern Rd | Grafton, Oh 44044
440-926-2607 | fax: 440-926-4021
www.filtrexx.com
OR APPROVED EQUAL

NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOXX APPLICATIONS. THIS DUPLICATION MAY BE SPECIFIED AS 12\"/>

SECTION NOT TO SCALE

E3



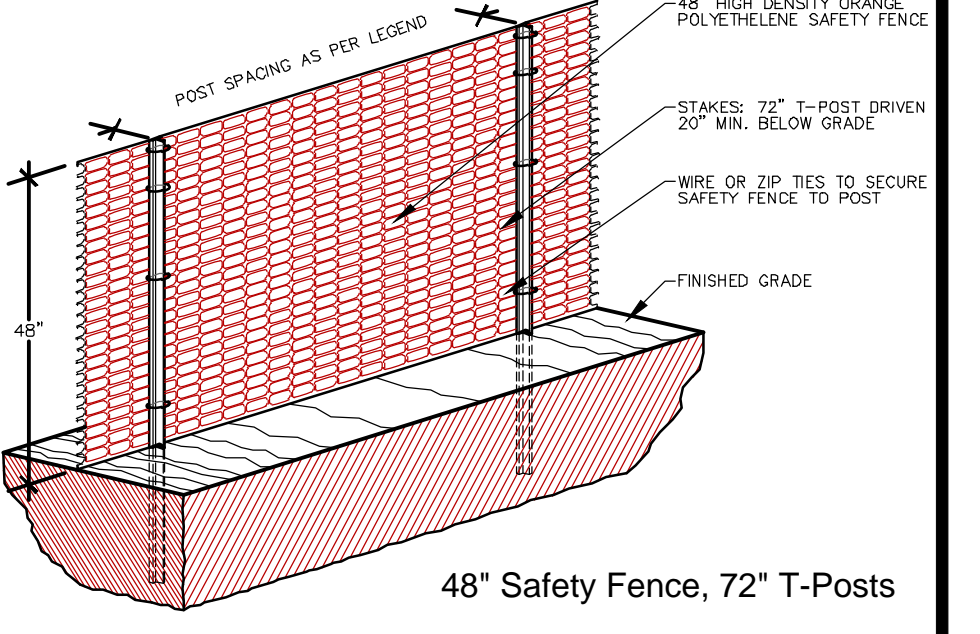
- INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.
- MOW GRASS ANNUALLY TO A DEPTH OF 4".
- INSTALL STABILIZATION MATTING DURING CONSTRUCTION
- TO BE CONSTRUCTED IAW NH SWM #2 CHAPTER 4, #5 TREATMENT SWALES, PAGE 123.

E4

CONSTRUCTION SAFETY FENCE
NOT TO SCALE

LEGEND

SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



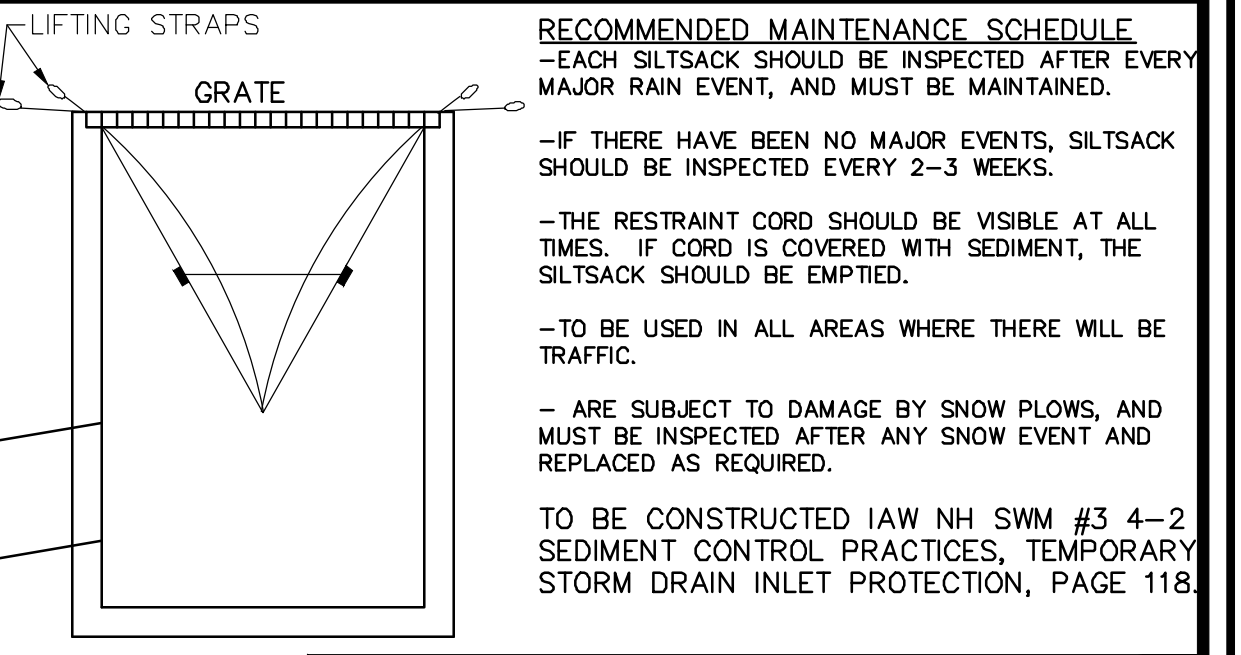
- ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
- WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
- SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
- THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

E8

TEMPORARY EROSION CONTROL MEASURES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDING WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
- ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,800 Sq. Ft.) WILL BE DISTURBED.
- SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- PER THE EPA COP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
- DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- ROADWAYS, DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
- STABILIZATION MEANS:
 - A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)

E11



- RECOMMENDED MAINTENANCE SCHEDULE**
-EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT, AND MUST BE MAINTAINED.
- IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACK SHOULD BE INSPECTED EVERY 2-3 WEEKS.
- THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.
- TO BE USED IN ALL AREAS WHERE THERE WILL BE TRAFFIC.
- ARE SUBJECT TO DAMAGE BY SNOW PLOWS, AND MUST BE INSPECTED AFTER ANY SNOW EVENT AND REPLACED AS REQUIRED.
- TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY STORM DRAIN INLET PROTECTION, PAGE 118.

SILTSACK DETAIL
NOT TO SCALE

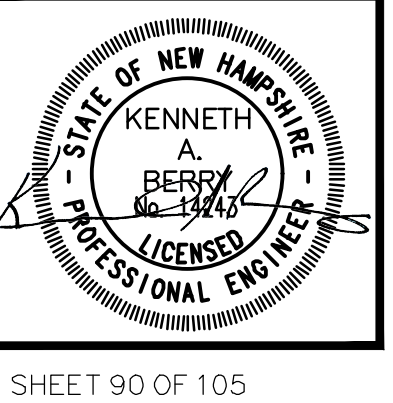
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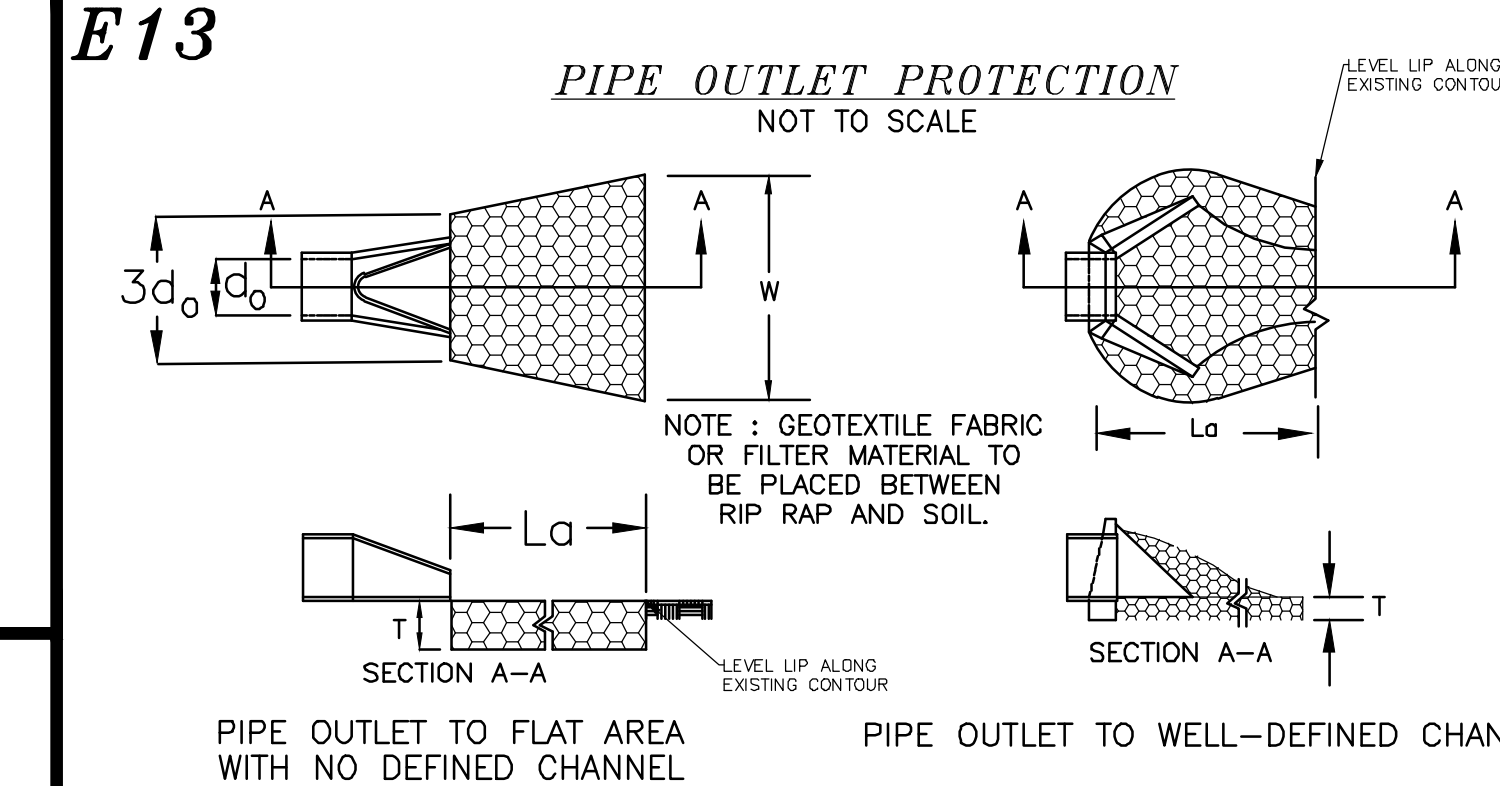
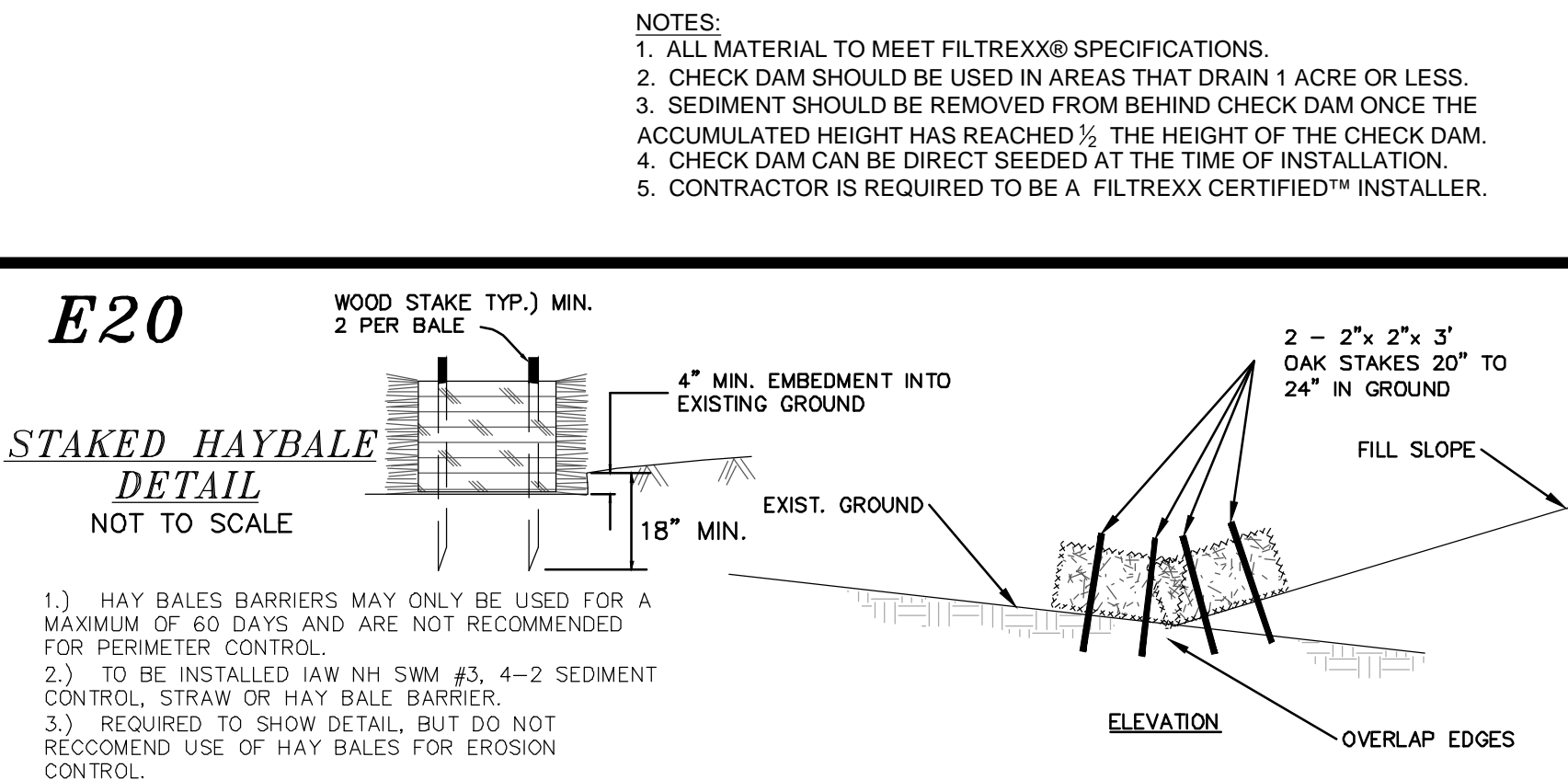
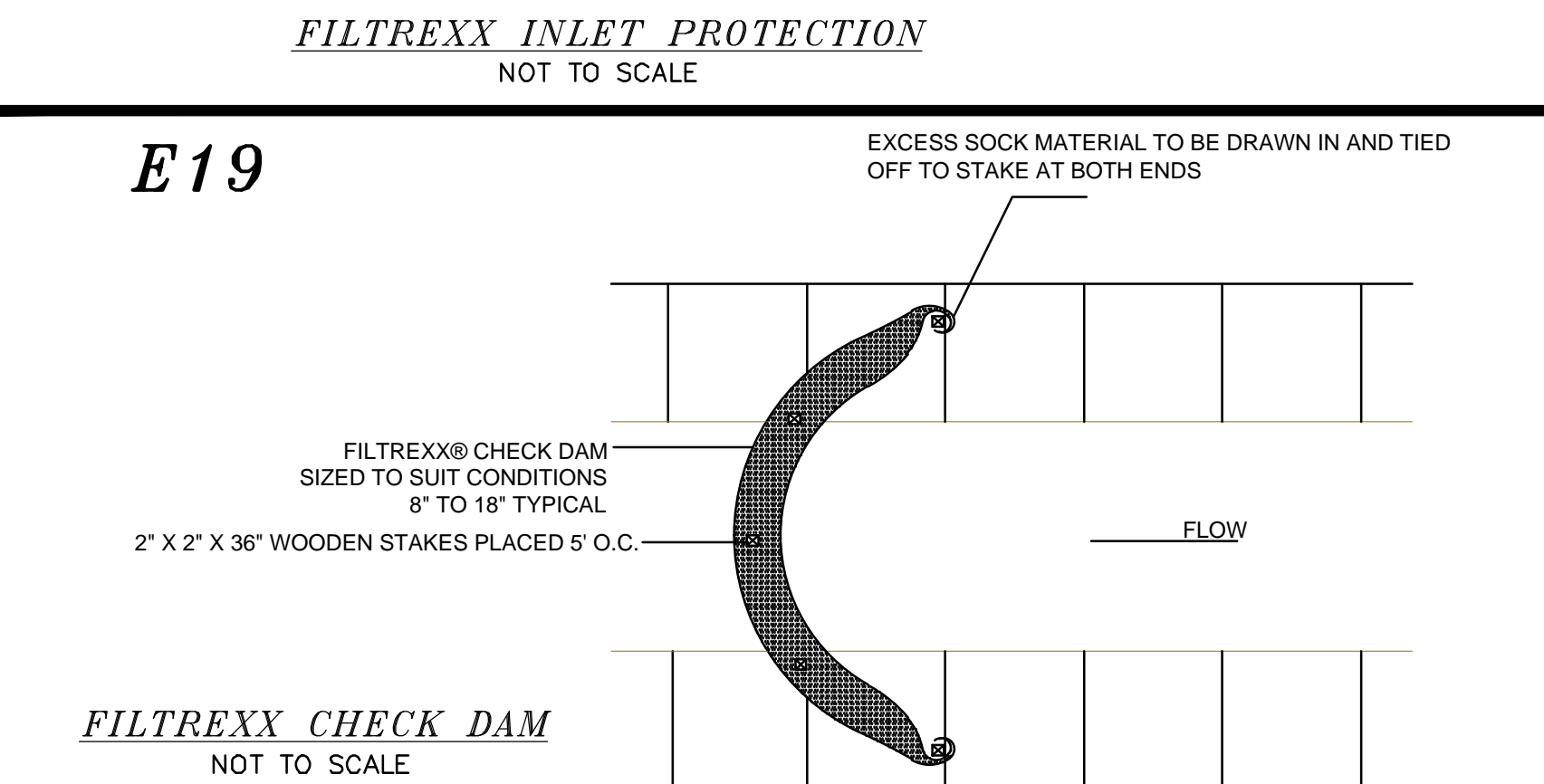
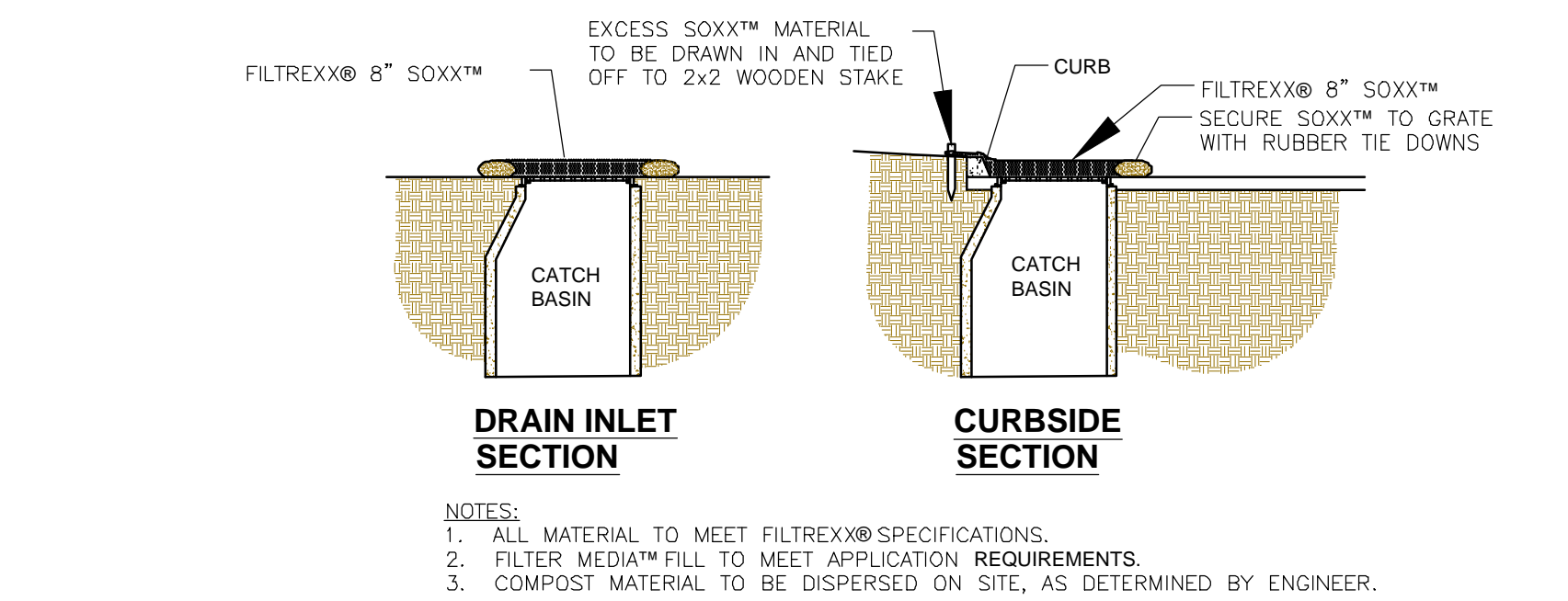
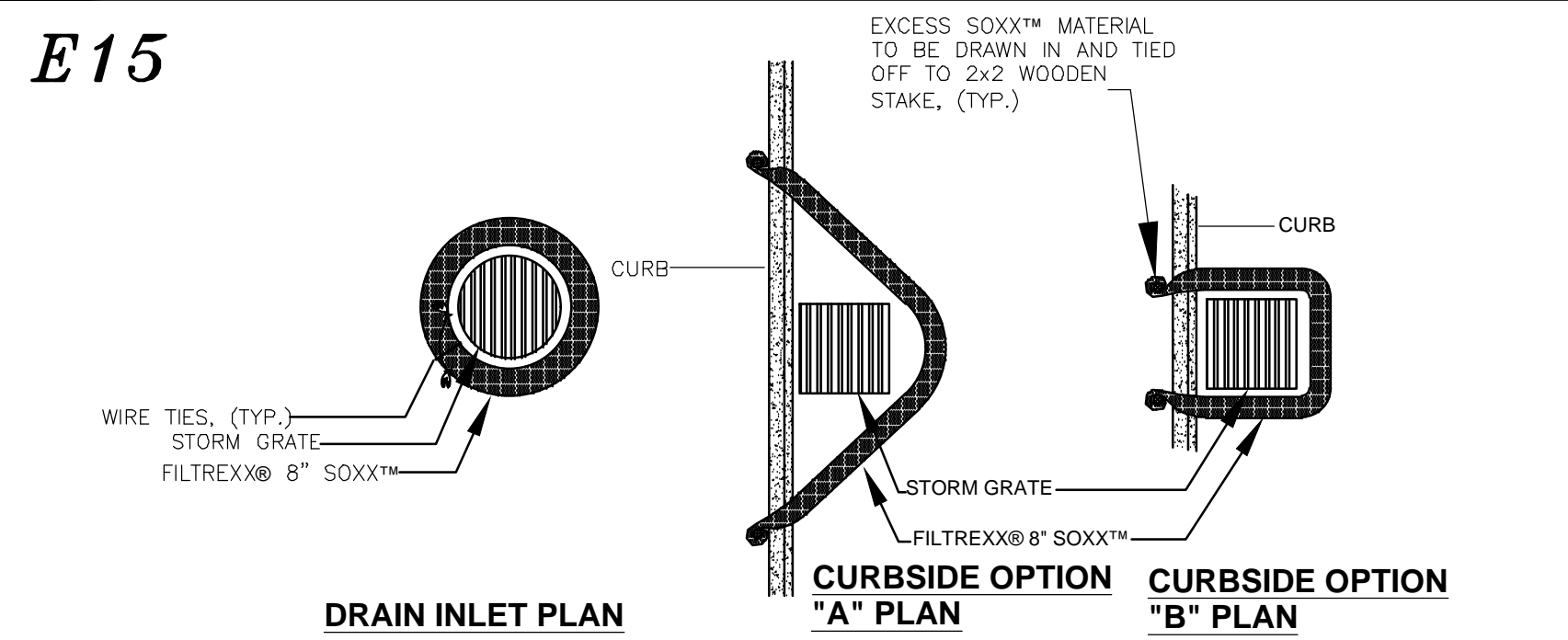
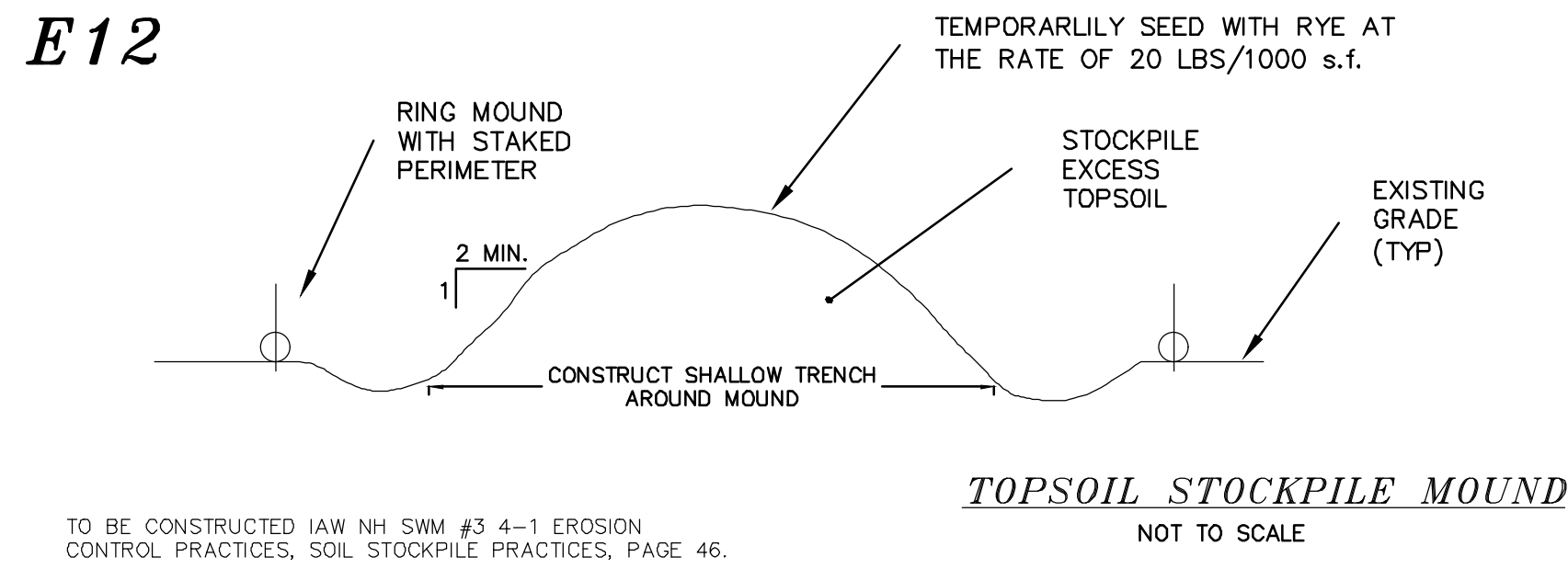
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION

EROSION & SEDIMENT CONTROL DETAILS
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
AS NOTED
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097



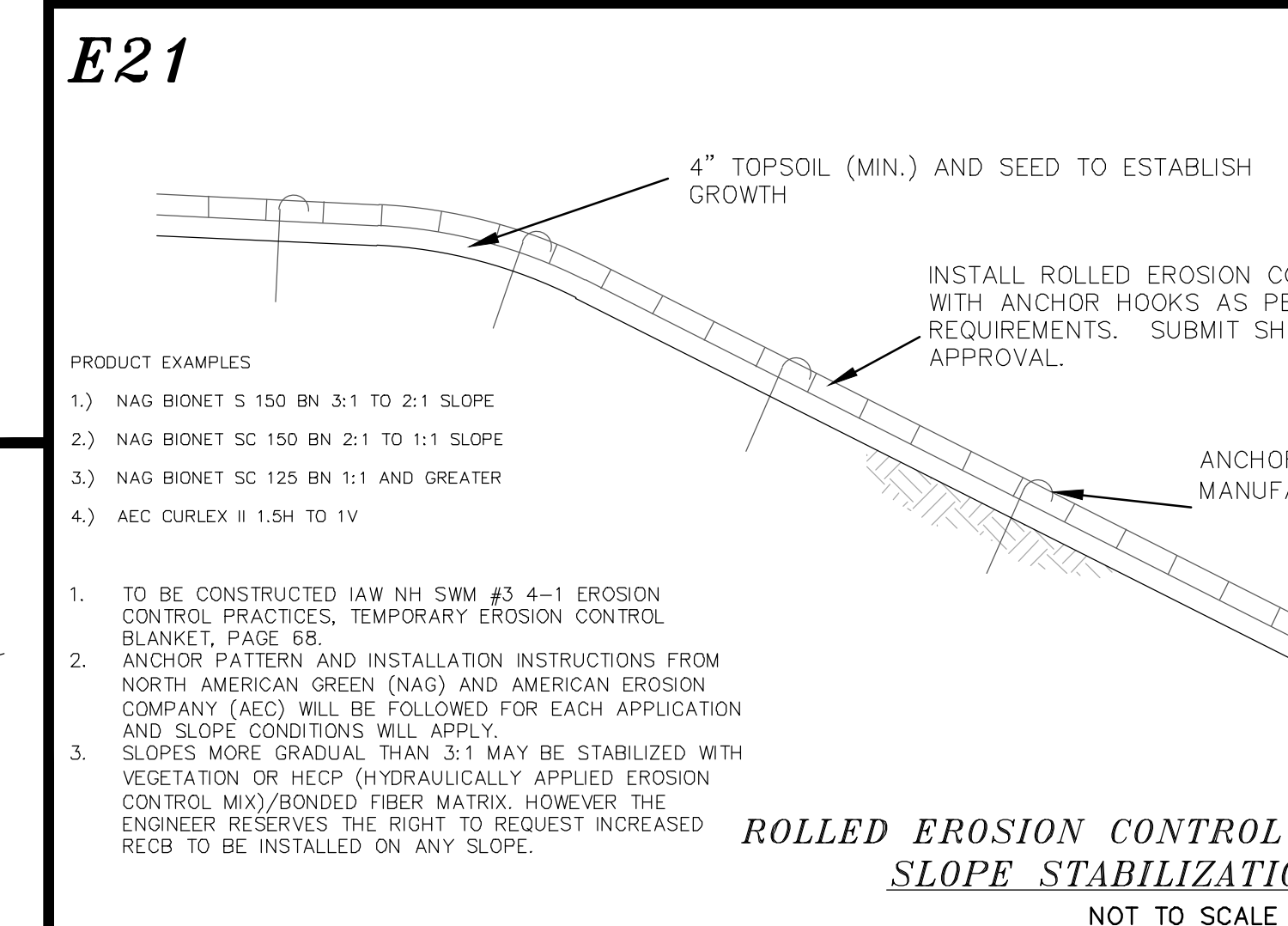
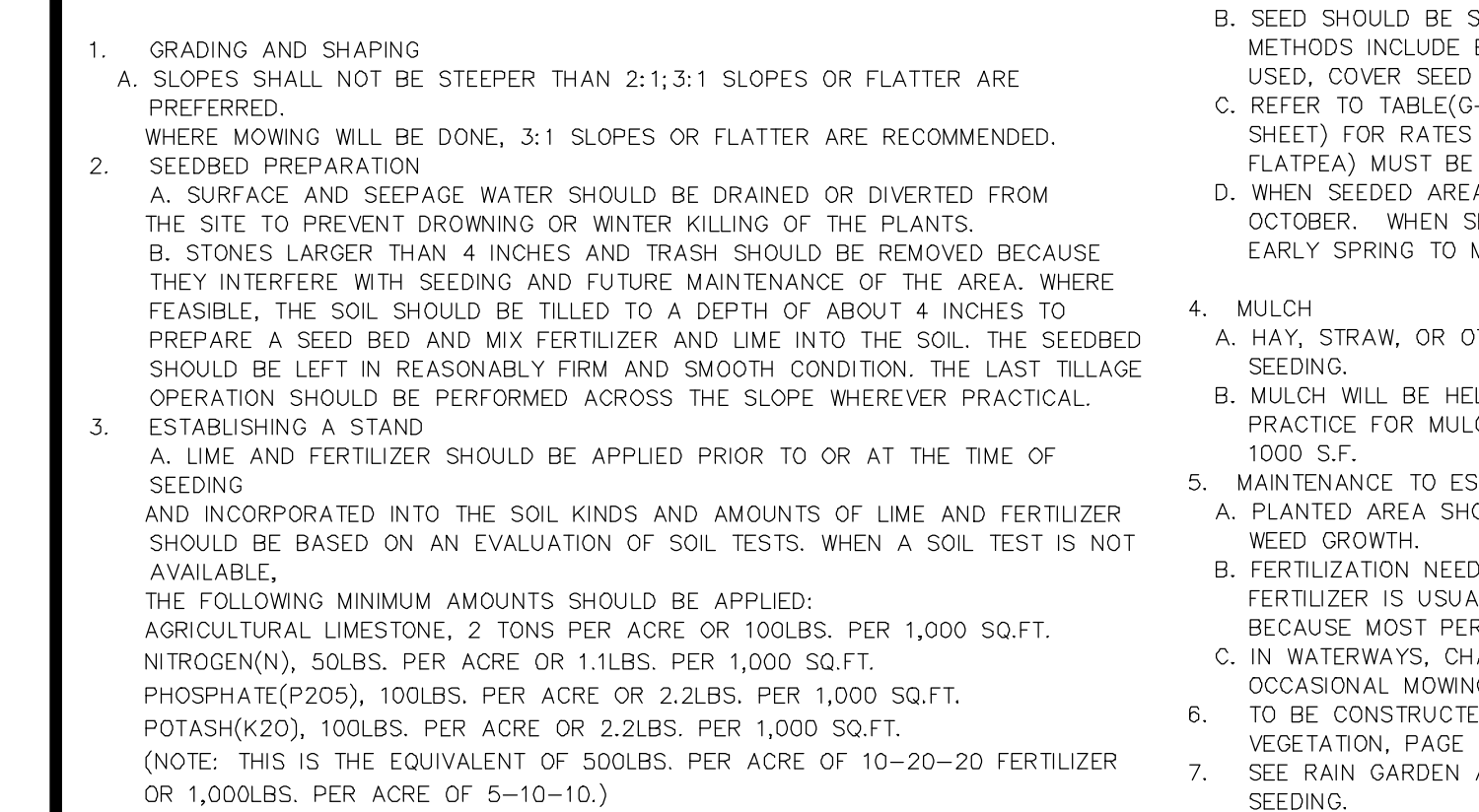


SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
B. CREEPING RED FESCUE	20	0.45
C. ANNUAL RYEGRASS	42	0.95
D. PERENNIAL RYEGRASS	15	0.35
E. KENTUCKY BLUEGRASS	15	0.35
F. TALL FESCUE 1	150	3.60

SEEDING SPECIFICATIONS

- GRADING AND SHAPING
 - SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED.
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEED BED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50LBS. PER ACRE OR 1.1LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000LBS. PER ACRE OF 5-10-10.)
- MULCH
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND
 - PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.
- TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, PERMANENT VEGETATION, PAGE 60.
- SEE RAIN GARDEN AND INFILTRATION DETAIL SHEETS FOR SPECIFIC PLANTING INSTRUCTIONS AND SEEDING.



PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

- THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS. SPECIFIED GRADATION.
- THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO NHDOT SECTION 583.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- TO BE CONSTRUCTED IAW NH SWM #2 4-6 CONVEYANCE PRACTICES, 6. OUTLET PROTECTION, PAGE 172.

CONSTRUCTION SEQUENCE:

- CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
- CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
- EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
- CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
- CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY. SEE BEST MANAGEMENT PRACTICES FOR BLASTING ON SHEET C-102.
- START BUILDING CONSTRUCTION.
- INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDING OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 45 DAYS BEFORE BEING STABILIZED. DAILY, OR AS REQUIRED, ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. LIMIT THE LENGTH OF EXPOSURE OF UNSTABILIZED SOIL TO 45 DAYS OR LESS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESSWI), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSWQ). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT. EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSPECTED WEEKLY AND AFTER 0.5\"/>

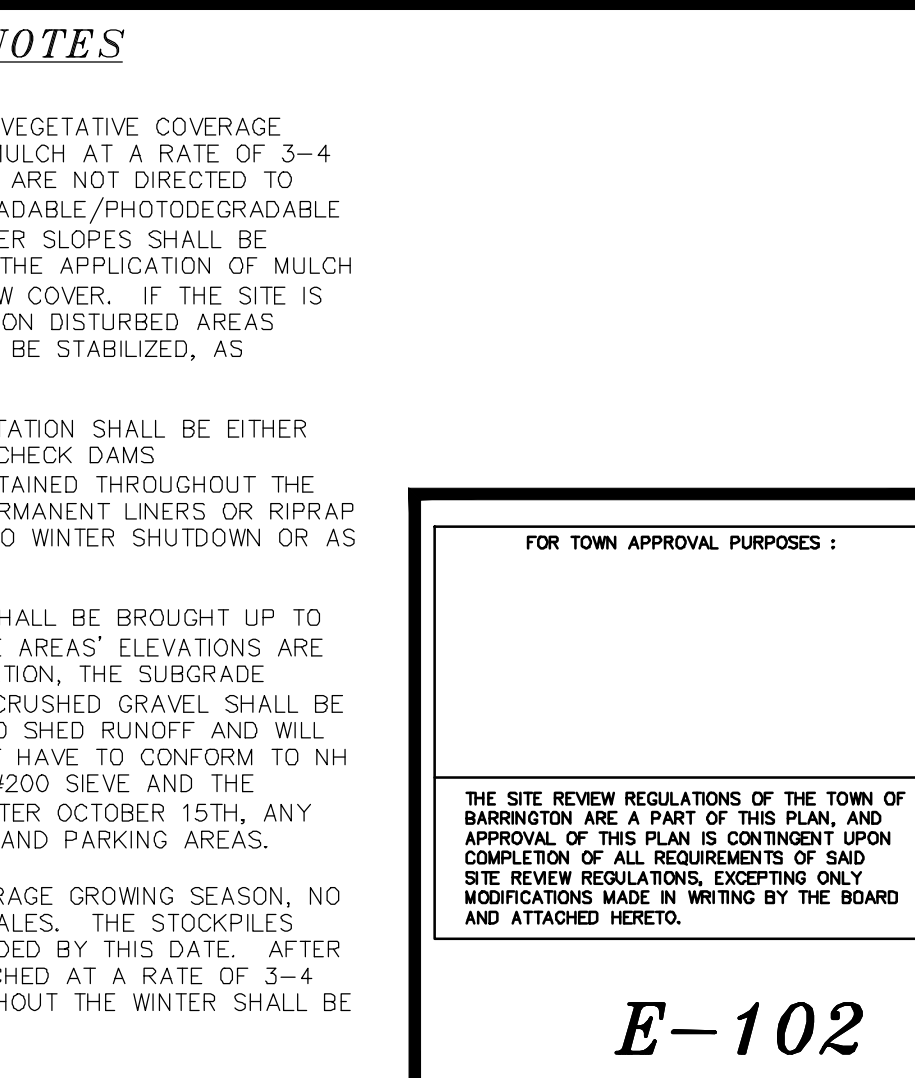
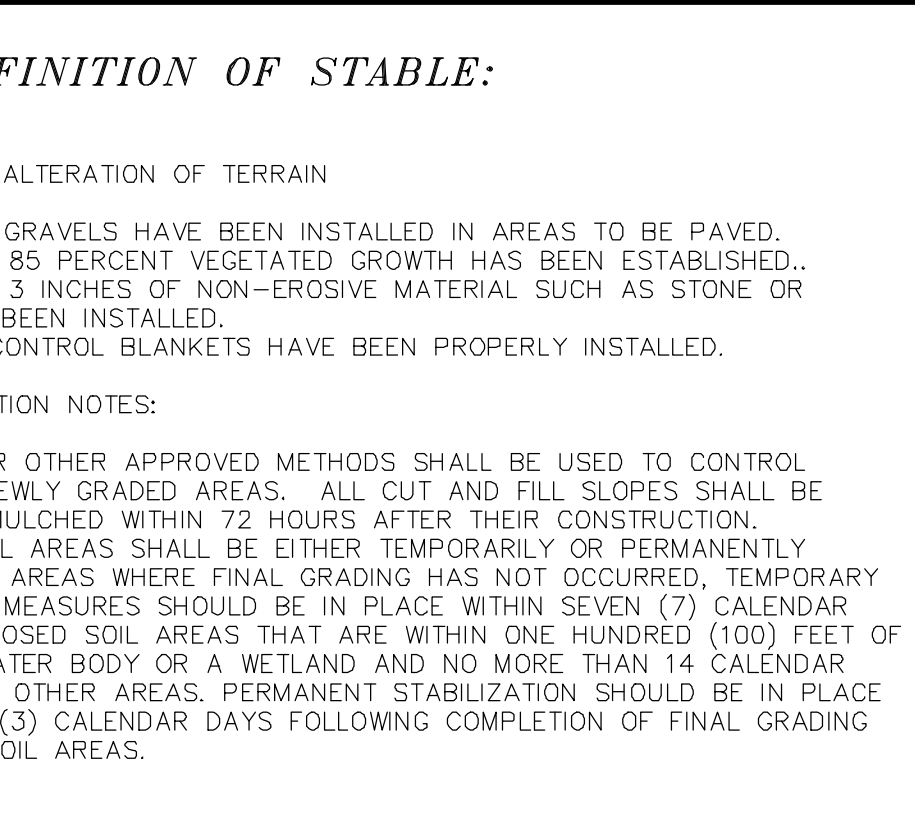
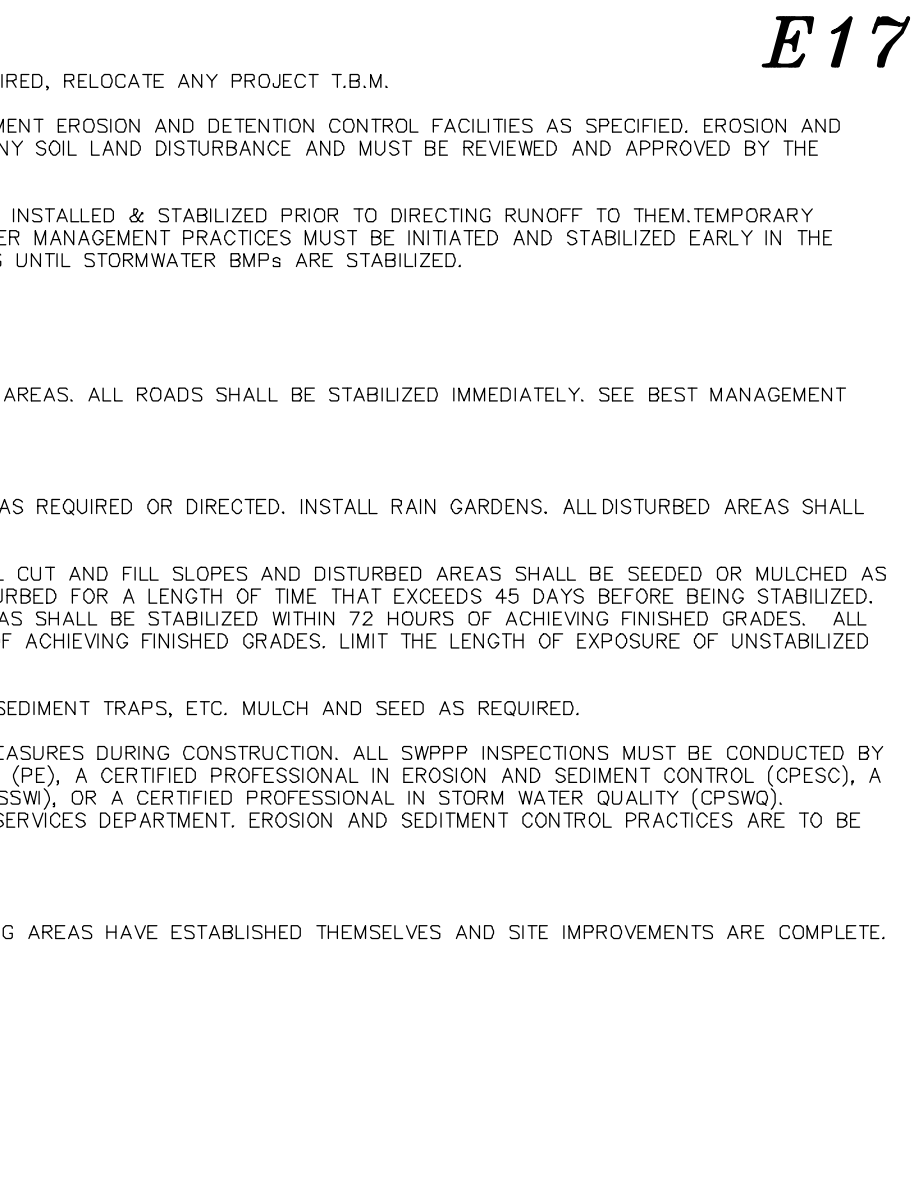
SEEDING GUIDE

USE	SEEDING MIXTURE 1/2	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	GOOD
	C	FAIR	FAIR	EXCELLENT	EXCELLENT
	D	FAIR	GOOD	EXCELLENT	EXCELLENT
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	E	GOOD	GOOD	GOOD	FAIR
	F	GOOD	EXCELLENT	EXCELLENT	EXCELLENT
	G	GOOD	EXCELLENT	EXCELLENT	EXCELLENT
LIGHTLY USED PARKING LOTS, GOLF COURSES, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	EXCELLENT	EXCELLENT
	C	GOOD	EXCELLENT	EXCELLENT	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)	F	FAIR	EXCELLENT	EXCELLENT	Z/Z
	G	FAIR	EXCELLENT	EXCELLENT	Z/Z

1/2 REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36
Z/Z POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3



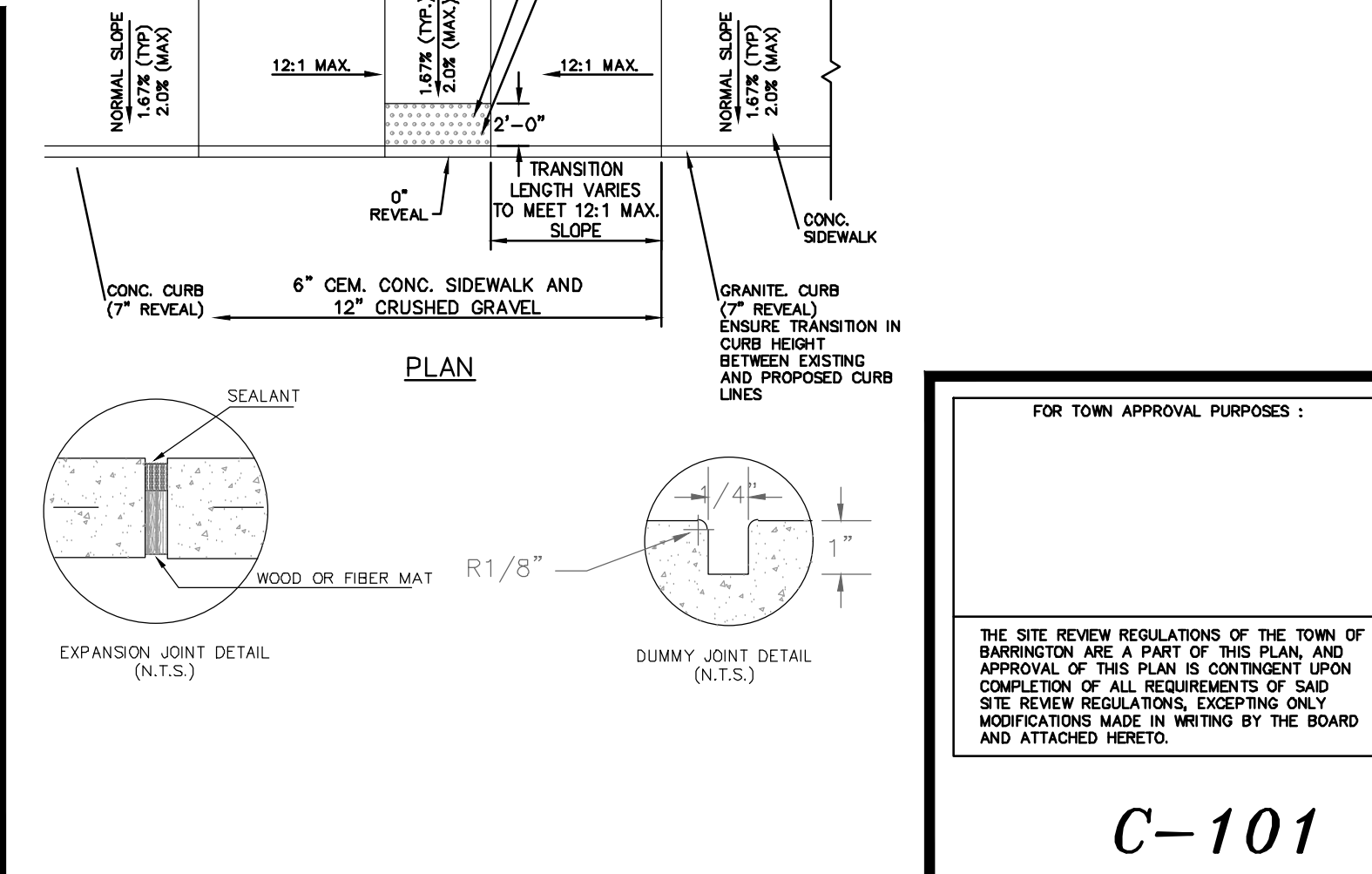
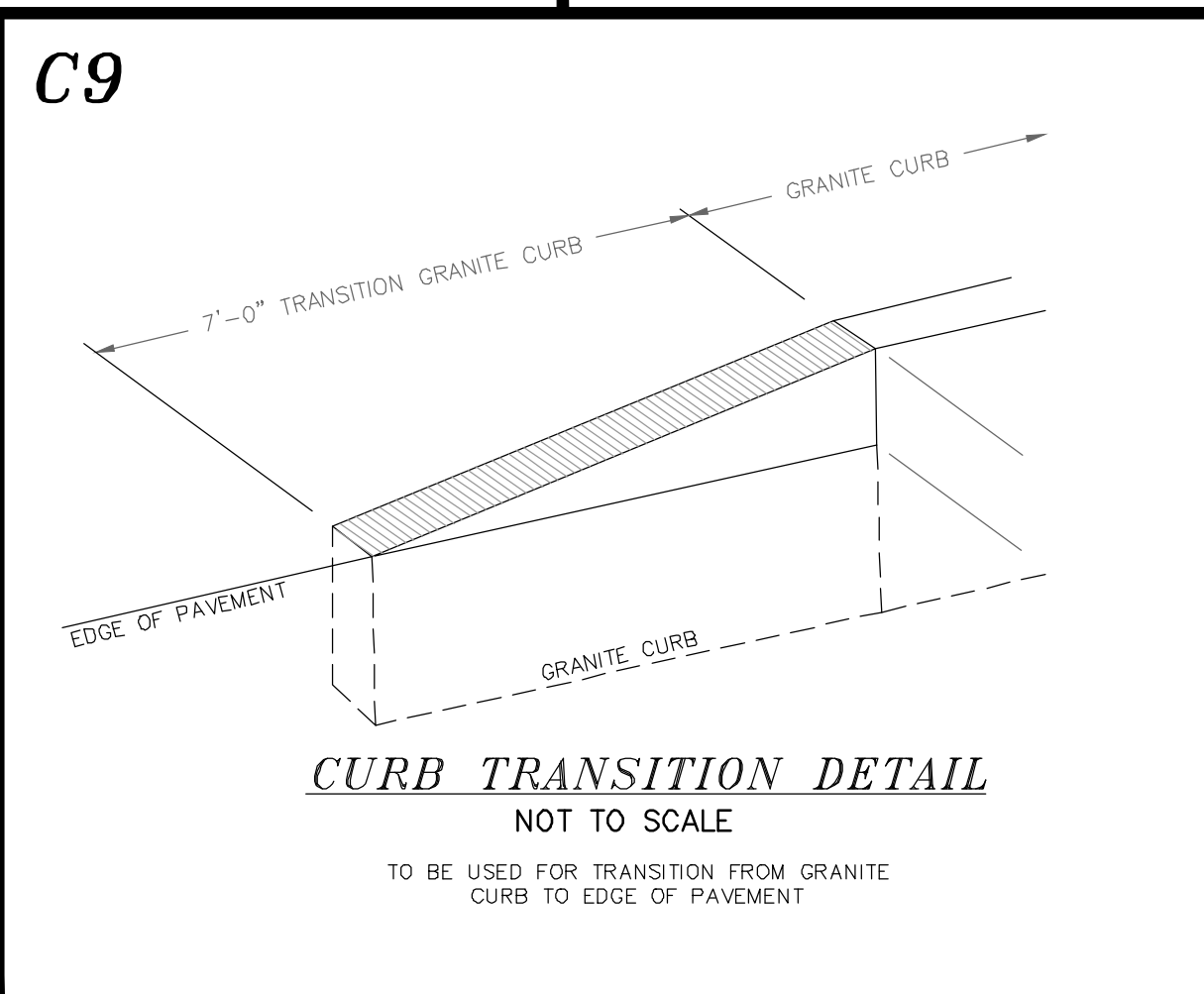
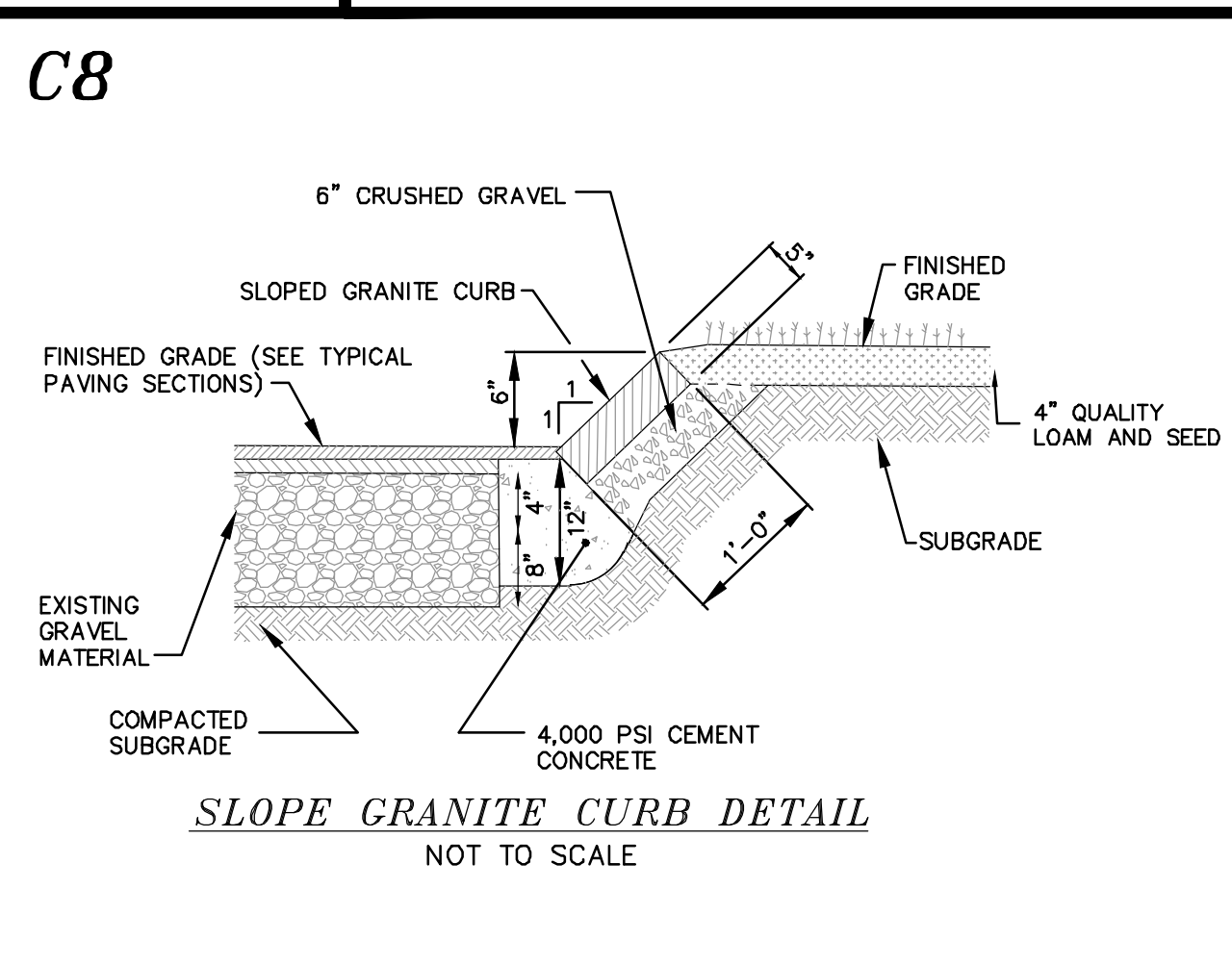
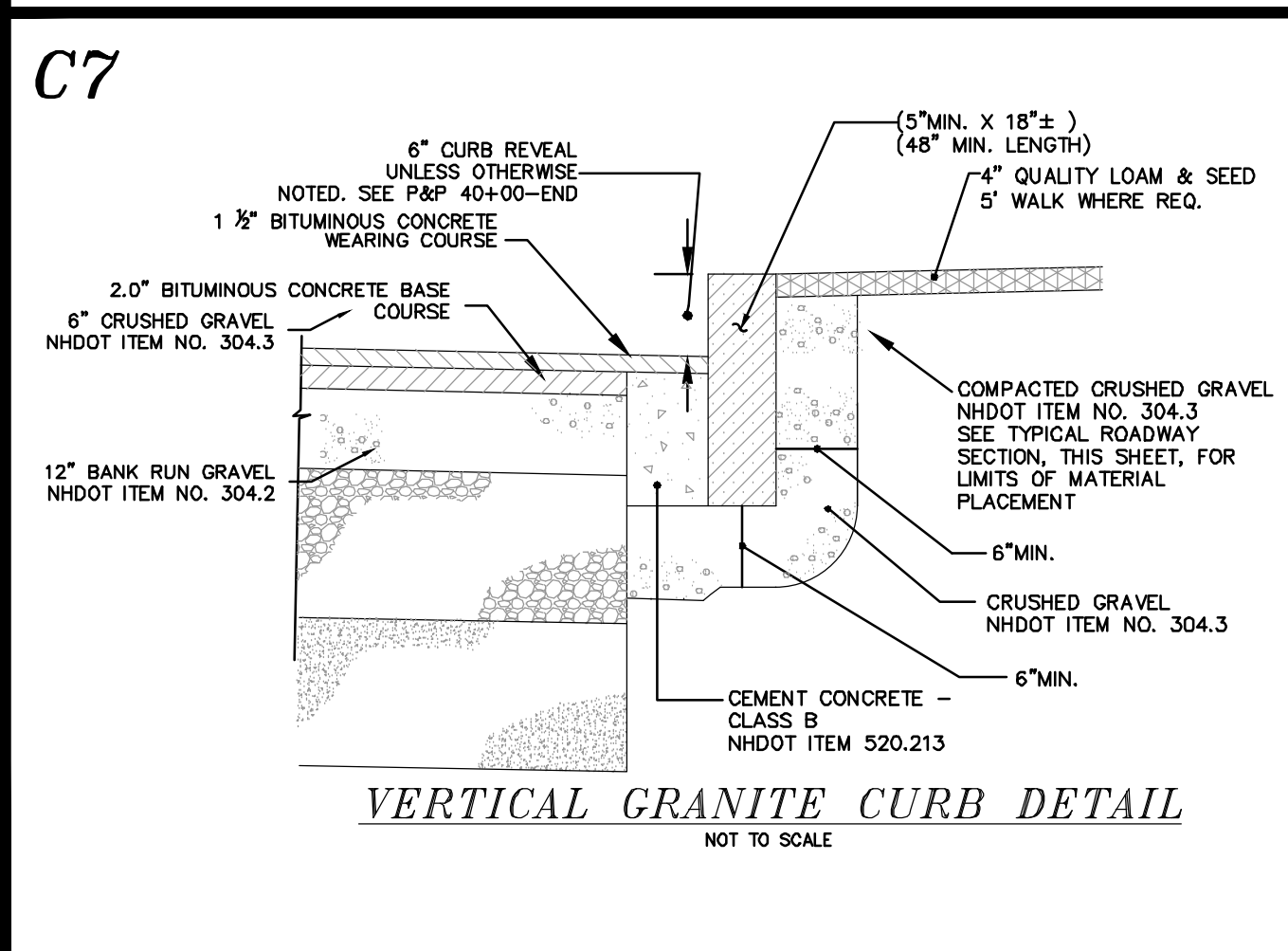
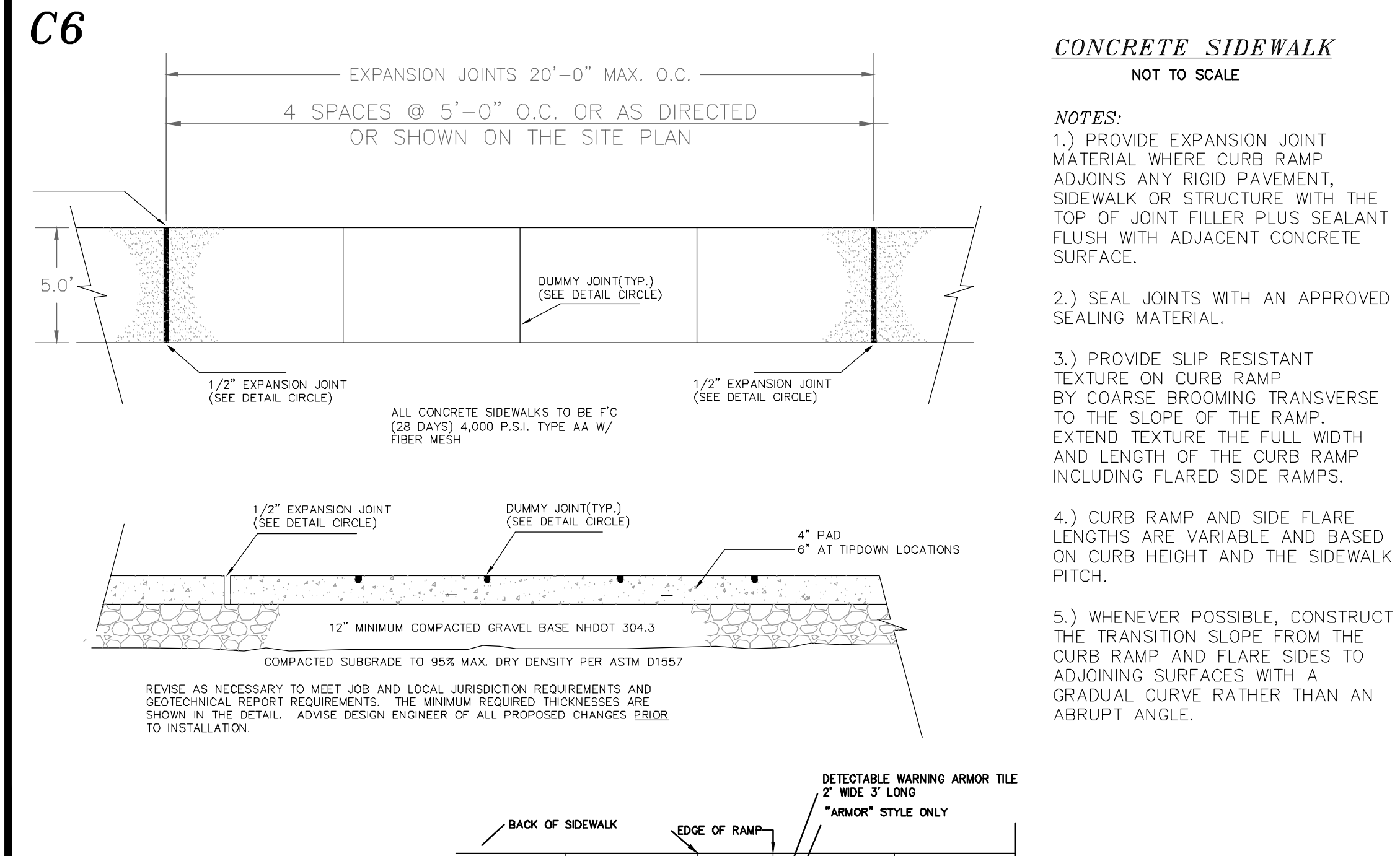
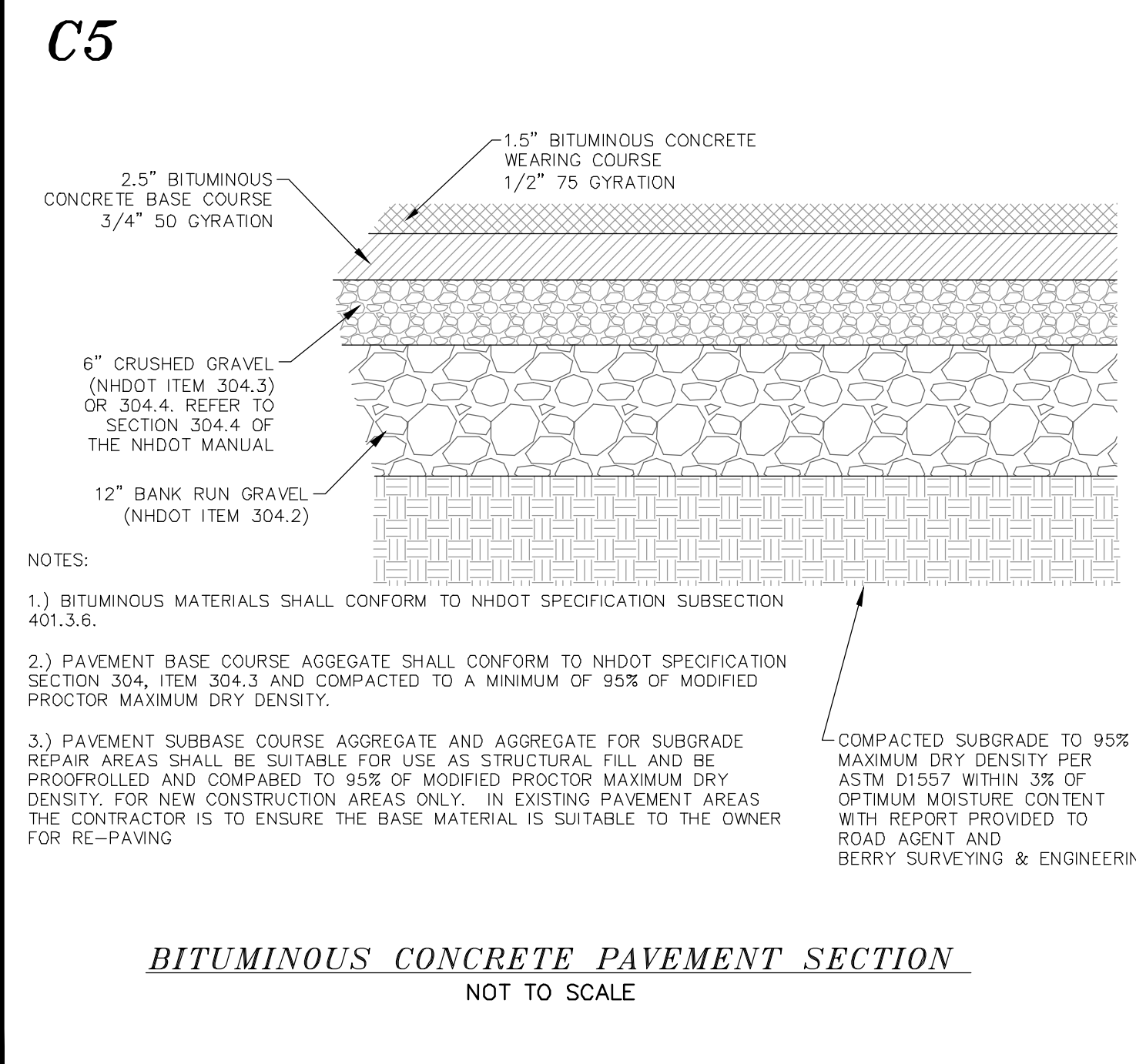
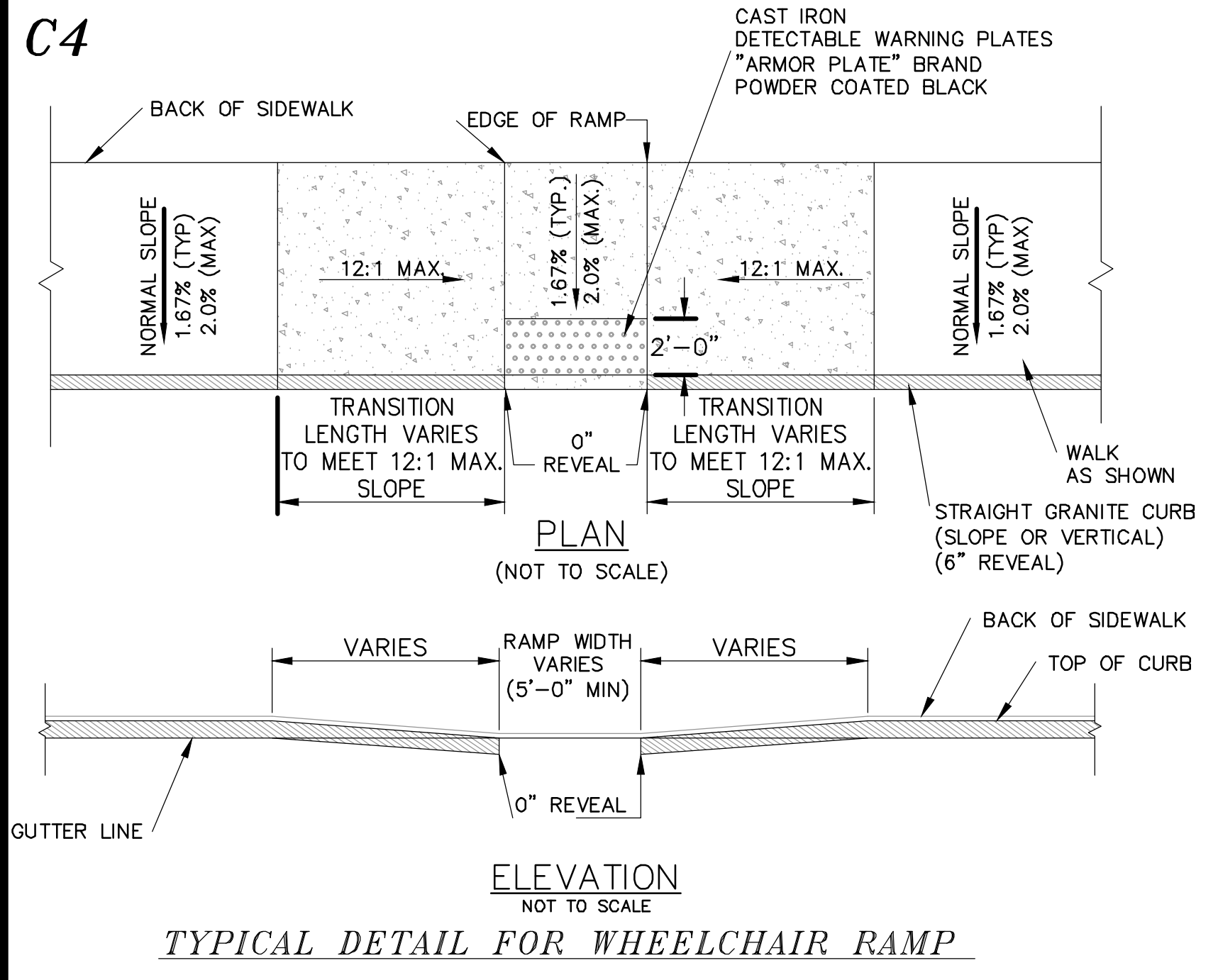
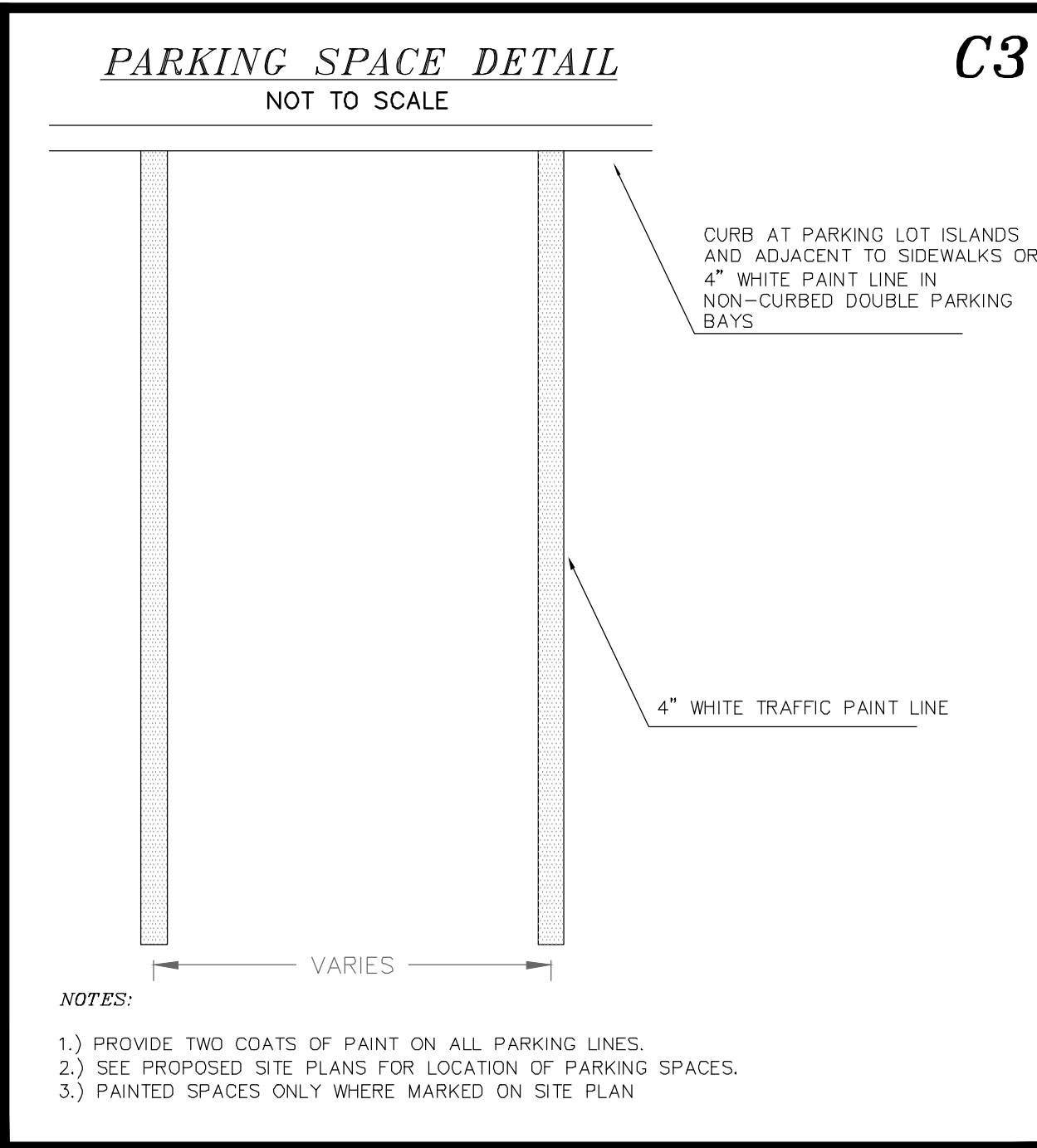
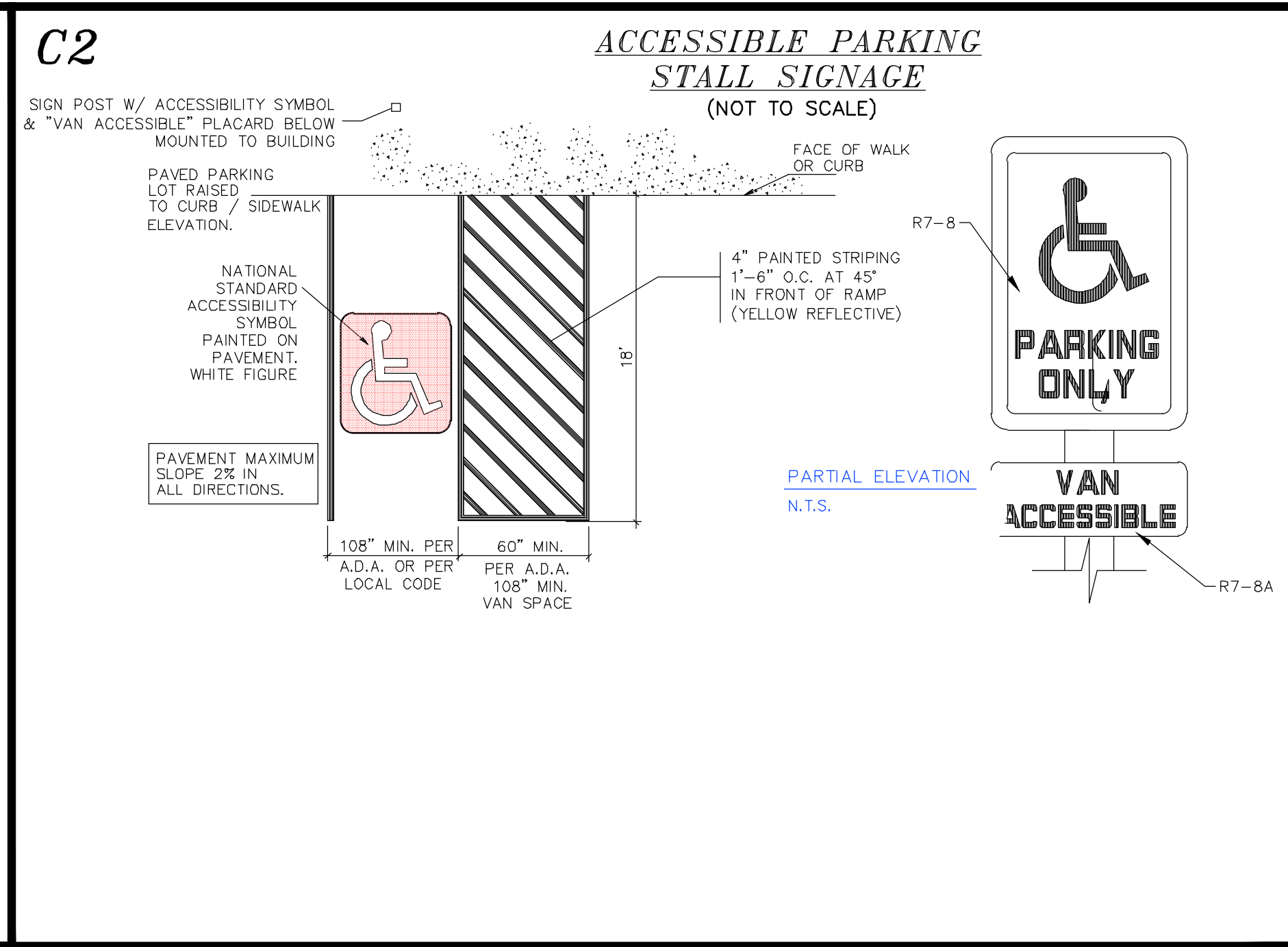
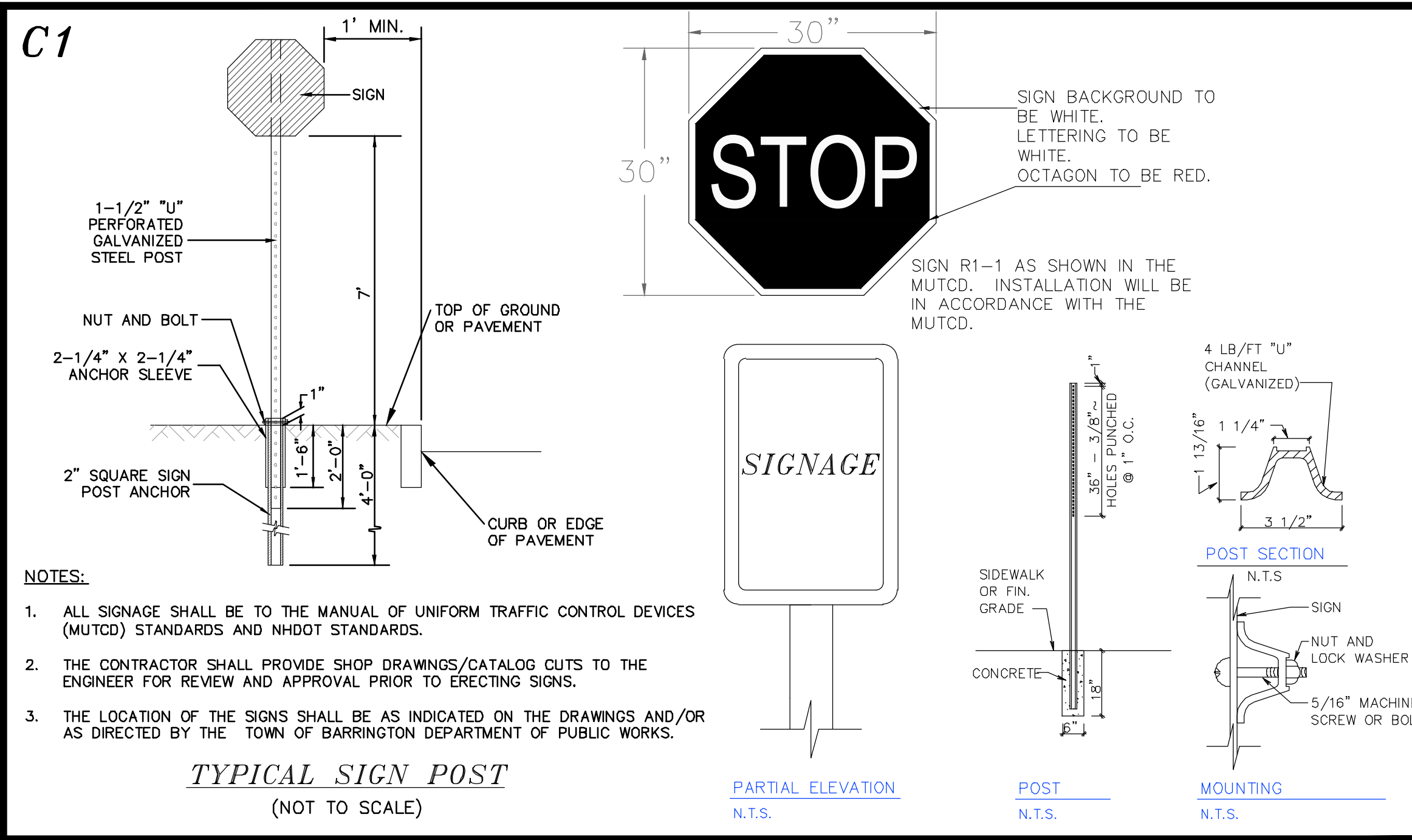
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

DATE: JUNE 14, 2021
FILE NO.: DB 2020 - 097

AS NOTED

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER

EROSION & SEDIMENT CONTROL DETAILS
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3



REVISION	DATE	DESCRIPTION

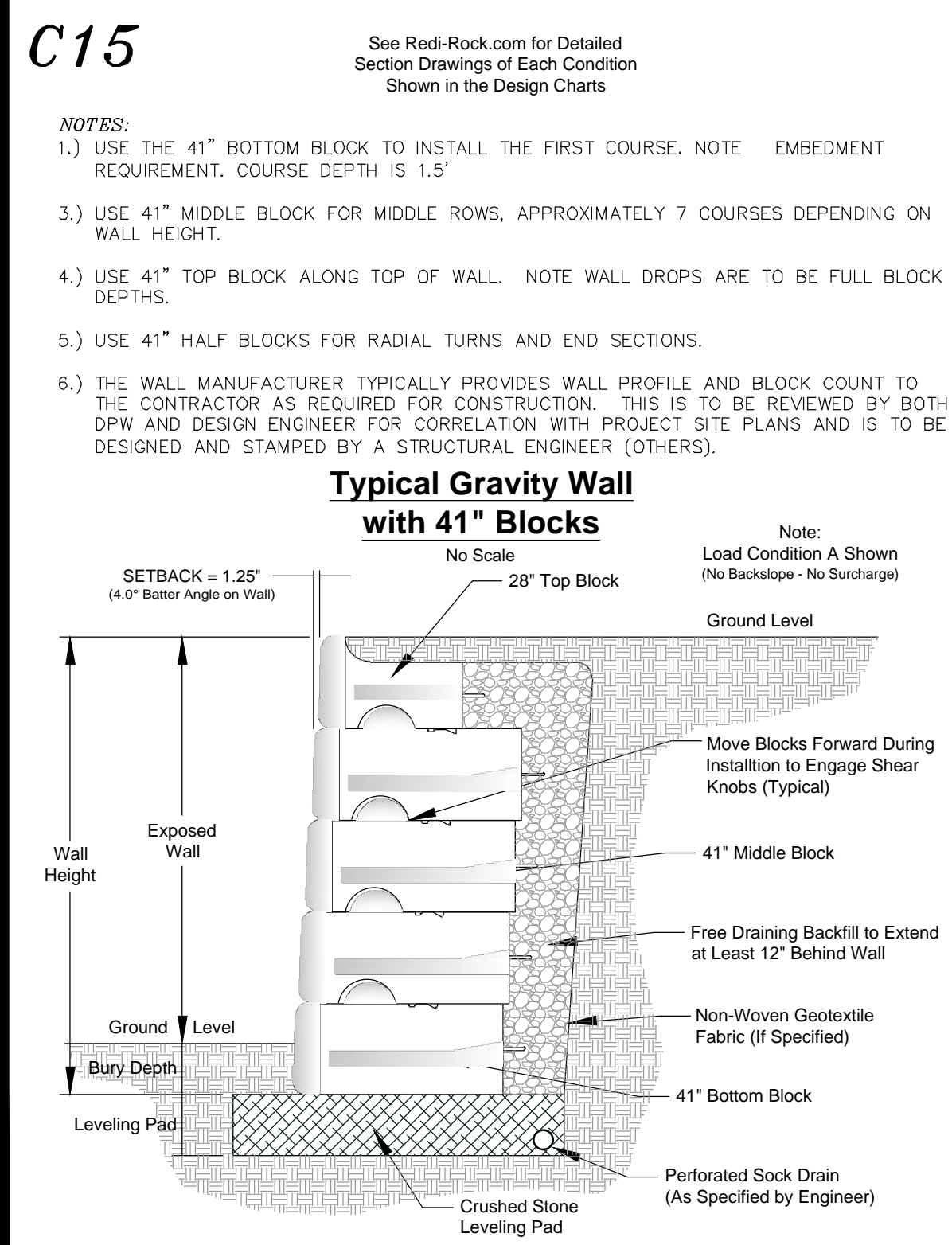
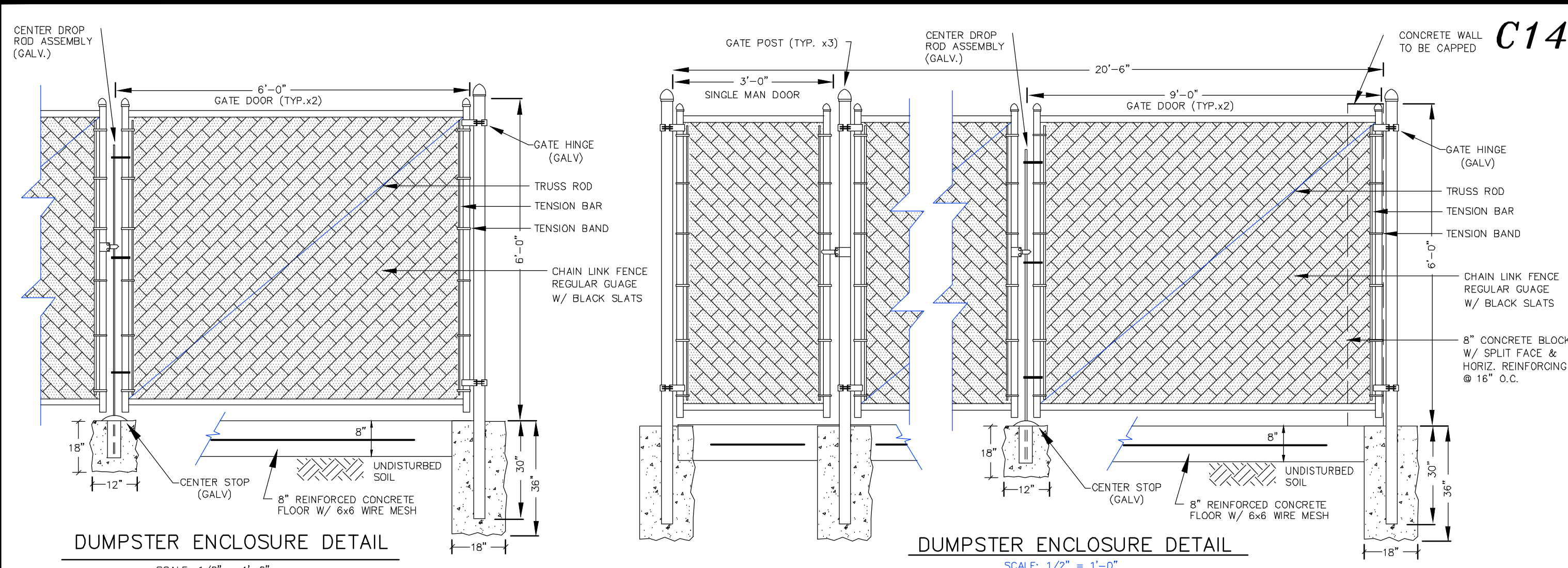
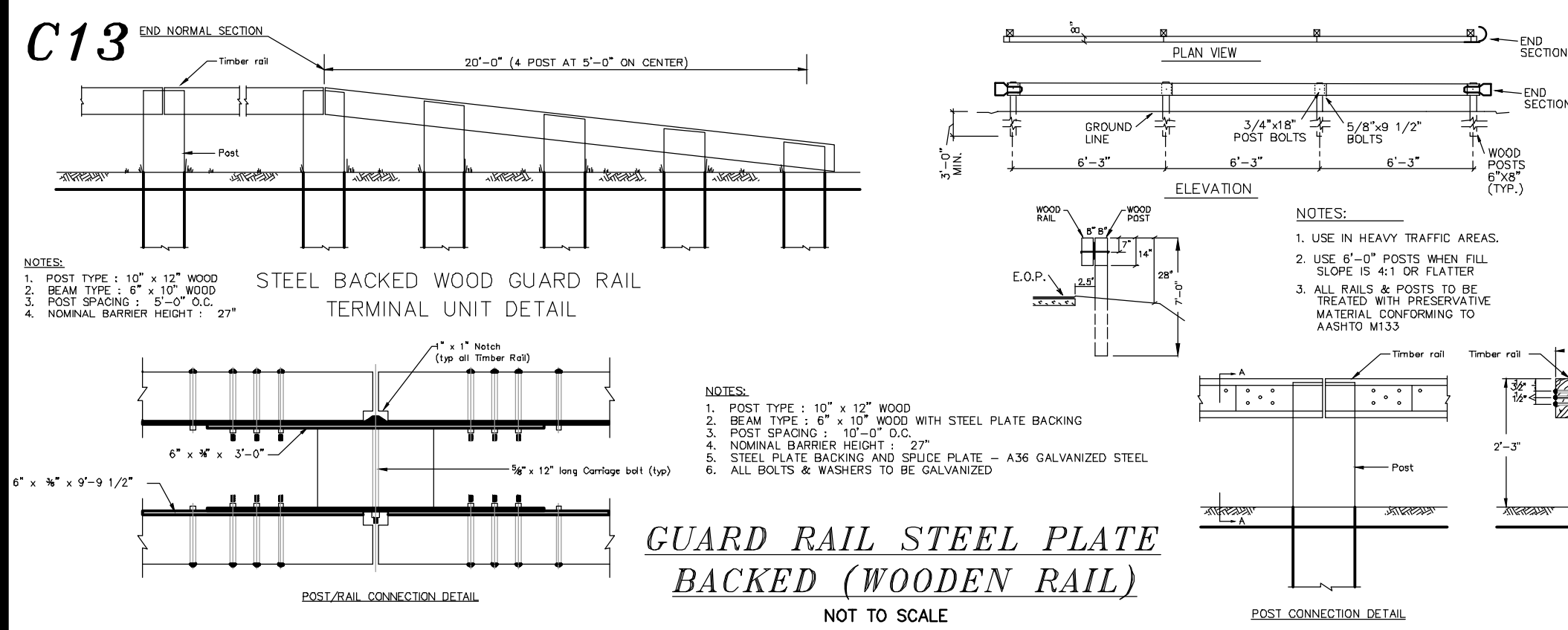
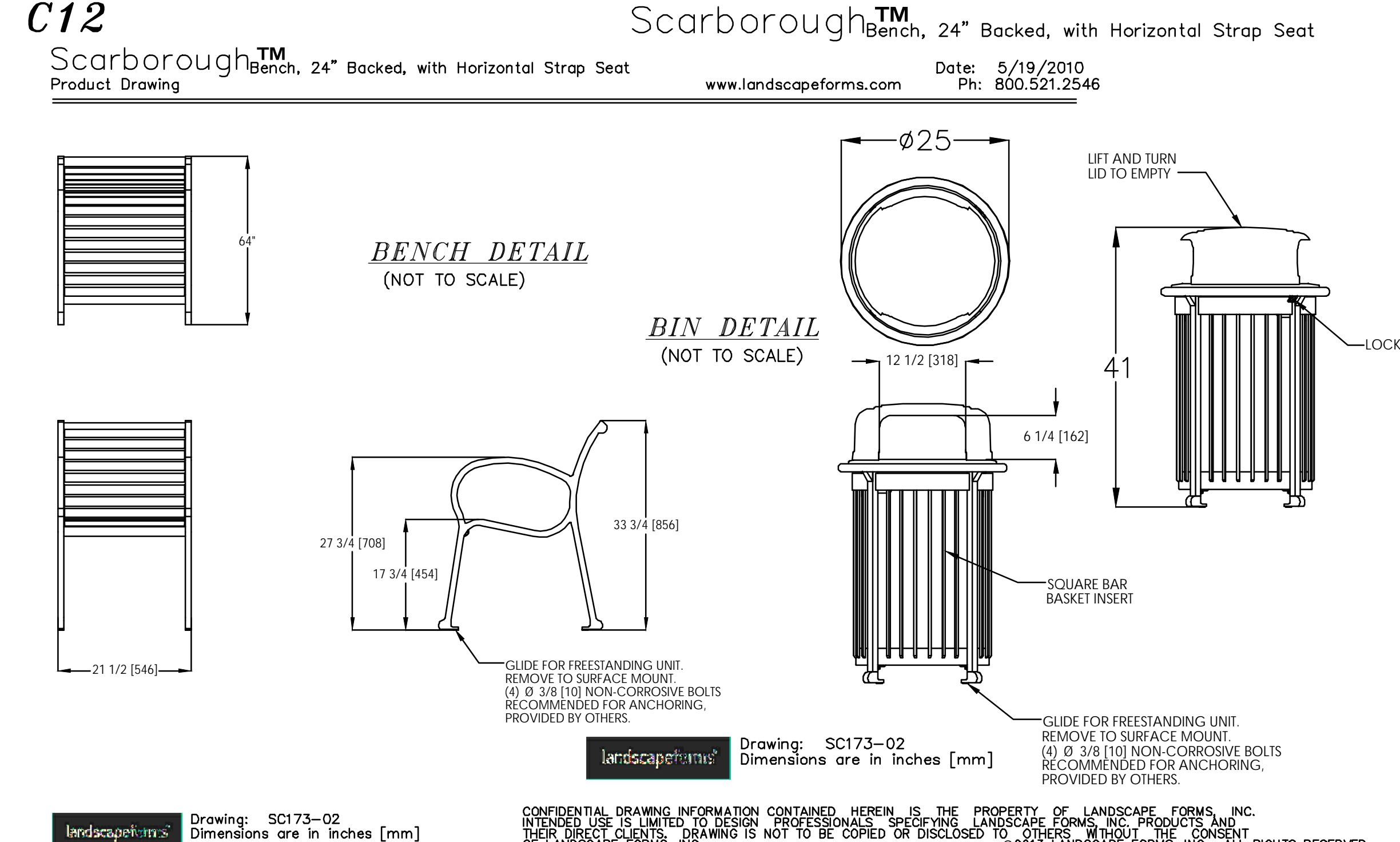
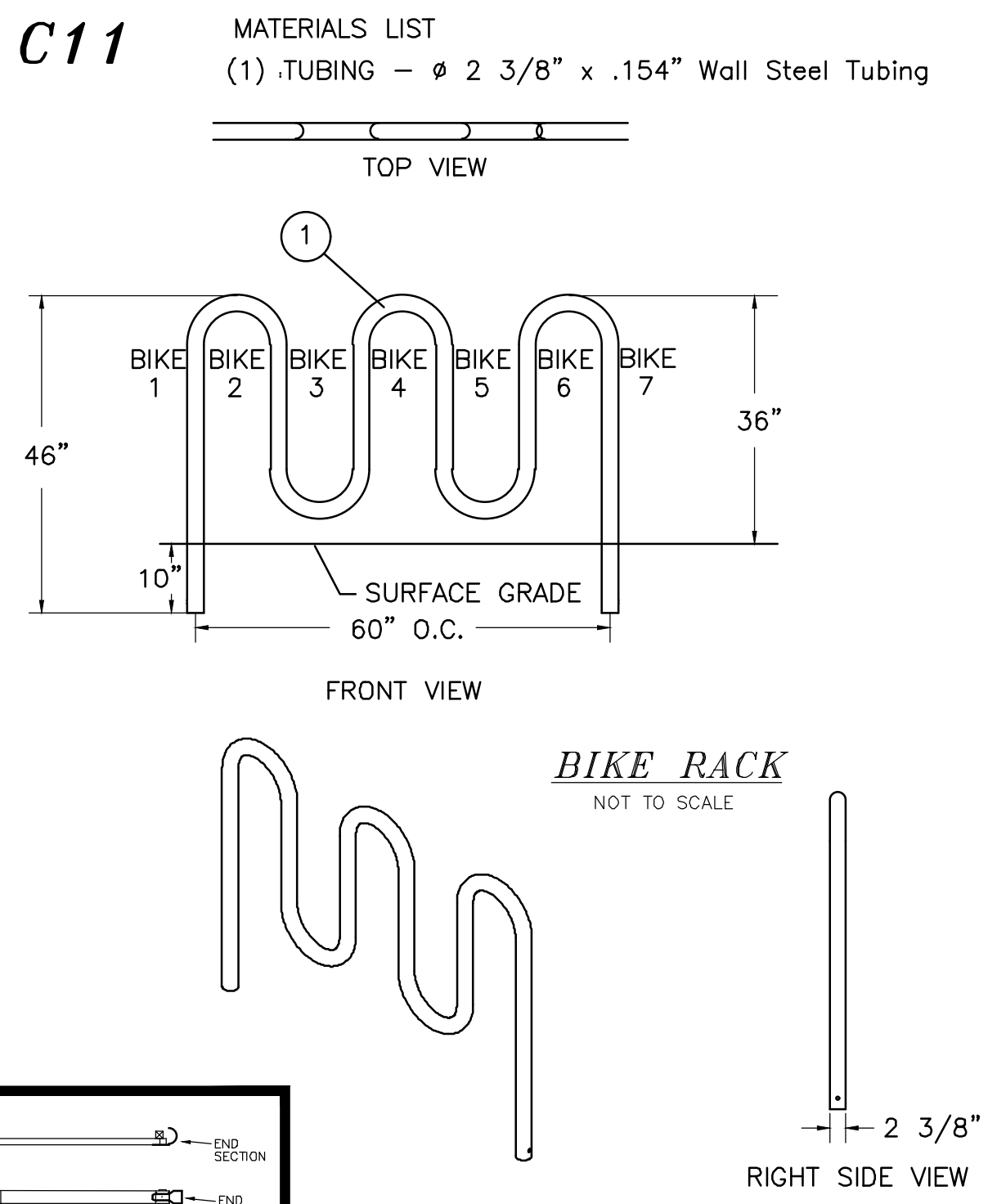
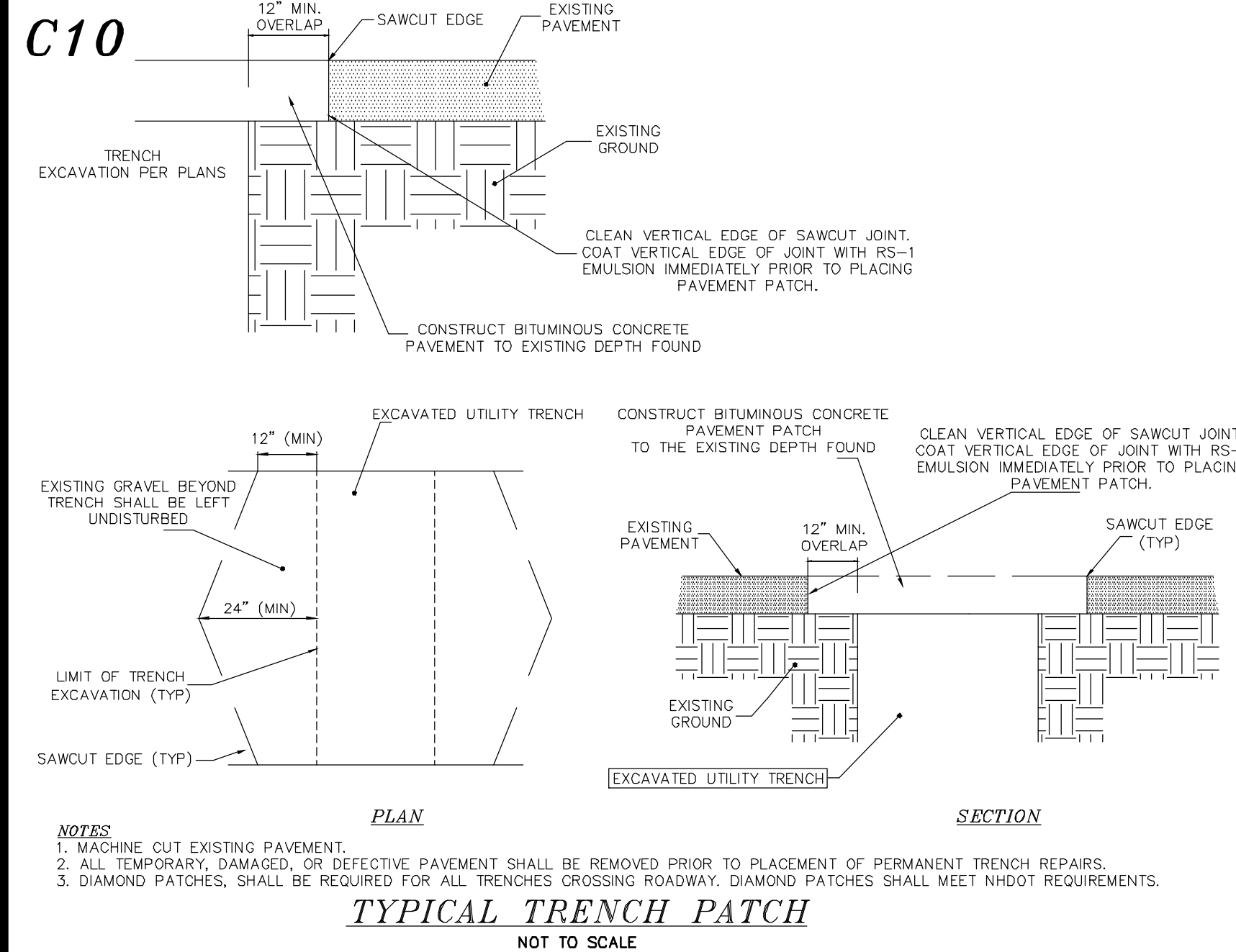
CONSTRUCTION DETAILS
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

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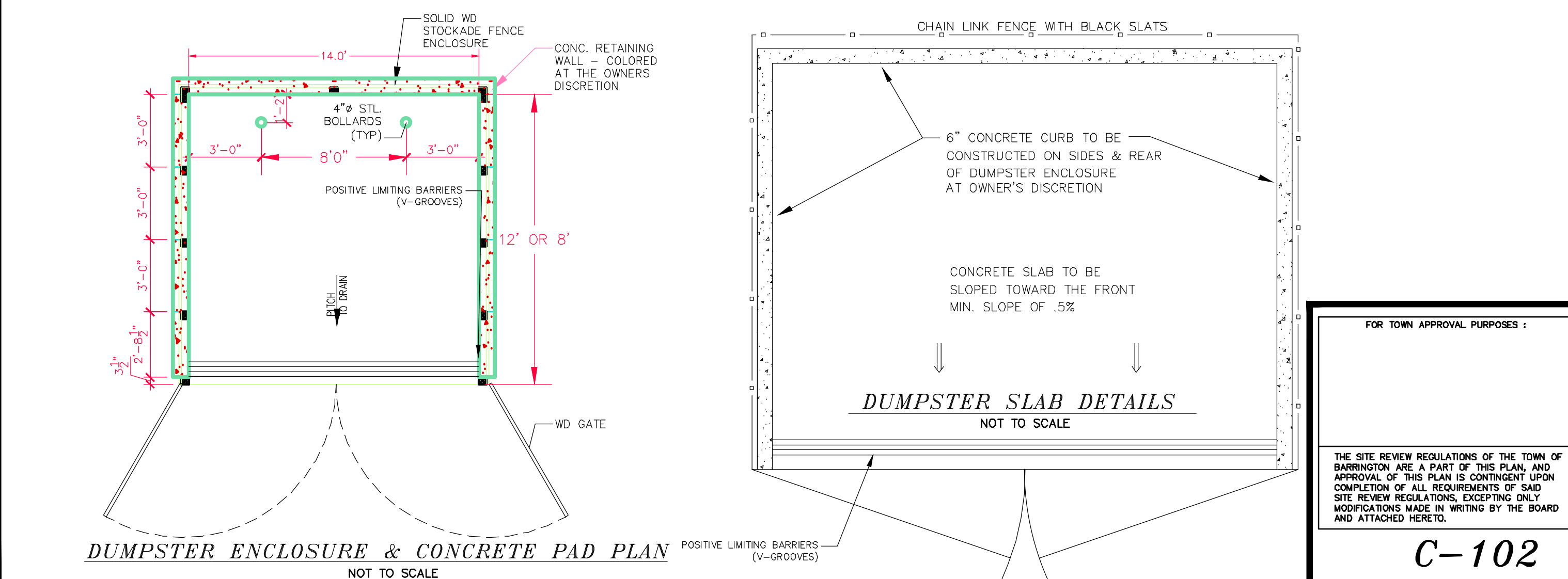
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER



41" SERIES BLOCKS

<p>Top - 28" Volume = 8.55 cft Weight = \pm1223 lbs C of G = 15.06"</p>	<p>Half Top - 28" Volume = 4.13 cft Weight = \pm591 lbs</p>
<p>Middle - 41" Volume = 16.44 cft Weight = \pm2351 lbs C of G = 20.92"</p>	<p>Half Middle - 41" Volume = 7.28 cft Weight = \pm1041 lbs</p>
<p>Bottom - 41" Volume = 17.37 cft Weight = \pm2483 lbs C of G = 21.3"</p>	<p>Half Bottom - 41" Volume = 7.73 cft Weight = \pm1105 lbs</p>

NOTES:
Volume and Center of Gravity (C of G) calculations are based on the blocks as shown.
Center of Gravity is measured from the back of the block.
Half blocks may include a fork lift slot on one side.
Actual weights and volumes may vary.
Weight shown is based on 143 pcf concrete.



CONSTRUCTION DETAILS	DESCRIPTION
DOVE DEVELOPMENT GROUP, LLC	
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY	
COMMUNITY WAY	
BARRINGTON, NH	
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3	
REVISION	DATE

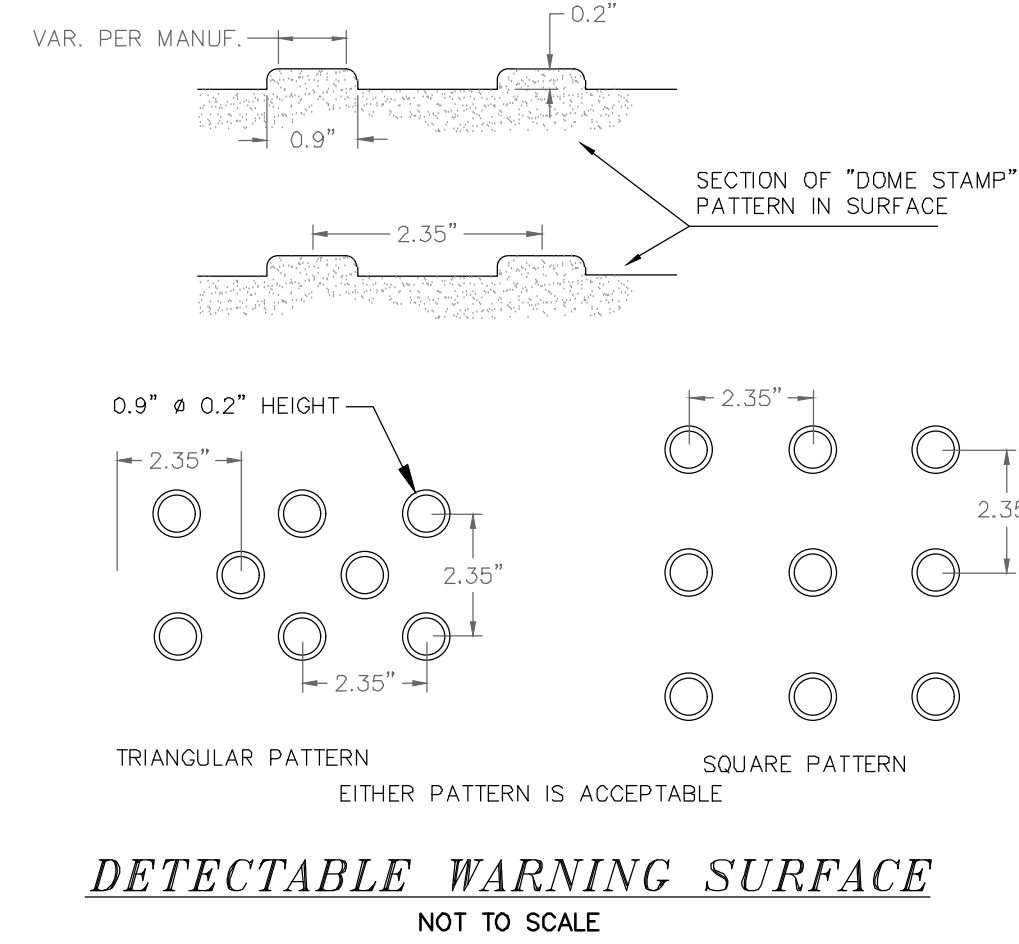
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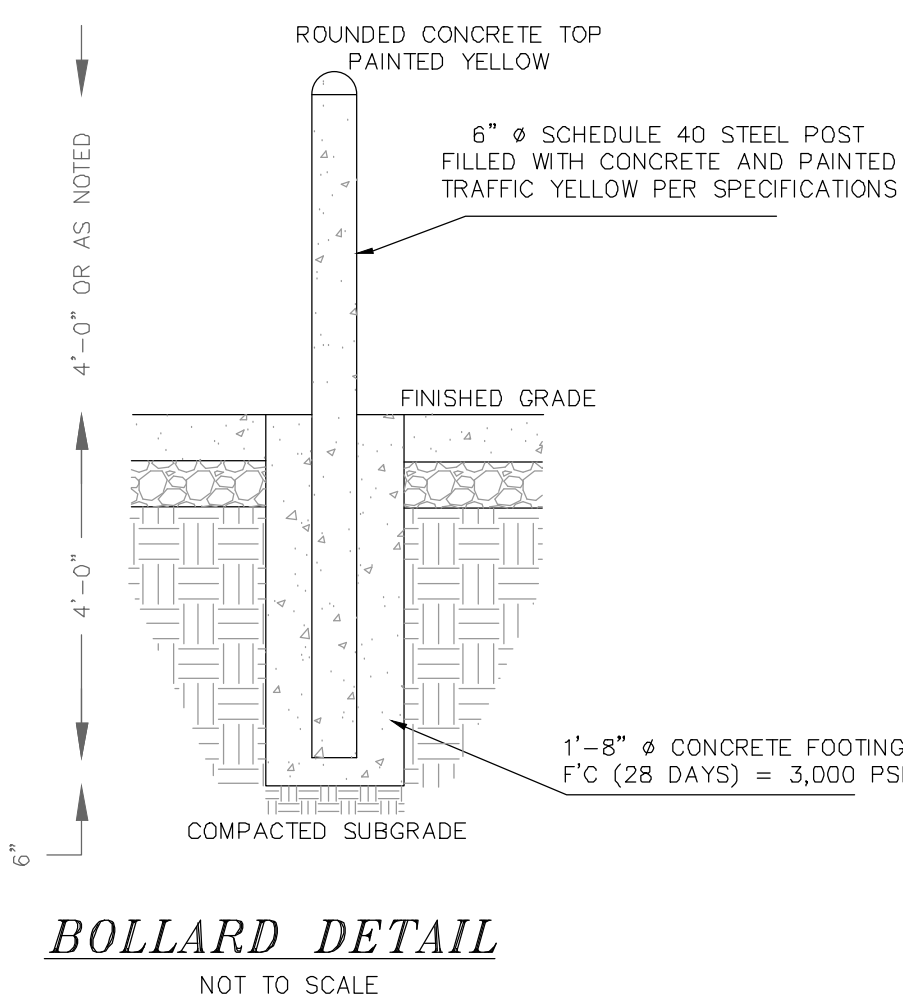
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

C-102
SHEET 93 OF 105

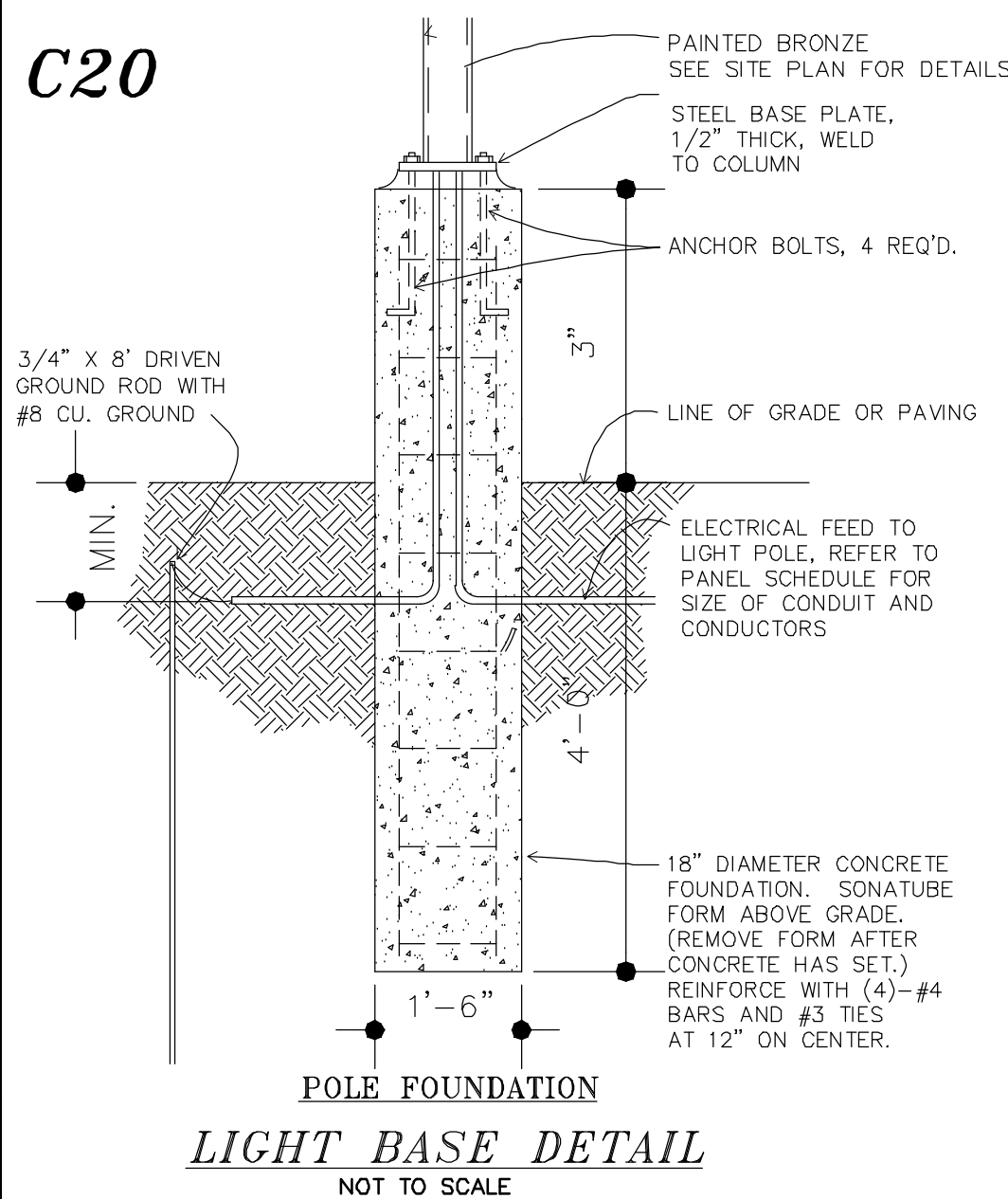
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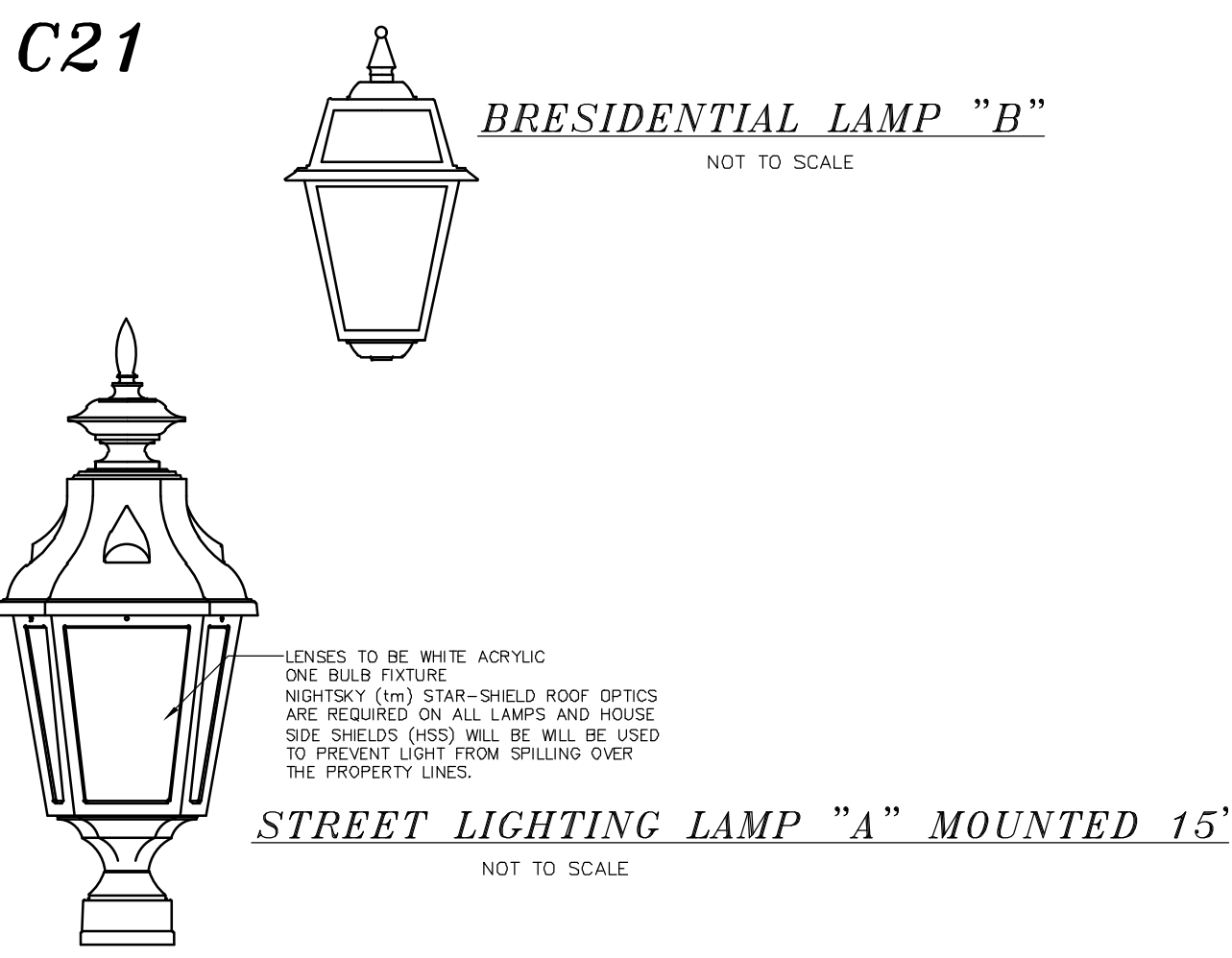
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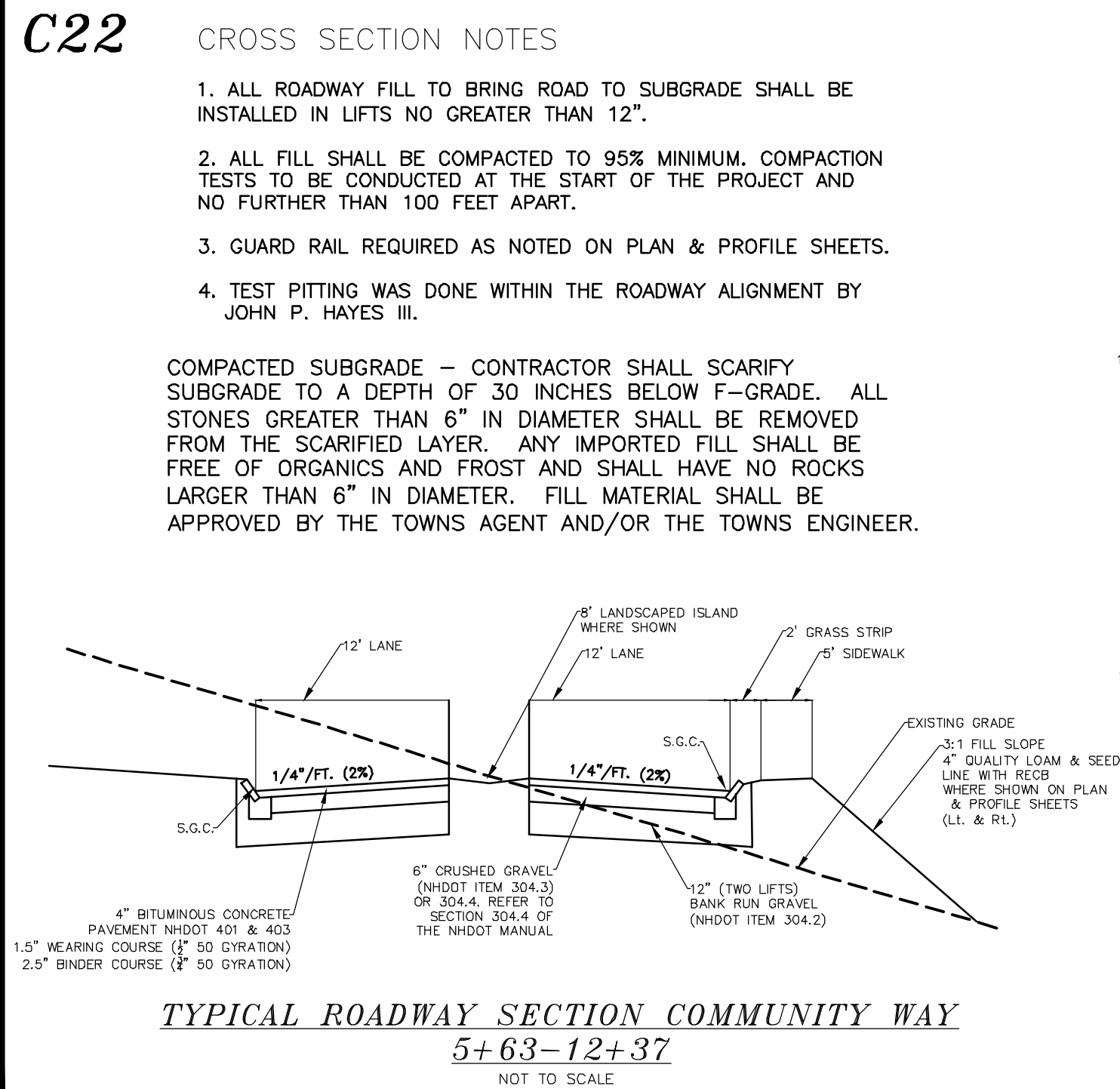
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C21



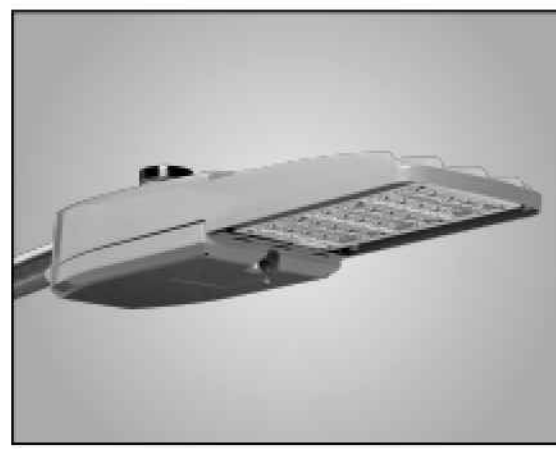
C22



C17

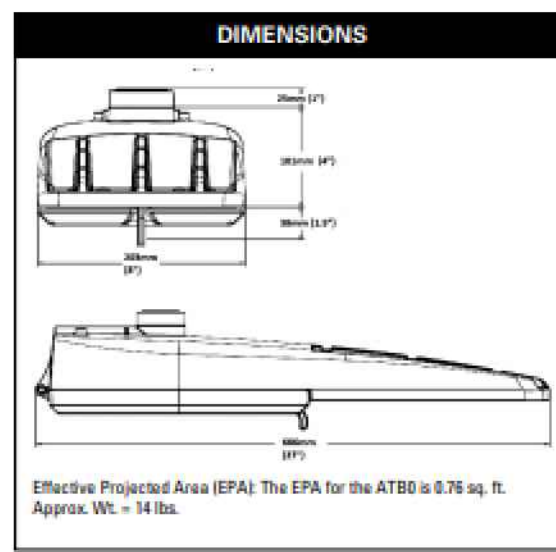


Autobahn Series ATB0 Roadway Lighting



Applications:

- Roadways
- Off ramps
- Residential streets
- Parking lots



STANDARDS

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.

Color temperatures of $\leq 3000K$ must be specified for International Dark-Sky Association certification.

Rated for -40°C to 40°C ambient
CSA Certified to U.S. and Canadian standards
Complies with ANSI C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

LAMP "B" MOUNTED 15'

C18



Specifications

Luminaire

Height: 9.31" (23.8 cm)

Width: 18" (45.7 cm)

Depth: 9" (22.8 cm)

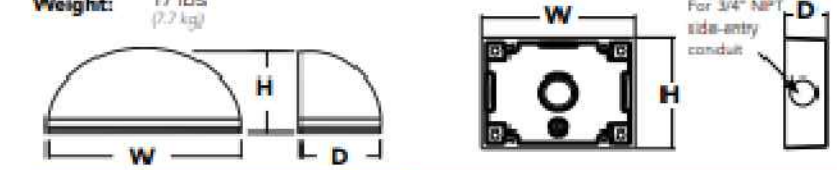
Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)

Height: 4" (10.2 cm)

Width: 5-1/2" (14.0 cm)

Depth: 1-1/2" (3.8 cm)



Ordering Information

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Options	Finish (required)
WSQ LED	P1	30K	S82 Type I	MVOLT	Shipped included (blank)	Shipped installed	DBDD
	P2	40K	S82 Type I	120	Surface mount	KE	DBDD
	P3	50K	S84 Type V	208	Shipped separately*	SE	DBDD
	P4			277	BBW Surface-mounted back box	DF	DBDD
			347		DMG	DBDD	DBDD
			480		E20WC	DBDD	DBDD
					E10WH	DBDD	DBDD
					WLU	DBDD	DBDD
					PIR	DBDD	DBDD
					DS	DBDD	DBDD
					SRP	DBDD	DBDD
					MG	DBDD	DBDD
					WG	DBDD	DBDD

Introduction

Classic Architectural Wall Sconce with the LED technology. Long-life, maintenance-free product with typical energy savings of 80% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity. The WSQ LED is ideal for replacing existing 50 - 250W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Emergency Battery Operation

The emergency battery backup (E20WC & E10WH) is integral to the luminaire - no external housing required. This design provides reliable emergency operation while maintaining the aesthetics of the product. All E20WC & E10WH configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1010 and IFC 101.10.10. Code Section 101.10.10 provides luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package. Type 'H' product in emergency mode.



LAMP "C" MOUNTED 12'

REVISION	DATE	DESCRIPTION

CONSTRUCTION DETAILS
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

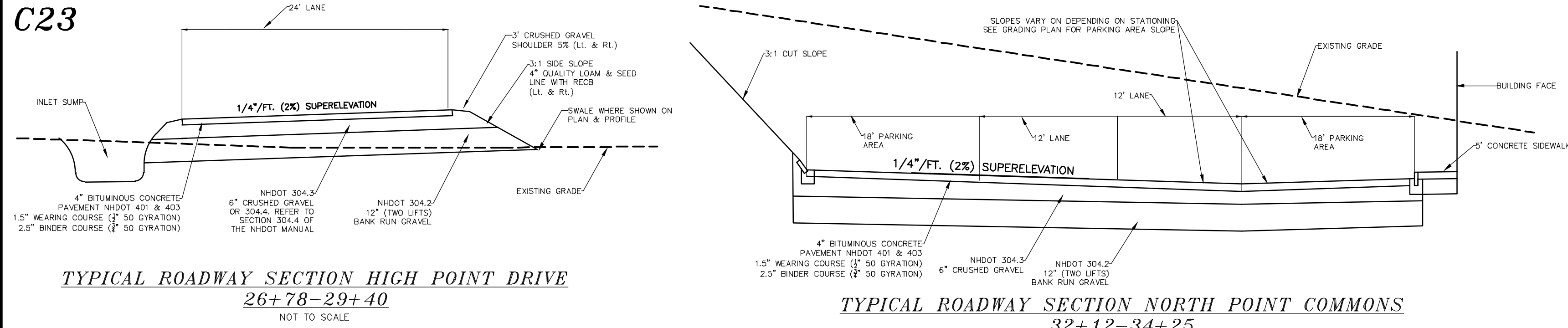
AS NOTED
DATE: JUNE 14, 2021
FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

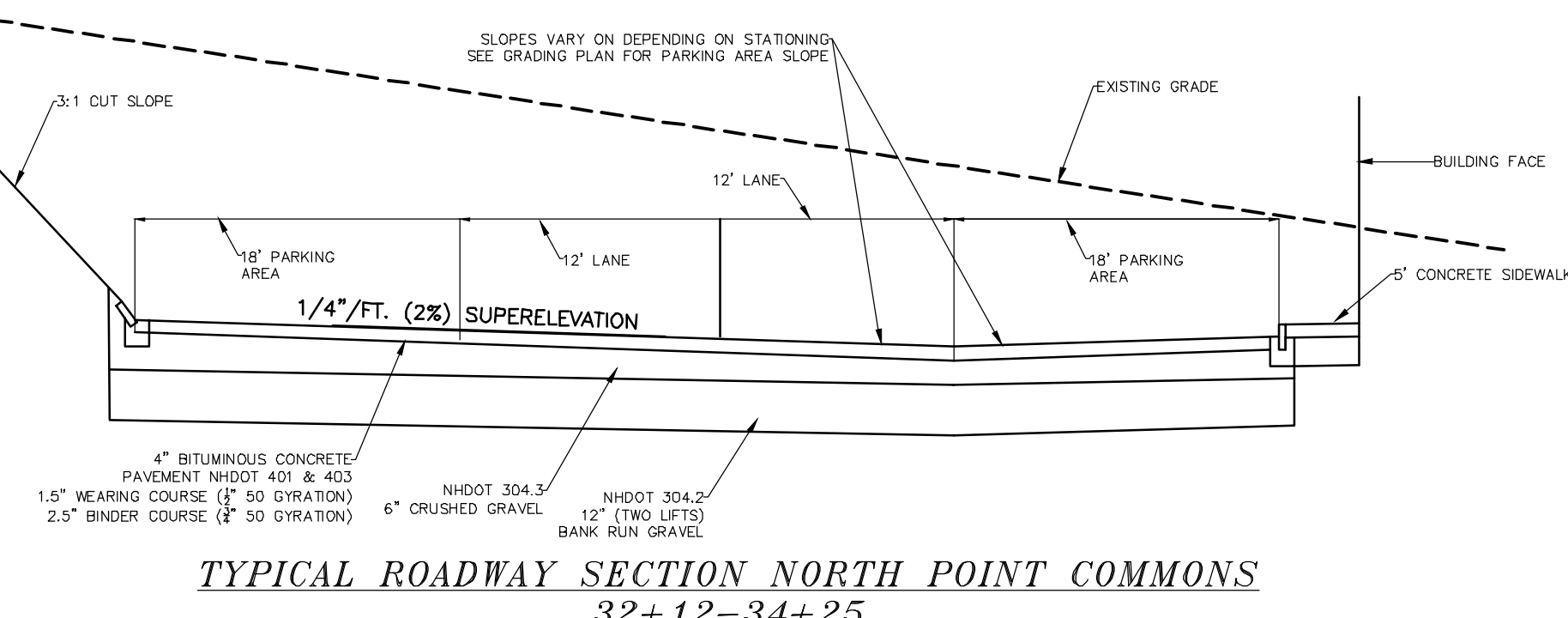
SHEET 94 OF 105

C-103

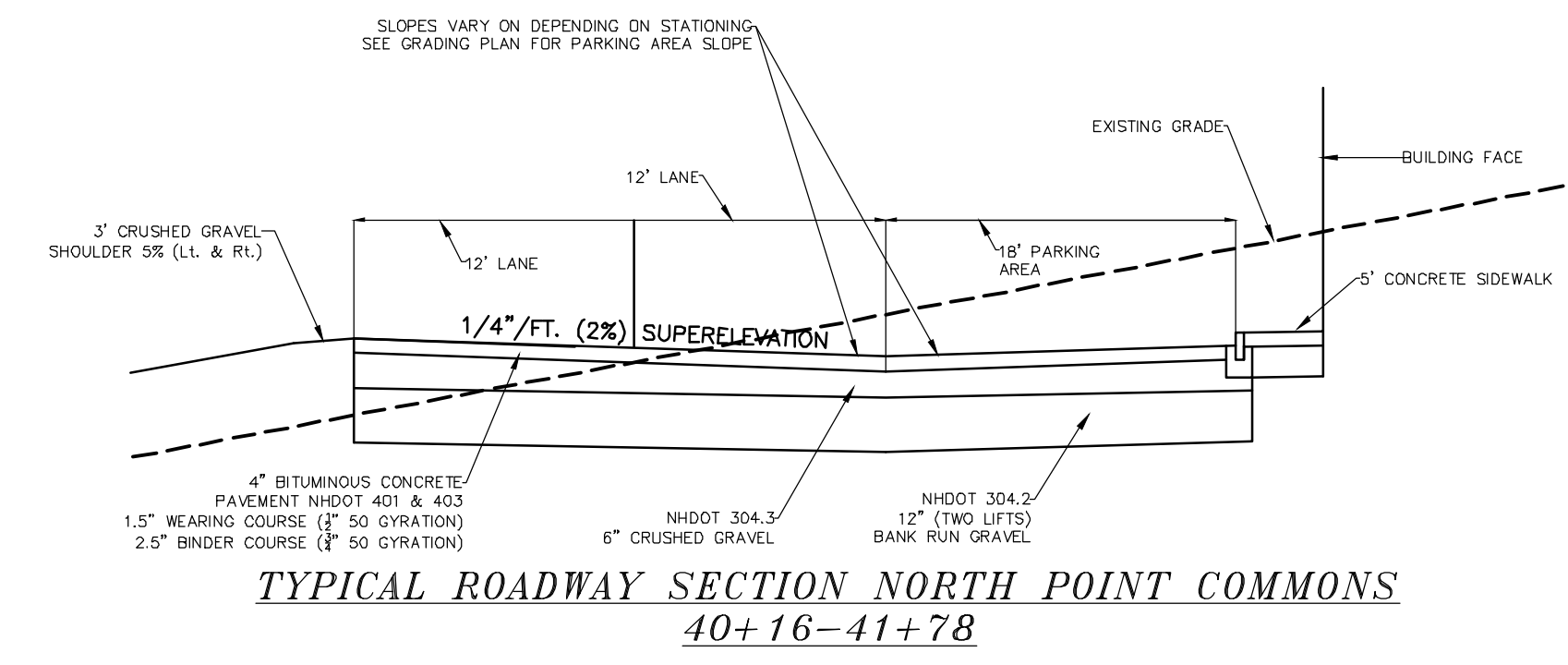
C23



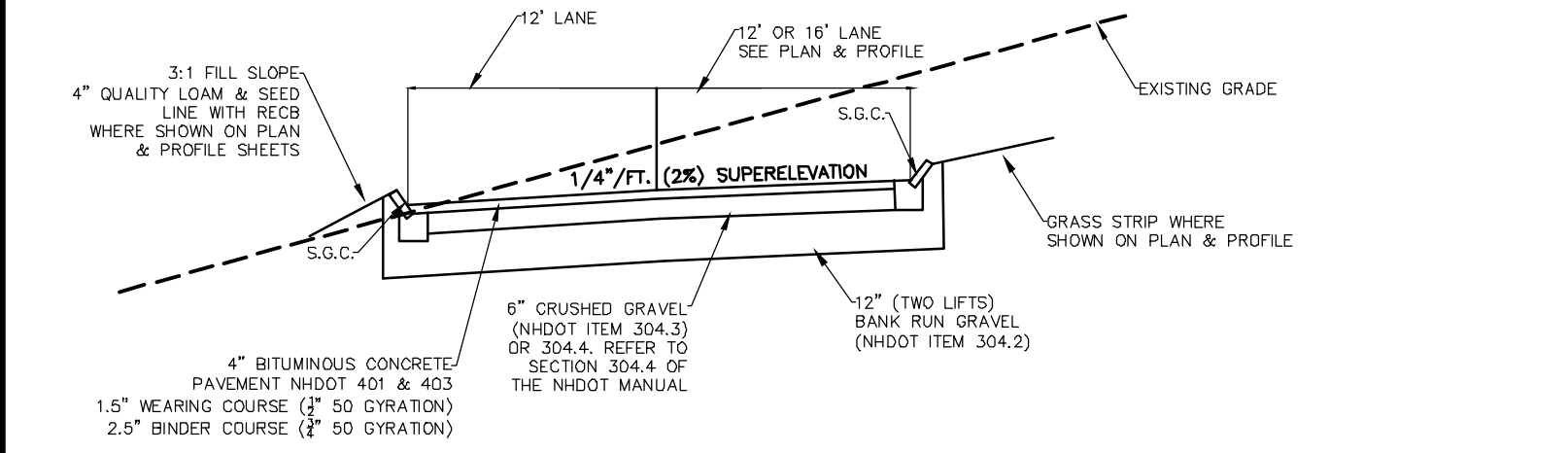
TYPICAL ROADWAY SECTION HIGH POINT DRIVE
26+78-29+40
NOT TO SCALE



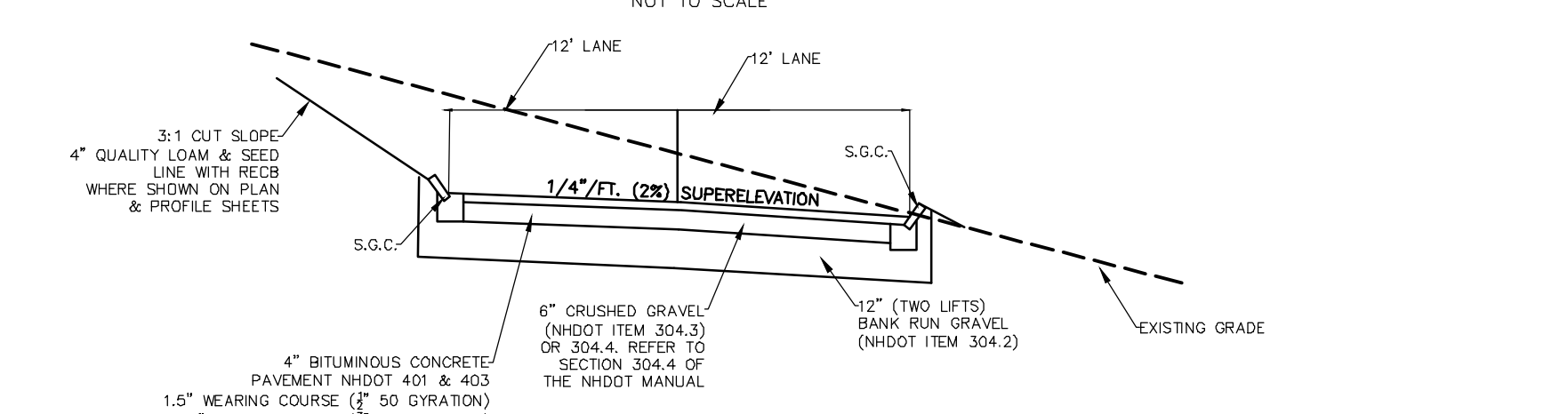
TYPICAL ROADWAY SECTION NORTH POINT COMMONS
32+12-34+25
NOT TO SCALE



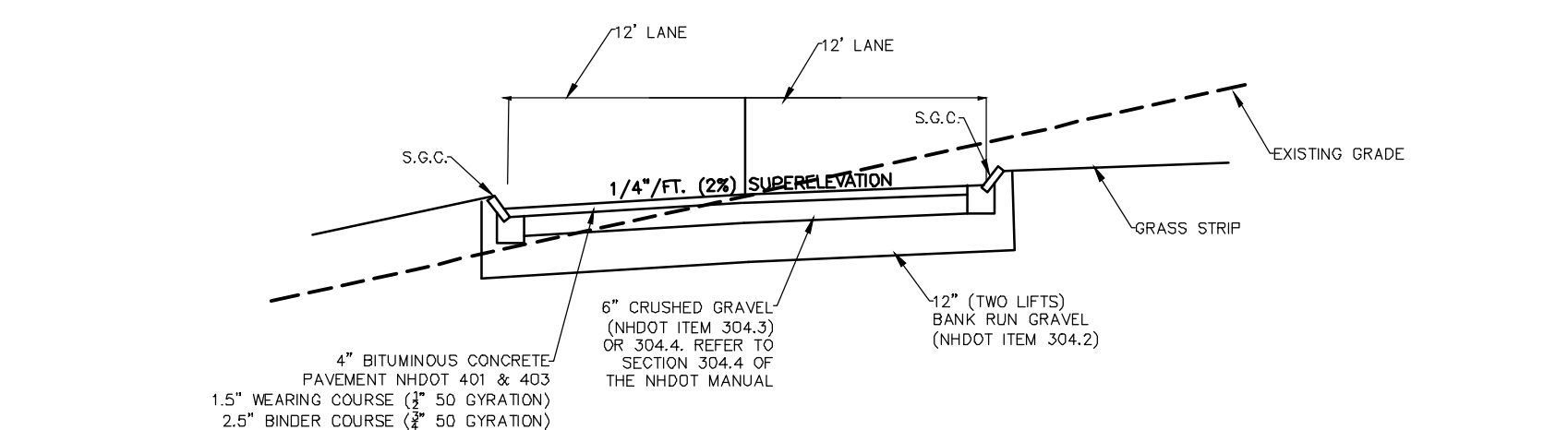
TYPICAL ROADWAY SECTION NORTH POINT COMMONS
40+16-41+78
NOT TO SCALE



TYPICAL ROADWAY SECTION NORTH POINT COMMONS
30+16-32+12
NOT TO SCALE

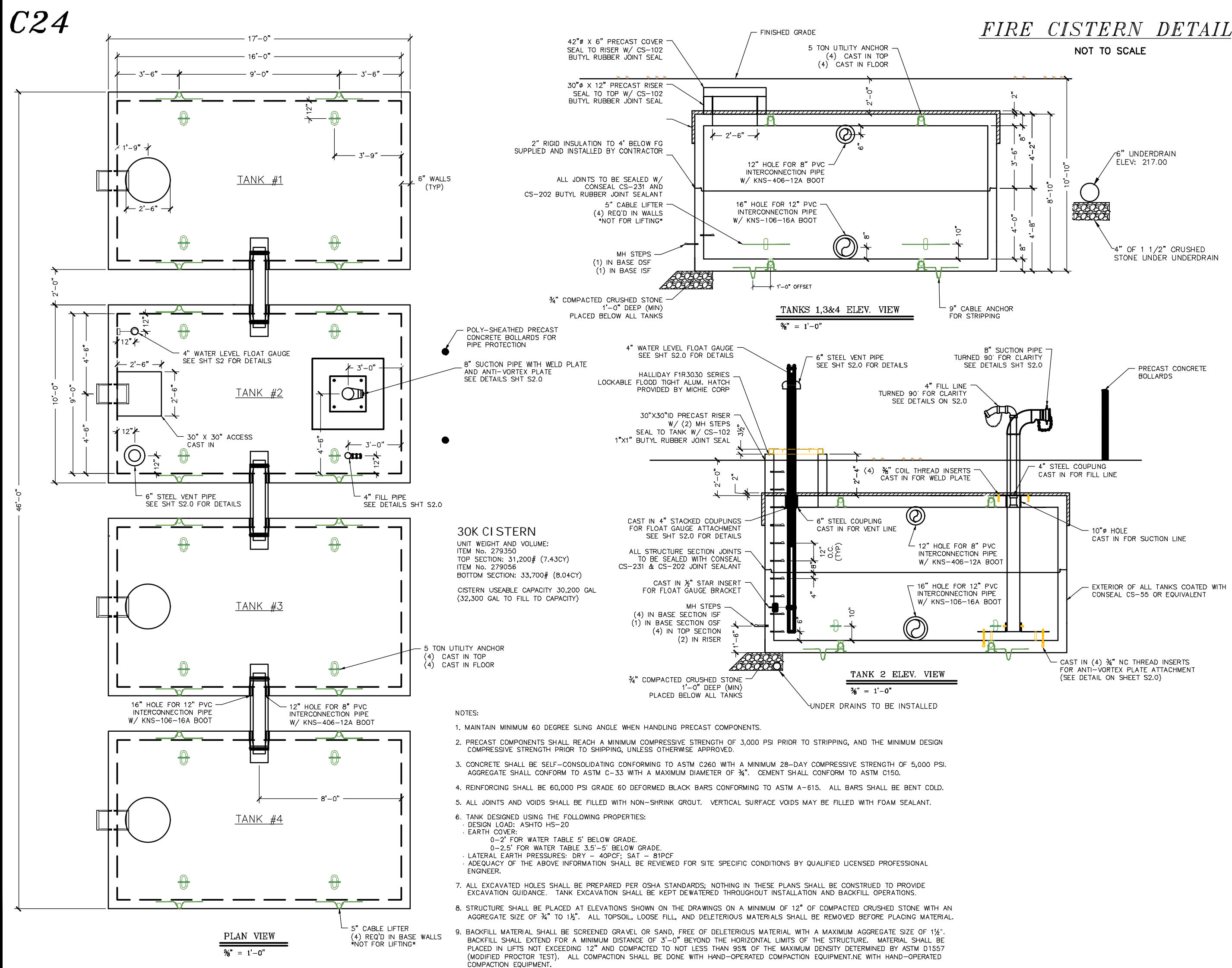


TYPICAL ROADWAY SECTION NORTH POINT COMMONS
34+25-34+76
NOT TO SCALE



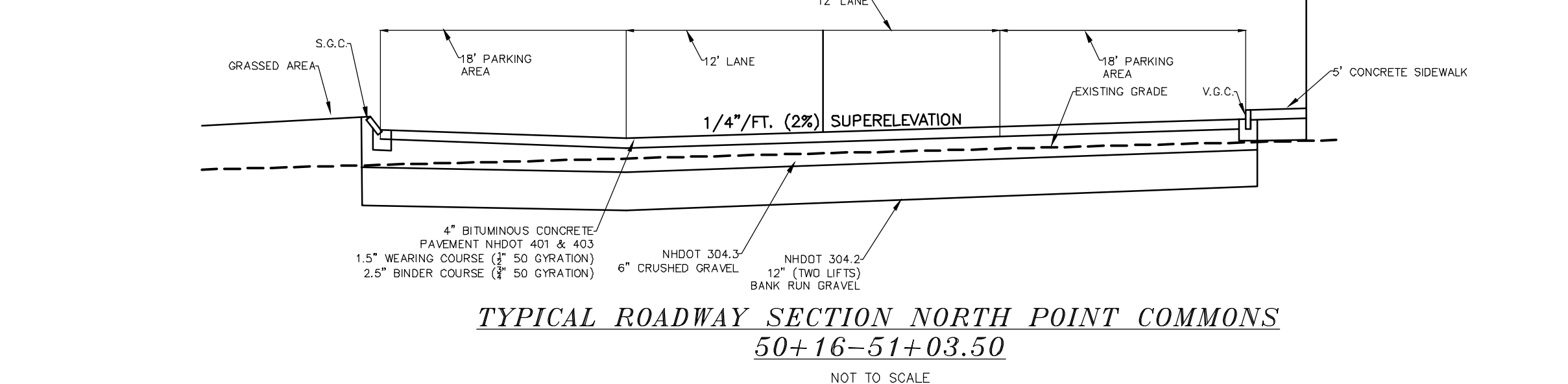
TYPICAL ROADWAY SECTION NORTH POINT COMMONS
41+78-42+39
NOT TO SCALE

C24

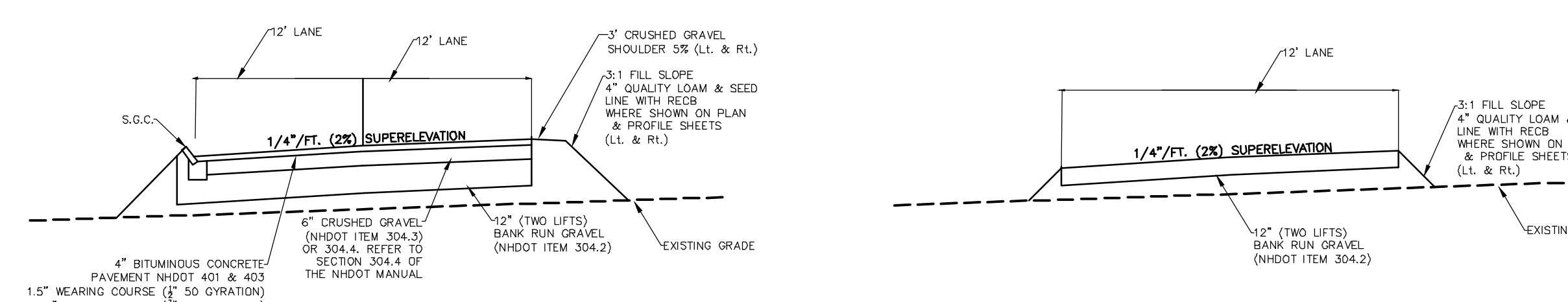


FIRE CISTERNS DETAIL
NOT TO SCALE

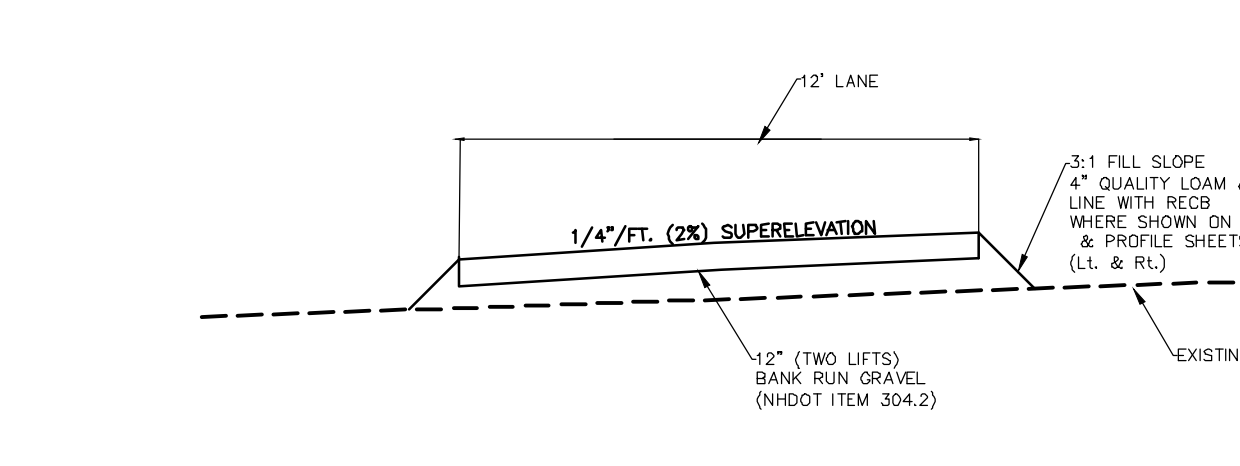
PLAN VIEW
3/8" = 1'-0"



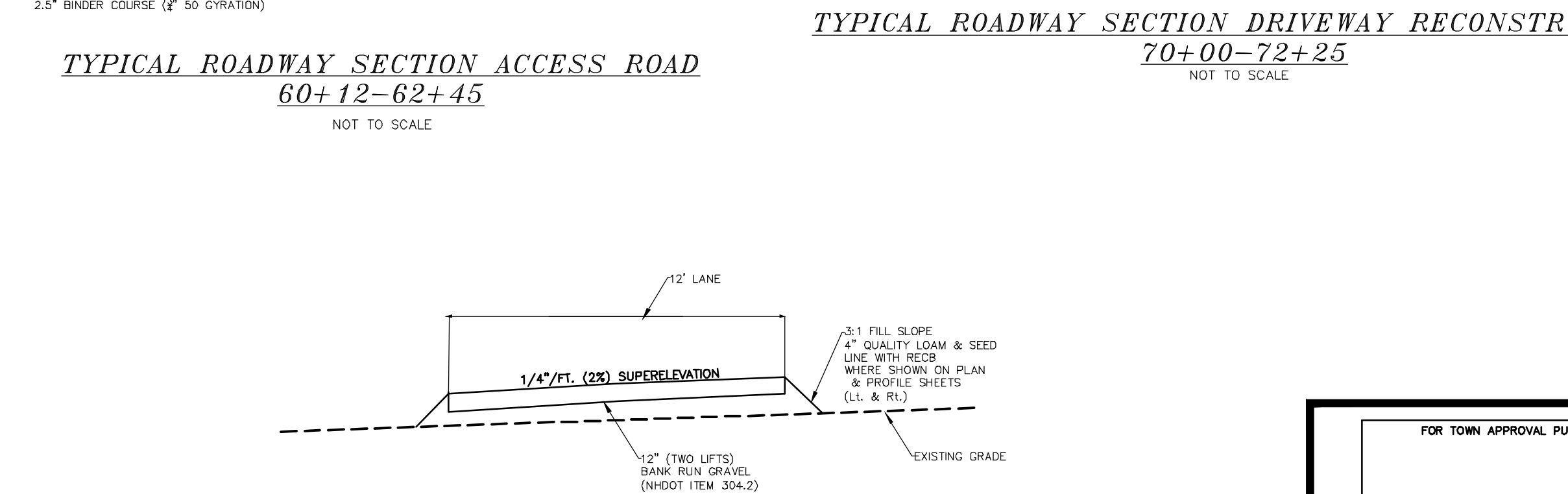
TYPICAL ROADWAY SECTION NORTH POINT COMMONS
50+16-51+03.50
NOT TO SCALE



TYPICAL ROADWAY SECTION ACCESS ROAD
60+12-62+45
NOT TO SCALE



TYPICAL ROADWAY SECTION DRIVEWAY RECONSTRUCTION
70+00-72+25
NOT TO SCALE



TYPICAL ROADWAY SECTION WELL ACCESS TRAIL
80+00-87+75
NOT TO SCALE

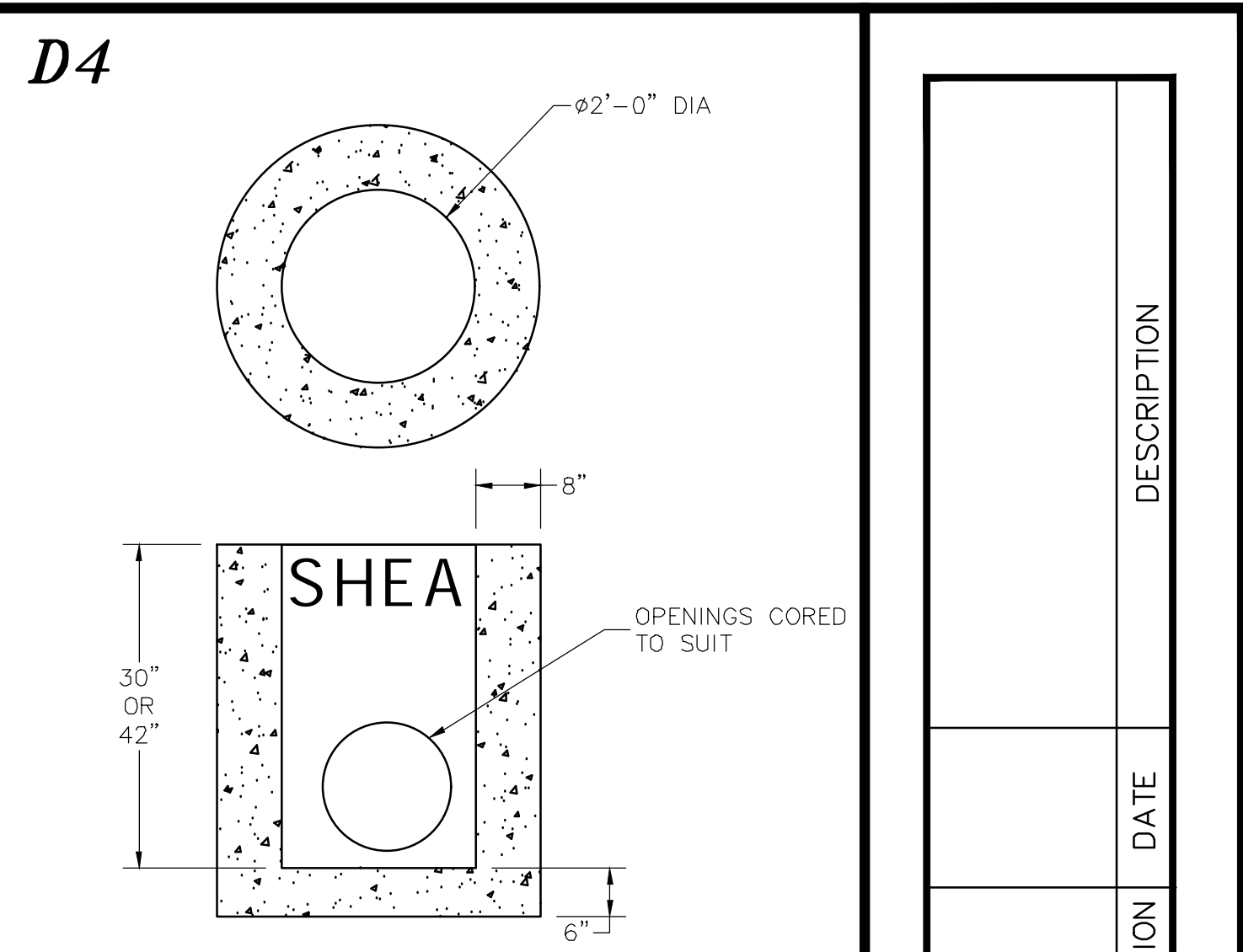
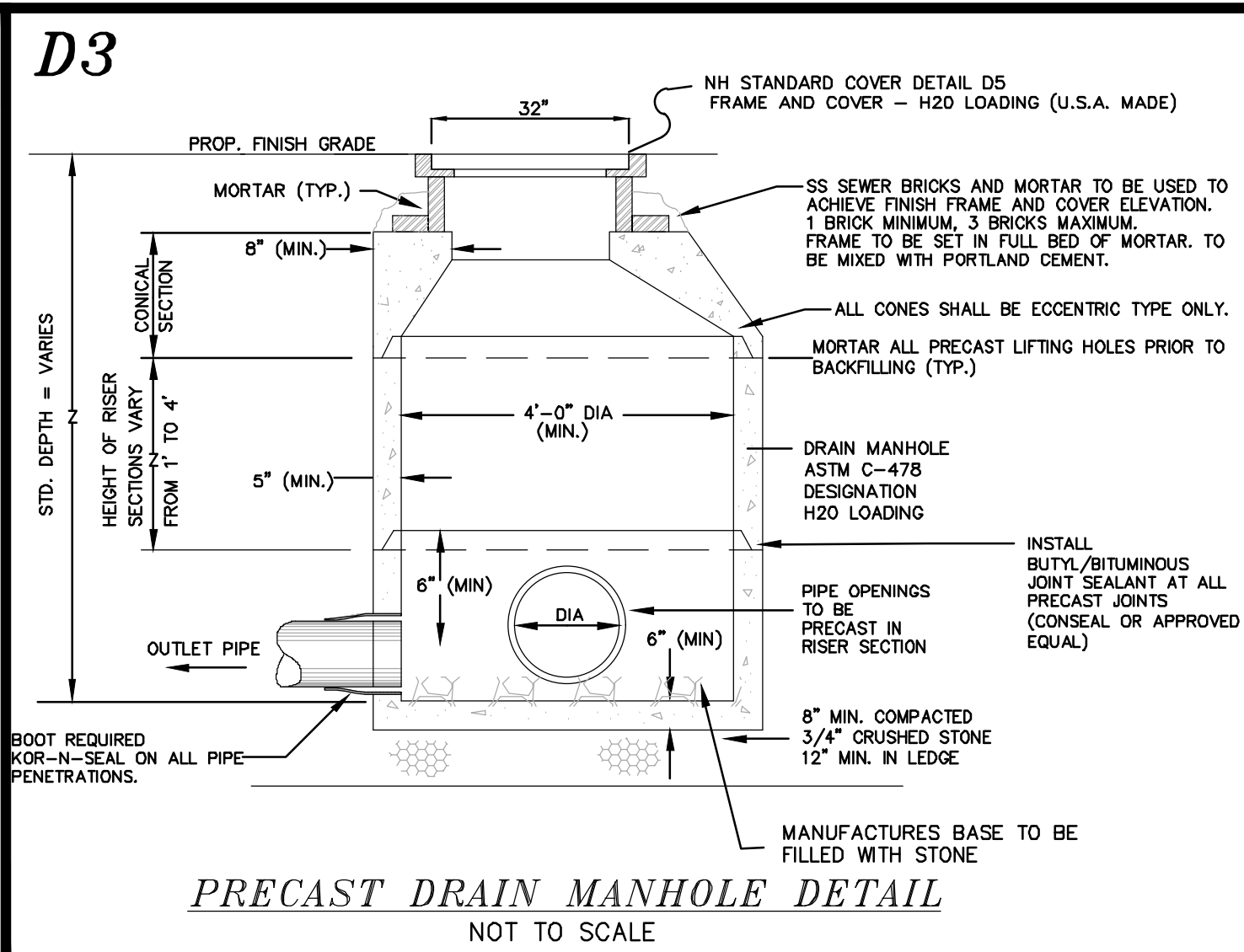
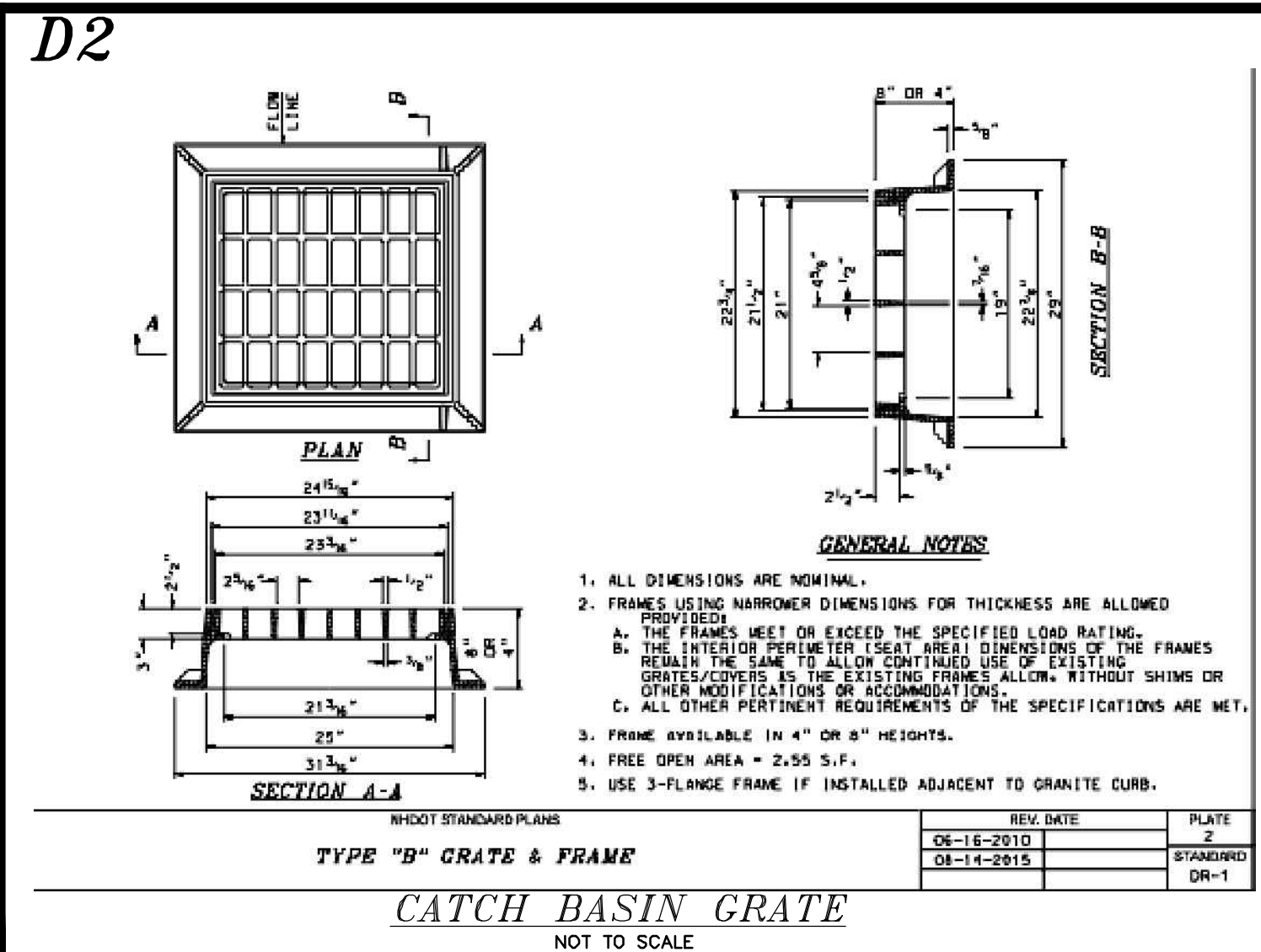
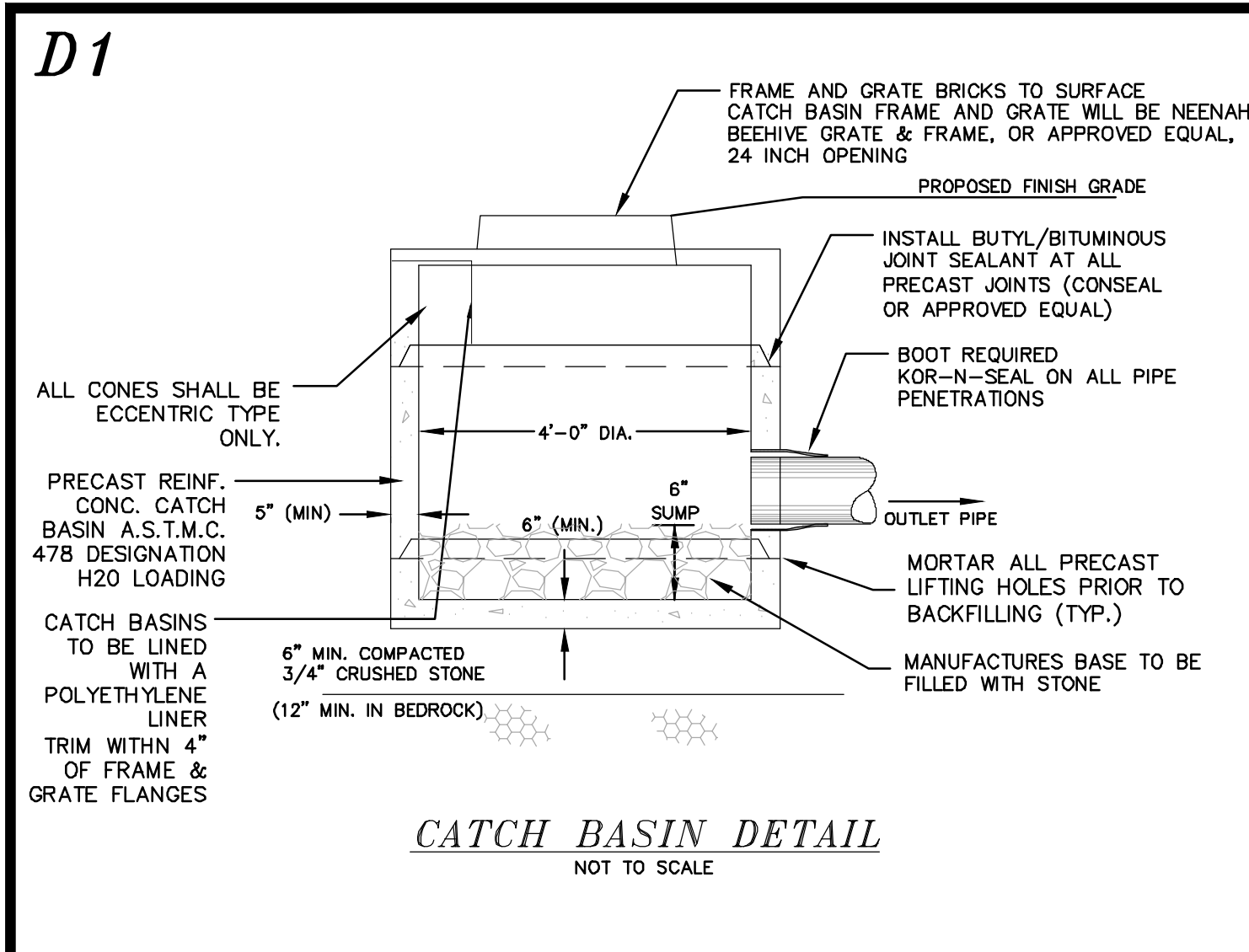
REVISION	DATE	DESCRIPTION

CONSTRUCTION DETAILS
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE: JUNE 14, 2021
FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

FOR TOWN APPROVAL PURPOSES:
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



D5 Manhole Castings L-6

New Hampshire Standard

32" Manhole Frame & Cover

Features:

- 3" Reinforcing
- Castable in place or precast
- Castable in place or precast
- Castable in place or precast

Specifications:

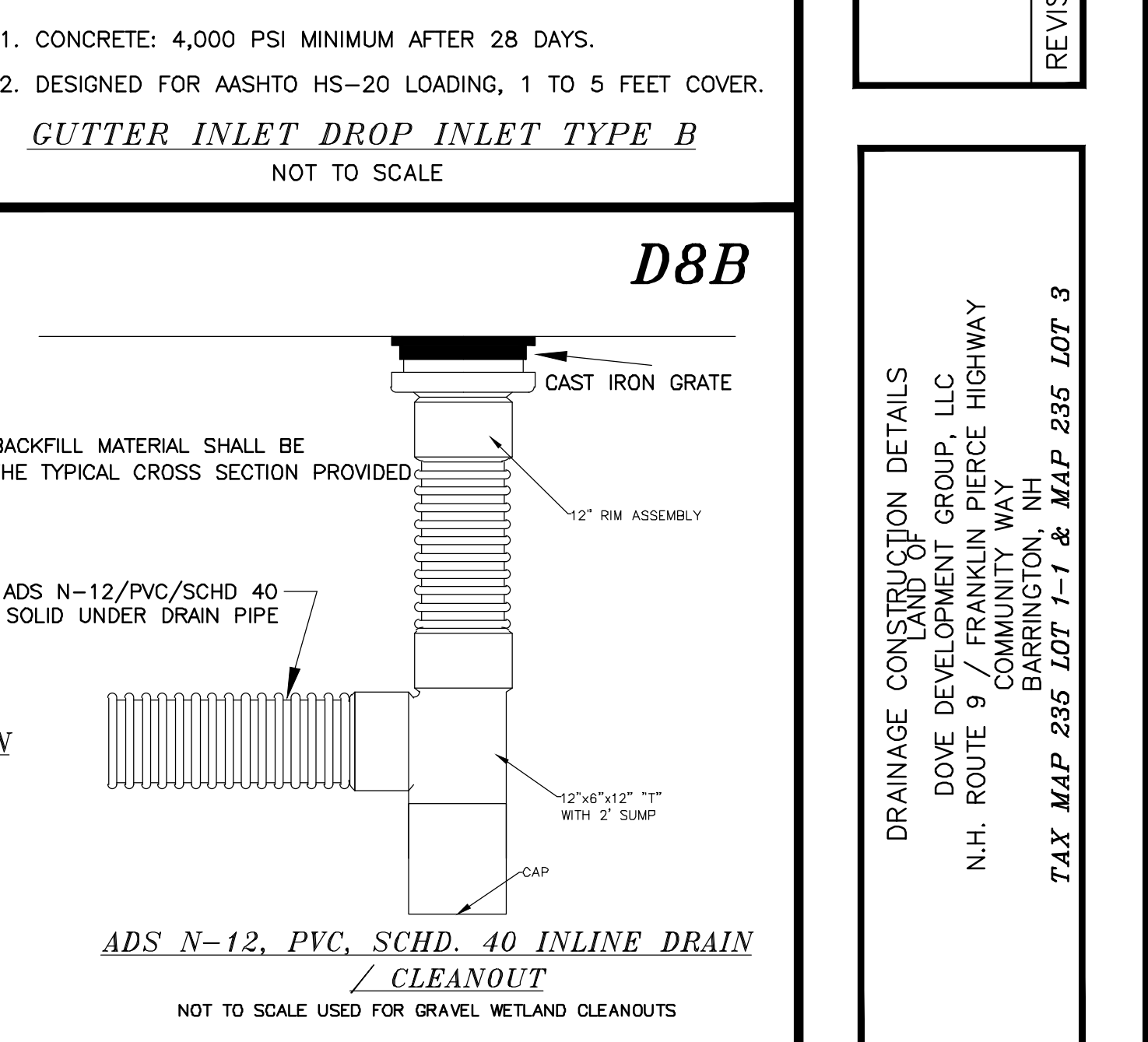
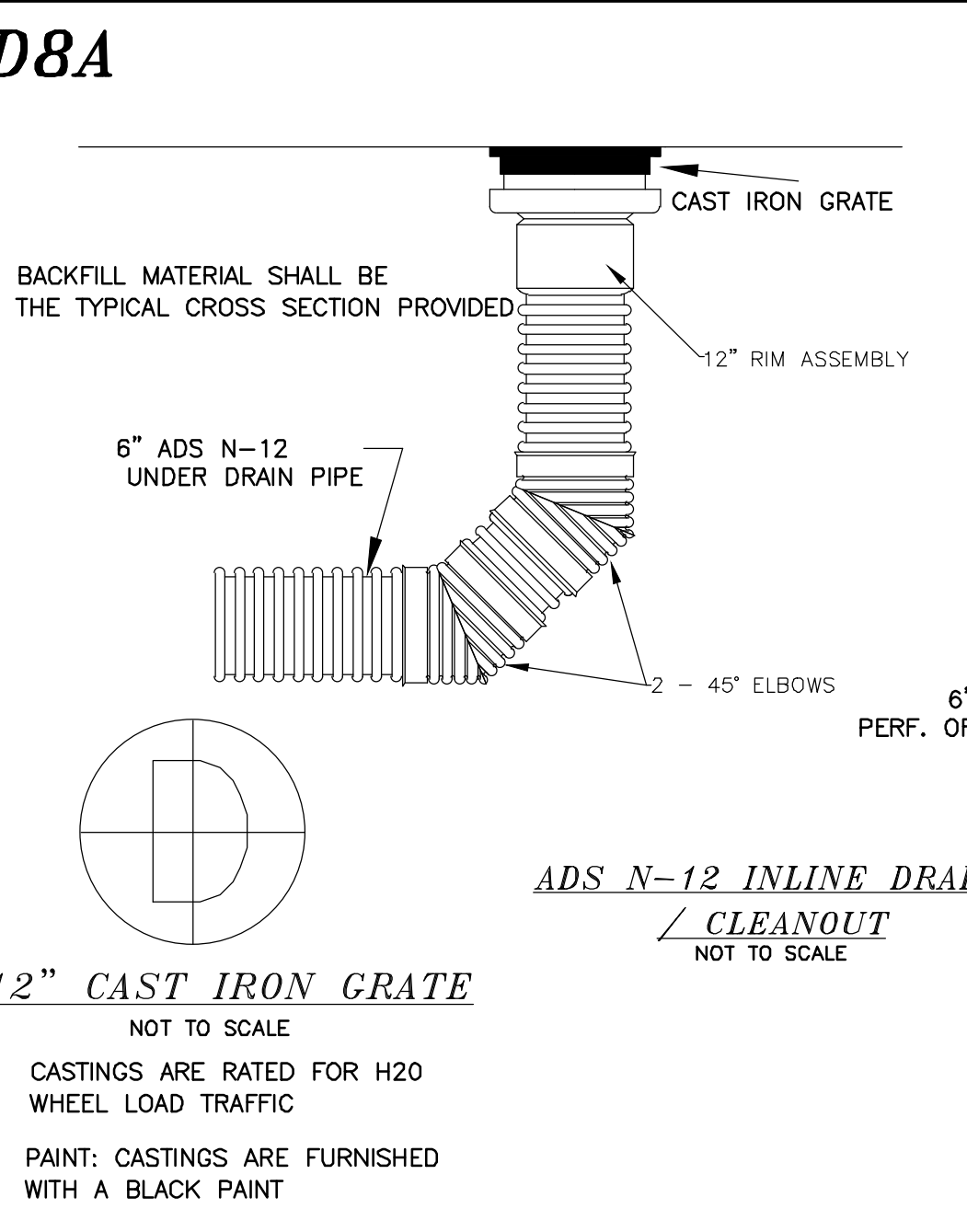
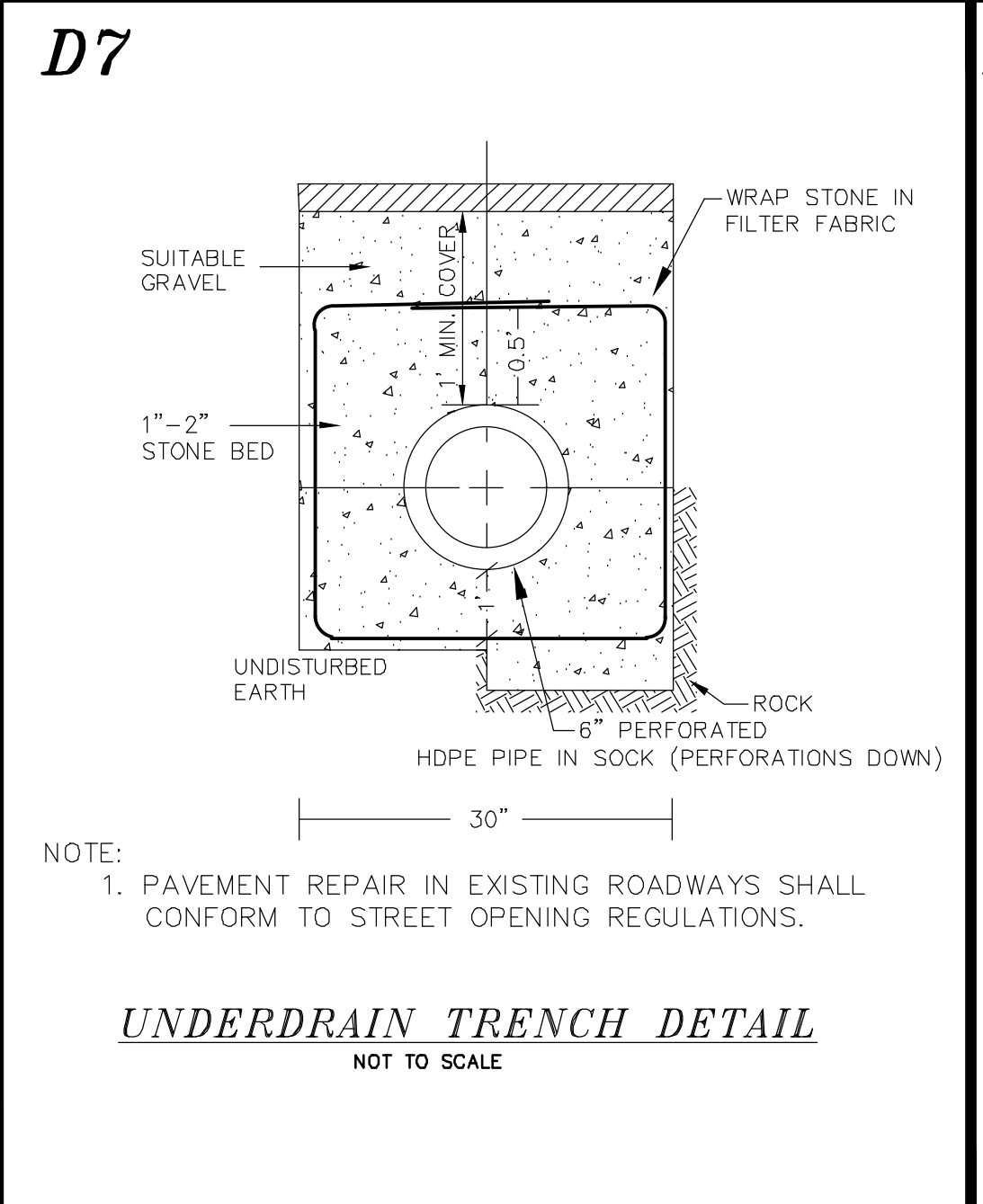
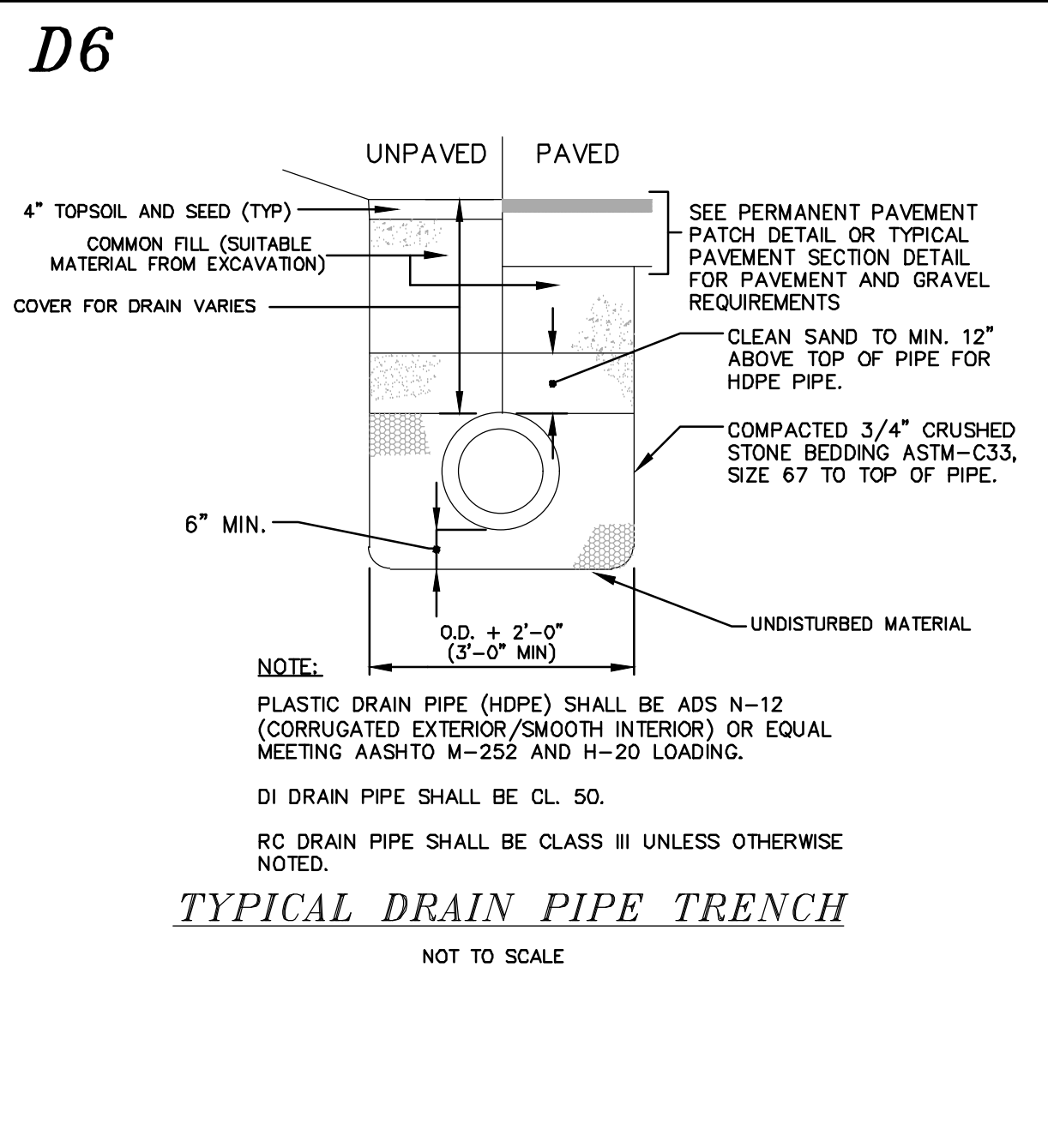
- Fully finished frame and cover
- Cast in place or precast
- Cast in place or precast
- Cast in place or precast

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
1	32" Manhole Frame	1	EA
2	32" Manhole Cover	1	EA
3	32" Manhole Gasket	1	EA
4	32" Manhole Sealant	1	EA
5	32" Manhole Grate	1	EA
6	32" Manhole Liner	1	EA
7	32" Manhole Sump	1	EA
8	32" Manhole Outlet Pipe	1	EA
9	32" Manhole Inlet Pipe	1	EA
10	32" Manhole Manhole	1	EA
11	32" Manhole Manhole	1	EA
12	32" Manhole Manhole	1	EA
13	32" Manhole Manhole	1	EA
14	32" Manhole Manhole	1	EA
15	32" Manhole Manhole	1	EA
16	32" Manhole Manhole	1	EA
17	32" Manhole Manhole	1	EA
18	32" Manhole Manhole	1	EA
19	32" Manhole Manhole	1	EA
20	32" Manhole Manhole	1	EA
21	32" Manhole Manhole	1	EA
22	32" Manhole Manhole	1	EA
23	32" Manhole Manhole	1	EA
24	32" Manhole Manhole	1	EA
25	32" Manhole Manhole	1	EA
26	32" Manhole Manhole	1	EA
27	32" Manhole Manhole	1	EA
28	32" Manhole Manhole	1	EA
29	32" Manhole Manhole	1	EA
30	32" Manhole Manhole	1	EA
31	32" Manhole Manhole	1	EA
32	32" Manhole Manhole	1	EA
33	32" Manhole Manhole	1	EA
34	32" Manhole Manhole	1	EA
35	32" Manhole Manhole	1	EA
36	32" Manhole Manhole	1	EA
37	32" Manhole Manhole	1	EA
38	32" Manhole Manhole	1	EA
39	32" Manhole Manhole	1	EA
40	32" Manhole Manhole	1	EA
41	32" Manhole Manhole	1	EA
42	32" Manhole Manhole	1	EA
43	32" Manhole Manhole	1	EA
44	32" Manhole Manhole	1	EA
45	32" Manhole Manhole	1	EA
46	32" Manhole Manhole	1	EA
47	32" Manhole Manhole	1	EA
48	32" Manhole Manhole	1	EA
49	32" Manhole Manhole	1	EA
50	32" Manhole Manhole	1	EA

DRAIN MANHOLE FRAME AND GRATE WILL BE NEW HAMPSHIRE STANDARD, OR APPROVED EQUAL, 32 INCH OPENING, CAST IRON, H20 LOADING.

DRAIN MANHOLE COVER DETAIL

NOT TO SCALE



D9 ADS N-12 FLARED END SECTIONS

NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

RIGHT SIDE VIEW

FRONT VIEW

PE THREADED ROD W/ WING NUTS (SEE NOTE)

F.L.S. ANCHOR

D10 HEADWALL (CONCRETE)

NOT TO SCALE

PLAN VIEW

ELEVATION

PIPE DIA	A	B	C	D	E	F	G	APPROX. WGT#
12"	36"	30"	54"	40"	36"	22"	78"	5445 LBS.
15"	48"	30"	60"	45"	37"	22"	92"	6400 LBS.
18"	48"	30"	60"	45"	37"	22"	92"	6400 LBS.
24"	60"	36"	64"	48"	42"	26"	112"	7250 LBS.
30"	72"	36"	72"	54"	42"	28"	124"	9276 LBS.
36"	78"	48"	78"	60"	48"	35"	144"	11623 LBS.
48"	84"	48"	90"	66"	54"	35"	150"	12402 LBS.

SPECIAL SIZES NOT LISTED CAN BE MFG. UPON REQUEST

ALL HEADWALLS WILL BE PRE-CAST WITH STRUCTURAL CALCULATIONS AVAILABLE FOR REVIEW

Notes:

- ALL EXPOSED EDGES TO HAVE 1" BEVELED CORNERS
- APPROV BY CONTRACTOR IN FIELD
- REINFORCING - NO. 4 BARS AT 12" O.C.E.W.
- CONCRETE TO TEST 4000 PSI @ 28 DAYS

Pre-cast Concrete Sales Co.
123 Route 303 Valley Cottage, N.Y. 10989
Tel. (845) 268-4949 - Fax (845) 268-4376

WINGWALL WITH FOOTING

DATE: 1/7/16 DRAWN BY: CLASSIC DESIGN DRAWING NO.: 9-3

D11 STONE LINED SEDIMENT TRAP

NOT TO SCALE

TO DIRECT FLOW TO TRAP / SUMP

ROCK LINED

3:1 (MAX)

CUT SECTION WITH DIVERSION BERM

3:1 (MAX)

STABLE OUTLET

CROSS SECTION

WIDTH AND LENGTH DEPENDANT ON CONTRIBUTING AREA EXCAVATION SECTION IS PERFORMED OVER A BERMED SECTION

ISOMETRIC VIEW

FLOW PATH

DIVERSION BERM

FLOW PATH TO ENTER BASIN

FLOW PATH

DIVERSION BERM

CREST / RIP LENGTH (FT.)

6" = DRAINAGE AREA (ACRES)

FOR TOWN APPROVAL PURPOSES:

REFERENCE IS MADE TO A LONG TERM MAINTENANCE MANUAL PREPARED BY BERRY SURVEYING & ENGINEERING, WHICH IS ON FILE AT THE CITY OF ROCHESTER PLANNING DEPARTMENT, AND CAN BE FOUND AT THE OFFICE OF BERRY SURVEYING & ENGINEERING, (603) 332-2863

SIEVE DESIGNATION	SIZE OF STONE (INCHES)
100%	12
84-100%	6
68-83%	3
42-55%	1
8-12%	NO. 4

D-101

NOT TO SCALE

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

REGISTERED PROFESSIONAL ENGINEER

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED

DATE: JUNE 14, 2021

FILE NO.: DB 2020 - 097

SHEET 96 OF 105

REVISION	DATE	DESCRIPTION

DRAINAGE CONSTRUCTION DETAILS

DOVE DEVELOPMENT GROUP, LLC

N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY

BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

D12 ANGLE GRATE

NOT TO SCALE

NOTE:
MUST BE HAALA INDUSTRIES INC.
OR EQUAL.

Angle Grates For Manholes



AG0808-58
Part No. AG0808-58

Save Trees

Angle Grates are designed to cover inlet orifices and prevent small to medium debris from passing through. The top angled design helps to minimize the amount of debris that settles on top after the water recedes. All grates are made from plate for a clean and smooth contact surface.

- Plate design for a clean appearance
- Standard 2" openings (other sizes can be made)
- Angled topfront plate to maximize debris deflection
- Mounting flanges on 3 sides allows grate to be mounted at floor level inverts
- Galvanized steel construction. Can be made from aluminum or stainless steel.

D13 CONE GRATE

NOT TO SCALE

NOTE:
MUST BE HAALA INDUSTRIES INC.
OR EQUAL.

Cone Grates Top Mount



CG12TM
Part No. CG12TM

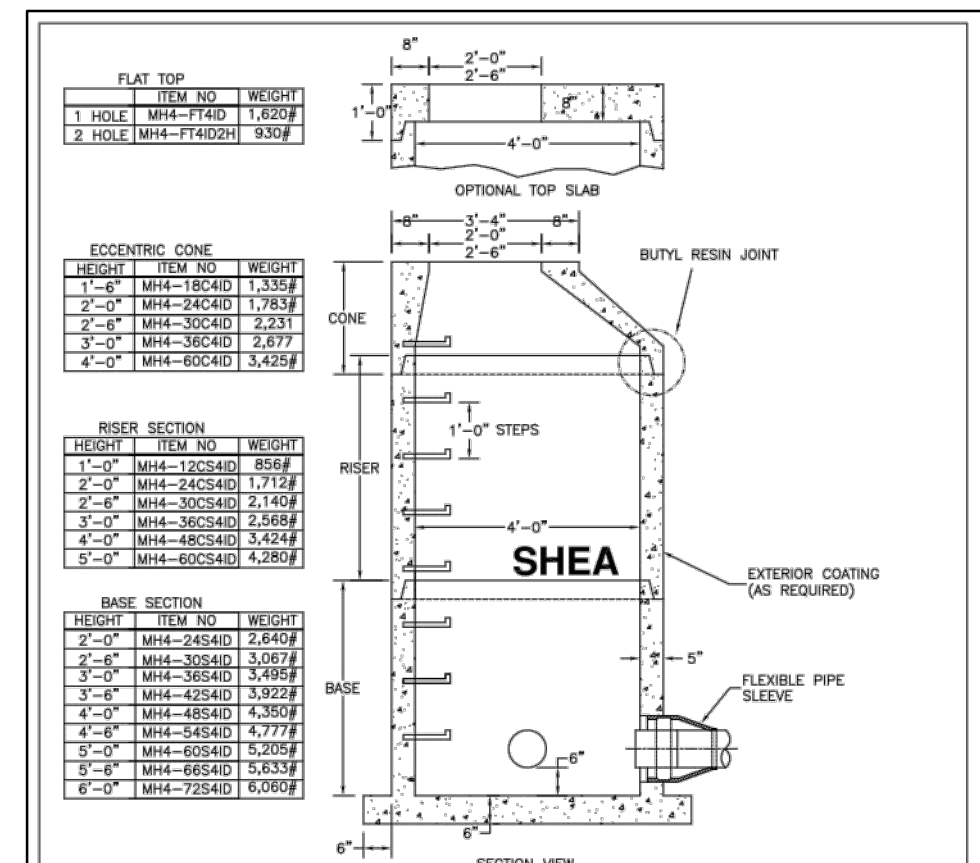
Save Trees

Top Mount Cone Grates are designed to mount on the top of round manhole inlet or outlet structures to keep debris from entering the storm water system. Top mount cone grates are easy to install and allow for at grade manhole installations but can be used in a variety of applications. Grates 96" and larger are made as a two piece, bolt together design.

- Plate and bar hybrid design is both clean and cost effective
- Made from 1/2" plate with 3/4" or 1" round bars depending on grate size
- Anti vortex plate can be added upon request
- Hinged and lockable access doors can be added upon request
- Galvanized steel construction. Can be made from aluminum or stainless steel.

D14 48" MANHOLE ROUND EXTENDED BASE

NOT TO SCALE



NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. REINFORCED STEEL CONFORMS TO LATEST ASTM A193 (SEE 0.15 SQ. IN. MINIMUM FT. AND 0.12 SQ. IN. PER INCH BASE BOTTOM).
3. H-20 DESIGN LOADING PER ASDHO HS-20-44. ASTM A439 SPEC. FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
4. BUTYL WEIR SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC SHEET CONFORMS TO LATEST ASTM C443 SPEC.

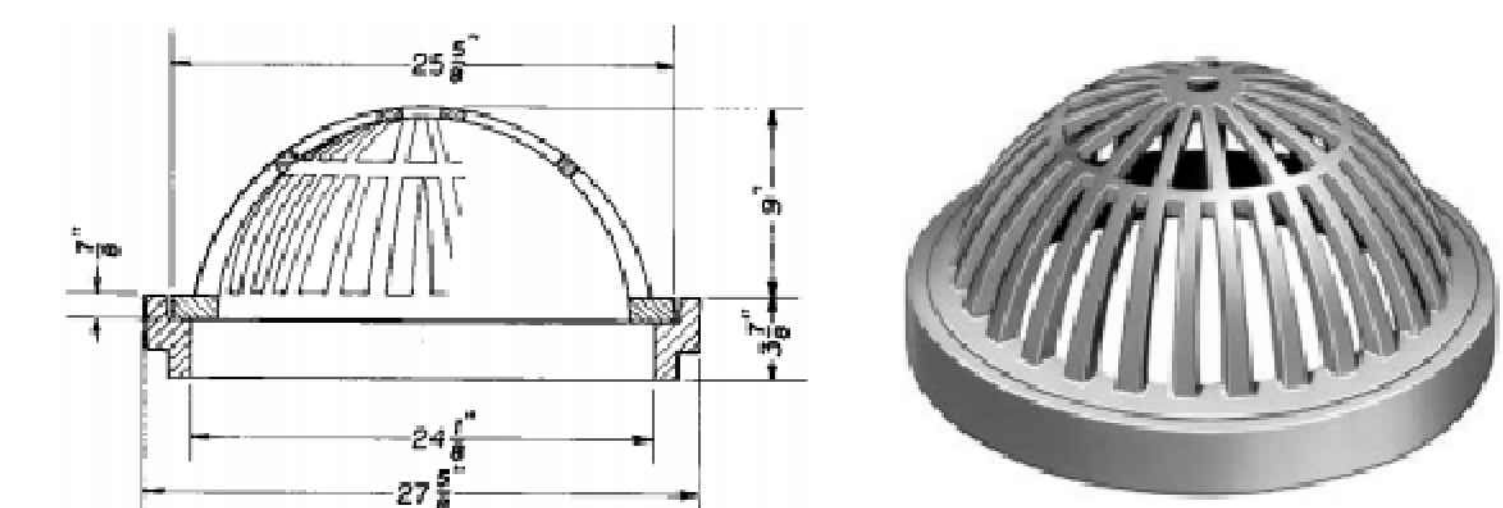
SHEA New England's Premier Precaster
800-686-7432 (SHEA)
www.sheaprecaster.com
773 Salem Street - Wilmington, MA 01897
107 Newhall Road - Amherst, MA 01001
160 Old Farmington Rd - Westfield, MA 01087
Phone: 621.251.1111
Fax: 621.251.1112
E-mail: sales@sheaprecaster.com

MANHOLE 48" DIA
EXTENDED BASE
Notes: 02.1.2
www.mpcsl.com

D15 R-4353 Beehive Grate, Frame

Light Duty

CATALOG NUMBER	GRATE TYPE	SQ. FT. OPEN	WEIR PERIMETER LINEAL FEET
R-4353	Beehive	1.8	6.7



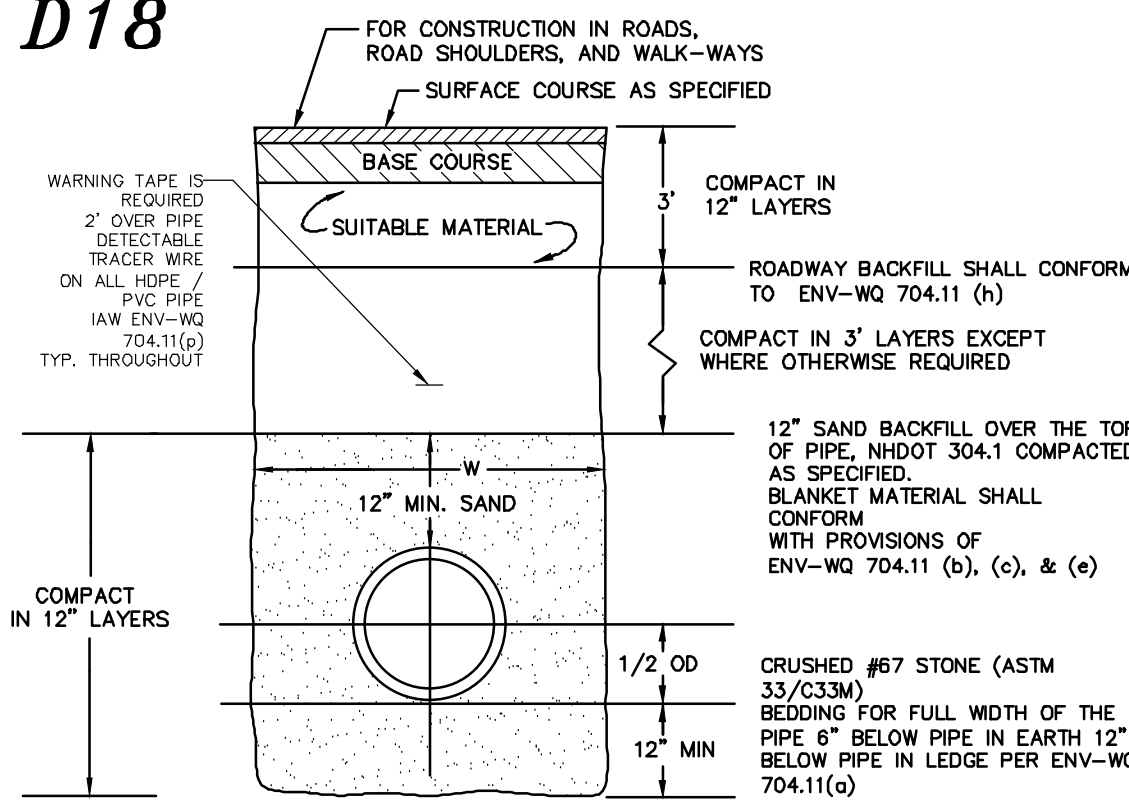
Also available with 2 - 7/8" tall frame, if requested.

CATCH BASIN IN GRASSED AREA FRAME & GRATE DETAIL

NOT TO SCALE

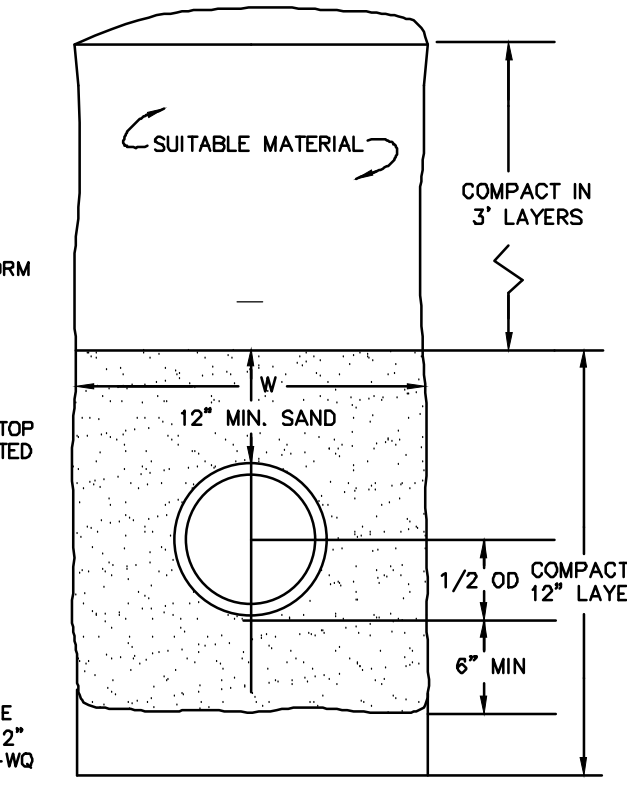
D18 LEDGE CONSTRUCTION

NOT TO SCALE



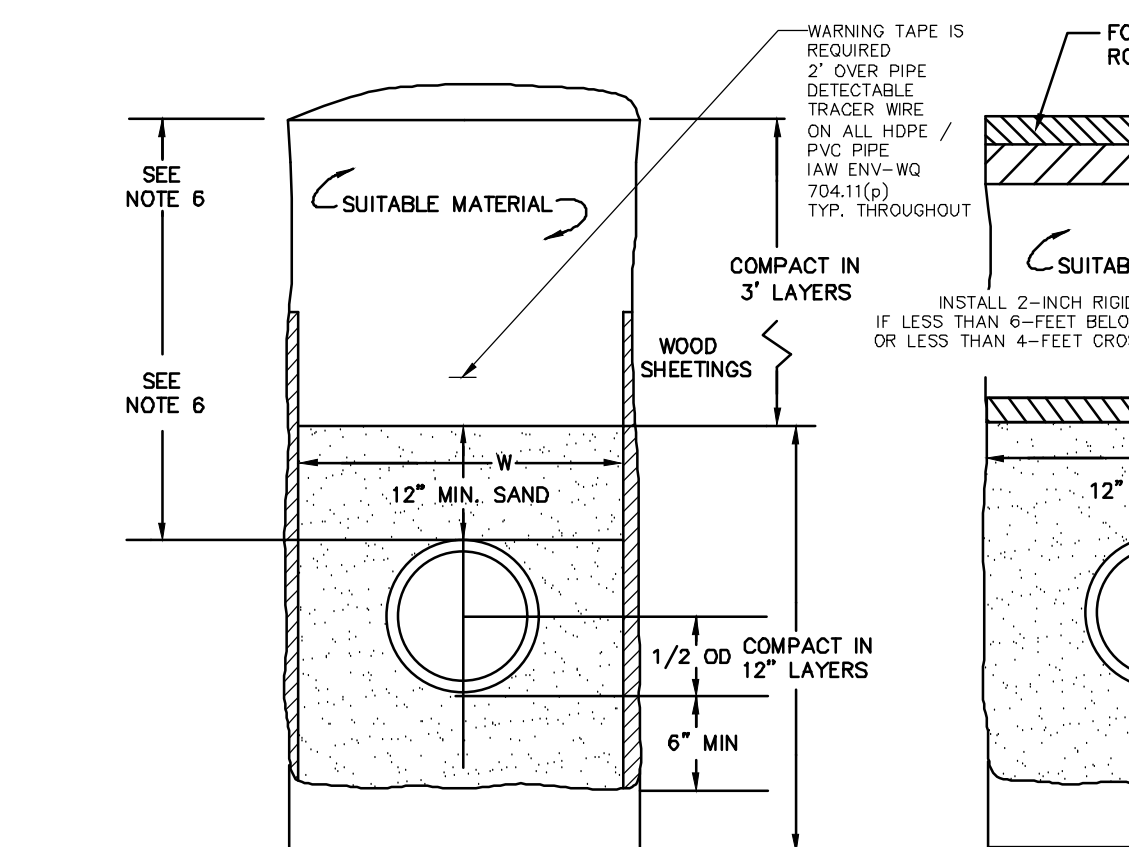
D19 EARTH CONSTRUCTION

NOT TO SCALE



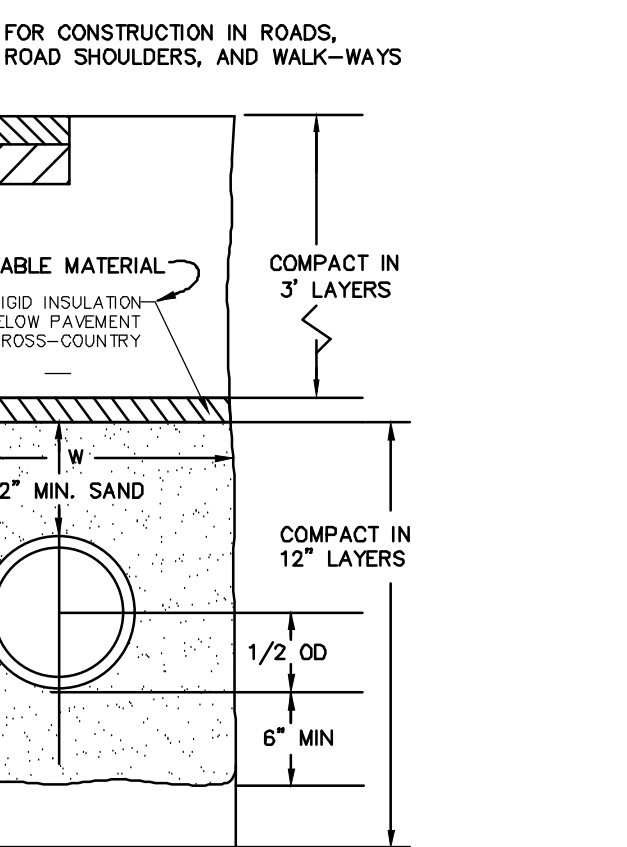
D18 EARTH CONSTRUCTION WITH SHEETING

NOT TO SCALE



D19 TRENCH INSULATION

NOT TO SCALE



D19 RIP-RAP LINED SWALE

NOT TO SCALE

BEST MANAGEMENT PRACTICES FOR BLASTING

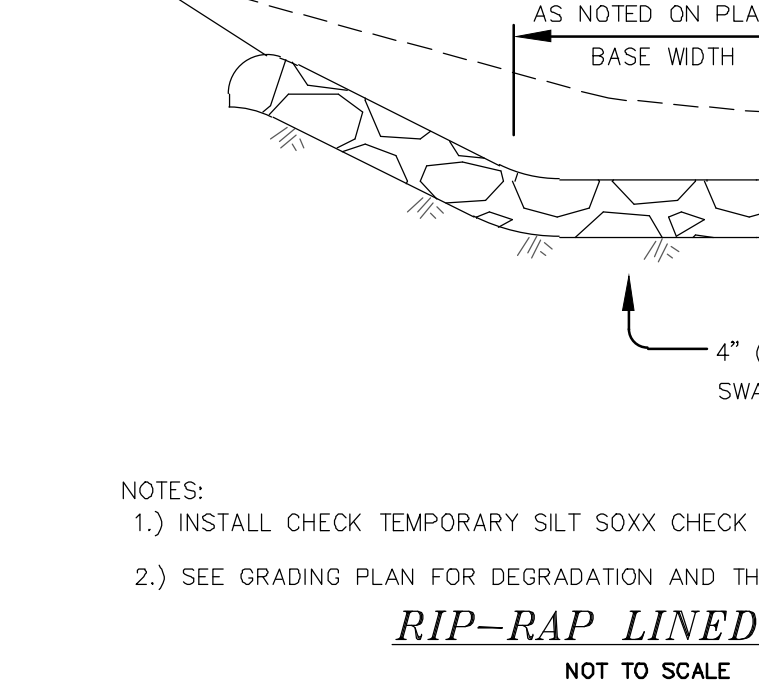
ENV-WQ 1510.03 LOADING PRACTICES. THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:

(A) THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
(1) THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
(2) GROUNDWATER CONDITIONS;
(B) THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
(C) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
(1) USED IN THE BOREHOLE;
(2) RETURNED TO THE DELIVERY VEHICLE; OR
(3) PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
(D) SPILLAGE AROUND THE BOREHOLE SHALL BE:
(1) PLACED IN THE BOREHOLE; OR
(2) CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
(E) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
(F) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
(G) EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.

PRE-BLAST SURVEY WILL INCLUDE ALL ADJACENT PROPERTIES AND FOLLOW AND STATE AND LOCAL REQUIREMENTS.

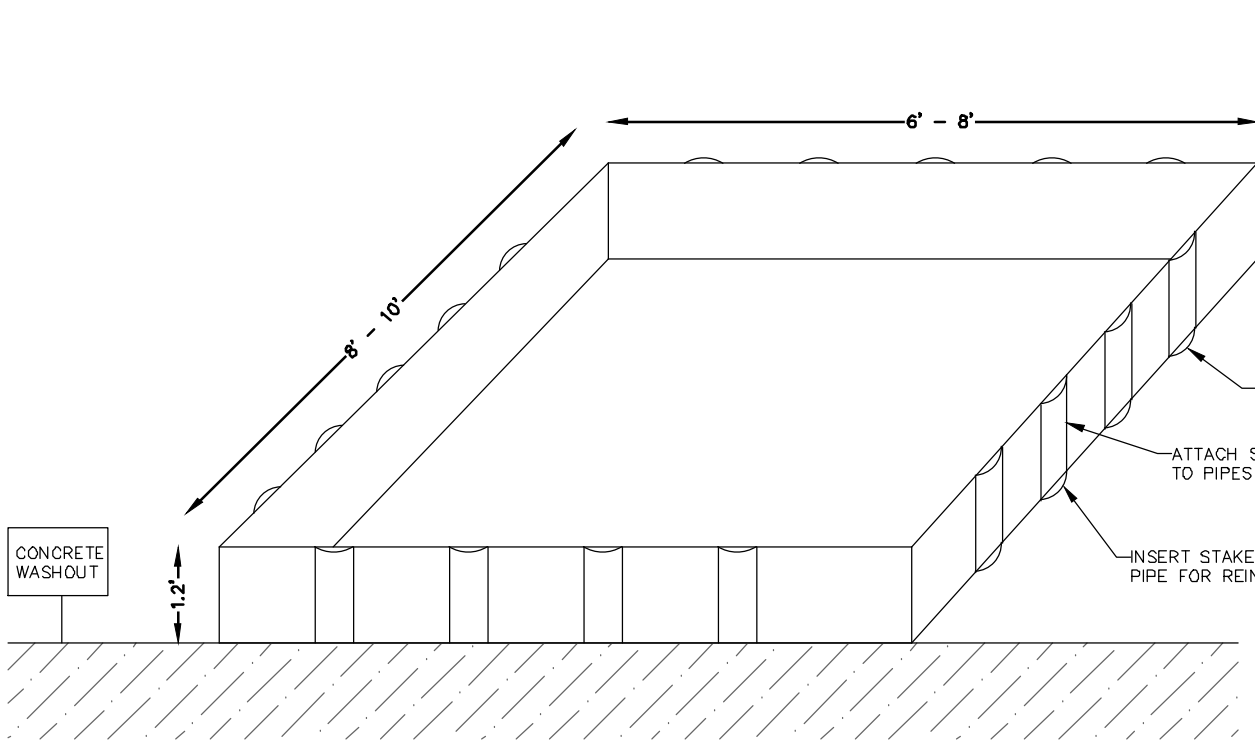
D20 RIP-RAP LINED SWALE

NOT TO SCALE



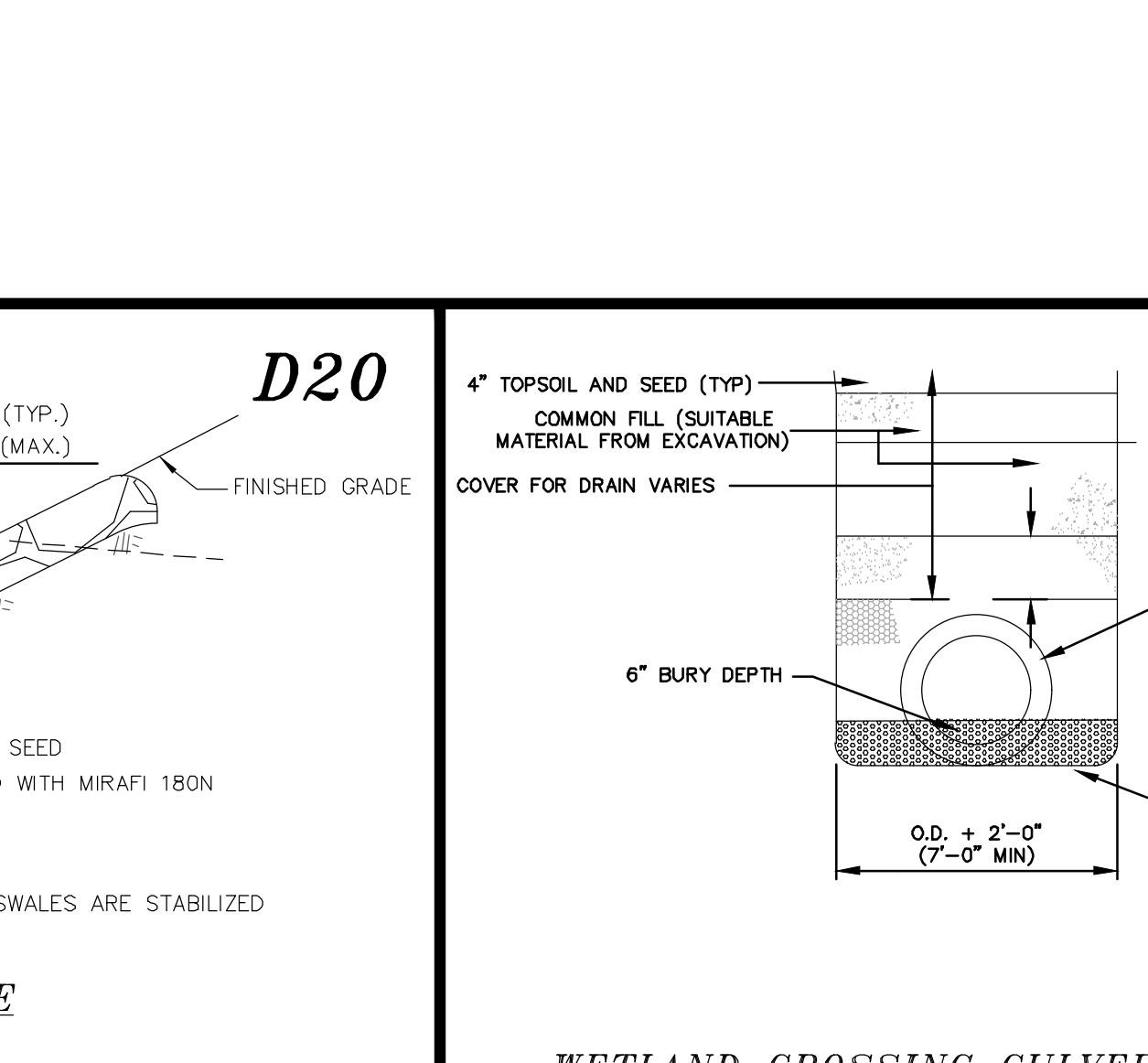
D16 CONCRETE WASHOUT

NOT TO SCALE



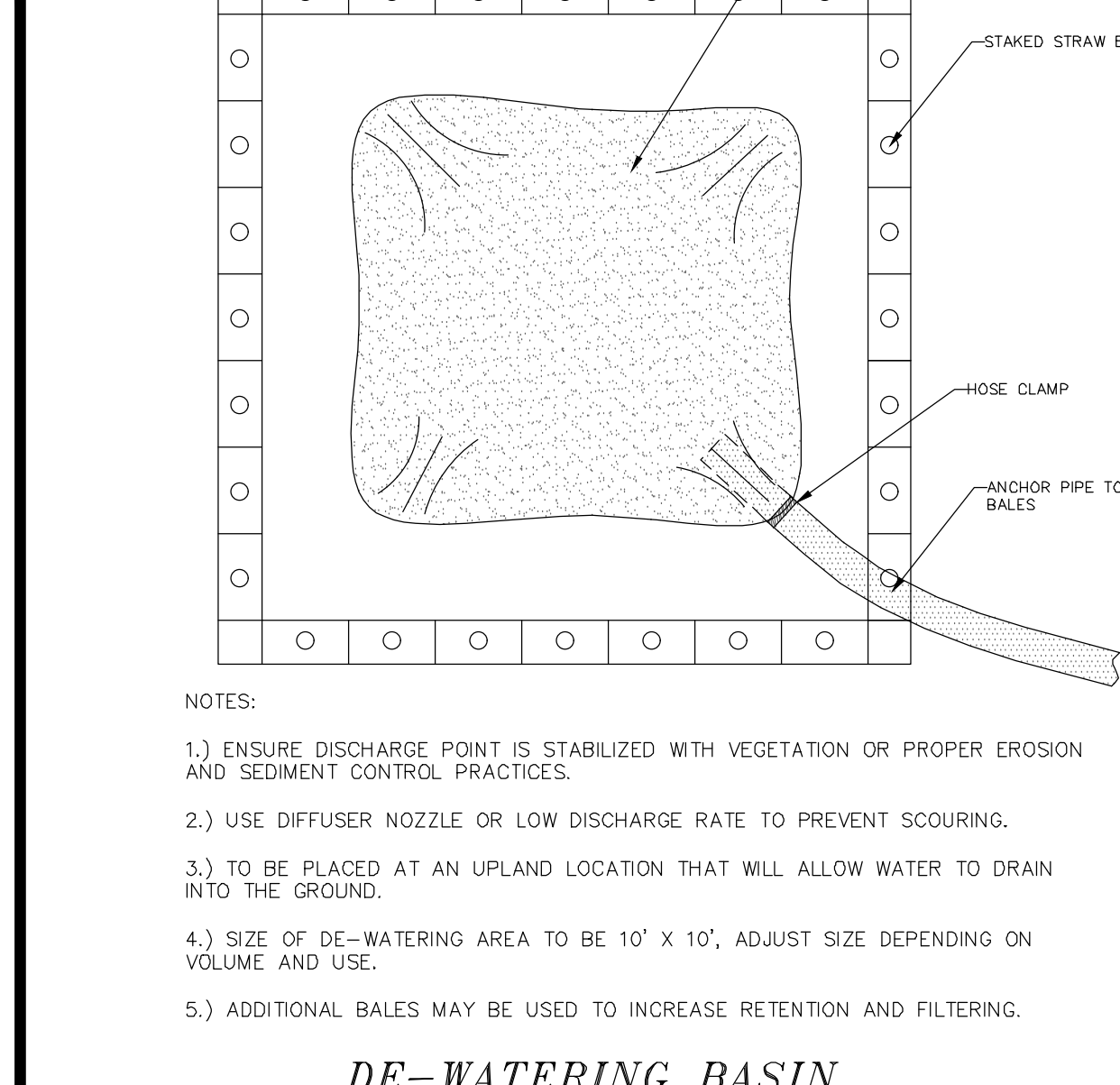
D21 WETLAND CROSSING CULVERT DETAIL

NOT TO SCALE



D17 DE-WATERING BASIN

NOT TO SCALE



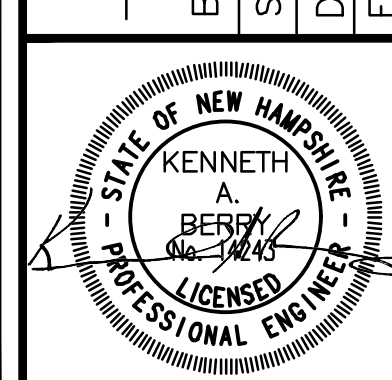
REVISION	DATE	DESCRIPTION

DRAINAGE CONSTRUCTION DETAILS
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

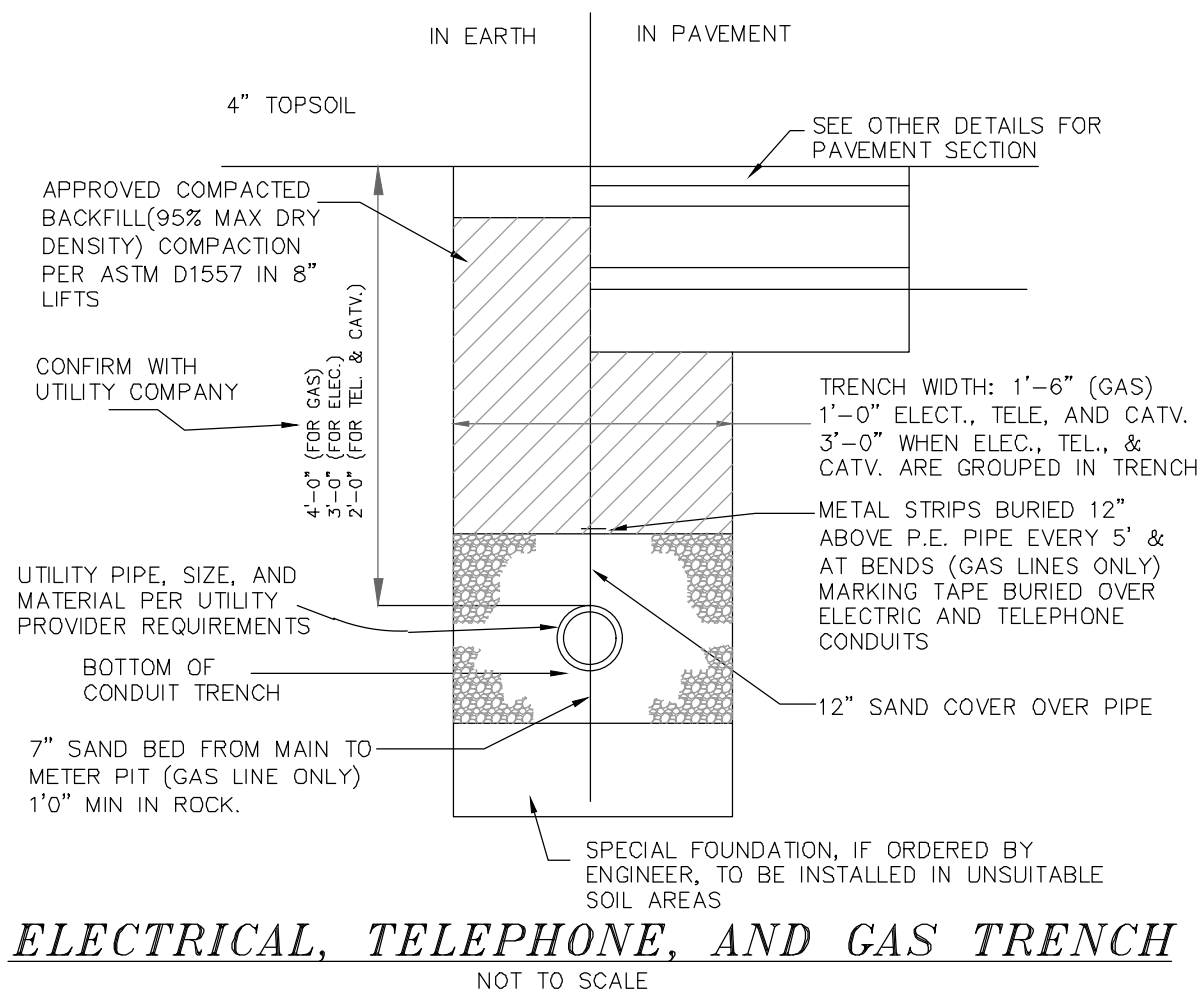
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE: JUNE 14, 2021
FILE NO.: DB 2020 - 097

FOR TOWN APPROVAL PURPOSES:
REFERENCE IS MADE TO A LONG TERM MAINTENANCE MANUAL PREPARED BY BERRY SURVEYING & ENGINEERING, WHICH IS ON FILE AT THE CITY OF ROCHESTER PLANNING DEPARTMENT, AND CAN BE FOUND AT THE OFFICE OF BERRY SURVEYING & ENGINEERING, (603) 332-2863.

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

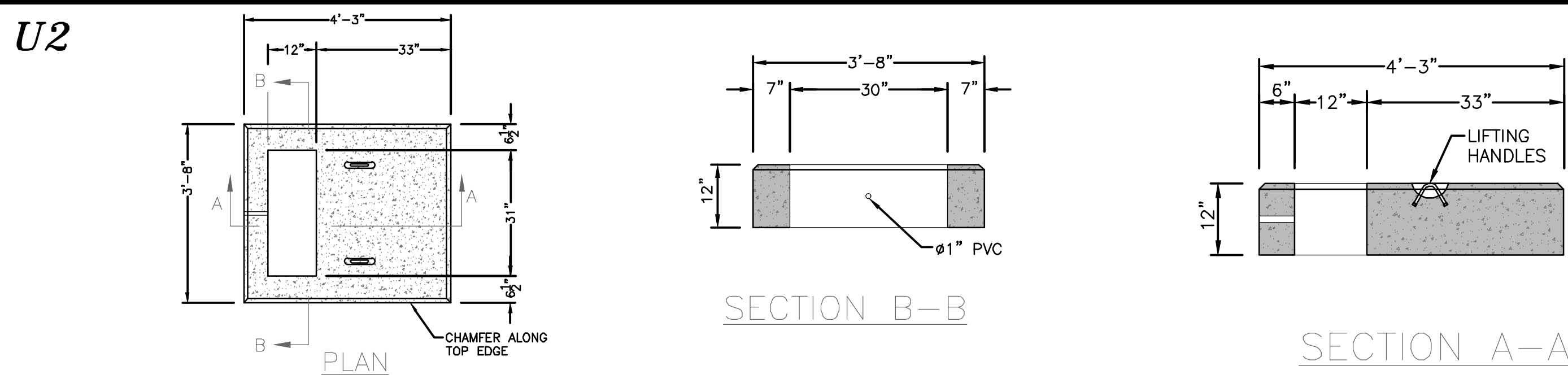


U1



ELECTRICAL, TELEPHONE, AND GAS TRENCH
NOT TO SCALE

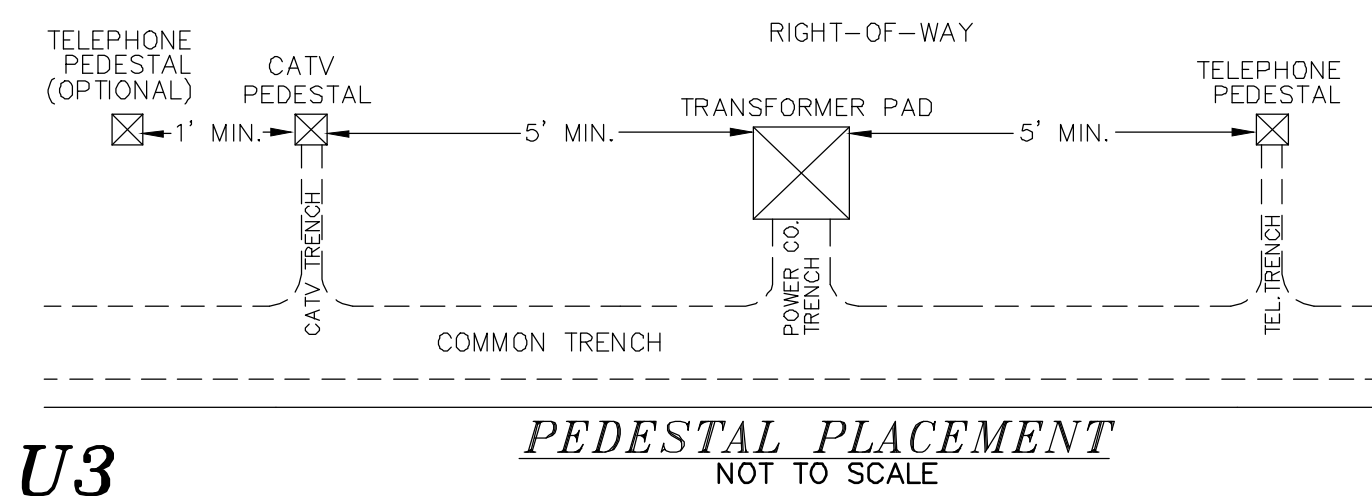
U2



- NOTES:
 1. CONCRETE MINIMUM STRENGTH 4,000 PSI AFTER 28 DAYS
 2. REINFORCEMENT STEEL CONFORMS TO ASTM A615 GRADE 60 #6 REBAR.
 3. MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS.
 4. MUST BE A SHEA CONCRETE PRODUCT OR EQUAL.

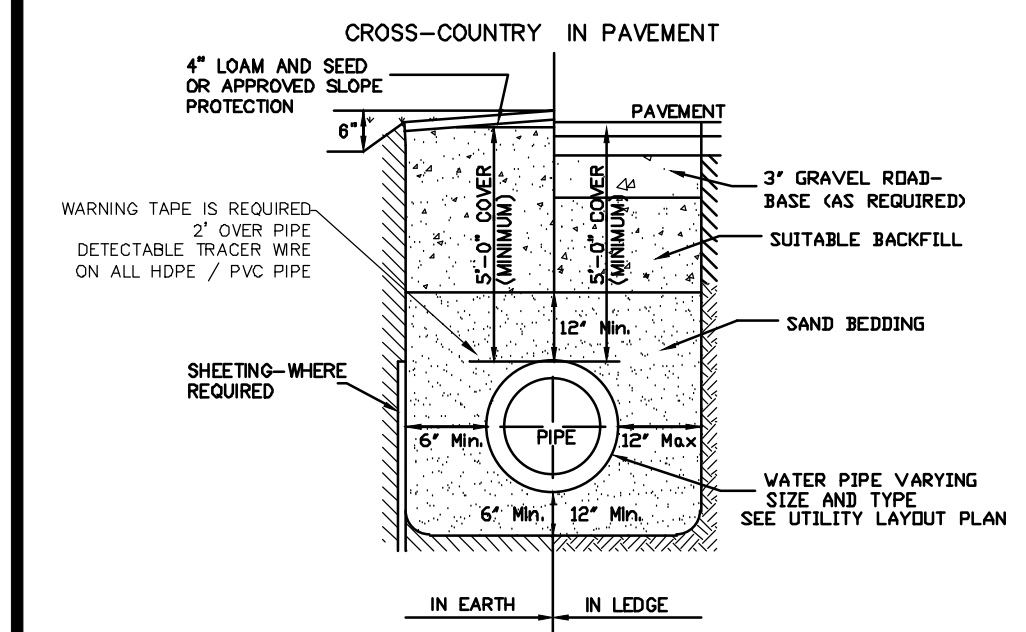
TRANSFORMER AND PAD DETAIL
NOT TO SCALE

U3



PEDESTAL PLACEMENT
NOT TO SCALE

U4



TYPICAL TRENCH DETAIL FOR WATER SYSTEM
NOT TO SCALE

U5

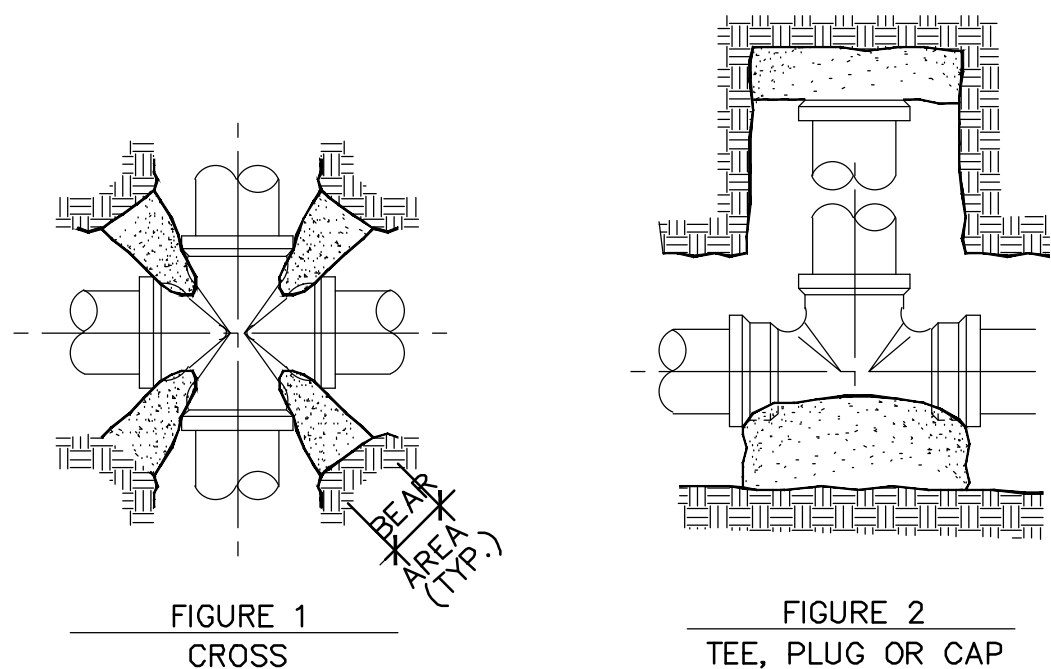


FIGURE 1 CROSS
(ONLY REQ'D IF ANY LEG IS LESS THAN 60 FT. LONG)

FIGURE 2 TEE, PLUG OR CAP

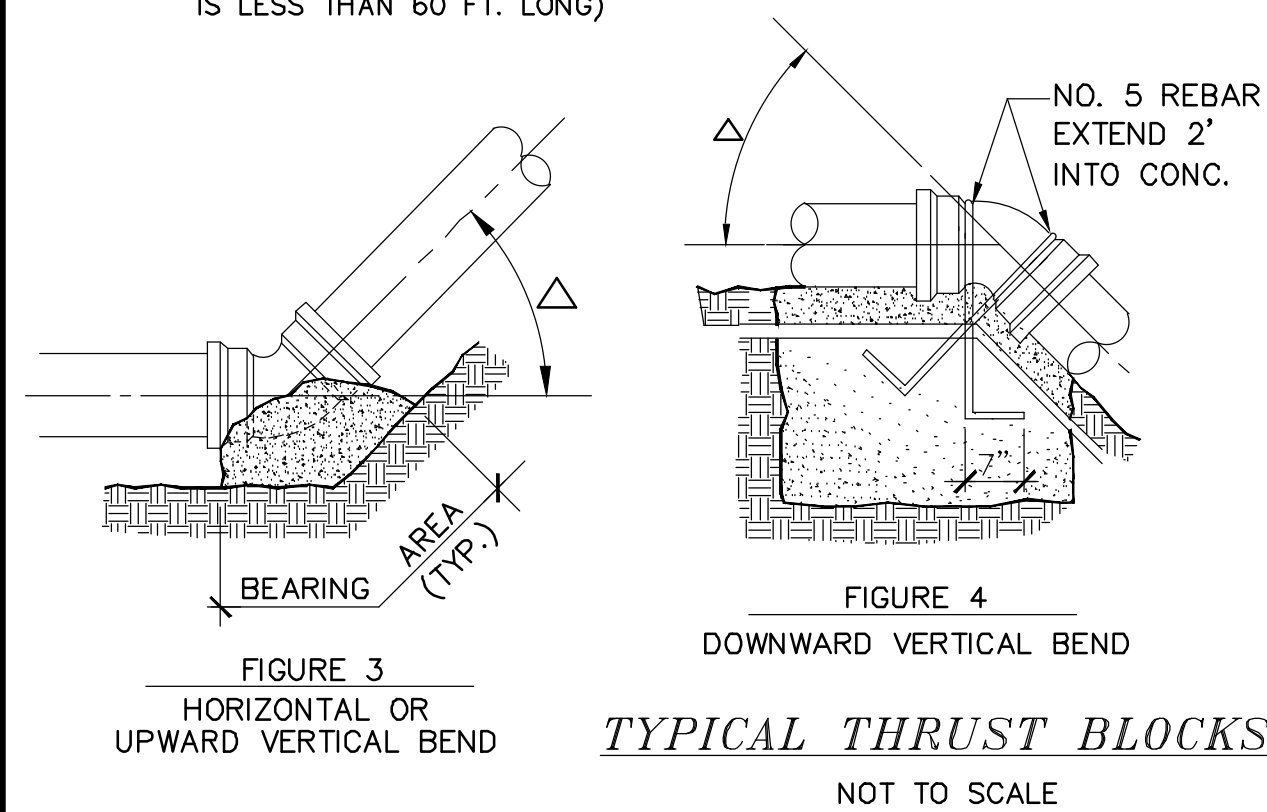


FIGURE 3 HORIZONTAL OR UPWARD VERTICAL BEND

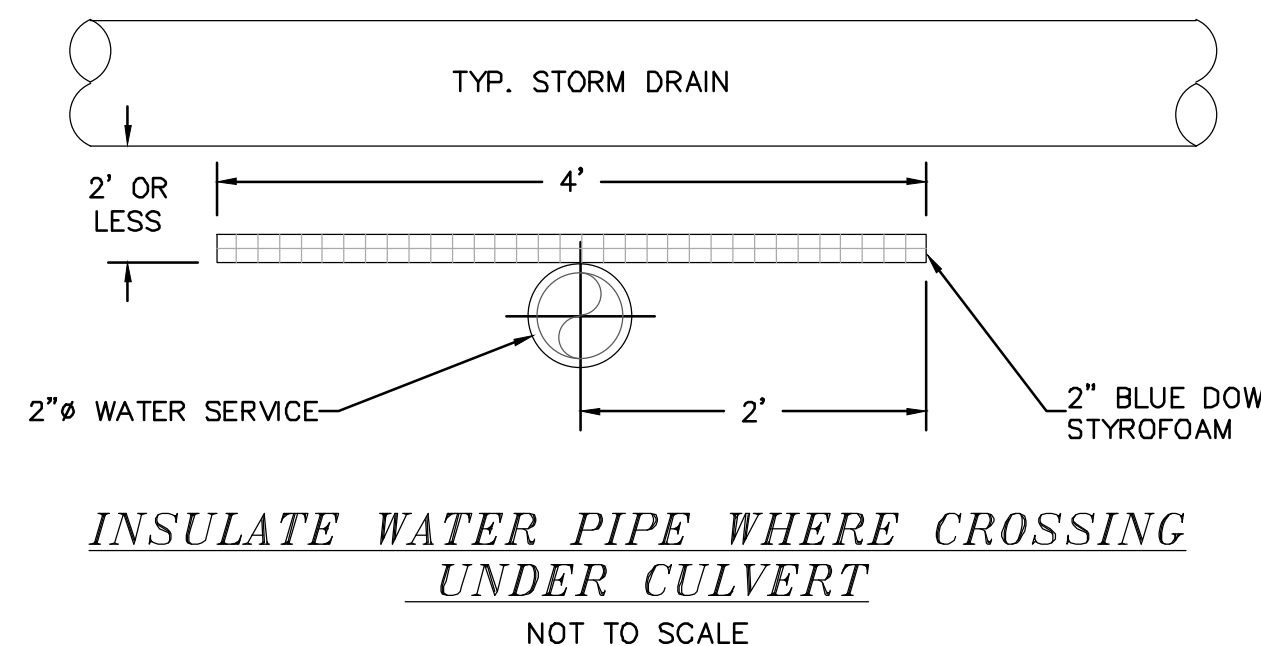
FIGURE 4 DOWNWARD VERTICAL BEND

PIPE I.D.	BEARING AREA, SQUARE FEET						VOLUME OF CONC. CU.YD	
	FIGURE 2	FIGURE 3	FIGURE 3, Δ		FIGURE 4, Δ			
		90°	45°	22-1/2"	11-1/4"	45°	22-1/2"	11-1/4"
4"	2	2	2	1	1	1	1.0	.5
6"	2	3	3	2	1	1	1.5	1.0
8"	2	5	6	3	2	1	2.0	1.0
10"	3	7	10	5	3	1	4.0	2.0
12"	3	10	14	8	4	2		
14"	4	14	20	10	5	3		
16"	4	20	24	12	7	4		
18"	5	24	30	16	10	5		
20"	5	28	40	20	12	6		

GENERAL NOTES:

- ALL FITTINGS & EXPOSED REBAR TO BE RAPPED W/ TWO LAYERS OF 6 MIL. POLYETHYLENE WHERE COVERED WITH CONCRETE.
- ALL CONCRETE SHALL BE CLASS C 3000 P.S.I. MINIMUM 28 DAYS COMPRESSIVE STRENGTH.
- PLACE CONCRETE AGAINST UNDISTURBED EARTH.
- TABLE DENOTES MINIMUM BEARING AREA OR VOLUME OF THRUST BLOCK. SPECIAL DESIGN FOR EACH INSTALLATION IS REQUIRED IF ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN 3000 P.S.F.
- VERTICAL SURFACES NOT BEARING AGAINST UNDISTURBED EARTH SHALL BE FORMED.
- KEEP CONCRETE AWAY FROM FLANGE BOLTS AND FITTINGS.
- MECHANICAL JOINTS AT ALL FITTINGS IE: BENDS, TEES, CROSSES, AND VALVES SHALL BE THRUST RESTRAINT. (MEGA-LUG OR APPROVED EQUAL.

U6



INSULATE WATER PIPE WHERE CROSSING UNDER CULVERT
NOT TO SCALE

NOTES:

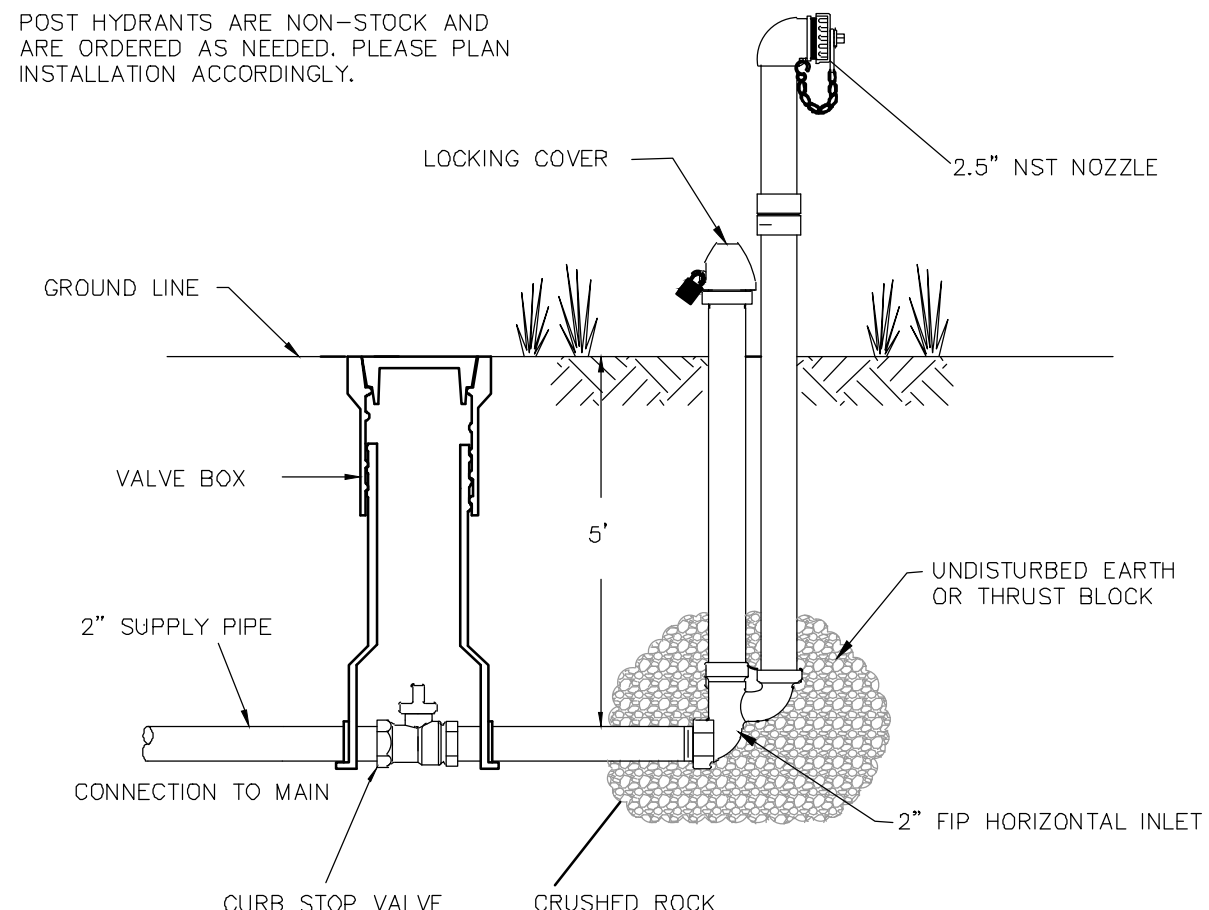
HYDRANTS SHALL BE SELF-DRAINING, NON-FREEZING, COMPRESSION TYPE WITH 2-3/16" MAIN VALVE OPENING. INLET CONNECTION SHALL BE 4" M.J. OUTLET SHALL BE 2" IP.

HYDRANTS SHALL HAVE A 4" DUCTILE IRON PIPE RISER WITH A CAST IRON TOP STOCK, AND NON-TURNING OPERATING ROD. PRINCIPAL INTERIOR OPERATING PARTS SHALL BE BRASS AND REMOVABLE FROM THE HYDRANT FOR SERVICING WITHOUT EXCAVATING THE HYDRANT.

HYDRANTS SHALL BE SET IN 4 CUBIC FEET OF CRUSHED STONE TO ALLOW FOR PROPER DRAINAGE OF THE HYDRANT. RECOMMENDATIONS OF THE AWWA SHOULD BE FOLLOWED WHEN INSTALLING THE HYDRANT.

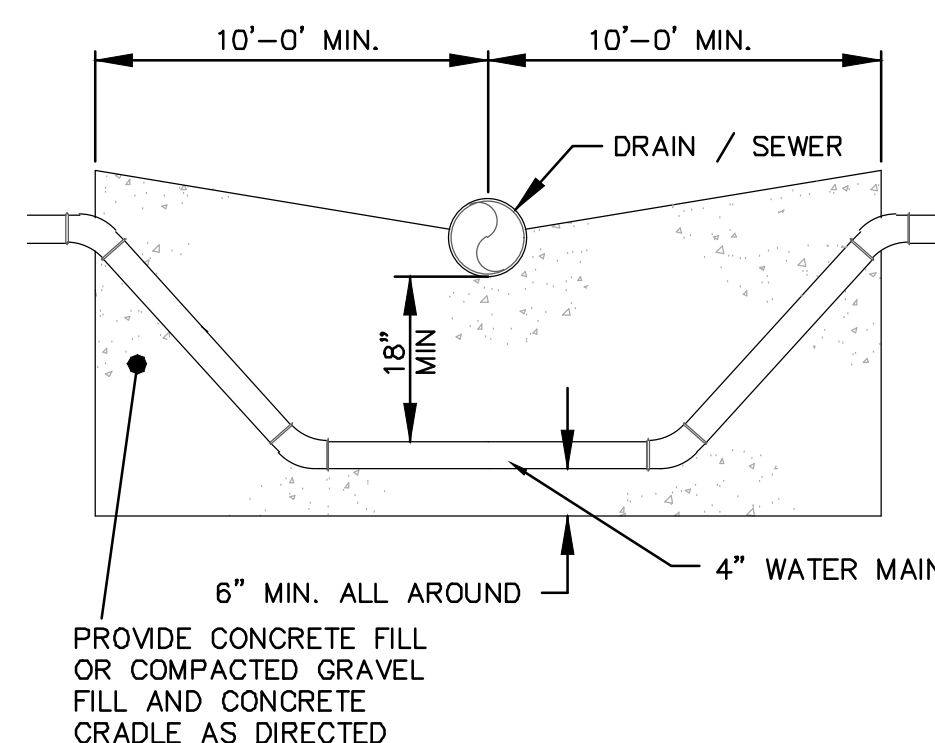
POST HYDRANTS SHALL BE ECLIPSE NO. 2 POST HYDRANTS, 3-INCH MECHANICAL JOINT, AS MANUFACTURED BY JOHN C. KUPFERLE FOUNDRY COMPANY, ST. LOUIS, MISSOURI.

POST HYDRANTS ARE NON-STOCK AND ARE ORDERED AS NEEDED. PLEASE PLAN INSTALLATION ACCORDINGLY.



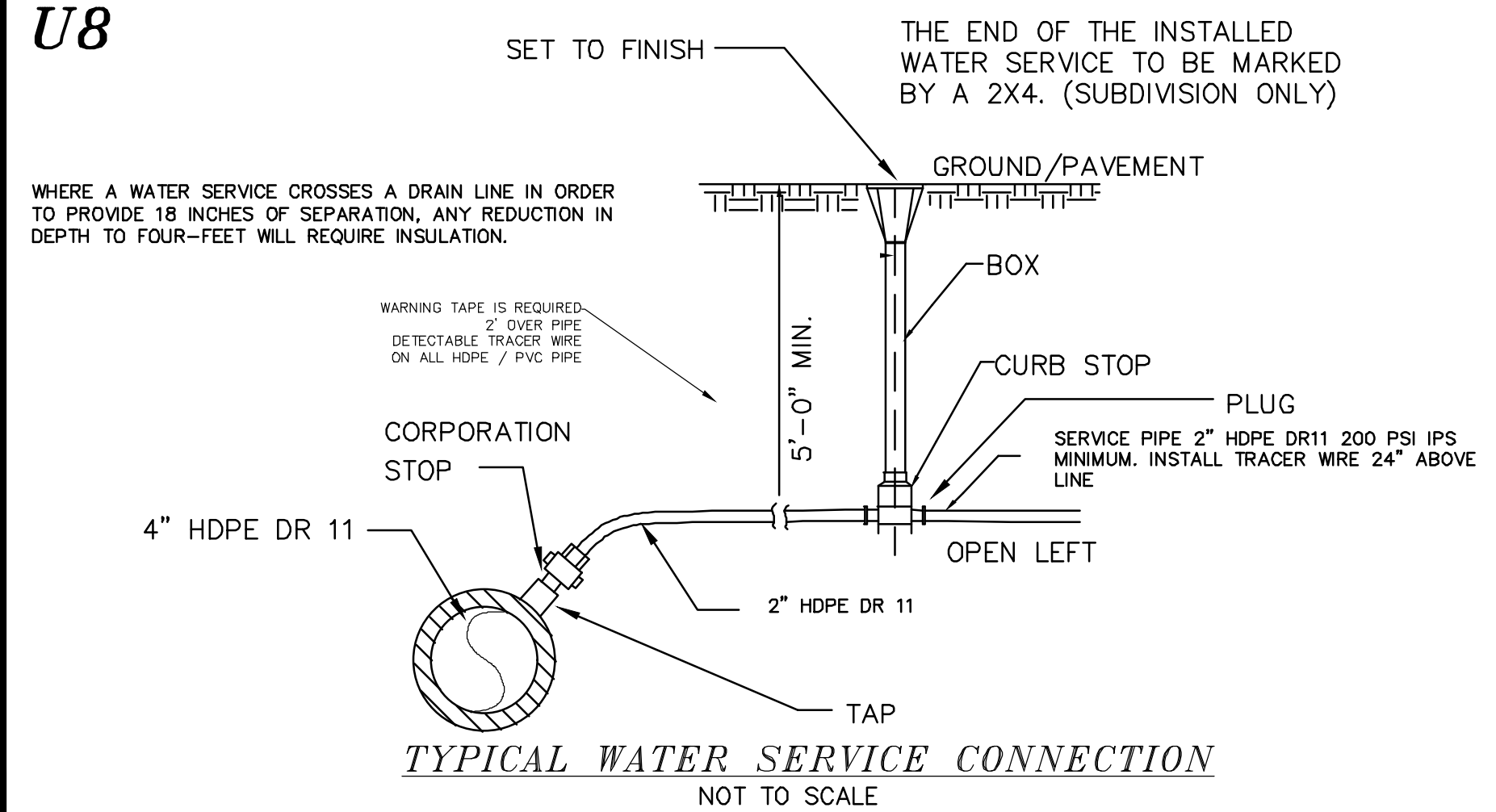
POST HYDRANT DETAIL
NOT TO SCALE

U7



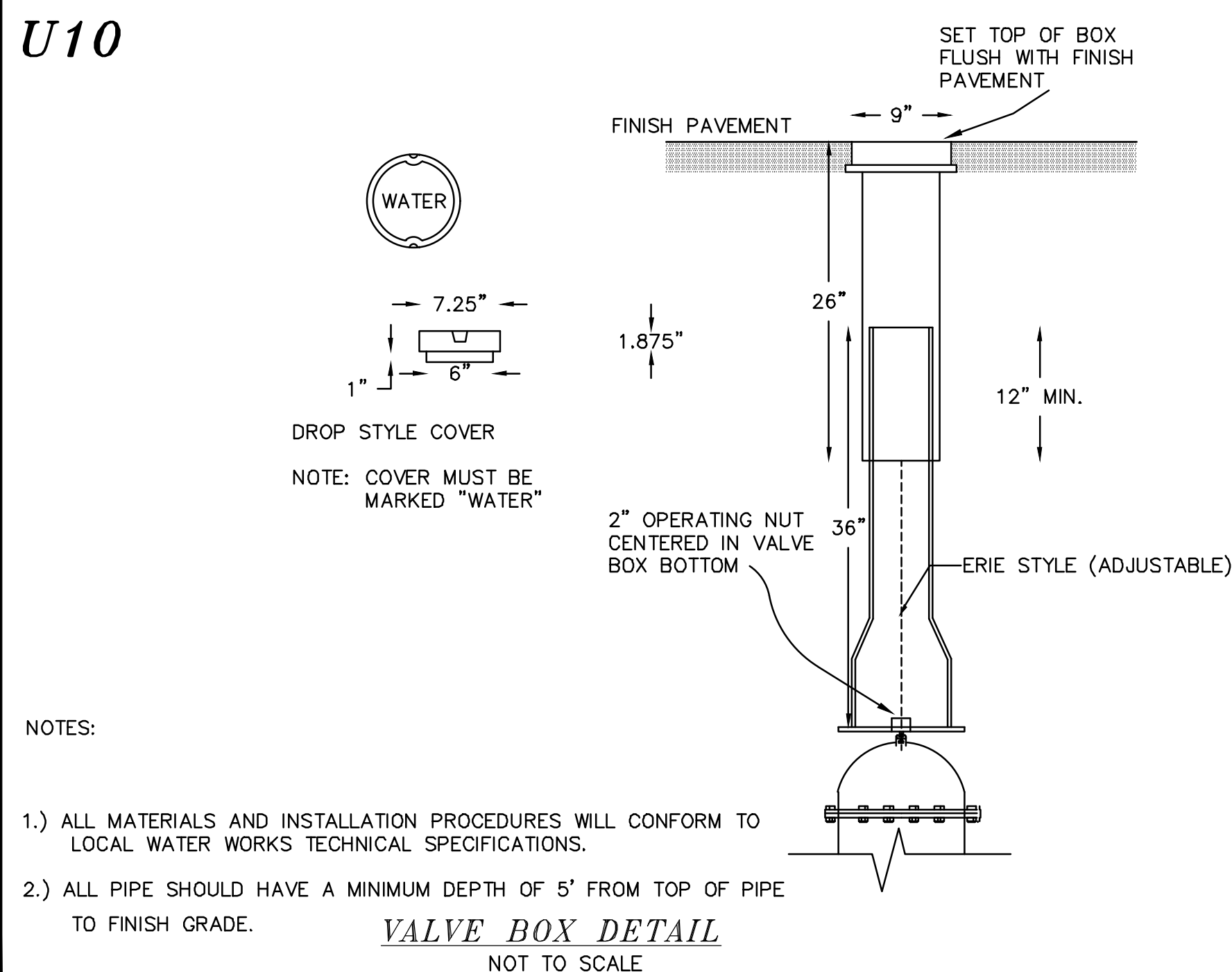
WATER MAIN INSTALLATION - BELOW DRAIN
NOT TO SCALE

U8



TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

U10

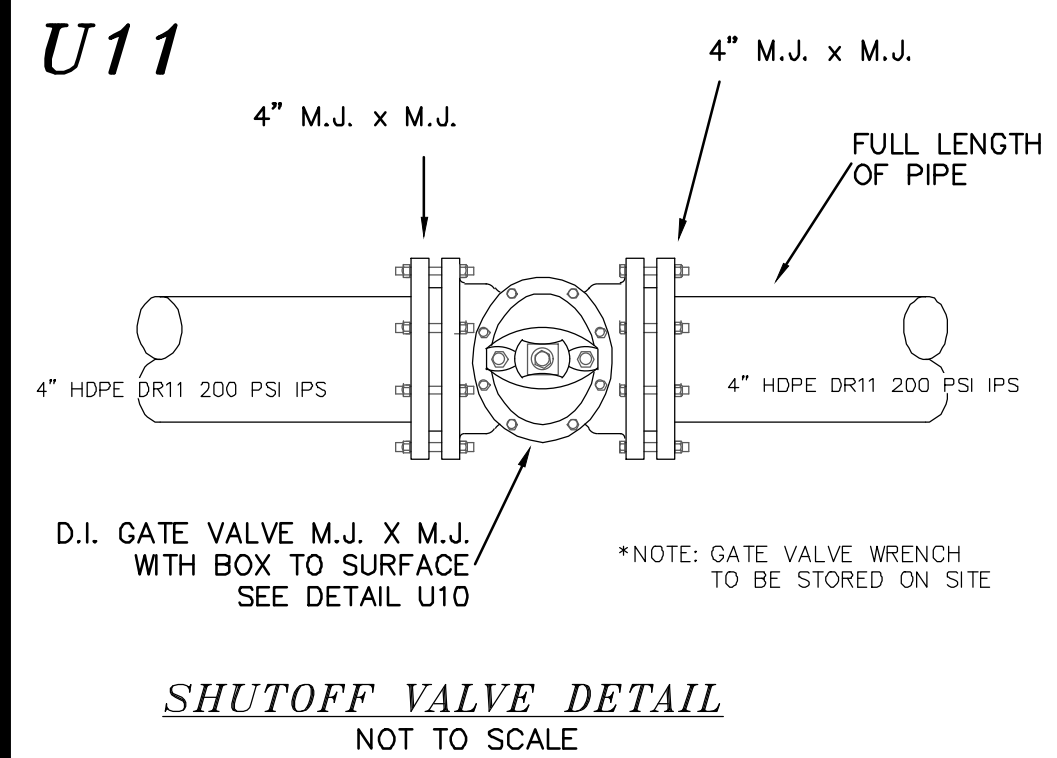


NOTES:

- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO LOCAL WATER WORKS TECHNICAL SPECIFICATIONS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

VALVE BOX DETAIL
NOT TO SCALE

U11



SHUTOFF VALVE DETAIL
NOT TO SCALE

FOR TOWN APPROVAL PURPOSES:

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U-101

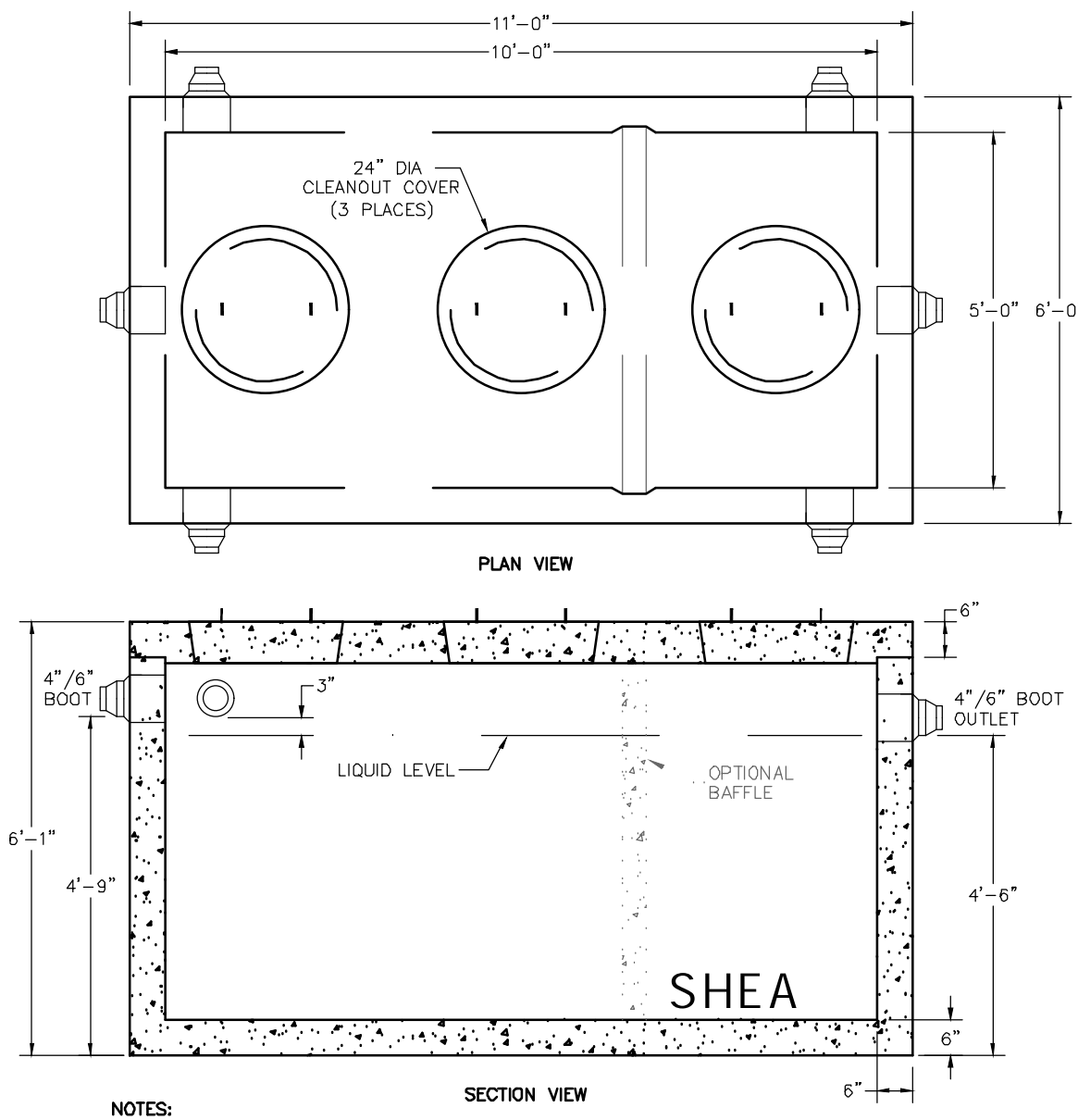
UTILITY CONSTRUCTION DETAILS	DESCRIPTION
DOVE DEVELOPMENT GROUP, LLC N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY BARRINGTON, NH	DATE
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3	REVISION

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE: AS NOTED
 DATE: JUNE 14, 2021
 FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 LICENSED PROFESSIONAL ENGINEER

SHEET 98 OF 105

U12



NOTES:

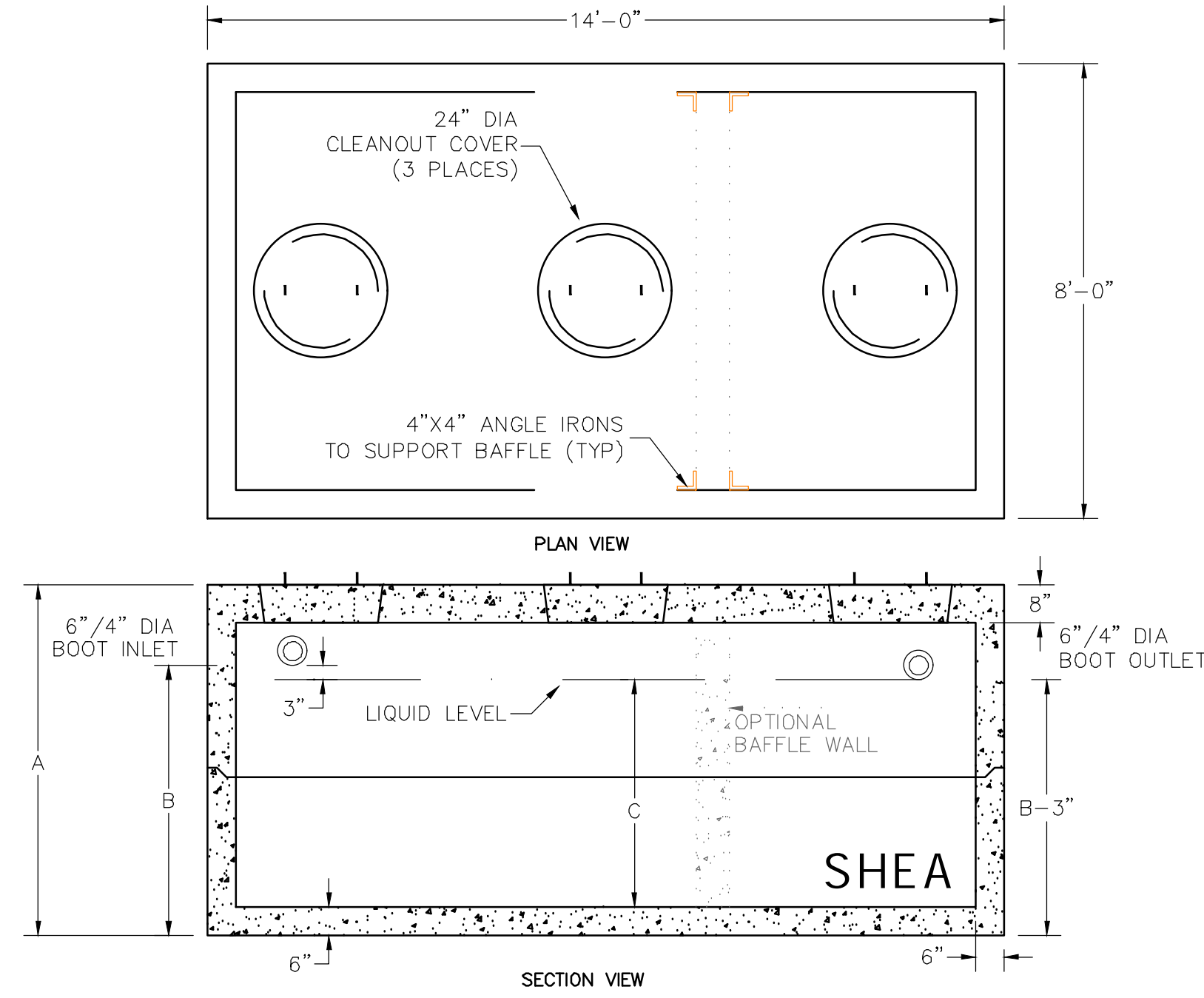
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS.
3. ALL REINFORCEMENT PER ASTM C1227.
4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
6. TEES AND BAFFLES SOLD SEPARATELY.
7. OPTIONAL BAFFLE WALL SEALED IN GROOVE.

ITEM NO.	TK-M1500C	WEIGHT	TOP	BOTTOM
1	TK-M1500C	22,600#	5,400#	17,200#
2	TK-M1500C2C	24,400#	5,400#	19,000#

1,500 GALLON SEPTIC TANK
NOT TO SCALE

NOTE: 30" RISER TO SURFACE WITH SMH FRAME AND GRATE REQUIRED

U13



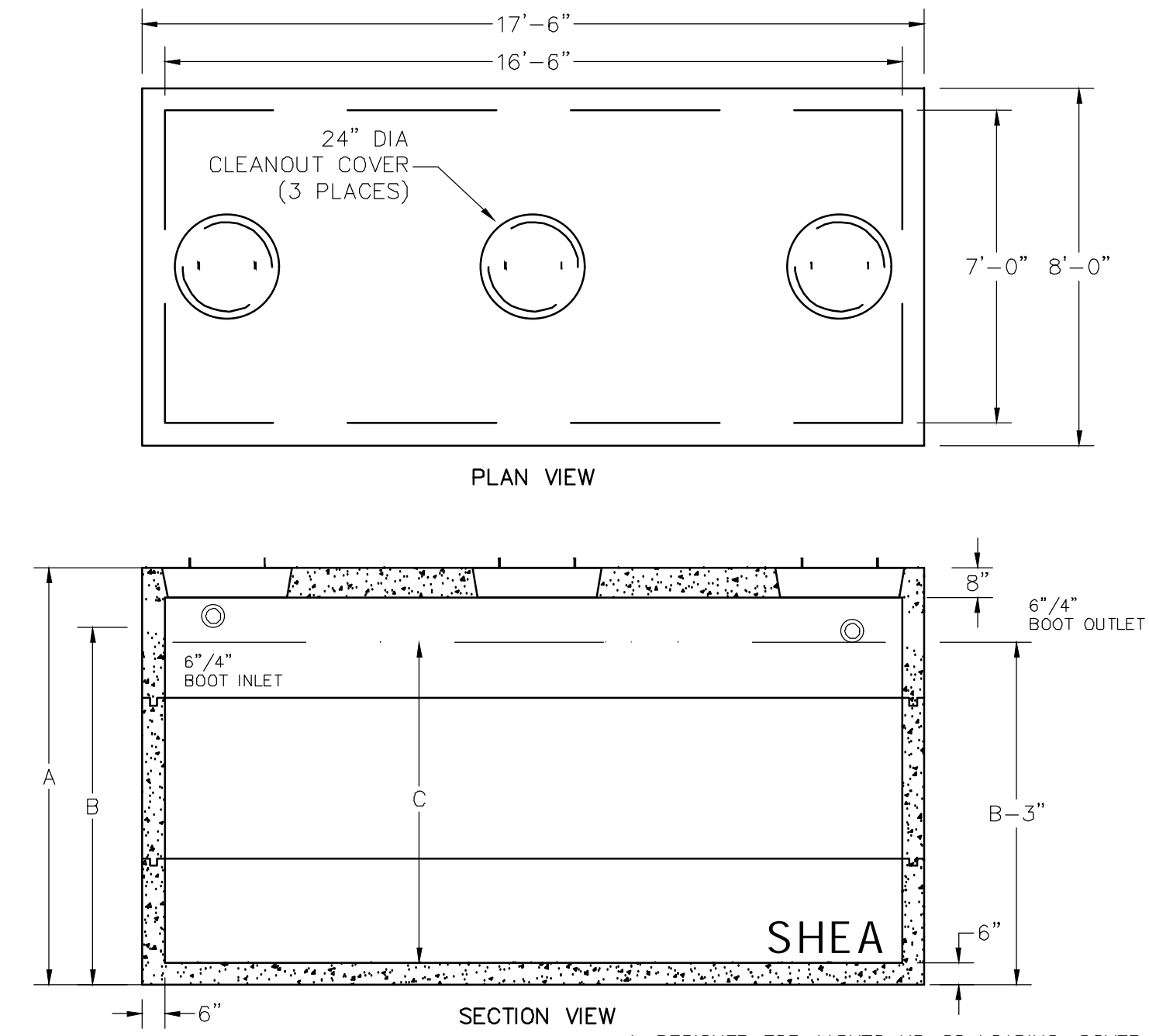
- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
 6. TEES AND BAFFLES SOLD SEPARATELY
 7. OPTIONAL BAFFLE WALL HELD IN PLACE WITH ANGLE BRACKETS

SINGLE COMPARTMENT TANK							
GALLONS	A (HEIGHT)	B (INLET) 6" BOOT	C (LIQUID)	WEIGHT (LBS)	ITEM NO.	SIZE TOP	WEIGHT BOTTOM
3,000	83"	66"	67"	36,710	8X14-30	42"	19,455
3,500	93"	77"	68"	39,250	8X14-35	42"	19,455
4,000	103"	86"	77"	41,535	8X14-40	52"	21,740

TWO COMPARTMENT TANK							
GALLONS	A (HEIGHT)	B (INLET) 6" BOOT	C (LIQUID)	WEIGHT (LBS)	ITEM NO.	SIZE TOP	WEIGHT BOTTOM
3,000	83"	66"	67"	39,670	8X14-302C	42"	20,890
3,500	93"	77"	68"	42,630	8X14-352C	42"	20,890
4,000	103"	86"	77"	45,295	8X14-402C	52"	23,555

NOTE: 30" RISER TO SURFACE WITH SMH FRAME AND GRATE REQUIRED
3,000 & 4,000 GALLON SEPTIC TANK
NOT TO SCALE

U14



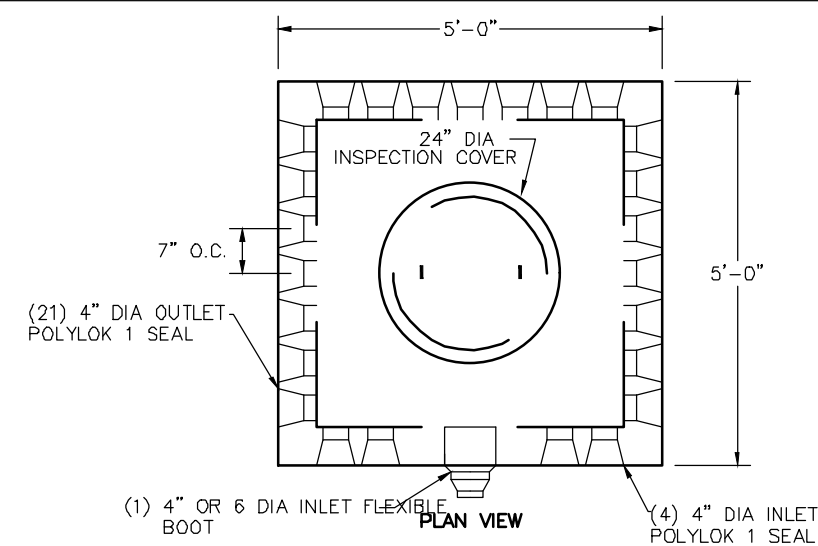
- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS FOR SEPTIC TANKS.
 3. ALL REINFORCEMENT PER ASTM C1227
 4. DESIGNED FOR AASHTO HS-20 LOADING, COVER 1-5 FT.
 5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN, INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED.
 6. TEES AND BAFFLES SOLD SEPARATELY.

SECTION	WEIGHT	GALLONS	ITEM NO.	A (HEIGHT)	B* (INLET) 6" BOOT	B* (INLET) 4" BOOT	C (LIQUID)	WEIGHT (LBS)	TOP (HEIGHT)	BOTTOM (HEIGHT)	RISER 1 (HEIGHT)	RISER 2 (HEIGHT)
28" TOP	20,720#	3,500	8X17-35	77"	61"	62"	52"	45,929	28"	49"	0"	0"
35" TOP	23,137#	4,000	8X17-40	84"	68"	69"	60"	48,346	35"	49"	0"	0"
34" BOT	20,029#	4,500	8X17-45	91"	75"	76"	66"	50,763	28"	34"	30"	0"
49" BOT	25,209#	5,000	8X17-50	98"	82"	83"	73"	53,180	35"	34"	30"	0"
30" RIS	10,014#	5,500	8X17-55	105"	89"	90"	80"	55,598	28"	34"	43"	0"
43" RIS	14,849#	6,000	8X17-60	112"	96"	97"	88"	58,015	35"	34"	43"	0"
		6,500	8X17-65	120"	104"	105"	95"	60,778	28"	49"	43"	0"
		7,000	8X17-70	127"	111"	112"	102"	63,195	35"	49"	43"	0"
		7,500	8X17-75	134"	118"	119"	109"	65,612	28"	34"	43"	30"
		8,000	8X17-80	141"	125"	126"	116"	68,029	35"	34"	43"	30"

**SEE NOTE 5

NOTE: 30" RISER TO SURFACE WITH SMH FRAME AND GRATE REQUIRED
3,500 - 8,000 GALLON SEPTIC TANK
NOT TO SCALE

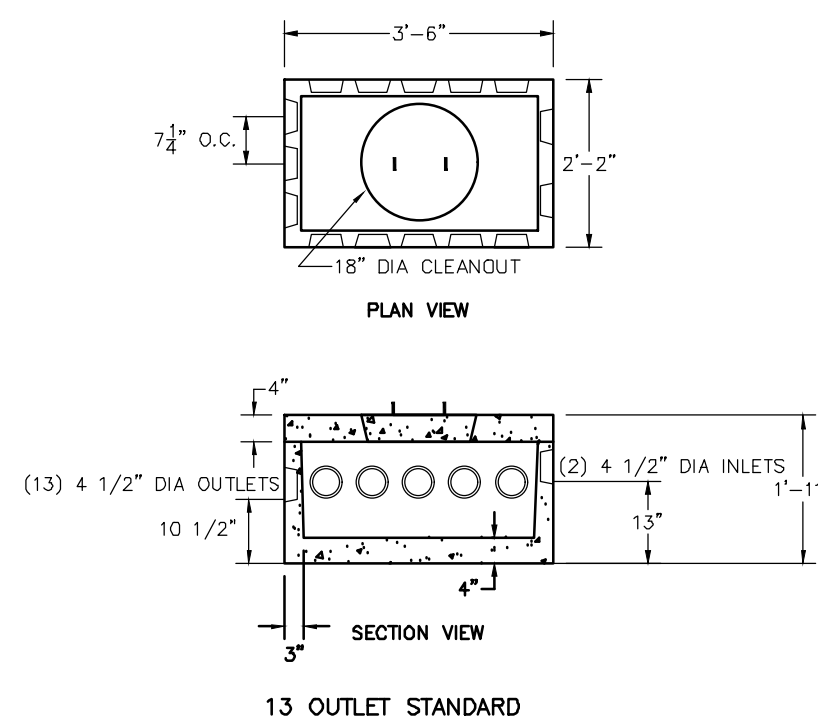
U15



- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR DISTRIBUTION BOXES.
 3. DESIGNED FOR AASHTO HS-20 LOADING, COVER 1 TO 5 FEET.
 4. COVER WEIGHT 1,850#

U16

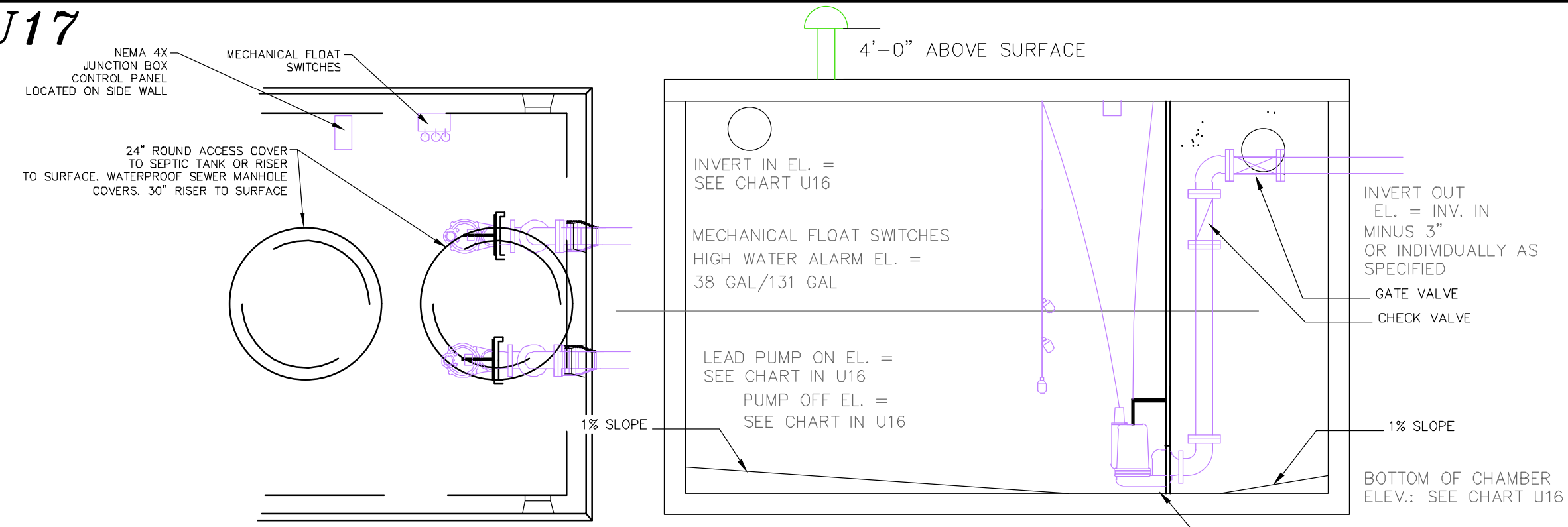
PUMP CHART



- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR DISTRIBUTION BOXES.
 3. DESIGNED FOR AASHTO HS-20 LOADING, COVER 1 TO 5 FEET.
 4. COVER WEIGHT 463#

DISTRIBUTION BOXES
NOT TO SCALE

U17



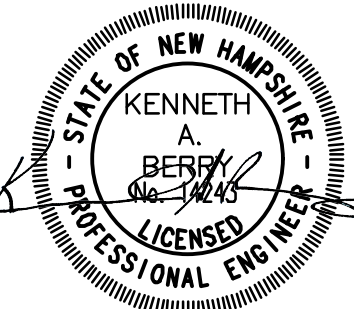
- NOTES:
1. THE BOTTOM OF THE PUMP CHAMBER WILL BE SLOPED AT A 1% SLOPE IN ALL DIRECTIONS CREATING A SUMP AROUND THE BASE OF THE PUMP. THE LIFT STATION WILL BE EQUIPPED WITH A GR20 GUIDE RAIL BASE AND RAIL SYSTEM AND LIFT CHAIN. THE PUMP DISCHARGE WILL BE EQUIPPED WITH A CHECK VALVE AND A GATE VALVE BETWEEN THE PUMP AND THE TANK WALL, IN THAT ORDER. THE DISCHARGE WILL LEAVE THE TANK AT A POINT FOUR-FOOT BELOW GRADE, INSULATED OR SIX-FOOT IF UNDER PAVEMENT, AND THE FORCE MAIN WILL BE DESIGNED UP-HILL TO THE IN-LINE RELIEF VALVE.
 2. WET WELL/SEPTIC TANK SHALL BE LEAK TESTED USING METHOD ACI 350.1 METHOD HST-NML.
 3. SUBMERSIBLE PUMPS AND ALL OTHER ELECTRICAL SYSTEMS/COMPONENTS IN THE WET WELL/SEPTIC TANK SHALL MEET NEC REQUIREMENTS FOR CLASS I, DIVISION I ENVIRONMENT.
 4. POWER SOURCE FOR ALARM SYSTEM SHALL BE AN INDEPENDENT BATTERY WITH CONTINUOUS CHARGE, OR MAIN LINE POWER WITH BACK UP BATTERY SYSTEM.

PUMP CHAMBER & PUMP DETAILS
NOT TO SCALE

REVISION	DATE	DESCRIPTION

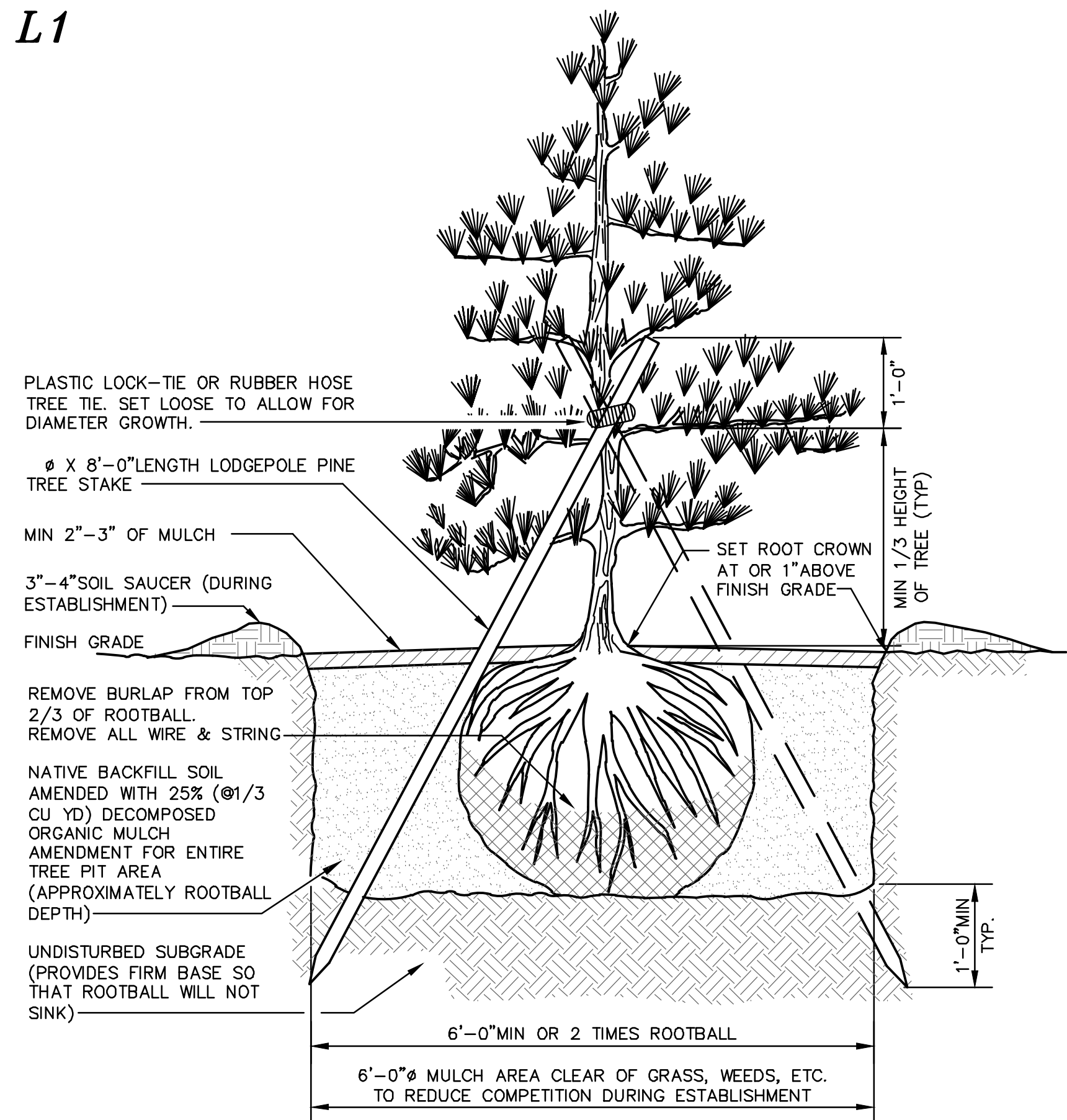
UTILITY CONSTRUCTION DETAILS
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
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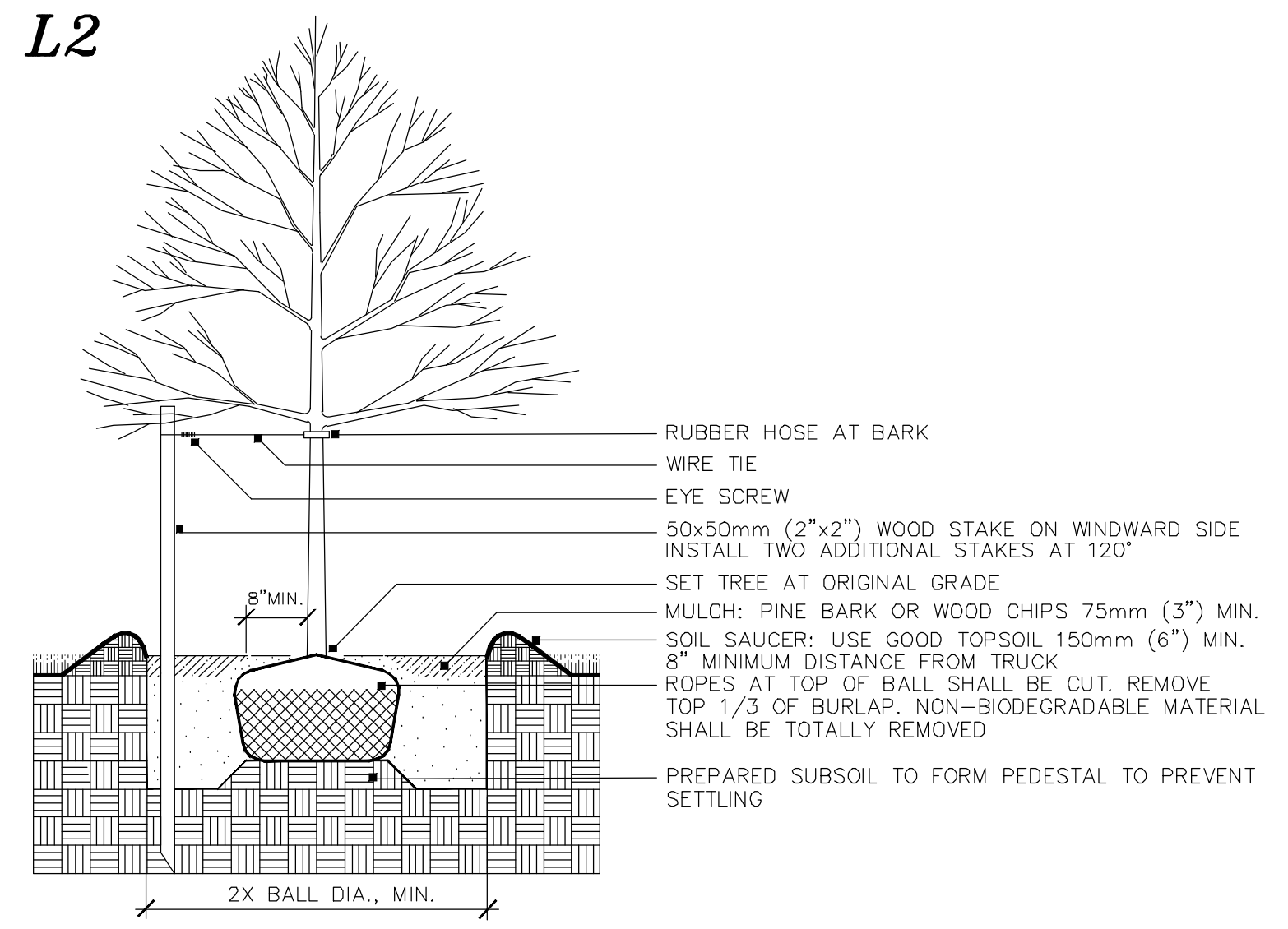
FOR TOWN APPROVAL PURPOSES:
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L1



CONIFEROUS TREE PLANTING

L2



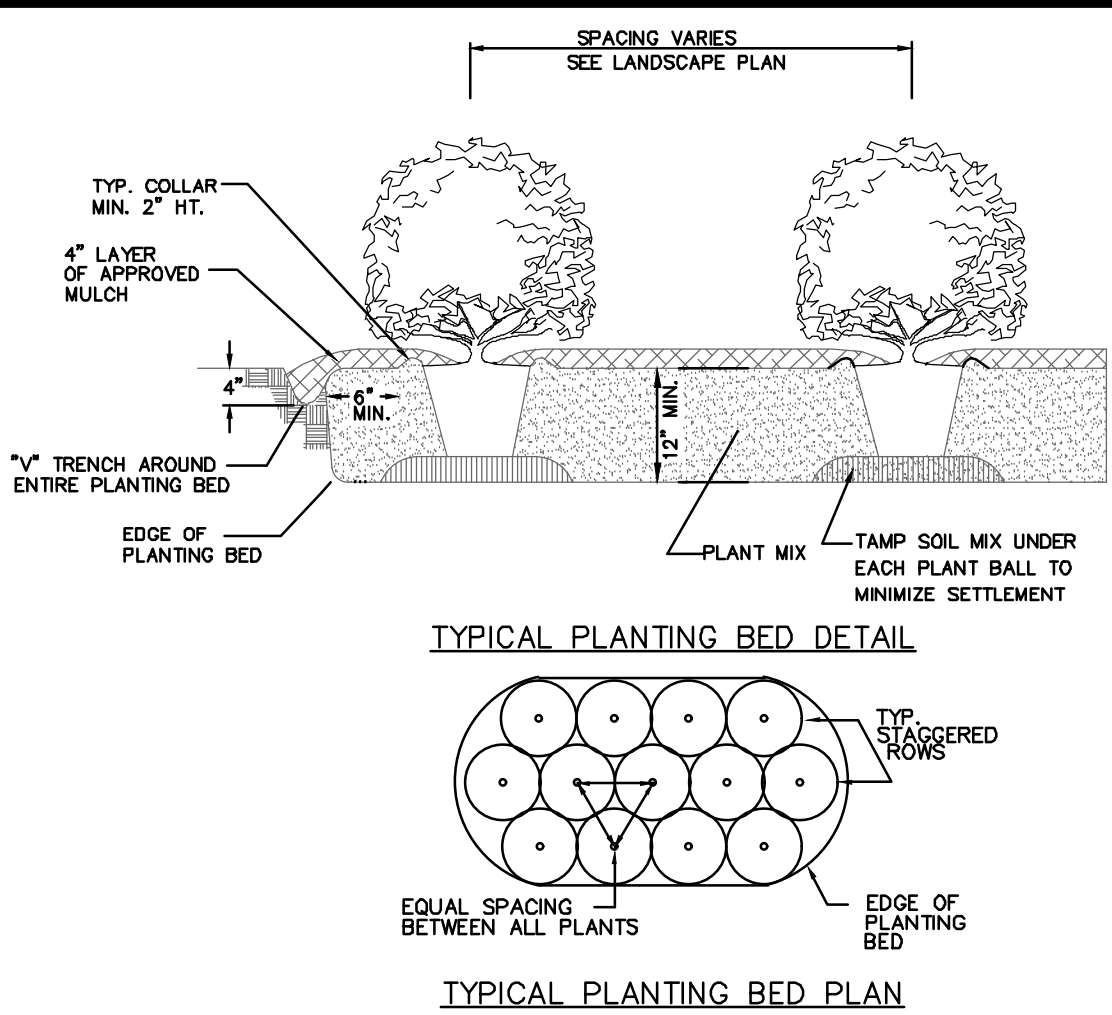
DECIDUOUS TREE PLANTING

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

L3

NOTES:

1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.

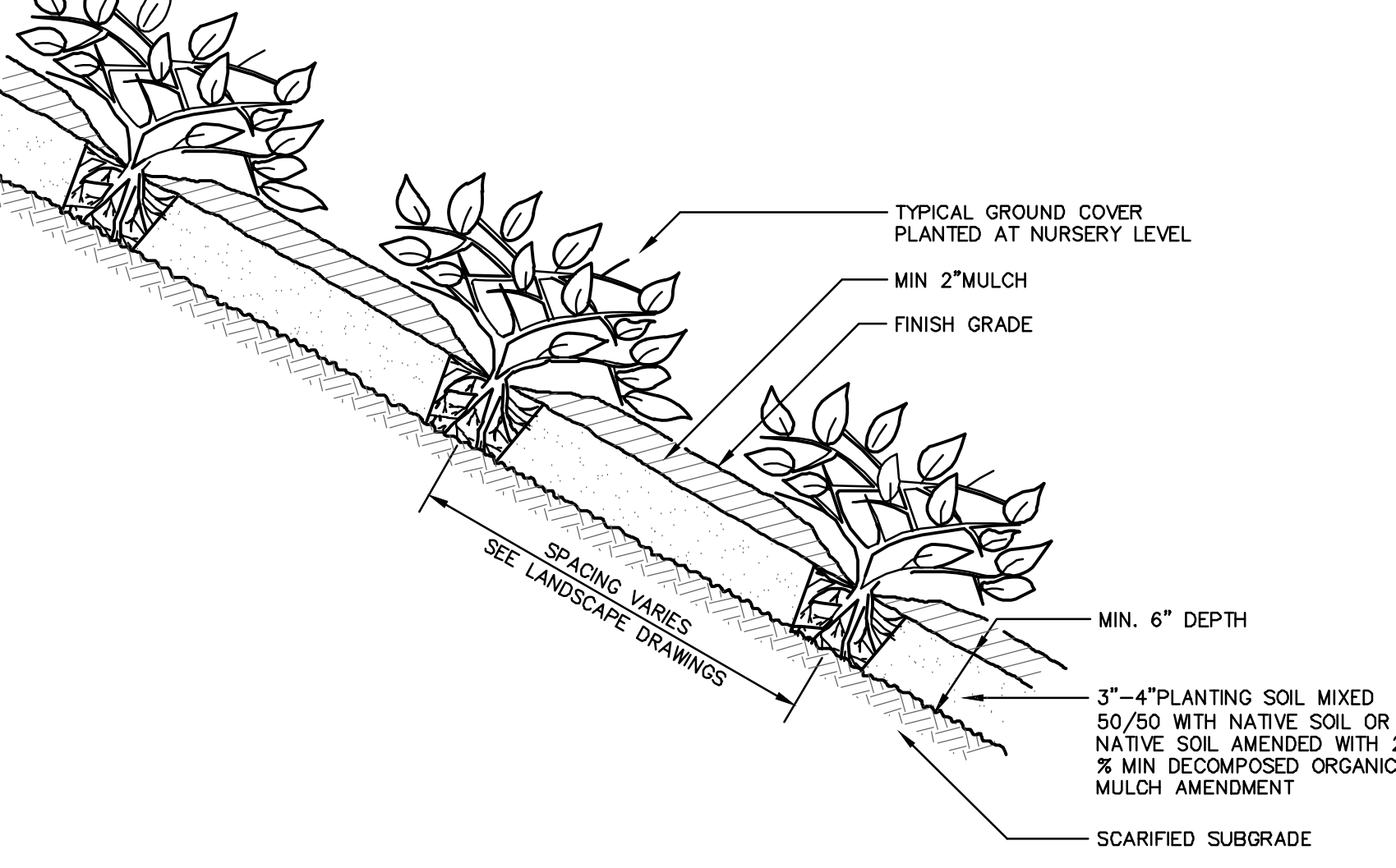


SHRUB & HEDGE PLANTING

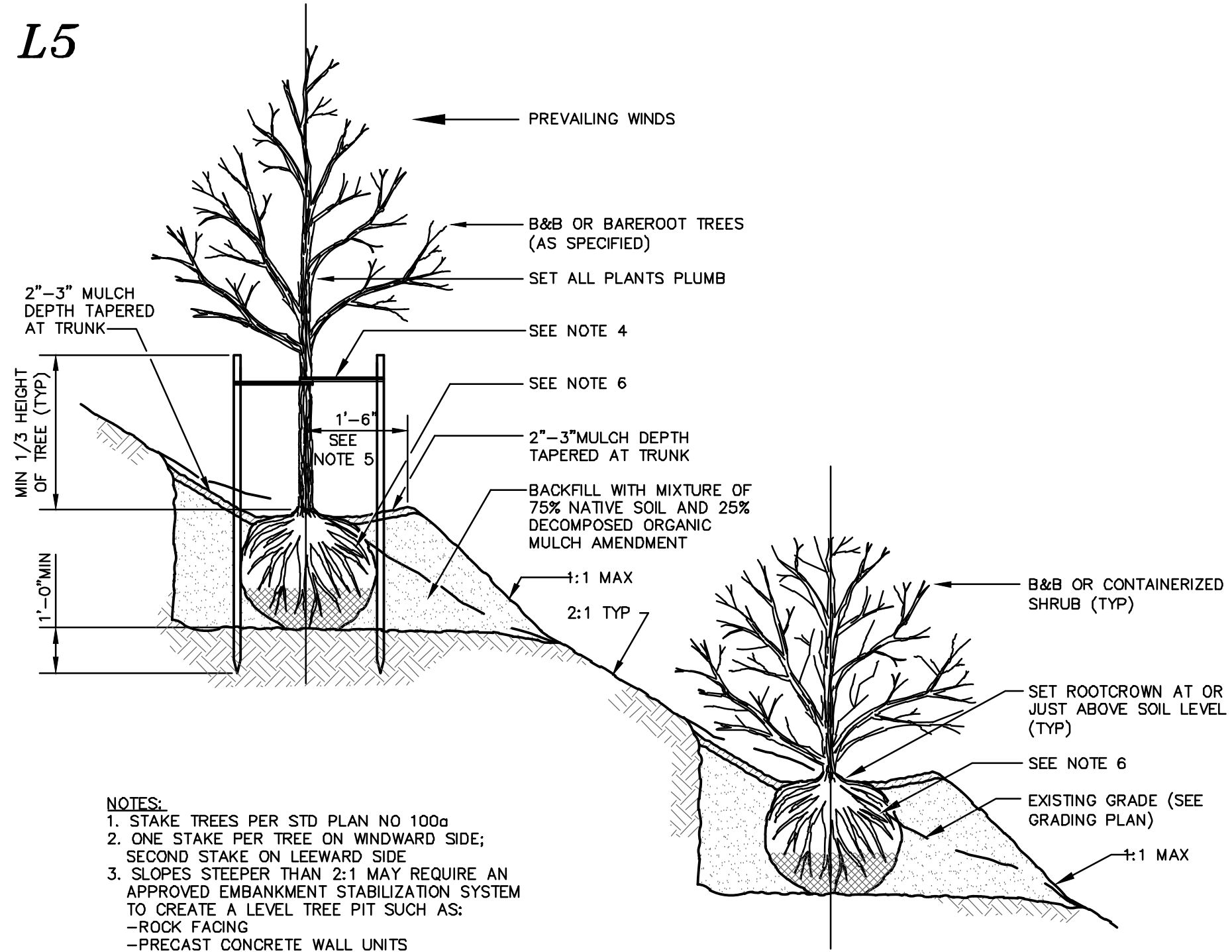
NOTES:

- 1.) CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- 2.) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- 3.) PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 4.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 5.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 6.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 7.) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 8.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- 9.) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- 10.) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- 11.) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- 12.) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- 13.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- 14.) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- 15.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- 16.) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- 17.) SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- 18.) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- 19.) TREES ARE TO BE 2-2.5" CALIPER 6" OFF THE ROOT BALL.
- 20.) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 21.) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 22.) PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
- 23.) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.

TYPICAL SLOPE GROUND COVER PLANTINGS L4



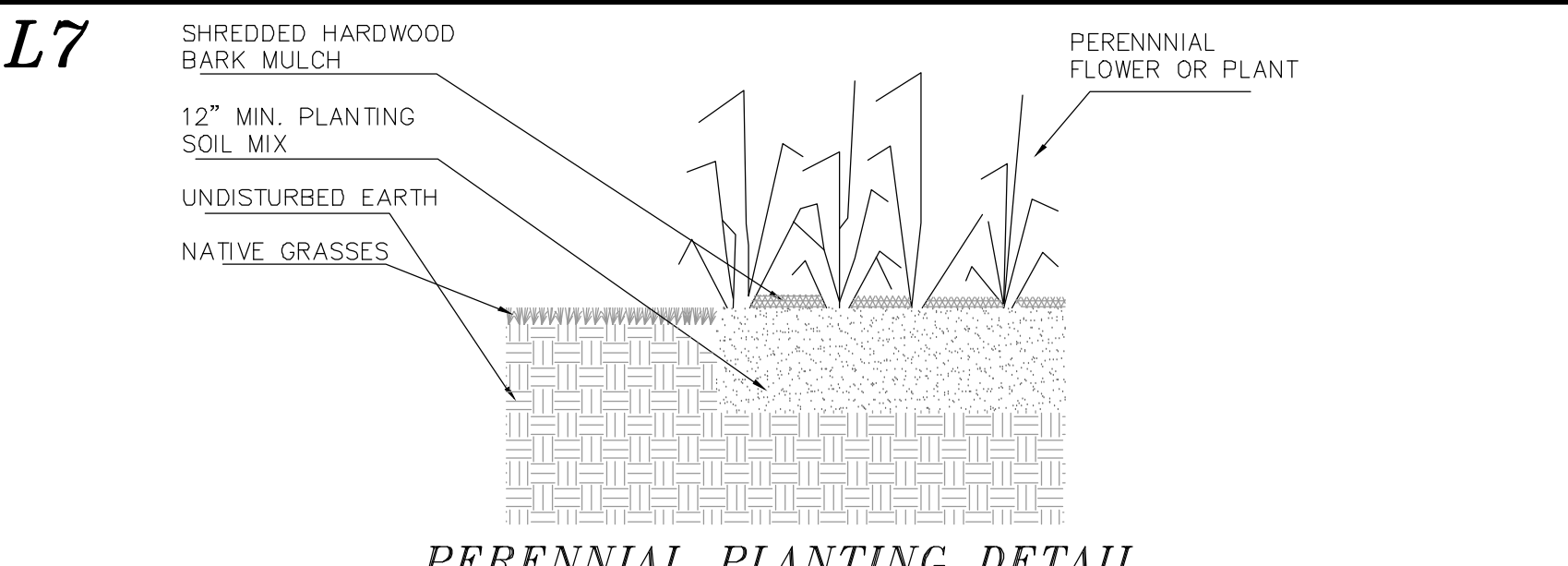
L5



TREE PLANTING ON SLOPES

- NOTES:
1. STAKE TREES PER STD PLAN NO 100a
 2. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEEWARD SIDE
 3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
 - ROCK FACING
 - PRECAST CONCRETE WALL UNITS
 - TIMBER WALL
 - MANUFACTURED SLOPE RETENTION UNITS
 4. CHAINLOCK TREE TIE LOOP EACH TIE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
 5. SHAPE SOIL TO PROVIDE 3' DIAMETER OR ROOTBALL DIAMETER, WHICHEVER IS GREATER, WATERING RING.
 6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

L7



PERENNIAL PLANTING DETAIL

FOR TOWN APPROVAL PURPOSES:

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L-101

REVISION	DATE	DESCRIPTION

LANDSCAPING CONSTRUCTION DETAILS

LAND OF DOVE DEVELOPMENT GROUP, LLC
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
 COMMUNITY WAY
 BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED

DATE: JUNE 14, 2021

FILE NO.: DB 2020 - 097

KENNETH A. BERRY
 No. 1243
 LICENSED PROFESSIONAL ENGINEER

SHEET 101OF 105



AMERICAN BUMBLE BEE

IDENTIFICATION/DESCRIPTION:

BOMBUS PENNSYLVANICUS IS A LARGE BUMBLE BEE WITH THE QUEEN MEASURING 1 IN, THE WORKER FROM 0.5 IN, AND THE MALE FROM 0.75 IN IN LENGTH. THE QUEEN IS MOSTLY BLACK, INCLUDING THE LEGS, SPURS AND TEGULAE (BASE OF WING). TEGULAE 1, OR THE MOST ANTERIOR BACK PORTION OF THE QUEEN IS OFTEN YELLOW ESPECIALLY IN THE MIDDLE. WORKER BEES' MIDDLE TEGULAE ARE YELLOW. THE TAIL BLACK, AND FACE LONG. THEIR CHEEKS ARE SLIGHTLY LONGER THAN BROAD, AND THE CLYPEUS (NOSE) HAS LARGE PUNCTURES EXCEPT ON THE MID LINE. THE HAIR ON THE TOP OF THE HEAD IS BLACK, SHORT AND EVEN. MALES HAVE A YELLOW ABDOMEN WITH A BLACK HEAD AND BLACK STRIPING IN THE LOWER THORAX.



BLANDINGS TURTLE

IDENTIFICATION/DESCRIPTION:

A 7- TO 9-INCH TURTLE WITH YELLOW SPECKLES THAT OFTEN RUN TOGETHER TO FORM STREAKS ON THE CARAPACE. EASILY IDENTIFIED WHEN BASKING FROM ITS CHARACTERISTIC YELLOW THROAT AND CHIN.



NORTHERN BLACK RACER

IDENTIFICATION/DESCRIPTION:

A SLENDER BLACK SNAKE MEASURING 36-60 INCHES. BLACK RACERS ARE GLOSSY BLACK ON THE TOP AND BOTTOM WITH A WHITE THROAT AND CHIN. YOUNG RACERS ARE PATTERNED WITH BROWN OR REDDISH PATCHES ON A LIGHTER BASE OF GRAY.



SMOOTH GREEN SNAKE

IDENTIFICATION/DESCRIPTION:

A THIN, SLENDER BRIGHT-GREEN SNAKE MEASURING 10-20 INCHES. THE UNDERSIDE IS WHITE OR A PALE YELLOW.



LITTLE BROWN BAT

IDENTIFICATION/DESCRIPTION:

THE LITTLE BROWN BAT IS A SMALL MAMMAL WITH A BODY LENGTH OF 2 1/2 - 4" AND WEIGHING APPROXIMATELY 1/8 TO 1/2 AN OUNCE. THE WINGSPAN OF LITTLE BROWN BATS RANGE FROM 9 - 11". BATS ARE THE ONLY MAMMALS THAT ENGAGE IN TRULY ACTIVE FLIGHT, AS THEIR NAME SUGGESTS THEY ARE GLOSSY BROWN ABOVE WITH A LIGHTER GRAY COLOR BELOW. THESE BATS CAN LIVE 20 TO 30 YEARS.



NORTHERN LONG-EARED BAT

IDENTIFICATION/DESCRIPTION:

THE NORTHERN LONG-EARED BAT IS A MEDIUM-SIZED BAT WITH A BODY LENGTH OF 3 TO 3.7 INCHES BUT A WINGSPAN OF 9 TO 10 INCHES. THEIR FUR COLOR CAN BE MEDIUM TO DARK BROWN ON THE BACK AND TAWNY TO PALE-BROWN ON THE UNDERSIDE. AS ITS NAME SUGGESTS, THIS BAT IS DISTINGUISHED BY ITS LONG EARS, PARTICULARLY AS COMPARED TO OTHER BATS IN ITS GENUS, MYOTIS.



EASTERN SMALL-FOOTED BAT

IDENTIFICATION/DESCRIPTION:

THE EASTERN SMALL-FOOTED BAT HAS BROWNISH FUR, OFTEN WITH A GOLDEN SHEEN, THAT CONTRASTS WITH ITS BLACKISH FACE AND EARS, AND BLACKISH-BROWN WINGS AND TAIL MEMBRANE. IT CAN BE DISTINGUISHED FROM OTHER MYOTIS SPECIES BY ITS BLACK MASK AND SMALL SIZE. THE BODY IS LITTLE MORE THAN 3/2 INCHES LONG, INCLUDING A 1 1/2-INCH TAIL. ITS SMALL FEET, WHICH PROVIDE THE COMMON NAME, ARE LESS THAN A HALF-INCH AND ITS WINGSPAN RANGES FROM 8 1/4 TO 9 3/4 INCHES. THIS SPECIES FLIES SLOWLY AND ERRATICALLY, USUALLY ABOUT ONE TO THREE YARDS ABOVE THE GROUND.



SILVER HAIRIED BAT

IDENTIFICATION/DESCRIPTION:

THE SILVER-HAIRED BAT IS A MEDIUM-SIZED BAT WITH VERY DARK FUR TIPPED WITH SILVER OR WHITE. THE WINGS AND TAIL MEMBRANE ARE BLACK. EARS ARE SHORT AND ROUND WITH A SHORT, BLUNT-TIPPED TRAGUS. THE DORSAL SURFACE OF THE TAIL MEMBRANE IS PARTIALLY FURRED AND THE CALCAR LACKS A KEEL.



TRI-COLORED BAT

IDENTIFICATION/DESCRIPTION:

THE TRICOLORED BAT, FORMERLY KNOWN AS THE EASTERN PIPISTRELLE (PIPISTRELLUS SUBFLAVUS), IS A SMALL BAT WEIGHING 0.2 TO 0.3 OUNCES (5 TO 8 GR) AND HAS A WINGSPAN OF 8 TO 10 INCHES. THE TERM "TRICOLORED" REFERS TO THE BATS YELLOWISH-BROWN COAT THAT IS DARK AT THE BASE, YELLOWISH-BROWN IN THE MIDDLE, AND DARK AT THE TIPS. THE WING MEMBRANES ARE BLACKISH, BUT THE FACE AND EARS HAVE A PINKISH COLOR, AN OBVIOUS IDENTIFYING CHARACTERISTIC OF THIS SPECIES IS THE PINK COLOR OF THE SKIN ON THE RADIUS BONE. THE FEET ARE ALSO RELATIVELY LARGE COMPARED TO ITS BODY SIZE.



SPOTTED TURTLE

IDENTIFICATION/DESCRIPTION:

A SMALL 3-5 INCH TURTLE RECOGNIZED BY NUMEROUS YELLOW SPOTS COVERING A DARK CARAPACE. THE NUMBER OF SPOTS IS VARIABLE. SPOTS CAN ALSO BE FOUND ON THE HEAD AND LIMBS.



WOOD TURTLE

IDENTIFICATION/DESCRIPTION:

A 5-8 INCH TURTLE CHARACTERIZED BY ITS HIGHLY SCULPTED SHELL WHERE EACH LARGE SCUTE TAKES AN IRREGULAR PYRAMIDAL SHAPE. THE NECK AND FORELIMBS ARE ORANGE.

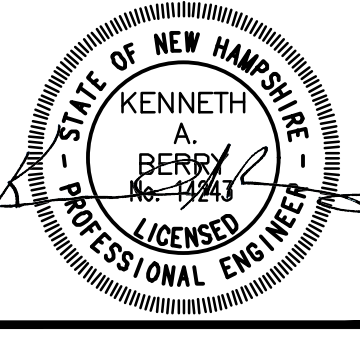
REVISION	DATE	DESCRIPTION

WILDLIFE IDENTIFICATION PLAN
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

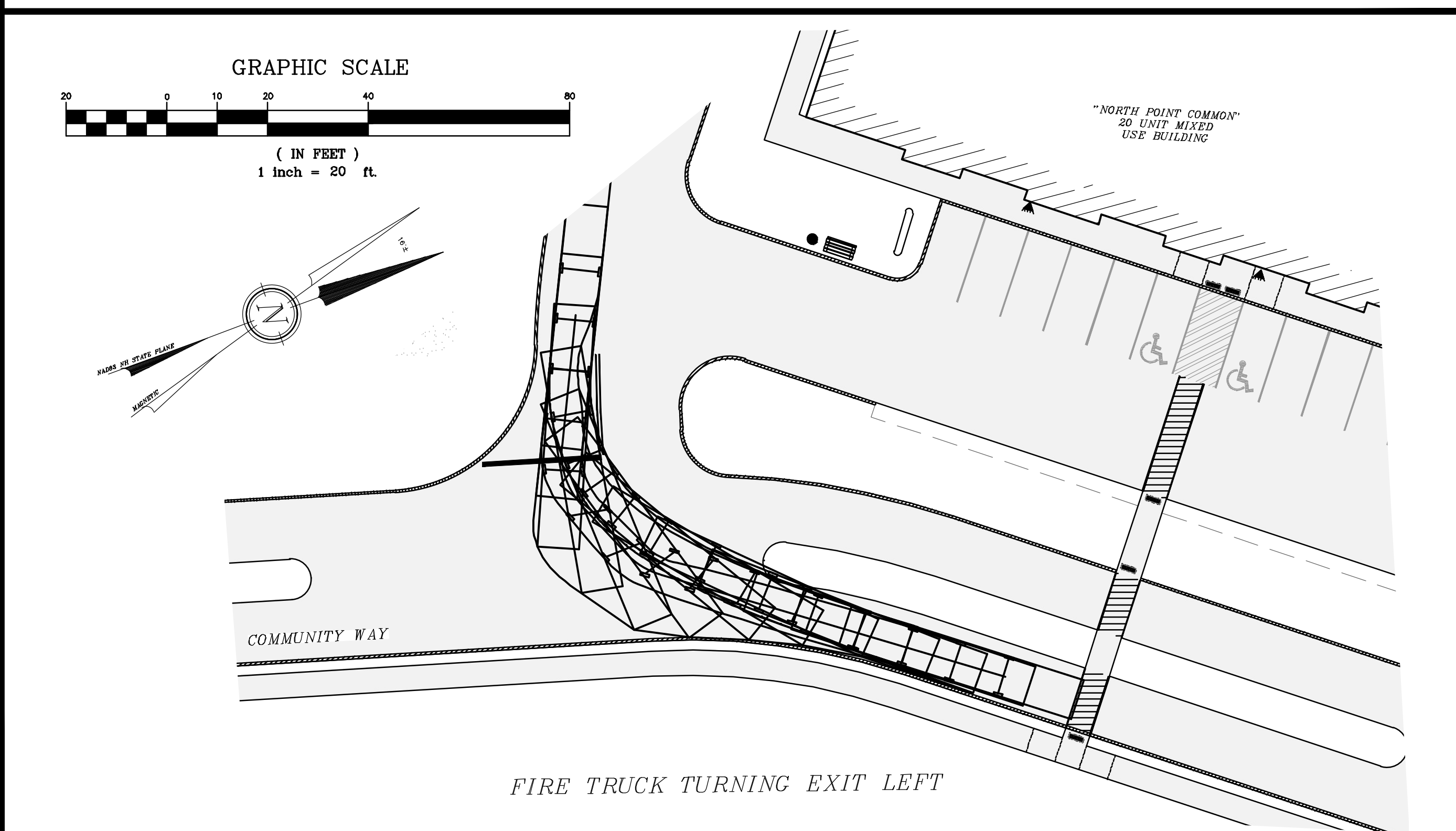
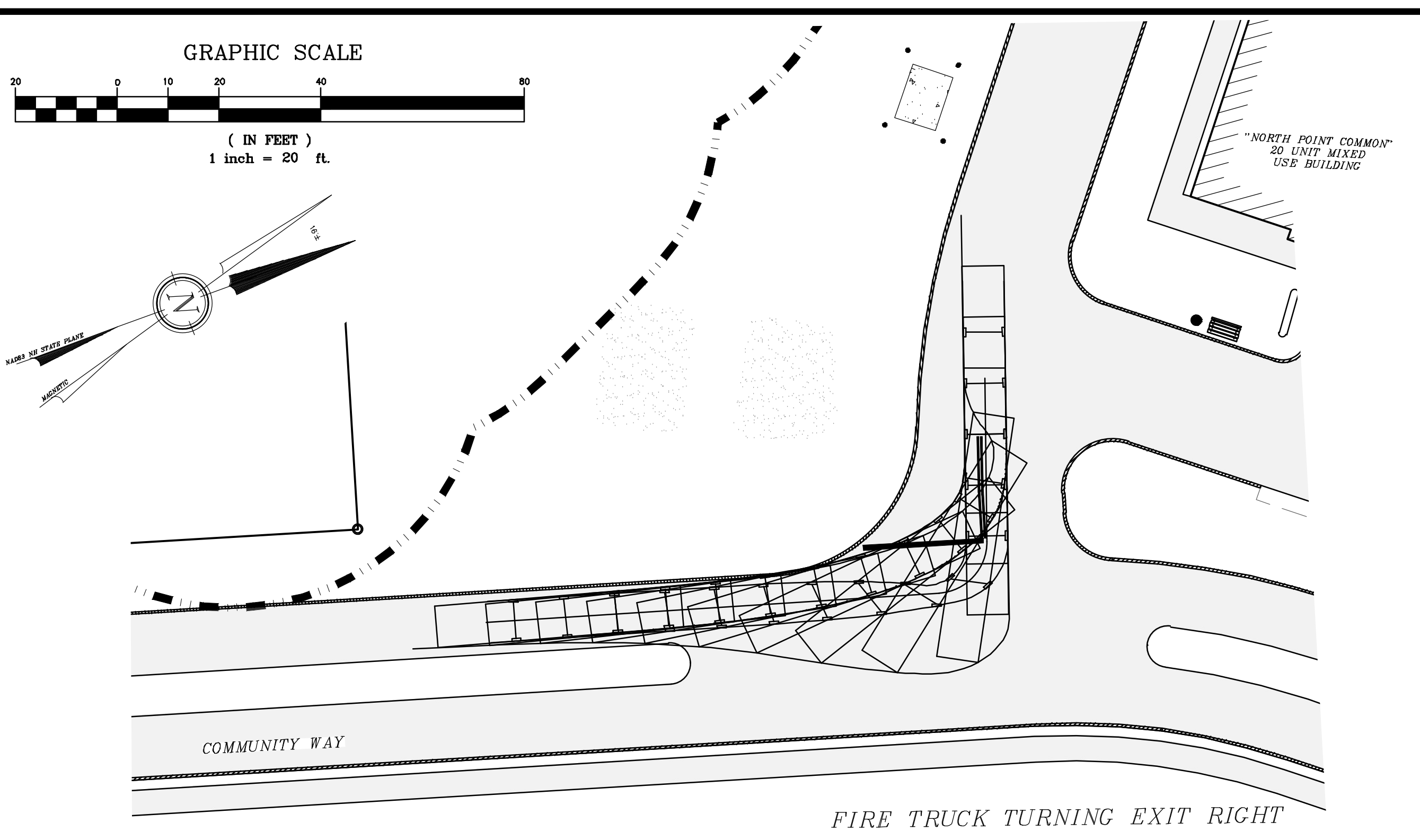
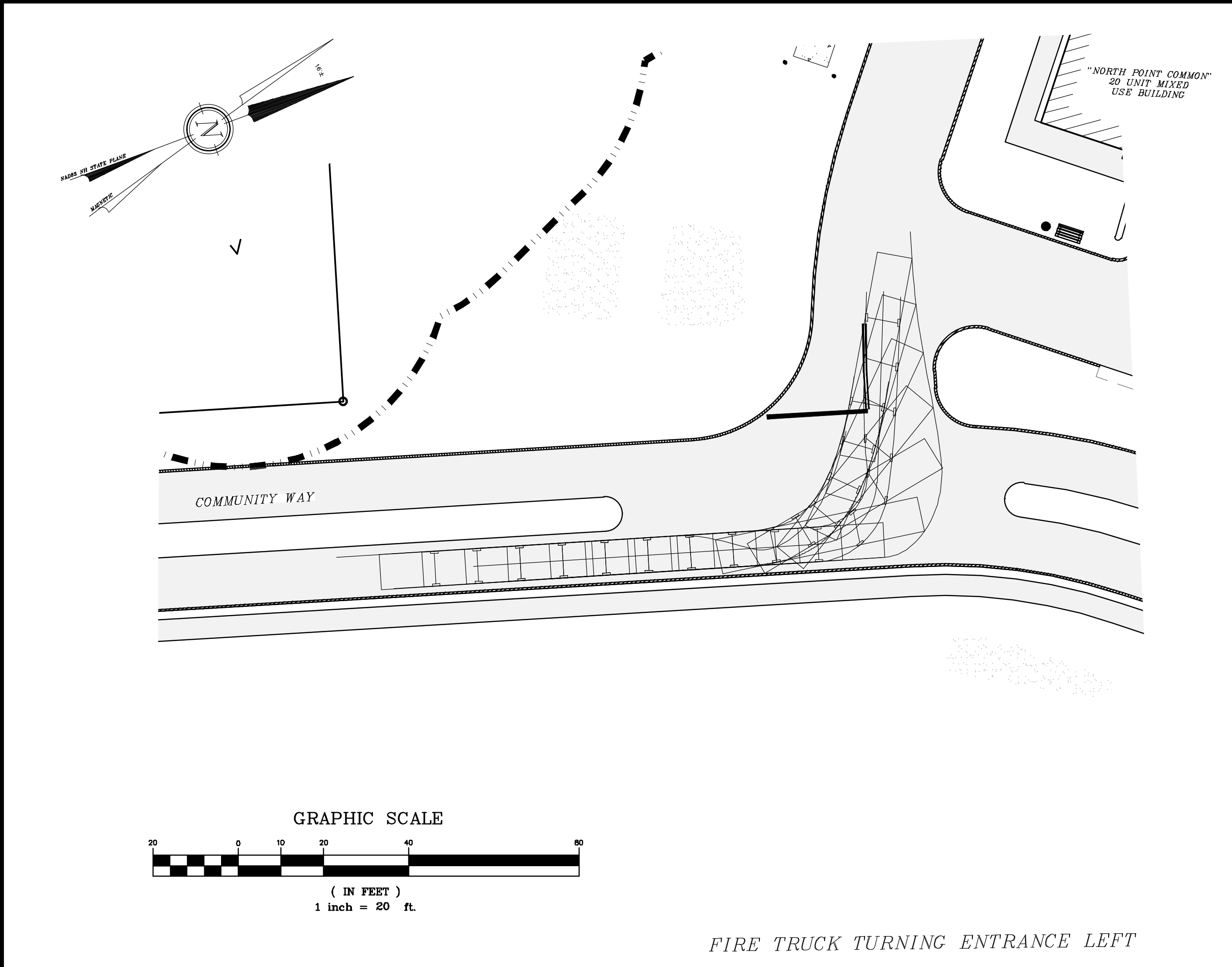
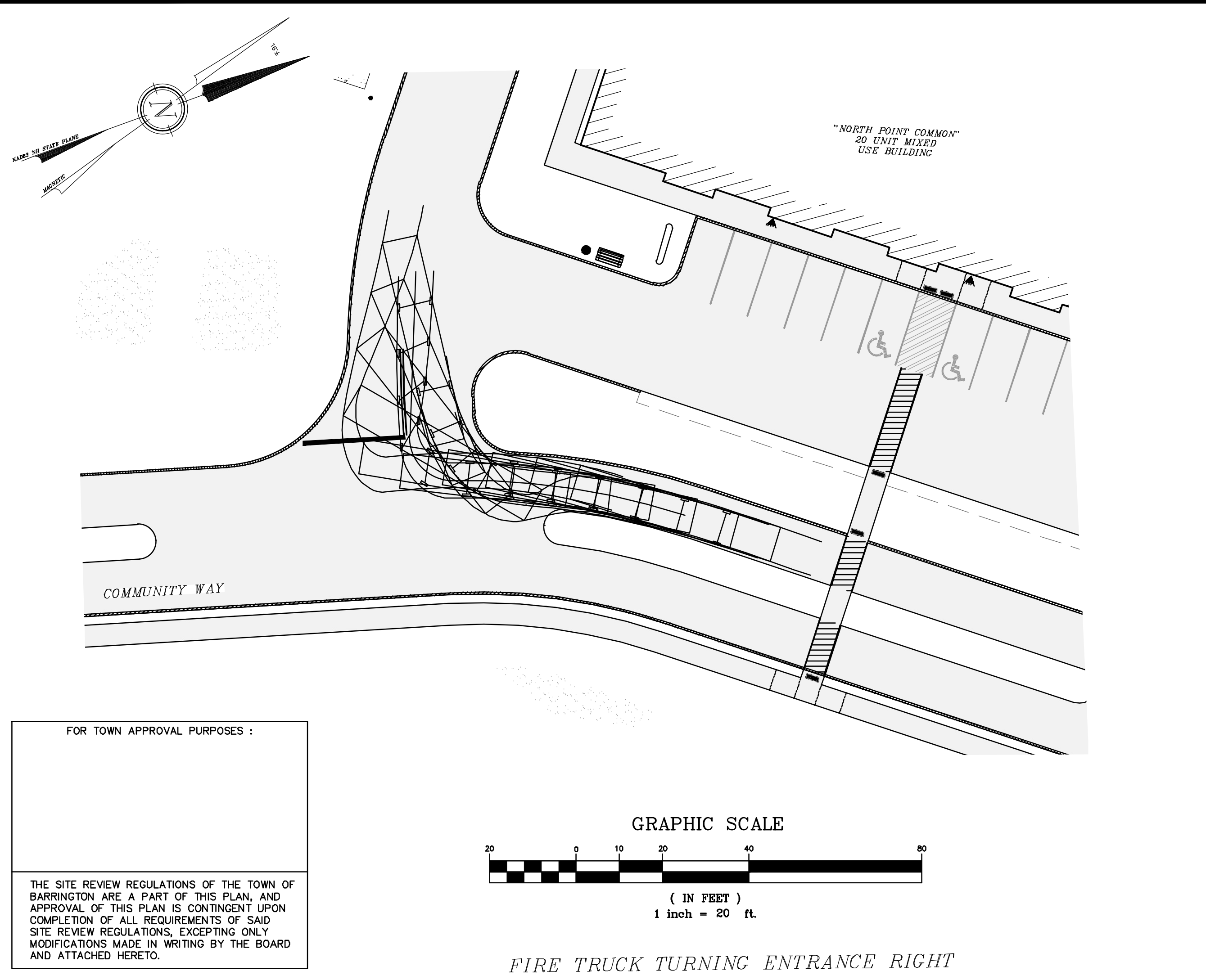
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : N/A
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



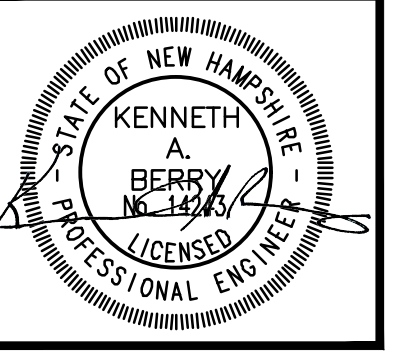
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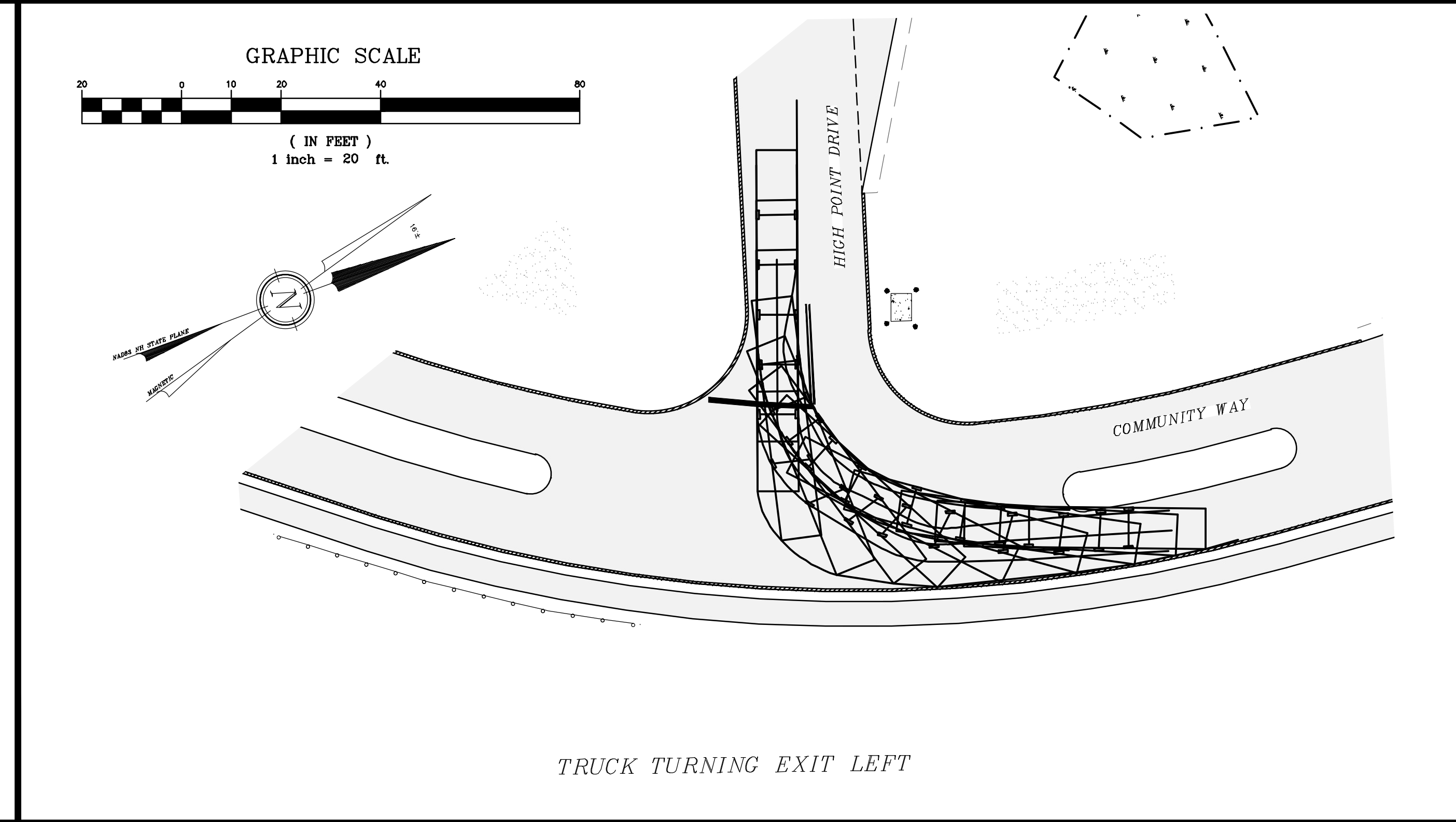
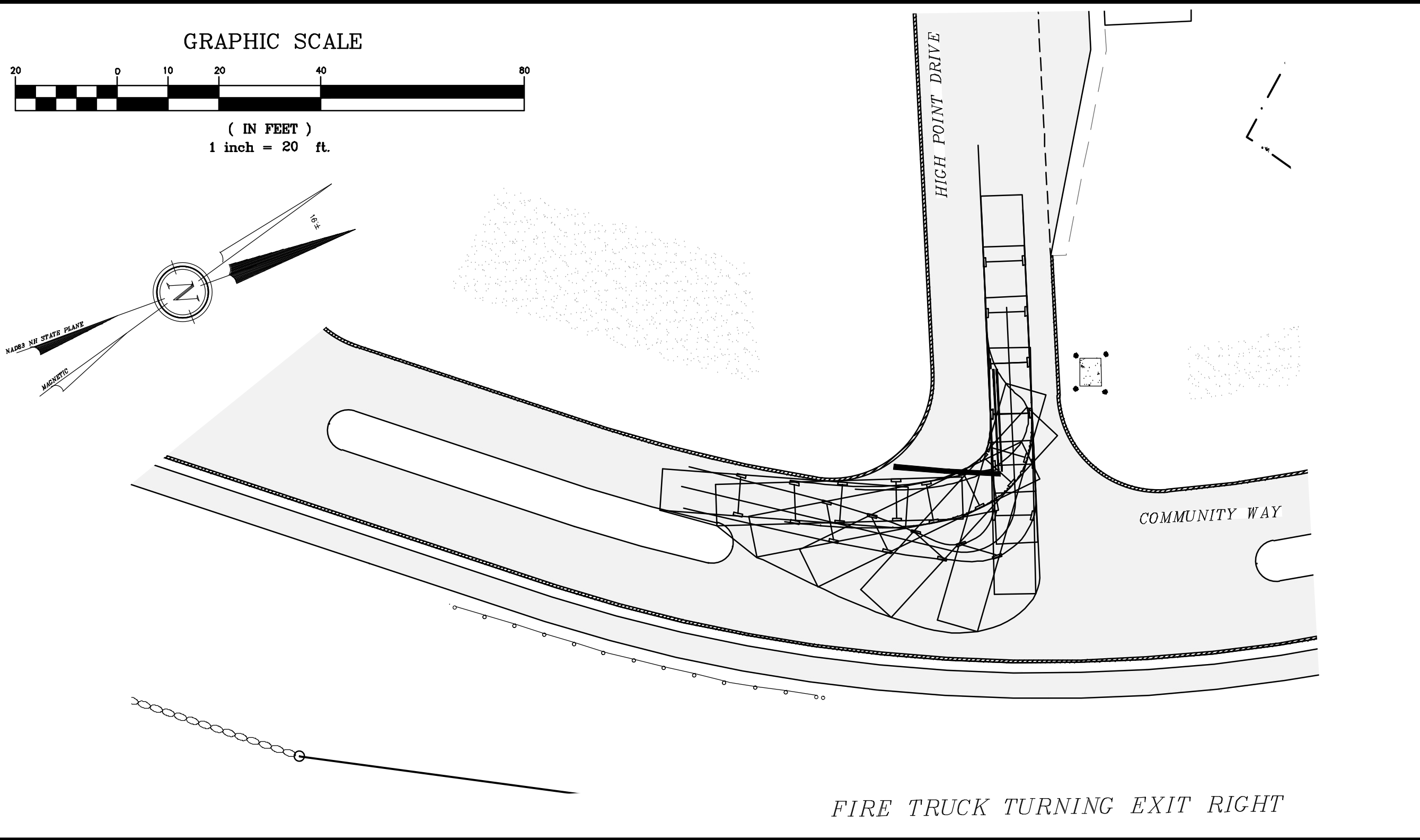
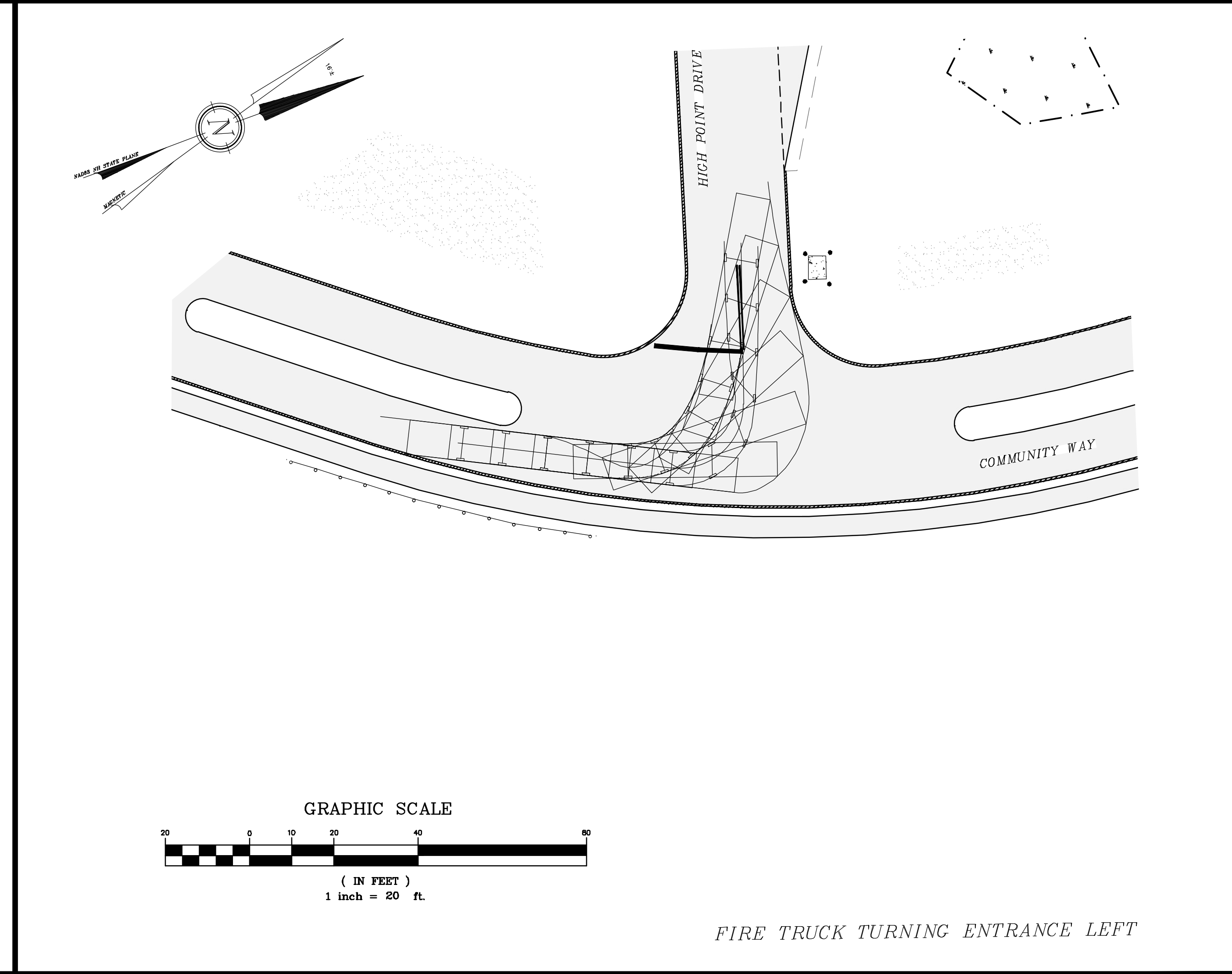
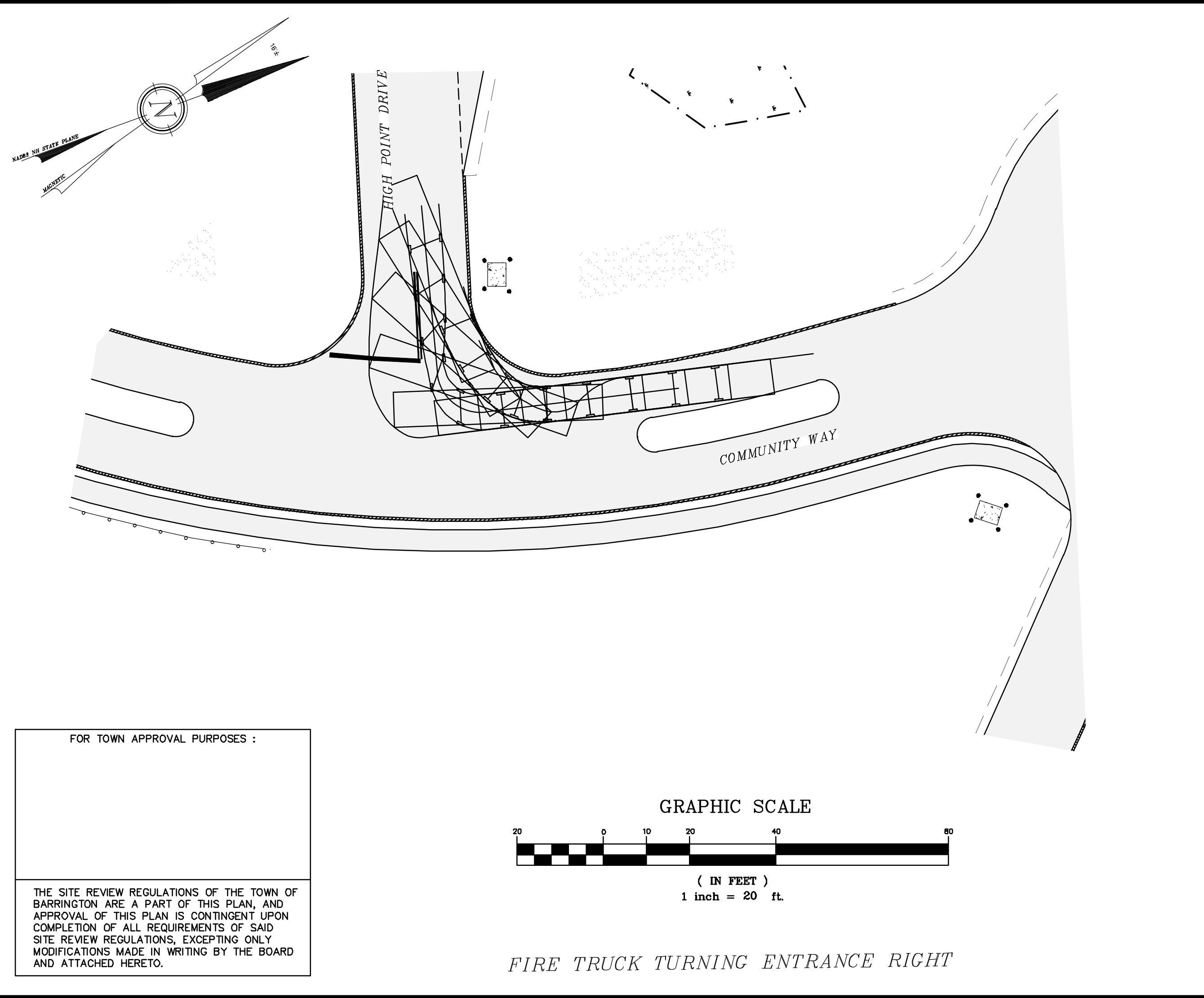


REVISION	DATE	DESCRIPTION

FIRE TRUCK TURNING ENTRANCE NORTH POINT COMMONS
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
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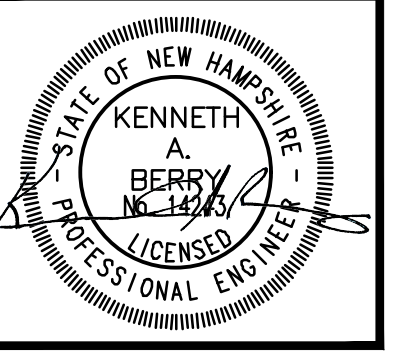


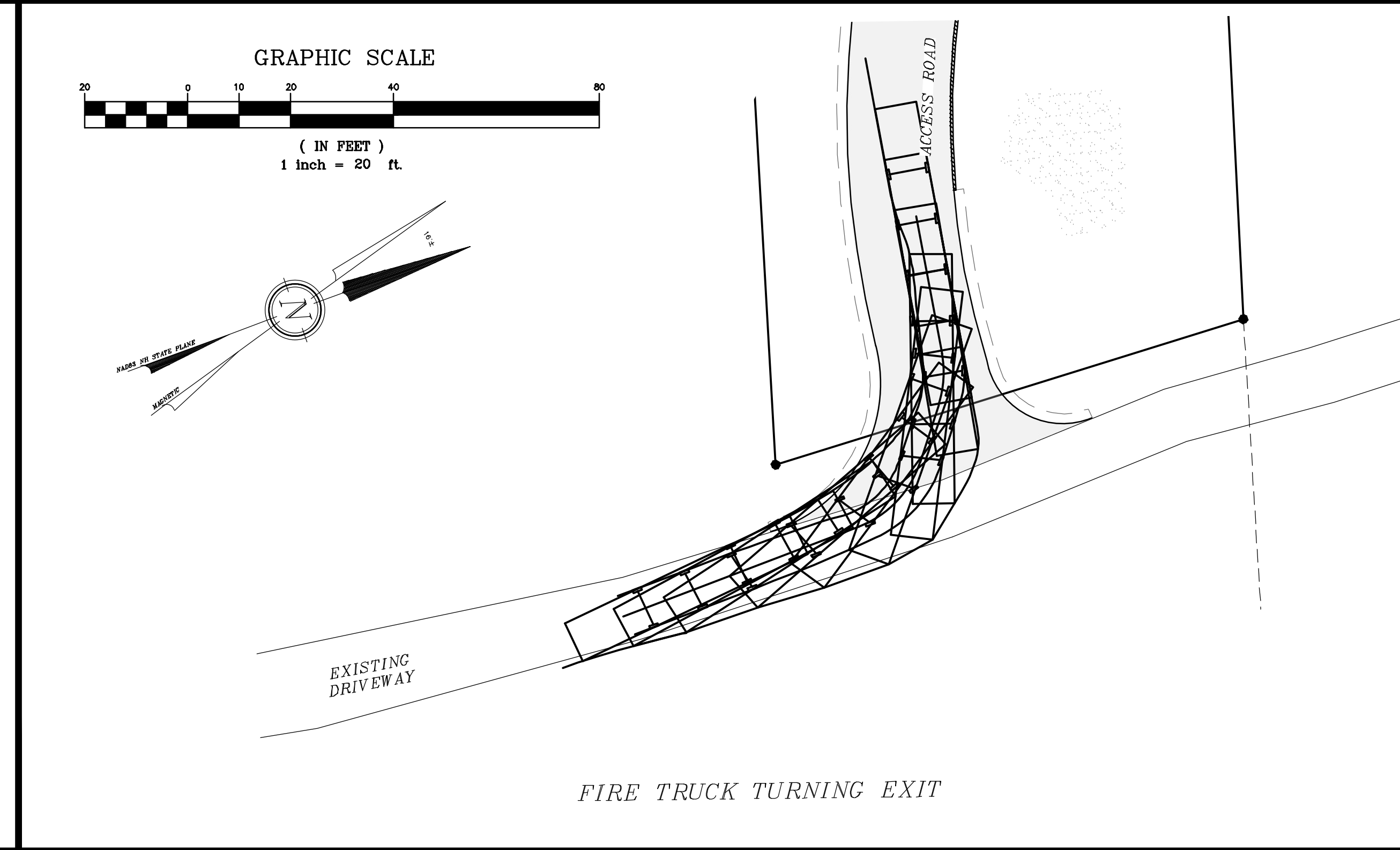
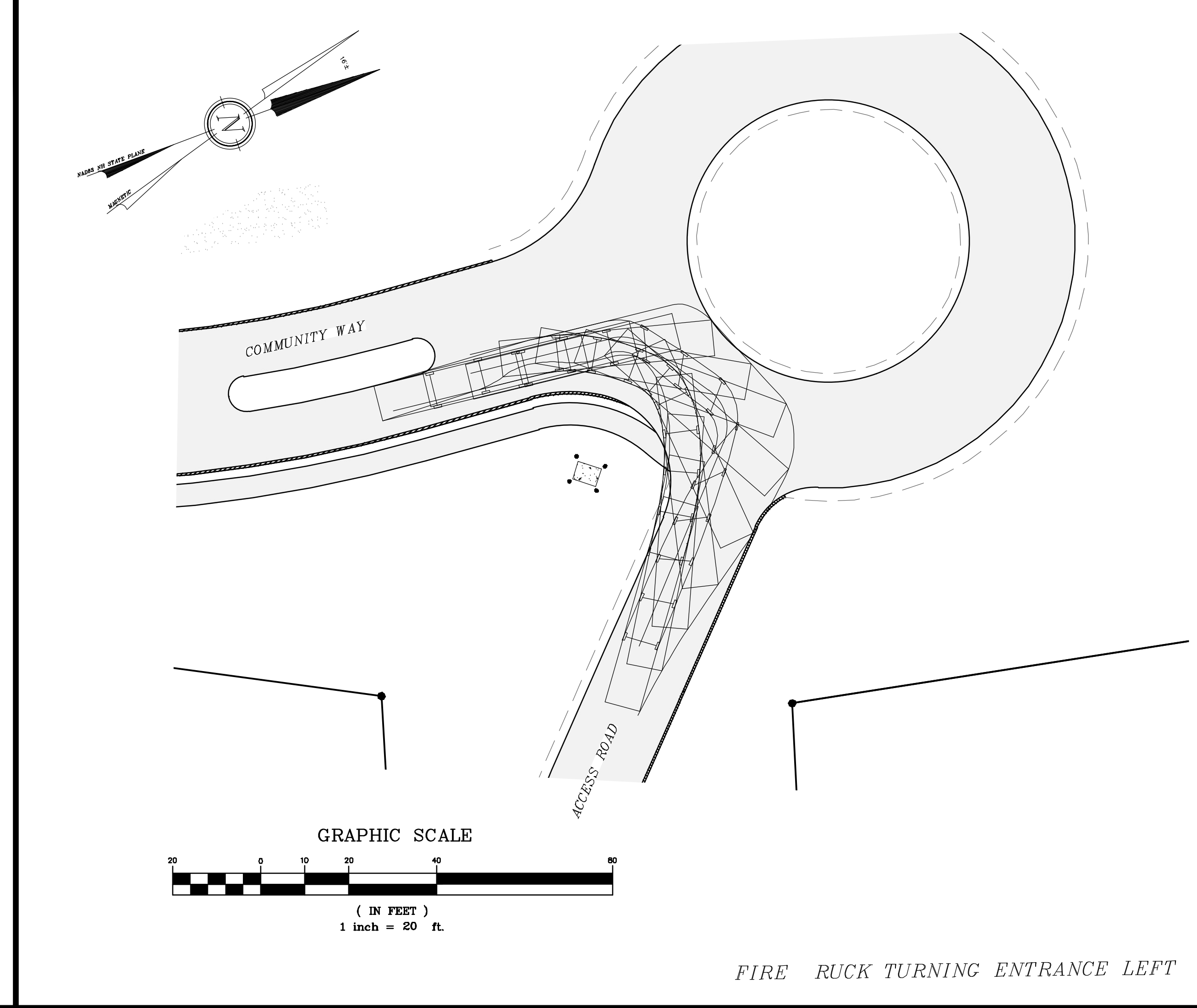
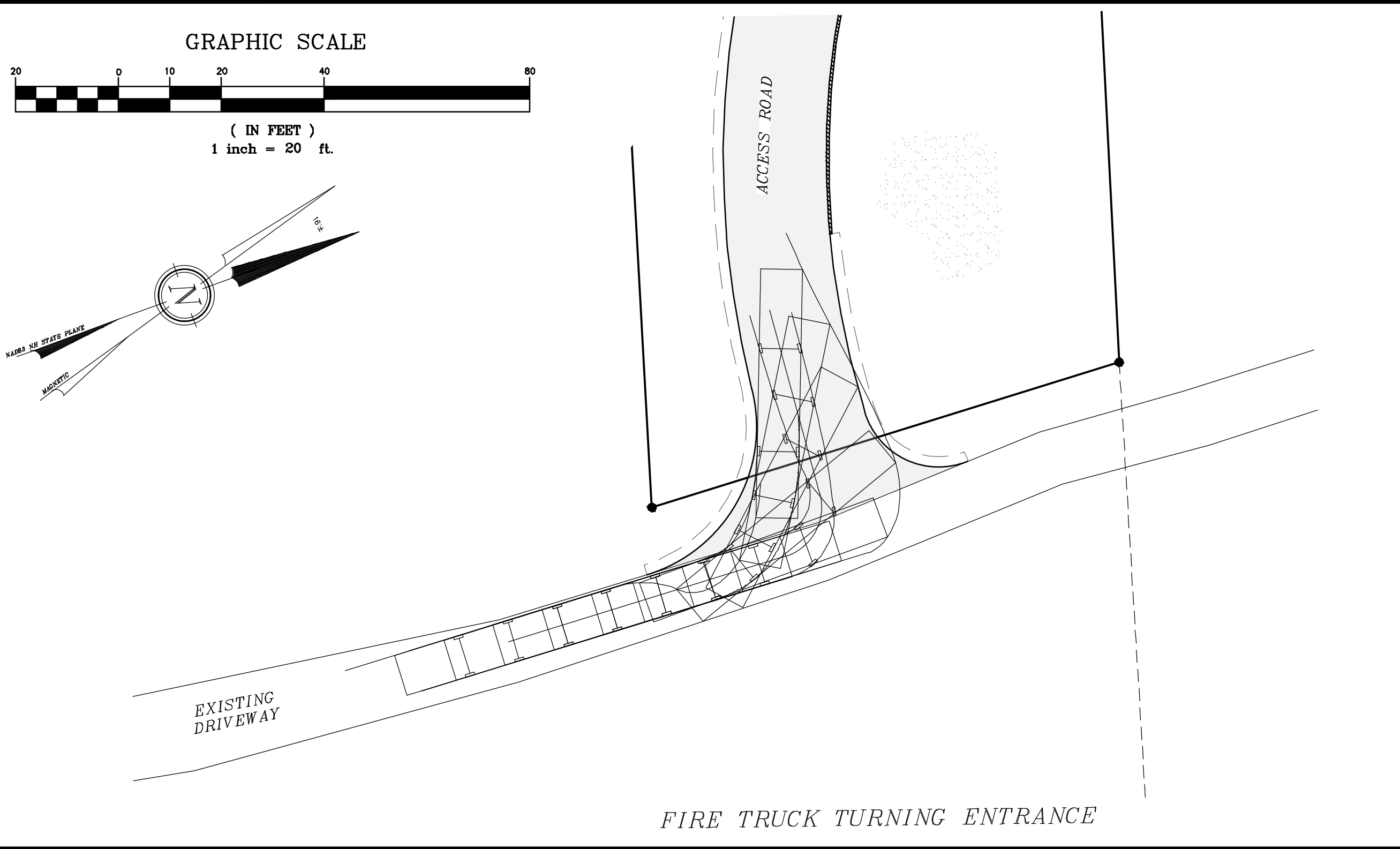
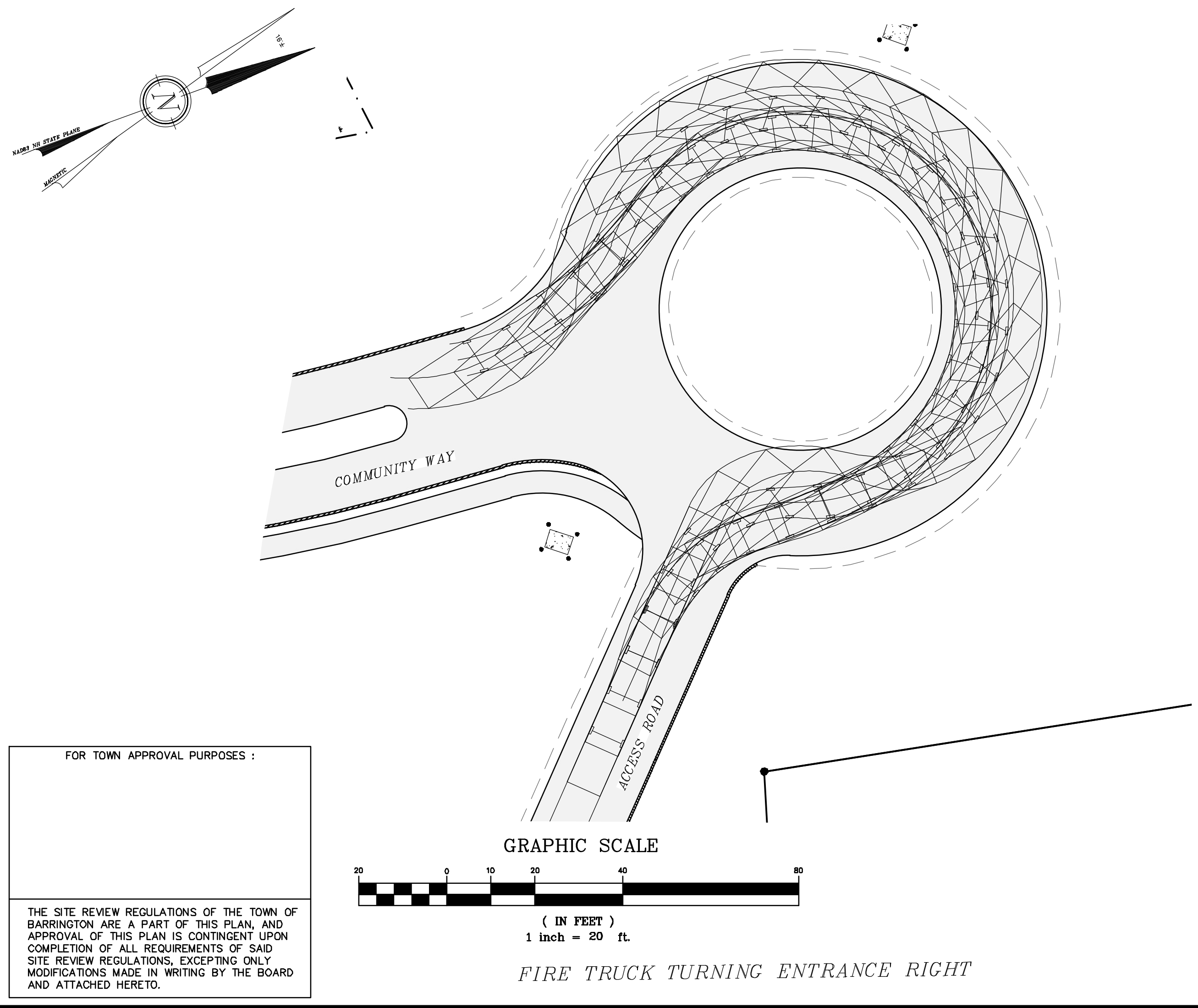


REVISION	DATE	DESCRIPTION

FIRE TRUCK TURNING HIGH POINT DRIVE
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JUNE 14, 2021
FILE NO. : DB 2020 - 097





REVISION	DATE	DESCRIPTION

FIRE TRUCK TURNING ACCESS ROAD
LAND OF
DOVE DEVELOPMENT GROUP, LLC
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY
COMMUNITY WAY
BARRINGTON, NH
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
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