

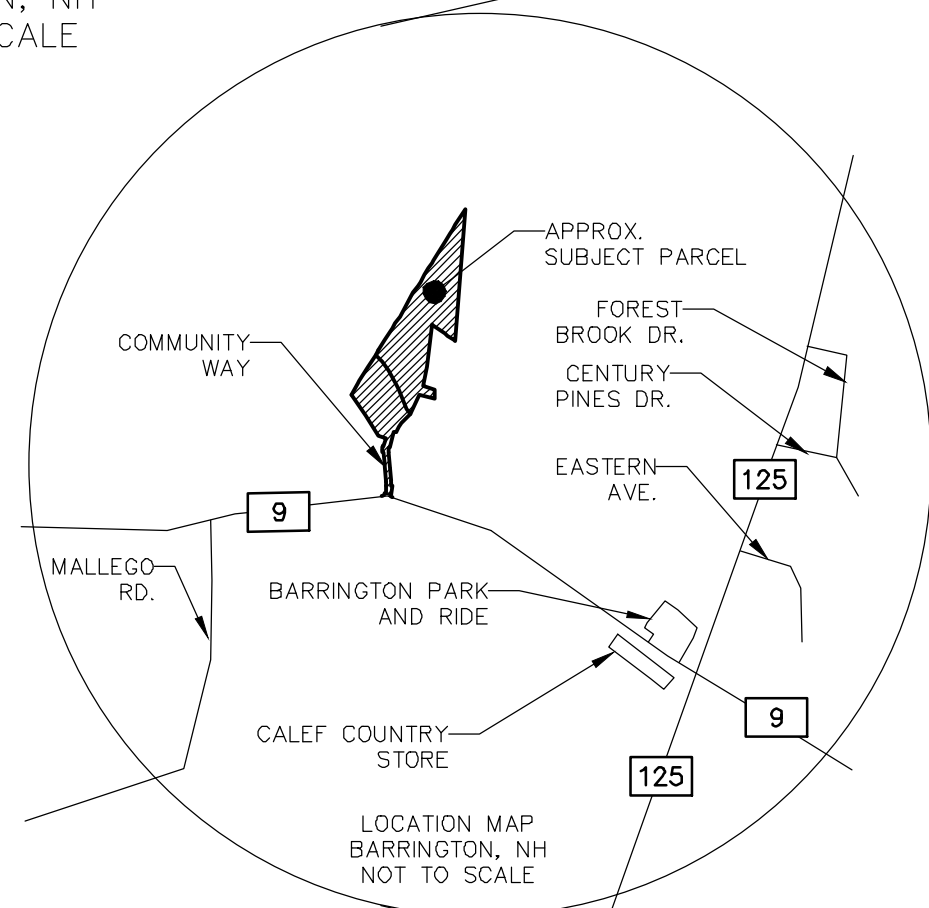
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OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820

APPLICANT: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820

LOCATION PLAN  
BARRINGTON, NH  
NOT TO SCALE



# "THE VILLAGE AT BARRINGTON SQUARE" FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS  
CPESC, CESSWI, CPSWQ  
BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825  
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS  
CPESC, CESSWI, CPSWQ  
BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825  
(603) 332-2863

WETLAND SCIENTIST: JOHN P. HAYES III, CSS, CWS  
& SOIL SCIENTIST: 7 LIMESTONE WAY  
NORTH HAMPTON, NH 03862  
(603) 205-4396

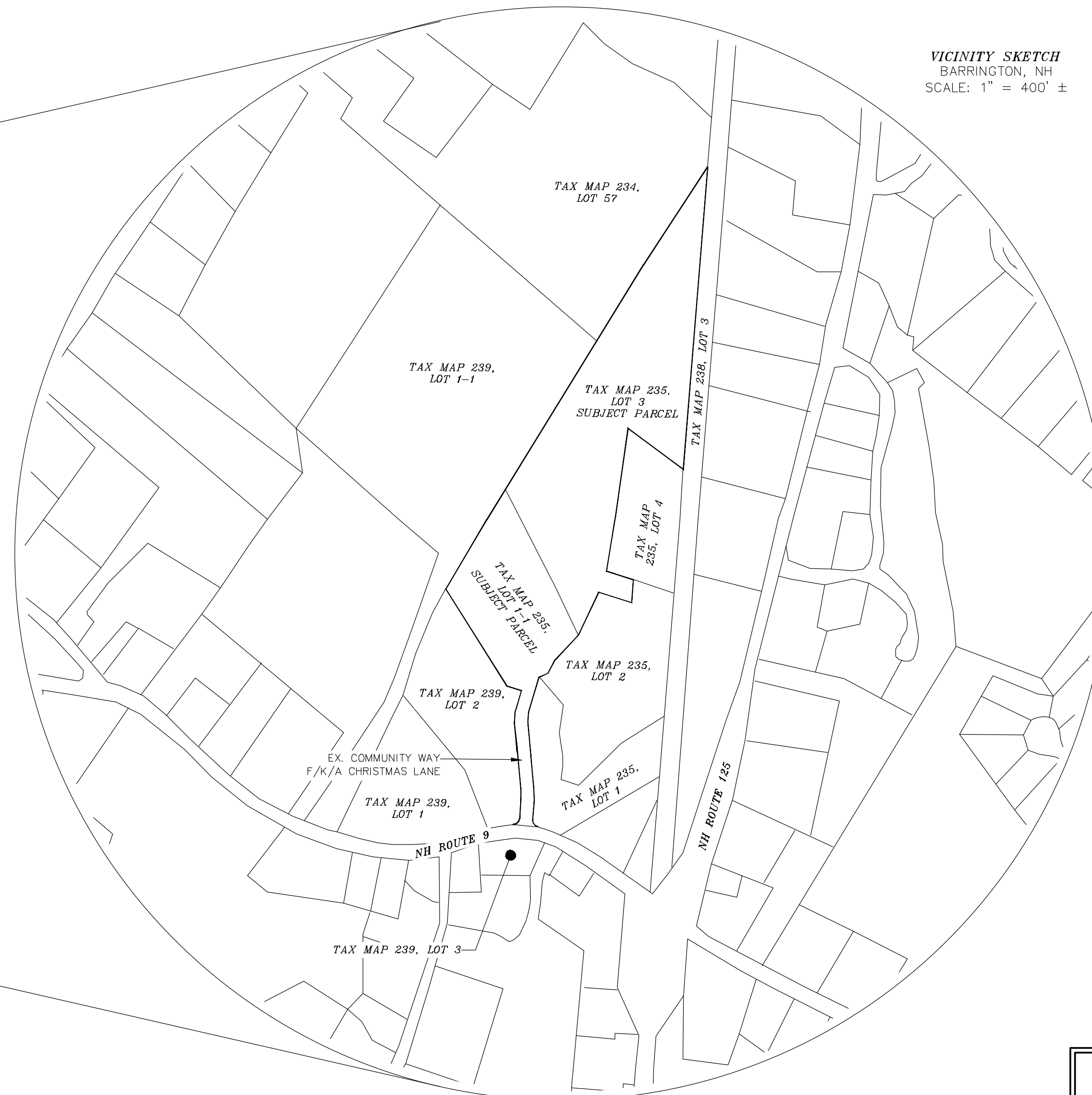
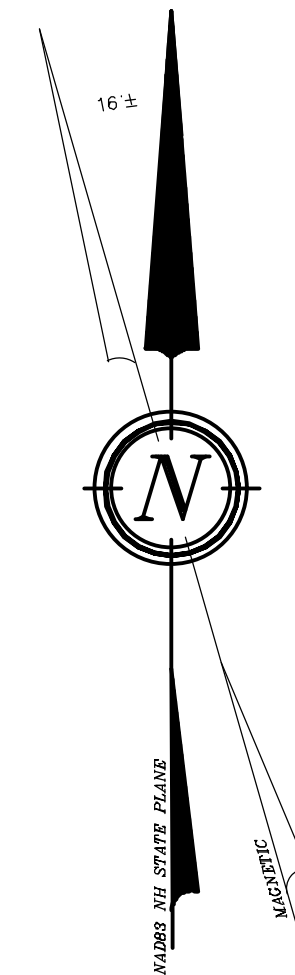
**NOTE:**

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE TOWN OF BARRINGTON LAND USE OFFICE.

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE PLAN, THE SITE PLAN APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE TOWN OF BARRINGTON LAND SITE PLAN REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SITE PLAN APPROVAL.

REFERENCE IS MADE TO 1962 REAL ESTATE, LLC AND JOHN & LINDA SVENSON SITE PLAN REVIEW FROM OCTOBER 2018 FOR TM 235, LOT 1 AND TM 239, LOT 2, PARTS OF WHICH ARE INCLUDED IN THIS PLAN SET.

VICINITY SKETCH  
BARRINGTON, NH  
SCALE: 1" = 400' ±



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

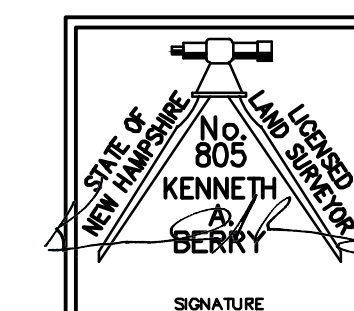
OWNER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**REQUIRED PERMITS:**

- ~ NHDES ALTERATION OF TERRAIN PERMIT (PENDING)
- ~ US EPA NOI & SWPPP (PENDING)
- ~ NATURAL HERITAGE BUREAU NHB20-3670
- ~ NH DIVISION OF HISTORICAL RESOURCES (PENDING)
- ~ NHDOT DRIVEWAY PERMIT (PENDING)
- ~ NHDES WETLAND IMPACT PERMIT (PENDING)
- ~ NHDES SUBSURFACE DISPOSAL PERMIT (PENDING)
- ~ NHDES PUBLIC WATER SUPPLY PERMIT (PENDING)
- ~ CONDITIONAL USE PERMIT (PENDING)

**GENERAL PLAN SET NOTES:**

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE TOWN OF BARRINGTON.



BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : AS SHOWN  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

| #1 | #2 | REVISION | DATE                     | DESCRIPTION  |
|----|----|----------|--------------------------|--|
|    |    |          | 10-12-2021<br>08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT<br>REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

MIXED USE SITE PLAN / LOT LINE REVISION  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**ADJUTERS:**

N/F 1962 REAL ESTATE LLC  
133 BROOK STREET  
ROCHESTER, NH 03867  
TAX MAP 239, LOT 2  
S.C.R.D. BOOK 4554, PAGE 813

N/F KAY, EDWARD  
21 LITTLEWORTH ROAD  
DOVER, NH 03820  
TAX MAP 234, LOT 79

N/F SVENSON, GARTH & ELIZABETH  
P.O. BOX 10  
BARRINGTON, NH 03825  
TAX MAP 235, LOT 2  
S.C.R.D. BOOK 3366, PAGE 451

N/F SVENSON, LINDA L. C.  
P.O. BOX 10  
BARRINGTON, NH 03825  
TAX MAP 236, LOT 3  
S.C.R.D. BOOK 4022, PAGE 576

N/F BROOKS, KIM PAUL & DEBRA SUZANNE  
477 FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH 03825  
TAX MAP 238, LOT 16  
S.C.R.D. BOOK 4708, PAGE 266

N/F HENDERSON, DAVID & GLENDA UND. INT. LIV. REVOCABLE TRUST 1/2  
1273 WINGED FOOT LANE  
DENVER, CO 80337-6520  
TAX MAP 239, LOT 1-1

N/F HARVEY, CANDICE K.  
P.O. BOX 452  
BARRINGTON, NH 03825  
TAX MAP 239, LOT 1  
S.C.R.D. BOOK 4710, PAGE 1016

**ADJUTERS CONT'D:**

N/F LEFER, SUSAN  
624 FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH 03825  
TAX MAP 239, LOT 3  
S.C.R.D. BOOK 4723, PAGE 26

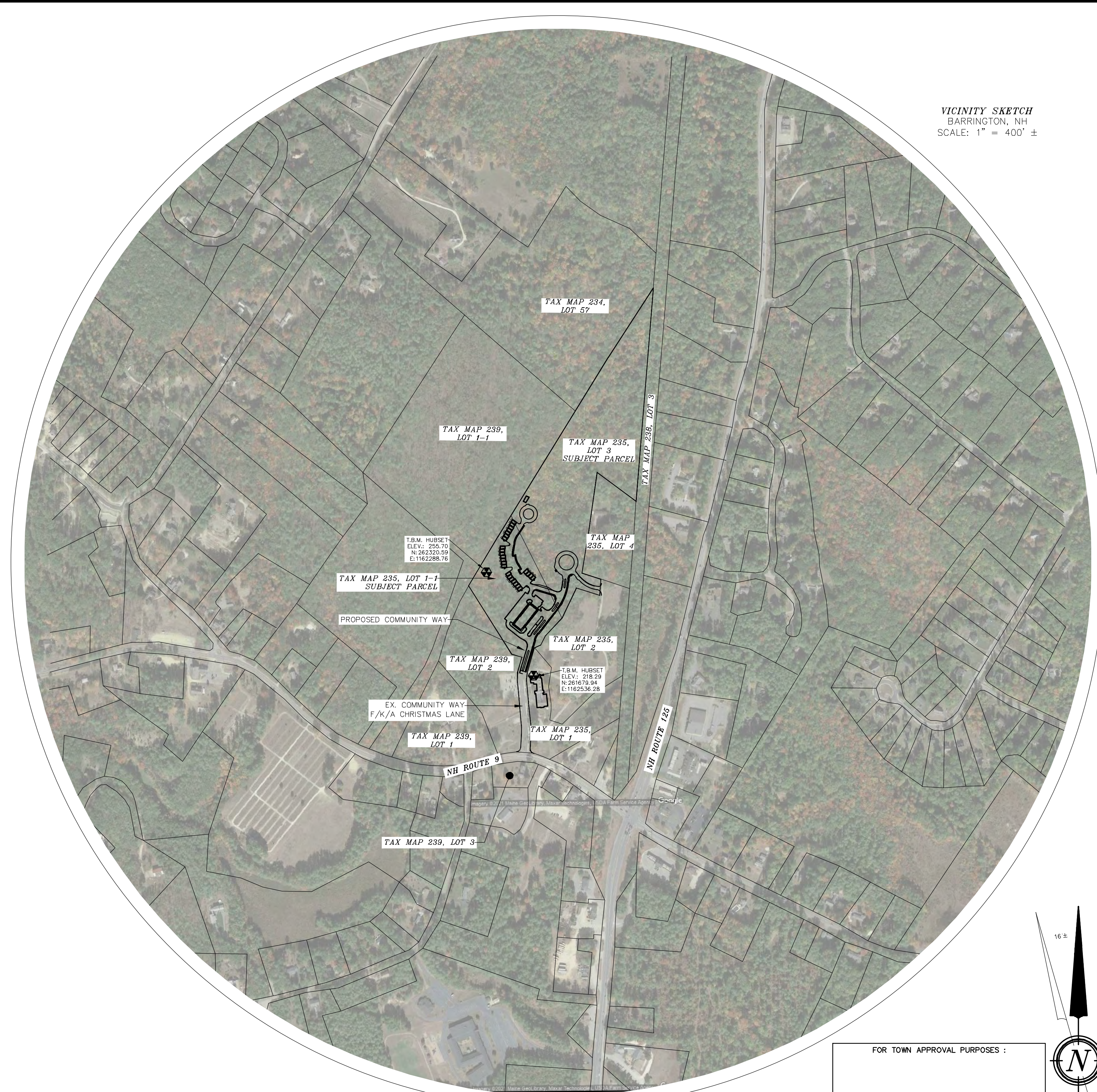
N/F ROBBINS FAMILY 2020 TRUST  
ROBBINS, DAVID G., TRUSTEE  
9 MALLEGO ROAD  
BARRINGTON, NH 03825  
TAX MAP 239, LOT 4

N/F TOWN CENTER PROPERTIES LLC  
P.O. BOX 727  
DOVER, NH 03820  
TAX MAP 239, LOT 7  
S.C.R.D. BOOK 4347, PAGE 960

N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 993, PAGE 080  
TAX MAP 235, LOT 1

N/F BERNARD F. BENNETT, SR. 2017 REV. TRUST  
BENNETT, BERNARD F. SR. & SUSAN D., TRUSTEES & SUSAN BENNETT 2017 REV. TRUST  
BENNETT, SUSAN D. & BERNARD F. SR., TRUSTEES  
611 FRANKLIN PIERCE HWY.  
BARRINGTON, NH 03825  
TAX MAP 239, LOT 1  
S.C.R.D. BOOK 4471, PAGE 925

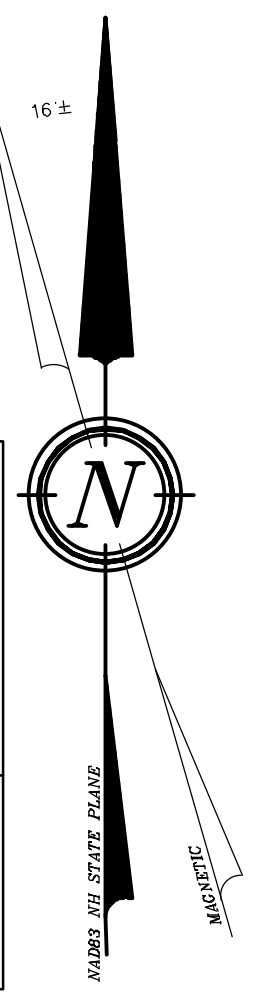
VICINITY SKETCH  
BARRINGTON, NH  
SCALE: 1" = 400' ±



| SIGN ID NUMBER | SIGN SIZE (WIDTH x HEIGHT) | SIGN | TEXT DIMENSIONS   | NO. OF SIGNS | BACKGROUND           | LEGEND                        | BORDER | POST SIZE & QUANTITY |
|----------------|----------------------------|------|---|--------------|----------------------|-------------------------------|--------|----------------------|
| R1-1           | 30"x30"                    |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 4            | RED                  | WHITE                         | WHITE  | SQUARE (4)           |
| R2-1           | 12"x18"                    |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 1            | WHITE                | GREEN                         | GREEN  | SQUARE (1)           |
| R4-7           | 24"x30"                    |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 1            | WHITE W/ BLACK ARROW | BLACK                         | BLACK  | SQUARE (1)           |
| R7-8           | 12"x18"                    |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 4            | WHITE                | GREEN W/ WHITE SYMBOL ON BLUE | RED    | SQUARE (4)           |
| R7-8a          | 12"x6"                     |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 2            | WHITE                | GREEN                         | GREEN  | SQUARE (0)           |
| W14-2          | 30"x30"                    |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 1            | YELLOW               | BLACK                         | BLACK  | SQUARE (1)           |
| R6-1R          | 36"x12"                    |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 2            | BLACK W/ WHITE ARROW | BLACK                         | WHITE  | SQUARE (2)           |
| W11-2          | 30"x30"                    |      | SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA | 3            | YELLOW               | BLACK                         | BLACK  | SQUARE (3)           |

FOR TOWN APPROVAL PURPOSES :

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| #1 | #2 | REVISION   | DATE       | DESCRIPTION                                   |
|----|----|------------|------------|---|
|    |    | 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |            |            | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

NEIGHBORHOOD PLAN  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : AS SHOWN  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 1442  
PROFESSIONAL ENGINEER

SHEET 1 OF 109

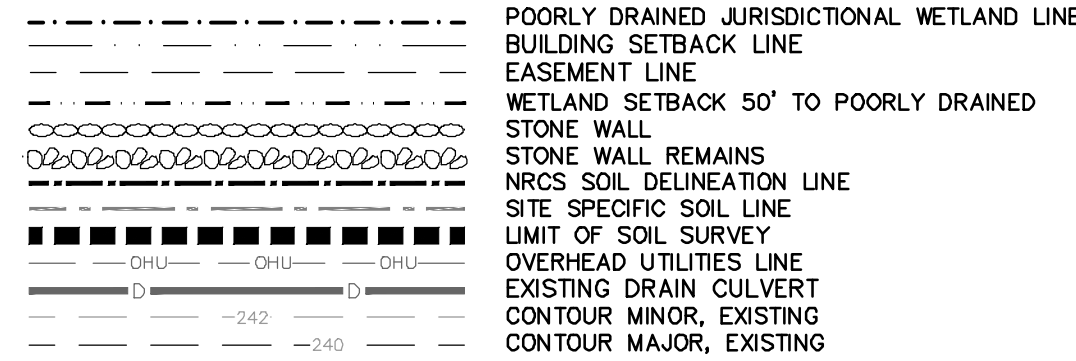
ABBREVIATION LEGEND:

Table with 2 columns: Abbreviation and Description. Includes items like E.O.P. EDGE OF PAVEMENT, S.G.C. SLOPED GRANITE CURB, V.G.C. VERTICAL GRANITE CURB, etc.

Table with 2 columns: Abbreviation and Description. Includes items like SSL ( ) ~ {SIZE} SINGLE SOLID LINE, DSL ( ) ~ {SIZE} DOUBLE SOLID LINE, etc.

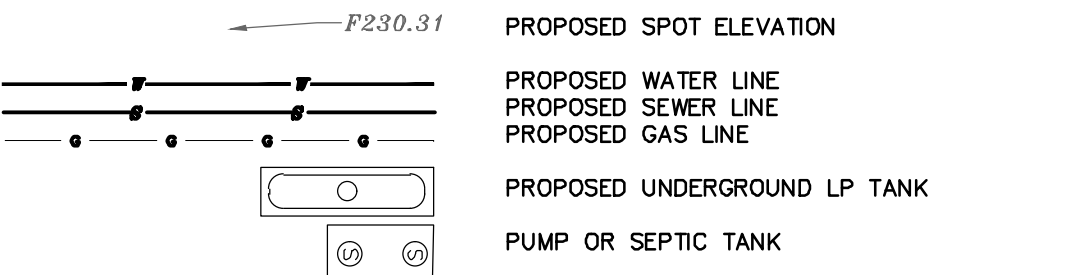
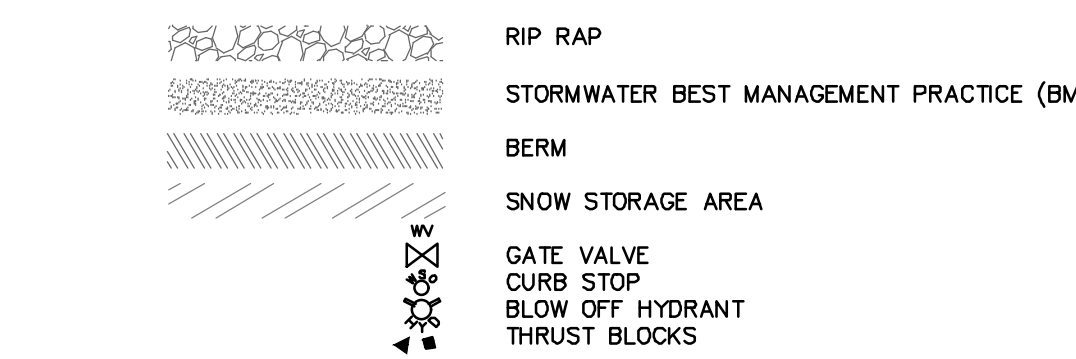
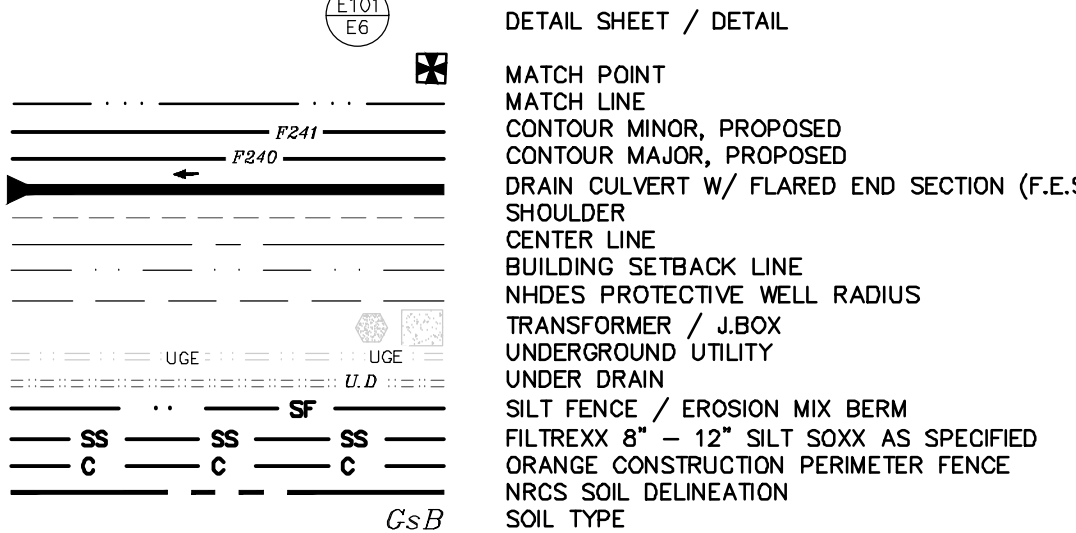
EXISTING LEGEND:

Table with 2 columns: Symbol and Description. Includes symbols for DRILL HOLE, IRON PIPE, IRON BOUND, etc.



PROPOSED LEGEND:

Table with 2 columns: Symbol and Description. Includes symbols for 4"x4" GRANITE BOUND, 3/4" REBAR, etc.



SITE PLAN NOTES:

- 1.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, PART OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REEF: FEMA COMMUNITY# - 330178, MAP# - 33017CD0305E, DATED: SEPTEMBER 30, 2015.
2.) LOCUS PARCEL IS SUBJECT TO & BENEFITED BY EASEMENTS AS NOTED.
3.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN JUNE 2017 & DECEMBER OF 2020 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000 UNDER NO SNOW CONDITIONS.

EROSION AND SEDIMENT CONTROL NOTES:

- 1.) EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT.
2.) SILT FENCE MAY BE SUBSTITUTED WITH FILTEREXX SILT SOXX OR EROSION CONTROL MIX BERM.
3.) PER EPA CGP 2.1.2.2 (INSTALL PERIMETER CONTROL). "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES"

STANDARD CONSTRUCTION NOTES:

- 1.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
2.) TWO ON SITE BENCHMARKS ARE PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
3.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
4.) SEE UTILITY PLANS FOR DETAILS ON THE PROPOSED SEWER, WATER, AND UNDERGROUND ELECTRIC LINES SHOWN.

BEST MANAGEMENT PRACTICES AND EXCAVATION NOTES:

- 1.) BEST MANAGEMENT PRACTICES FOR BLASTING. ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN.
2.) EXPLOSIVE SELECTION. THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED.
3.) PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.

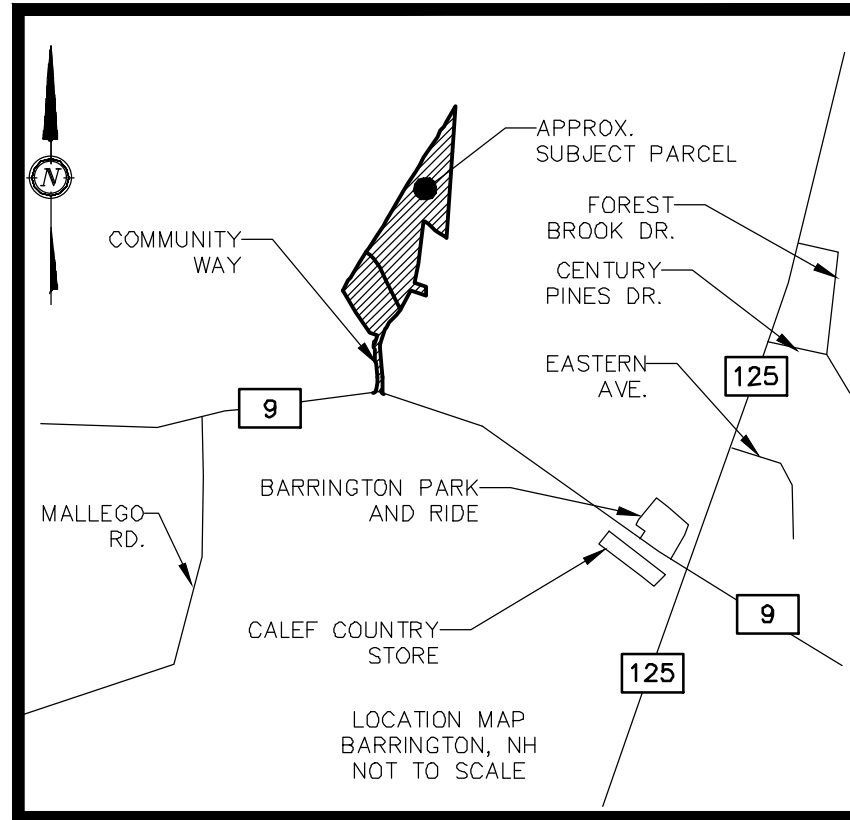
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Table with 2 columns: REVISION and DESCRIPTION. Includes revision #1, #2, #3 with dates and descriptions.

Table with 2 columns: PROJECT LEGEND AND NOTES and TAX MAP. Includes project name, location, and map information.

Professional Engineer seal for Kenneth A. Berry, State of New Hampshire, License No. 14922. Includes contact information for Berry Surveying & Engineering.

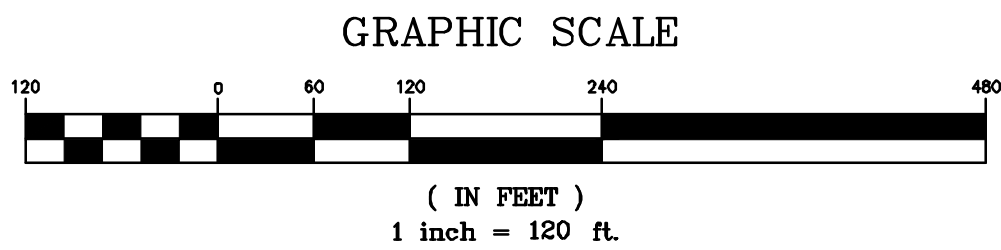


**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 235, LOTS 1-1 & 3, LOCATED IN BARRINGTON, N.H., IN RELATION TO THE THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIFER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- 8.) CONSISTING OF THREE PLAN SHEETS NUMBERED SHEET 3, 4, AND 5. THIS BEING AN OVERVIEW PLAN, SOUTH AND NORTH DETAILS TO BE RECORDED.

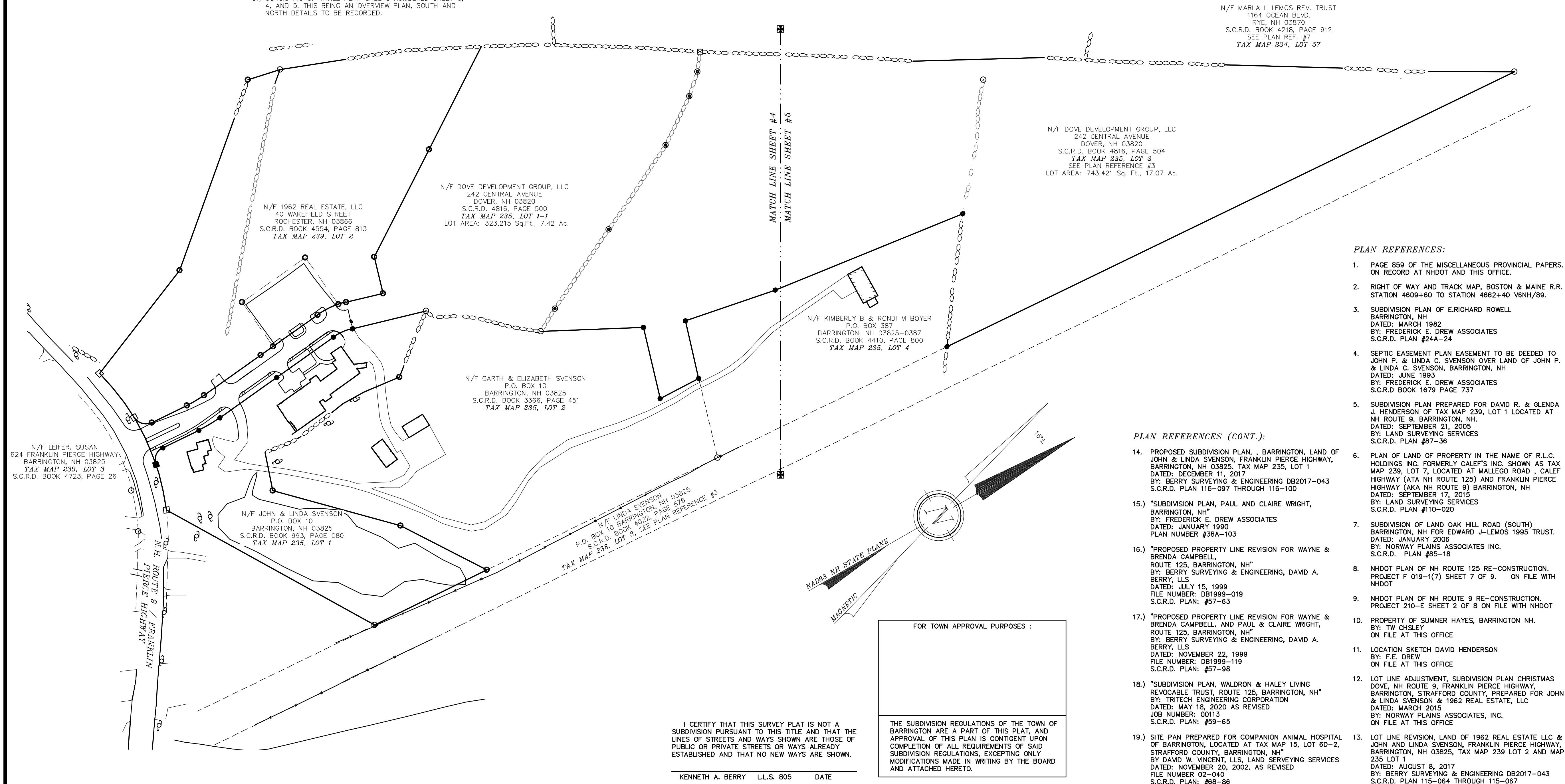
**LEGEND:**

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- MATCH POINT
- MATCH LINE
- PERIMETER BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- STONE WALL
- FND
- FOUND
- TBS
- TO BE SET
- TYP.
- S.C.R.D.
- STRAFFORD COUNTY REGISTRY OF DEEDS



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 697, PAGE 121  
**TAX MAP 235, LOT 1**  
SEE PLAN REFERENCE #5

N/F MARLA L. LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
SEE PLAN REF. #7  
**TAX MAP 234, LOT 57**



**PLAN REFERENCES:**

1. PAGE 859 OF THE MISCELLANEOUS PROVINCIAL PAPERS. ON RECORD AT NHDOT AND THIS OFFICE.
2. RIGHT OF WAY AND TRACK MAP, BOSTON & MAINE R.R. STATION 4609+60 TO STATION 4662+40 V6NH/89.
3. SUBDIVISION PLAN OF E. RICHARD ROWELL BARRINGTON, NH DATED: MARCH 1982 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. PLAN #24A-24
4. SEPTIC EASEMENT PLAN EASEMENT TO BE DEEDED TO JOHN P. & LINDA C. SVENSON OVER LAND OF JOHN P. & LINDA C. SVENSON, BARRINGTON, NH DATED: JUNE 1993 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. BOOK 1679 PAGE 737
5. SUBDIVISION PLAN PREPARED FOR DAVID R. & GLENDA J. HENDERSON OF TAX MAP 239, LOT 1 LOCATED AT NH ROUTE 9, BARRINGTON, NH. DATED: SEPTEMBER 21, 2005 BY: LAND SURVEYING SERVICES S.C.R.D. PLAN #87-36

**PLAN REFERENCES (CONT.):**

14. PROPOSED SUBDIVISION PLAN, BARRINGTON, LAND OF JOHN & LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 235, LOT 1 DATED: DECEMBER 11, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 116-097 THROUGH 116-100
15. "SUBDIVISION PLAN, PAUL AND CLAIRE WRIGHT, BARRINGTON, NH" BY: FREDERICK E. DREW ASSOCIATES DATED: JANUARY 1990 PLAN NUMBER #38A-103
16. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: JULY 15, 1999 FILE NUMBER: DB1999-019 S.C.R.D. PLAN: #57-63
17. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, AND PAUL & CLAIRE WRIGHT, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: NOVEMBER 22, 1999 FILE NUMBER: DB1999-119 S.C.R.D. PLAN: #57-98
18. "SUBDIVISION PLAN, WALDRON & HALEY LIVING REVOCABLE TRUST, ROUTE 125, BARRINGTON, NH" BY: TRITECH ENGINEERING CORPORATION DATED: MAY 18, 2020 AS REVISED JOB NUMBER: 00113 S.C.R.D. PLAN: #59-65
19. SITE PAN PREPARED FOR COMPANION ANIMAL HOSPITAL OF BARRINGTON, LOCATED AT TAX MAP 15, LOT 6D-2, STRAFFORD COUNTY, BARRINGTON, NH BY DAVID W. VINCENT, LLS. LAND SURVEYING SERVICES DATED: NOVEMBER 20, 2002, AS REVISED FILE NUMBER 02-040 S.C.R.D. PLAN: #68-86
6. PLAN OF LAND OF PROPERTY IN THE NAME OF R.L.C. HOLDINGS INC. FORMERLY CALEF'S INC. SHOWN AS TAX MAP 239, LOT 7, LOCATED AT MALLEGRO ROAD, CALEF HIGHWAY (ATA NH ROUTE 125) AND FRANKLIN PIERCE HIGHWAY (AKA NH ROUTE 9) BARRINGTON, NH DATED: SEPTEMBER 17, 2015 BY: LAND SURVEYING SERVICES S.C.R.D. PLAN #11D-020
7. SUBDIVISION OF LAND OAK HILL ROAD (SOUTH) BARRINGTON, NH FOR EDWARD J-LEMONS 1995 TRUST. DATED: JANUARY 2006 BY: NORWAY PLAINS ASSOCIATES INC. S.C.R.D. PLAN #85-18
8. NHDOT PLAN OF NH ROUTE 125 RE-CONSTRUCTION. PROJECT F 019-1(7) SHEET 7 OF 9. ON FILE WITH NHDOT
9. NHDOT PLAN OF NH ROUTE 9 RE-CONSTRUCTION. PROJECT 210-E SHEET 2 OF 8 ON FILE WITH NHDOT
10. PROPERTY OF SUMNER HAYES, BARRINGTON NH. BY: TW OHSLEY ON FILE AT THIS OFFICE
11. LOCATION SKETCH DAVID HENDERSON BY: F.E. DREW ON FILE AT THIS OFFICE
12. LOT LINE ADJUSTMENT, SUBDIVISION PLAN CHRISTMAS DOVE, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, BARRINGTON, STRAFFORD COUNTY, PREPARED FOR JOHN & LINDA SVENSON & 1962 REAL ESTATE, LLC DATED: MARCH 2015 BY: NORWAY PLAINS ASSOCIATES, INC. ON FILE AT THIS OFFICE
13. LOT LINE REVISION, LAND OF 1962 REAL ESTATE LLC & JOHN AND LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 239 LOT 2 AND MAP 235 LOT 1 DATED: AUGUST 8, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 115-064 THROUGH 115-067

N/F LEIFER, SUSAN  
624 FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH 03825  
**TAX MAP 239, LOT 3**  
S.C.R.D. BOOK 4723, PAGE 26

N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 993, PAGE 080  
**TAX MAP 235, LOT 1**

N/F GARTH & ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366, PAGE 451  
**TAX MAP 235, LOT 2**

N/F LINDA SVENSON  
P.O. BOX 10 BARRINGTON, NH 03825  
S.C.R.D. BOOK 4022, PAGE 578  
**TAX MAP 239, LOT 3**. SEE PLAN REFERENCE #5

N/F KIMBERLY B & RONDIE M BOYER  
P.O. BOX 387  
BARRINGTON, NH 03825-0387  
S.C.R.D. BOOK 4410, PAGE 800  
**TAX MAP 235, LOT 4**

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. 4816, PAGE 500  
**TAX MAP 235, LOT 1-1**  
LOT AREA: 323,215 Sq.Ft., 7.42 Ac.

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
**TAX MAP 235, LOT 3**  
SEE PLAN REFERENCE #3  
LOT AREA: 743,421 Sq. Ft., 17.07 Ac.

KENNETH A. BERRY L.L.S. 805 DATE

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

FOR TOWN APPROVAL PURPOSES :

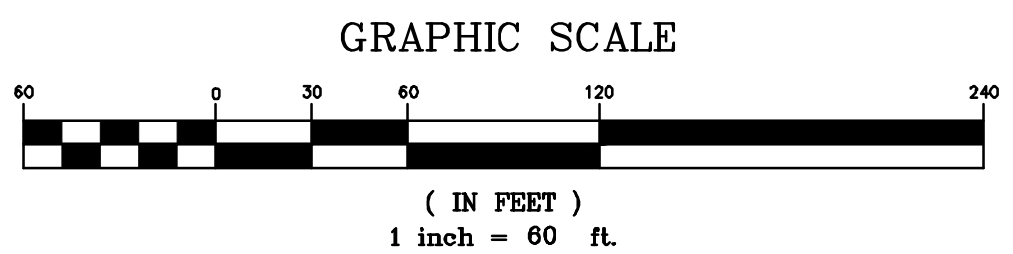
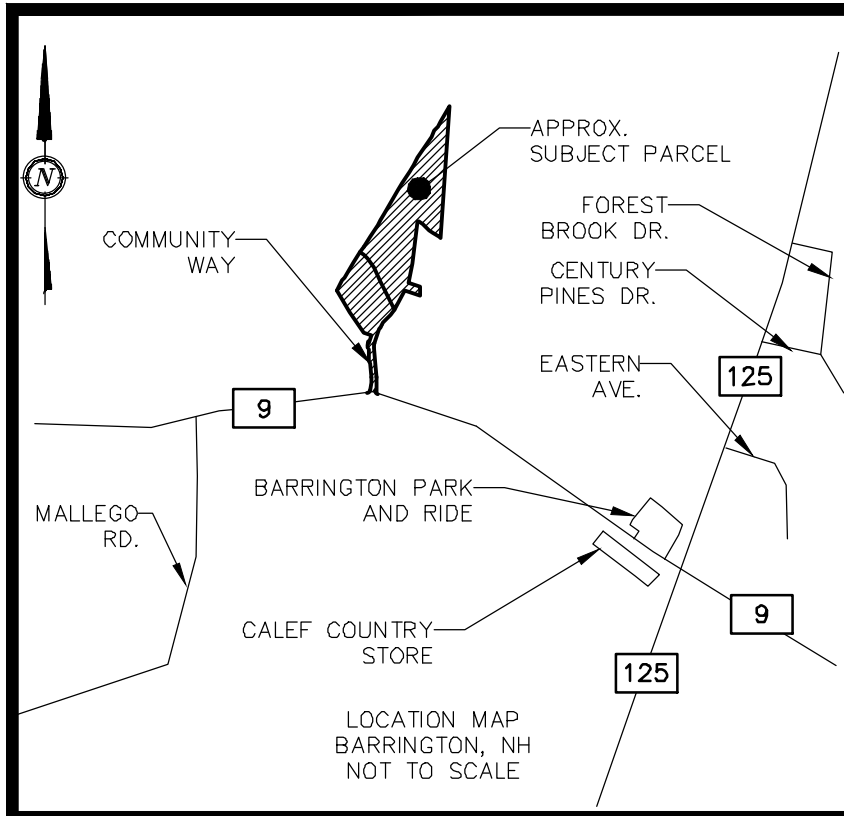
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #1 | #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

OVERVIEW BOUNDARY PLAN  
OF  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
**TAX MAP 235 LOT 1-1 & MAP 235 LOT 3**

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 120 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

**KENNETH A. BERRY**  
SIGNATURE



**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 235, LOTS 1-1 & 3, LOCATED IN BARRINGTON, N.H., IN RELATION TO THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.

N/F HARVEY, CANDICE K.  
P.O. BOX 452  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4710, PAGE 1016  
TAX MAP 239, LOT 1  
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 613  
TAX MAP 239, LOT 2

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 500  
TAX MAP 235, LOT 1-1  
LOT AREA: 323,215 Sq.Ft., 7.42 Ac.

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
TAX MAP 235, LOT 3  
SEE PLAN REFERENCE #3  
LOT AREA: 743,421 Sq. Ft., 17.07 Ac.

N/F KIMBERLY B. & RONI M BOYER  
P.O. BOX 387  
BARRINGTON, NH 03825-0387  
S.C.R.D. BOOK 4410, PAGE 800  
TAX MAP 235, LOT 4

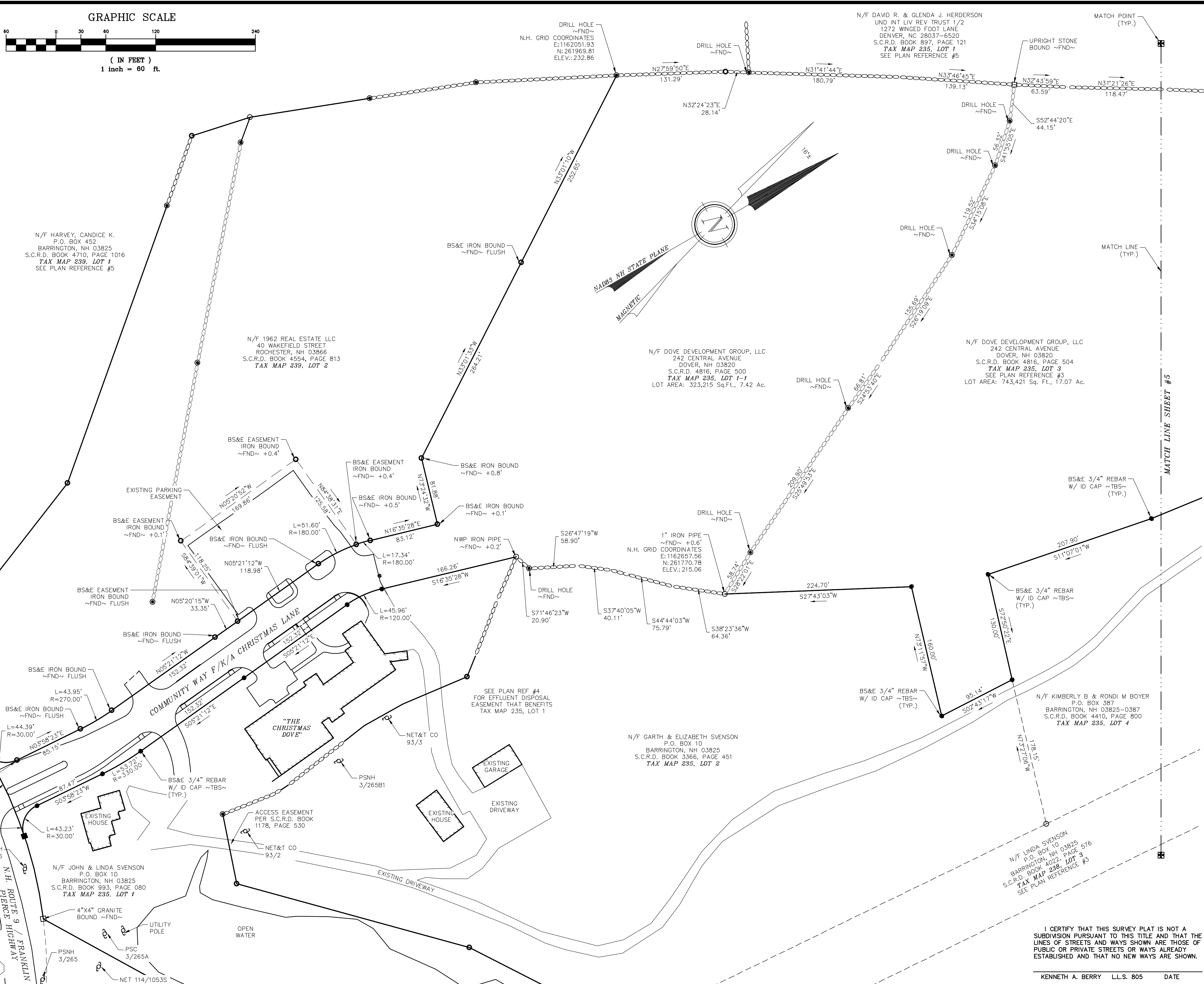
N/F GARTH & ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366, PAGE 451  
TAX MAP 235, LOT 2

N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 993, PAGE 080  
TAX MAP 235, LOT 1

- LEGEND:**
- 4"x4" GRANITE BOUND ~FND~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND~/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - MATCH POINT
  - MATCH LINE
  - PERIMETER BOUNDARY
  - ADJUTING PROPERTY LINE
  - EXISTING EASEMENT
  - STONE WALL
  - FND FOUND
  - TBS TO BE SET
  - TYP. TYPICAL
  - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

**FOR TOWN APPROVAL PURPOSES :**

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



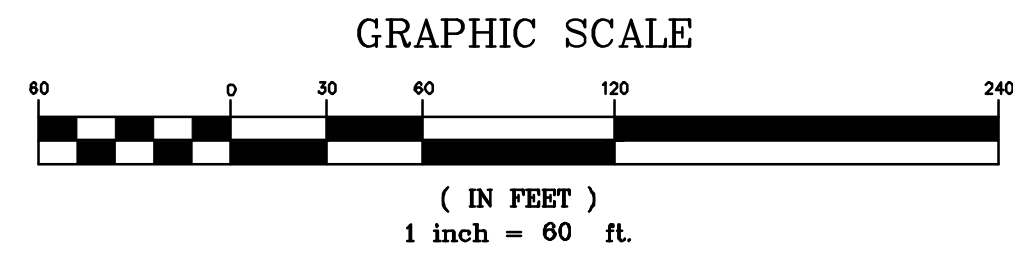
| #2 | #1 | REVISION | DATE       | DESCRIPTION                                     |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT |

BOUNDARY PLAN SOUTH  
OF  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 60 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

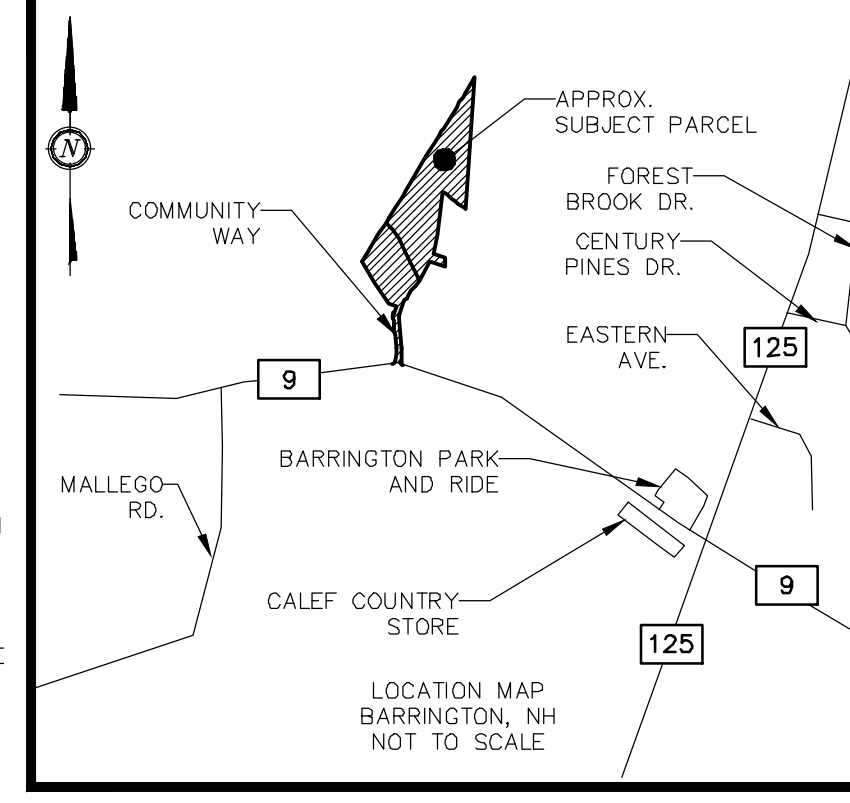
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE



- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - MATCH POINT
  - MATCH LINE
  - PERIMETER BOUNDARY
  - ABUTTING PROPERTY LINE
  - EXISTING EASEMENT
  - STONE WALL
  - FND FOUND
  - TBS TO BE SET
  - TYP. TYPICAL
  - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 235, LOTS 1-1 & 3, LOCATED IN BARRINGTON, N.H., IN RELATION TO THE THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
  - 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
  - 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.



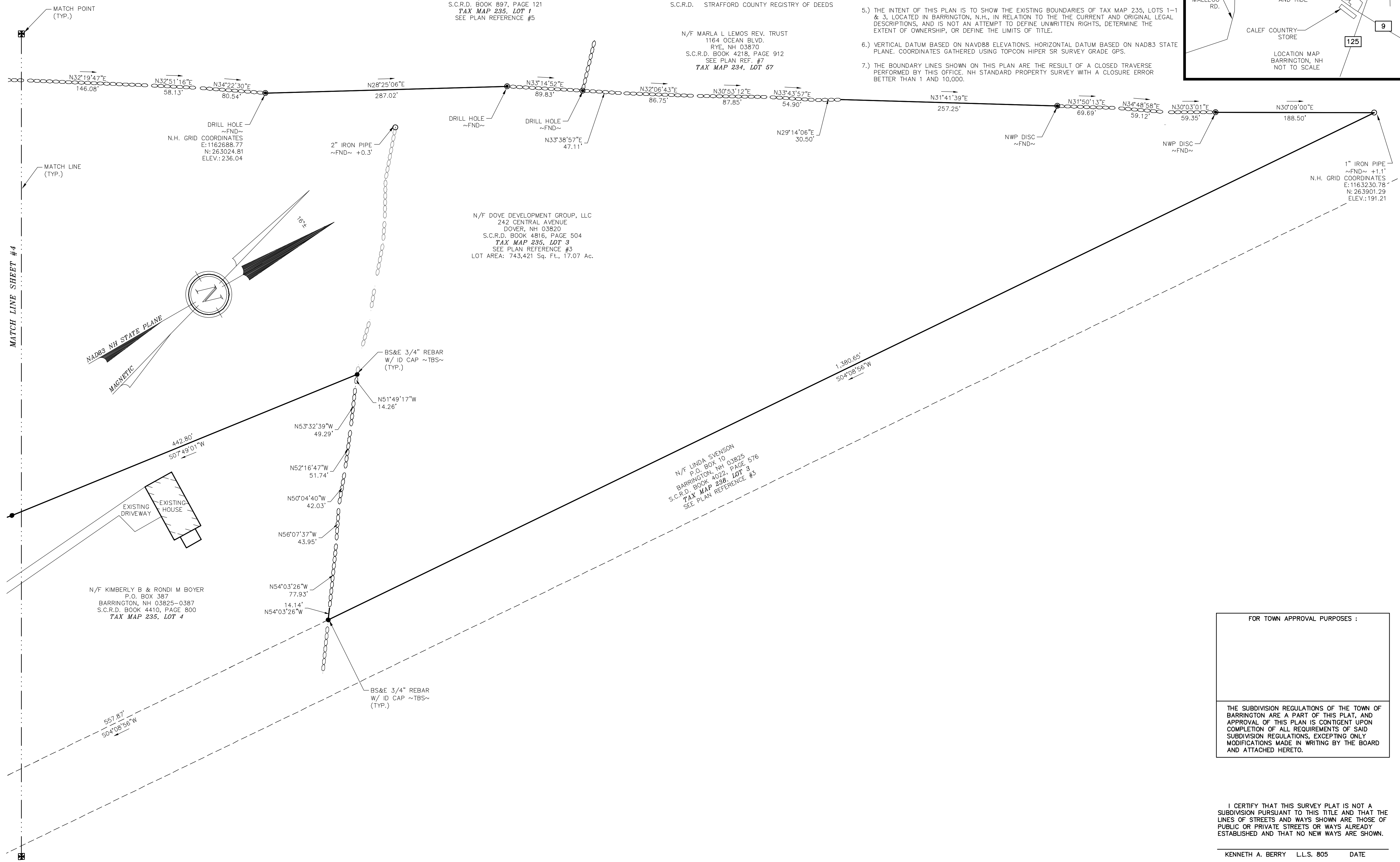
N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
**TAX MAP 235, LOT 1**  
SEE PLAN REFERENCE #5

N/F MARLA L. LEWIS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
SEE PLAN REF. #7  
**TAX MAP 234, LOT 57**

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
**TAX MAP 235, LOT 3**  
SEE PLAN REFERENCE #3  
LOT AREA: 743,421 Sq. Ft., 17.07 Ac.

N/F LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4022, PAGE 576  
**TAX MAP 238, LOT 3**  
SEE PLAN REFERENCE #3

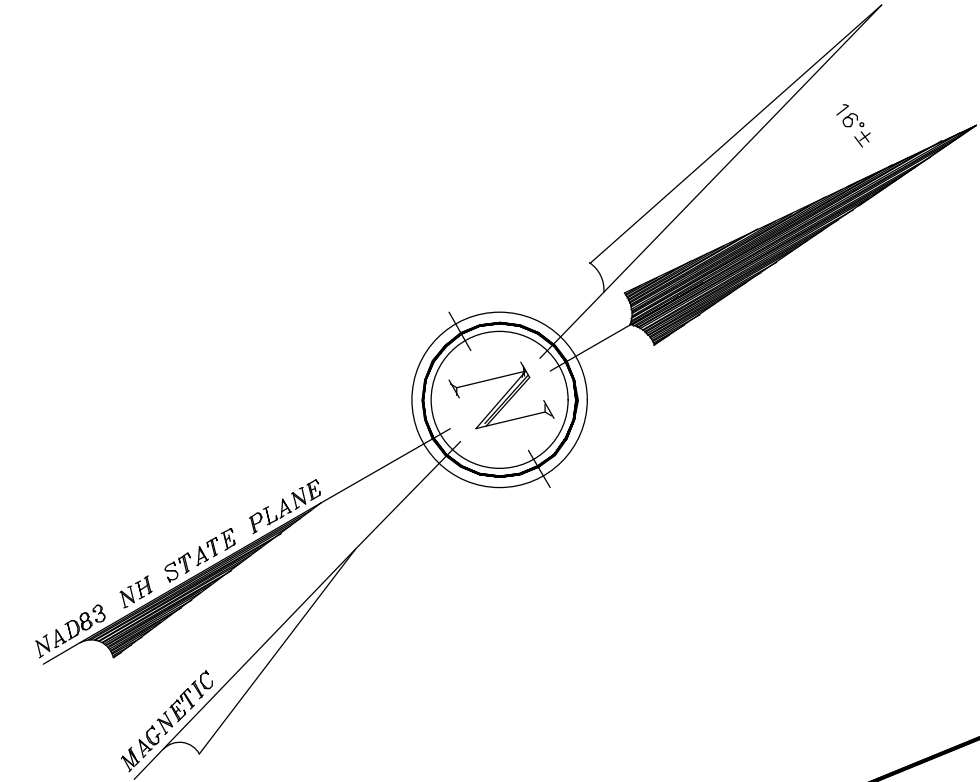
N/F KIMBERLY B & RONI M BOYER  
P.O. BOX 387  
BARRINGTON, NH 03825-0387  
S.C.R.D. BOOK 4410, PAGE 800  
**TAX MAP 235, LOT 4**



MATCH LINE SHEET #4

MATCH POINT (TYP.)

MATCH LINE (TYP.)



FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

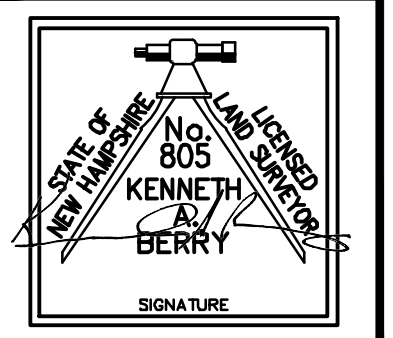
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

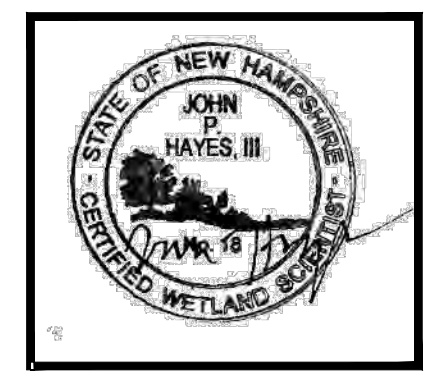
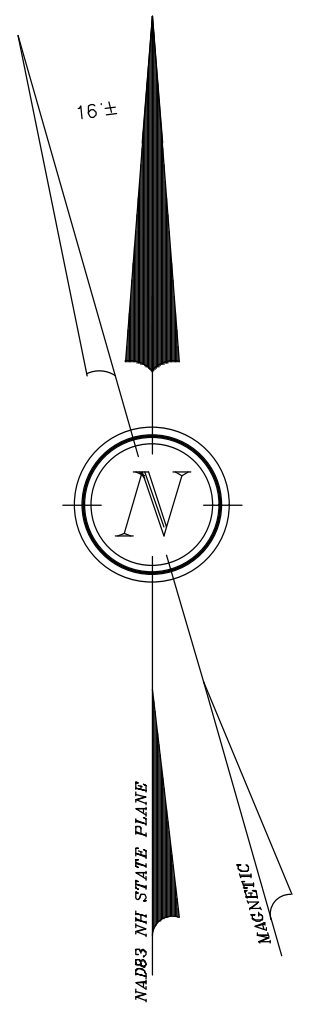
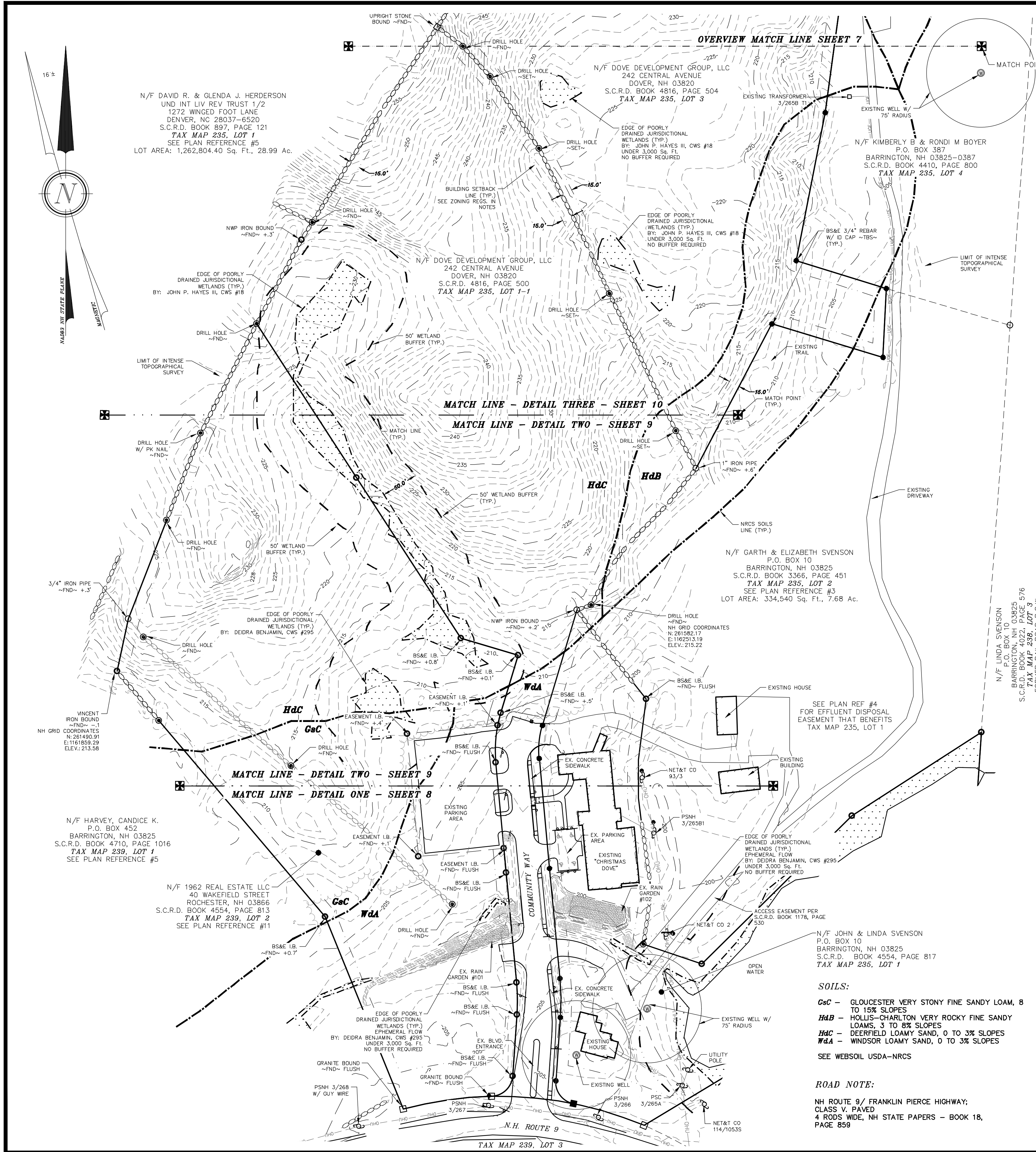
KENNETH A. BERRY L.L.S. 805 DATE

| #2 | #1 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

BOUNDARY PLAN NORTH  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
**TAX MAP 235 LOT 1-1 & MAP 235 LOT 3**

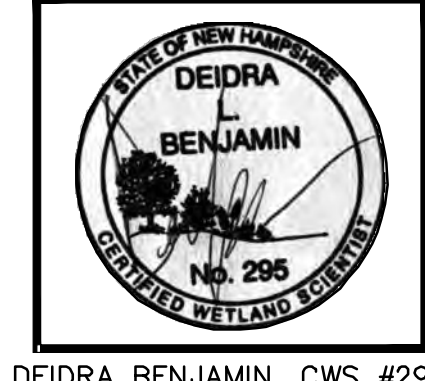
**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 60 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





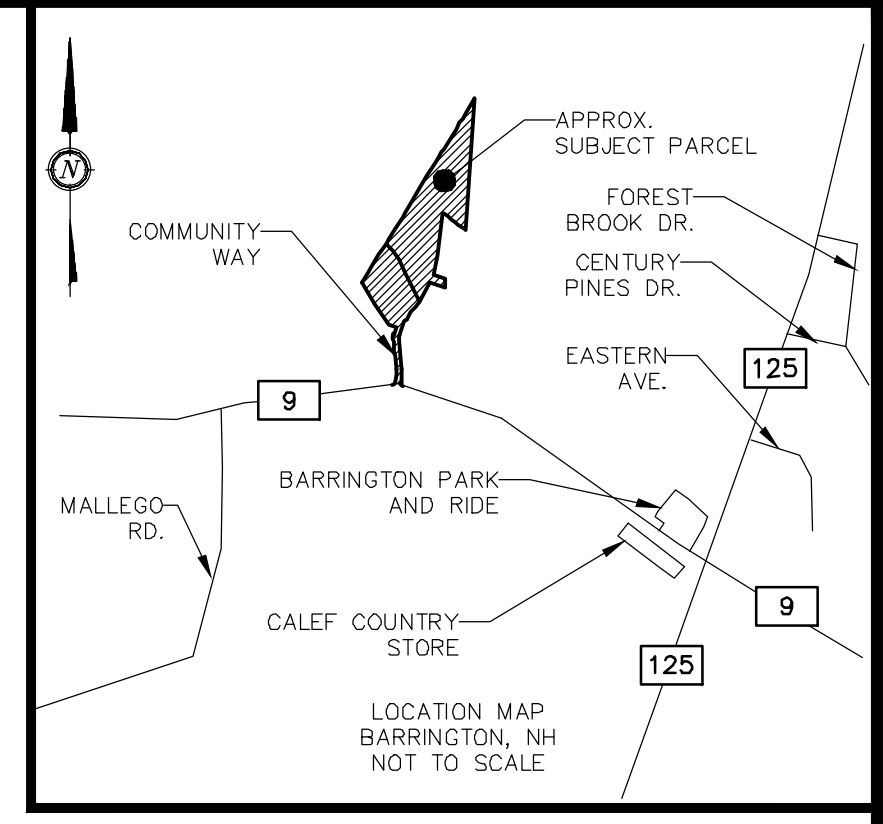
JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
 WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:  
 1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.  
 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).  
 3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



DEIDRA BENJAMIN, CWS #295

**WETLAND NOTES:**  
 WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:  
 1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.  
 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).  
 3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



NOTES:

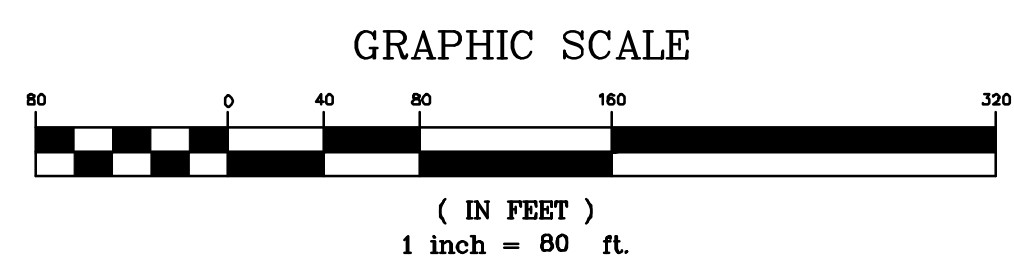
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820  
 B.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
- LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
 B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
 B.) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.: A.) BOOK 4816, PAGE 500  
 B.) BOOK 4816, PAGE 504
- ZONING: TOWN CENTER  
 FRONTAGE ~ 40.0'  
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
 FRONT SETBACK ~ 20.0'  
 NH ROUTE 125/9 SET BACK: ~ 50.0'  
 REAR SETBACK ~ 15.0'  
 SIDE SETBACK ~ 15.0'  
 COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
 WETLANDS/WATERBODY SETBACK ~ 50.0'  
 MAX. STRUCTURE HEIGHT: 40.0'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- WELL
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. FOUND



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H.-- 1:10,000 --

KENNETH A. BERRY LLS 805 DATE

| REVISION   | DATE | DESCRIPTION                                   |
|------------|------|---|
| 10-12-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2         | #1   |   |

EXISTING CONDITIONS OVERVIEW PLAN - SOUTH  
 AND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
**TAX MAP 235 LOT 1-1 & MAP 235 LOT 3**

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 80 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

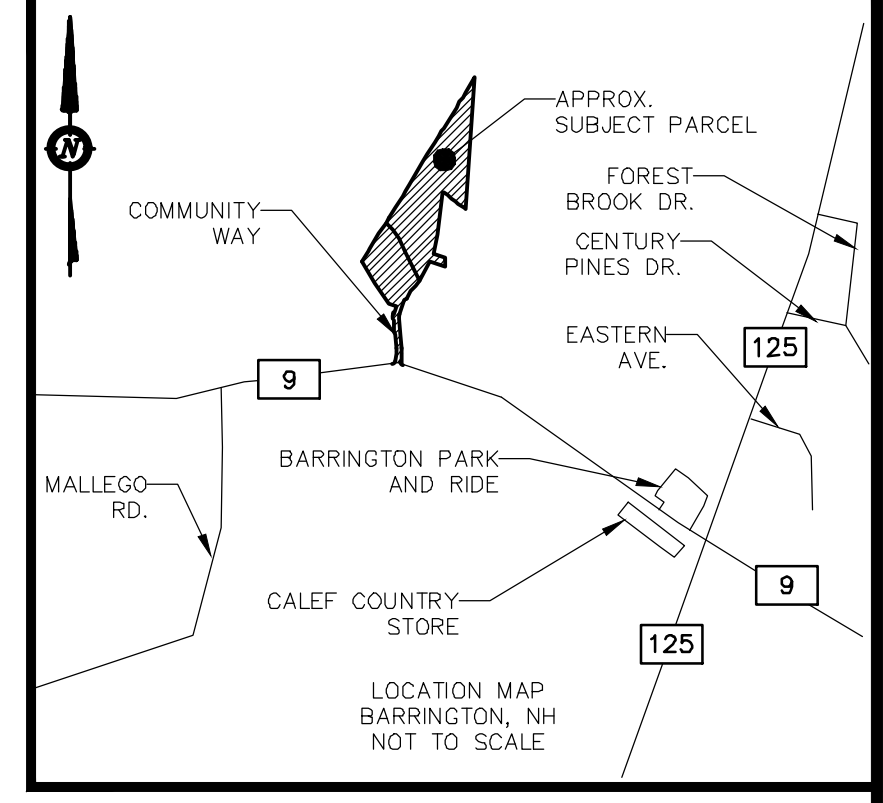
**LEGEND:**

- DRILL HOLE (FND)
- IRON PIPE (FND)
- UTILITY POLE
- ⊠ WELL
- ⊠ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- S.C.R.D. TYP. FOUND
- STRAFFORD COUNTY REGISTRY OF DEEDS



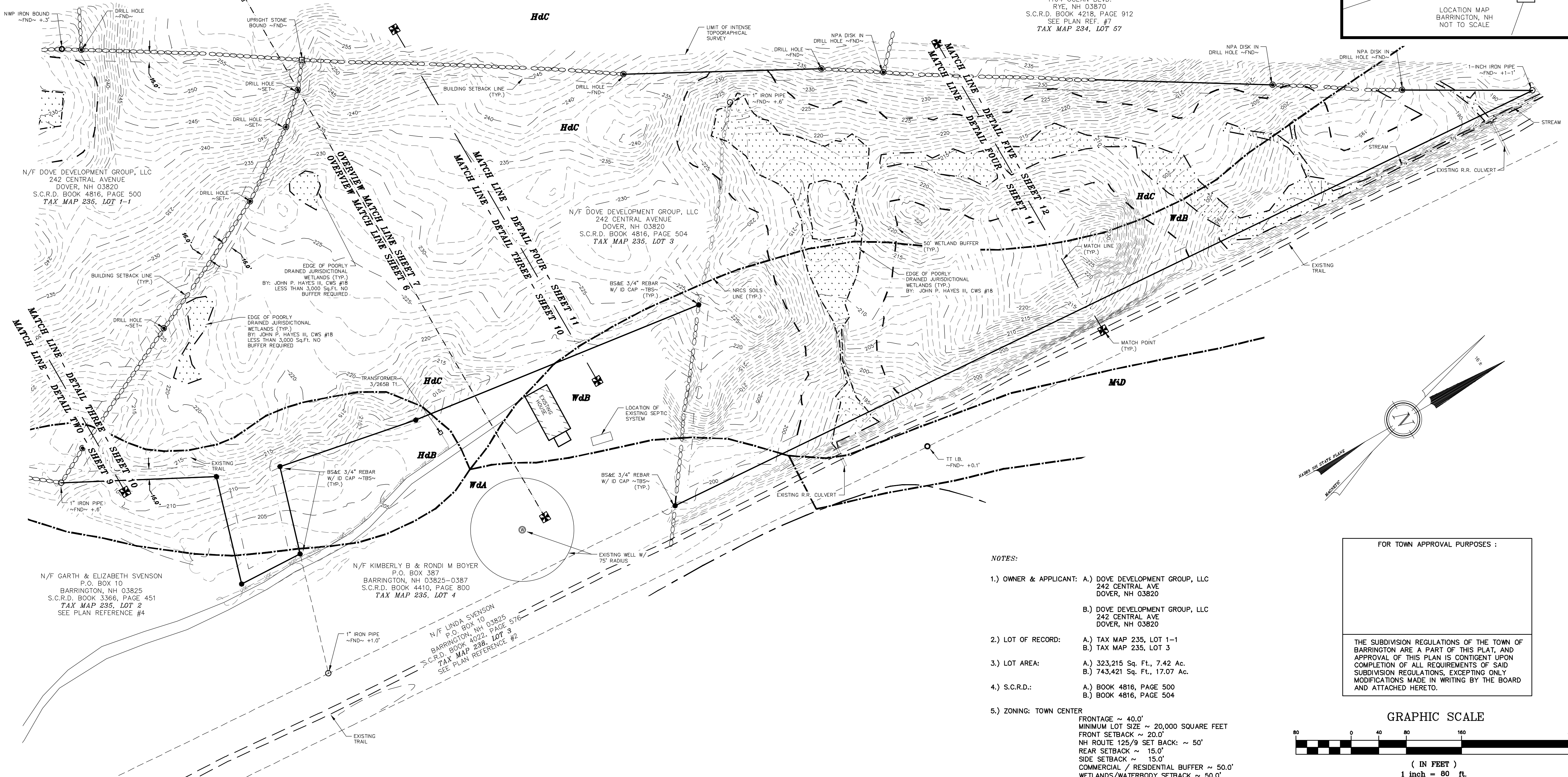
JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
 WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:  
 1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.  
 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).  
 3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



N/F DAVID R. & GLENDA J. HERDERSON  
 UND INT LIV REV TRUST 1/2  
 1272 WINGED FOOT LANE  
 DENVER, NC 28037-6520  
 S.C.R.D. BOOK 897, PAGE 121  
 TAX MAP 235, LOT 1  
 SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST  
 1164 OCEAN BLVD.  
 RYE, NH 03870  
 S.C.R.D. BOOK 4218, PAGE 912  
 SEE PLAN REF. #7  
 TAX MAP 234, LOT 57



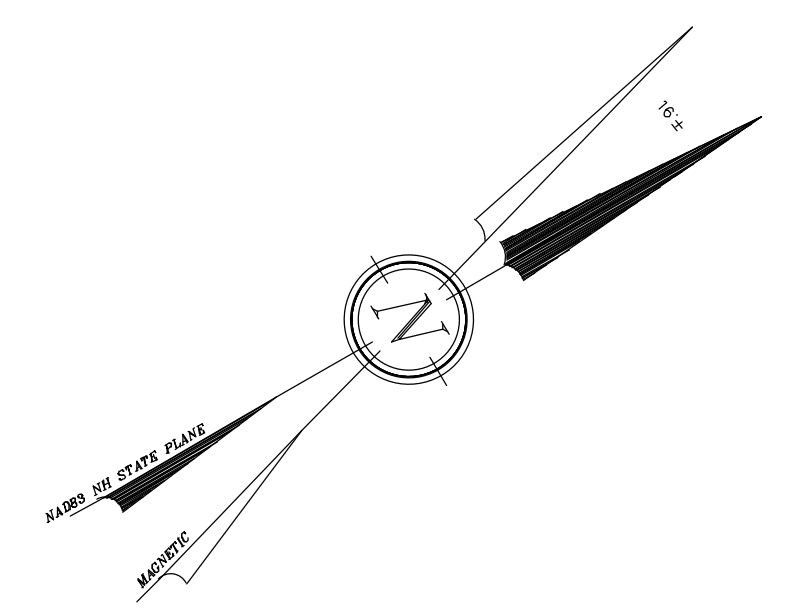
N/F DOVE DEVELOPMENT GROUP, LLC  
 242 CENTRAL AVENUE  
 DOVER, NH 03820  
 S.C.R.D. BOOK 4816, PAGE 500  
 TAX MAP 235, LOT 1-1

N/F DOVE DEVELOPMENT GROUP, LLC  
 242 CENTRAL AVENUE  
 DOVER, NH 03820  
 S.C.R.D. BOOK 4816, PAGE 504  
 TAX MAP 235, LOT 3

N/F KIMBERLY B & RONDI M BOYER  
 P.O. BOX 387  
 BARRINGTON, NH 03825-0387  
 S.C.R.D. BOOK 4410, PAGE 800  
 TAX MAP 235, LOT 4

N/F GARTH & ELIZABETH SVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 3366, PAGE 451  
 TAX MAP 235, LOT 2  
 SEE PLAN REFERENCE #4

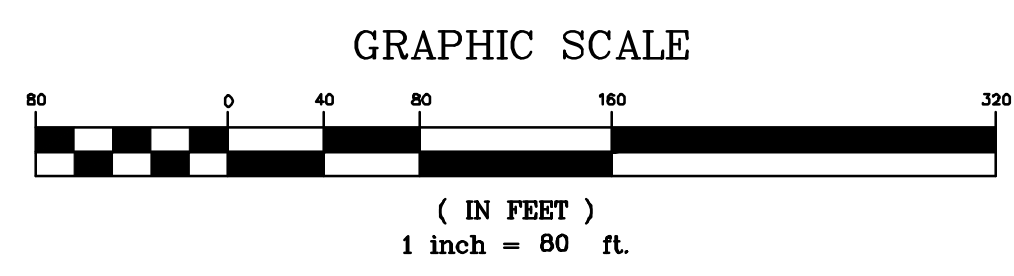
N/F LINDA SVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 4022, PAGE 576  
 TAX MAP 238, LOT 9  
 SEE PLAN REFERENCE #2



**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
 242 CENTRAL AVE  
 DOVER, NH 03820  
 B.) DOVE DEVELOPMENT GROUP, LLC  
 242 CENTRAL AVE  
 DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
 B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
 B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
 B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER  
 FRONTAGE ~ 40.0'  
 MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
 FRONT SETBACK ~ 20.0'  
 NH ROUTE 125/9 SET BACK: ~ 50'  
 REAR SETBACK ~ 15.0'  
 SIDE SETBACK ~ 15.0'  
 COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
 WETLANDS/WATERBODY SETBACK ~ 50.0'  
 MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# ~330178, MAP# ~ 3301700305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :  
 THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H.-- 1:10,000 --  
 KENNETH A. BERRY LLS 805 DATE

| #  | REVISION   | DATE | DESCRIPTION                                   |
|----|------------|------|---|
| #2 | 10-12-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1 | 08-30-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EXISTING CONDITIONS OVERVIEW PLAN - NORTH  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 80 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

KENNETH A. BERRY LLS 805 DATE



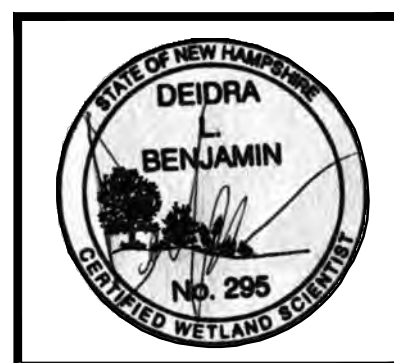


JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**

WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



DEIDRA BENJAMIN, CWS #295

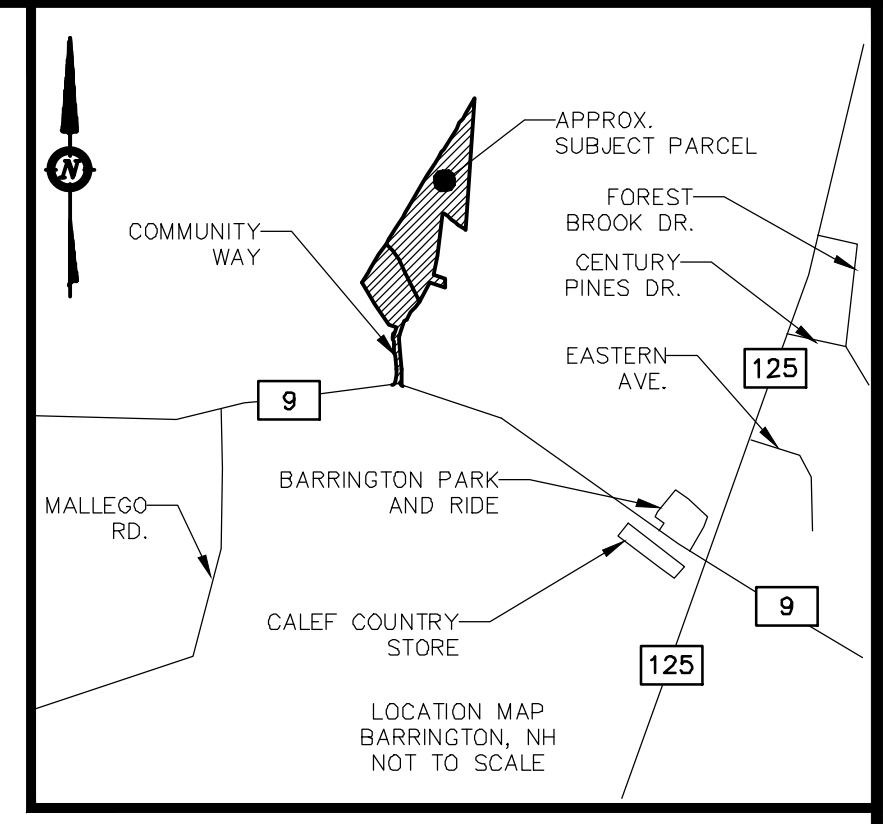
**WETLAND NOTES:**

WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

**FOR TOWN APPROVAL PURPOSES :**

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND CONSTRUCTION OF COMMUNITY PLAN BASED OFF 2019 BARRINGTON PLANNING BOARD APPROVAL AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.
- 9.) SEE COMMUNITY WAY GRADING PLAN & PROFILE 0+00-5+50 FOR EXISTING DRAINAGE INVERTS AND DATA.

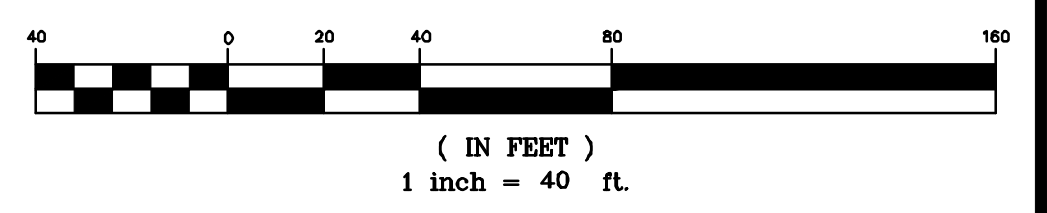
**ROAD NOTE:**

NH ROUTE 9/ FRANKLIN PIERCE HIGHWAY;  
CLASS V. PAVED  
4' ROADS WIDE, NH STATE PAPERS - BOOK 18,  
PAGE 859

**LEGEND:**

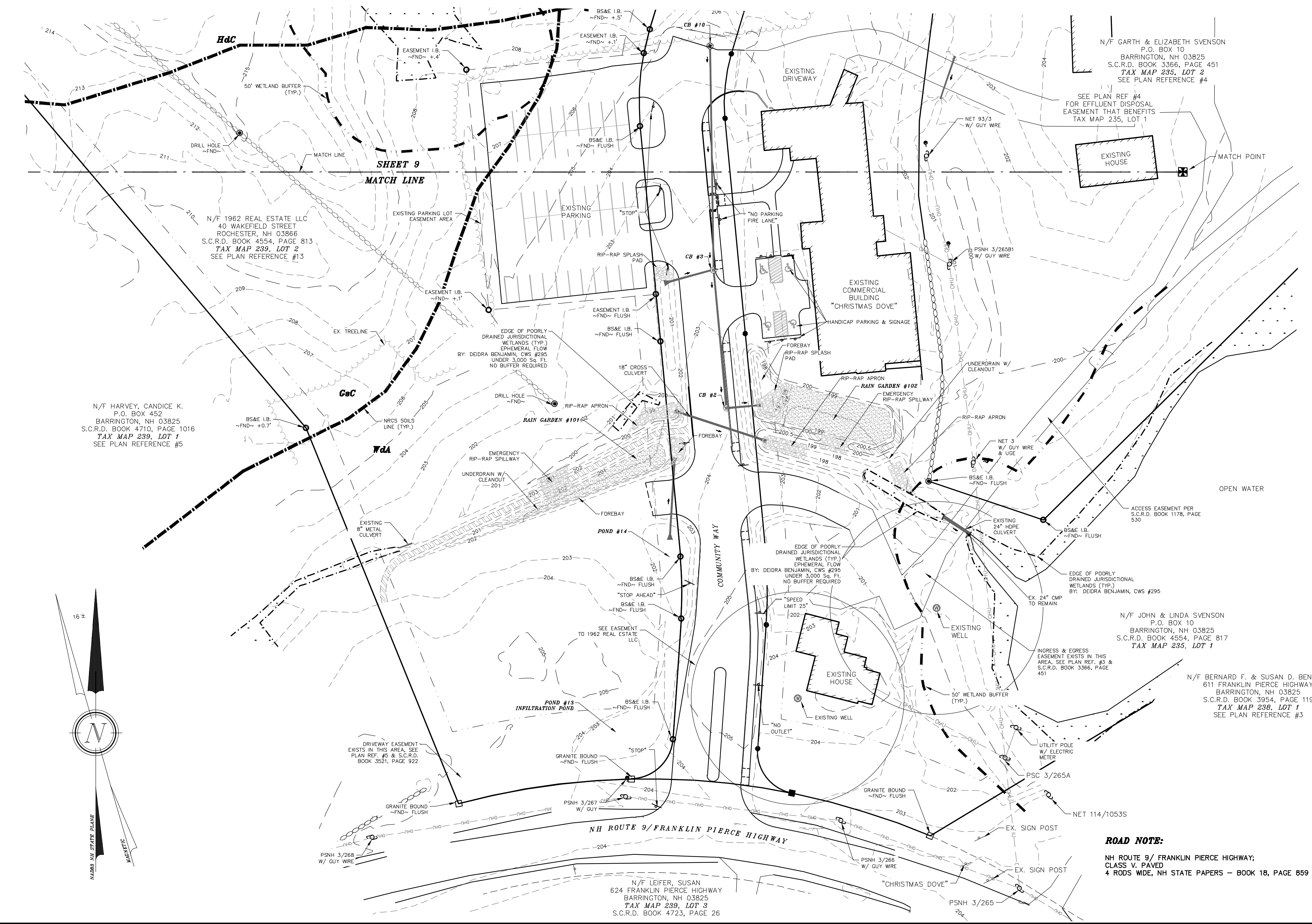
- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- WELL
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. FOUND

**GRAPHIC SCALE**



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

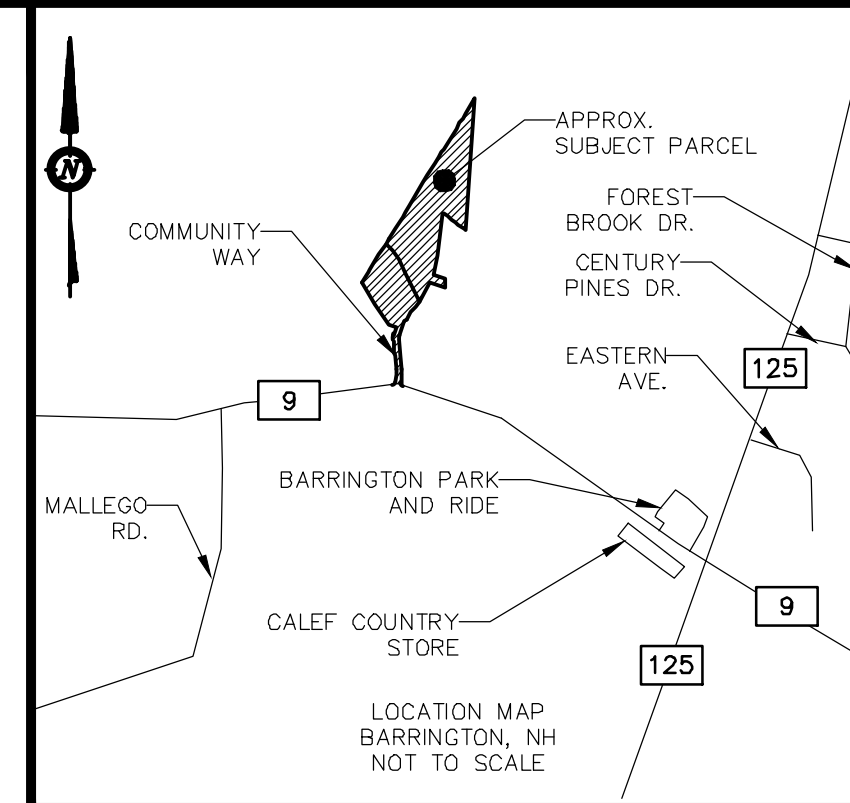
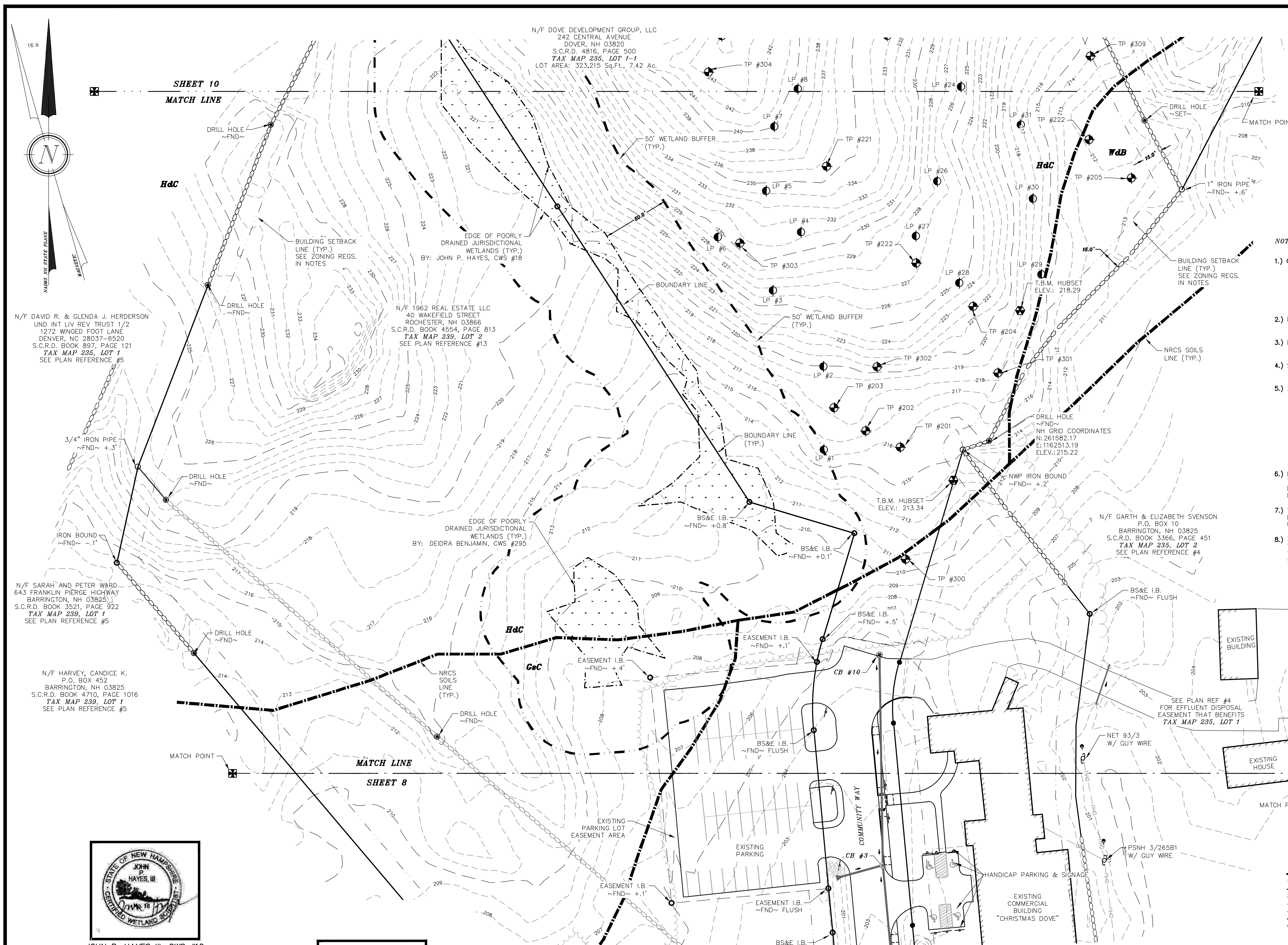
KENNETH A. BERRY LLS 805 DATE



| REVISION   | DATE | DESCRIPTION                                   |
|------------|------|---|
| 10-12-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EXISTING CONDITIONS - DETAIL ONE  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

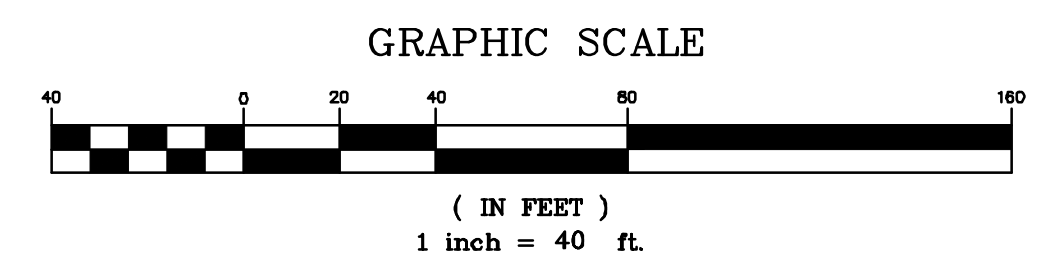


- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - 5.) ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS / WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
  - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
  - 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
  - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

**FOR TOWN APPROVAL PURPOSES :**

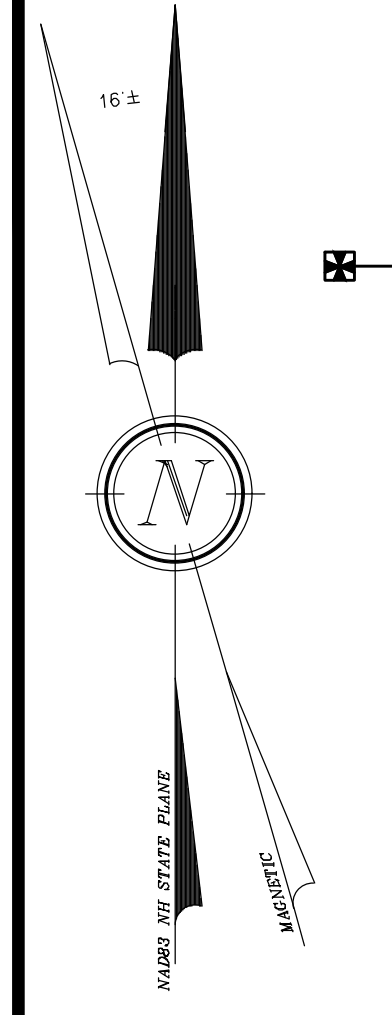
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - WELL
  - TEST PIT
  - LEDGE PROBE
  - MATCH POINT
  - NRCS SOIL DELINEATION LINE
  - STONE WALL
  - WETLAND LINE
  - 50' WETLAND BUFFER
  - BUILDING SETBACK LINE
  - OVERHEAD UTILITIES LINE
  - OVERVIEW MATCH LINE
  - DETAIL MATCH LINE
  - STRAFFORD COUNTY REGISTRY OF DEEDS
  - S.C.R.D. TYP.
  - FND
  - FOUND



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, CO 80237-6920  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 454, PAGE 813  
TAX MAP 239, LOT 2  
SEE PLAN REFERENCE #13

N/F SARAH AND PETER WARD  
643 FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3521, PAGE 922  
TAX MAP 239, LOT 1  
SEE PLAN REFERENCE #5

N/F HARVEY, CANDICE K.  
P.O. BOX 452  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4710, PAGE 1016  
TAX MAP 239, LOT 1  
SEE PLAN REFERENCE #5

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. 4816, PAGE 500  
TAX MAP 235, LOT 1-1  
LOT AREA: 323,215 Sq.Ft., 7.42 Ac.

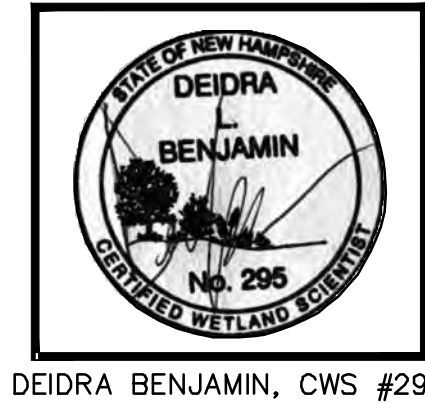
EDGE OF POORLY DRAINED JURISDICTIONAL WETLANDS (TYP.)  
BY: JOHN P. HAYES, CWS #18

EDGE OF POORLY DRAINED JURISDICTIONAL WETLANDS (TYP.)  
BY: DEIDRA BENJAMIN, CWS #295

N/F GARTH & ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366, PAGE 451  
TAX MAP 235, LOT 2  
SEE PLAN REFERENCE #4

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

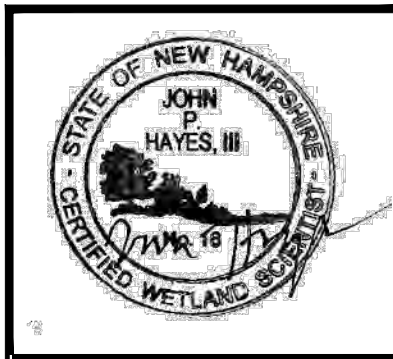
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EXISTING CONDITIONS - DETAIL TWO  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

SHEET 9 OF 109



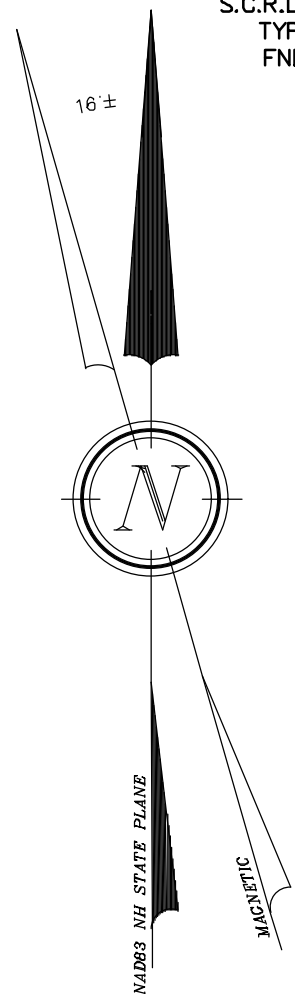
JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

**LEGEND:**

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- ⊙ WELL
- ⊕ TEST PIT
- ⊖ LEDGE PROBE
- ⊗ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYPICAL FOUND
- S.C.R.D.
- TYP.
- FND



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, CO 80231-8520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 813  
TAX MAP 239, LOT 2  
SEE PLAN REFERENCE #13

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 500  
TAX MAP 235, LOT 1-1  
LOT AREA: 323,215 Sq.Ft., 7.42 Ac.

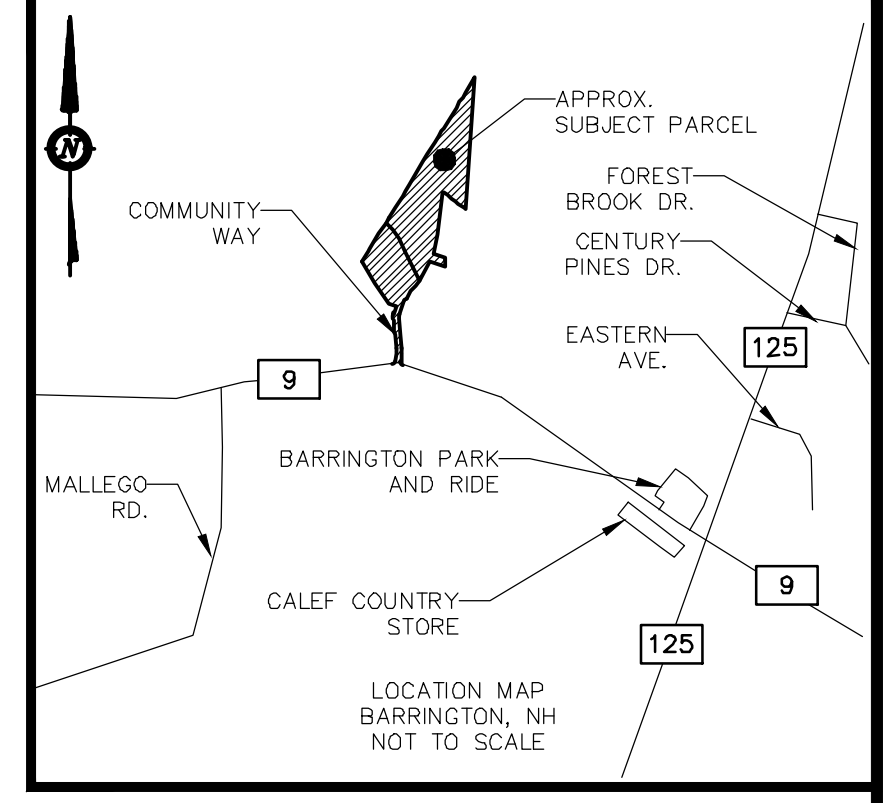
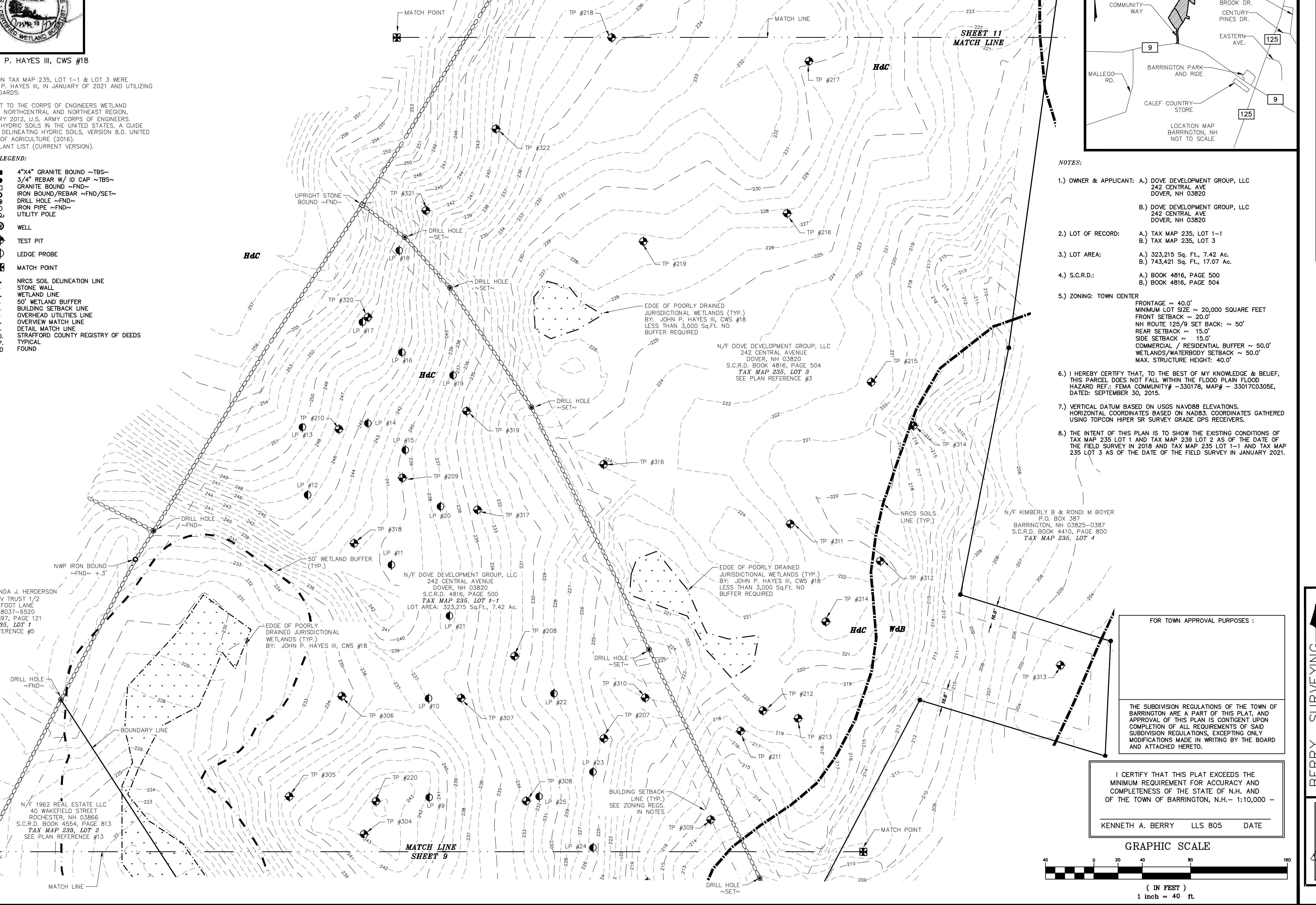
N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4410, PAGE 800  
TAX MAP 235, LOT 4

N/F KIMBERLY B & RONI M BOYER  
P.O. BOX 387  
BARRINGTON, NH 03825-0387  
S.C.R.D. BOOK 4410, PAGE 800  
TAX MAP 235, LOT 4

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 813  
TAX MAP 239, LOT 2  
SEE PLAN REFERENCE #13

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
TAX MAP 235, LOT 3  
SEE PLAN REFERENCE #3

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
TAX MAP 235, LOT 3



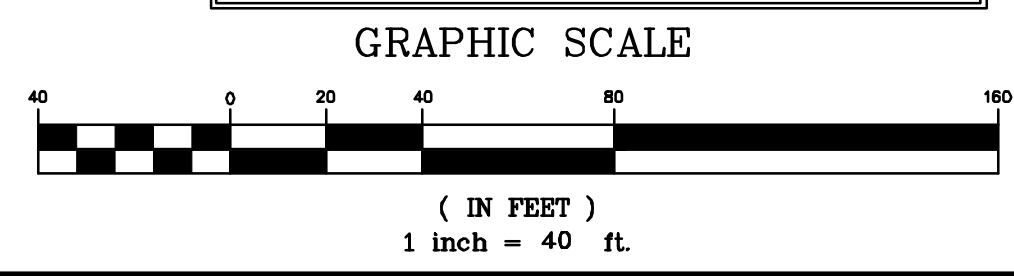
- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
  - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
  - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
  - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EXISTING CONDITIONS - DETAIL THREE  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
 WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

**LEGEND:**

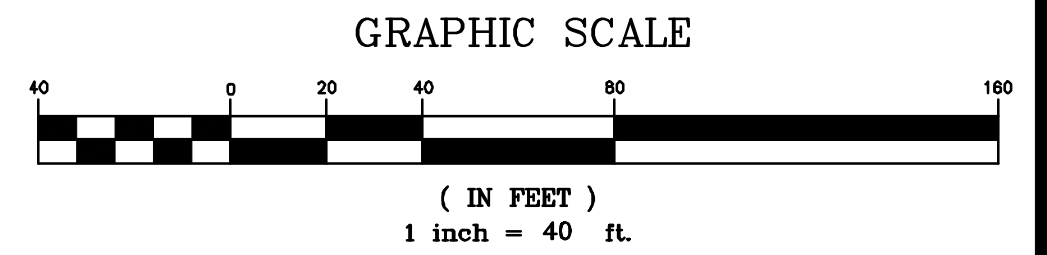
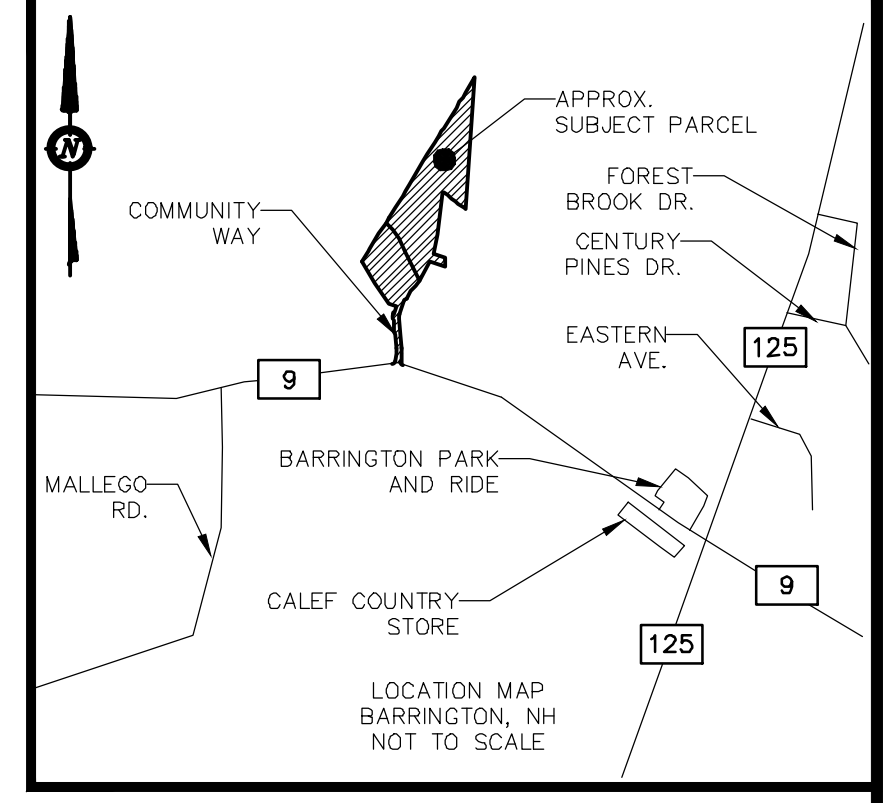
- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- WELL
- TEST PIT
- LEDGE PROBE
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- S.C.R.D.
- TYP.
- FND
- FOUND

N/F DAVID B. & GLENDA J. HERDERSON  
 UND INT LIV REV TRUST 1/2  
 1272 WINGED FOOT LANE  
 DENVER, NC 28037-6520  
 S.C.R.D. BOOK 897, PAGE 121  
 TAX MAP 235, LOT 1  
 SEE PLAN REFERENCE #5

N/F DOVE DEVELOPMENT GROUP, LLC  
 242 CENTRAL AVENUE  
 DOVER, NH 03820  
 S.C.R.D. BOOK 4816, PAGE 504  
 TAX MAP 235, LOT 3  
 SEE PLAN REFERENCE #3

N/F KIMBERLY B & RONDI M BOYER  
 P.O. BOX 387  
 BARRINGTON, NH 03825-0387  
 S.C.R.D. BOOK 4410, PAGE 800  
 TAX MAP 235, LOT 4

N/F LINDA SVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 4024, PAGE 576  
 TAX MAP 235, LOT 2  
 SEE PLAN REFERENCE #3



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
  - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
  - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
  - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE

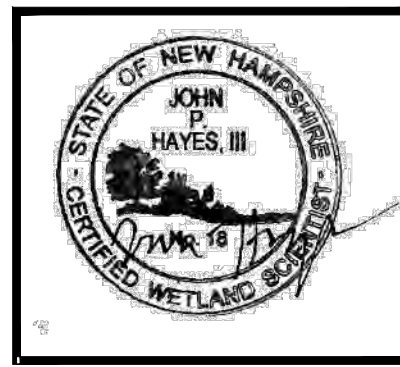
| #2 | #1 | REVISION   | DATE | DESCRIPTION                                   |
|----|----|------------|------|---|
|    |    | 10-12-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    | 08-30-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EXISTING CONDITIONS - DETAIL FOUR  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 40 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

LEGEND:

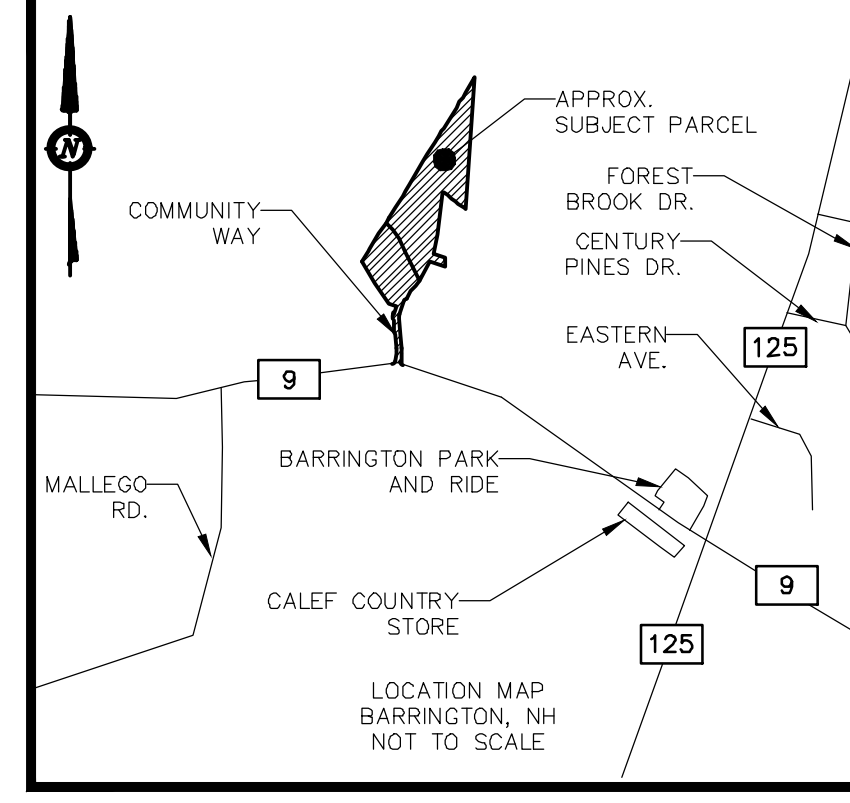
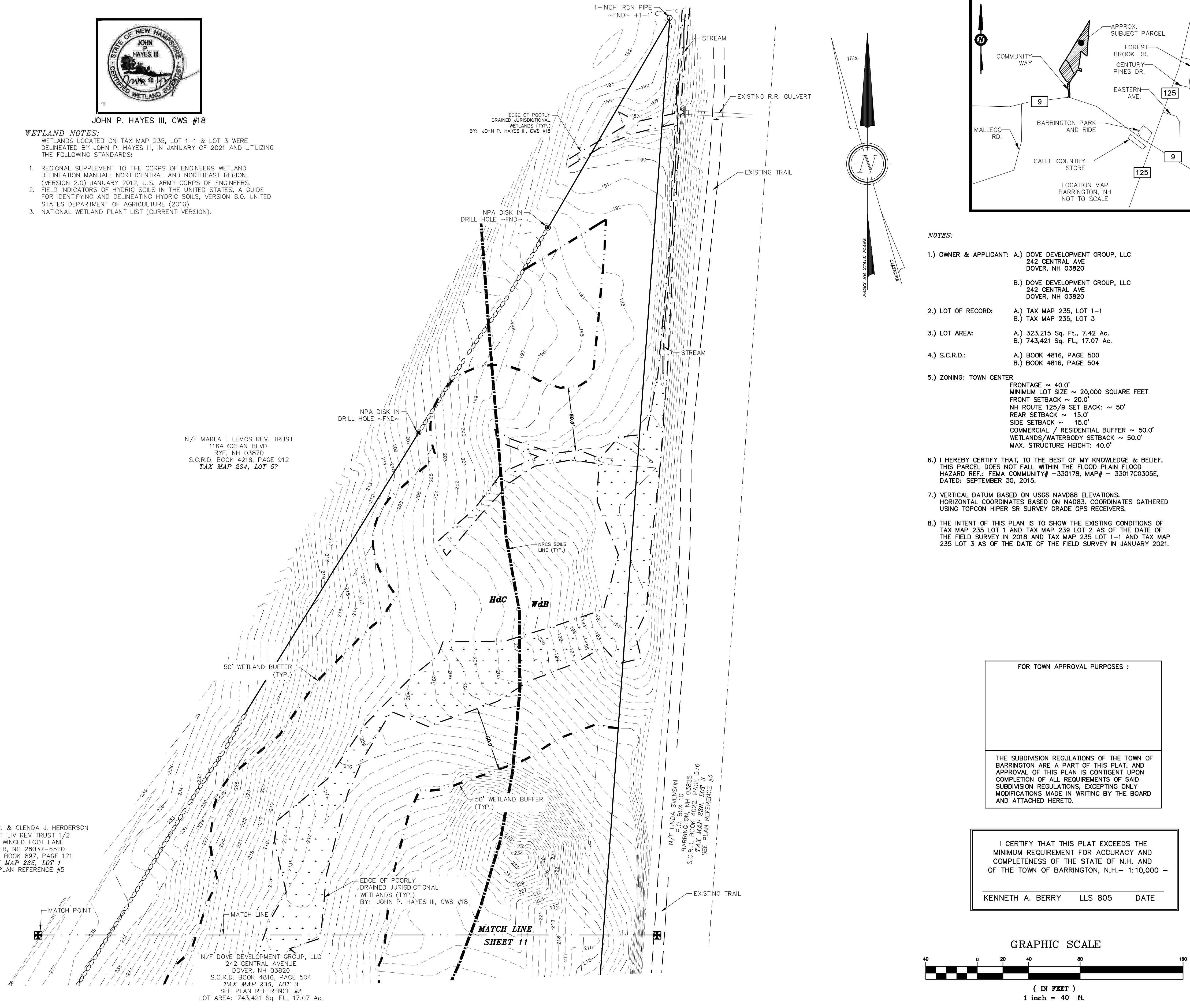
- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- WELL
- TEST PIT
- LEDGE PROBE
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- S.C.R.D. TYP. FND



JOHN P. HAYES III, CWS #18

WETLAND NOTES:

- WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
  2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES: A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
  3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



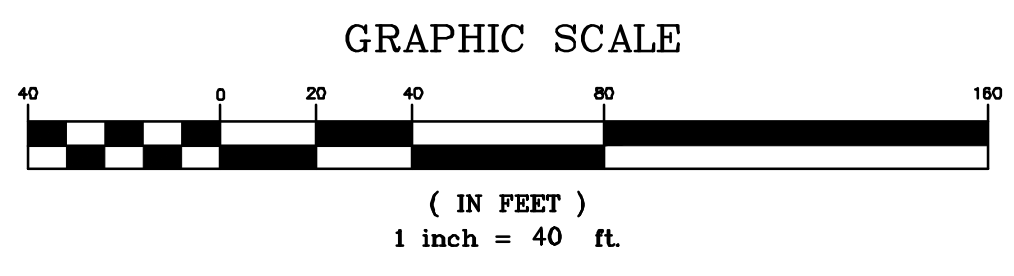
- NOTES:
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - 5.) ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
  - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
  - 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
  - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 235 LOT 1 AND TAX MAP 239 LOT 2 AS OF THE DATE OF THE FIELD SURVEY IN 2018 AND TAX MAP 235 LOT 1-1 AND TAX MAP 235 LOT 3 AS OF THE DATE OF THE FIELD SURVEY IN JANUARY 2021.

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
TAX MAP 234, LOT 57

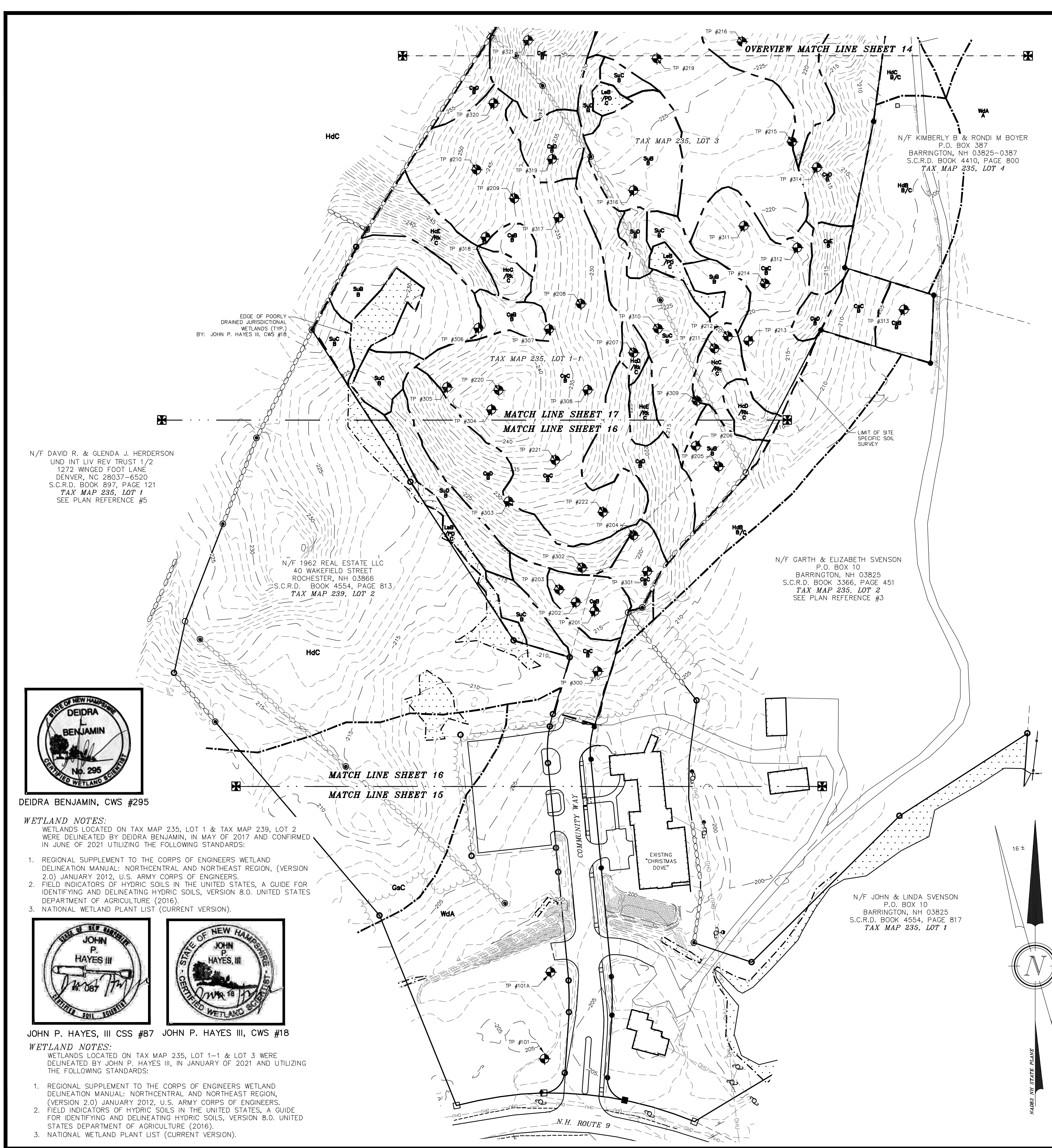
N/F LINDA SVENSON  
BARRINGTON NH 03825  
S.C.R.D. BOOK 4022, PAGE 576  
TAX MAP 238, LOT 3  
SEE PLAN REFERENCE #3

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
TAX MAP 235, LOT 3  
SEE PLAN REFERENCE #3  
LOT AREA: 743,421 Sq. Ft., 17.07 Ac.

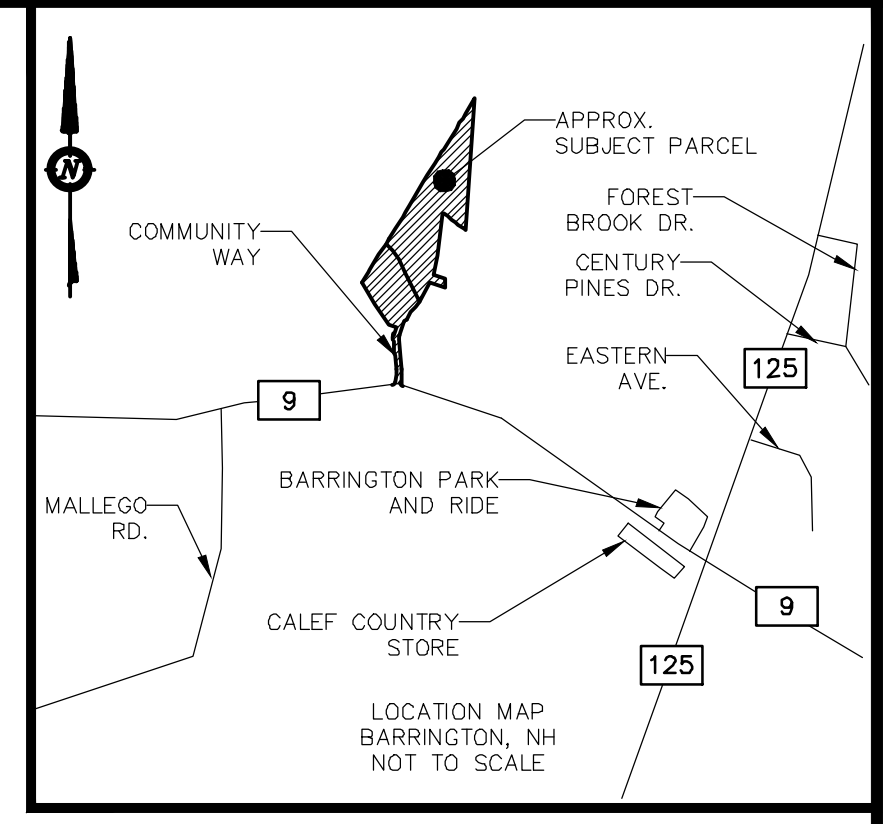
| #2 | #1 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EXISTING CONDITIONS - DETAIL 5  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
  - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
  - VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
  - THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.



### SITE SPECIFIC SOILS LEGEND

| SYMBOL | SOIL TAXONOMIC NAME                  | HYDROLOGIC SOIL GROUP |
|--------|--------------------------------------|-----------------------|
| CsB    | CHARLTON (VERY STONY)                | B                     |
| CsC    | CHARLTON (VERY STONY)                | B                     |
| CsD    | CHARLTON (VERY STONY)                | B                     |
| CsE    | CHARLTON (VERY STONY)                | B                     |
| HcC    | HOLLIS (VERY STONY)                  | C/D                   |
| HcD    | HOLLIS (VERY STONY)                  | C/D                   |
| HcE    | HOLLIS (VERY STONY)                  | C/D                   |
| HdD    | HOLLIS CHARLTON COMPLEX (VERY STONY) | C/D                   |
| HdE    | HOLLIS CHARLTON COMPLEX (VERY STONY) | C/D                   |
| LeB    | LEICESTER (VERY STONY)               | C                     |
| LeC    | LEICESTER (VERY STONY)               | C                     |
| LeD    | LEICESTER (VERY STONY)               | C                     |
| SuB    | SUTTON                               | B                     |
| SuC    | SUTTON                               | B                     |
| SuD    | SUTTON                               | B                     |

SLOPE: A = 0-3% B = 3-8% C = 8-15% D = 15-25% E = 25-50% F = 50%+

DENOMINATOR: /VPD = VERY POORLY DRAINED /PD = POORLY DRAINED  
/SPWD = SOMEWHAT POORLY DRAINED /MWD = MODERATELY WELL DRAINED /Rk = ROCKY

**LEGEND:**

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- ⊙ DRILL HOLE ~FND~
- IRON PIPE ~FND~
- ⊙ WELL
- ⊙ TEST PIT
- ⊙ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP.
- FND

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 80 ft.

FOR TOWN APPROVAL PURPOSES :

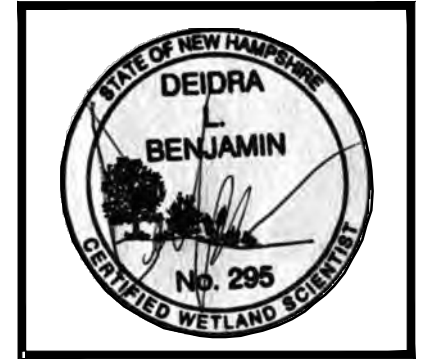
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 813  
TAX MAP 239, LOT 2

N/F GARTH & ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366, PAGE 451  
TAX MAP 235, LOT 2  
SEE PLAN REFERENCE #3

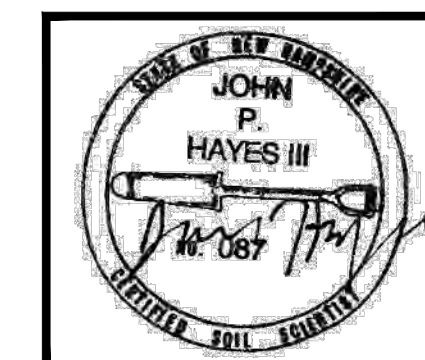
N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4554, PAGE 817  
TAX MAP 235, LOT 1



DEIDRA BENJAMIN, CWS #295

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

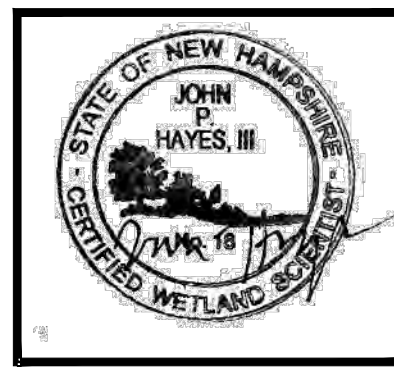
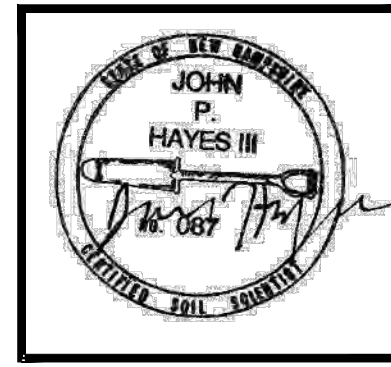
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

| #          | REVISION | DATE | DESCRIPTION                                   |
|------------|----------|------|---|
| 10-12-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

SITE SPECIFIC SOILS MAP - OVERVIEW 1  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

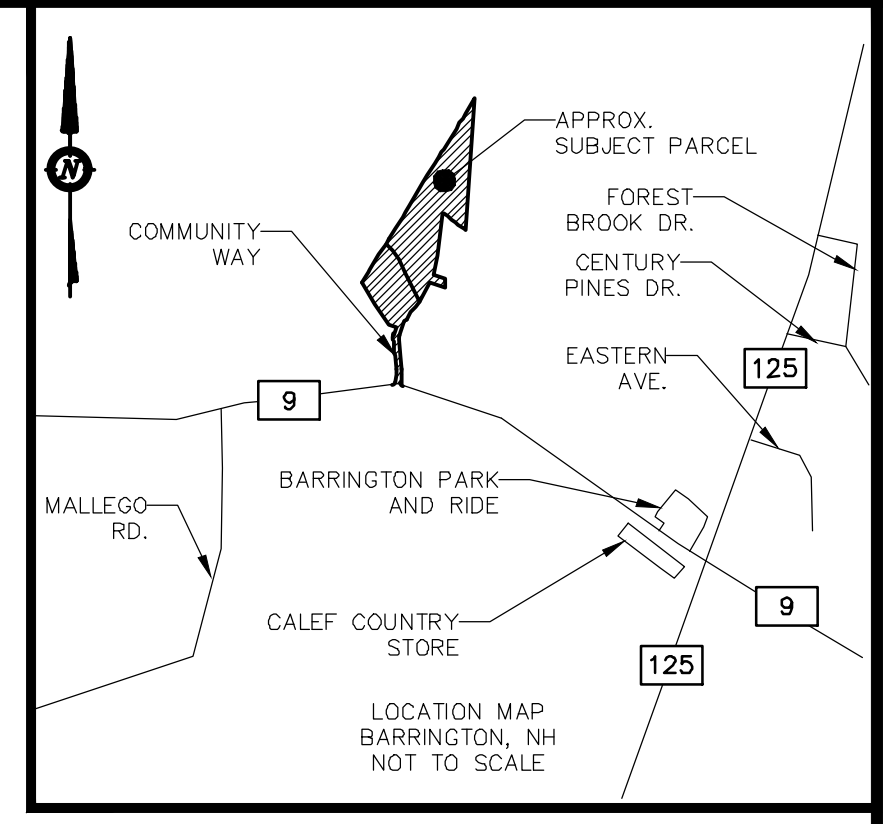
**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 80 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

SHEET 13 OF 109



JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:  
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.  
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).  
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
SEE PLAN REF. #7  
TAX MAP 234, LOT 57



N/F GARTH & ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366, PAGE 451  
TAX MAP 235, LOT 2  
SEE PLAN REFERENCE #4

N/F KIMBERLY B & RONDI M BOYER  
P.O. BOX 387  
BARRINGTON, NH 03825-0387  
S.C.R.D. BOOK 4410, PAGE 800  
TAX MAP 235, LOT 4

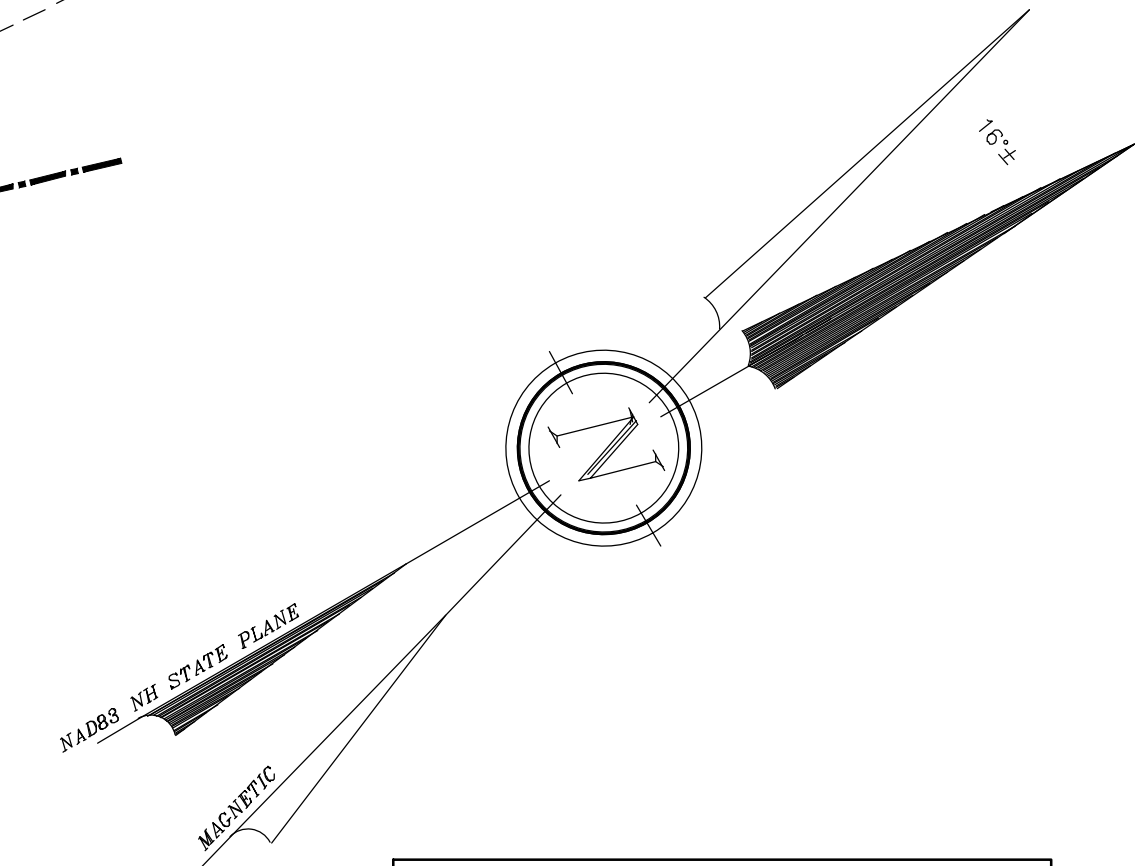
N/F UNDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4028, PAGE 576  
TAX MAP 238, LOT 3  
SEE PLAN REFERENCE #2

**NOTES:**

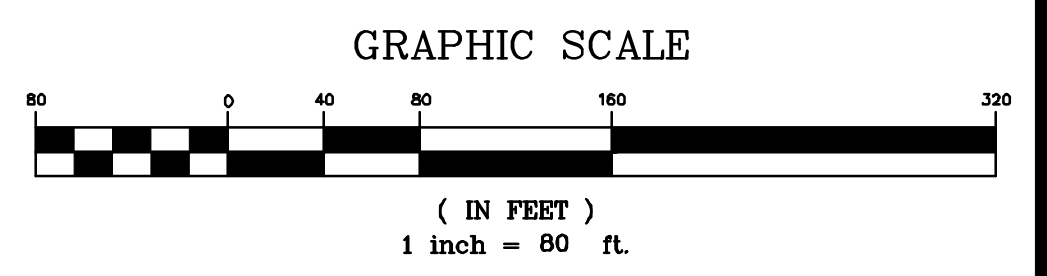
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# - 330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

**LEGEND:**

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- WELL
- TEST PIT
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYPICAL
- FOUND



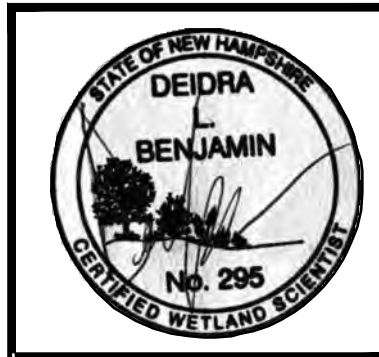
FOR TOWN APPROVAL PURPOSES :  
  
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

SITE SPECIFIC SOILS MAP - OVERVIEW 2  
LAND OF DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 80 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

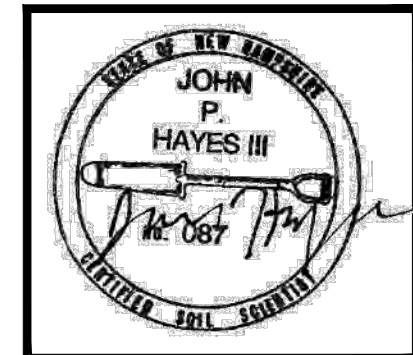


DEIDRA BENJAMIN, CWS #295

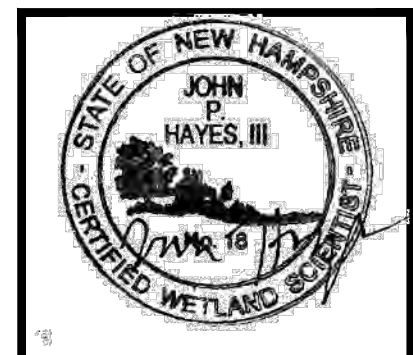
**WETLAND NOTES:**

WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18



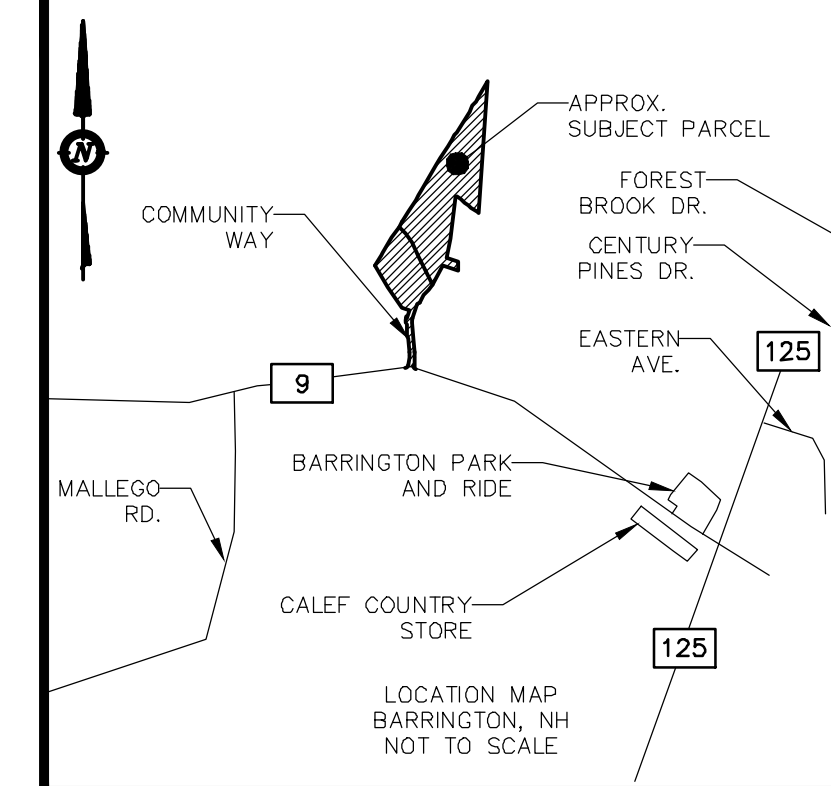
**WETLAND NOTES:**

WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

**FOR TOWN APPROVAL PURPOSES :**

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



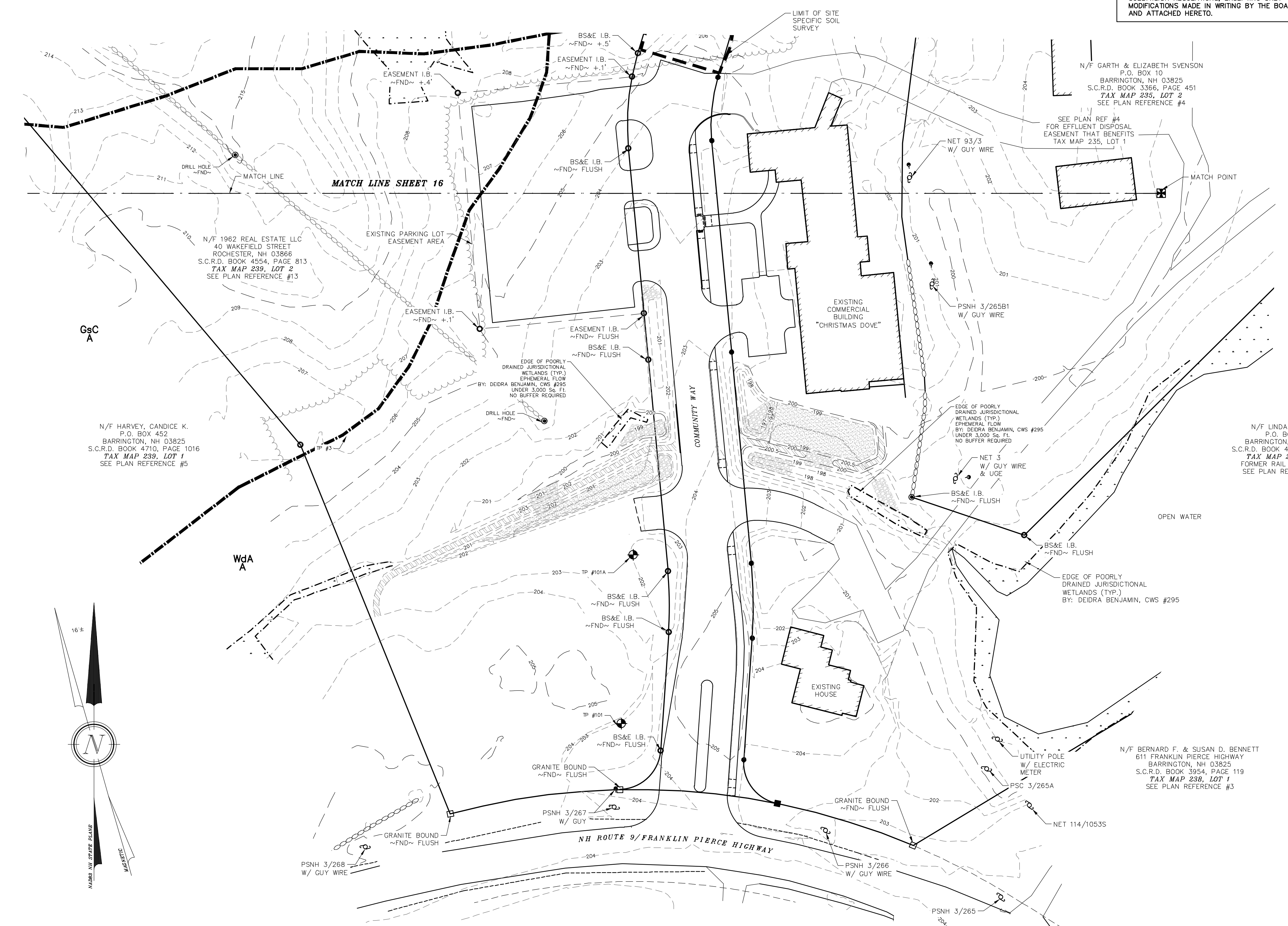
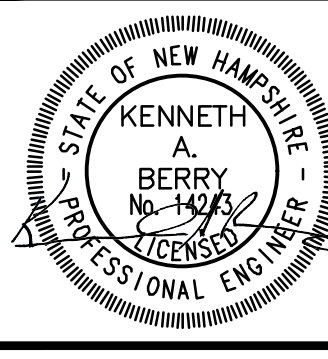
**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820 B.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1 B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac. B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500 B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 3301700305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.
- 9.) NO SSSM WAS PROVIDED FOR THE ORIGINAL 2019 BARRINGTON PLANNING BOARD APPROVAL.

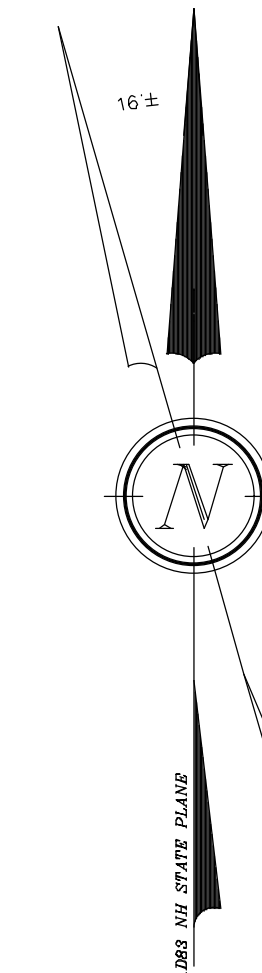
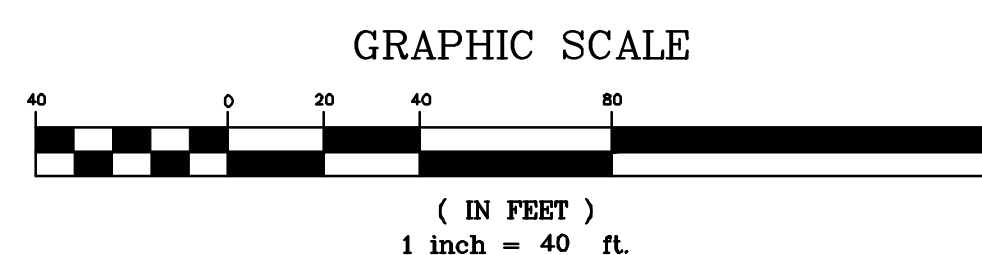
| REVISION   | DATE | DESCRIPTION                                   |
|------------|------|---|
| 10-12-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2         | #1   |   |

NRCS SOILS MAP - DETAIL 1  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

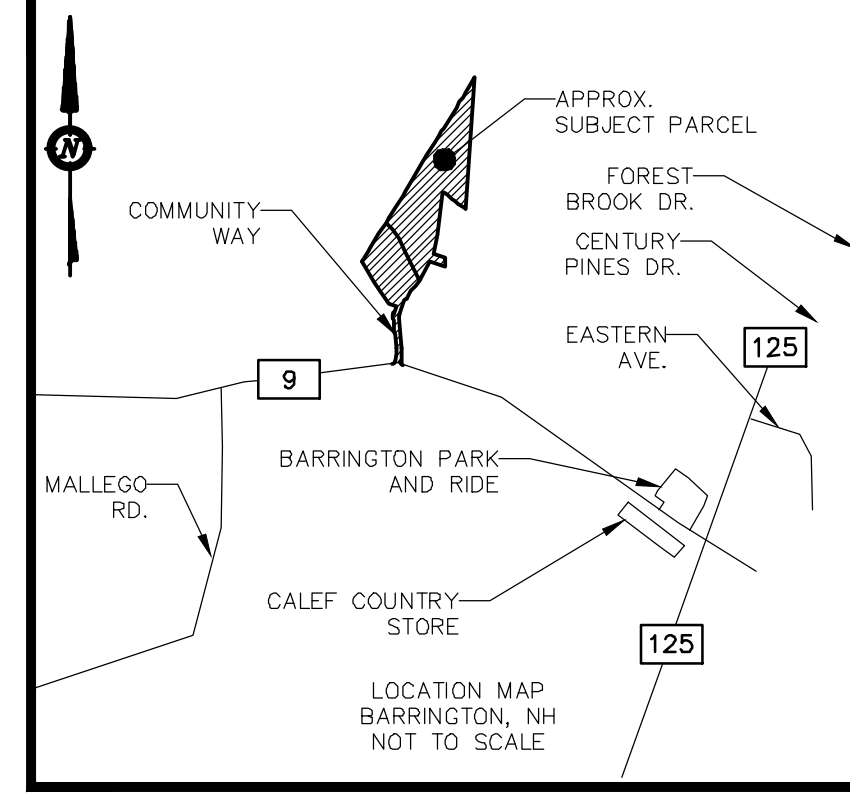
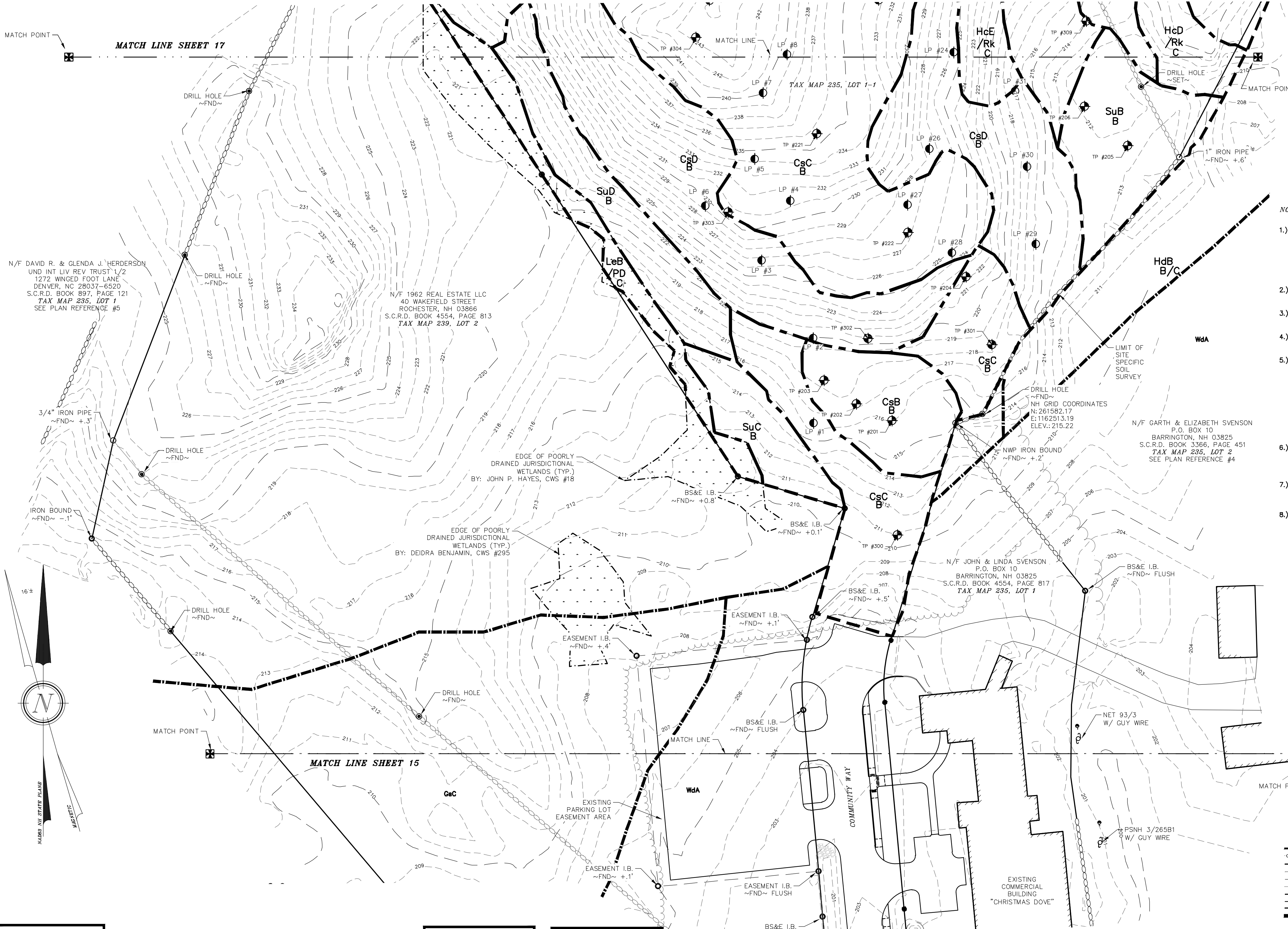
BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
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- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
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  - DETAIL MATCH LINE
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  - LIMIT OF SOIL SURVEY
  - SOIL SERIES
  - S.C.R.D.
  - TYP.
  - FND





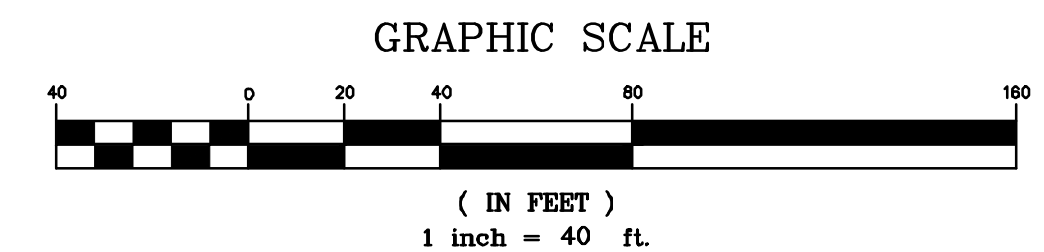


- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
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  - THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

**FOR TOWN APPROVAL PURPOSES :**

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- LEGEND:**
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  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND/SET~
  - DRILL HOLE ~FND~
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  - LIMIT OF SOIL SURVEY
  - SOIL SERIES
  - S.C.R.D.
  - STRAFFORD COUNTY REGISTRY OF DEEDS
  - TYP.
  - FND



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, CO 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 813  
TAX MAP 239, LOT 2

EDGE OF POORLY DRAINED JURISDICTIONAL WETLANDS (TYP.)  
BY: JOHN P. HAYES, CWS #18

EDGE OF POORLY DRAINED JURISDICTIONAL WETLANDS (TYP.)  
BY: DEIDRA BENJAMIN, CWS #295

N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4554, PAGE 817  
TAX MAP 235, LOT 1

N/F GARTH & ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366, PAGE 451  
TAX MAP 235, LOT 2  
SEE PLAN REFERENCE #4

**WETLAND NOTES:**  
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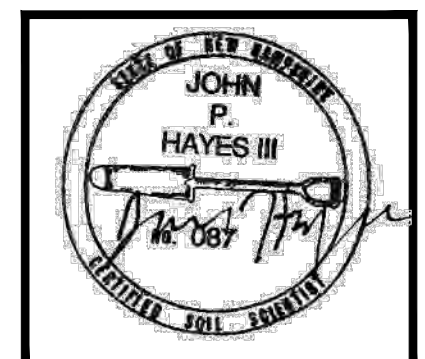
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DEIDRA BENJAMIN, CWS #295



JOHN P. HAYES, III CSS #87

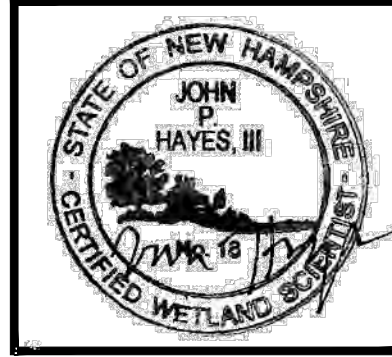


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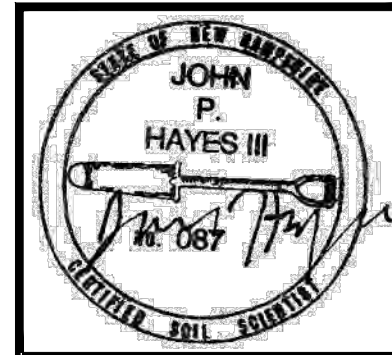
| REVISION   | DATE       | DESCRIPTION                                   |
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| 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2         | #1         | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

SITE SPECIFIC SOILS MAP - DETAIL 2  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
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JOHN P. HAYES III, CWS #18



JOHN P. HAYES, III CSS #87

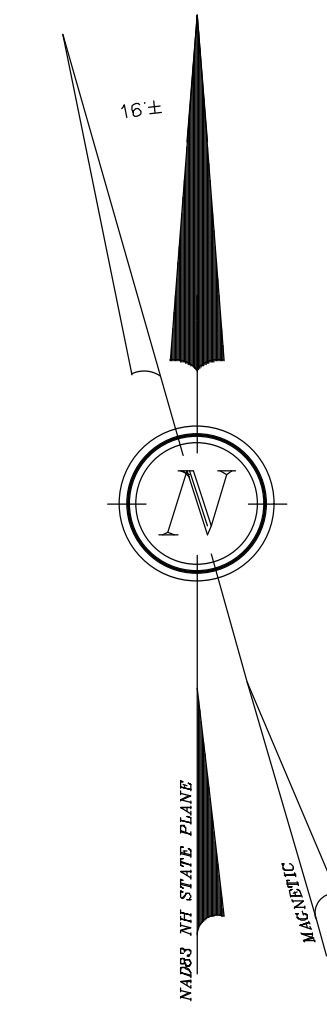
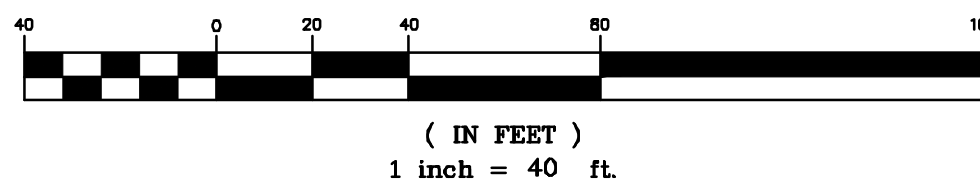
**WETLAND NOTES:**  
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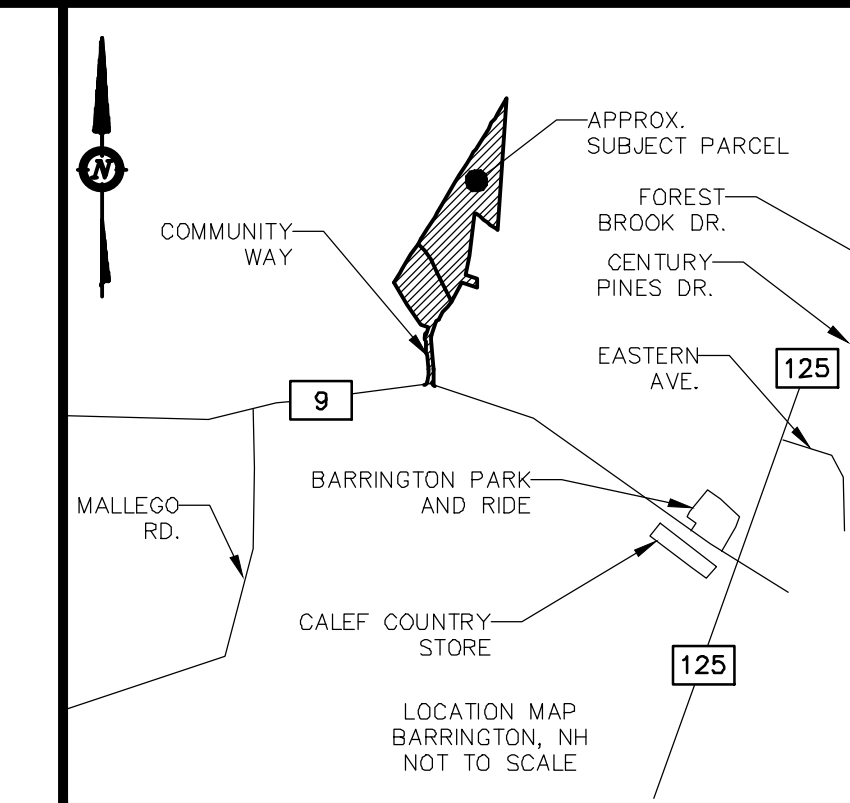
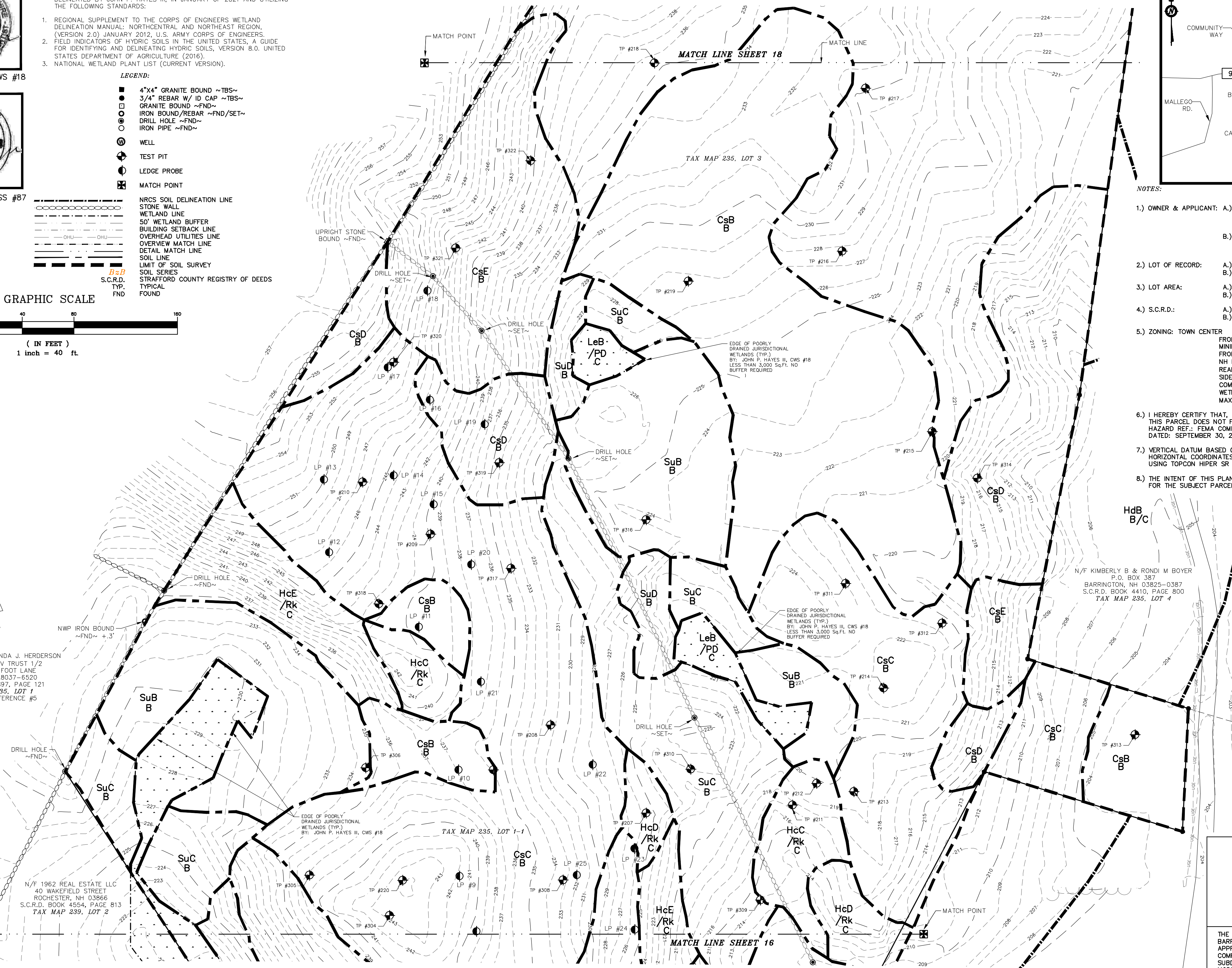
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- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- STRAFFORD COUNTY REGISTRY OF DEEDS
- S.C.R.D.
- TYP.
- FND

**GRAPHIC SCALE**



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-8520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 813  
TAX MAP 235, LOT 2



**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

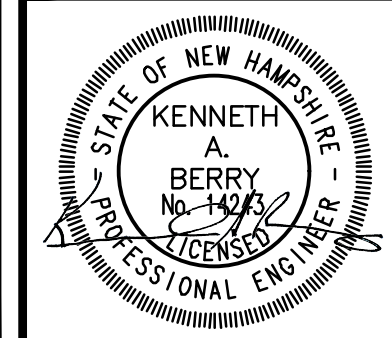
FOR TOWN APPROVAL PURPOSES :

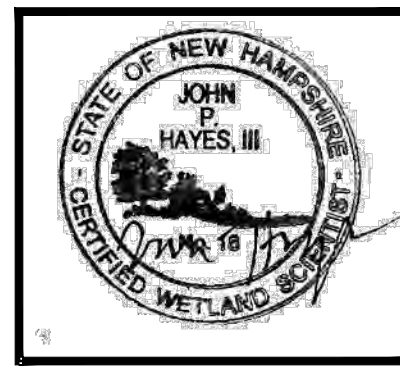
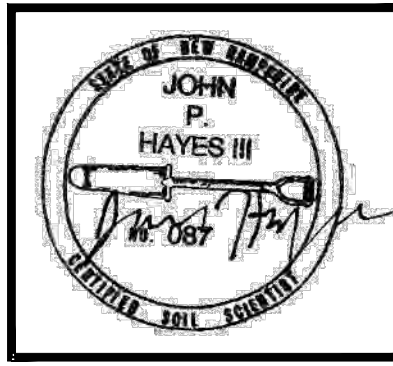
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| REVISION   | DATE       | DESCRIPTION                                   |
|------------|------------|---|
| 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2         | #1         | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

SITE SPECIFIC SOILS MAP - DETAIL 3  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 40 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097





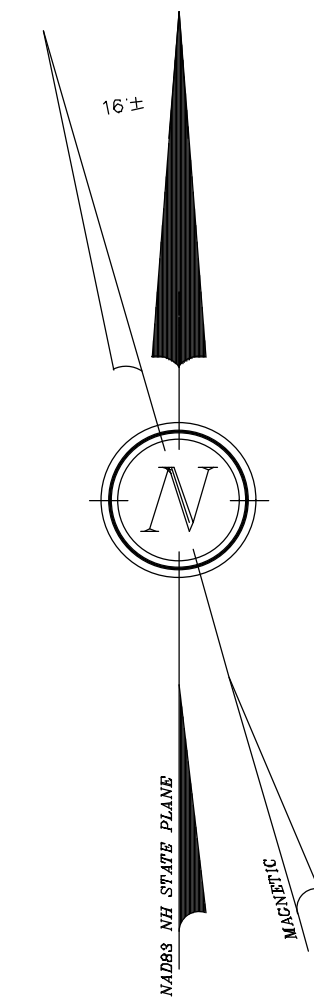
JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

**LEGEND:**

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- WELL
- TEST PIT
- LEDGE PROBE
- MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- OVERVIEW MATCH LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND

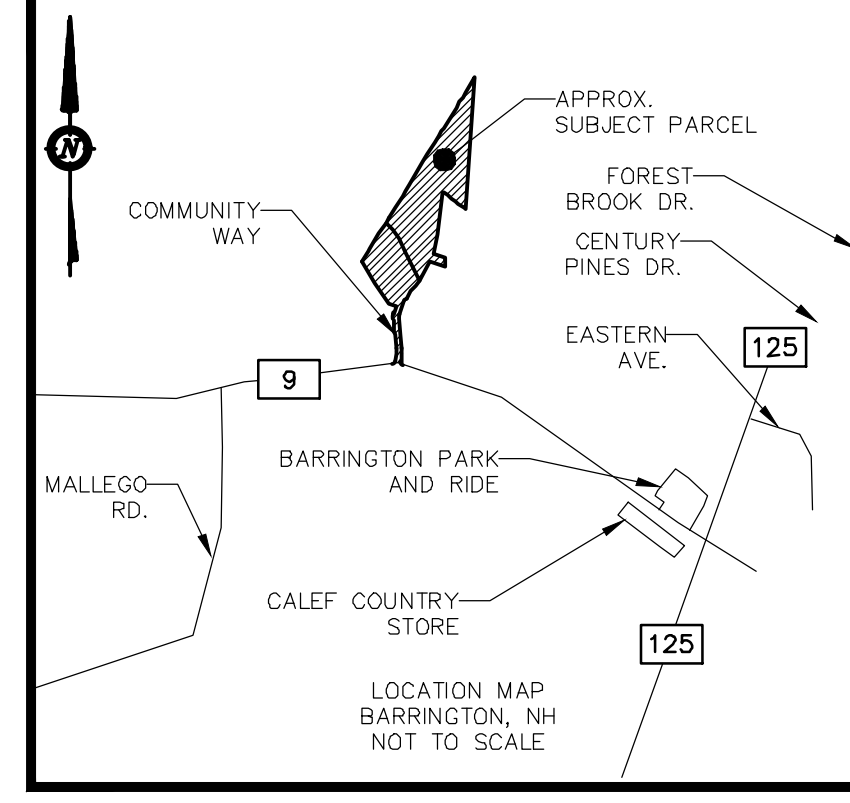
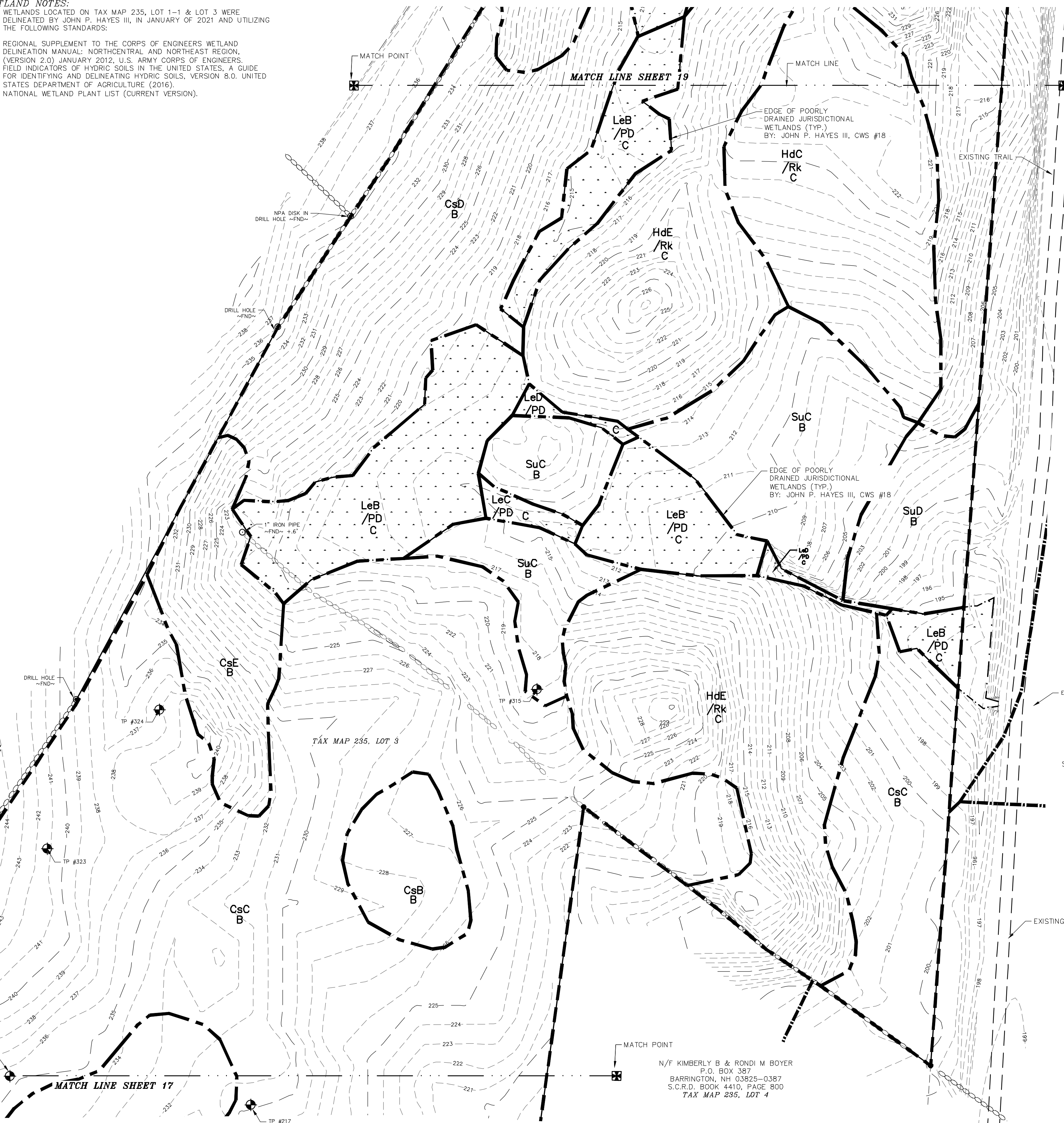


N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

HdC  
B/C

TAX MAP 235, LOT 3

N/F KIMBERLY B & RONDI M BOYER  
P.O. BOX 367  
BARRINGTON, NH 03825-0367  
S.C.R.D. BOOK 4410, PAGE 800  
TAX MAP 235, LOT 4

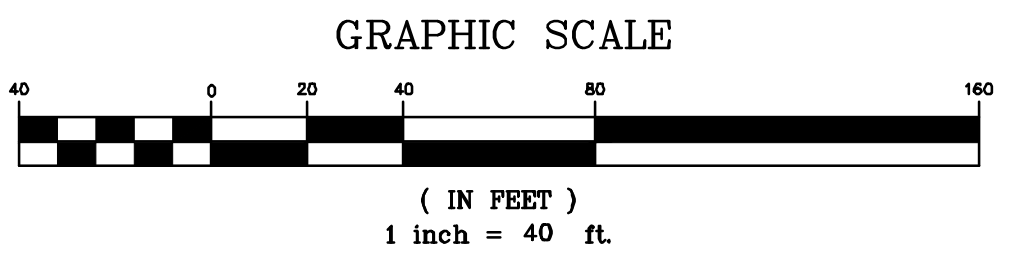


**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

N/F LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4022, PAGE 576  
TAX MAP 238, LOT 3  
SEE PLAN REFERENCE #3

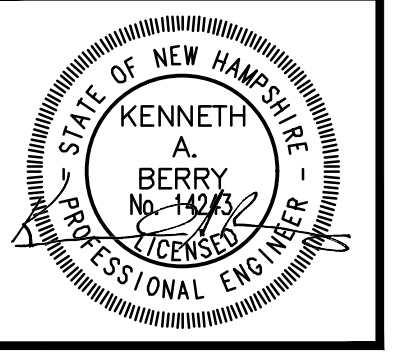
FOR TOWN APPROVAL PURPOSES :  
  
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

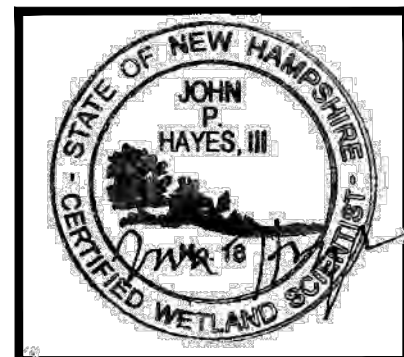
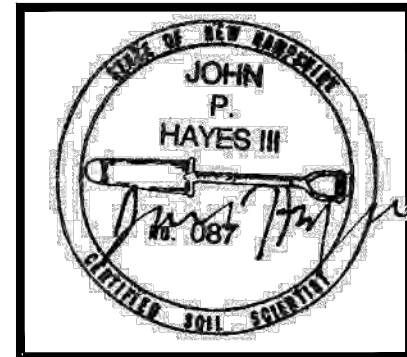
SITE SPECIFIC SOILS MAP - DETAIL 4  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- ⊙ WELL
- ⊙ TEST PIT
- ⊙ LEDGE PROBE
- ⊙ MATCH POINT
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- DETAIL MATCH LINE
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP.
- FND



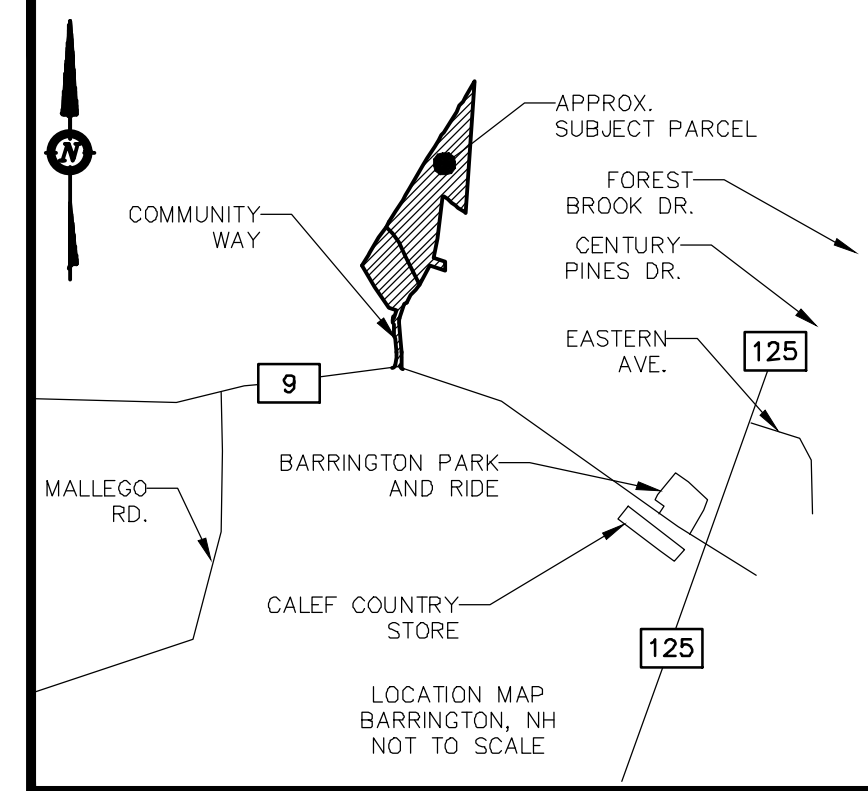
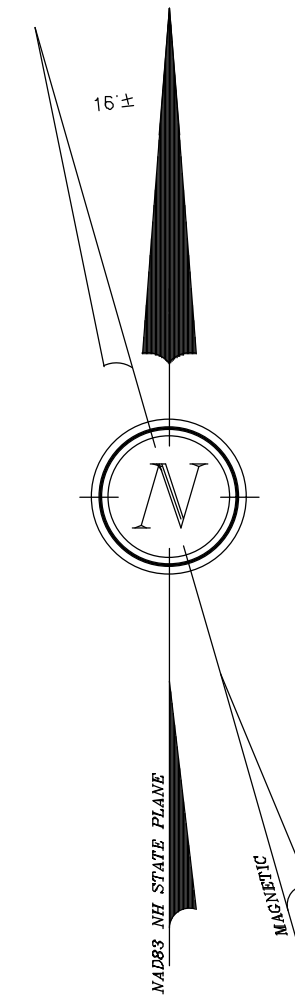
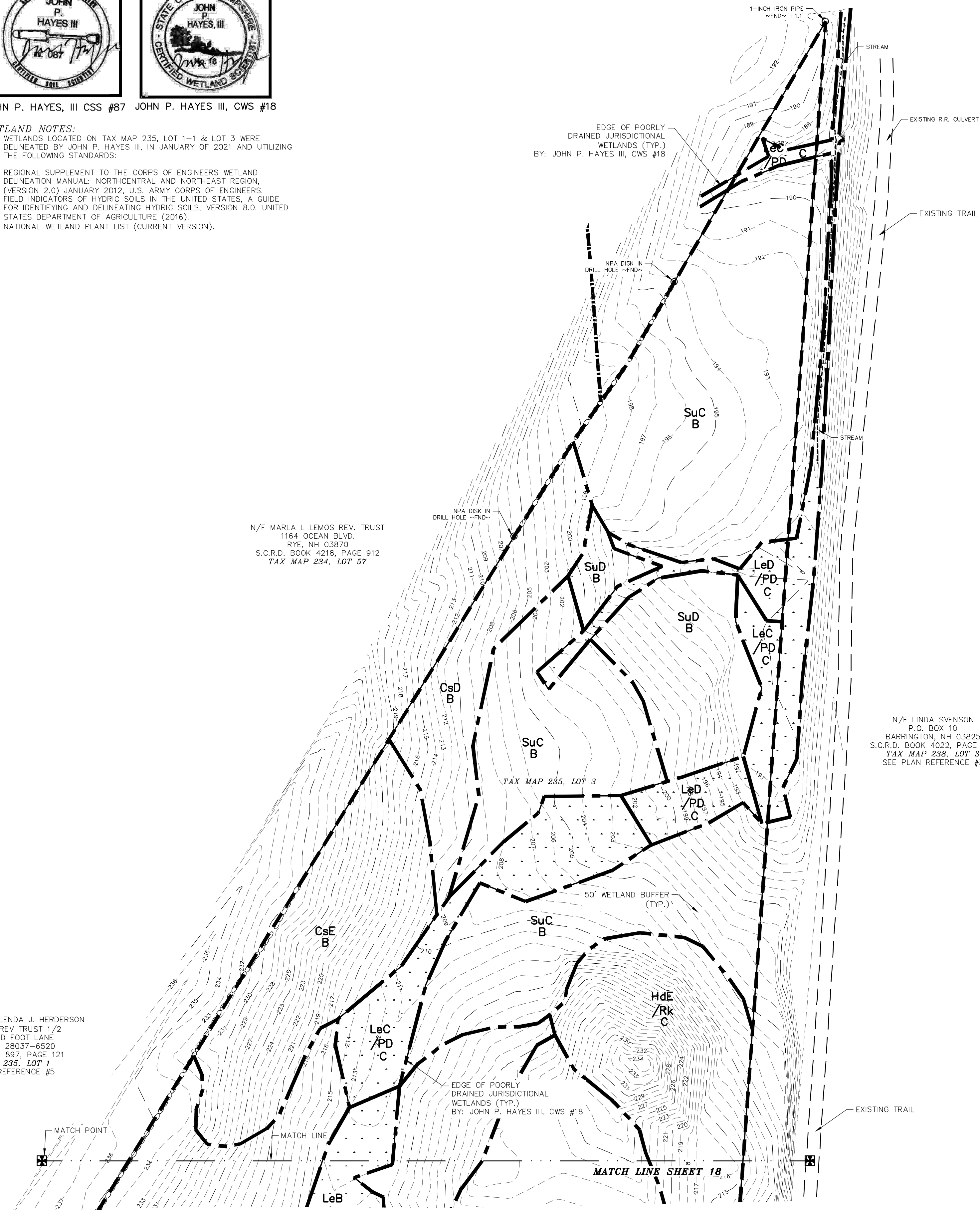
JOHN P. HAYES, III CSS #87 JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:

1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

N/F MARLA L. LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
TAX MAP 234, LOT 57

N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5



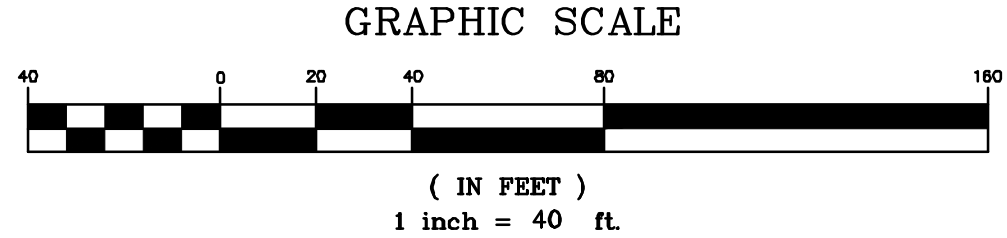
NOTES:

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) ZONING: TOWN CENTER  
FRONTAGE ~ 40.0'  
MINIMUM LOT SIZE ~ 20,000 SQUARE FEET  
FRONT SETBACK ~ 20.0'  
NH ROUTE 125/9 SET BACK: ~ 50'  
REAR SETBACK ~ 15.0'  
SIDE SETBACK ~ 15.0'  
COMMERCIAL / RESIDENTIAL BUFFER ~ 50.0'  
WETLANDS/WATERBODY SETBACK ~ 50.0'  
MAX. STRUCTURE HEIGHT: 40.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C0305E, DATED: SEPTEMBER 30, 2015.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE SPECIFIC SOILS MAP FOR THE SUBJECT PARCELS.

N/F LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4022, PAGE 576  
TAX MAP 238, LOT 3  
SEE PLAN REFERENCE #3

FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

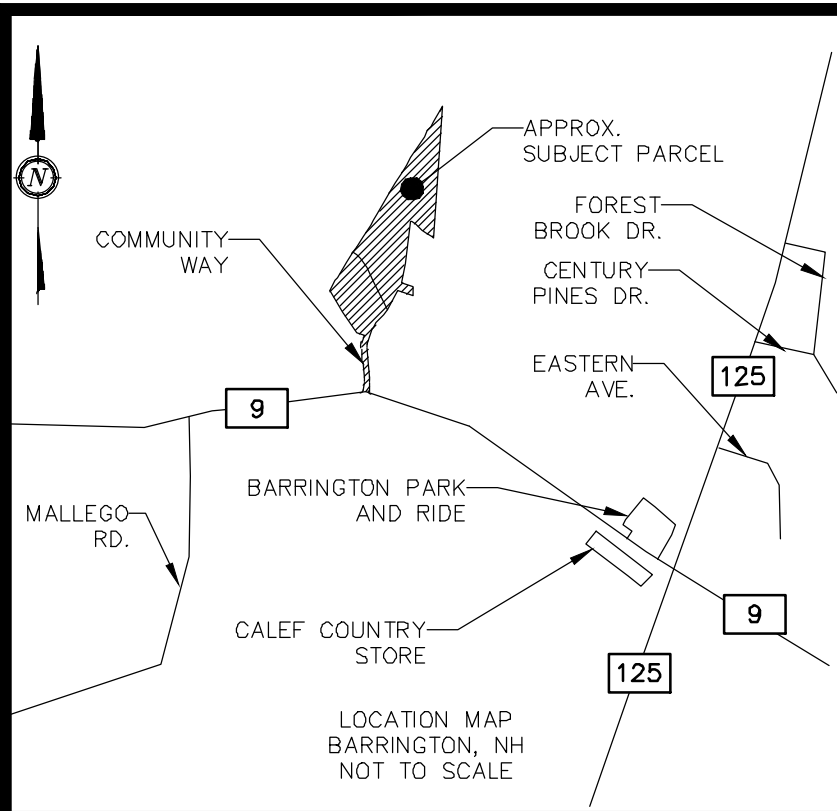


| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

SITE SPECIFIC SOILS MAP - DETAIL 5  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





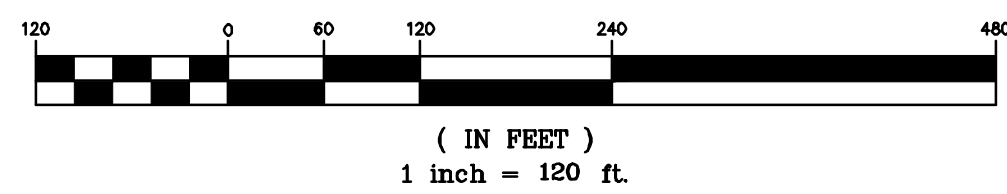
**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac.  
B.) 963,543 Sq. Ft., 22.12 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIFER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE, PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- 8.) THIS IS A 109 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

**LEGEND:**

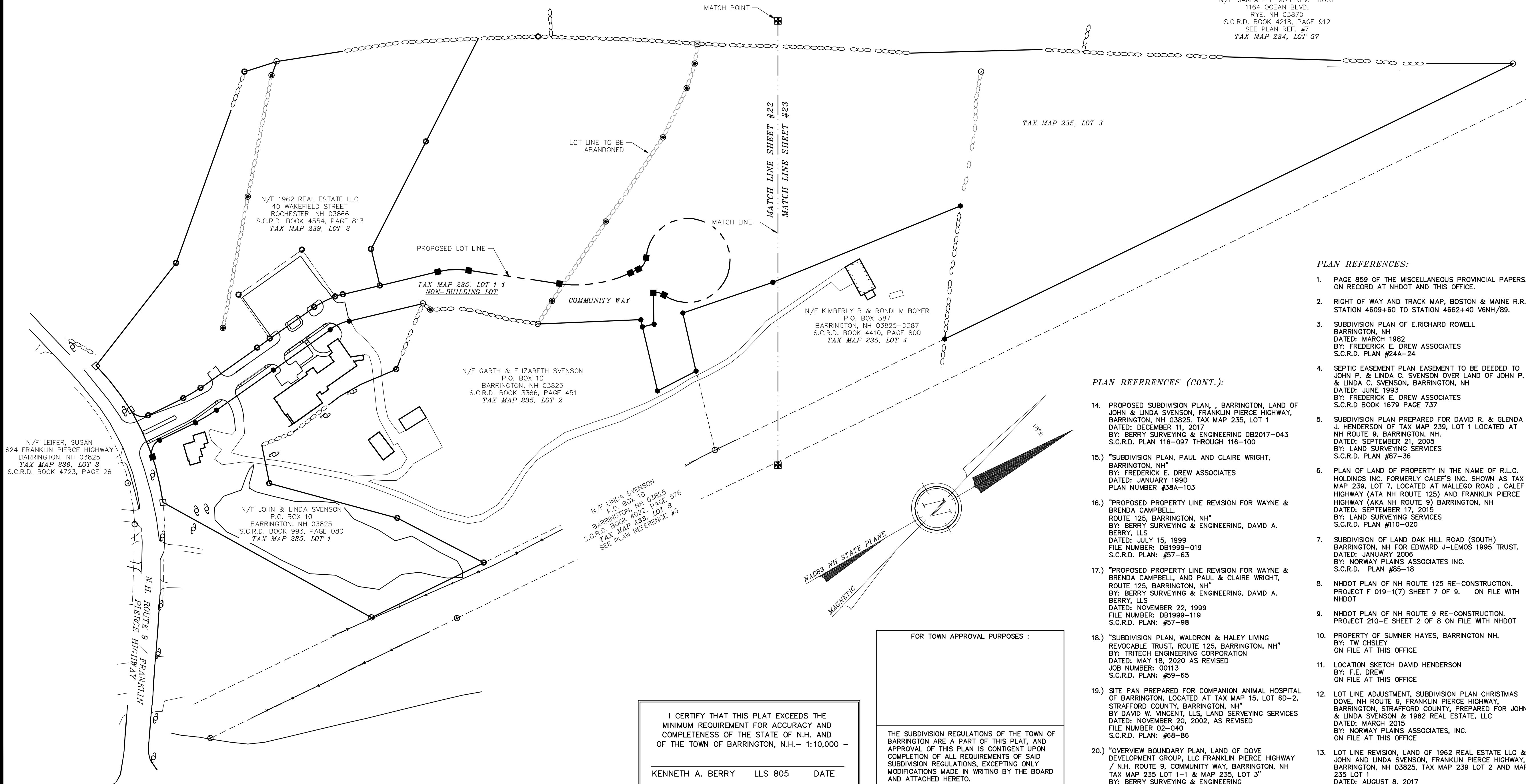
- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- MATCH POINT
- MATCH LINE
- PERIMETER BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- STONE WALL
- FND
- FOUND
- TBS
- TO BE SET
- TYP.
- S.C.R.D.
- STRAFFORD COUNTY REGISTRY OF DEEDS

**GRAPHIC SCALE**



N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 236, LOT 1  
SEE PLAN REFERENCE #5

N/F MARLA L. LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
SEE PLAN REF. #7  
TAX MAP 234, LOT 57



**PLAN REFERENCES:**

1. PAGE 859 OF THE MISCELLANEOUS PROVINCIAL PAPERS. ON RECORD AT NHDOT AND THIS OFFICE.
2. RIGHT OF WAY AND TRACK MAP, BOSTON & MAINE R.R. STATION 4609+60 TO STATION 4662+40 V6NH/89.
3. SUBDIVISION PLAN OF E. RICHARD ROWELL BARRINGTON, NH DATED: MARCH 1982 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. PLAN #24A-24
4. SEPTIC EASEMENT PLAN EASEMENT TO BE DEEDED TO JOHN P. & LINDA C. SVENSON OVER LAND OF JOHN P. & LINDA C. SVENSON, BARRINGTON, NH DATED: JUNE 1993 BY: FREDERICK E. DREW ASSOCIATES S.C.R.D. BOOK 1679 PAGE 737
5. SUBDIVISION PLAN PREPARED FOR DAVID R. & GLENDA J. HENDERSON OF TAX MAP 239, LOT 1 LOCATED AT NH ROUTE 9, BARRINGTON, NH. DATED: SEPTEMBER 21, 2005 BY: LAND SURVEYING SERVICES S.C.R.D. PLAN #87-36
6. PLAN OF LAND OF PROPERTY IN THE NAME OF R.L.C. HOLDINGS INC. FORMERLY CALEF'S INC. SHOWN AS TAX MAP 239, LOT 7, LOCATED AT MALLEGO ROAD, CALEF HIGHWAY (AKA NH ROUTE 125) AND FRANKLIN PIERCE HIGHWAY (AKA NH ROUTE 9) BARRINGTON, NH DATED: SEPTEMBER 17, 2015 BY: LAND SURVEYING SERVICES S.C.R.D. PLAN #110-020
7. SUBDIVISION OF LAND OAK HILL ROAD (SOUTH) BARRINGTON, NH FOR EDWARD J-LEMONS 1995 TRUST. DATED: JANUARY 2006 BY: NORWAY PLAINS ASSOCIATES INC. S.C.R.D. PLAN #85-18
8. NHDOT PLAN OF NH ROUTE 125 RE-CONSTRUCTION. PROJECT F 019-(7) SHEET 7 OF 9. ON FILE WITH NHDOT
9. NHDOT PLAN OF NH ROUTE 9 RE-CONSTRUCTION. PROJECT 210-E SHEET 2 OF 8 ON FILE WITH NHDOT
10. PROPERTY OF SUMNER HAYES, BARRINGTON NH. BY: TW CHSLEY ON FILE AT THIS OFFICE
11. LOCATION SKETCH DAVID HENDERSON BY: F.E. DREW ON FILE AT THIS OFFICE
12. LOT LINE ADJUSTMENT, SUBDIVISION PLAN CHRISTMAS DOVE, NH ROUTE 9, FRANKLIN PIERCE HIGHWAY, BARRINGTON, STRAFFORD COUNTY, PREPARED FOR JOHN & LINDA SVENSON & 1962 REAL ESTATE, LLC DATED: MARCH 2015 BY: NORWAY PLAINS ASSOCIATES, INC. ON FILE AT THIS OFFICE
13. LOT LINE REVISION, LAND OF 1962 REAL ESTATE LLC & JOHN AND LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 239 LOT 2 AND MAP 235 LOT 1 DATED: AUGUST 8, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 115-064 THROUGH 115-067

**PLAN REFERENCES (CONT.):**

14. PROPOSED SUBDIVISION PLAN, BARRINGTON, LAND OF JOHN & LINDA SVENSON, FRANKLIN PIERCE HIGHWAY, BARRINGTON, NH 03825, TAX MAP 235, LOT 1 DATED: DECEMBER 11, 2017 BY: BERRY SURVEYING & ENGINEERING DB2017-043 S.C.R.D. PLAN 116-097 THROUGH 116-100
15. "SUBDIVISION PLAN, PAUL AND CLAIRE WRIGHT, BARRINGTON, NH" BY: FREDERICK E. DREW ASSOCIATES DATED: JANUARY 1990 PLAN NUMBER #38A-103
16. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: JULY 15, 1999 FILE NUMBER: DB1999-019 S.C.R.D. PLAN: #57-63
17. "PROPOSED PROPERTY LINE REVISION FOR WAYNE & BRENDA CAMPBELL, AND PAUL & CLAIRE WRIGHT, ROUTE 125, BARRINGTON, NH" BY: BERRY SURVEYING & ENGINEERING, DAVID A. BERRY, LLS DATED: NOVEMBER 22, 1999 FILE NUMBER: DB1999-119 S.C.R.D. PLAN: #57-98
18. "SUBDIVISION PLAN, WALDRON & HALEY LIVING REVOCABLE TRUST, ROUTE 125, BARRINGTON, NH" BY: TRITECH ENGINEERING CORPORATION DATED: MAY 18, 2020 AS REVISED JOB NUMBER: 00113 S.C.R.D. PLAN: #59-65
19. SITE PLAN PREPARED FOR COMPANION ANIMAL HOSPITAL OF BARRINGTON, LOCATED AT TAX MAP 15, LOT 6D-2, STRAFFORD COUNTY, BARRINGTON, NH BY: DAVID W. VINCENT, LLS, LAND SURVEYING SERVICES DATED: NOVEMBER 20, 2002, AS REVISED FILE NUMBER 02-040 S.C.R.D. PLAN: #68-86
20. "OVERVIEW BOUNDARY PLAN, LAND OF DOVE DEVELOPMENT GROUP, LLC FRANKLIN PIERCE HIGHWAY / N.H. ROUTE 9, COMMUNITY WAY, BARRINGTON, NH TAX MAP 235 LOT 1-1 & MAP 235, LOT 3" BY: BERRY SURVEYING & ENGINEERING DATED: JUNE 28, 2021 AS REVISED TO BE RECORDED

FOR TOWN APPROVAL PURPOSES :

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE

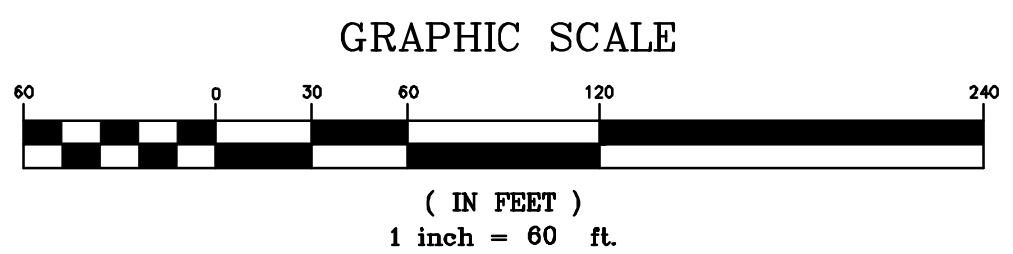
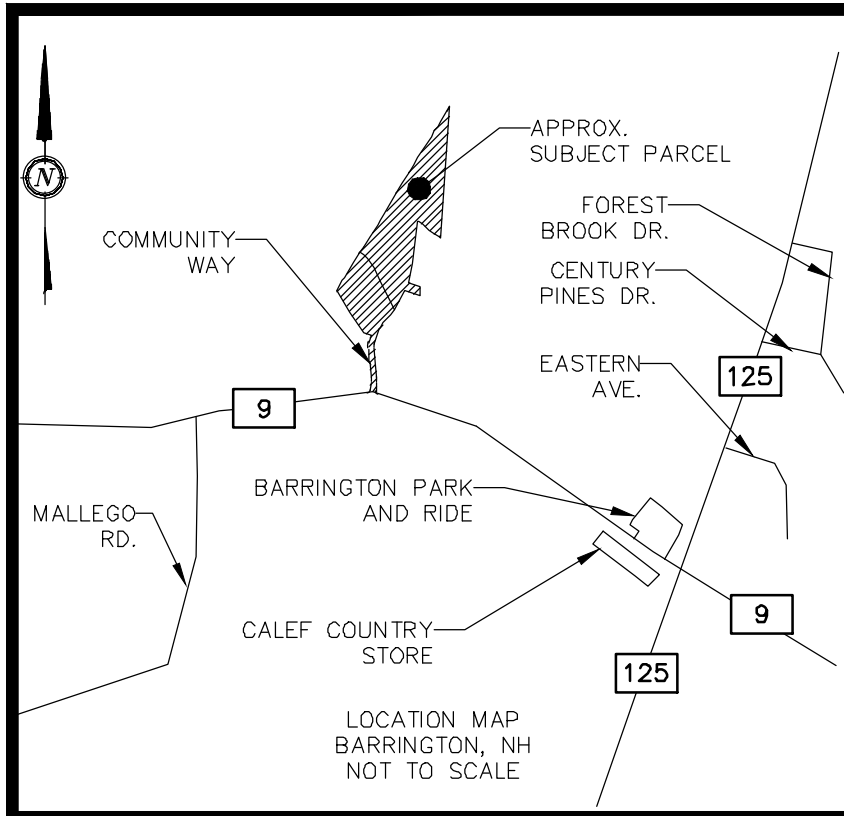
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #2         | #1         | REVISION                                      | DATE | DESCRIPTION |
|------------|------------|---|------|-------------|
| 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |      |             |

OVERVIEW LOT LINE REVISION PLAN  
OF  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 120 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

SIGNATURE



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac.  
B.) 963,543 Sq. Ft., 22.12 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
  - VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
  - THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
  - THIS IS A 109 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND~/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - MATCH POINT
  - MATCH LINE
  - PERIMETER BOUNDARY
  - ABUTTING PROPERTY LINE
  - EXISTING EASEMENT
  - STONE WALL
  - POORLY DRAINED JURISDICTIONAL WETLANDS (TYP.)
  - 50' WETLAND BUFFER
  - BUILDING SETBACK LINE
  - FND FOUND
  - TBS TO BE SET
  - TYP. TYPICAL
  - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

**FOR TOWN APPROVAL PURPOSES :**

N/F LEIFER, SUSAN  
624 FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH 03825  
TAX MAP 239, LOT 3  
S.C.R.D. BOOK 4723, PAGE 26

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

DEIDRA BENJAMIN, CWS #295

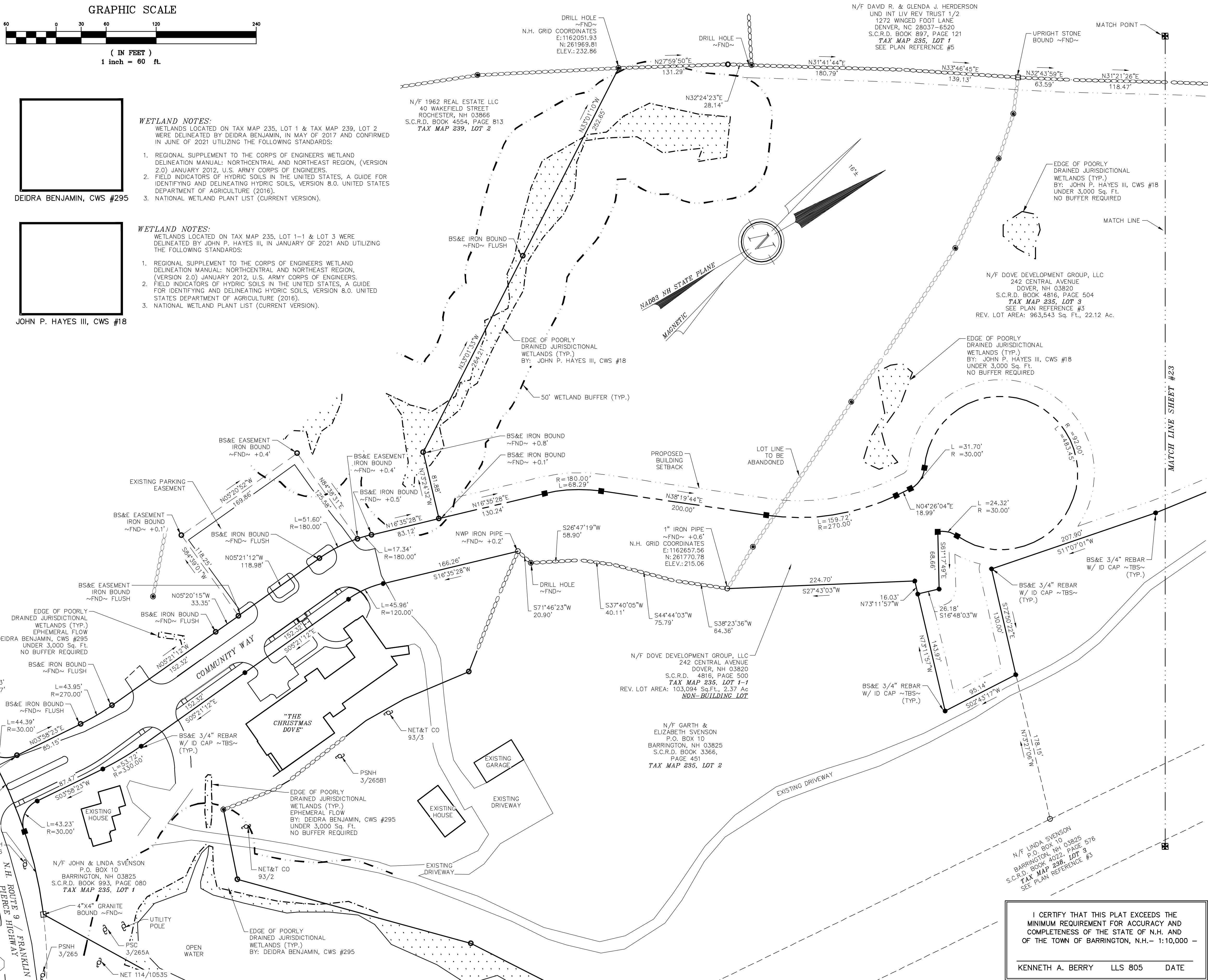
JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

**WETLAND NOTES:**  
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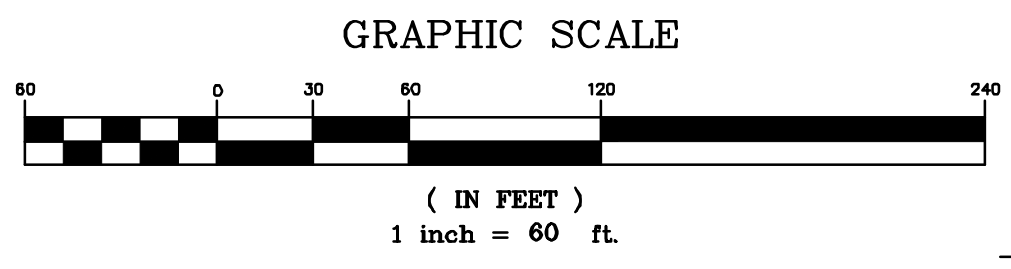
| REVISION # | DATE       | DESCRIPTION                                     |
|------------|------------|---|
| 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT |
| #2         | #1         | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT |

LOT LINE REVISION PLAN SOUTH  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 60 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

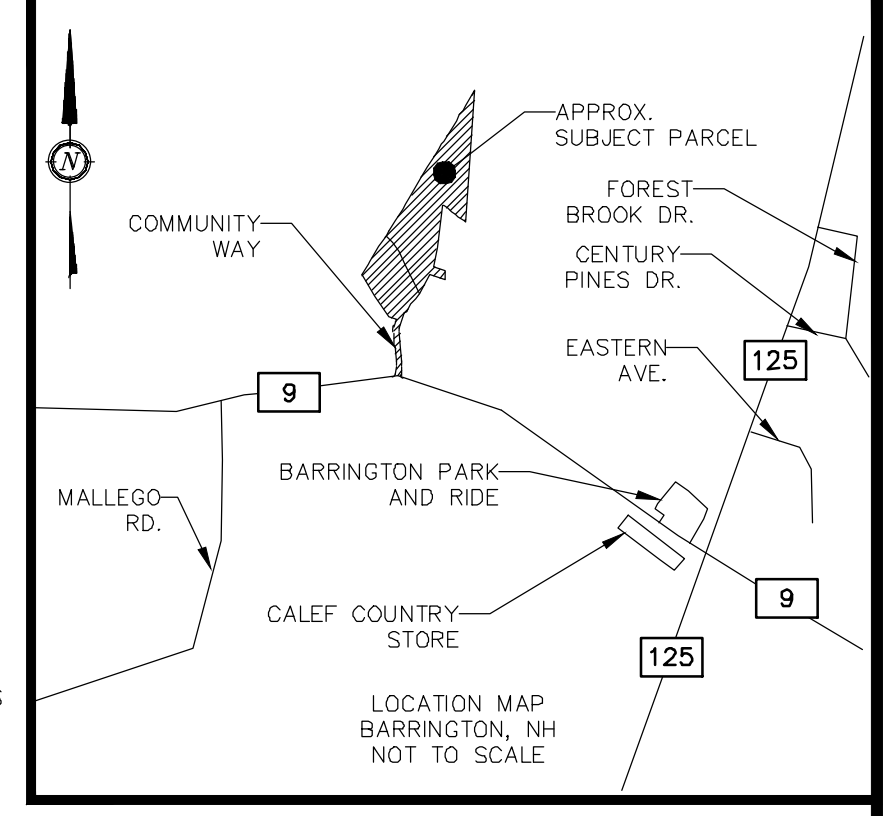
I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

KENNETH A. BERRY LLS 805 DATE



- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - MATCH POINT
  - MATCH LINE
  - PERIMETER BOUNDARY
  - ABUTTING PROPERTY LINE
  - EXISTING EASEMENT
  - STONE WALL
  - POORLY DRAINED JURISDICTIONAL WETLAND
  - 50' WETLAND BUFFER
  - BUILDING SETBACK LINE
  - FOUND
  - FND
  - TBS
  - TO BE SET
  - TYP.
  - S.C.R.D.
  - STRAFFORD COUNTY REGISTRY OF DEEDS

- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - 3.) LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac.  
B.) 963,543 Sq. Ft., 22.12 Ac.
  - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
  - 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
  - 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
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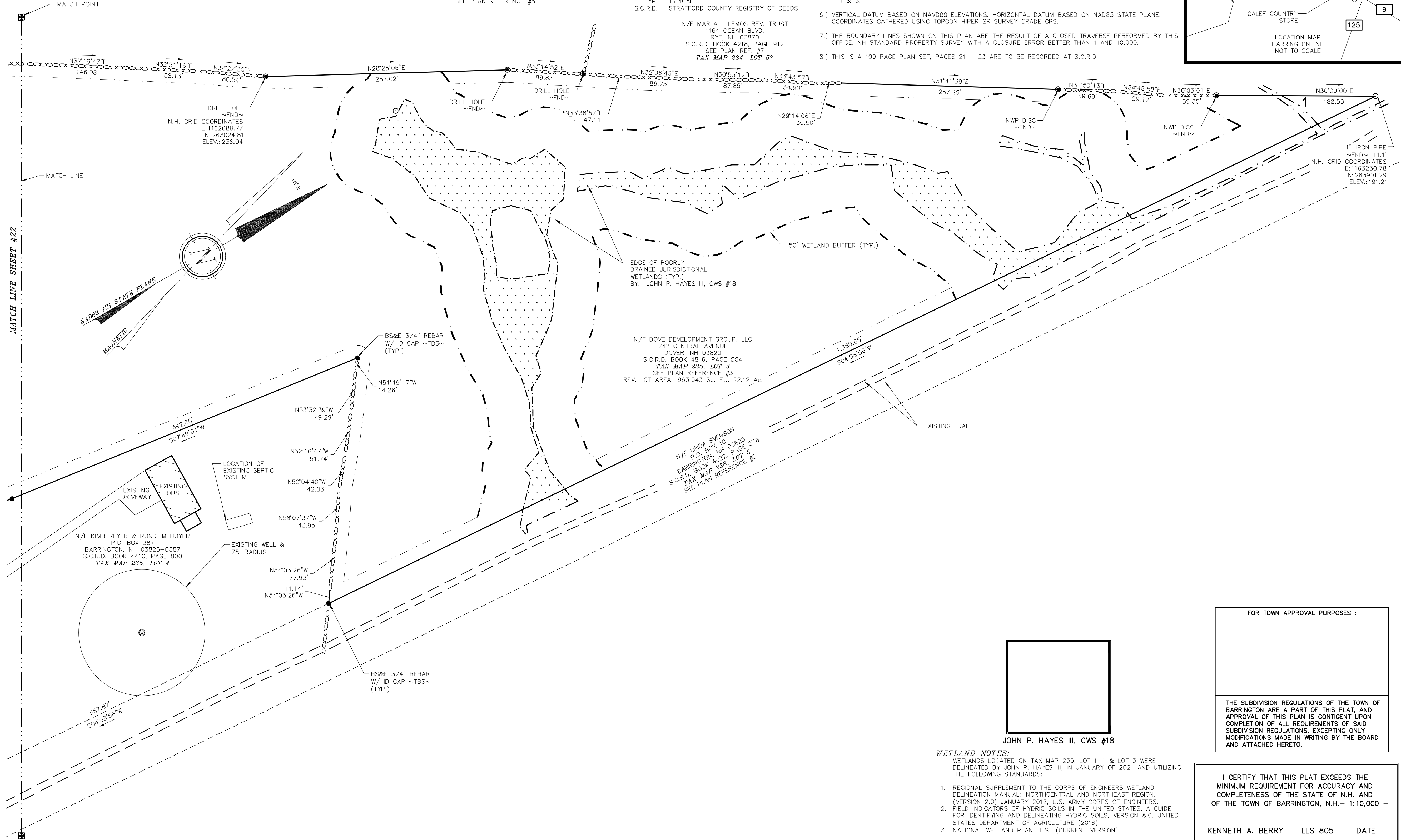
N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
SEE PLAN REF. #7  
TAX MAP 234, LOT 57

N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
TAX MAP 235, LOT 3  
SEE PLAN REFERENCE #3  
REV. LOT AREA: 963,543 Sq. Ft., 22.12 Ac.

N/F LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4024, PAGE 576  
TAX MAP 238, LOT 3  
SEE PLAN REFERENCE #3

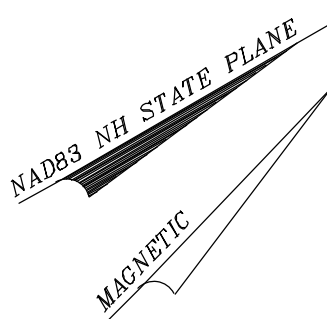
N/F KIMBERLY B & RONDI M BOYER  
P.O. BOX 387  
BARRINGTON, NH 03825-0387  
S.C.R.D. BOOK 4410, PAGE 800  
TAX MAP 235, LOT 4



MATCH LINE SHEET #22

MATCH POINT

MATCH LINE



DRILL HOLE  
~FND~  
N.H. GRID COORDINATES  
E:1162688.77  
N:263024.81  
ELEV.:236.04

LOCATION OF  
EXISTING SEPTIC  
SYSTEM

EXISTING WELL &  
75' RADIUS

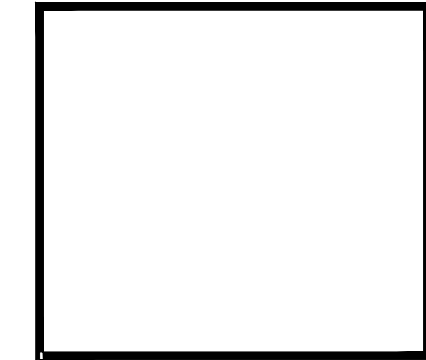
BS&E 3/4" REBAR  
W/ ID CAP ~TBS~  
(TYP.)

EDGE OF POORLY  
DRAINED JURISDICTIONAL  
WETLANDS (TYP.)  
BY: JOHN P. HAYES III, CWS #18

50' WETLAND BUFFER (TYP.)

EXISTING TRAIL

1" IRON PIPE  
~FND~ +1.1'  
N.H. GRID COORDINATES  
E:1163230.78  
N:263901.29  
ELEV.:191.21



- WETLAND NOTES:**  
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  2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
  3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

FOR TOWN APPROVAL PURPOSES :

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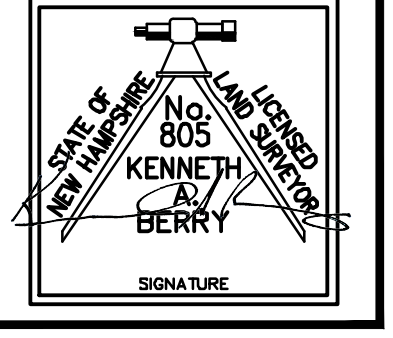
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KENNETH A. BERRY LLS 805 DATE

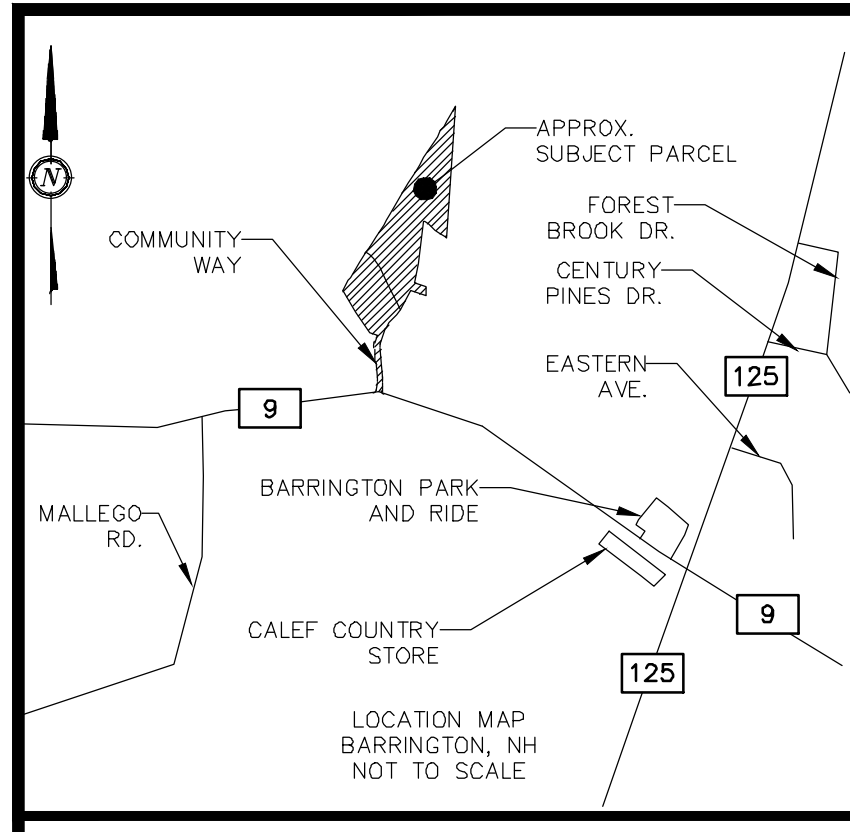
| #2 | #1 | REVISION | DATE       | DESCRIPTION                                    |
|----|----|----------|------------|--|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |

LOT LINE REVISION PLAN NORTH  
OF  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 60 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





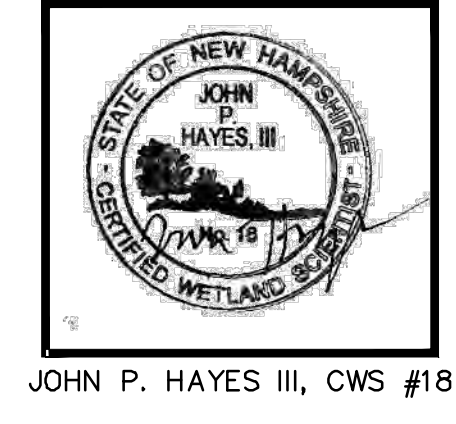
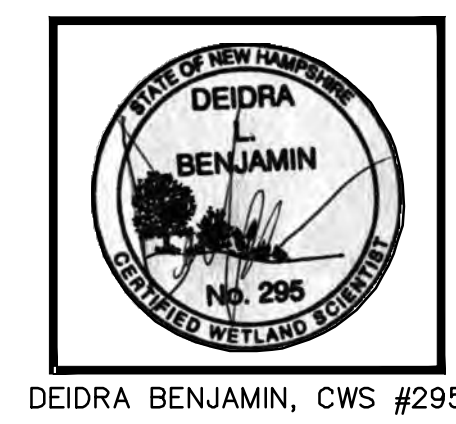
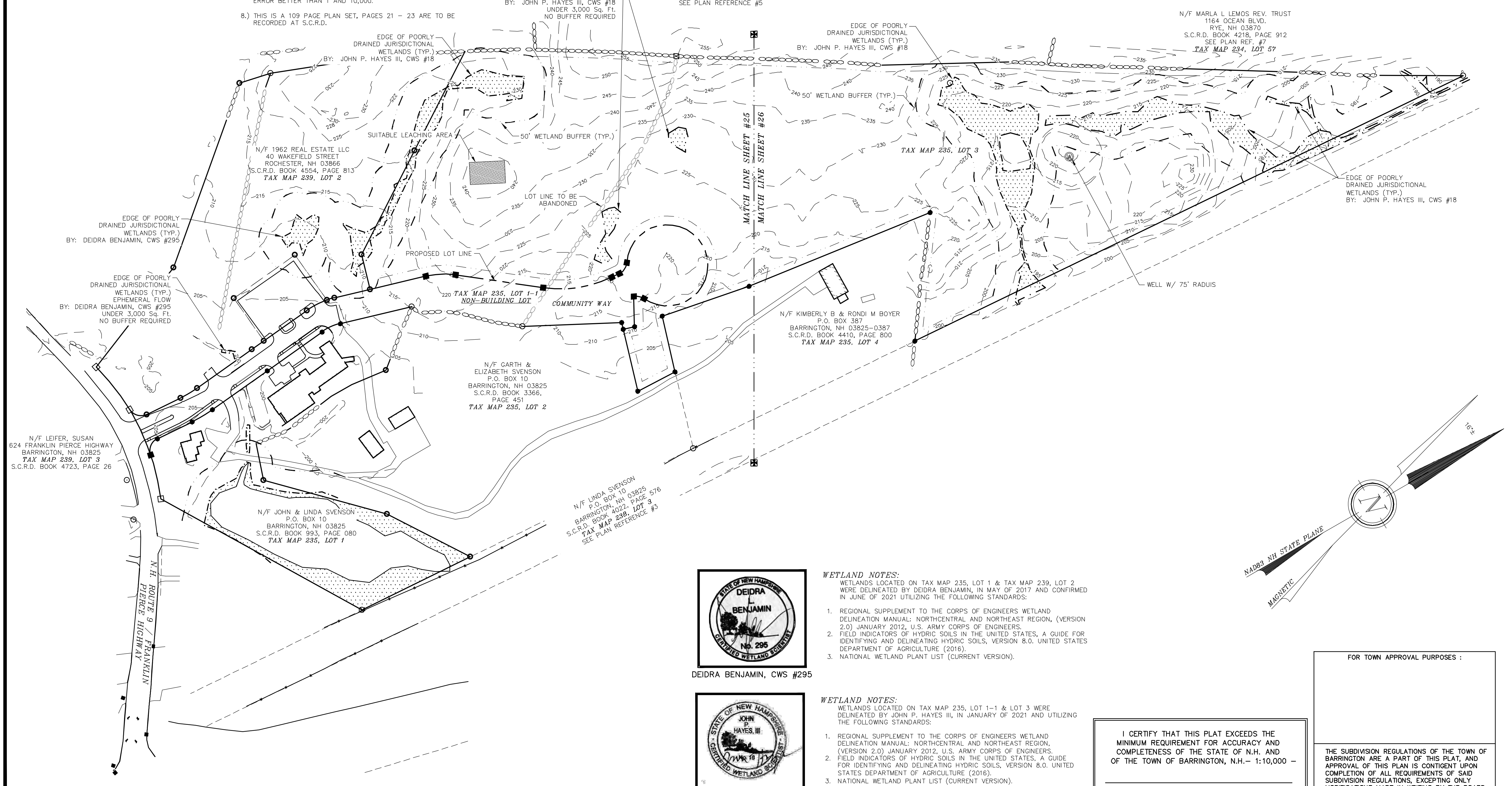
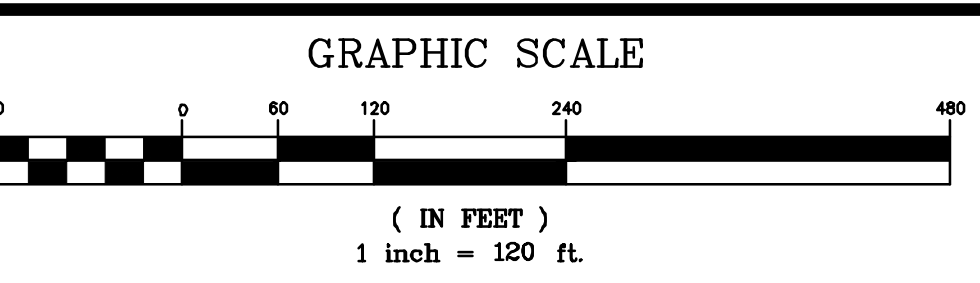


**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS.  
HORIZONTAL DATUM BASED ON NAD83 STATE PLANE.  
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- 8.) THIS IS A 109 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

**LEGEND:**

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~FND~
- IRON BOUND/REBAR ~FND/SET~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- UTILITY POLE
- MATCH POINT
- MATCH LINE
- PERIMETER BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING EASEMENT
- STONE WALL
- POORLY DRAINED JURISDICTIONAL WETLAND
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- FND TO BE SET
- TBS TYPICAL
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS



**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1 & TAX MAP 239, LOT 2 WERE DELINEATED BY DEIDRA BENJAMIN, IN MAY OF 2017 AND CONFIRMED IN JUNE OF 2021 UTILIZING THE FOLLOWING STANDARDS:

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KENNETH A. BERRY LLS 805 DATE

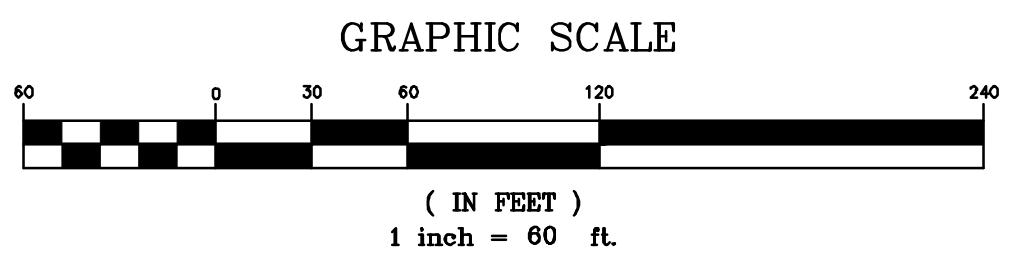
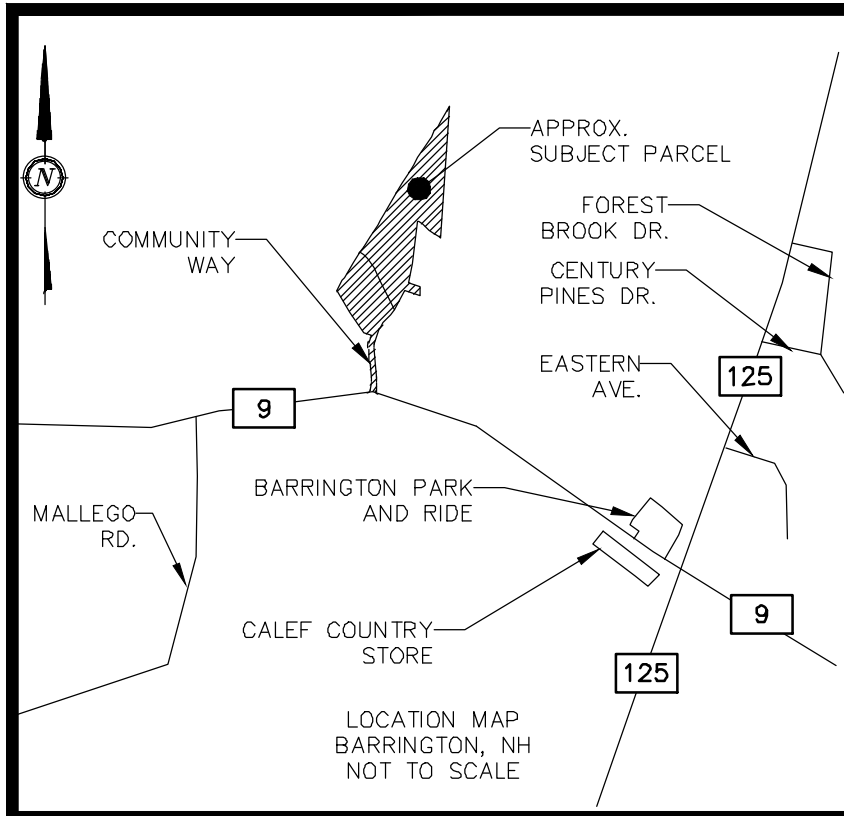
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**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 120 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

OVERVIEW TOPOGRAPHIC LOT LINE REVISION PLAN  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

| #2         | #1         | REVISION | DATE | DESCRIPTION                                   |
|------------|------------|----------|------|---|
| 10-12-2021 | 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|            |            |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |



N/F HARVEY, CANDICE K.  
P.O. BOX 452  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4710, PAGE 1016  
TAX MAP 239, LOT 1  
SEE PLAN REFERENCE #5

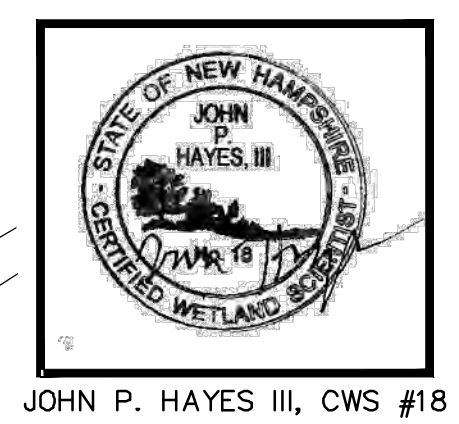
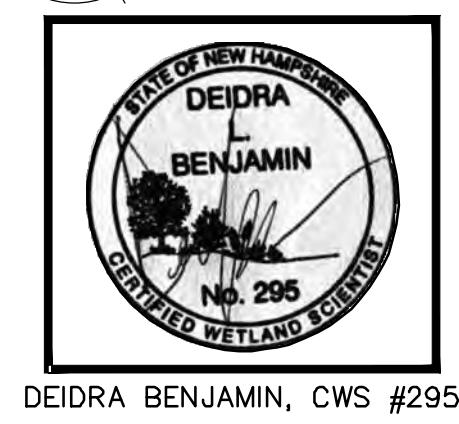
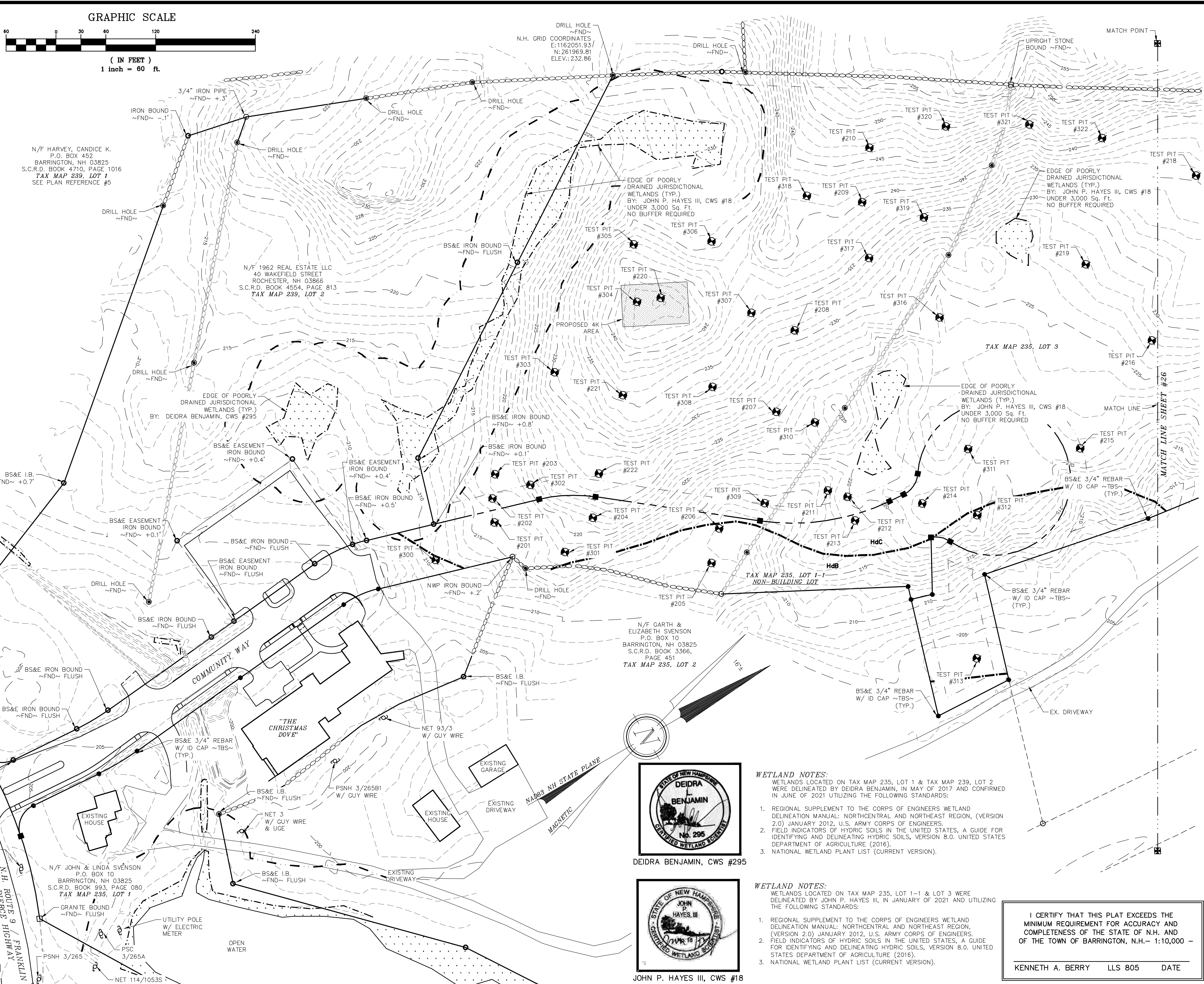
- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
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  - IRON PIPE ~FND~
  - UTILITY POLE
  - MATCH POINT
  - PERIMETER BOUNDARY
  - ABUTTING PROPERTY LINE
  - EXISTING EASEMENT
  - STONE WALL
  - POORLY DRAINED JURISDICTIONAL WETLAND
  - 50' WETLAND BUFFER
  - BUILDING SETBACK LINE
  - FND FOUND
  - TBS TO BE SET
  - TYP. TYPICAL
  - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

N/F LEIFER, SUSAN  
624 FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH 03825  
TAX MAP 239, LOT 3  
S.C.R.D. BOOK 4723, PAGE 26

**FOR TOWN APPROVAL PURPOSES :**

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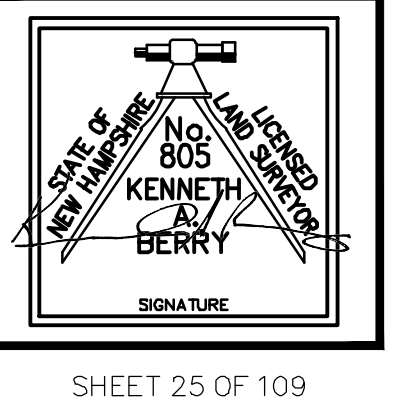
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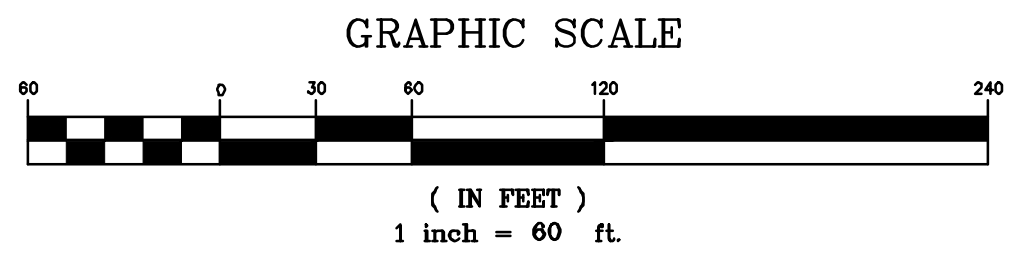
KENNETH A. BERRY LLS 805 DATE

| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
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TOPOGRAPHIC LOT LINE REVISION PLAN SOUTH  
LAND OF  
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N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

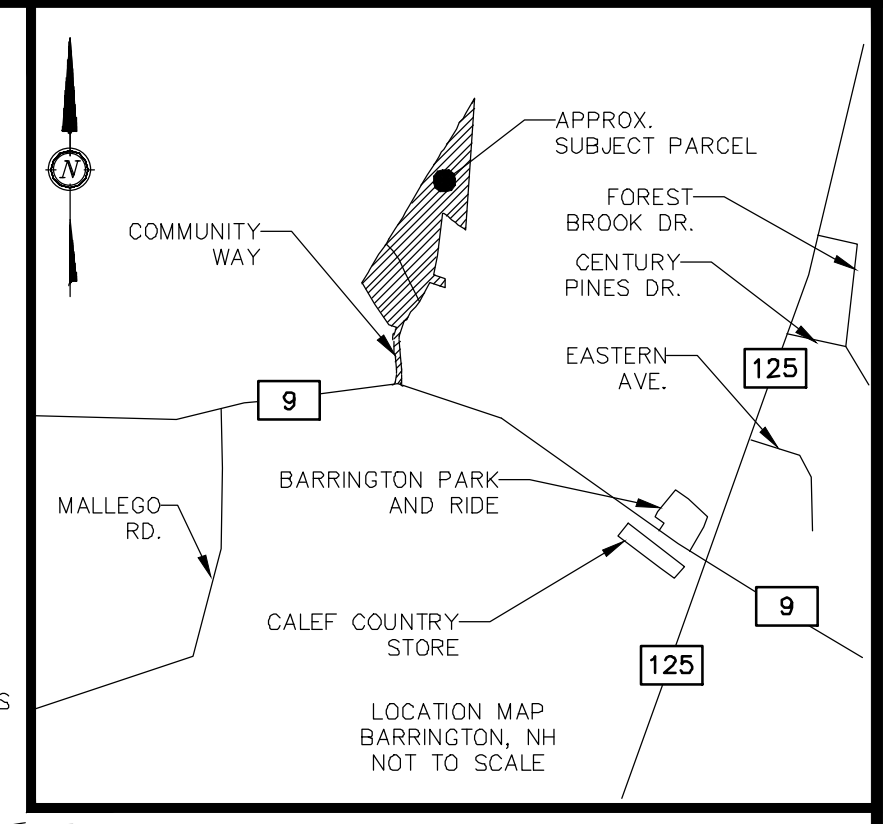
BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 60 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - MATCH POINT
  - PERIMETER BOUNDARY
  - ABUTTING PROPERTY LINE
  - EXISTING EASEMENT
  - STONE WALL
  - POORLY DRAINED JURISDICTIONAL WETLAND
  - 50' WETLAND BUFFER
  - BUILDING SETBACK LINE
  - FND FOUND
  - TBS TO BE SET
  - TYP. TYPICAL
  - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE LOT LINE REVISION OF BOUNDARIES FOR TAX MAP 235, LOT 1-1 & 3.
  - 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
  - 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
  - 8.) THIS IS A 109 PAGE PLAN SET, PAGES 21 - 23 ARE TO BE RECORDED AT S.C.R.D.

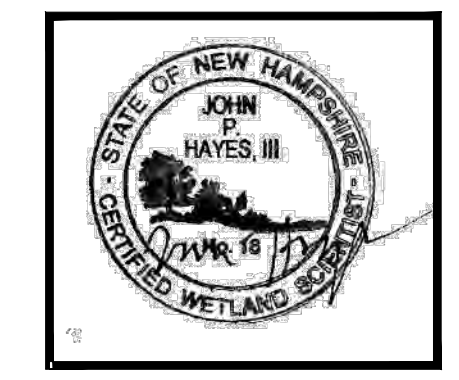
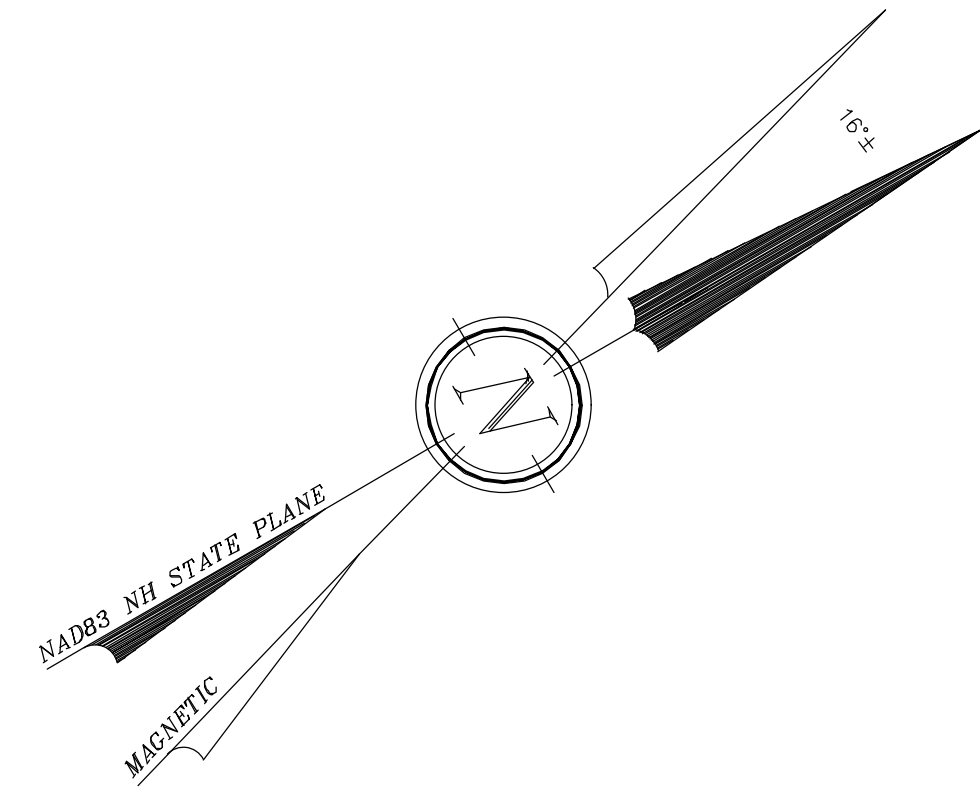
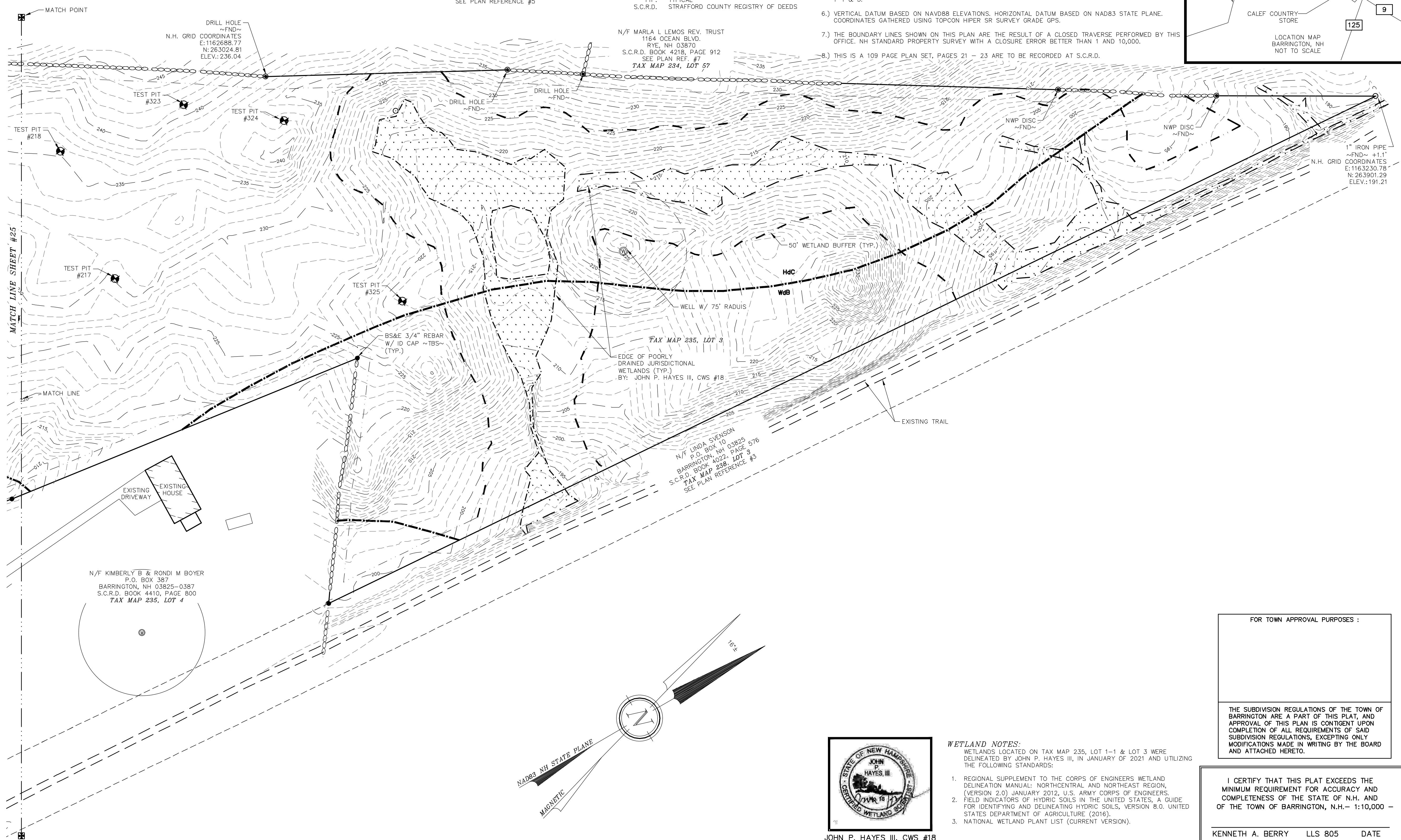


N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F MARLA L LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
SEE PLAN REF. #7  
TAX MAP 234, LOT 57

N/F LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825 576  
S.C.R.D. BOOK 4023, PAGE 576  
TAX MAP 238, LOT 3  
SEE PLAN REFERENCE #3

N/F KIMBERLY B & RONI M BOYER  
P.O. BOX 387  
BARRINGTON, NH 03825-0387  
S.C.R.D. BOOK 4410, PAGE 800  
TAX MAP 235, LOT 4



JOHN P. HAYES III, CWS #18

**WETLAND NOTES:**  
WETLANDS LOCATED ON TAX MAP 235, LOT 1-1 & LOT 3 WERE DELINEATED BY JOHN P. HAYES III, IN JANUARY OF 2021 AND UTILIZING THE FOLLOWING STANDARDS:  
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.  
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).  
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

FOR TOWN APPROVAL PURPOSES :  
  
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

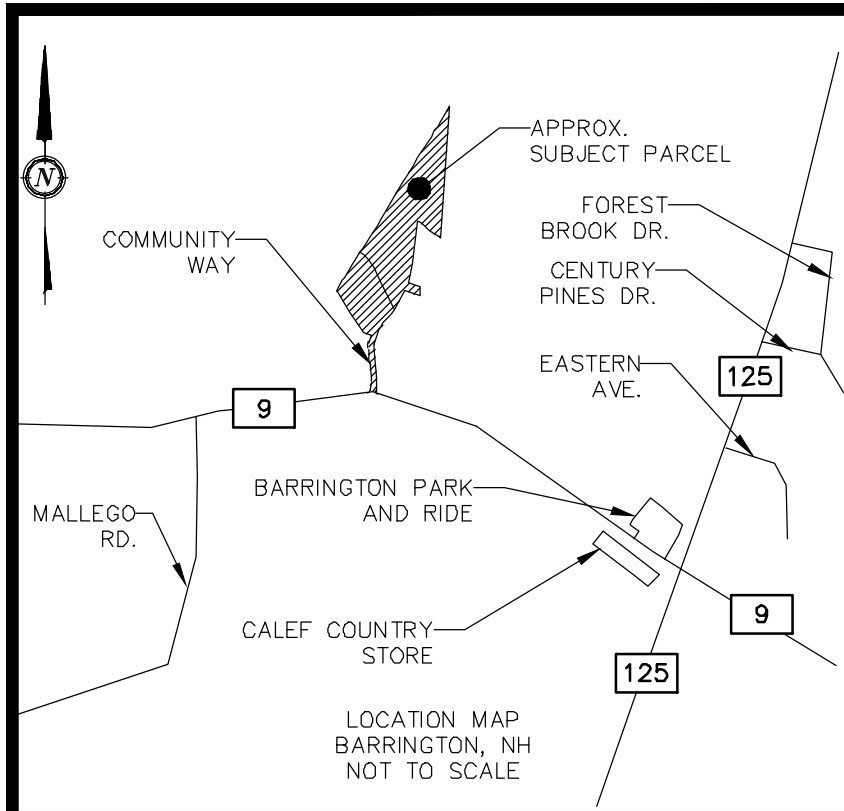
I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -  
KENNETH A. BERRY LLS 805 DATE

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 60 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

SIGNATURE

TOPOGRAPHIC LOT LINE REVISION PLAN NORTH  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

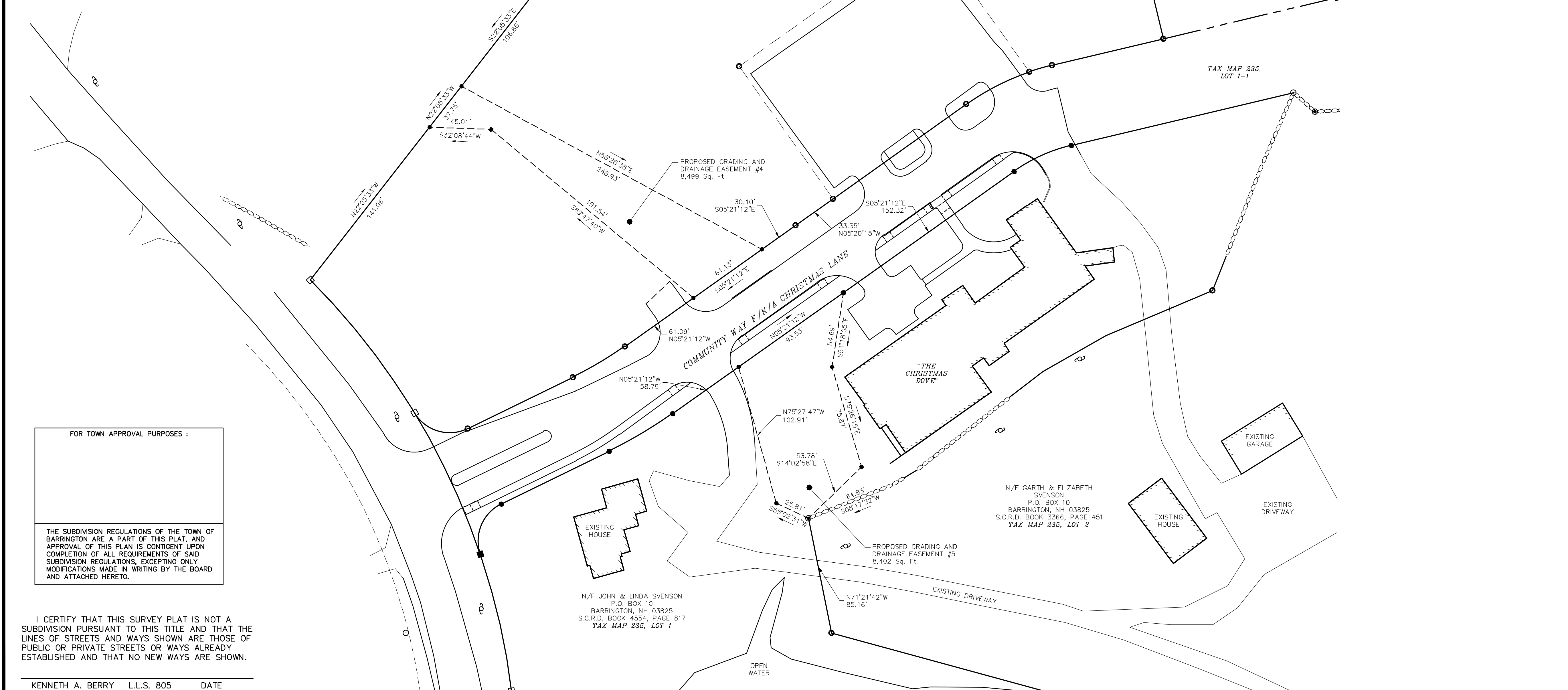
| #2 | #1 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |



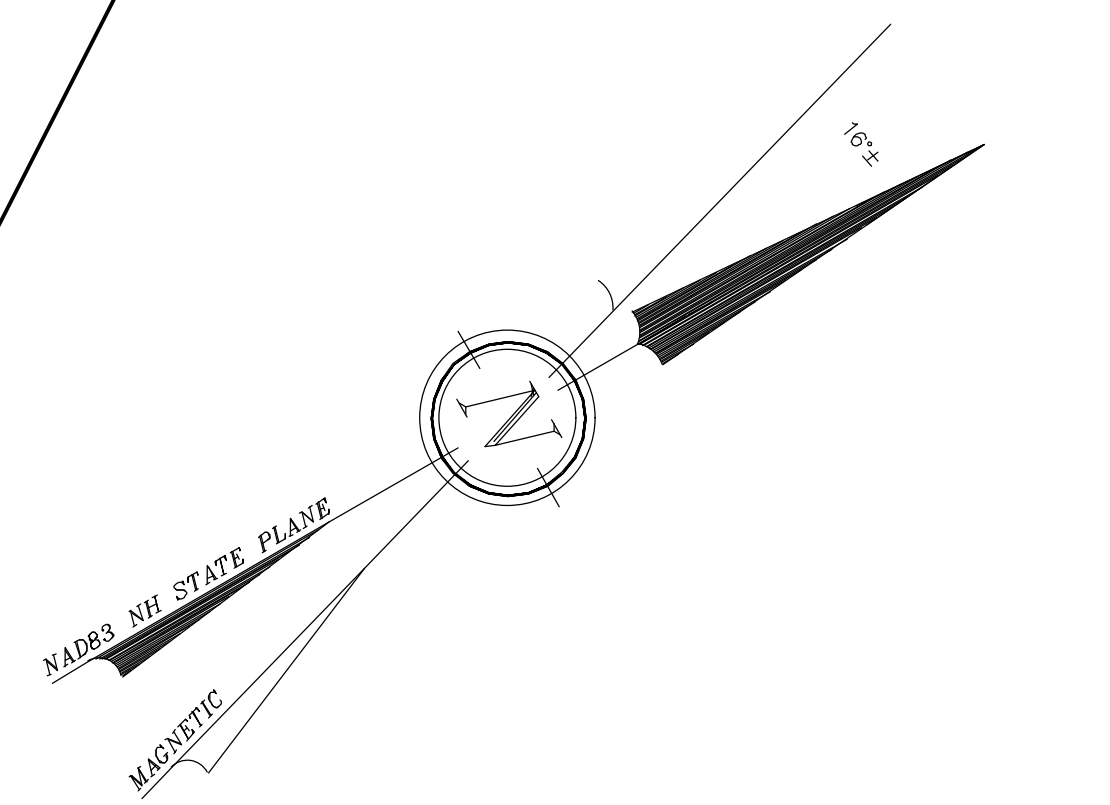
**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac.  
B.) 963,543 Sq. Ft., 22.12 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS OF TAX MAP 235, LOTS 1, 1-1, & TAX MAP 235, LOT 2 LOCATED IN BARRINGTON, N.H.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- 8.) SEE OVERVIEW BOUNDARY PLAN, SHEET #3, FOR PLAN REFERENCES. SEE OVERVIEW LOT LINE REVISION PLAN, SHEET #21, FOR CORRESPONDING LOT LINE REVISION.

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
  - GRANITE BOUND ~FND~
  - IRON BOUND/REBAR ~FND/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - PERIMETER BOUNDARY
  - ABUTTING PROPERTY LINE
  - STONE WALL
  - FND FOUND
  - TBS TO BE SET
  - TYP. TYPICAL
  - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS



N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 813  
TAX MAP 239, LOT 2



FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4554, PAGE 817  
TAX MAP 235, LOT 1

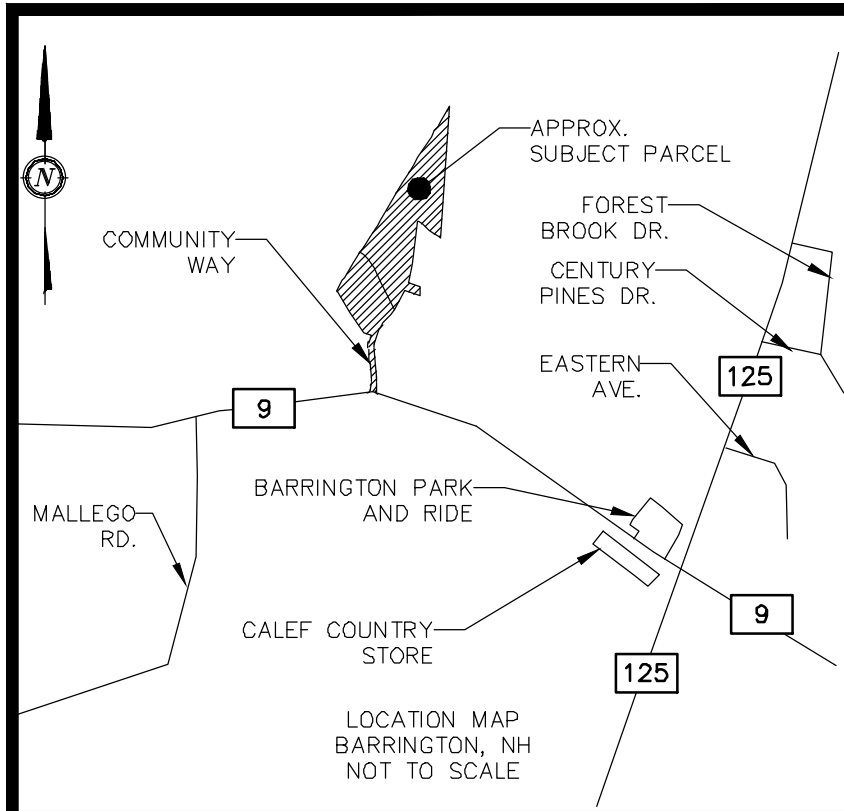
N/F GARTH & ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366, PAGE 451  
TAX MAP 235, LOT 2

| #          | REVISION | DATE | DESCRIPTION                                   |
|------------|----------|------|---|
| 10-12-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EASEMENT PLAN NORTH  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

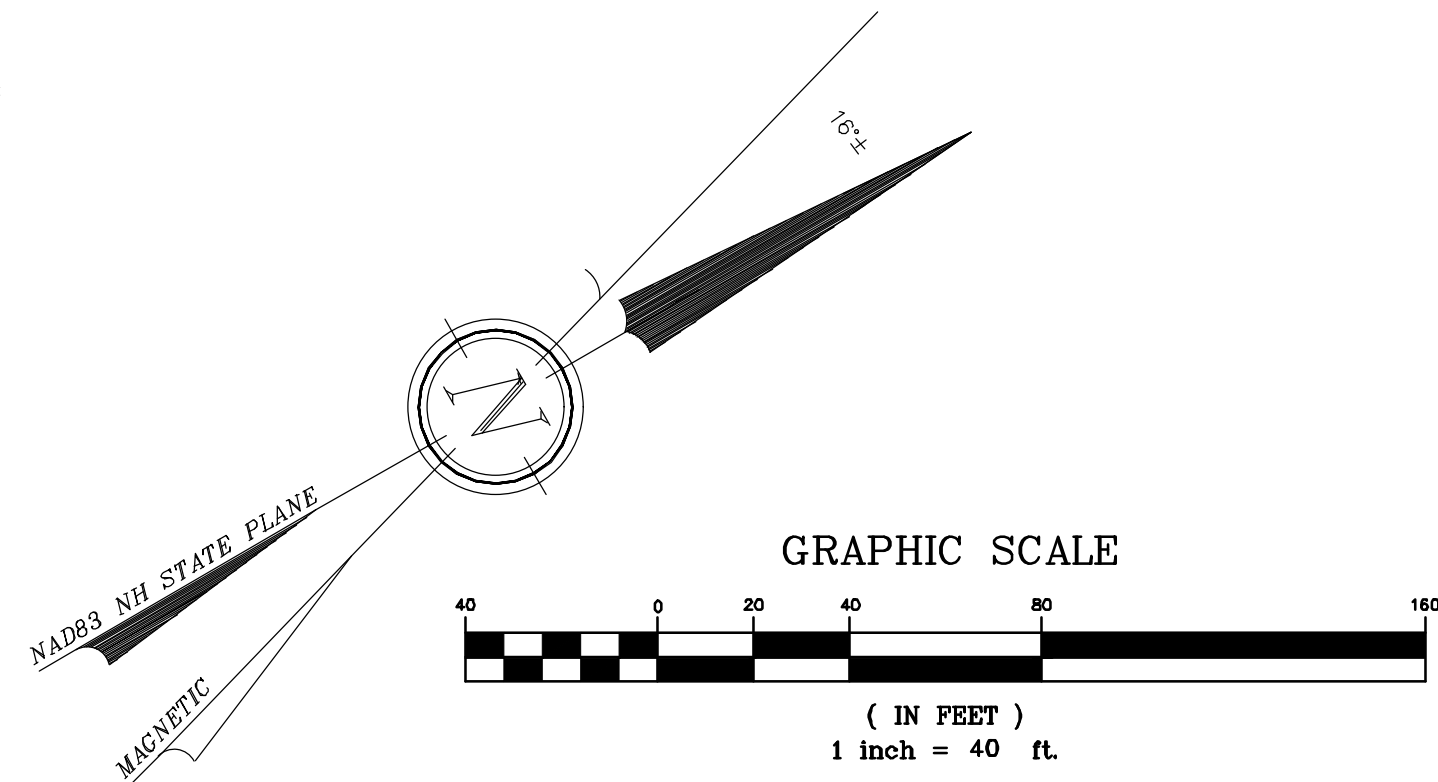
**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

SIGNATURE



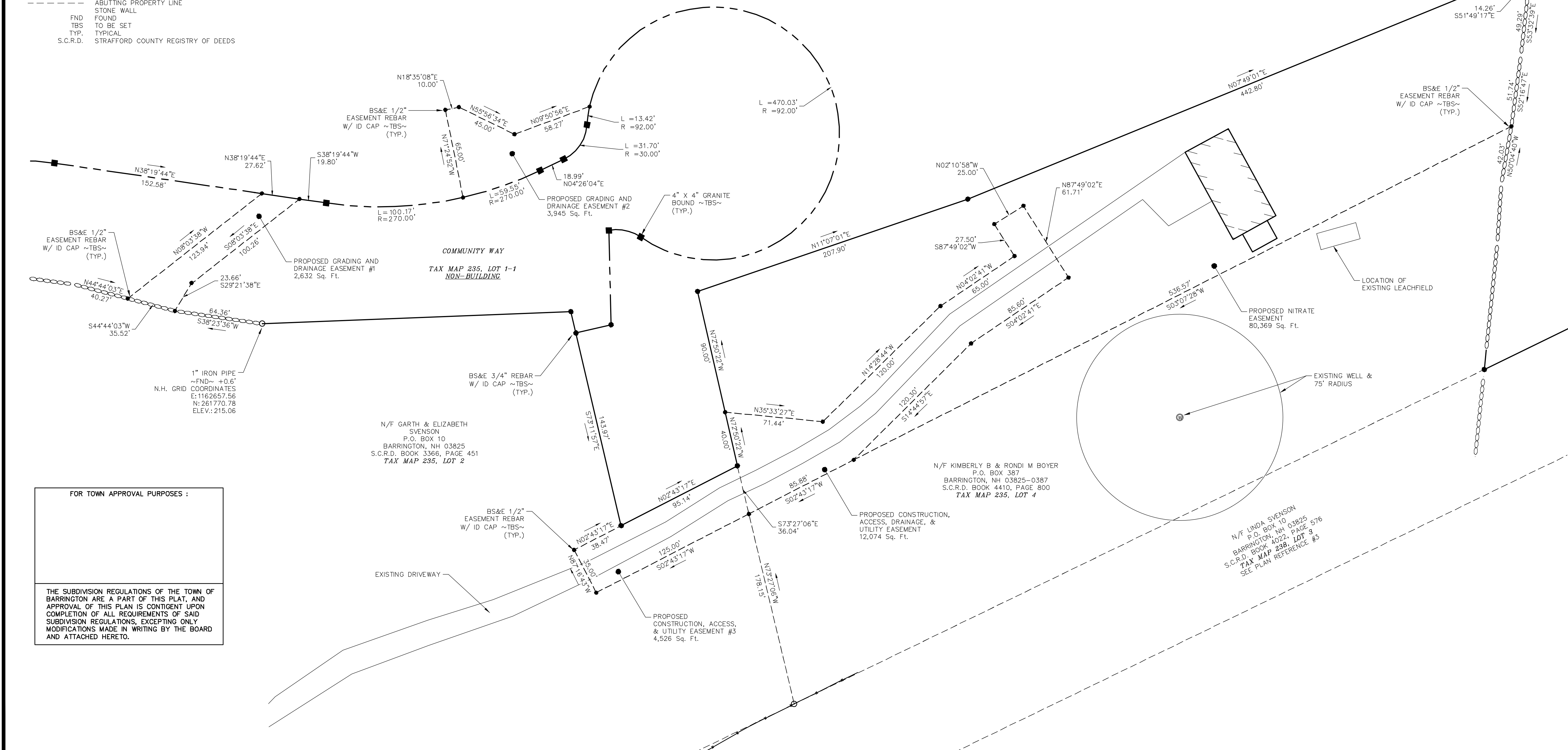
**NOTES:**

- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 103,094 Sq. Ft., 2.37 Ac.  
B.) 963,543 Sq. Ft., 22.12 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS OF TAX MAP 235, LOTS 1-1, 2, 3, & 4 LOCATED IN BARRINGTON, N.H.
- 6.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE. NH STANDARD PROPERTY SURVEY WITH A CLOSURE ERROR BETTER THAN 1 AND 10,000.
- 8.) SEE OVERVIEW BOUNDARY PLAN, SHEET #3, FOR PLAN REFERENCES. SEE OVERVIEW LOT LINE REVISION PLAN, SHEET #21, FOR CORRESPONDING LOT LINE REVISION.
- 9.) TAX MAP 235, LOT 4 WILL HAVE AN ACCESS EASEMENT OVER THE TO BE CONSTRUCTED COMMUNITY WAY AND ACCESS ROAD.



TAX MAP 235, LOT 3

- LEGEND:**
- 4"x4" GRANITE BOUND ~TBS~
  - 3/4" REBAR W/ ID CAP ~TBS~
  - 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
  - ▬ GRANITE BOUND ~FND~
  - ▬ IRON BOUND/REBAR ~FND/SET~
  - DRILL HOLE ~FND~
  - IRON PIPE ~FND~
  - UTILITY POLE
  - ▬ PERIMETER BOUNDARY
  - ▬ ABUTTING PROPERTY LINE
  - ▬ STONE WALL
  - ▬ FND FOUND
  - ▬ TBS TO BE SET
  - ▬ TYP. TYPICAL
  - ▬ S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS



FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #          | REVISION | DATE | DESCRIPTION                                   |
|------------|----------|------|---|
| 10-12-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EASEMENT PLAN NORTH  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 40 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

**EXISTING LEGEND:**

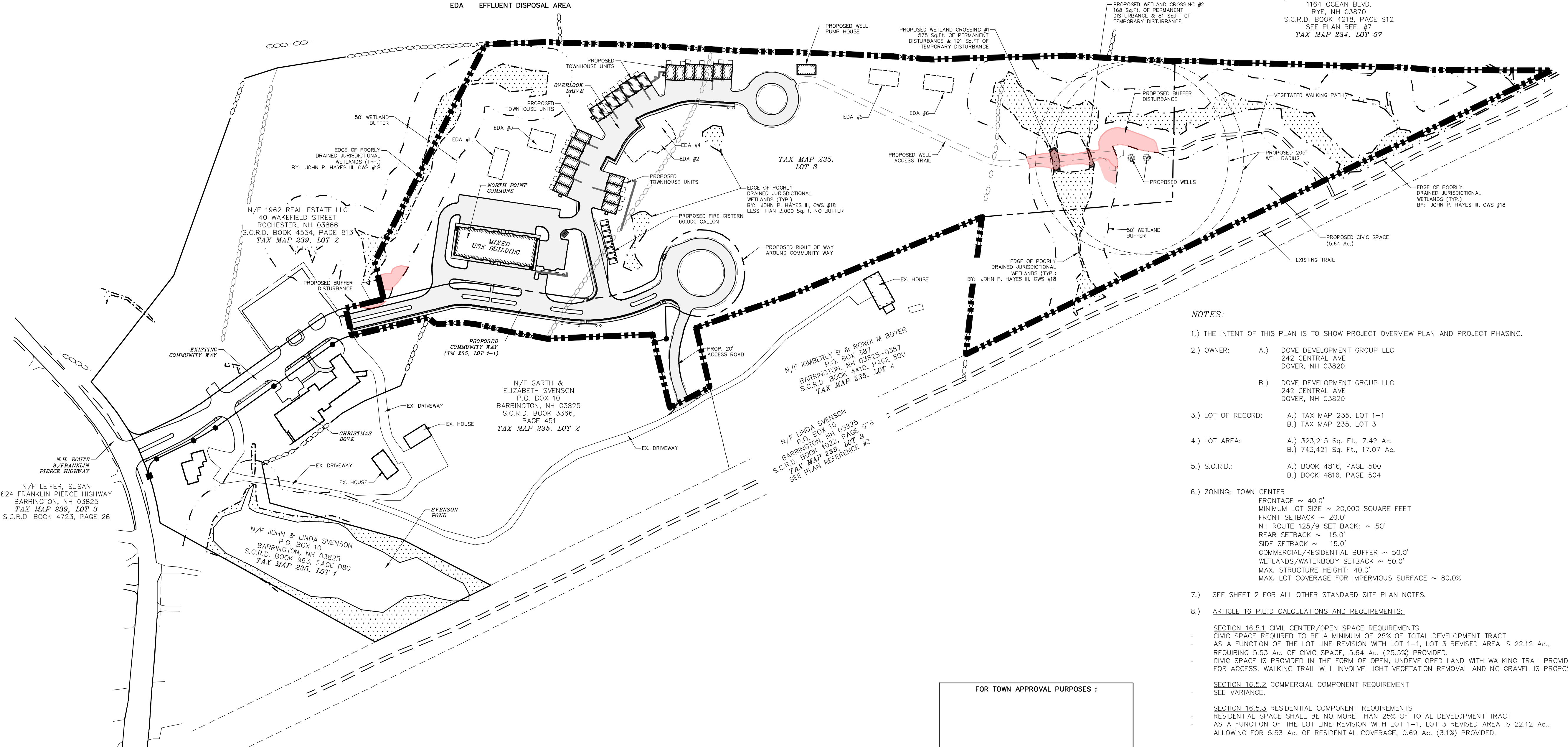
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- IRON BOUND ~FND~
- ANGLE IRON ~FND~
- NHHB GRANITE BOUND ~FND~
- UTILITY POLE/GUY WIRE
- POORLY DRAINED JURISDICTIONAL WETLAND LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- WETLAND SETBACK 50' TO POORLY DRAINED
- STONE WALL
- STONE WALL REMAINS
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND

**PROPOSED LEGEND:**

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
- PROPOSED LOT LINE REVISION LINE
- PROPOSED EASEMENT LINE
- UTILITY POLE
- LIGHT TYPE "A" MOUNTED LIGHT POLE
- LIGHT TYPE "B" MOUNTED LIGHT POLE
- LIGHT TYPE "C" MOUNTED ON BUILDING
- LIGHT TYPE "D" MOUNTED ON CONDOMINIUM BUILDING
- SIGNAGE
- WATCH POINT
- MATCH LINE
- SHOULDER
- CENTER LINE
- BUILDING SETBACK LINE
- NHDES PROTECTIVE WELL RADIUS
- TRANSFORMER / J.BOX
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- SNOW STORAGE AREA
- EDA
- EFFLUENT DISPOSAL AREA

N/F DAVID R. & GLENDA J. HERDERSON  
UND INT LIV REV TRUST 1/2  
1272 WINGED FOOT LANE  
DENVER, NC 28037-6520  
S.C.R.D. BOOK 897, PAGE 121  
TAX MAP 235, LOT 1  
SEE PLAN REFERENCE #5

N/F MARLA L. LEMOS REV. TRUST  
1164 OCEAN BLVD.  
RYE, NH 03870  
S.C.R.D. BOOK 4218, PAGE 912  
SEE PLAN REF. #7  
TAX MAP 234, LOT 57

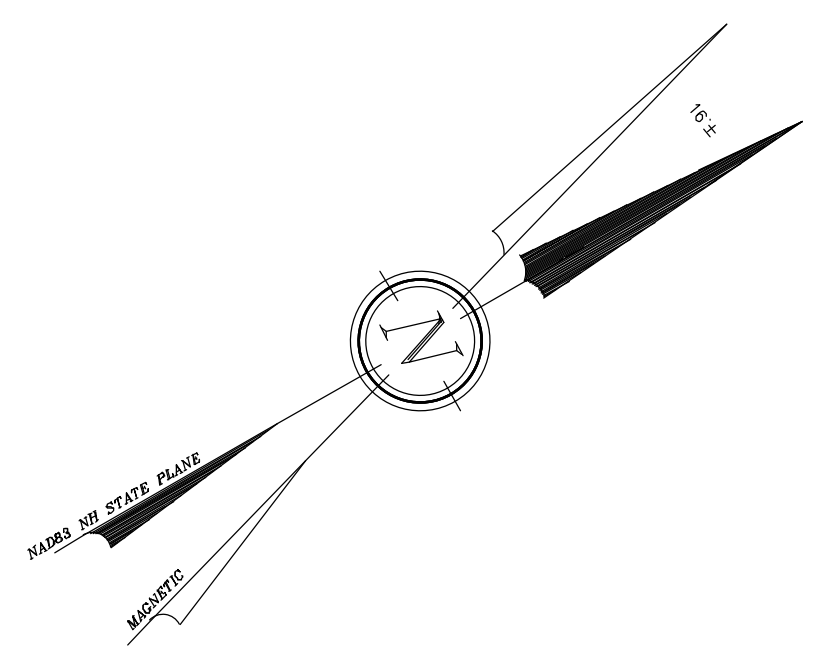
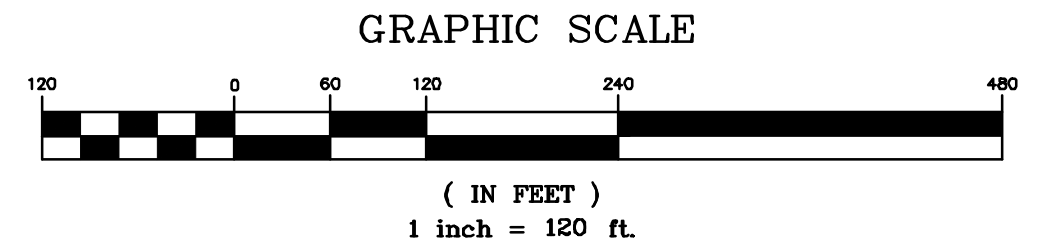


**NOTES:**

- 1.) THE INTENT OF THIS PLAN IS TO SHOW PROJECT OVERVIEW PLAN AND PROJECT PHASING.
- 2.) OWNER:
  - A.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 3.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- 6.) ZONING: TOWN CENTER
  - FRONTAGE ~ 40.0'
  - MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
  - FRONT SETBACK ~ 20.0'
  - NH ROUTE 125/9 SET BACK: ~ 50'
  - REAR SETBACK ~ 15.0'
  - SIDE SETBACK ~ 15.0'
  - COMMERCIAL/RESIDENTIAL BUFFER ~ 50.0'
  - WETLANDS/WATERBODY SETBACK ~ 50.0'
  - MAX. STRUCTURE HEIGHT: 40.0'
  - MAX. LOT COVERAGE FOR IMPERVIOUS SURFACE ~ 80.0%
- 7.) SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.
- 8.) ARTICLE 16 P.U.D. CALCULATIONS AND REQUIREMENTS:
  - SECTION 16.5.1 CIVIL CENTER/OPEN SPACE REQUIREMENTS  
CIVIC SPACE REQUIRED TO BE A MINIMUM OF 25% OF TOTAL DEVELOPMENT TRACT  
AS A FUNCTION OF THE LOT LINE REVISION WITH LOT 1-1, LOT 3 REVISED AREA IS 22.12 Ac.,  
REQUIRING 5.53 Ac. OF CIVIC SPACE, 5.64 Ac. (25.5%) PROVIDED.
  - CIVIC SPACE IS PROVIDED IN THE FORM OF OPEN, UNDEVELOPED LAND WITH WALKING TRAIL PROVIDED  
FOR ACCESS. WALKING TRAIL WILL INVOLVE LIGHT VEGETATION REMOVAL AND NO GRAVEL IS PROPOSED.
  - SECTION 16.5.2 COMMERCIAL COMPONENT REQUIREMENT  
SEE VARIANCE.
  - SECTION 16.5.3 RESIDENTIAL COMPONENT REQUIREMENTS  
RESIDENTIAL SPACE SHALL BE NO MORE THAN 25% OF TOTAL DEVELOPMENT TRACT  
AS A FUNCTION OF THE LOT LINE REVISION WITH LOT 1-1, LOT 3 REVISED AREA IS 22.12 Ac.,  
ALLOWING FOR 5.53 Ac. OF RESIDENTIAL COVERAGE, 0.69 Ac. (3.1%) PROVIDED.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



| #  | REVISION   | DATE       | DESCRIPTION                                   |
|----|------------|------------|---|
| #1 | 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2 |            |            | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PROJECT OVERVIEW PLAN  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 120 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

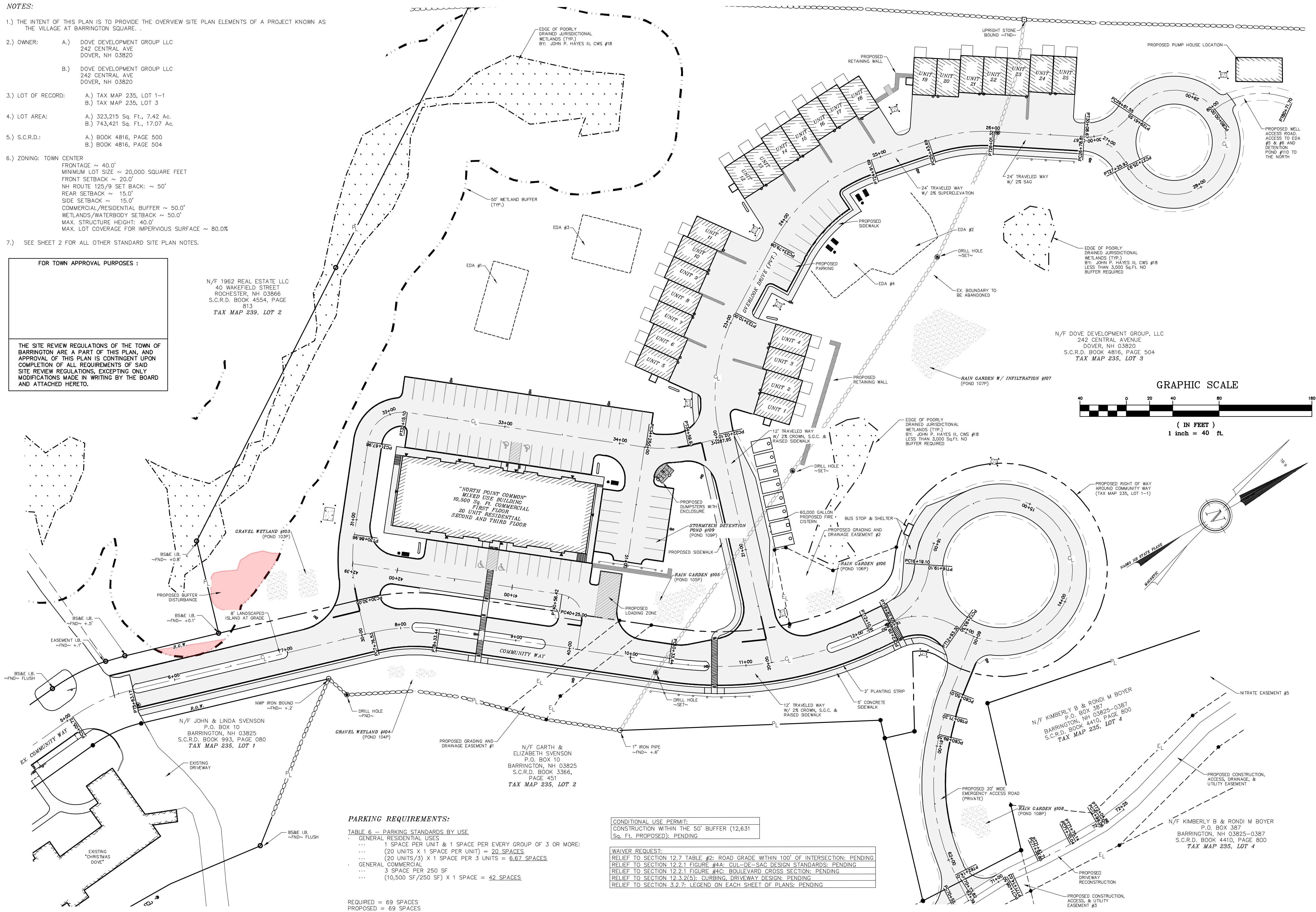
**NOTES:**

- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE OVERVIEW SITE PLAN ELEMENTS OF A PROJECT KNOWN AS THE VILLAGE AT BARRINGTON SQUARE.
- 2.) OWNER:
  - A.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 3.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- 6.) ZONING: TOWN CENTER
  - FRONTAGE ~ 40.0'
  - MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
  - FRONT SETBACK ~ 20.0'
  - NH ROUTE 125/9 SET BACK: ~ 50'
  - REAR SETBACK ~ 15.0'
  - SIDE SETBACK ~ 15.0'
  - COMMERCIAL/RESIDENTIAL BUFFER ~ 50.0'
  - WETLANDS/WATERBODY SETBACK ~ 50.0'
  - MAX. STRUCTURE HEIGHT: 40.0'
  - MAX. LOT COVERAGE FOR IMPERVIOUS SURFACE ~ 80.0%
- 7.) SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.

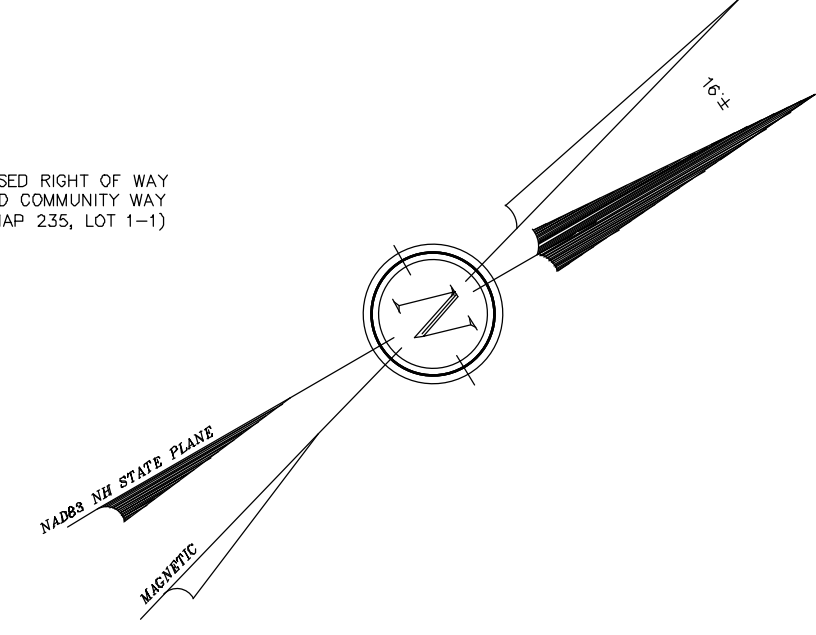
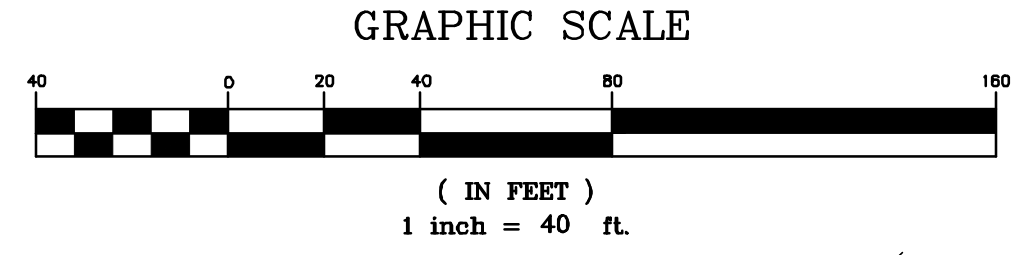
**FOR TOWN APPROVAL PURPOSES :**

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4554, PAGE 813  
TAX MAP 239, LOT 2

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



N/F DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820  
S.C.R.D. BOOK 4816, PAGE 504  
TAX MAP 235, LOT 3



**PARKING REQUIREMENTS:**

TABLE 6 - PARKING STANDARDS BY USE

|                          |  |
|--------------------------|--|
| GENERAL RESIDENTIAL USES | 1 SPACE PER UNIT & 1 SPACE PER EVERY GROUP OF 3 OR MORE: |
| ...                      | (20 UNITS X 1 SPACE PER UNIT) = 20 SPACES                |
| ...                      | (20 UNITS/3) X 1 SPACE PER 3 UNITS = 6.67 SPACES         |
| GENERAL COMMERCIAL       | 3 SPACE PER 250 SF                                       |
| ...                      | (10,500 SF/250 SF) X 1 SPACE = 42 SPACES                 |

**CONDITIONAL USE PERMIT:**  
CONSTRUCTION WITHIN THE 50' BUFFER (12,631 Sq. Ft. PROPOSED): PENDING

**WAIVER REQUEST:**

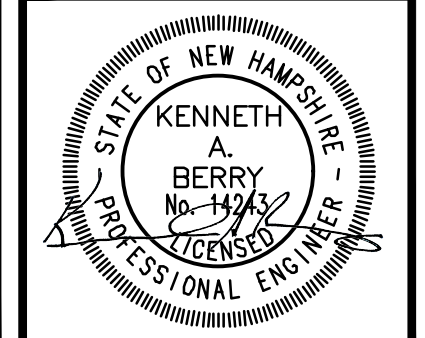
|  |
|--|
| RELIEF TO SECTION 12.7 TABLE #2: ROAD GRADE WITHIN 100' OF INTERSECTION: PENDING |
| RELIEF TO SECTION 12.2.1 FIGURE #4A: CUL-DE-SAC DESIGN STANDARDS: PENDING        |
| RELIEF TO SECTION 12.2.1 FIGURE #4C: BOULEVARD CROSS SECTION: PENDING            |
| RELIEF TO SECTION 12.3.2(5): CURBING, DRIVEWAY DESIGN: PENDING                   |
| RELIEF TO SECTION 3.2.7: LEGEND ON EACH SHEET OF PLANS: PENDING                  |

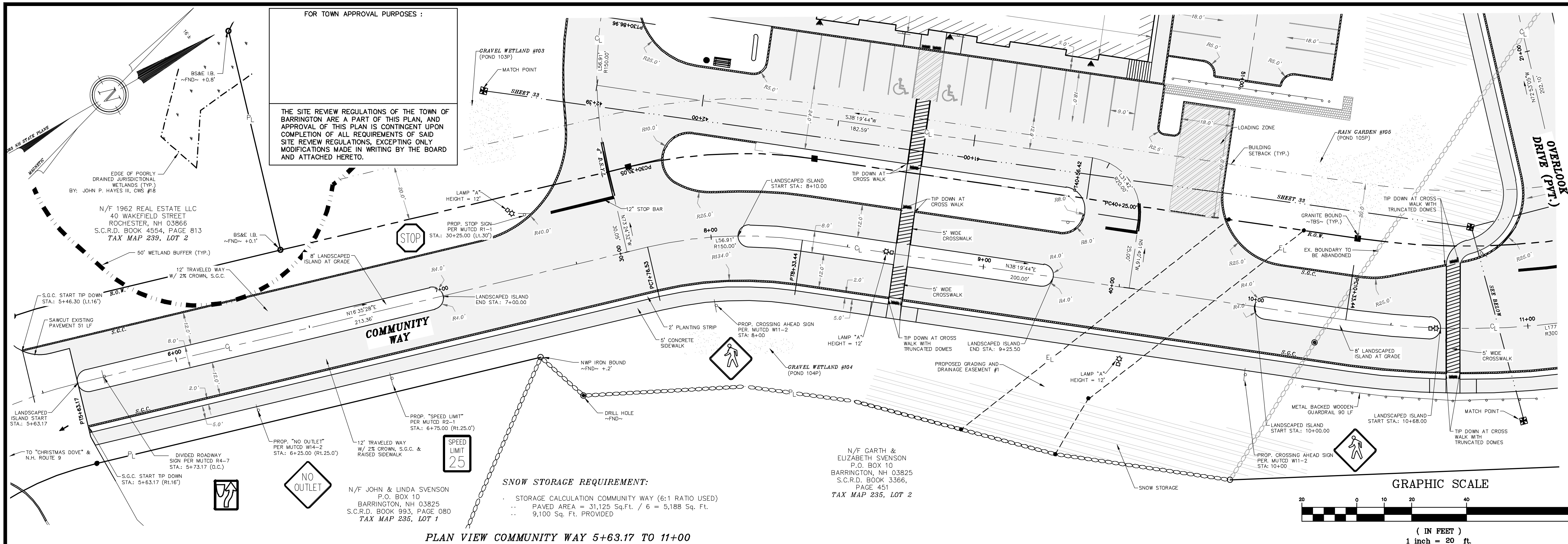
REQUIRED = 69 SPACES  
PROPOSED = 69 SPACES

| #  | REVISION                                      | DATE       | DESCRIPTION |
|----|---|------------|-------------|
| #1 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT | 10-12-2021 |             |
| #2 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT | 08-30-2021 |             |

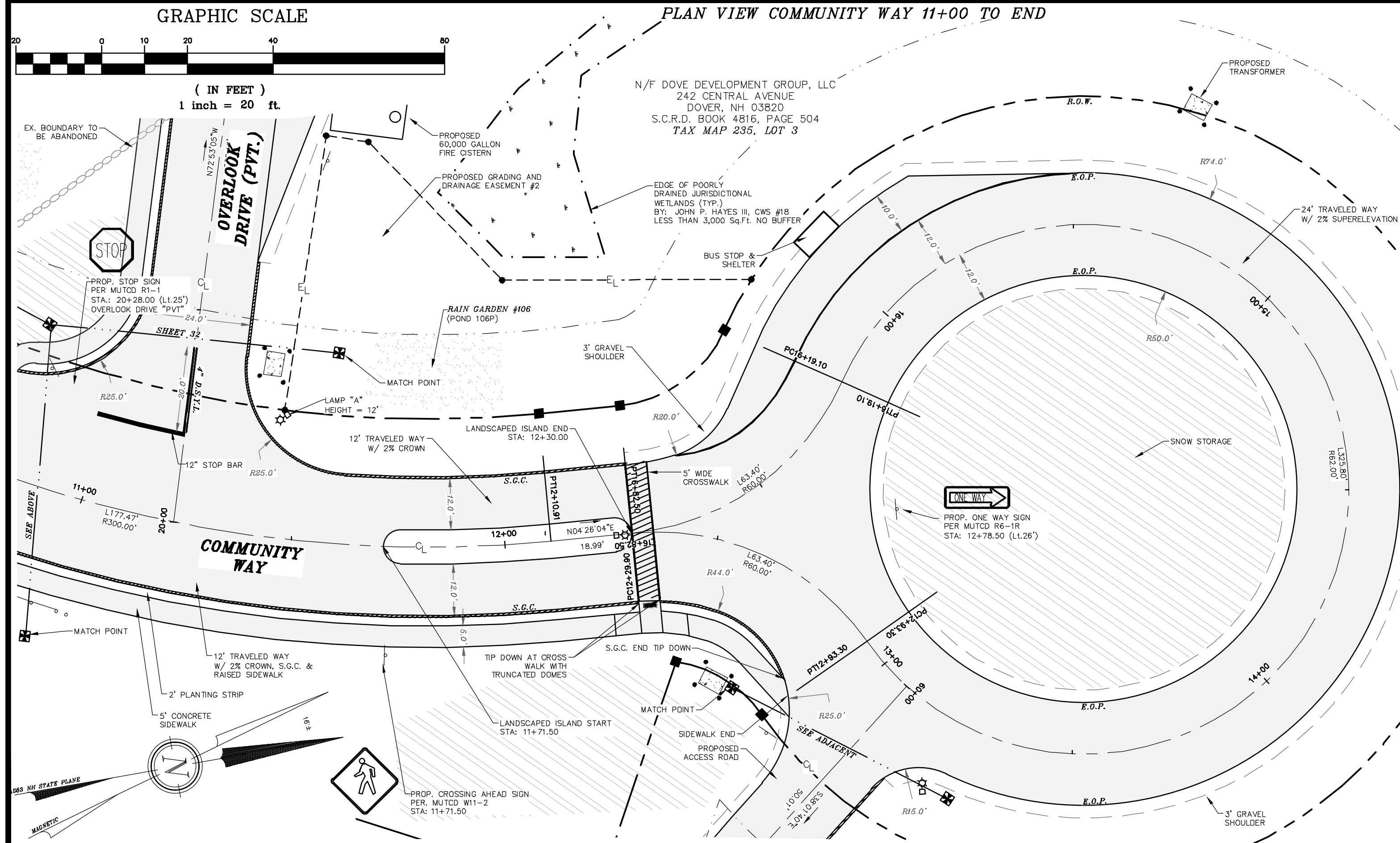
OVERVIEW SITE PLAN  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 40 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

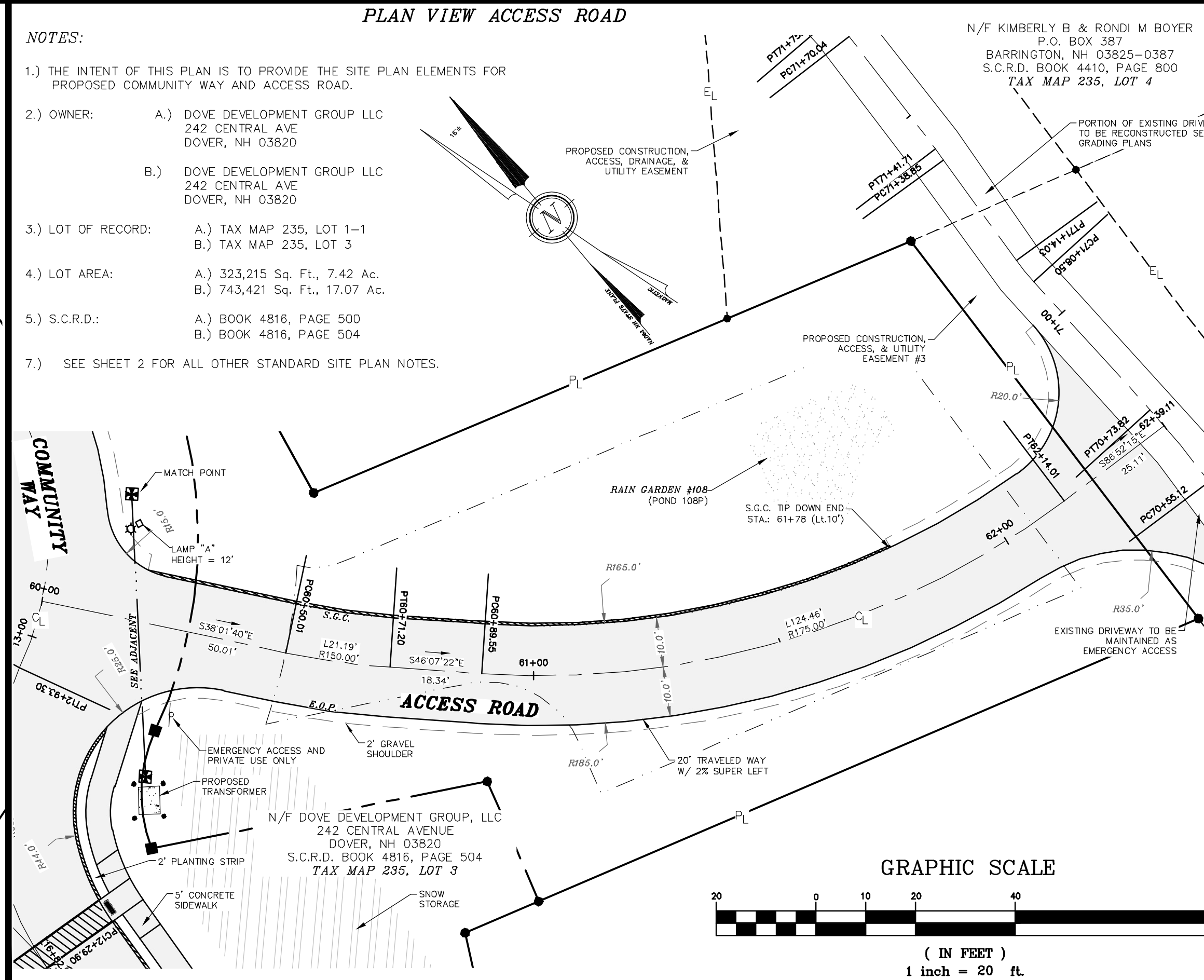




PLAN VIEW COMMUNITY WAY 5+63.17 TO 11+00



PLAN VIEW COMMUNITY WAY 11+00 TO END



PLAN VIEW ACCESS ROAD

- NOTES:
- THE INTENT OF THIS PLAN IS TO PROVIDE THE SITE PLAN ELEMENTS FOR PROPOSED COMMUNITY WAY AND ACCESS ROAD.
  - OWNER:
    - DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
    - DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD:
    - TAX MAP 235, LOT 1-1
    - TAX MAP 235, LOT 3
  - LOT AREA:
    - 323,215 Sq. Ft., 7.42 Ac.
    - 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.:
    - BOOK 4816, PAGE 500
    - BOOK 4816, PAGE 504
  - SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

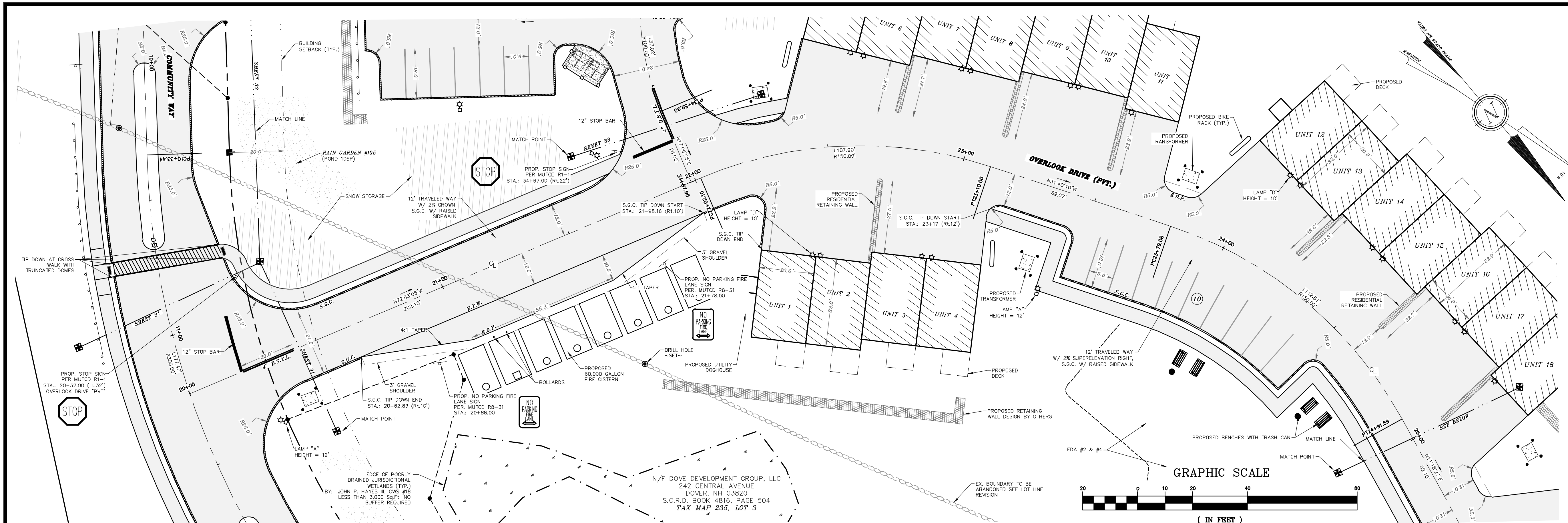
| #  | REVISION  | DATE       | DESCRIPTION |
|----|---|------------|-------------|
| #2 | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT | 10-12-2021 |             |
| #1 | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT | 08-30-2021 |             |

SITE PLAN COMMUNITY WAY  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

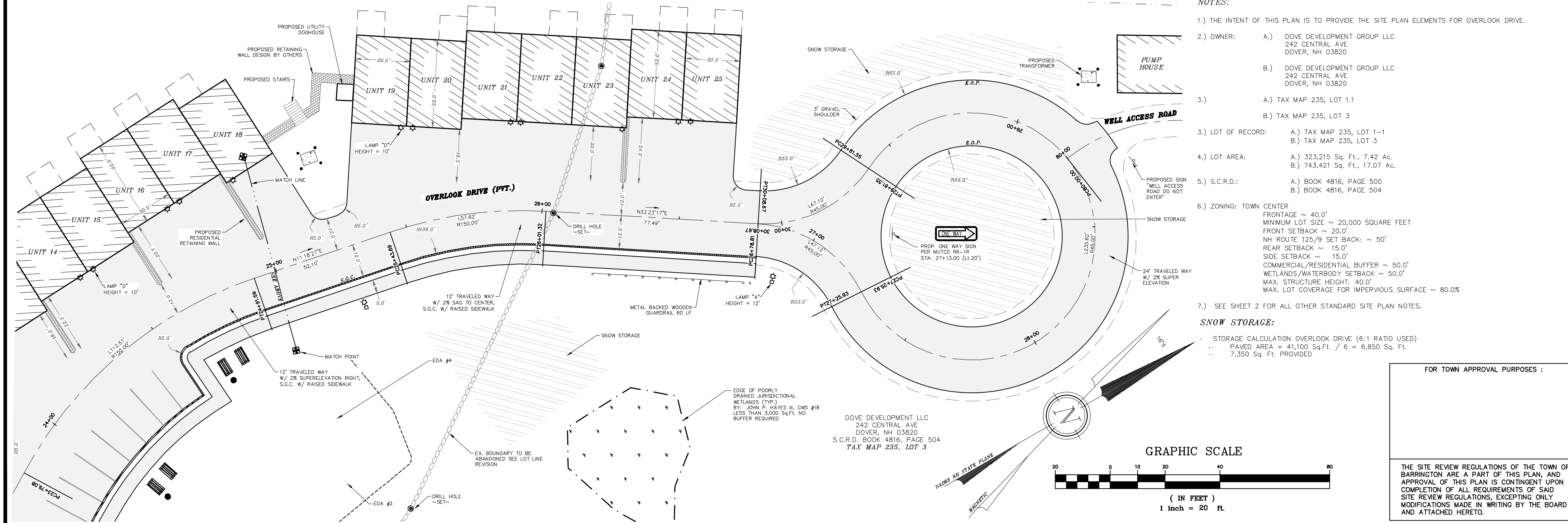
SHEET 31 OF 109





PLAN VIEW OVERLOOK DRIVE 21+00 TO 25+00

PLAN VIEW OVERLOOK DRIVE 25+00 TO END



NOTES:

- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE SITE PLAN ELEMENTS FOR OVERLOOK DRIVE.
- 2.) OWNER:
  - A.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 3.)
  - A.) TAX MAP 235, LOT 1.1
  - B.) TAX MAP 235, LOT 3
- 3.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- 6.) ZONING: TOWN CENTER
  - FRONTAGE ~ 40.0'
  - MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
  - FRONT SETBACK ~ 20.0'
  - NH ROUTE 125/9 SET BACK: ~ 50'
  - REAR SETBACK ~ 15.0'
  - SIDE SETBACK ~ 15.0'
  - COMMERCIAL/RESIDENTIAL BUFFER ~ 50.0'
  - WETLANDS/WATERBODY SETBACK ~ 50.0'
  - MAX. STRUCTURE HEIGHT: 40.0'
  - MAX. LOT COVERAGE FOR IMPERVIOUS SURFACE ~ 80.0%
- 7.) SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.

SNOW STORAGE:

- ... STORAGE CALCULATION OVERLOOK DRIVE (6:1 RATIO USED)
- ... PAVED AREA = 41,100 Sq.Ft. / 6 = 6,850 Sq. Ft.
- ... 7,350 Sq. Ft. PROVIDED

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

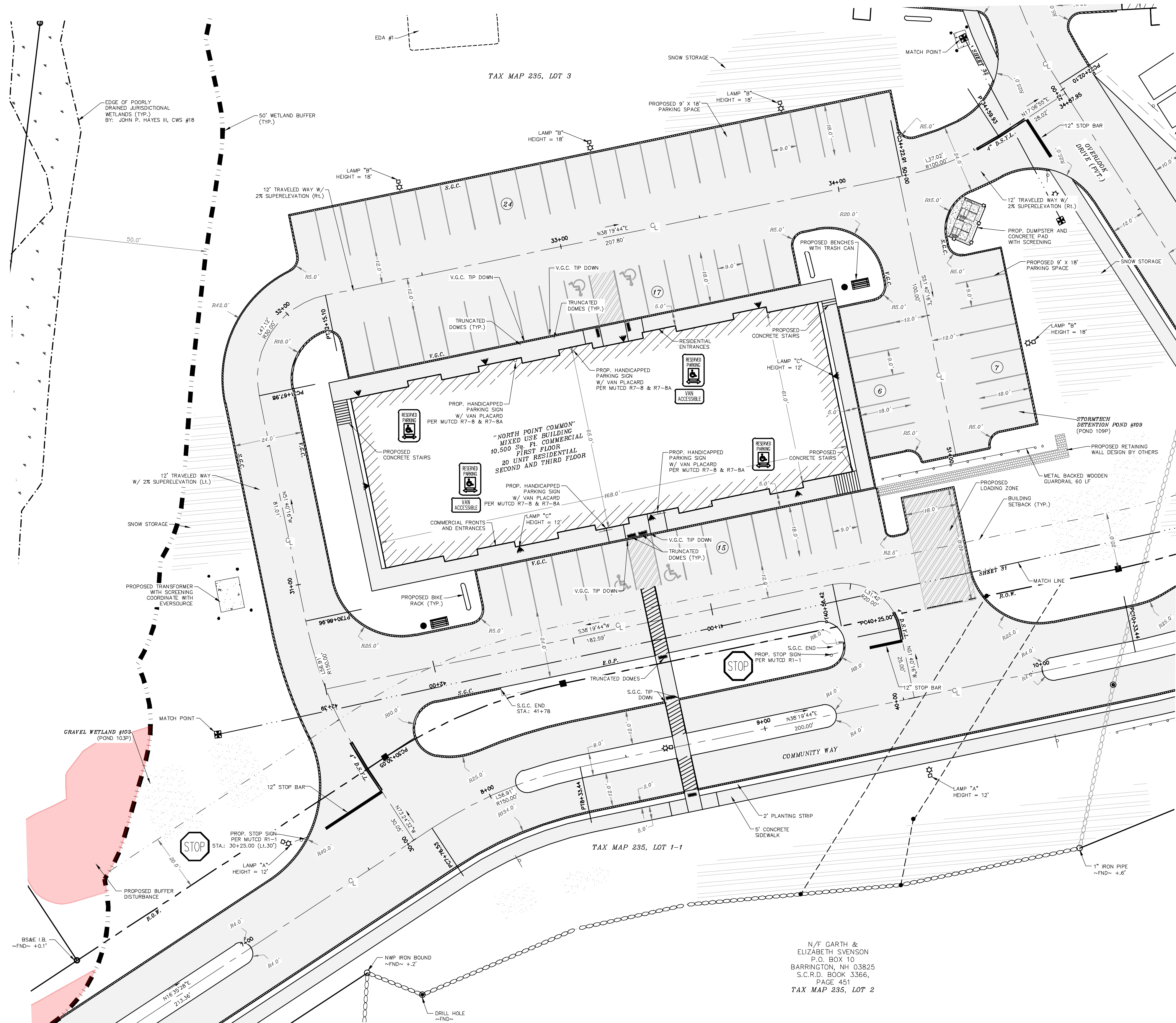
| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

SITE PLAN OVERLOOK DRIVE  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
 KENNETH A. BERRY  
 No. 1942  
 PROFESSIONAL ENGINEER

SHEET 32 OF 109



N/F GARTH &  
ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3356,  
PAGE 451  
TAX MAP 235, LOT 2

**NOTES:**

- THE INTENT OF THIS PLAN IS TO PROVIDE THE SITE PLAN ELEMENTS FOR NORTH POINT COMMONS.
- OWNER:
  - A.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- ZONING: TOWN CENTER
  - FRONTAGE ~ 40.0'
  - MINIMUM LOT SIZE ~ 20,000 SQUARE FEET
  - FRONT SETBACK ~ 20.0'
  - NH ROUTE 125/9 SET BACK: ~ 50'
  - REAR SETBACK ~ 15.0'
  - SIDE SETBACK ~ 15.0'
  - COMMERCIAL/RESIDENTIAL BUFFER ~ 50.0'
  - WETLANDS/WATERBODY SETBACK ~ 50.0'
  - MAX. STRUCTURE HEIGHT: 40.0'
  - MAX. LOT COVERAGE FOR IMPERVIOUS SURFACE ~ 80.0%
- SEE SHEET 2 FOR ALL OTHER STANDARD SITE PLAN NOTES.
- VERTICAL GRANITE CURB OR CONCRETE CURB CAN BE USED AROUND THE PROPOSED MIXED BUILDING.

**SNOW STORAGE:**

- STORAGE CALCULATION NORTH POINT COMMONS (6:1 RATIO USED)
- PAVED AREA = 34,700 Sq.Ft. / 6 = 5,785 Sq.Ft.
- 7,465 Sq. Ft. PROVIDED

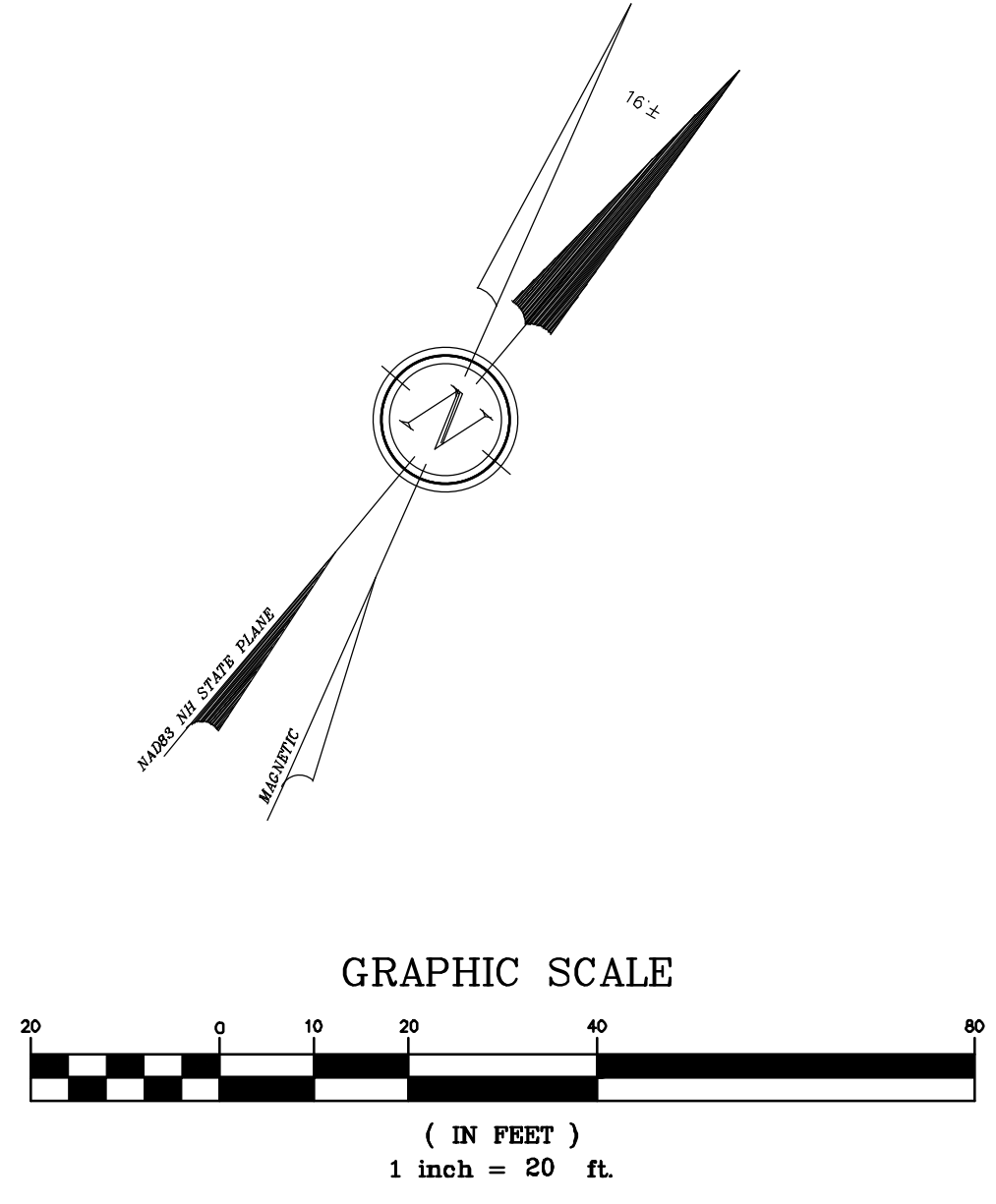
**PARKING REQUIREMENTS:**

- TABLE 6 - PARKING STANDARDS BY USE
- GENERAL RESIDENTIAL USES
    - 1 SPACE PER UNIT & 1 SPACE PER EVERY GROUP OF 3 OR MORE:
    - (20 UNITS X 1 SPACE PER UNIT) = 20 SPACES
    - (20 UNITS/3) X 1 SPACE PER 3 UNITS = 6.67 SPACES
  - GENERAL COMMERCIAL
    - 3 SPACE PER 250 SF
    - (10,500 SF/250 SF) X 1 SPACE = 42 SPACES

REQUIRED = 69 SPACES  
PROPOSED = 69 SPACES

FOR TOWN APPROVAL PURPOSES :

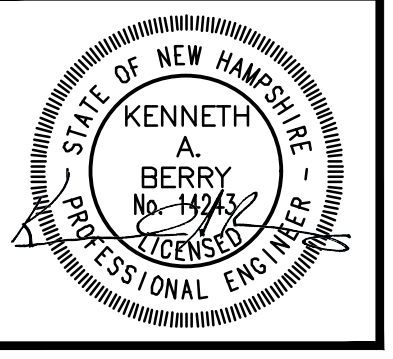
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| #          | REVISION | DATE | DESCRIPTION                                   |
|------------|----------|------|---|
| 10-12-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

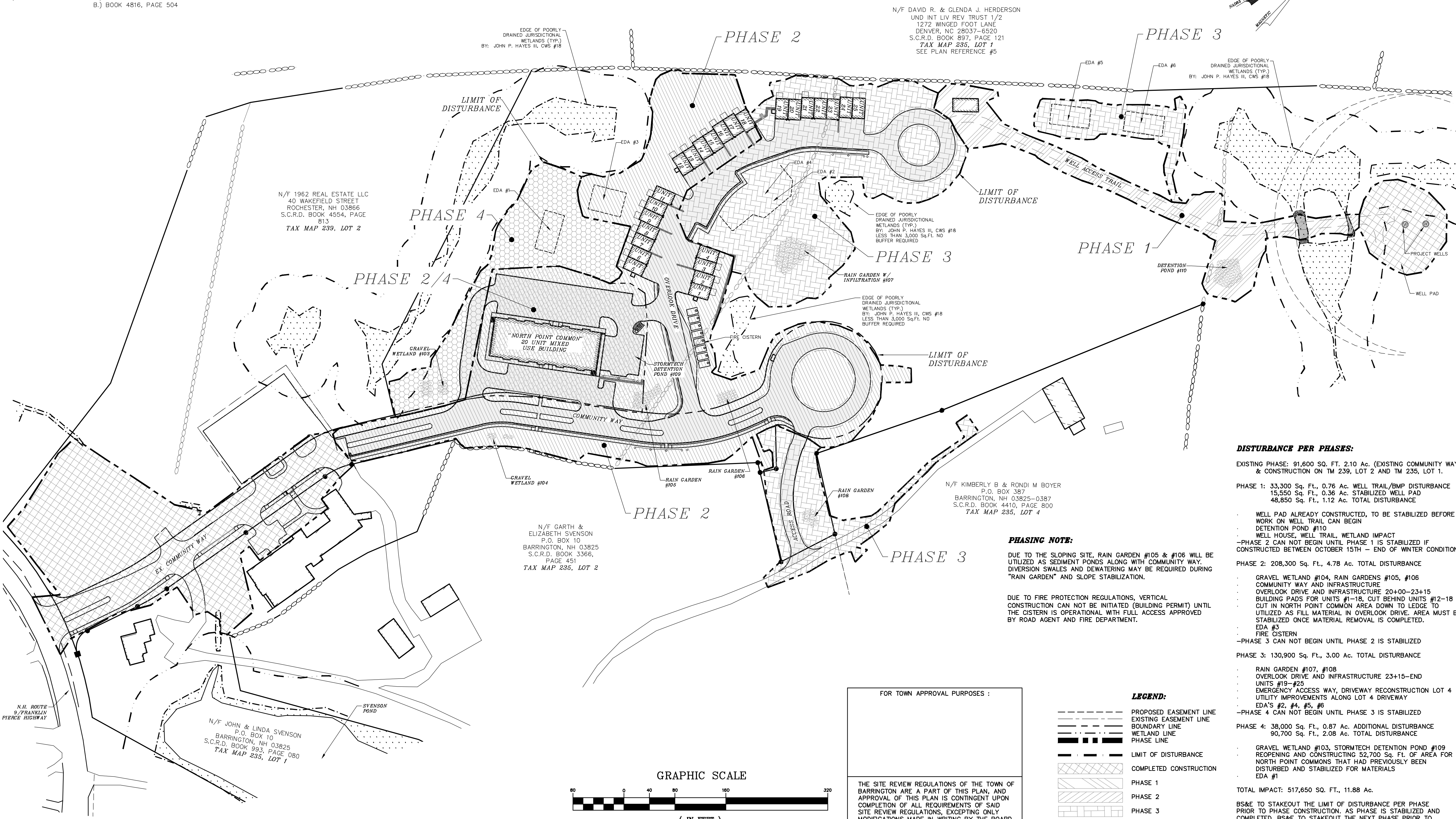
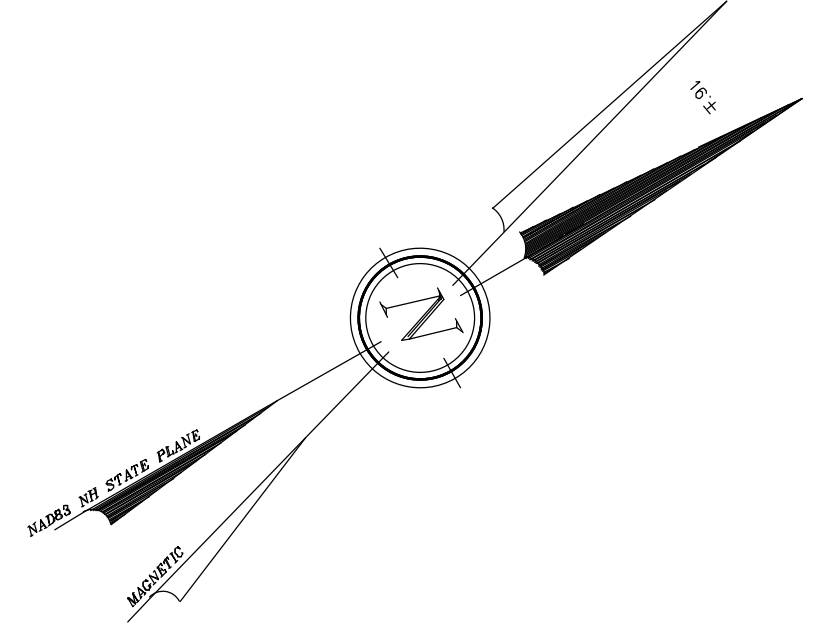
SITE PLAN NORTH POINT COMMON  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



**NOTES:**

- 1.) THE INTENT OF THIS PLAN IS TO SHOW PROJECT PHASING.
- 2.) OWNER:
  - A.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 3.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504



**DISTURBANCE PER PHASES:**

EXISTING PHASE: 91,600 SQ. FT. 2.10 Ac. (EXISTING COMMUNITY WAY & CONSTRUCTION ON TM 239, LOT 2 AND TM 235, LOT 1.)

PHASE 1: 33,300 Sq. Ft., 0.76 Ac. WELL TRAIL/BMP DISTURBANCE  
15,550 Sq. Ft., 0.36 Ac. STABILIZED WELL PAD  
48,850 Sq. Ft., 1.12 Ac. TOTAL DISTURBANCE

- WELL PAD ALREADY CONSTRUCTED, TO BE STABILIZED BEFORE WORK ON WELL TRAIL CAN BEGIN
- DETENTION POND #110
- WELL HOUSE, WELL TRAIL, WETLAND IMPACT

-PHASE 2 CAN NOT BEGIN UNTIL PHASE 1 IS STABILIZED IF CONSTRUCTED BETWEEN OCTOBER 15TH - END OF WINTER CONDITIONS

PHASE 2: 208,300 Sq. Ft., 4.78 Ac. TOTAL DISTURBANCE

- GRAVEL WETLAND #104, RAIN GARDENS #105, #106
- COMMUNITY WAY AND INFRASTRUCTURE
- OVERLOOK DRIVE AND INFRASTRUCTURE 20+00-23+15
- BUILDING PADS FOR UNITS #1-18, CUT BEHIND UNITS #12-18
- CUT IN NORTH POINT COMMON AREA DOWN TO LEDGE TO UTILIZED AS FILL MATERIAL IN OVERLOOK DRIVE. AREA MUST BE STABILIZED ONCE MATERIAL REMOVAL IS COMPLETED.
- EDA #3
- FIRE CISTERN

-PHASE 3 CAN NOT BEGIN UNTIL PHASE 2 IS STABILIZED

PHASE 3: 130,900 Sq. Ft., 3.00 Ac. TOTAL DISTURBANCE

- RAIN GARDEN #107, #108
- OVERLOOK DRIVE AND INFRASTRUCTURE 23+15-END
- UNITS #19-#25
- EMERGENCY ACCESS WAY, DRIVEWAY RECONSTRUCTION LOT 4
- UTILITY IMPROVEMENTS ALONG LOT 4 DRIVEWAY
- EDA'S #2, #4, #5, #6

-PHASE 4 CAN NOT BEGIN UNTIL PHASE 3 IS STABILIZED

PHASE 4: 38,000 Sq. Ft., 0.87 Ac. ADDITIONAL DISTURBANCE  
90,700 Sq. Ft., 2.08 Ac. TOTAL DISTURBANCE

- GRAVEL WETLAND #103, STORMTECH DETENTION POND #109
- REOPENING AND CONSTRUCTING 52,700 Sq. Ft. OF AREA FOR NORTH POINT COMMONS THAT HAD PREVIOUSLY BEEN DISTURBED AND STABILIZED FOR MATERIALS
- EDA #1

TOTAL IMPACT: 517,650 SQ. FT., 11.88 Ac.

BS&E TO STAKEOUT THE LIMIT OF DISTURBANCE PER PHASE PRIOR TO PHASE CONSTRUCTION. AS PHASE IS STABILIZED AND COMPLETED, BS&E TO STAKEOUT THE NEXT PHASE PRIOR TO ADDITIONAL DISTURBANCE.

PHASE 2, PHASE 3, AND PHASE 4 WILL NOT BE DISTURBED UNTIL THE PREVIOUS PHASES ARE STABILIZED. SEE ALSO WINTER CONSTRUCTION NOTES.

**PHASING NOTE:**

DUE TO THE SLOPING SITE, RAIN GARDEN #105 & #106 WILL BE UTILIZED AS SEDIMENT PONDS ALONG WITH COMMUNITY WAY. DIVERSION SWALES AND DEWATERING MAY BE REQUIRED DURING "RAIN GARDEN" AND SLOPE STABILIZATION.

DUE TO FIRE PROTECTION REGULATIONS, VERTICAL CONSTRUCTION CAN NOT BE INITIATED (BUILDING PERMIT) UNTIL THE CISTERN IS OPERATIONAL WITH FULL ACCESS APPROVED BY ROAD AGENT AND FIRE DEPARTMENT.

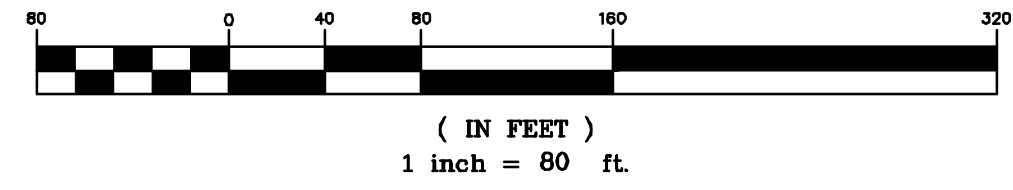
**FOR TOWN APPROVAL PURPOSES :**

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

**LEGEND:**

- PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- BOUNDARY LINE
- WETLAND LINE
- PHASE LINE
- LIMIT OF DISTURBANCE
- COMPLETED CONSTRUCTION
- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

**GRAPHIC SCALE**



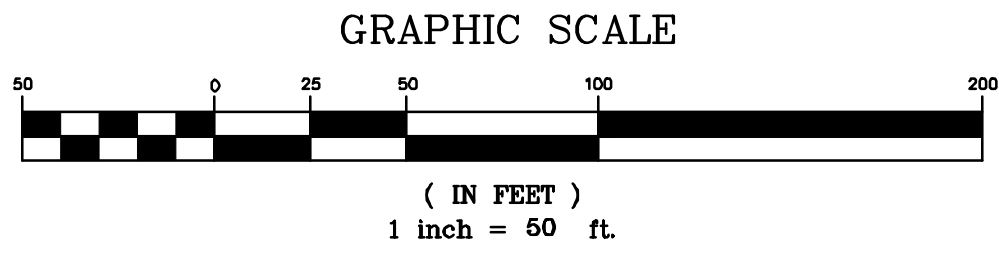
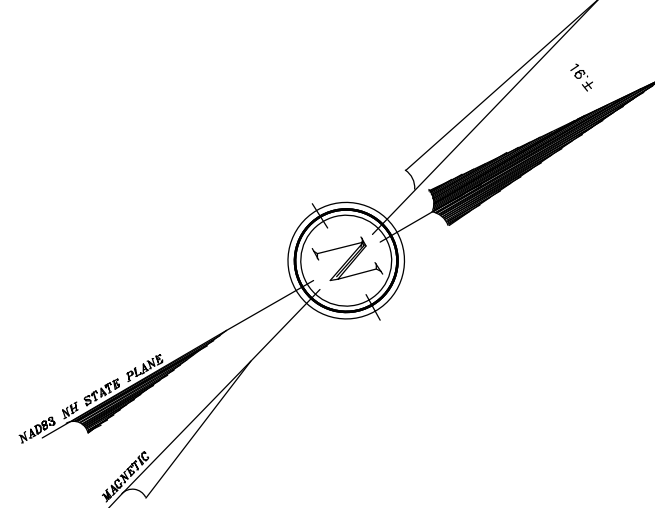
| #  | REVISION | DATE       | DESCRIPTION                                   |
|----|----------|------------|---|
| #1 |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2 |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PROJECT PHASING PLAN  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 80 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

**NOTES:**

- 1.) OWNER & APPLICANT:
  - A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.
- 10.) COMMUNITY WAY, FORMERLY CHRISTMAS LANE, WAS BUILT FROM 0+00 - 5+63 DURING THE SUMMER OF 2019 BASED ON TOWN OF BARRINGTON PLANNING BOARD APPROVALS.



**GRADING PLAN TABLE OF CONTENTS:**

- SHEET #35: OVERVIEW GRADING & DRAINAGE SOUTH
- SHEET #36: OVERVIEW GRADING & DRAINAGE NORTH
- SHEET #37: P&P COMMUNITY WAY 0+00 - 5+50
- SHEET #38: P&P COMMUNITY WAY 5+50 - 11+00
- SHEET #39: P&P COMMUNITY WAY 11+00 - END
- SHEET #40: P&P OVERLOOK DRIVE 20+00 - 25+00
- SHEET #41: P&P OVERLOOK DRIVE 25+00 - END
- SHEET #42: P&P NORTH POINT COMMON 30+00 - END
- SHEET #43: P&P NORTH POINT COMMON 40+00 - END
- SHEET #44: P&P NORTH POINT COMMON 50+00 - END
- SHEET #45: P&P ACCESS ROAD 60+00 - END
- SHEET #46: P&P DRIVEWAY RECONSTRUCTION 70+00 - END
- SHEET #47: P&P WELL ACCESS 80+00 - 85+00
- SHEET #48: P&P WELL ACCESS 85+00 - END
- SHEET #49: PIPE PROFILES #1
- SHEET #50: PIPE PROFILES #2

**FOR TOWN APPROVAL PURPOSES :**

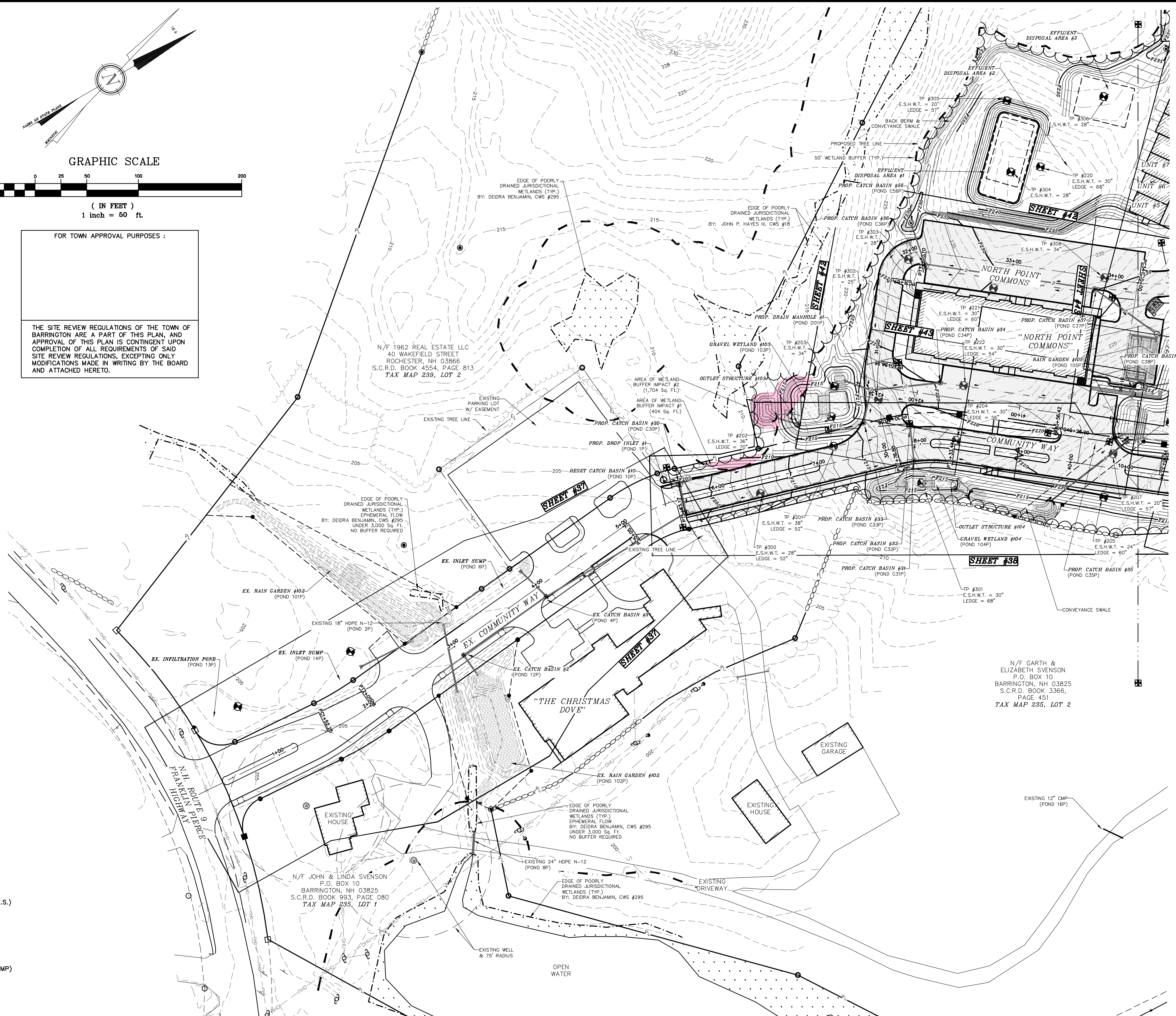
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**EXISTING LEGEND:**

- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- IRON BOUND ~FND~
- ANGLE IRON ~FND~
- NHHB GRANITE BOUND ~FND~
- ⊕ TEST PIT
- ⊕ LEDGE PROBE
- ⊕ TEMPORARY BENCHMARK (T.B.M.)
- ⊕ BLAZED/PAINTED TREE
- POORLY DRAINED JURISDICTIONAL WETLAND LINE
- EASEMENT LINE
- WETLAND SETBACK 50' TO POORLY DRAINED
- STONE WALL
- STONE WALL REMAINS
- EXISTING DRAIN CULVERT
- CONTOUR MINOR, EXISTING
- CONTOUR MAJOR, EXISTING
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND

**PROPOSED LEGEND:**

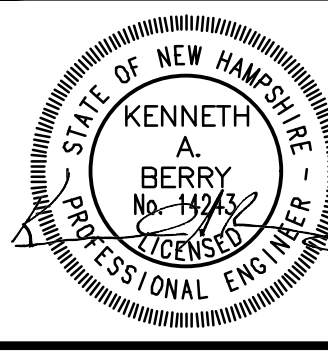
- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
- PROPOSED LOT LINE REVISION LINE
- PROPOSED EASEMENT LINE
- ⊕ DRAIN MANHOLE W/STRUCTURE
- ⊕ CATCH BASIN
- FLOW ARROW
- ⊕ WELL
- ⊕ TEMPORARY BENCHMARK (T.B.M.)
- ⊕ DETAIL SHEET / DETAIL
- MATCH POINT
- MATCH LINE
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
- SHOULDER
- CENTER LINE
- BUILDING SETBACK LINE
- NHDES PROTECTIVE WELL RADIUS
- UNDER DRAIN
- RIP RAP
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- BERM
- F230.31 PROPOSED SPOT ELEVATION
- EDA EFFLUENT DISPOSAL AREA



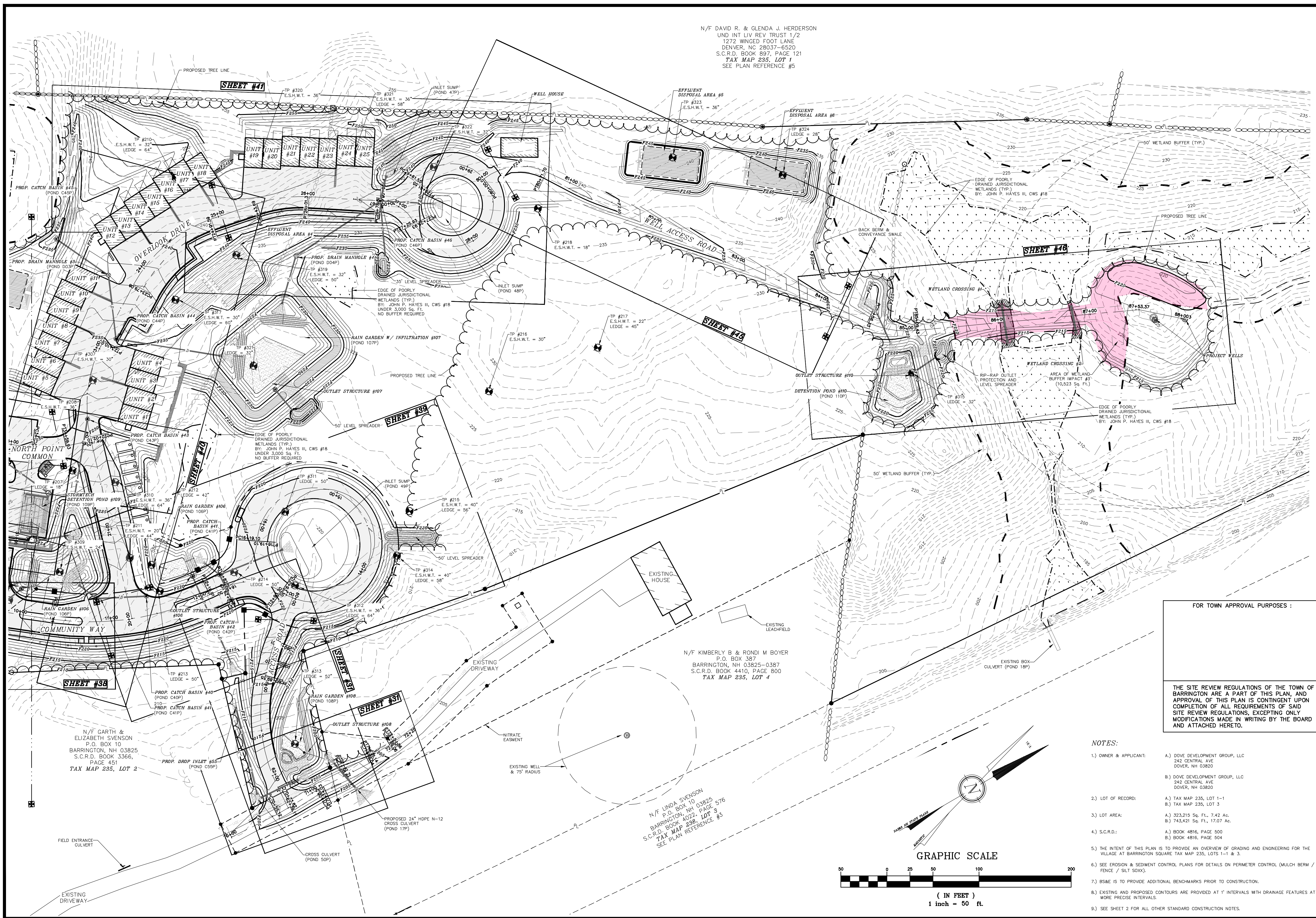
| REVISION | DATE       | DESCRIPTION                                   |
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| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

OVERVIEW GRADING PLAN SOUTH  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 50 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097



N/F DAVID R. & GLENDA J. HERDERSON  
 UND INT LIV REV TRUST 1/2  
 1272 WINGED FOOT LANE  
 DENVER, NC 28037-6520  
 S.C.R.D. BOOK 897, PAGE 121  
 TAX MAP 235, LOT 1  
 SEE PLAN REFERENCE #5



N/F GARTH & ELIZABETH SVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 3366,  
 PAGE 451  
 TAX MAP 235, LOT 2

N/F KIMBERLY B & RONDI M BOYER  
 P.O. BOX 387  
 BARRINGTON, NH 03825-0387  
 S.C.R.D. BOOK 4410, PAGE 800  
 TAX MAP 235, LOT 4

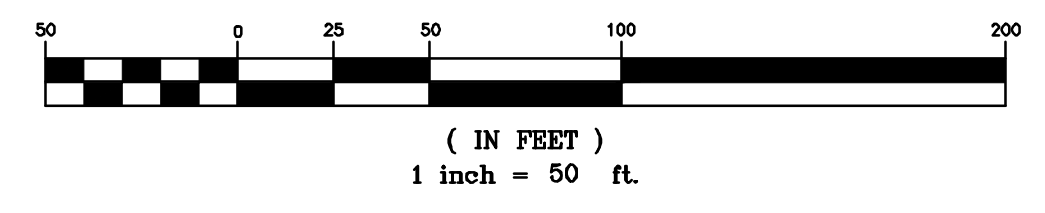
N/F UNDA EVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 4029, PAGE 576  
 TAX MAP 235, LOT 3  
 SEE PLAN REFERENCE #3

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

NOTES:

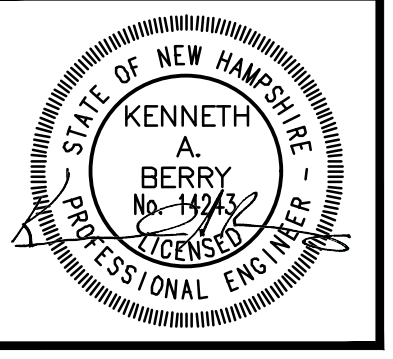
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE, TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

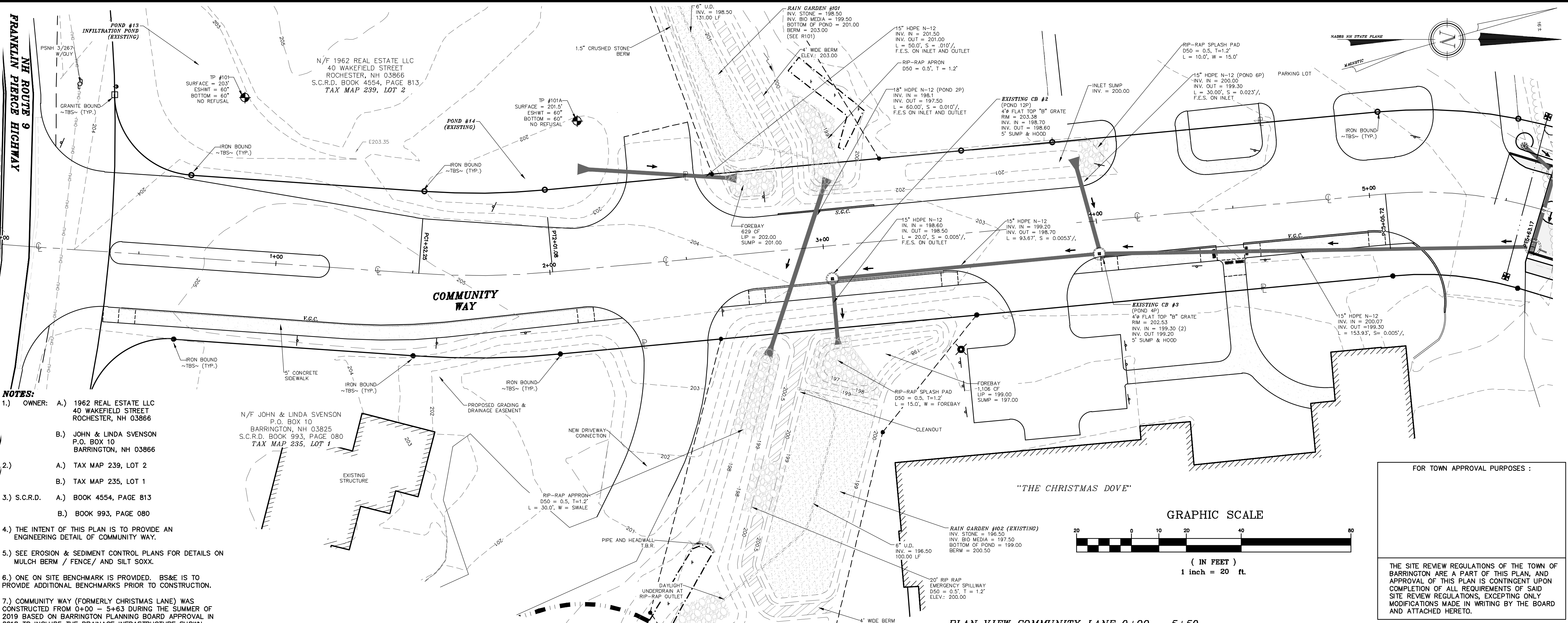


| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

OVERVIEW GRADING PLAN NORTH  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

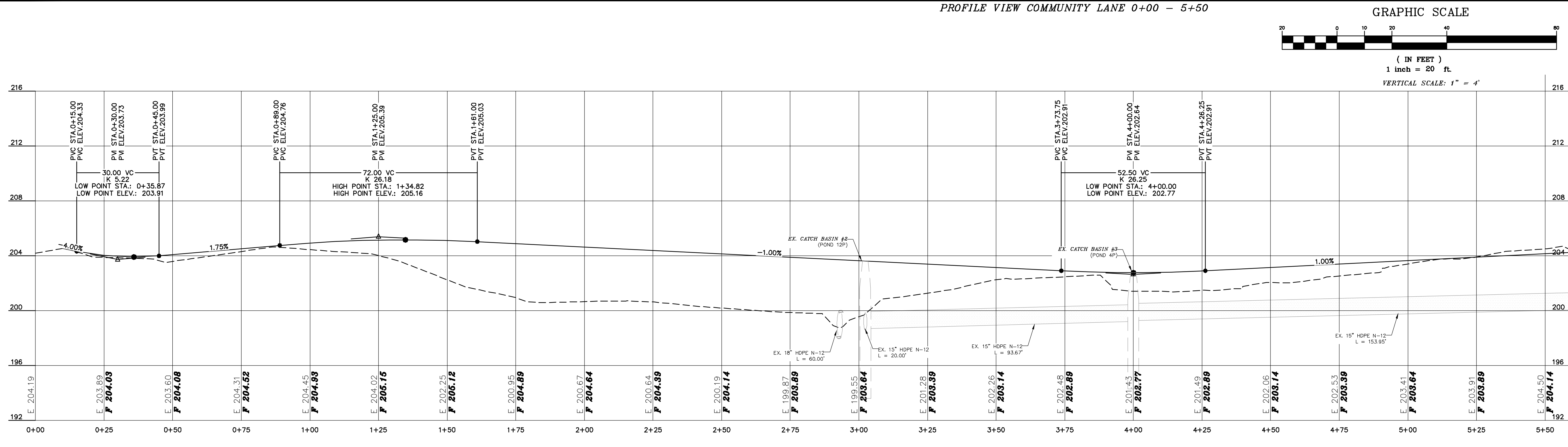
BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 50 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097





- NOTES:**
- OWNER:
    - 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866
    - JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03866
  - TAX MAP 239, LOT 2  
TAX MAP 235, LOT 1
  - S.C.R.D.
    - BOOK 4554, PAGE 813
    - BOOK 993, PAGE 080
  - THE INTENT OF THIS PLAN IS TO PROVIDE AN ENGINEERING DETAIL OF COMMUNITY WAY.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON MULCH BERM / FENCE/ AND SILT SOXX.
  - ONE ON SITE BENCHMARK IS PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - COMMUNITY WAY (FORMERLY CHRISTMAS LANE) WAS CONSTRUCTED FROM 0+00 - 5+63 DURING THE SUMMER OF 2019 BASED ON BARRINGTON PLANNING BOARD APPROVAL IN 2018 TO INCLUDE THE DRAINAGE INFRASTRUCTURE SHOWN.

**PLAN VIEW COMMUNITY LANE 0+00 - 5+50**  
**PROFILE VIEW COMMUNITY LANE 0+00 - 5+50**



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #1 | #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

EXISTING PLAN & PROFILE COMMUNITY LANE 0+00 - 5+50  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

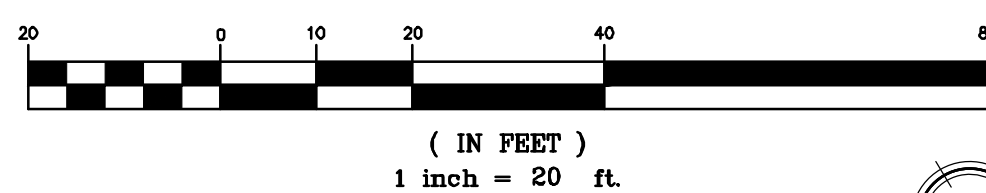
**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
REGISTERED PROFESSIONAL ENGINEER

**NOTES:**

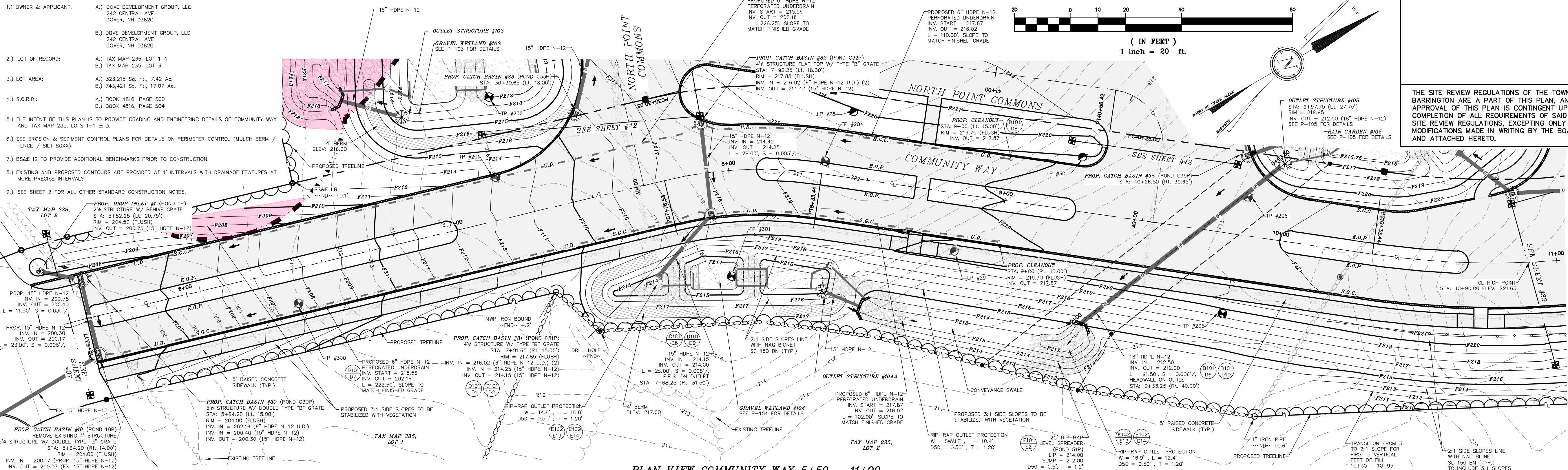
- OWNER & APPLICANT:
  - A) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- LOT OF RECORD:
  - A) TAX MAP 235, LOT 1-1
  - B) TAX MAP 235, LOT 3
- LOT AREA:
  - A) 323,215 Sq. Ft., 7.42 Ac.
  - B) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.:
  - A) BOOK 4816, PAGE 500
  - B) BOOK 4816, PAGE 504
- THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

**GRAPHIC SCALE**



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



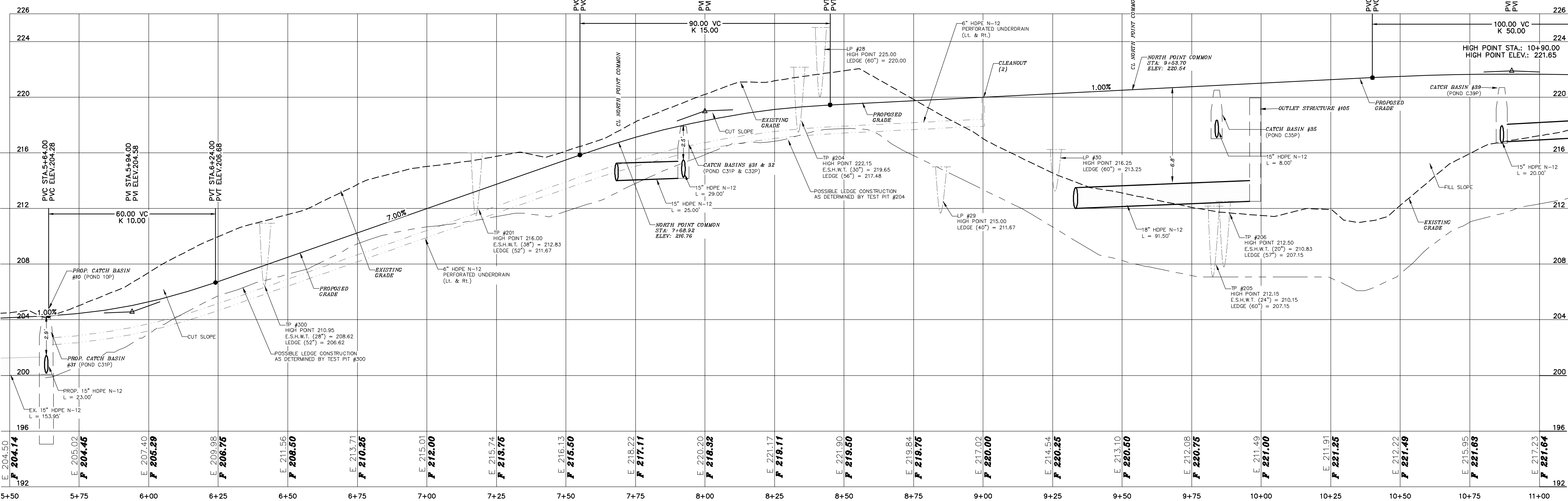
PLAN VIEW COMMUNITY WAY 5+50 - 11+00

PROFILE VIEW COMMUNITY WAY 5+50 - 11+00

**GRAPHIC SCALE**



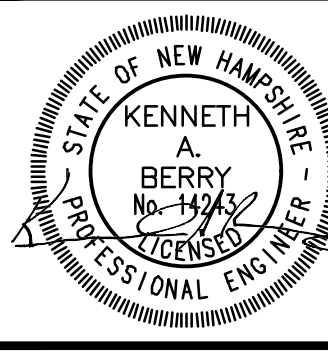
VERTICAL SCALE: 1" = 4'

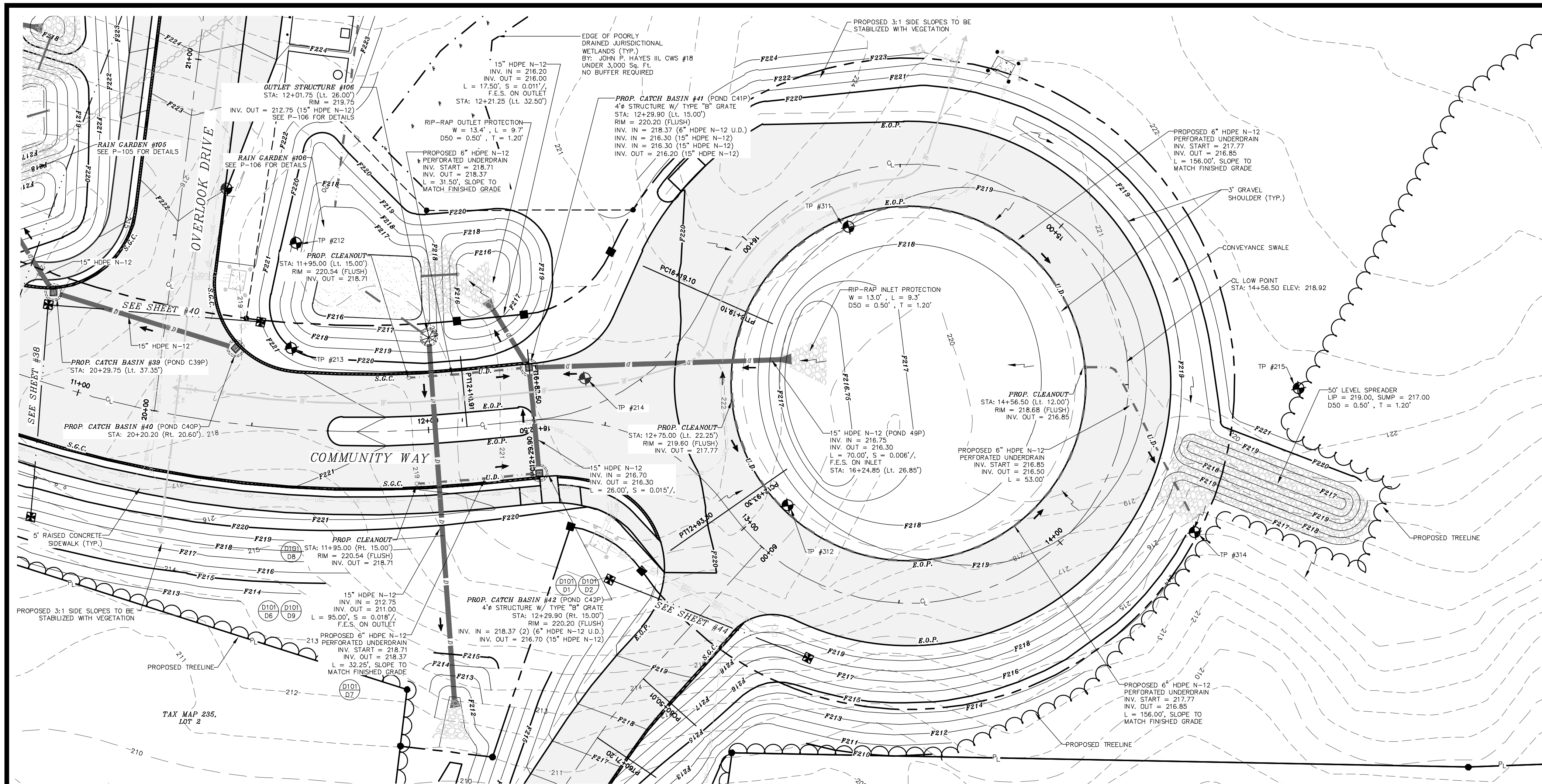


| #          | REVISION                                      | DATE | DESCRIPTION |
|------------|---|------|-------------|
| 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |      |             |
| 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |      |             |

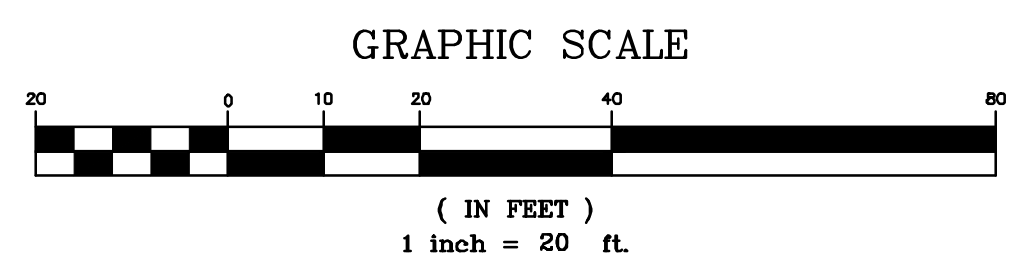
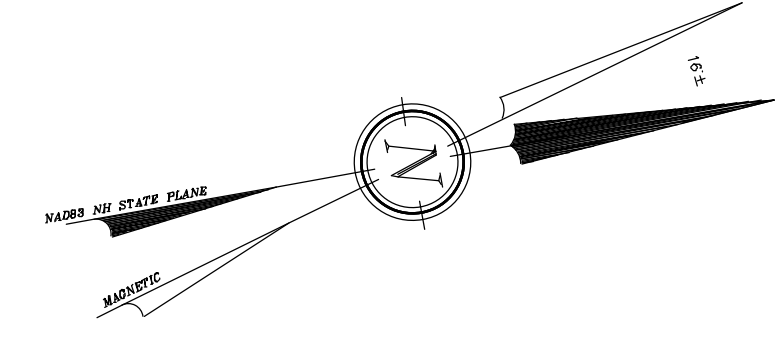
PLAN AND PROFILE COMMUNITY WAY 5+50 - 11+00  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097



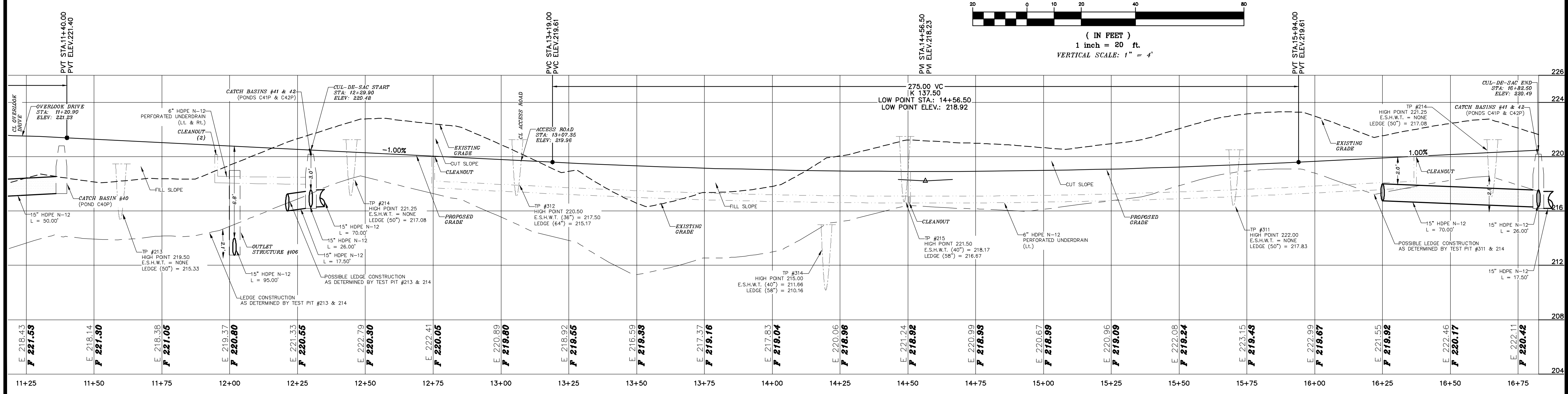
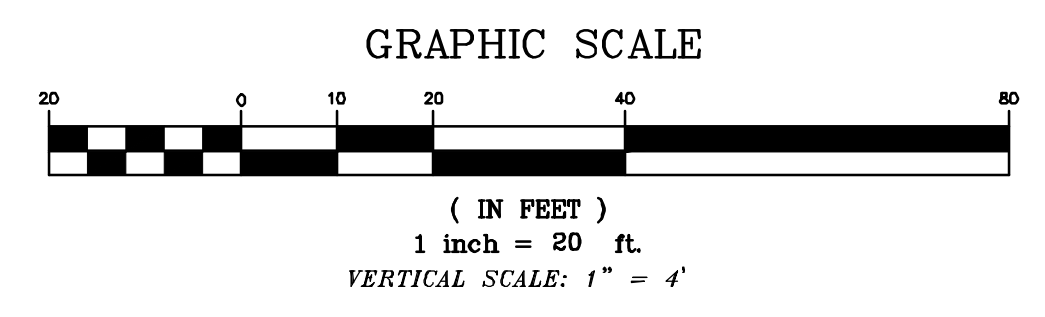


- NOTES:
- OWNER & APPLICANT:
    - A) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
    - B) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD:
    - A) TAX MAP 235, LOT 1-1
    - B) TAX MAP 235, LOT 3
  - LOT AREA:
    - A) 323,215 Sq. Ft., 7.42 AC.
    - B) 743,421 Sq. Ft., 17.07 AC.
  - S.C.R.D.:
    - A) BOOK 4816, PAGE 500
    - B) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



FOR TOWN APPROVAL PURPOSES :

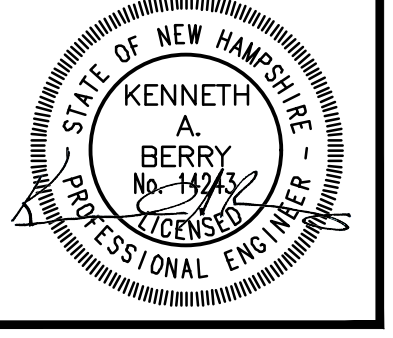
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



| #2 | #1 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PLAN AND PROFILE COMMUNITY WAY 11+00 - END  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE: 1 IN. EQUALS 20 FT.  
DATE: JUNE 14, 2021  
FILE NO.: DB 2020 - 097





**NOTES:**

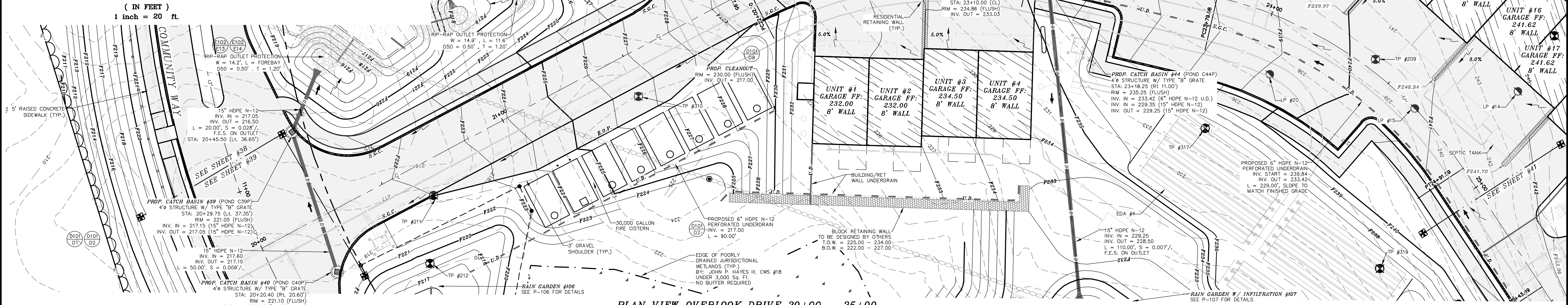
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 333,215 Sq. Ft., 7.43 Ac.  
B.) 743,420 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 300  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF OVERLOOK DRIVE AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCKS).
- 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

**GRAPHIC SCALE**



**FOR TOWN APPROVAL PURPOSES :**

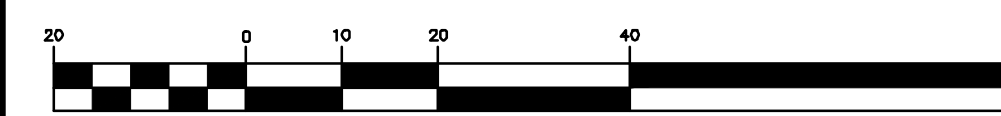
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



PLAN VIEW OVERLOOK DRIVE 20+00 - 25+00

PROFILE VIEW OVERLOOK DRIVE 20+00 - 25+00

**GRAPHIC SCALE**

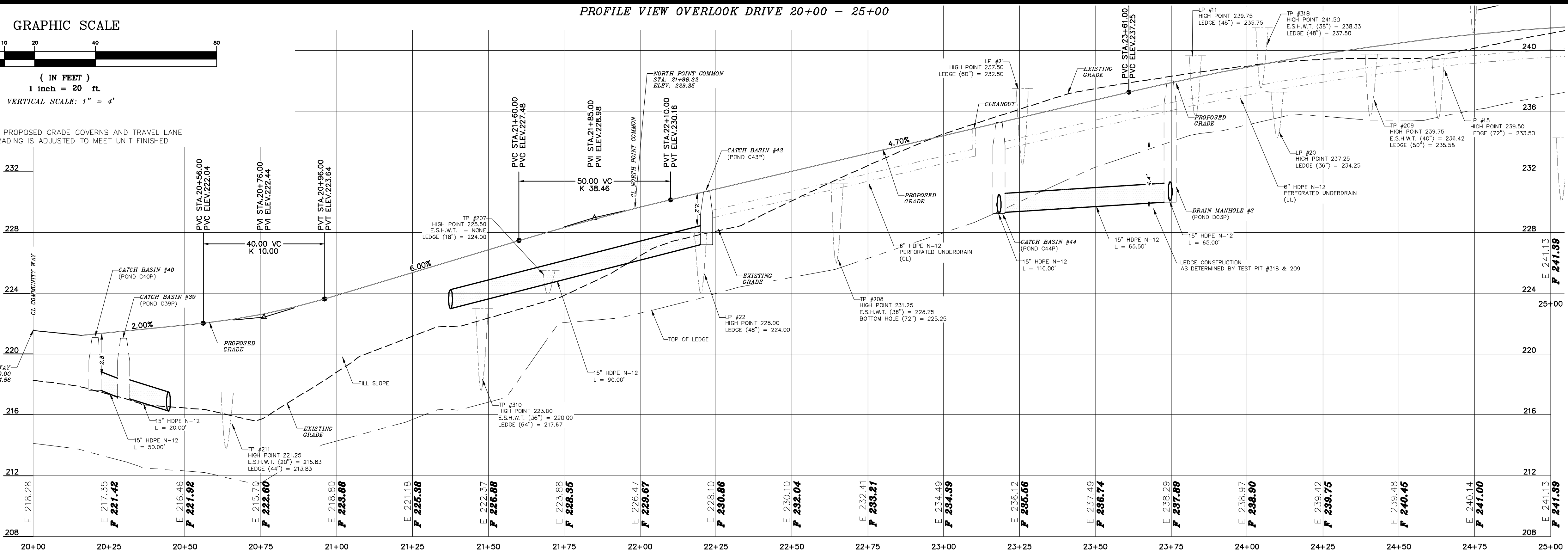


**( IN FEET )**  
1 inch = 20 ft.

VERTICAL SCALE: 1" = 4'

**GRADING INTENT:**

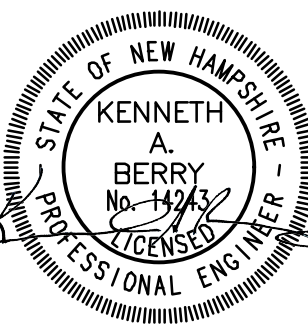
THE ROADWAY PROFILE PROPOSED GRADE GOVERNS AND TRAVEL LANE AND PARKING AREA GRADING IS ADJUSTED TO MEET UNIT FINISHED FLOORS.

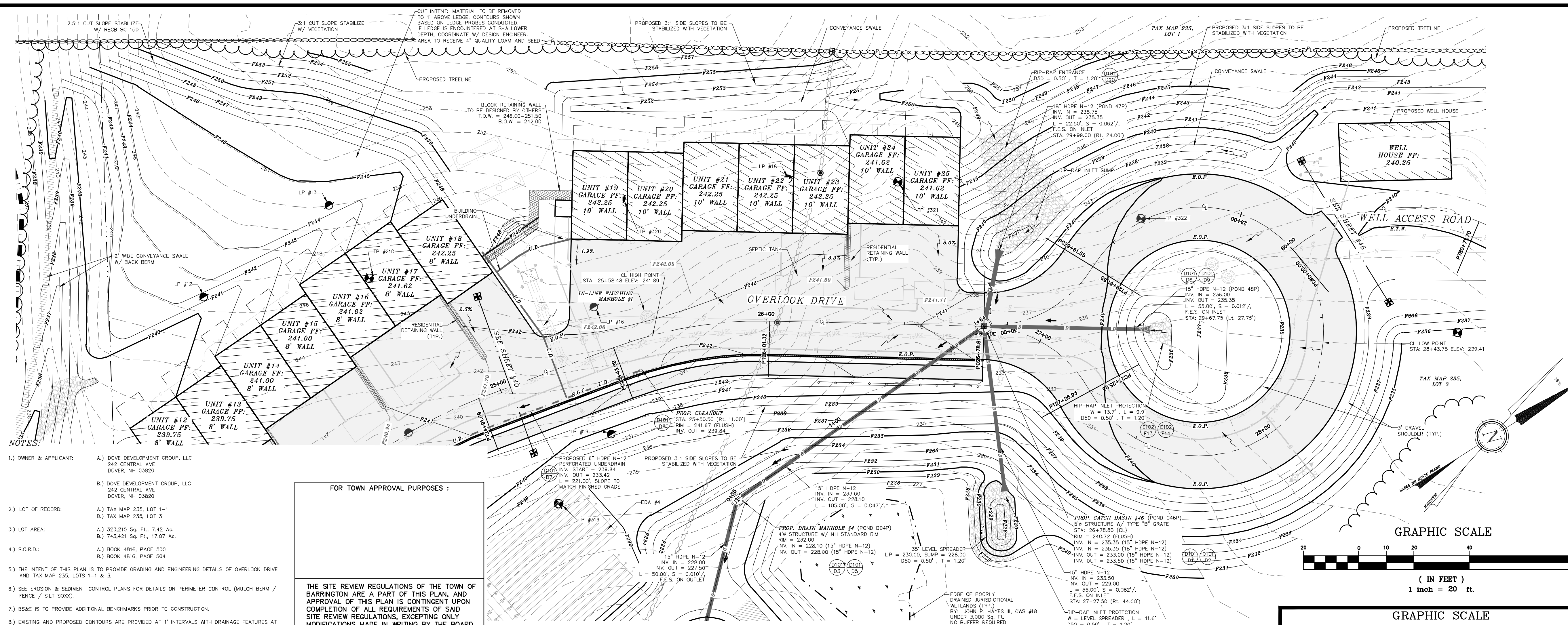


| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PLAN AND PROFILE OVERLOOK DRIVE 20+00 - 25+00  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



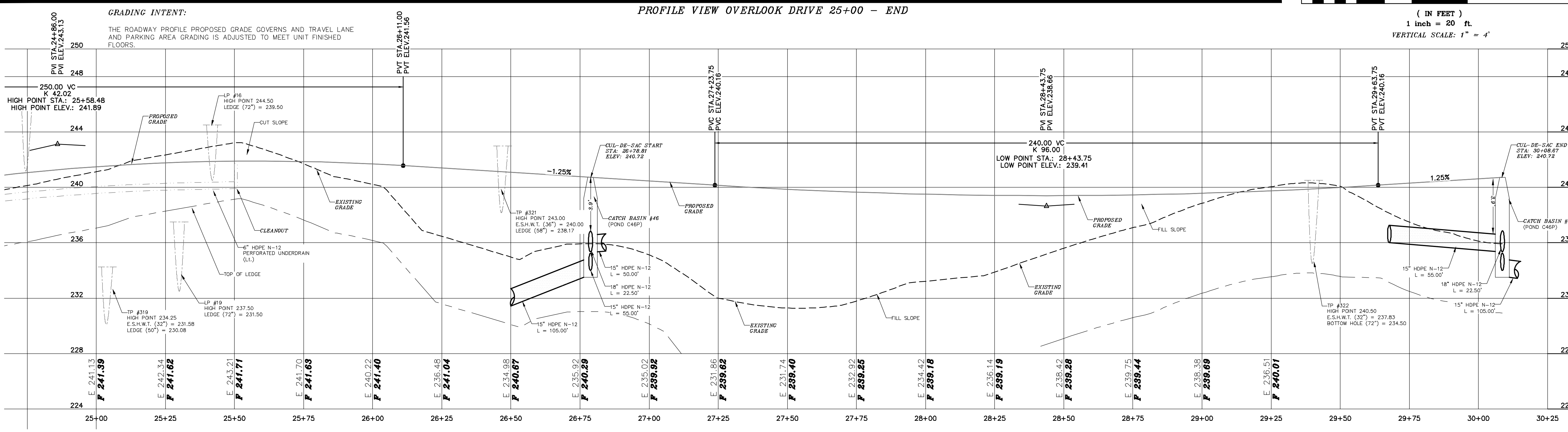


- NOTES:**
- OWNER & APPLICANT:
    - A) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
    - B) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD:
    - A) TAX MAP 235, LOT 1-1
    - B) TAX MAP 235, LOT 3
  - LOT AREA:
    - A) 323,215 Sq. Ft., 7.42 Ac.
    - B) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.:
    - A) BOOK 4816, PAGE 500
    - B) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF OVERLOOK DRIVE AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
  - BS&C IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

**FOR TOWN APPROVAL PURPOSES:**

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

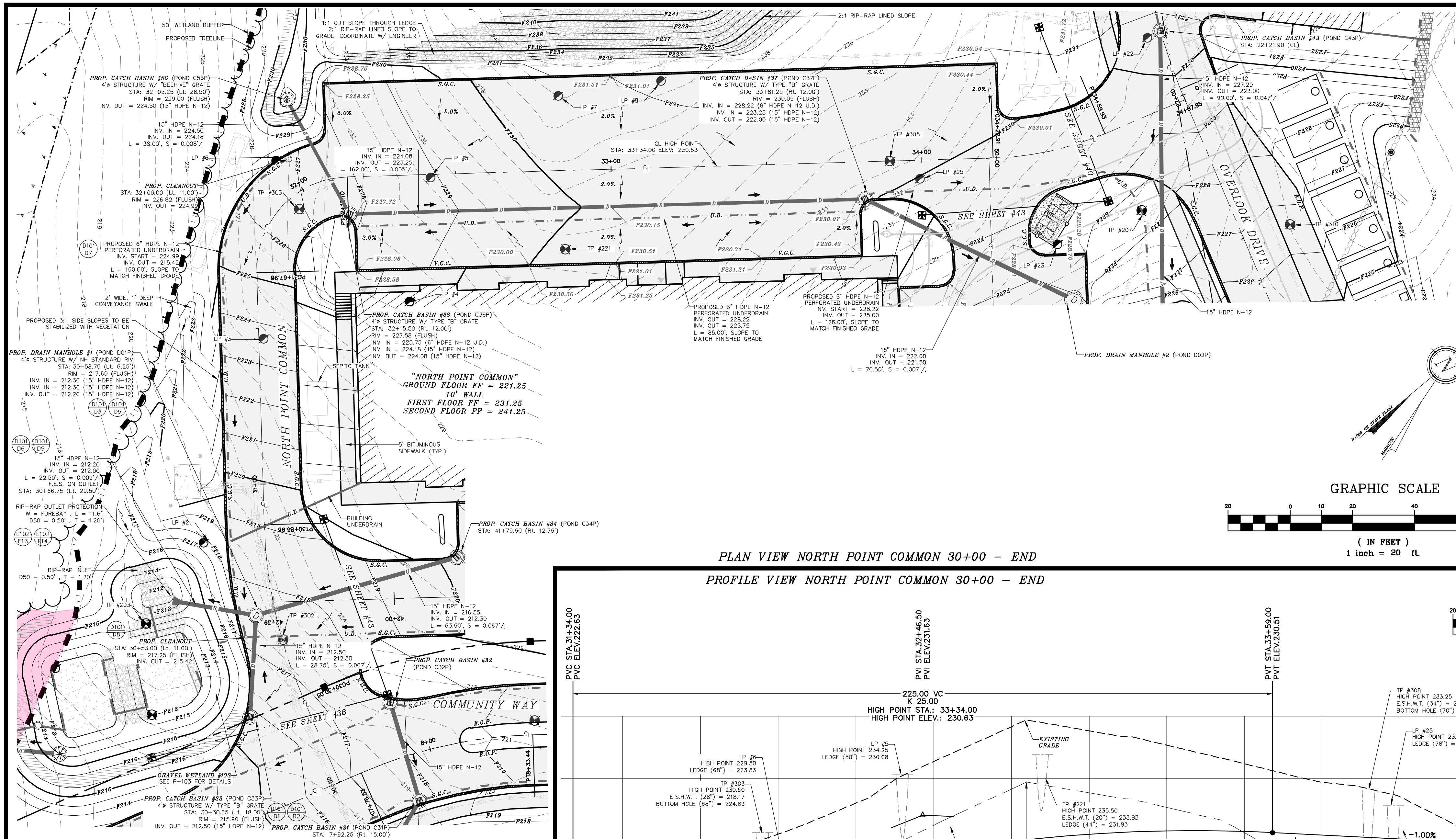
**PLAN VIEW OVERLOOK DRIVE 25+00 - END**  
**PROFILE VIEW OVERLOOK DRIVE 25+00 - END**



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

**PLAN AND PROFILE OVERLOOK DRIVE 25+00 - END**  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
**TAX MAP 235 LOT 1-1 & MAP 235 LOT 3**

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE: 1 IN. EQUALS 20 FT.  
DATE: JUNE 14, 2021  
FILE NO.: DB 2020 - 097

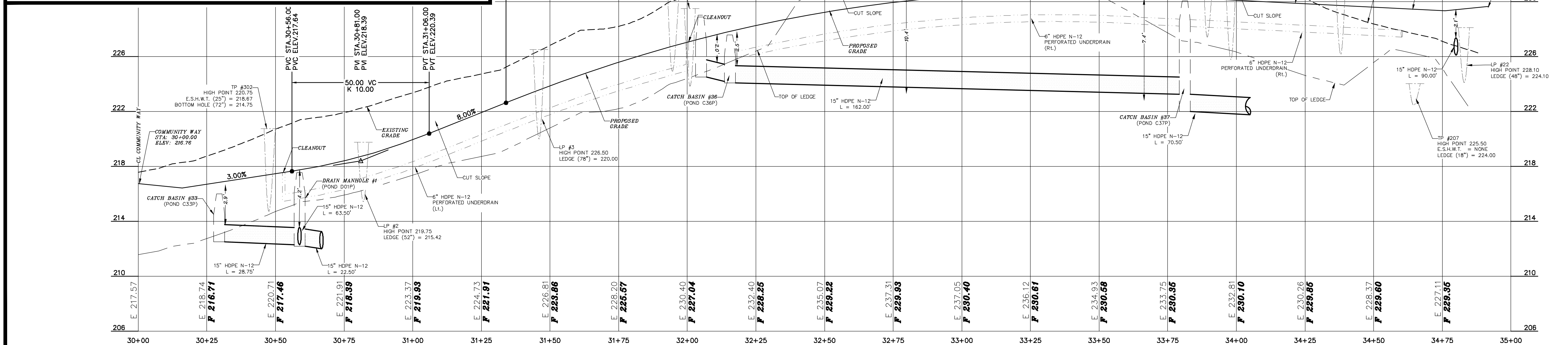


- NOTES:**
- 1) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - 2) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - 3) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - 4) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - 5) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF NORTH POINT COMMON AND TAX MAP 235, LOTS 1-1 & 3.
  - 6) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
  - 7) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - 8) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - 9) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

PLAN VIEW NORTH POINT COMMON 30+00 - END  
PROFILE VIEW NORTH POINT COMMON 30+00 - END



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

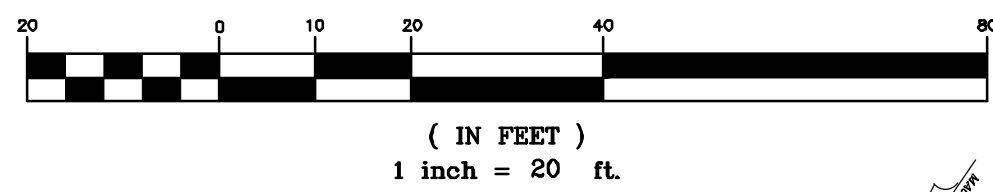
PLAN AND PROFILE NORTH POINT COMMONS 30+00 - END  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

FOR TOWN APPROVAL PURPOSES :

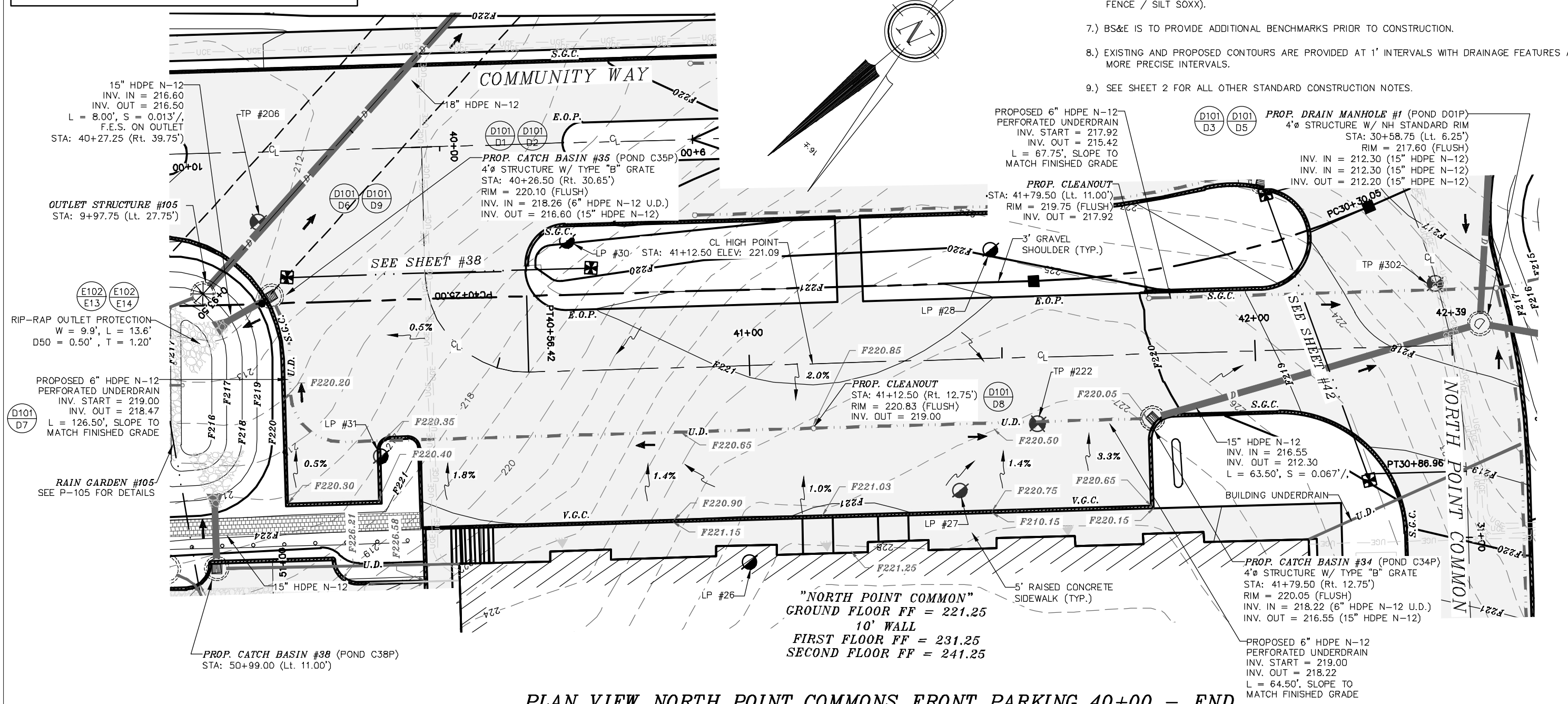
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

GRAPHIC SCALE



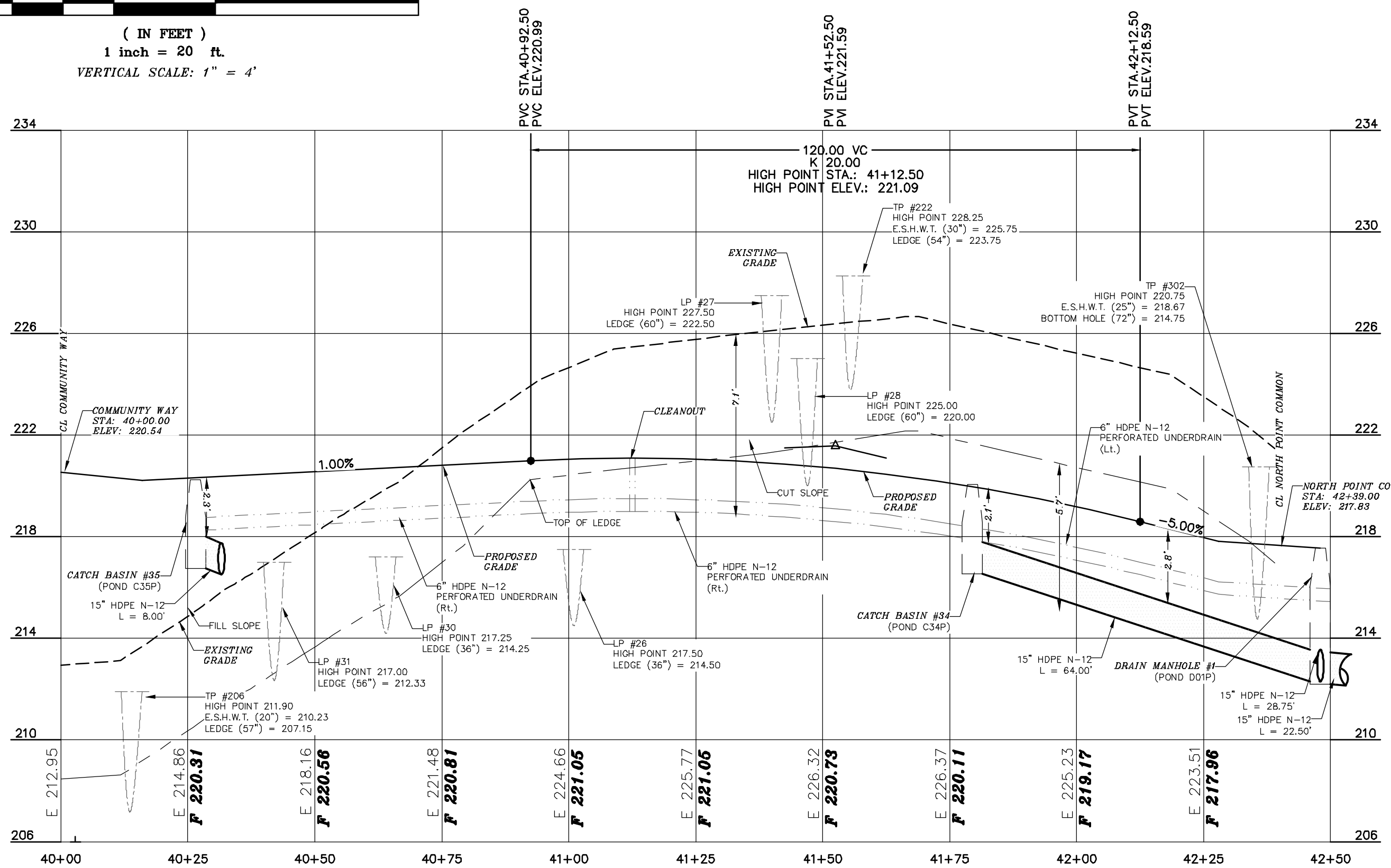
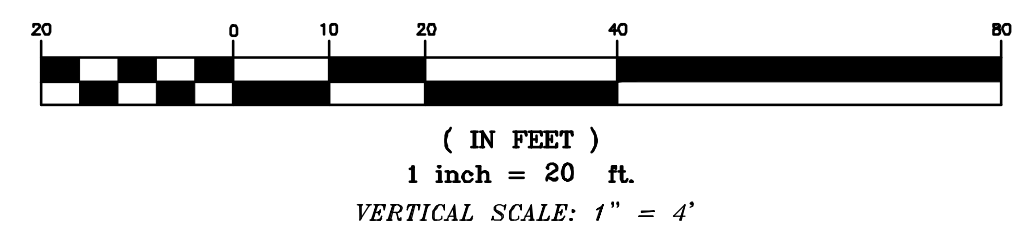
NOTES:

- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
- THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF NORTH POINT COMMON FRONT AND SIDE PARKING AREAS AND TAX MAP 235, LOTS 1-1 & 3.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCKS).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

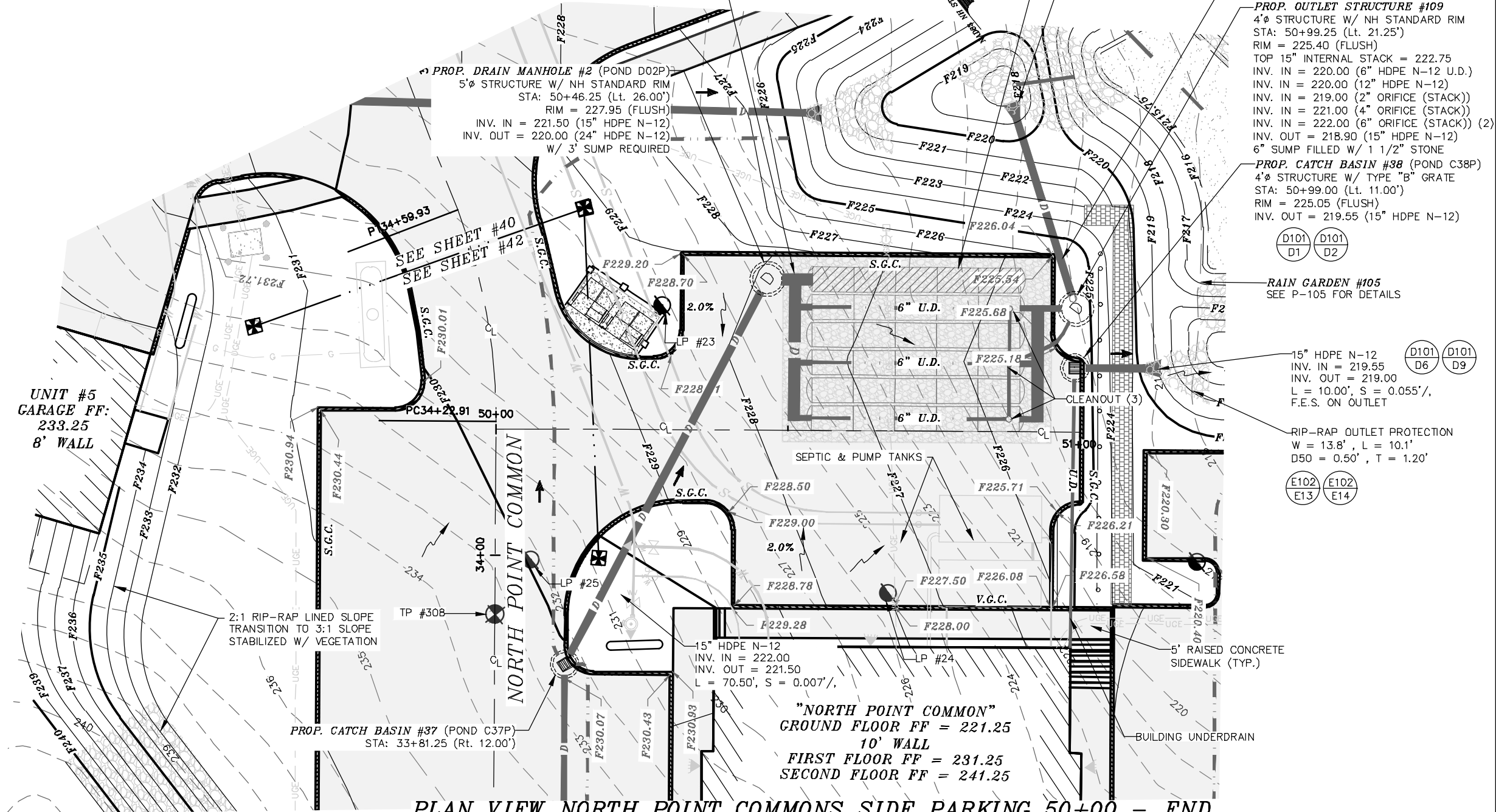
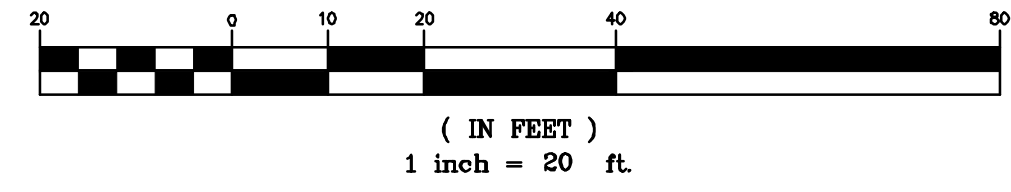


PLAN VIEW NORTH POINT COMMONS FRONT PARKING 40+00 - END  
PROFILE VIEW NORTH POINT COMMONS FRONT PARKING 40+00 - END

GRAPHIC SCALE

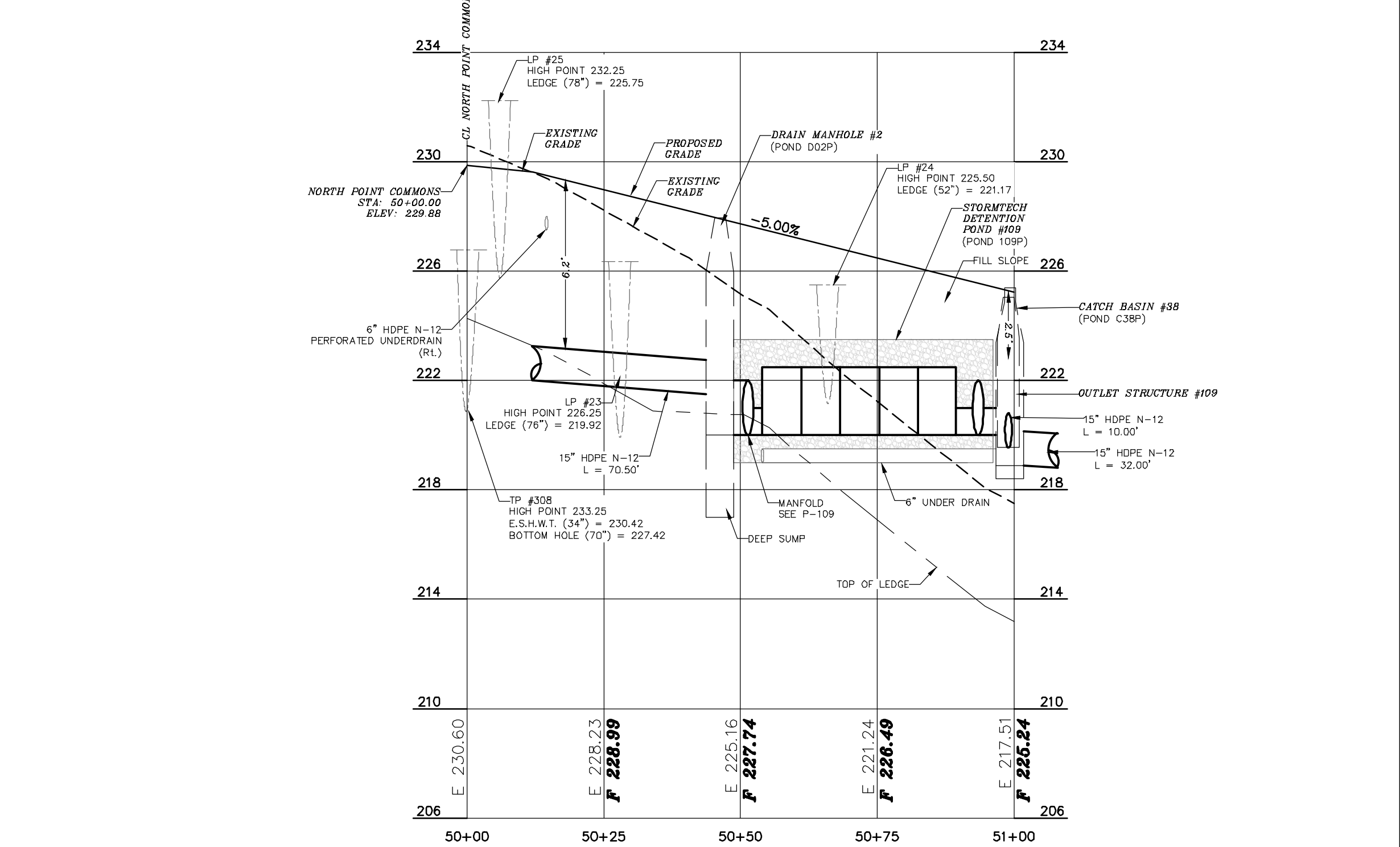
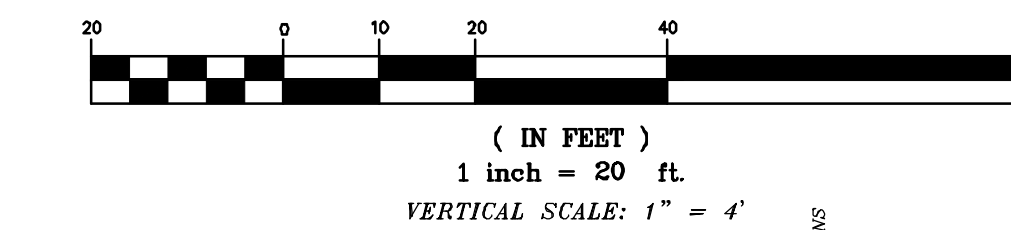


GRAPHIC SCALE



PLAN VIEW NORTH POINT COMMONS SIDE PARKING 50+00 - END  
PROFILE VIEW NORTH POINT COMMONS SIDE PARKING 50+00 - END

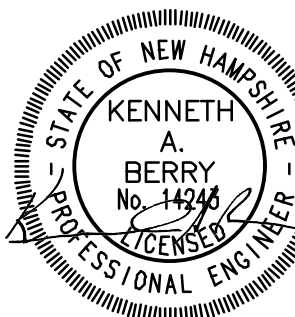
GRAPHIC SCALE

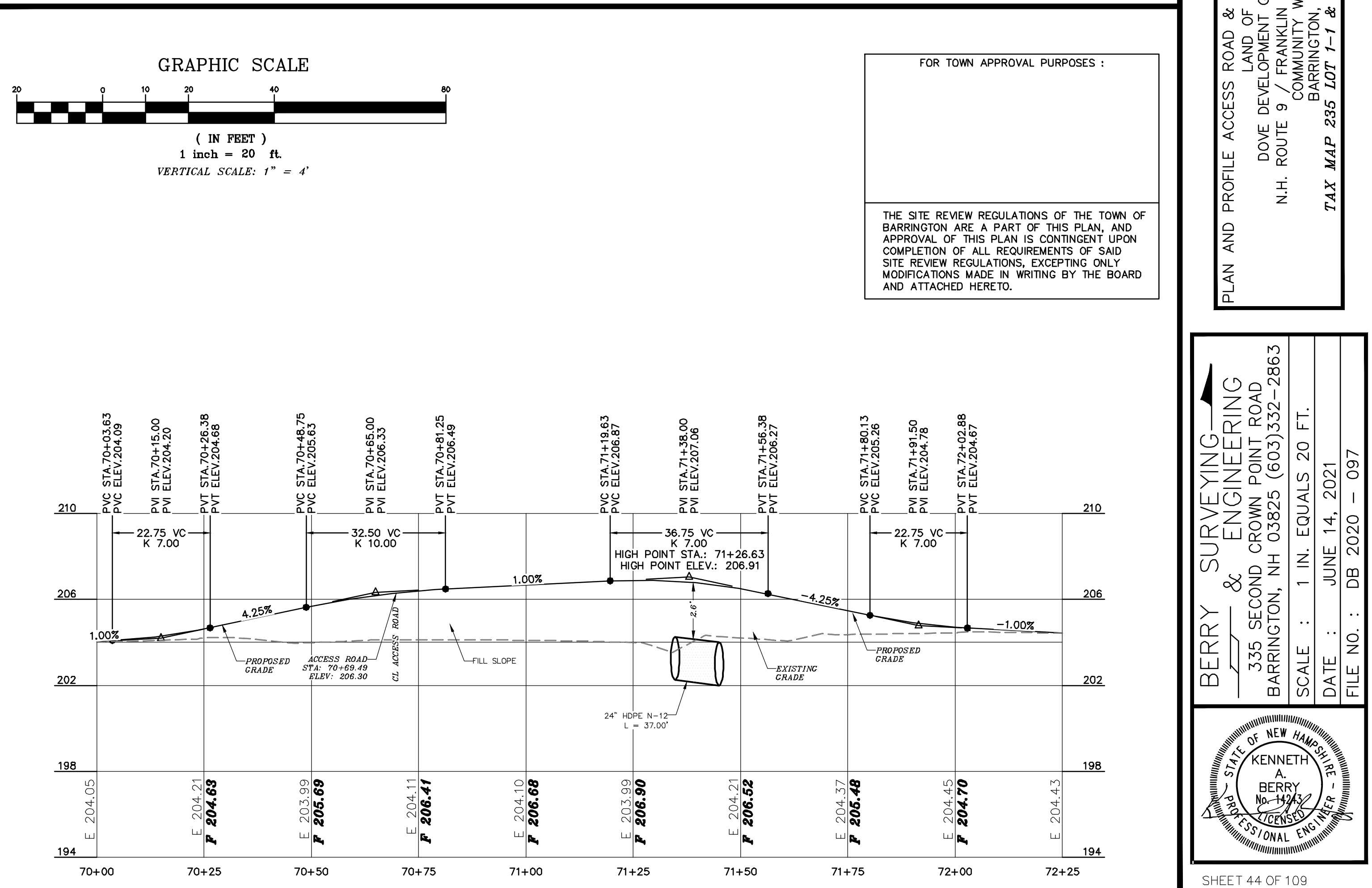
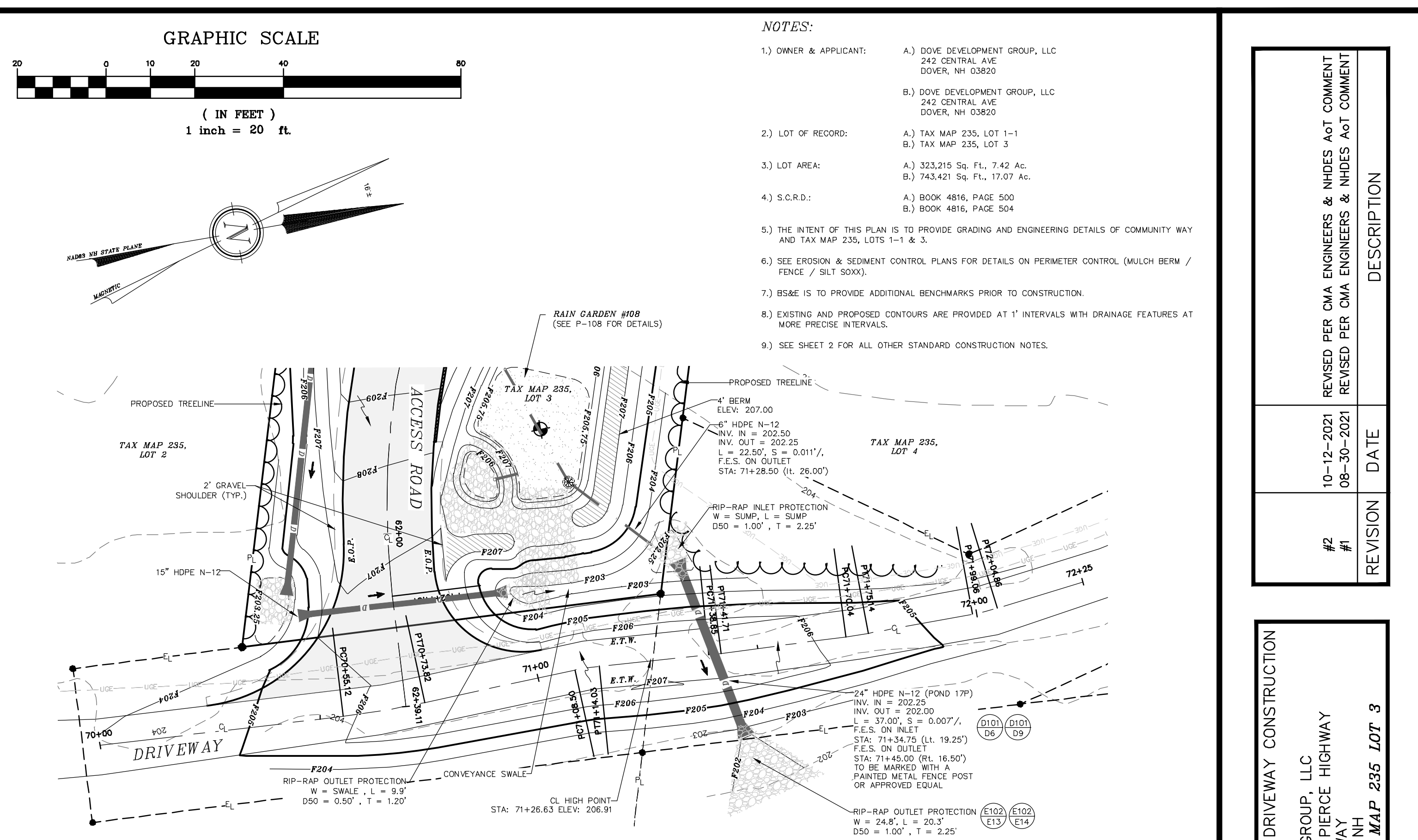
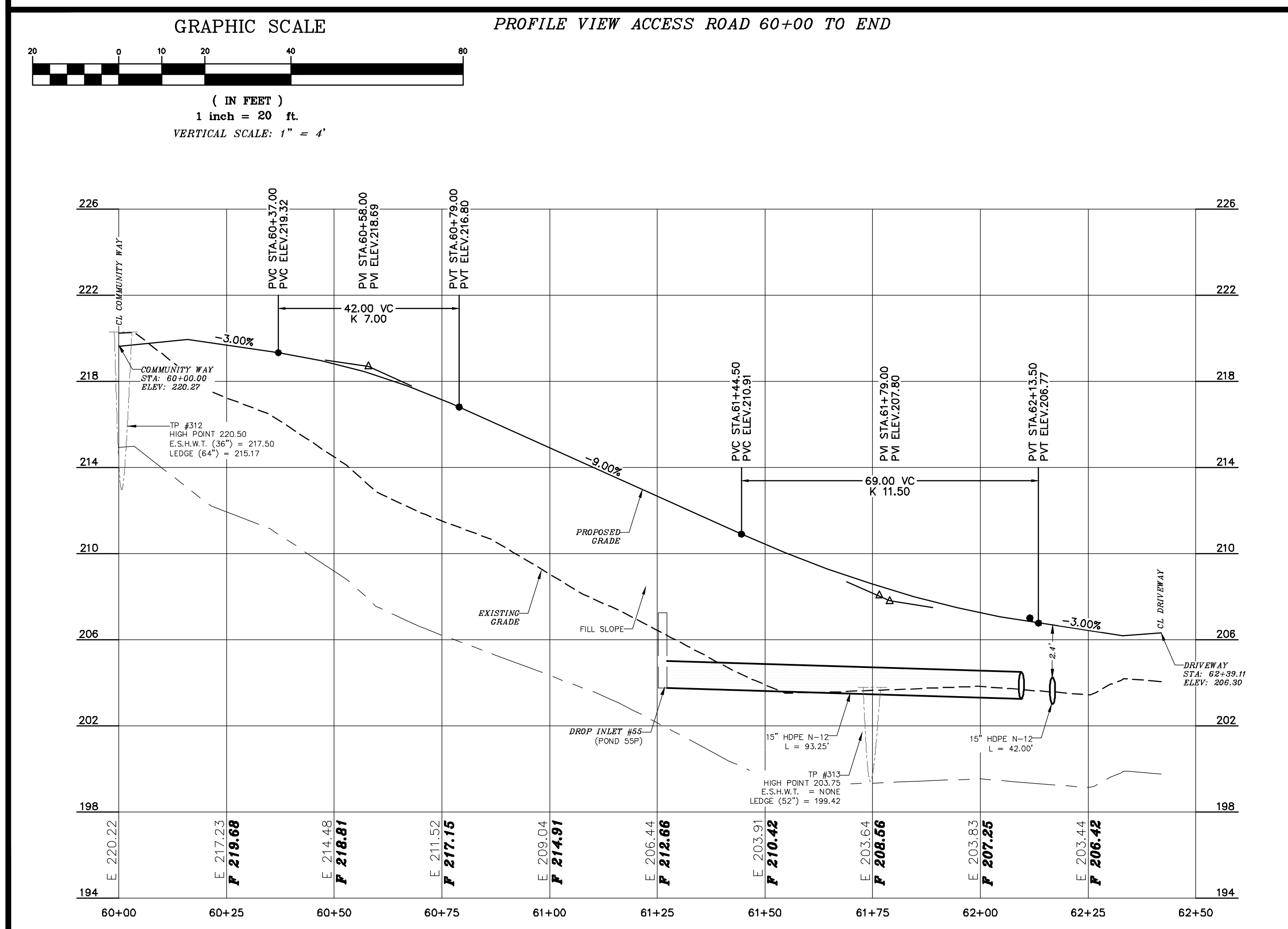
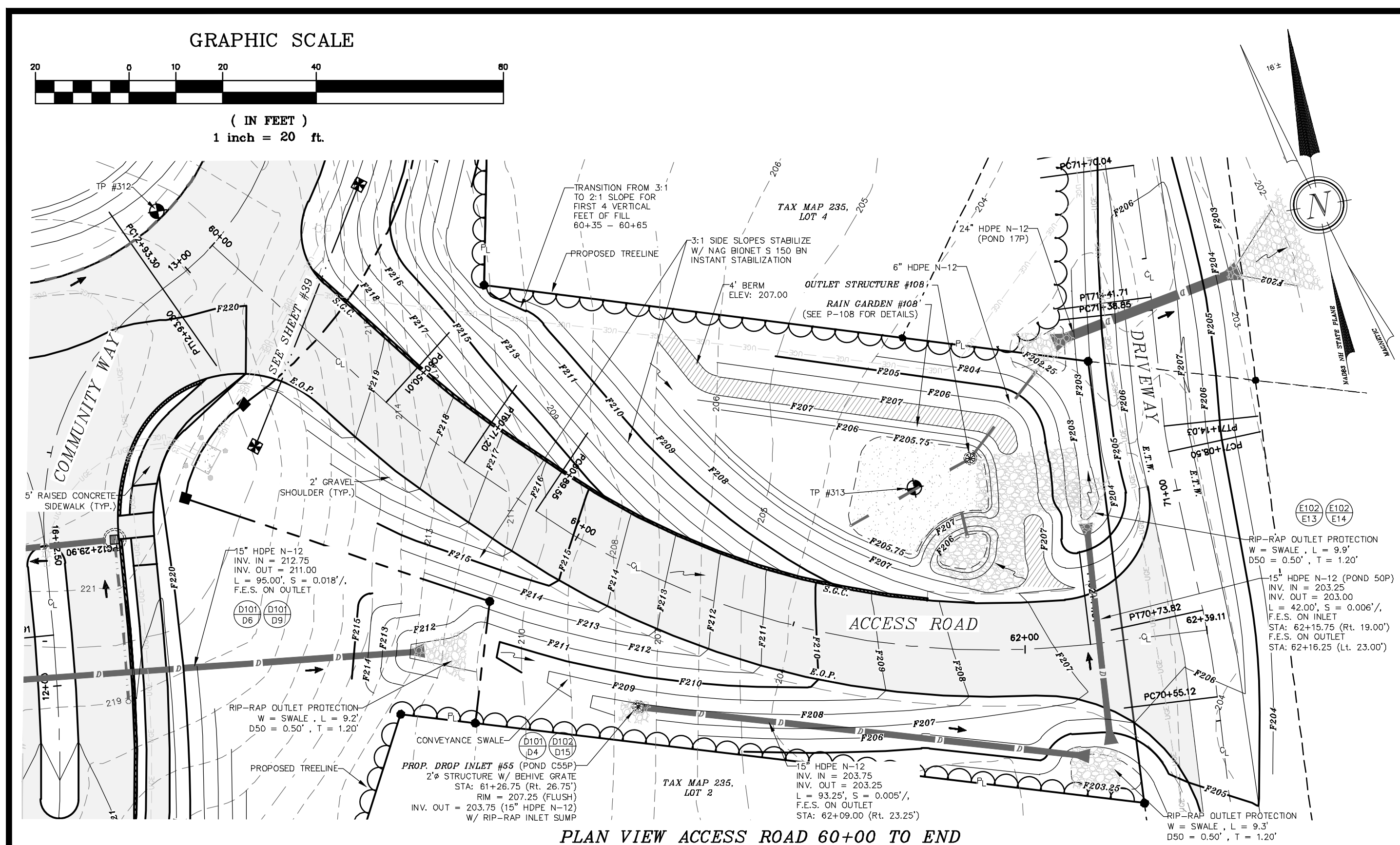


| #2 | #1 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & INHES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & INHES AOT COMMENT |

PLAN AND PROFILE NP COMMONS FRONT & SIDE PARKING  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





- NOTES:**
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - 3.) LOT AREA: A.) 323,216 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - 4.) S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
  - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
  - 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

FOR TOWN APPROVAL PURPOSES :

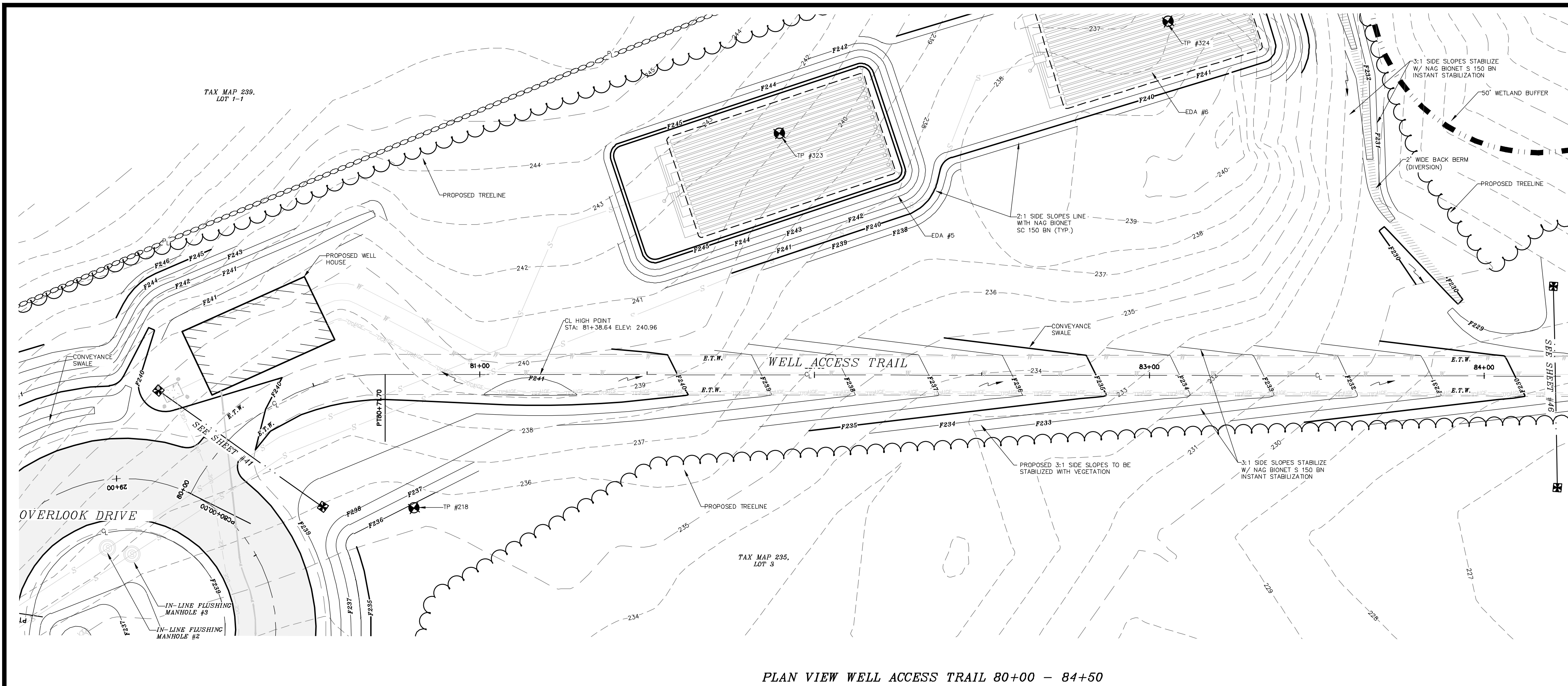
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #   | REVISION | DATE | DESCRIPTION |
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PLAN AND PROFILE ACCESS ROAD & DRIVEWAY CONSTRUCTION  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
**TAX MAP 235 LOT 1-1 & MAP 235 LOT 3**

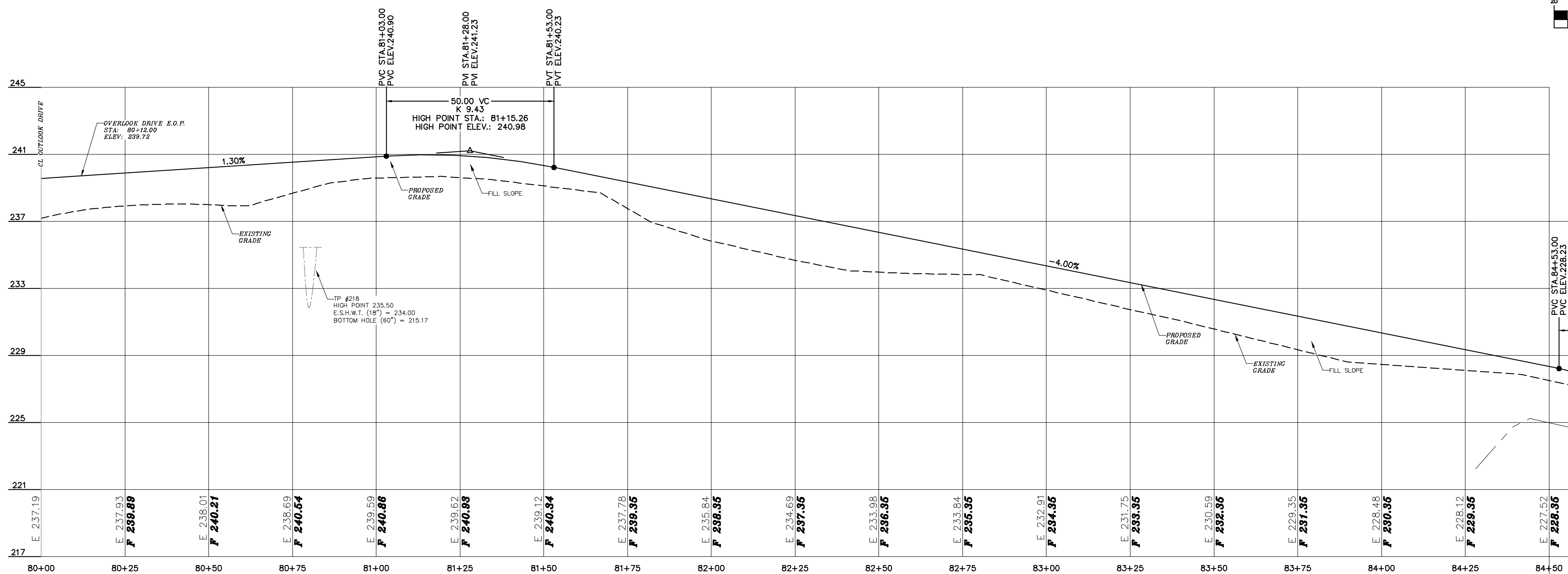
**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

SHEET 44 OF 109

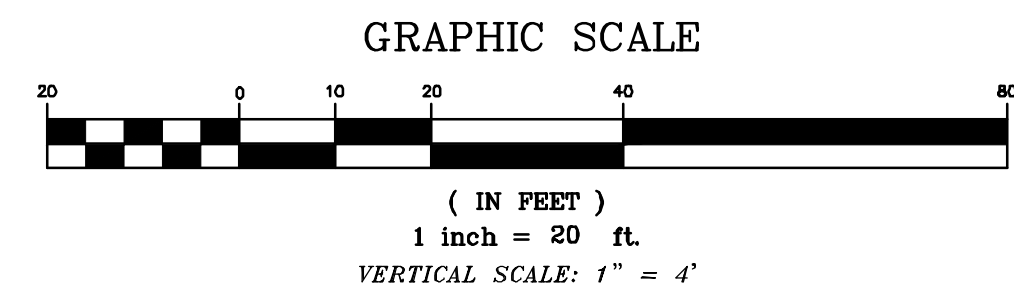
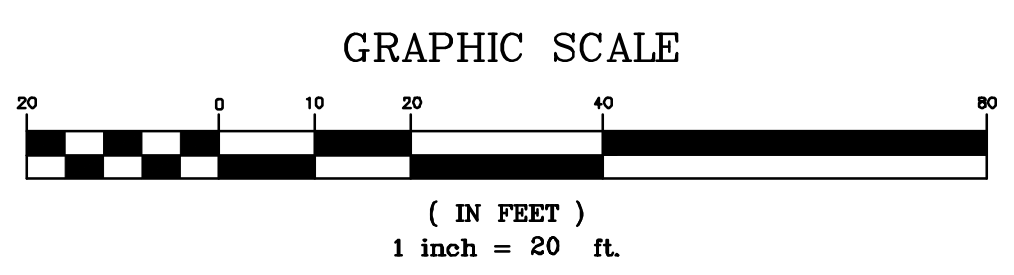
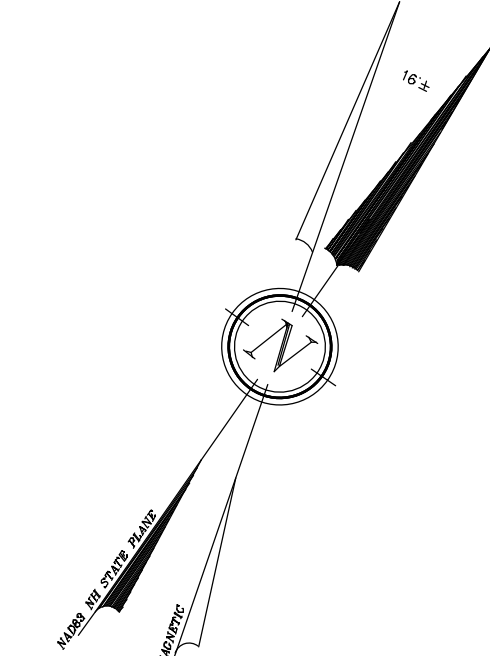


PLAN VIEW WELL ACCESS TRAIL 80+00 - 84+50

PROFILE VIEW WELL ACCESS TRAIL 80+00 - 84+50



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



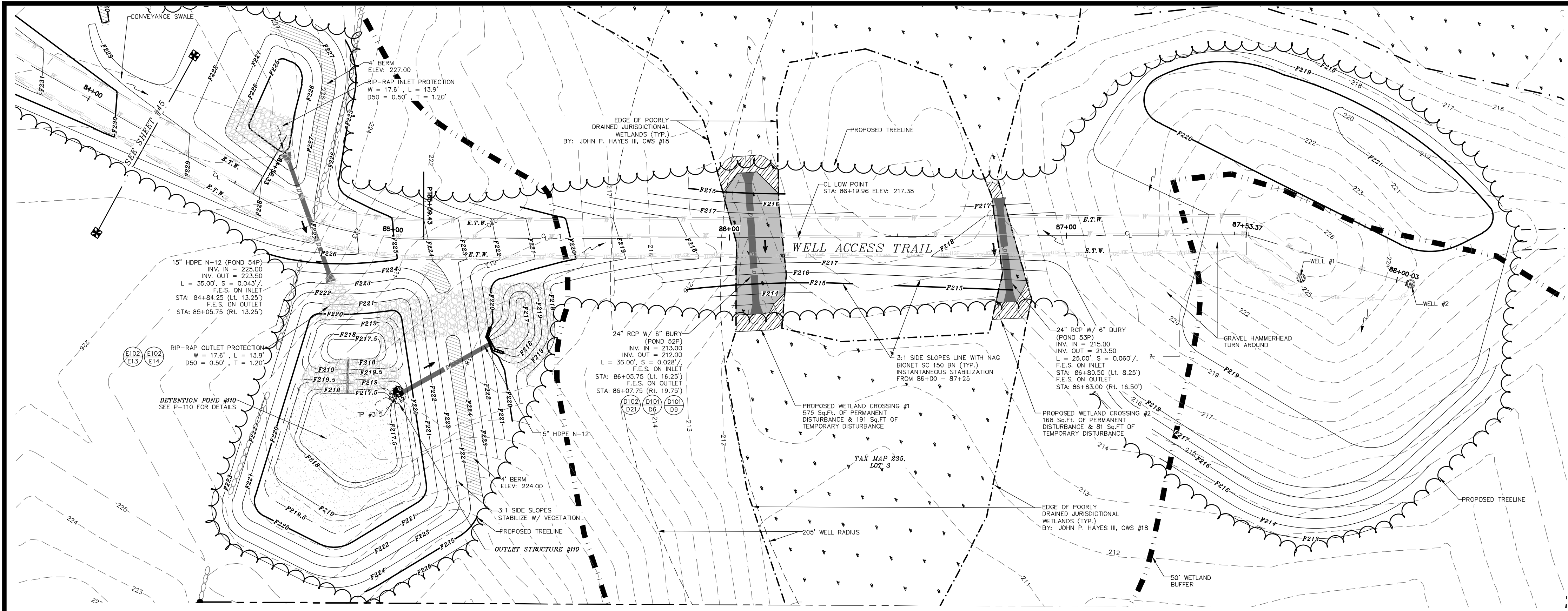
FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

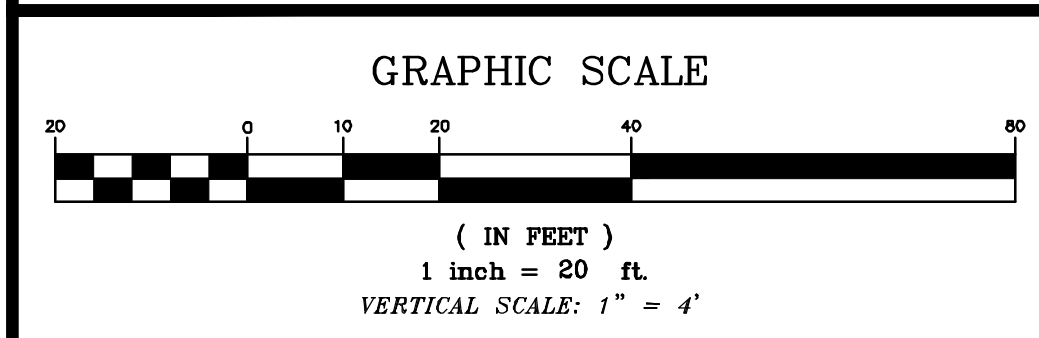
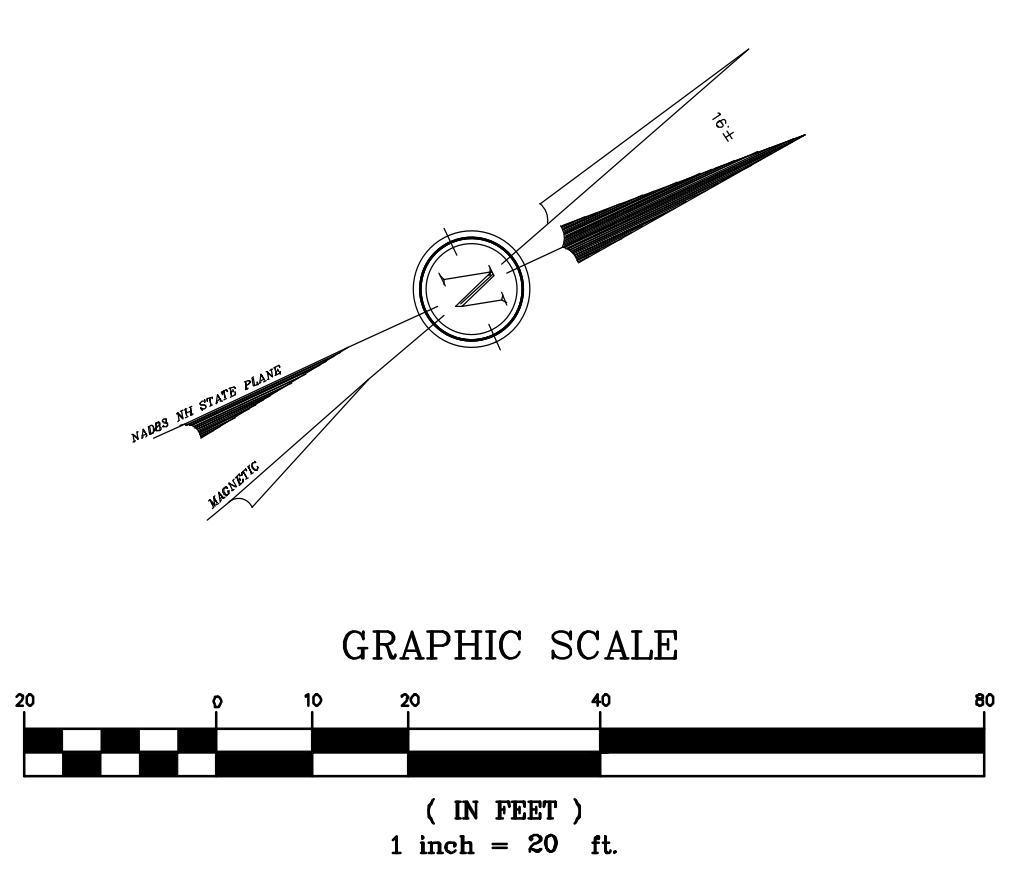
| #1 | #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PLAN AND PROFILE WELL ACCESS TRAIL 80+00 - 84+50  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

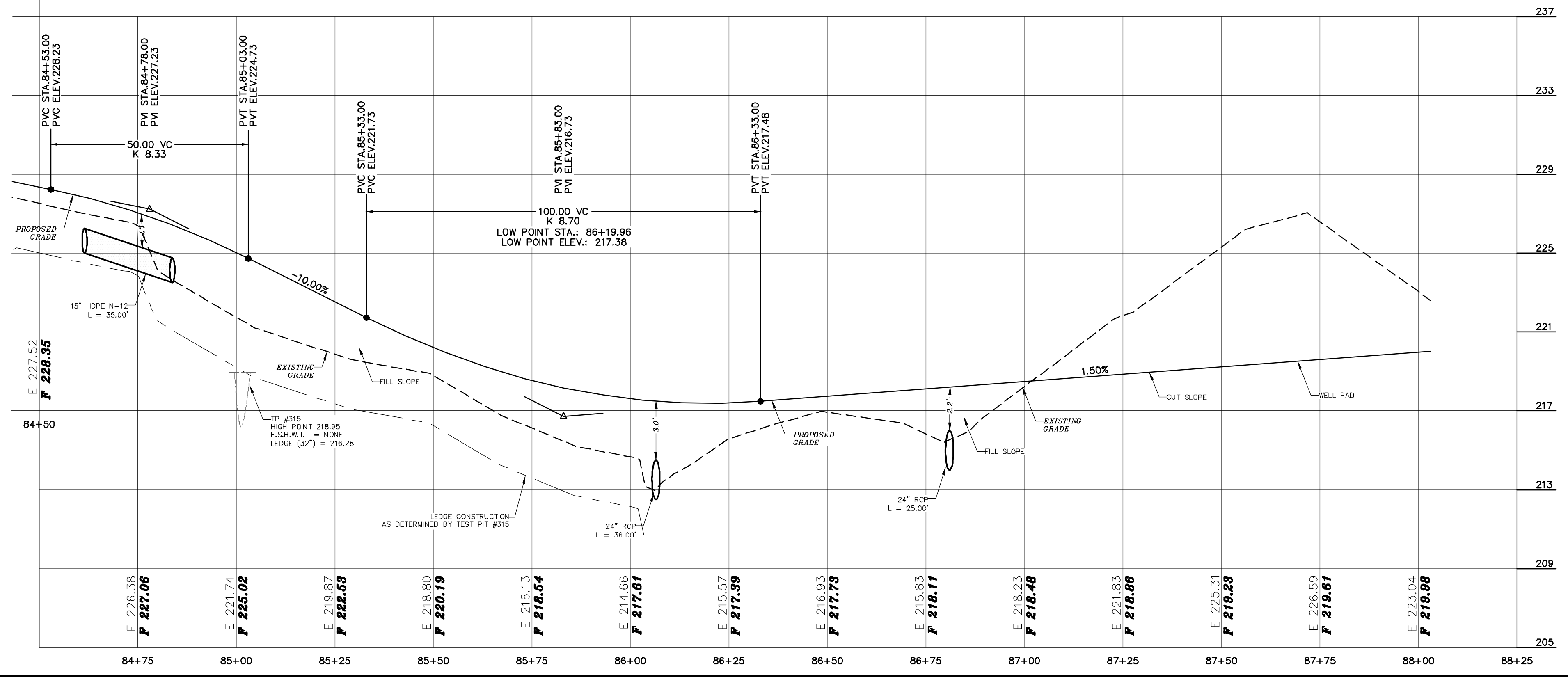
**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



- NOTES:
- OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820 B) DOVE DEVELOPMENT GROUP, LLC 242 CENTRAL AVE DOVER, NH 03820
  - LOT OF RECORD: A) TAX MAP 235, LOT 1-1 B) TAX MAP 235, LOT 3
  - LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac. B) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A) BOOK 4816, PAGE 500 B) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW WELL ACCESS TRAIL 84+50 - END  
PROFILE VIEW WELL ACCESS TRAIL 84+50 - END



FOR TOWN APPROVAL PURPOSES :

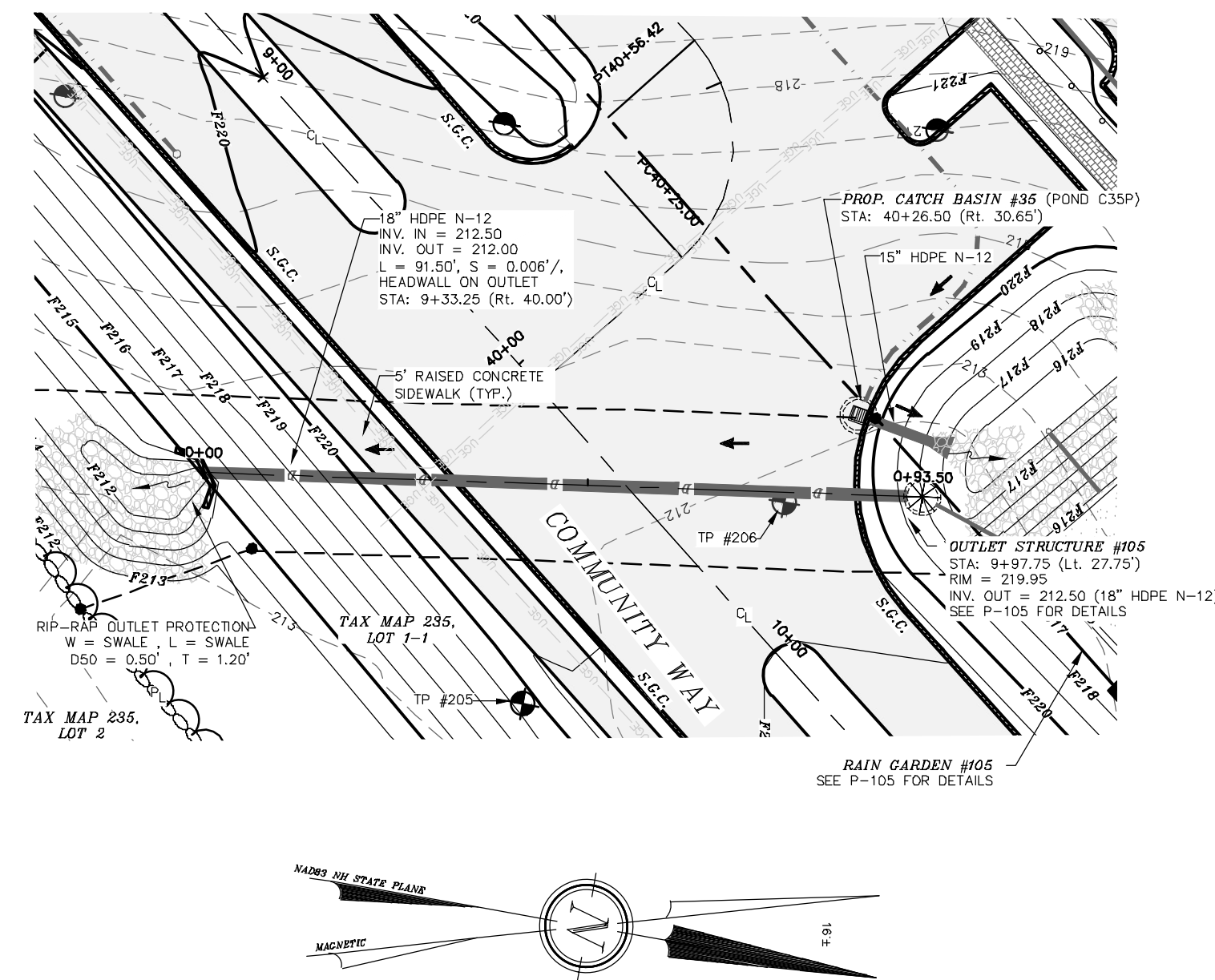
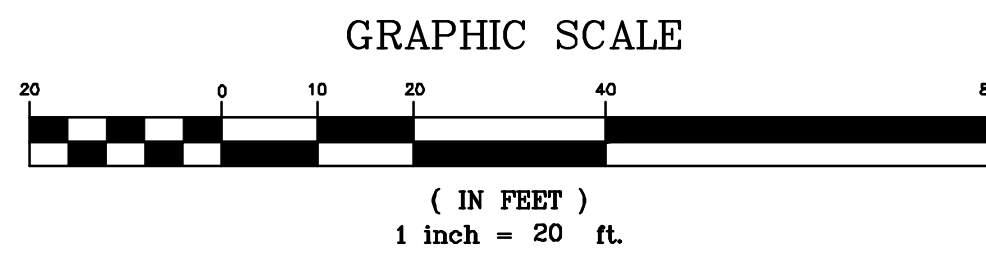
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

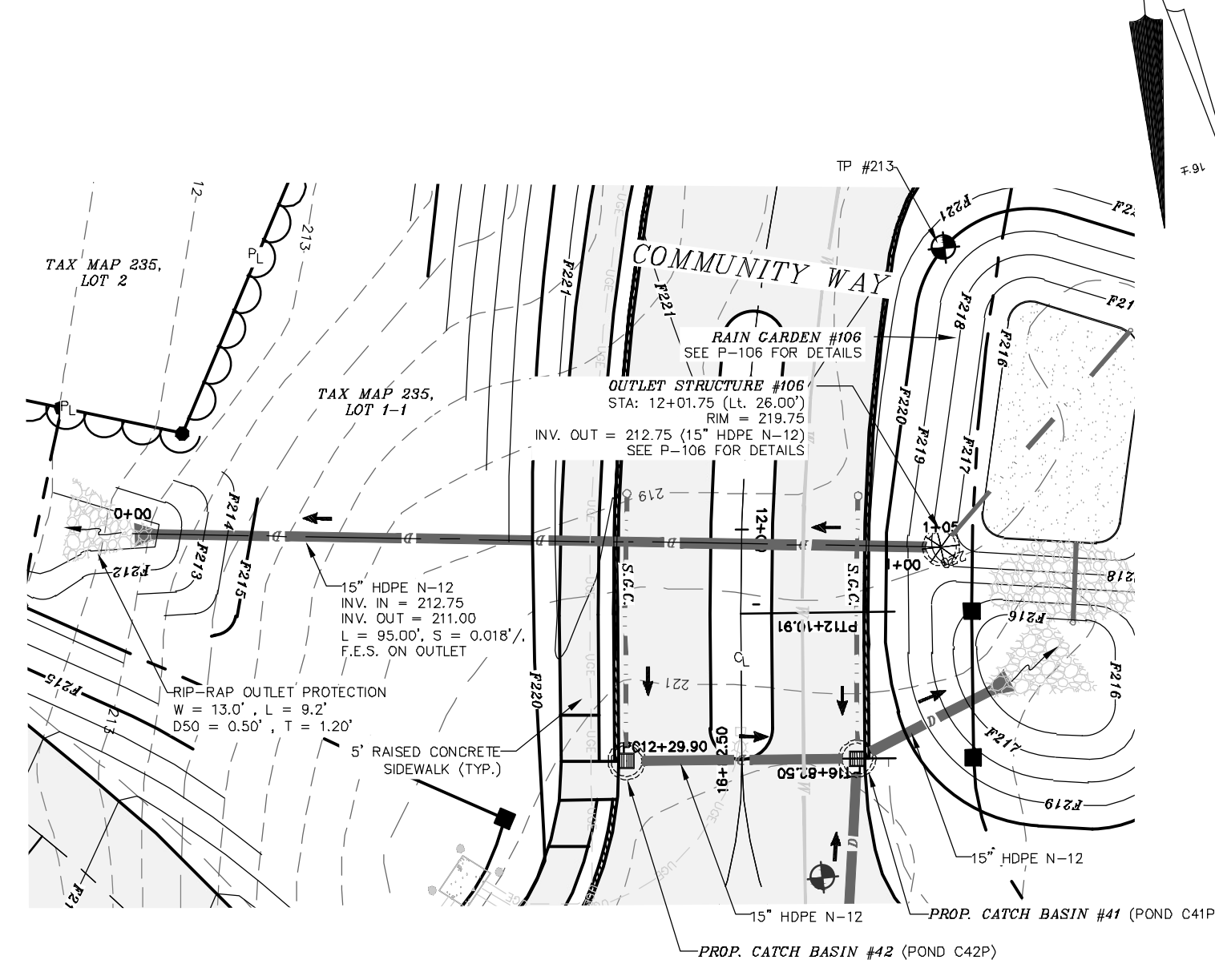
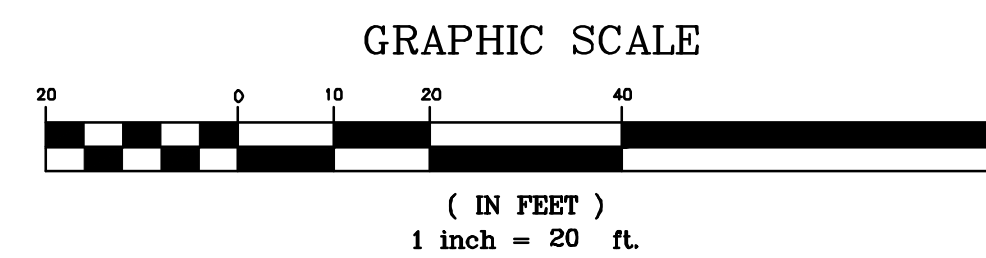
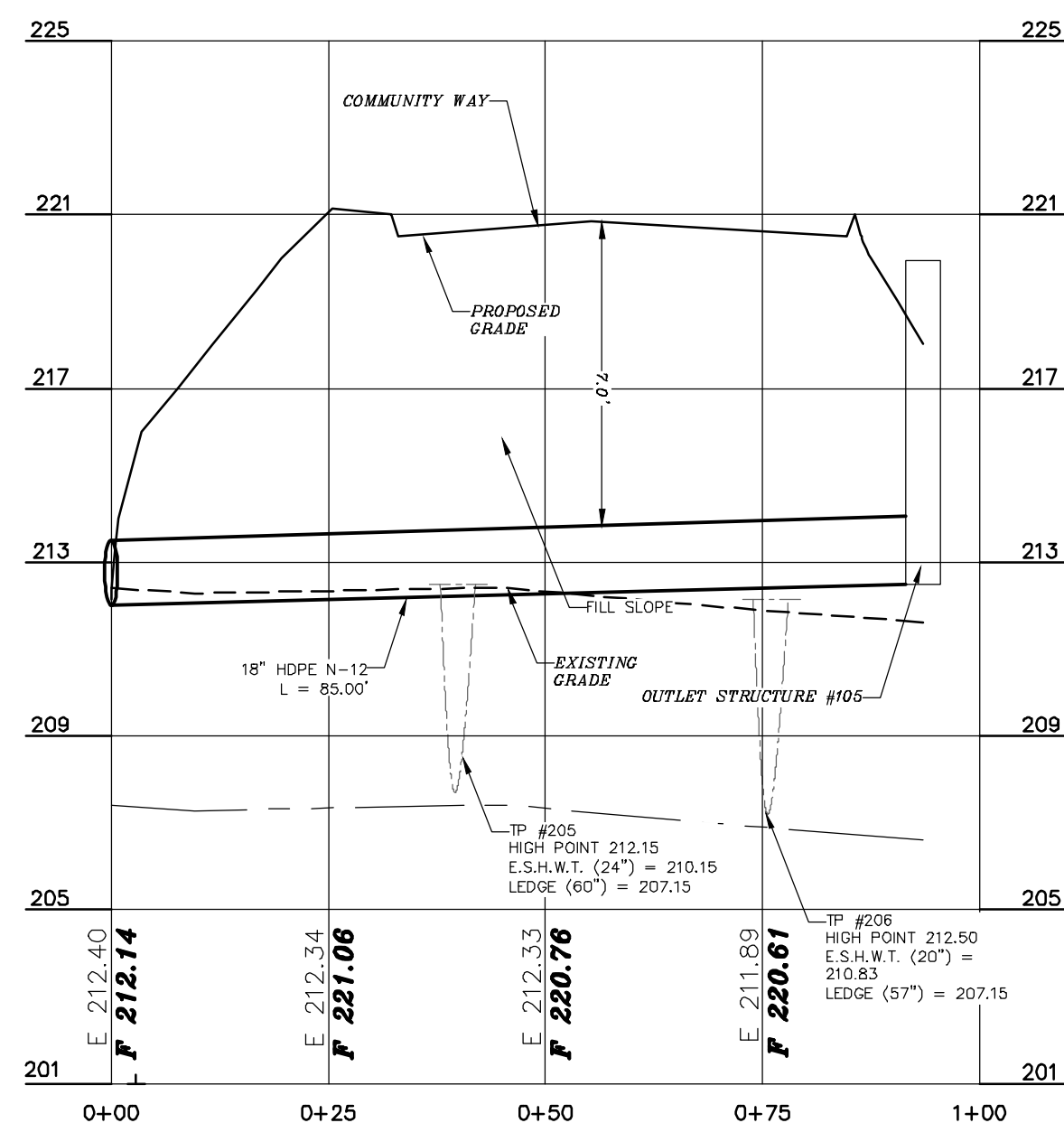
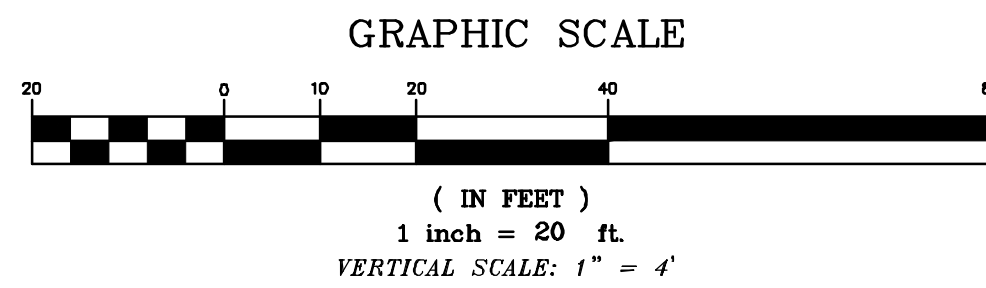
PLAN AND PROFILE WELL ACCESS TRAIL 84+50 - END  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

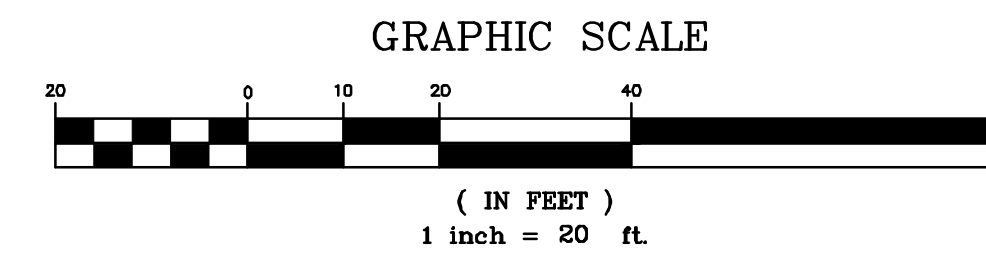
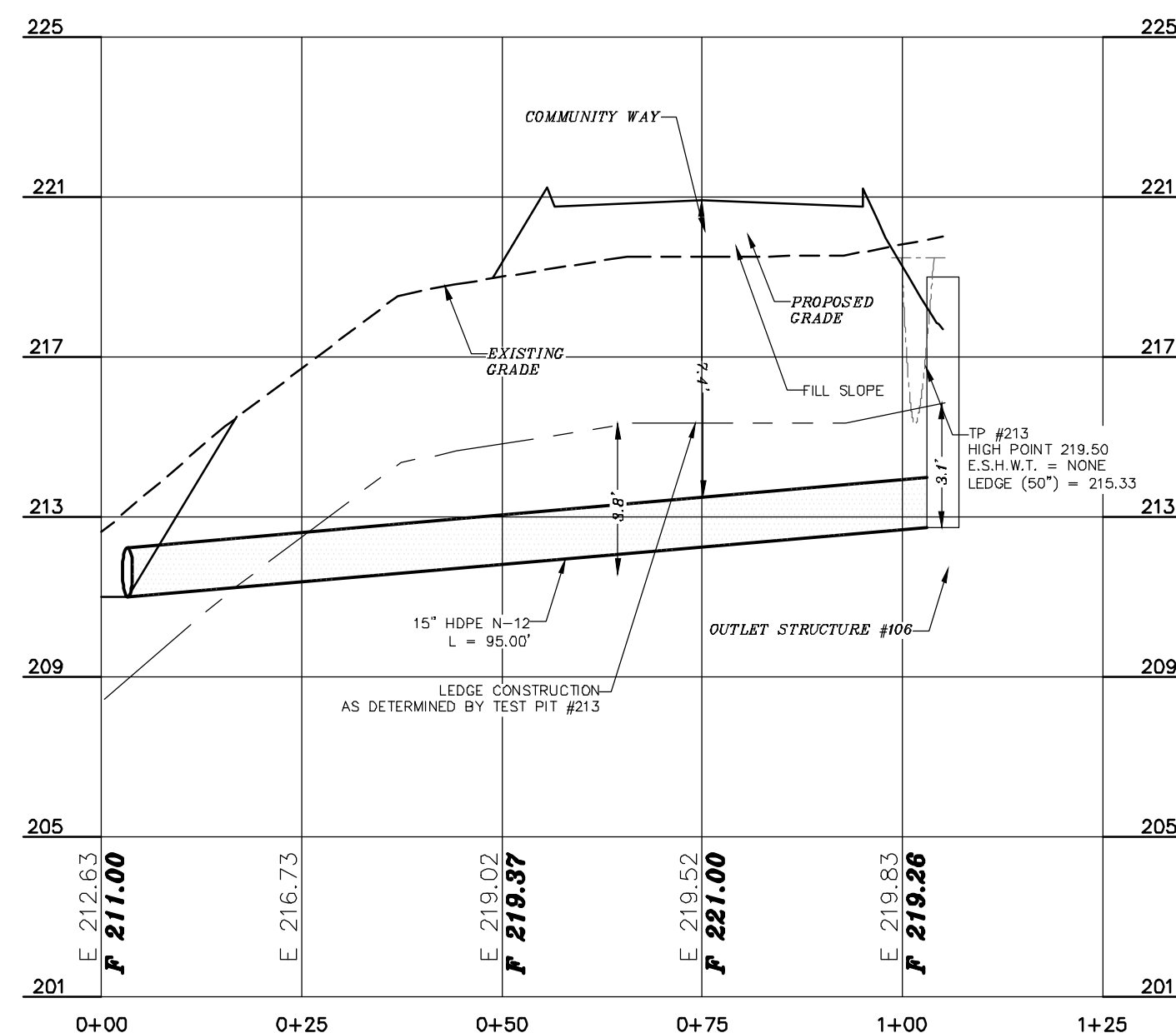
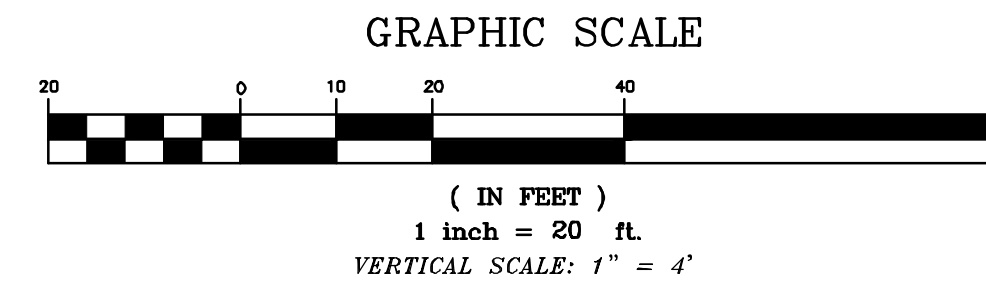
STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
REGISTERED PROFESSIONAL ENGINEER



PLAN VIEW RC #105 OUTLET PIPE  
PROFILE VIEW RC #105 OUTLET PIPE



PLAN VIEW RC #106 OUTLET PIPE  
PROFILE VIEW RC #106 OUTLET PIPE



FOR TOWN APPROVAL PURPOSES :

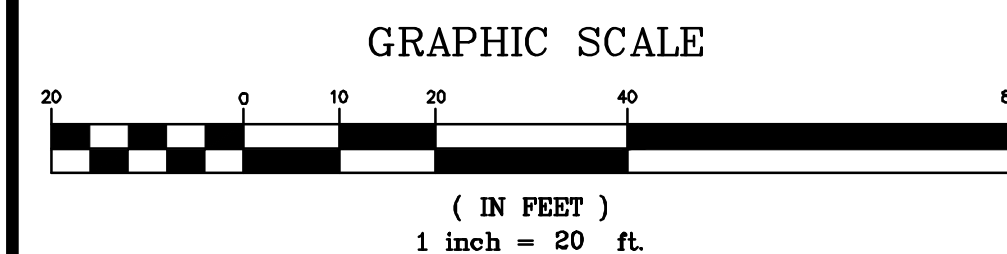
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| REVISION # | DATE       | DESCRIPTION                                   |
|------------|------------|---|
| #1         | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2         | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

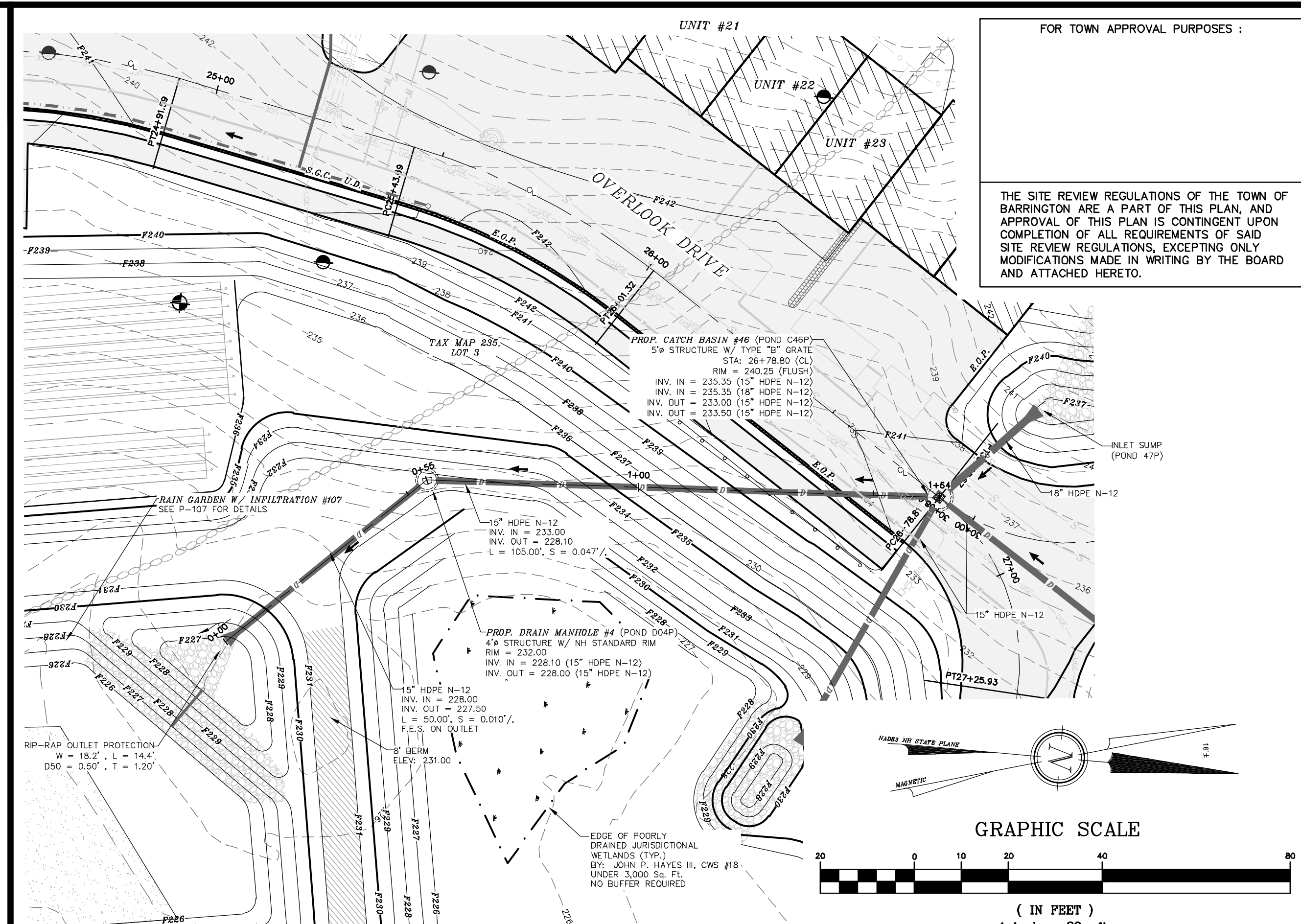
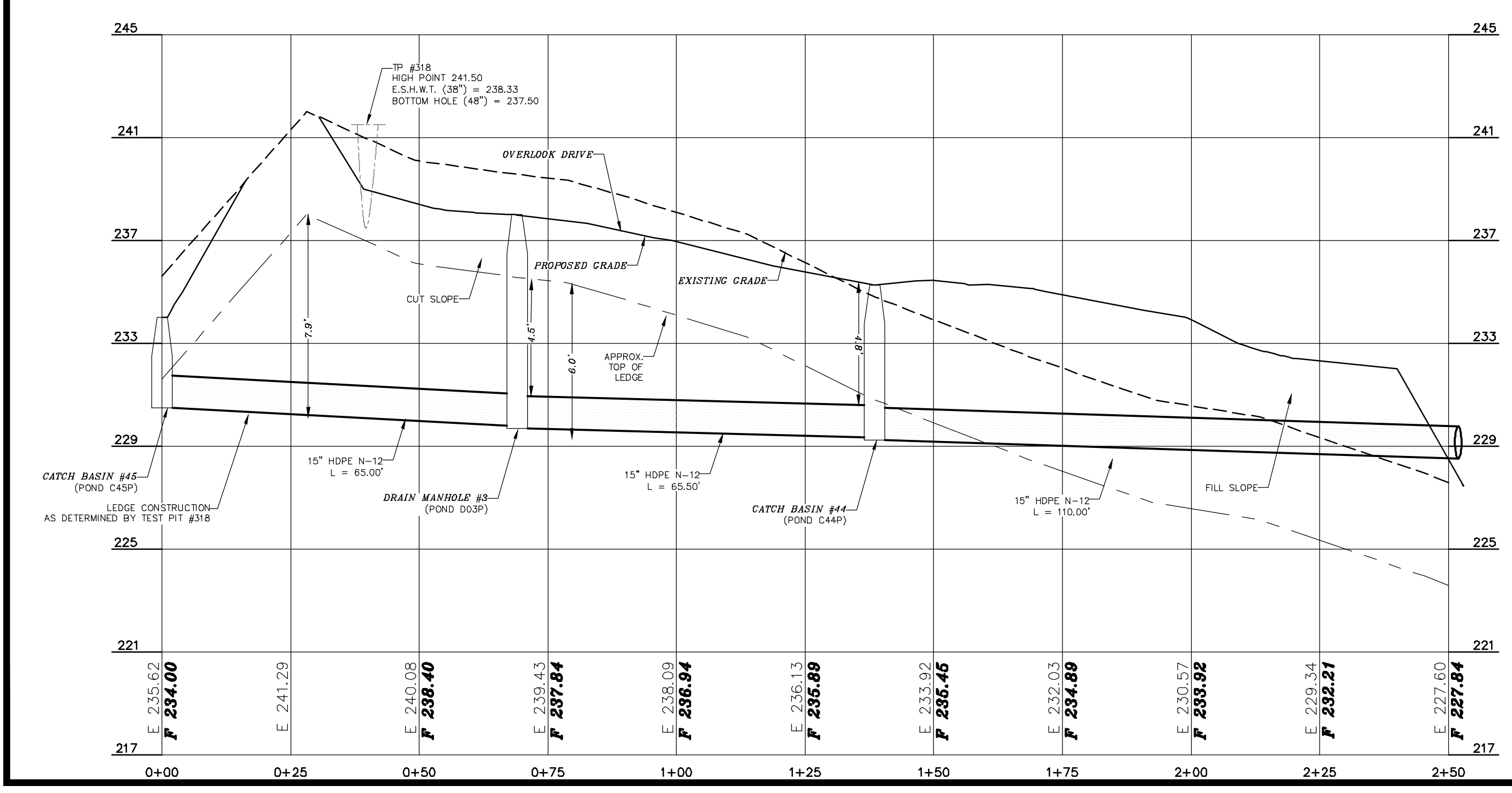
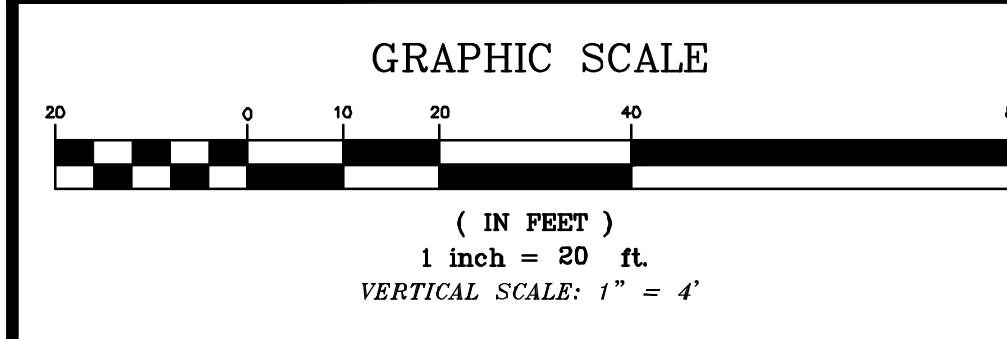
DRAINAGE PIPE PROFILES  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





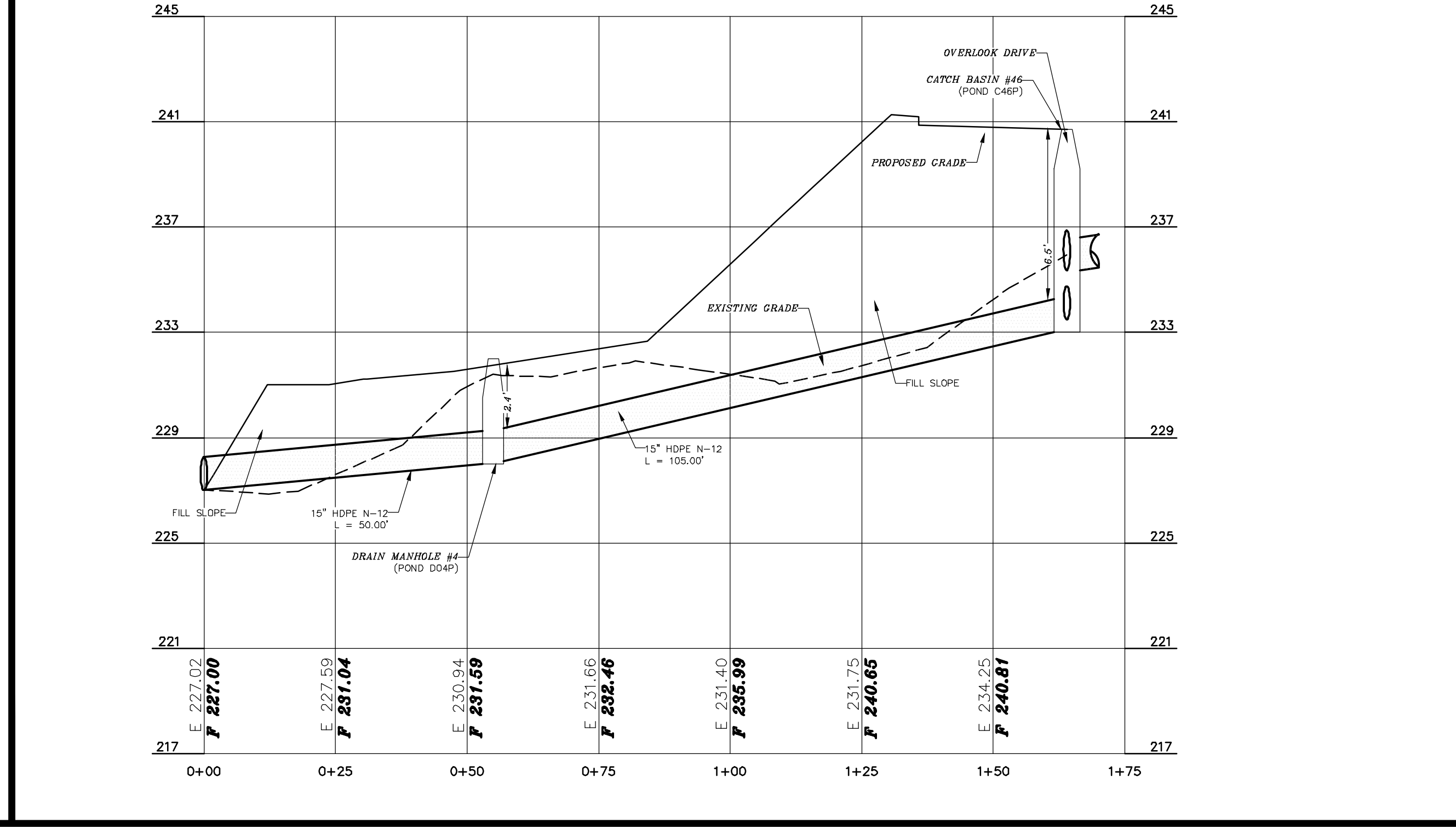
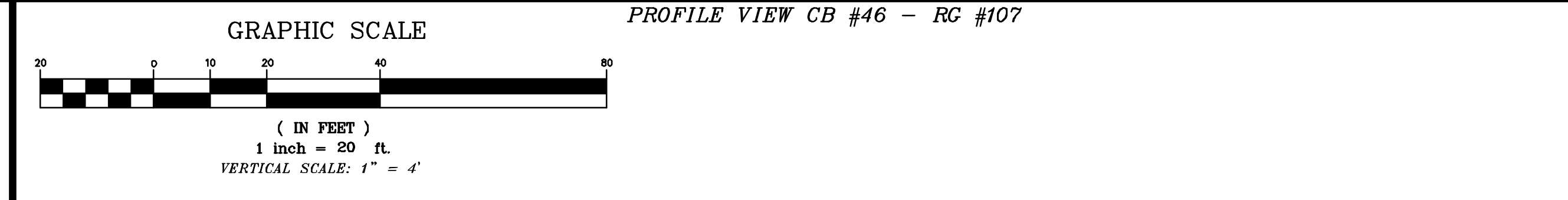
PLAN VIEW CB #45 - RG #107  
PROFILE VIEW CB #45 - RG #107



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

PLAN VIEW CB #46 - RG #107  
PROFILE VIEW CB #46 - RG #107



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

LAND OF  
DRAINAGE PIPE PROFILES  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

| FILTER MEDIA MIXTURES  |                              |                       |  |
|--|------------------------------|-----------------------|--|
| Component Material   | Percent of Mixture by Volume | Gradation of material |  |
|  |                              | Sieve No.             | Percent by Weight Passing Standard Sieve |
| Filter Media Option A  |                              |                       |  |
| ASTM C-33 concrete sand  | 50 to 55                     |                       |  |
| Loamy sand topsoil, with fines as indicated                                | 20 to 30                     | 200                   | 15 to 25                                 |
| Moderately fine shredded bark or wood fiber mulch, with fines as indicated | 20 to 30                     | 200                   | < 5                                      |

| CRUSHED STONE BEDDING * |                     |
|-------------------------|---------------------|
| SIEVE SIZE              | % PASSING BY WEIGHT |
| 1"                      | 100                 |
| 3/4"                    | 90 - 100            |
| 3/8"                    | 20 - 55             |
| # 4                     | 0 - 10              |
| # 8                     | 0 - 5               |

| CRUSHED STONE BEDDING * |                     |
|-------------------------|---------------------|
| SIEVE SIZE              | % PASSING BY WEIGHT |
| 1/2"                    | 100                 |
| 3/8"                    | 90 - 100            |
| #4"                     | 20 - 55             |
| # 8                     | 5 - 30              |
| # 16                    | 0 - 10              |
| # 50                    | 0 - 5               |

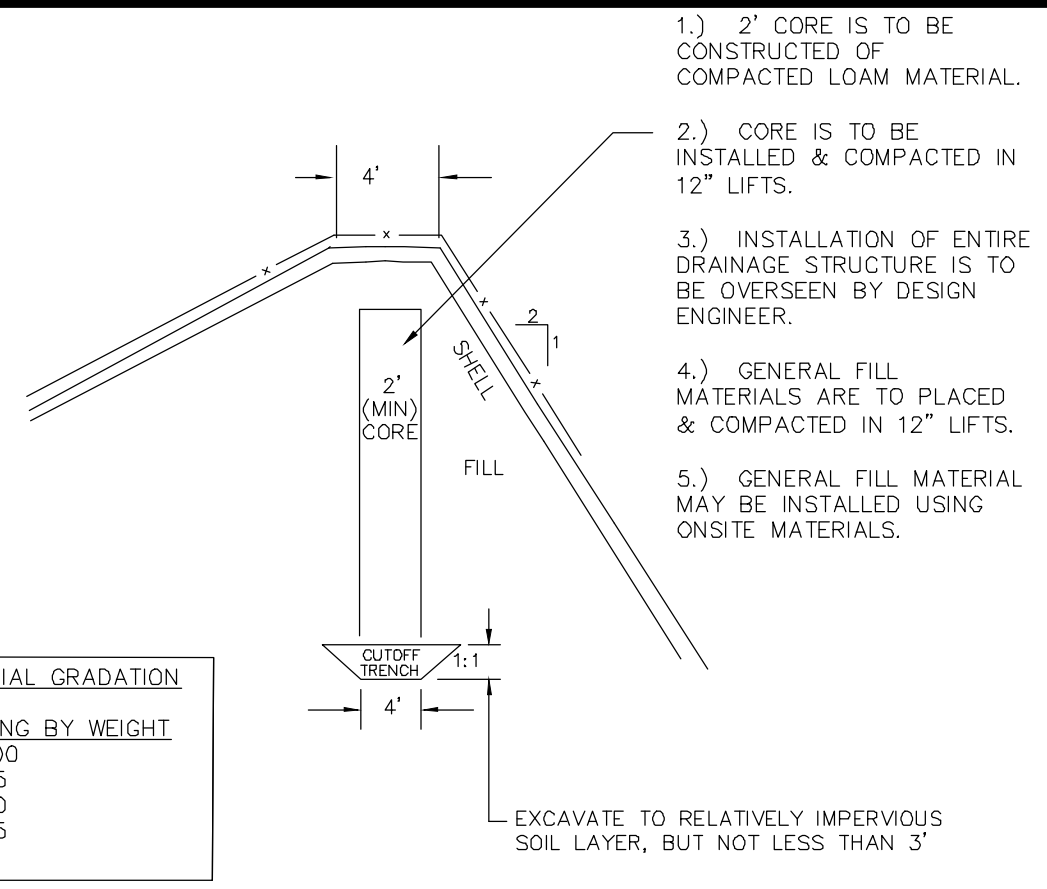
\* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

\* EQUIVALENT TO STANDARD STONE SIZE #89 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

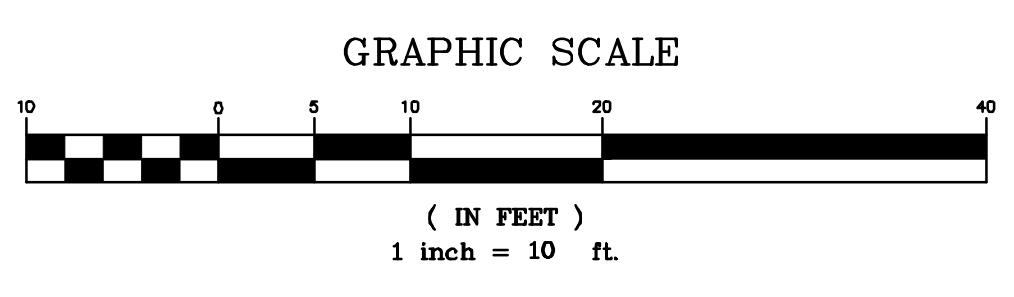
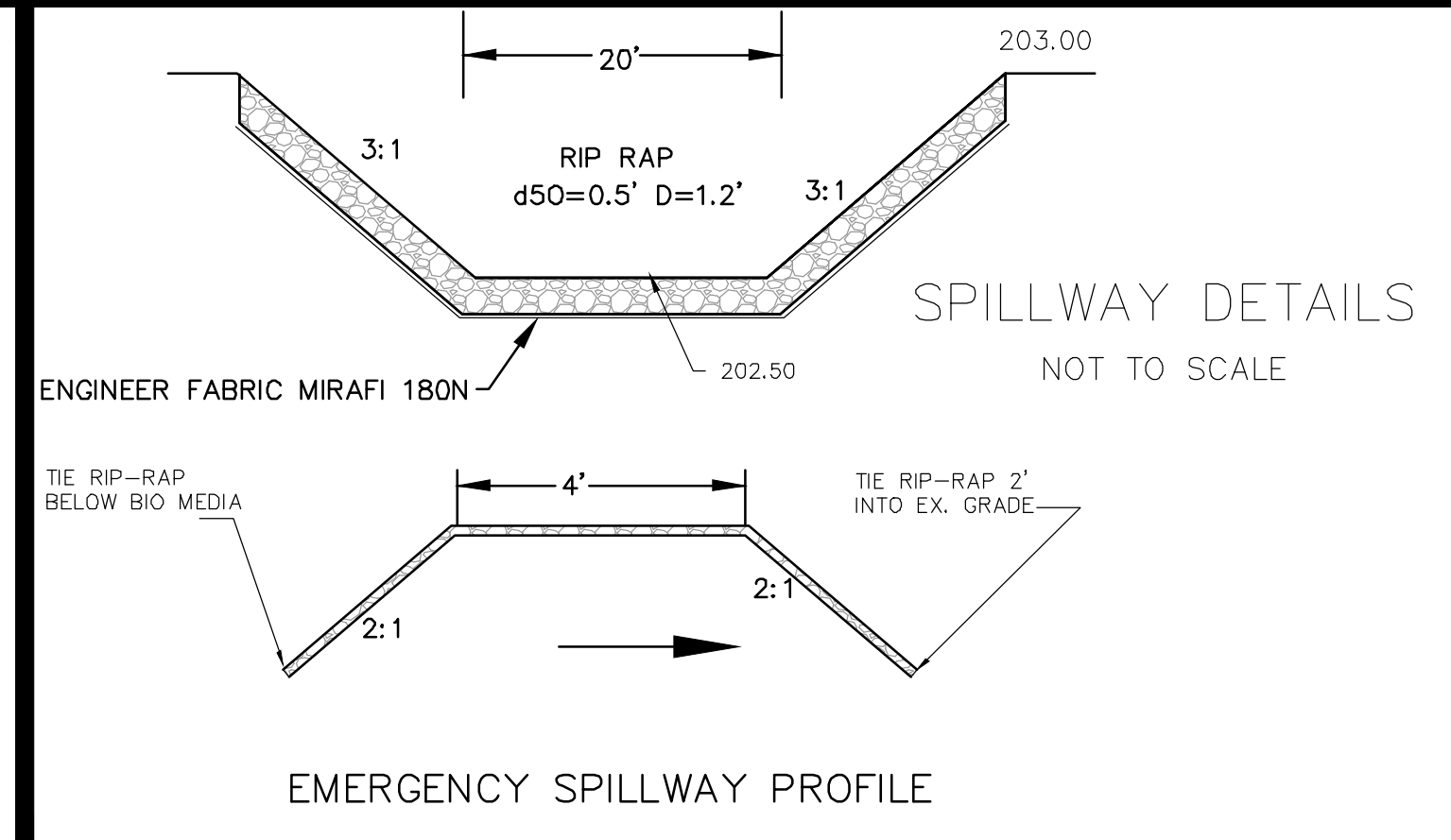
- NOTES**
- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
  - SOIL FILTER MEDIA SHALL BE AS SHOWN ABOVE.
  - COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
  - DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
  - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
  - BUILD RAIN GARDENS FIRST TO DIRECT SITE RUN OFF TO THEM.
- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
  - PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
  - AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
  - VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
- DESIGN REFERENCES**
- UWH STORMWATER CENTER
  - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

**LOW PERMEABILITY MATERIAL GRADATION**

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| #4         | 95 - 100            |
| #40        | 60 - 95             |
| #100       | 40 - 60             |
| #200       | 25 - 45             |

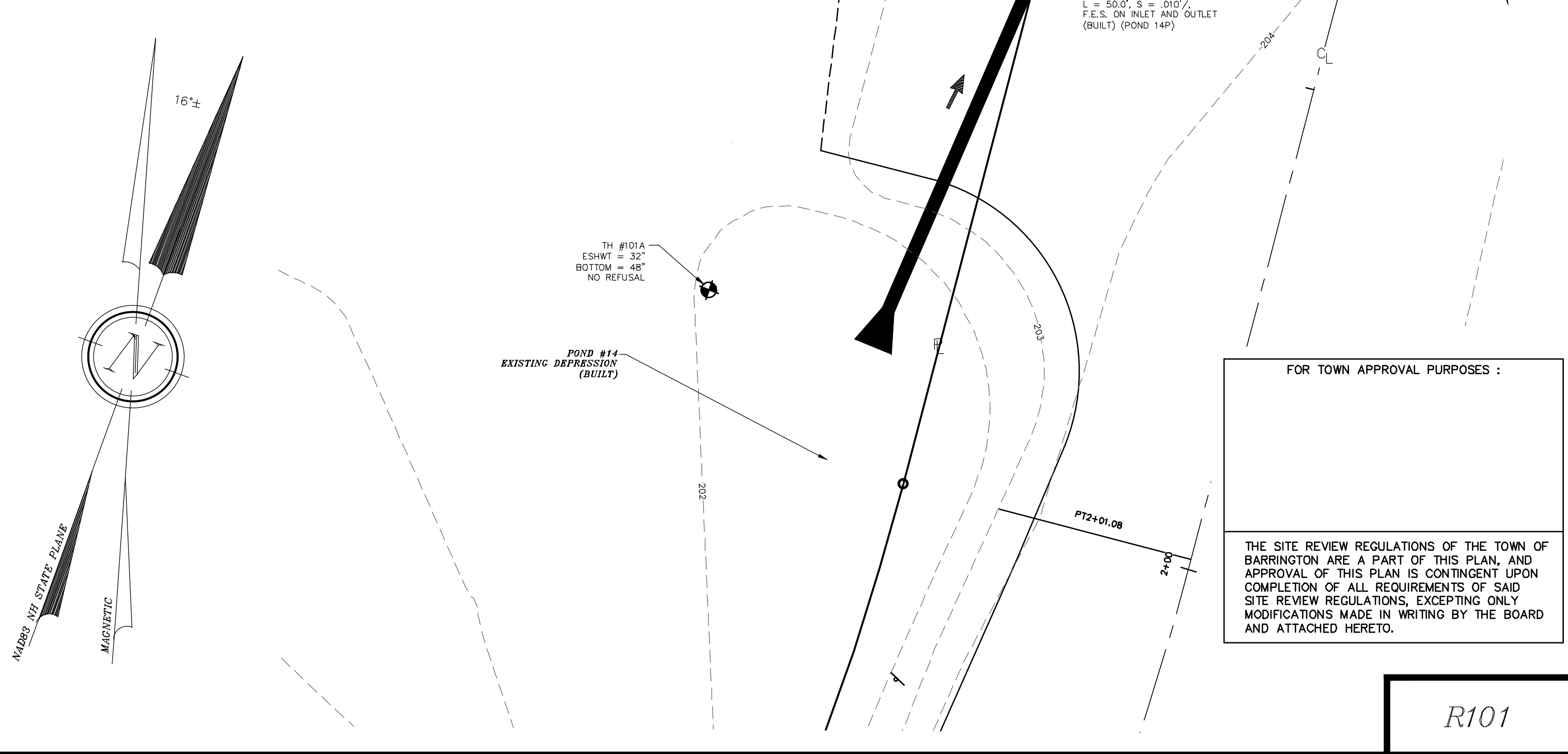
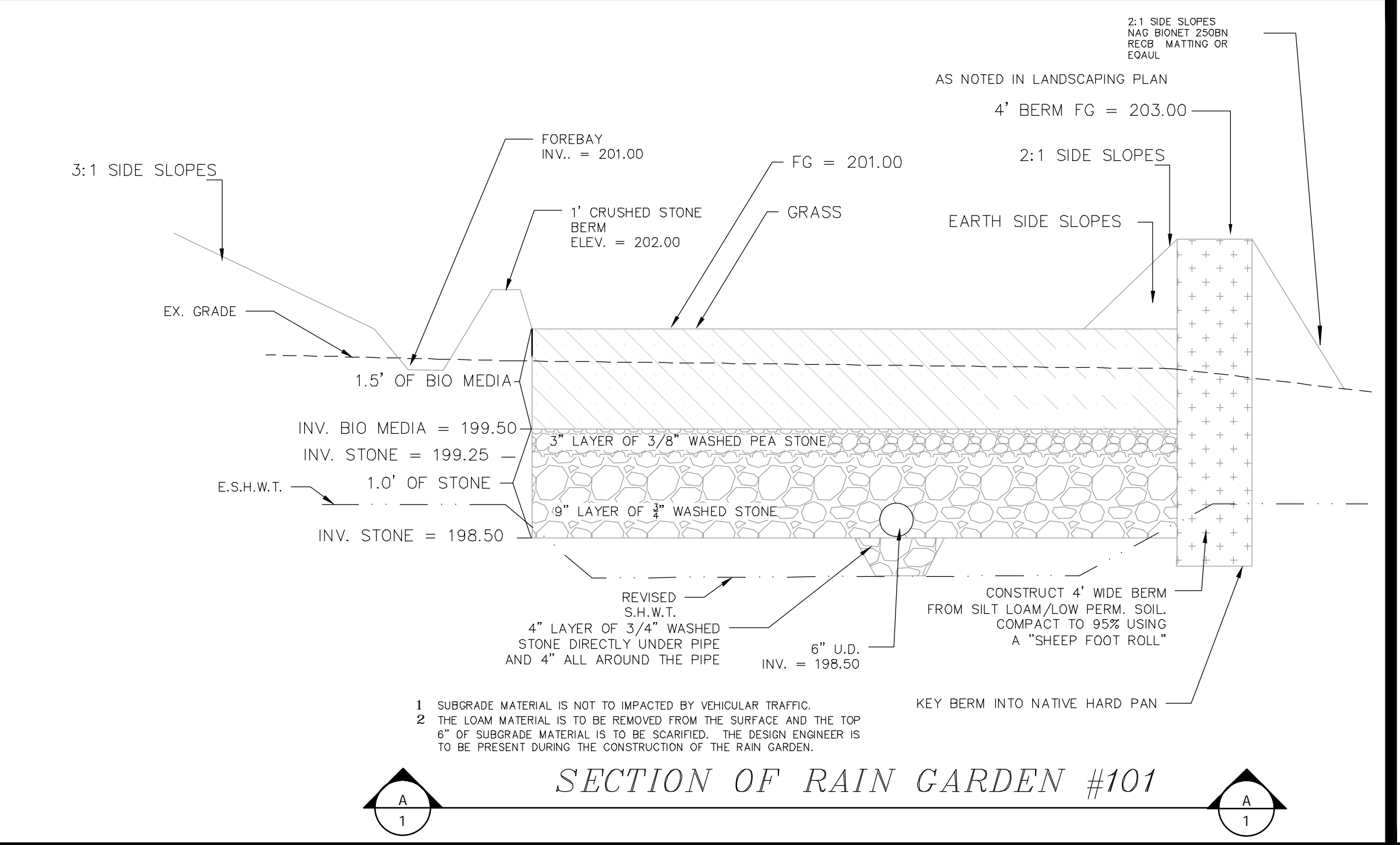
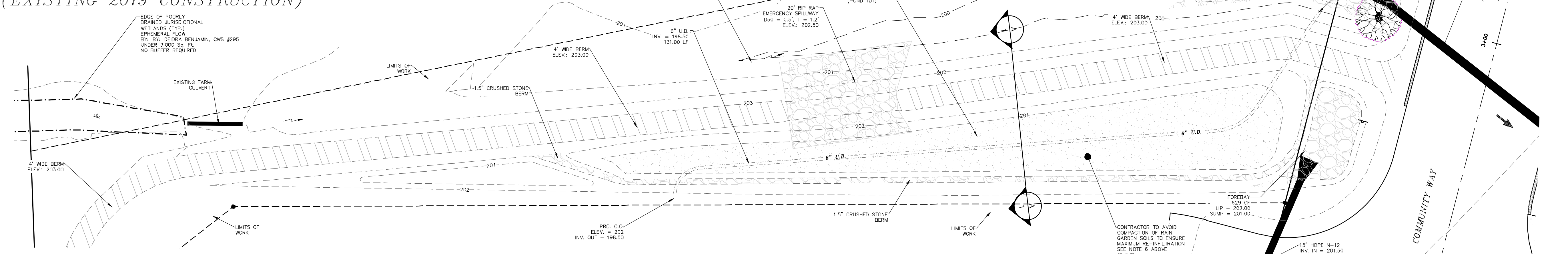


- 2' CORE IS TO BE CONSTRUCTED OF COMPACTED LOAM MATERIAL.
- CORE IS TO BE INSTALLED & COMPACTED IN 12" LIFTS.
- INSTALLATION OF ENTIRE DRAINAGE STRUCTURE IS TO BE OVERSEEN BY DESIGN ENGINEER.
- GENERAL FILL MATERIALS ARE TO BE PLACED & COMPACTED IN 12" LIFTS.
- GENERAL FILL MATERIAL MAY BE INSTALLED USING ONSITE MATERIALS.



SWPPP & CONSTRUCTION INSPECTIONS COMPLETED BY BERRY SURVEYING & ENGINEERING

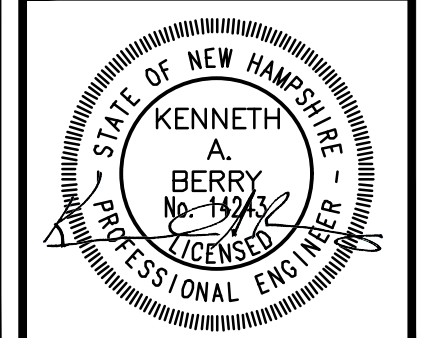
PLAN VIEW RAIN GARDEN #101 (EXISTING 2019 CONSTRUCTION)



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

|   |   |
|---|---|
| RAIN GARDEN #101 DETAILS<br>LAND OF DOVE DEVELOPMENT GROUP, LLC<br>N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY<br>COMMUNITY WAY<br>BARRINGTON, NH<br>TAX MAP 235 LOT 1-1 & MAP 235 LOT 3 |   |
| BERRY SURVEYING & ENGINEERING<br>335 SECOND CROWN POINT ROAD<br>BARRINGTON, NH 03825 (603)332-2863<br>SCALE : AS SHOWN<br>DATE : JUNE 14, 2021<br>FILE NO. : DB 2020 - 097          | REVISION #1<br>10-12-2021<br>08-30-2021<br>REVISION PER CMA ENGINEERS & NHDES AOT COMMENT<br>REVISION PER CMA ENGINEERS & NHDES AOT COMMENT |



R101

| FILTER MEDIA MIXTURES  |                              |                       |  |
|--|------------------------------|-----------------------|--|
| Component Material   | Percent of Mixture by Volume | Gradation of material |  |
|  |                              | Sieve No.             | Percent by Weight Passing Standard Sieve |
| Filter Media Option A  |                              |                       |  |
| ASTM C-33 concrete sand  | 50 to 55                     |                       |  |
| Loamy sand topsoil, with fines as indicated                                | 20 to 30                     | 200                   | 15 to 25                                 |
| Moderately fine shredded bark or wood fiber mulch, with fines as indicated | 20 to 30                     | 200                   | < 5                                      |

| CRUSHED STONE BEDDING * |                     | CRUSHED STONE BEDDING * |                     |
|-------------------------|---------------------|-------------------------|---------------------|
| SIEVE SIZE              | % PASSING BY WEIGHT | SIEVE SIZE              | % PASSING BY WEIGHT |
| 1"                      | 100                 | 1/2"                    | 100                 |
| 3/4"                    | 90 - 100            | 3/8"                    | 90 - 100            |
| 3/8"                    | 20 - 55             | #4"                     | 20 - 55             |
| #4                      | 0 - 10              | #8                      | 5 - 30              |
| #8                      | 0 - 5               | #16                     | 0 - 10              |
|                         |                     | #50                     | 0 - 5               |

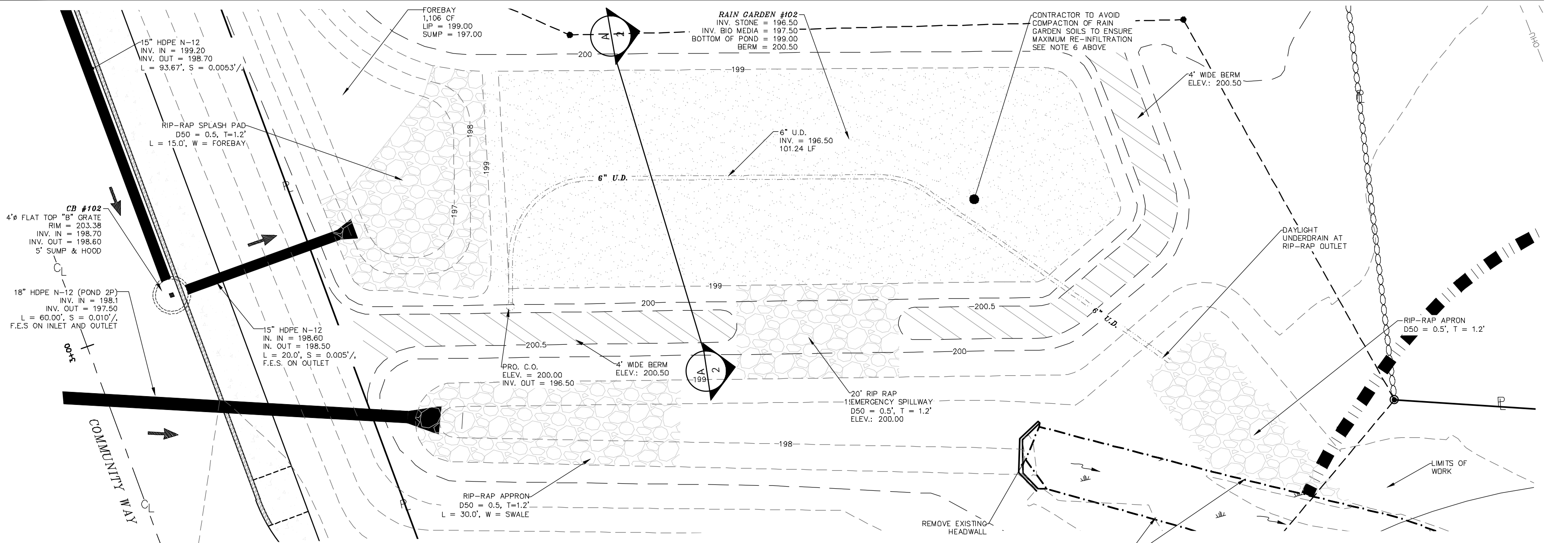
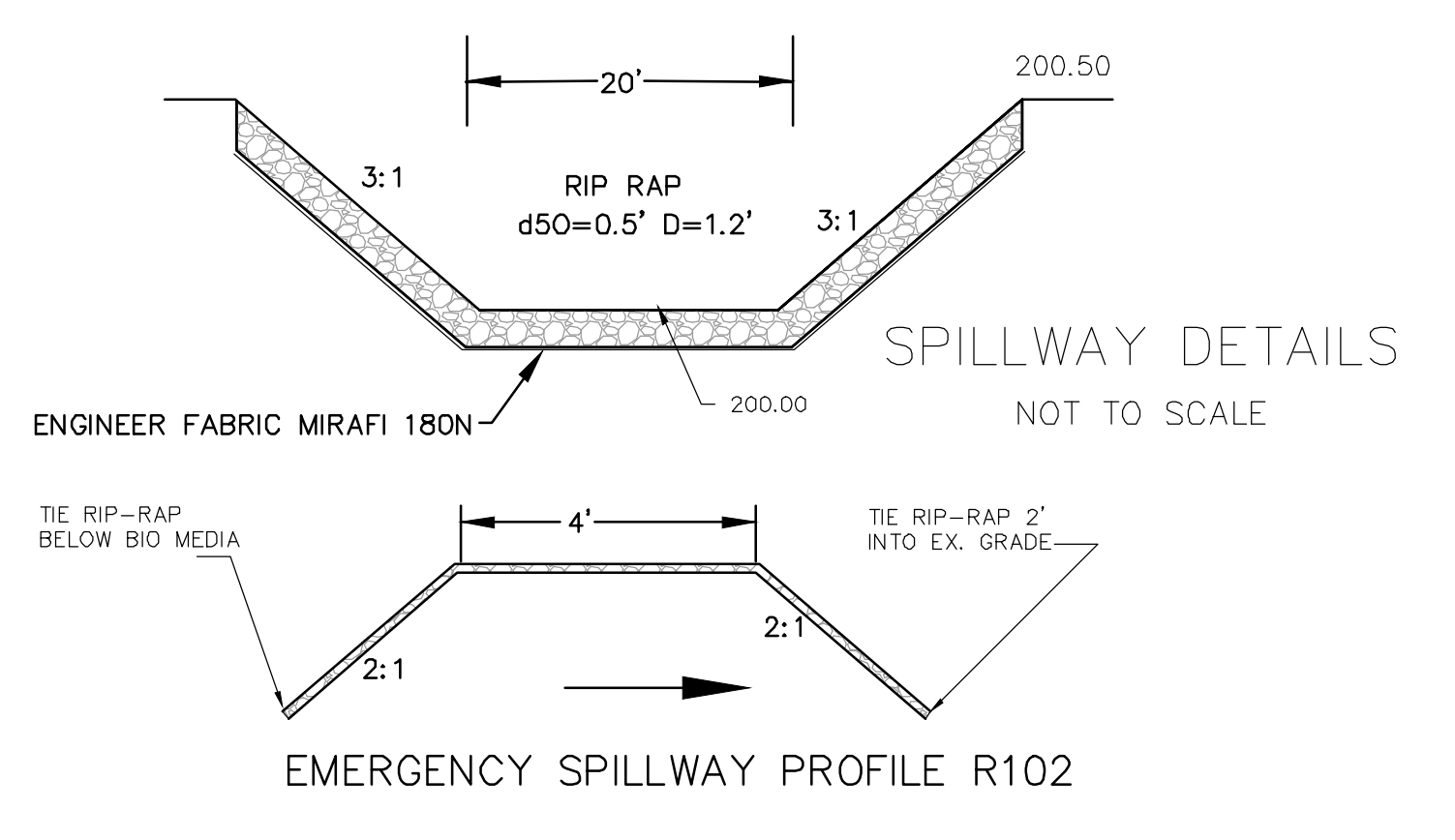
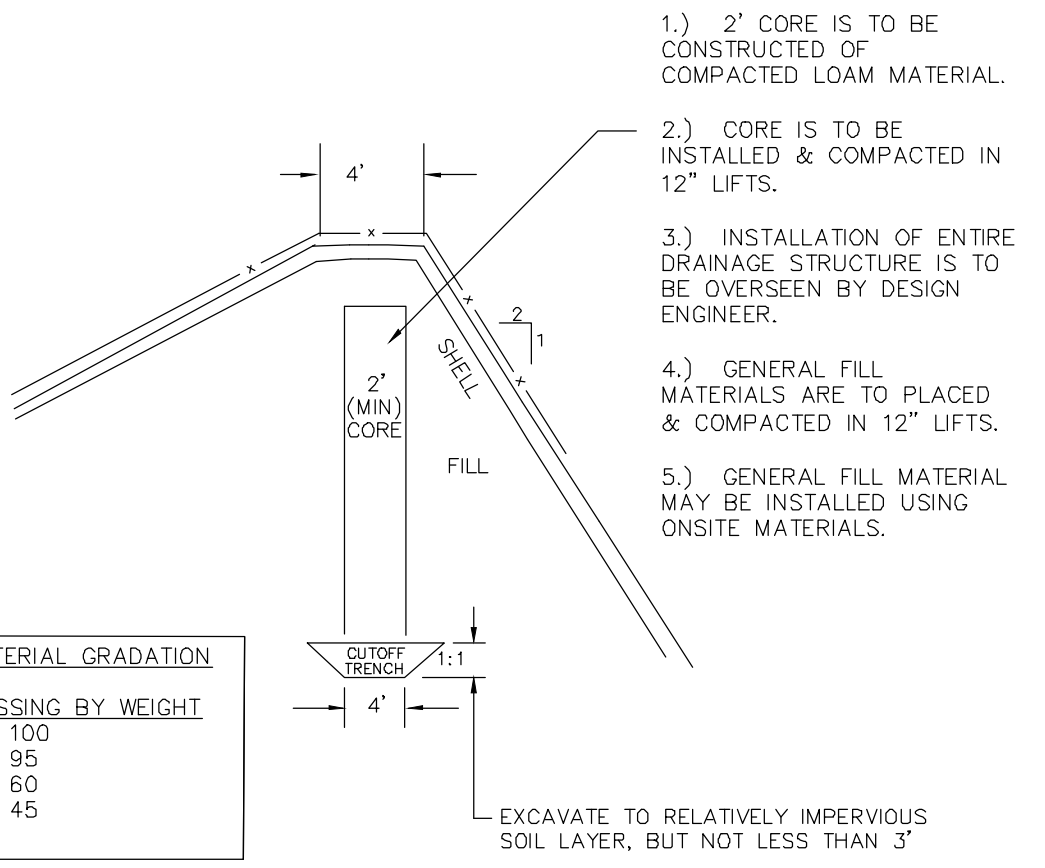
\* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

\* EQUIVALENT TO STANDARD STONE SIZE #89 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

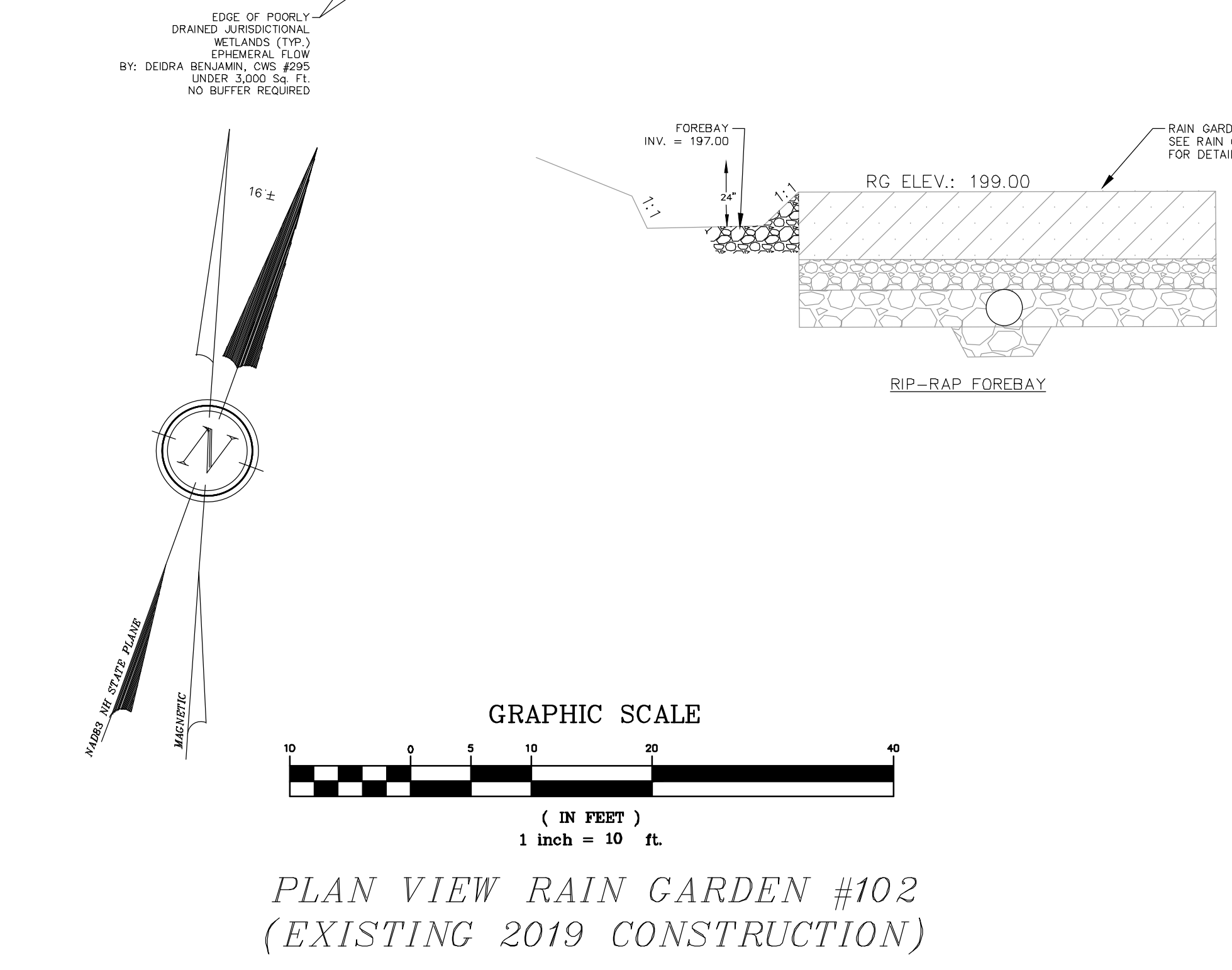
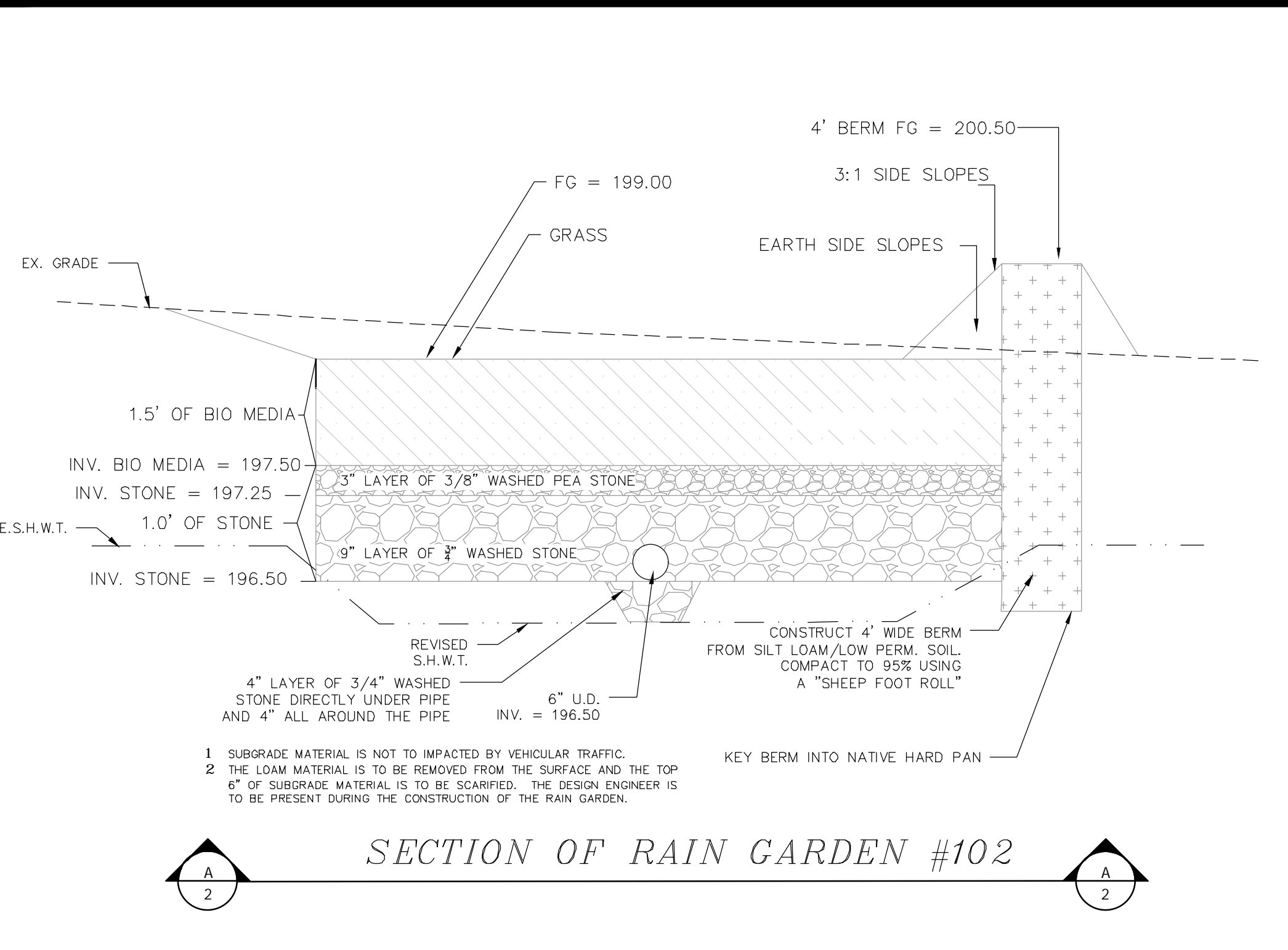
- NOTES**
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  - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
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  - BUILD RAIN GARDENS FIRST TO DIRECT SITE RUN OFF TO THEM.
- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
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  - VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
- DESIGN REFERENCES**
- UWH STORMWATER CENTER
  - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

**LOW PERMEABILITY MATERIAL GRADATION**

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| #4         | 95 - 100            |
| #40        | 60 - 95             |
| #100       | 40 - 60             |
| #200       | 25 - 45             |



SWPPP & CONSTRUCTION INSPECTIONS COMPLETED BY BERRY SURVEYING & ENGINEERING



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #  | REVISION   | DATE       | DESCRIPTION                                   |
|----|------------|------------|---|
| #1 | 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2 |            |            | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

RAIN GARDEN #102 DETAILS  
 LAND OF DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : AS SHOWN  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
 KENNETH A. BERRY  
 No. 15472  
 LICENSED PROFESSIONAL ENGINEER

R102

**MAINTENANCE REQUIREMENTS**

| ACTIVITY   | CLOGGING AND SYSTEM PERFORMANCE | FREQUENCY  |
|--|---------------------------------|--|
| INSPECT INLETS AND OUTLETS TO ENSURE GOOD CONDITION AND NO EVIDENCE OF DETERIORATION. CHECK TO SEE IF HIGH-FLOW BYPASS IS FUNCTIONING. |                                 |  |
| REMEDY:<br>REPAIR OR REPLACE ANY DAMAGED STRUCTURAL PARTS, INLETS AND OUTLETS. CLEAR OR REMOVE OBSTRUCTIONS OR RESTRICTIONS.           |                                 |  |
| CHECK FOR INTERNAL EROSION, EVIDENCE OF SHORT-CIRCUITING, AND ANIMAL BURROWS.  |                                 | ANNUALLY, MORE FREQUENTLY IN THE FIRST YEAR OF OPERATION |
| REMEDY:<br>SOIL EROSION FROM SHORT-CIRCUITING OR ANIMAL BURROWS SHOULD BE REPAIRED WHEN THEY OCCUR.                                    |                                 |  |
| CHECK THAT THE SYSTEM IS FULLY DRAINING WITHIN A 24-48 HOUR PERIOD AFTER RAIN EVENTS.  |                                 |  |
| REMEDY:<br>REPAIR OR RESTORE HYDRAULIC INLET OR OUTLET CONFIGURATION.  |                                 |  |
| VEGETATION   |                                 |  |
| CHECK FOR ROBUST VEGETATION COVERAGE THROUGHOUT THE SYSTEM AND DEAD OR DYING PLANTS  |                                 | ANNUALLY, OR AS NEEDED                                   |
| REMEDY:<br>VEGETATION SHOULD COVER > 75% OF THE SYSTEM AND SHOULD BE RESEEDED AND CARED FOR AS NEEDED                                  |                                 |  |
| CUT AND REMOVE VEGETATION FROM GRAVEL WETLAND SYSTEM AND FOREBAY IN ORDER TO MAINTAIN NITROGEN REMOVAL PERFORMANCE                     |                                 |  |
| REMEDY:<br>THE VEGETATION SHOULD BE CUT AND REMOVED FROM THE SYSTEM TO PREVENT NITROGEN FROM CYCLING BACK INTO THE SYSTEM              |                                 | ONCE EVERY 3 YEARS                                       |

**3/8" WASHED CRUSHED STONE\***

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 1/2"       | 100                 |
| 3/8"       | 95 - 100            |
| # 4        | 22 - 55             |
| # 8        | 0 - 10              |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

**1-1/2" WASHED CRUSHED STONE\***

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 2"         | 100                 |
| 1-1/2"     | 90 - 100            |
| 1"         | 20 - 55             |
| 1-1/2"     | 0 - 15              |
| 3/8"       | 0 - 5               |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

**WETLAND SOIL**

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 0.5        | 100                 |
| #10"       | 90 - 75             |
| #100       | 40 - 50             |
| #200       | 25 - 50             |

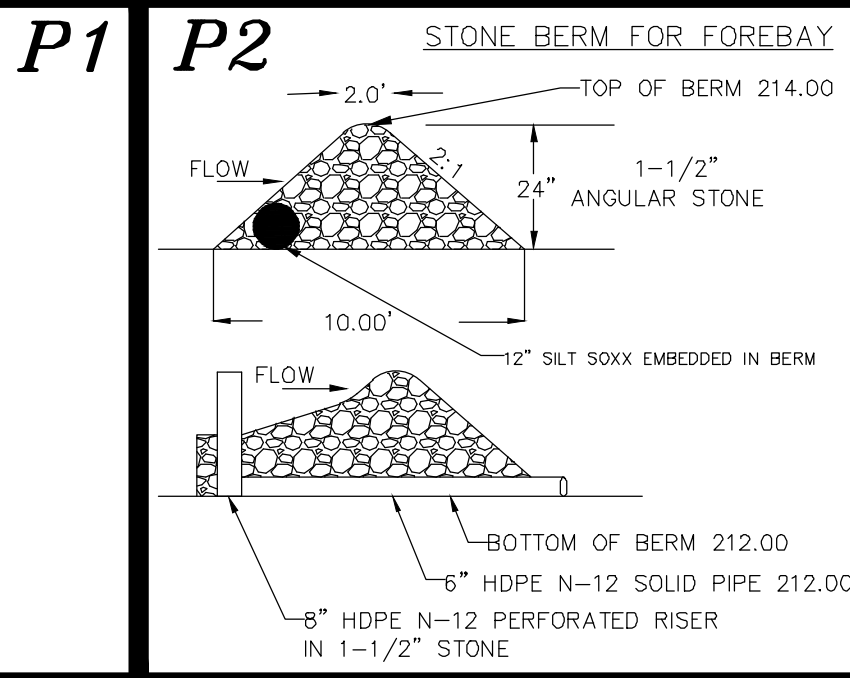
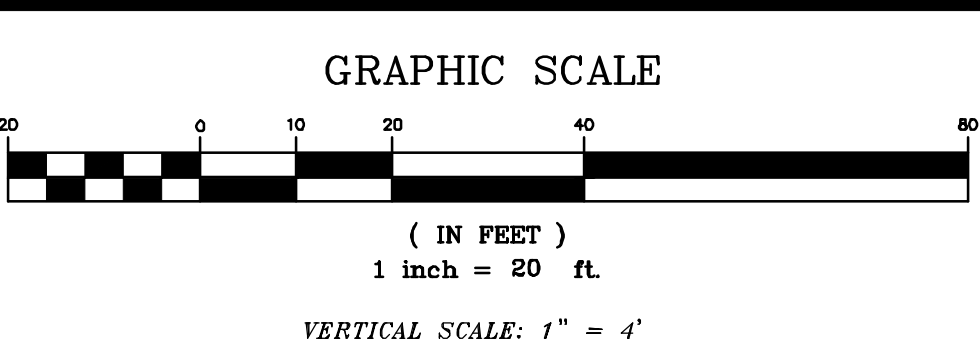
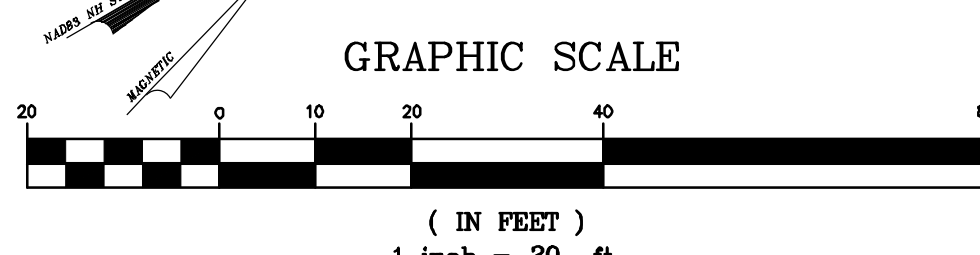
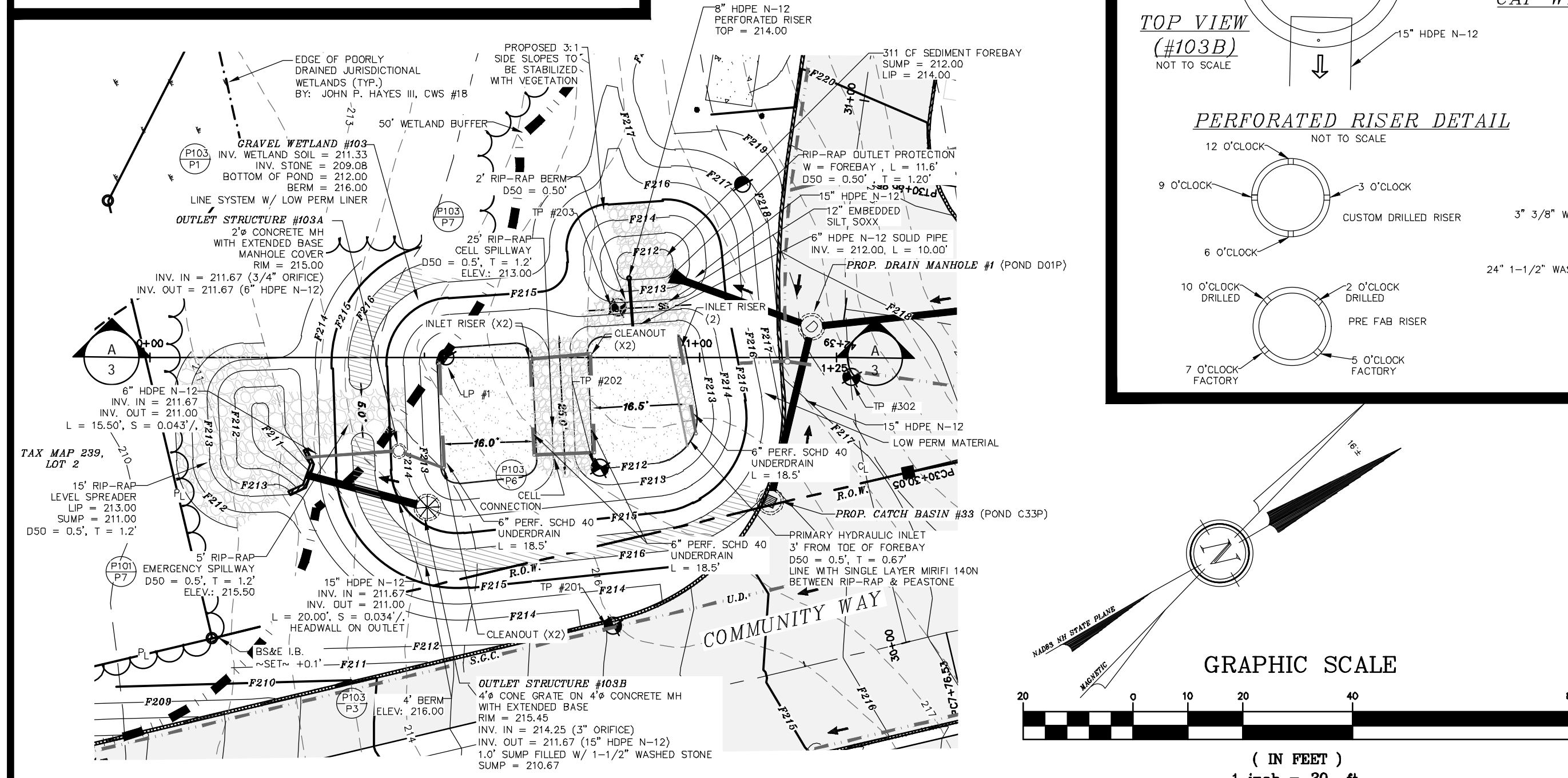
| SIEVE SIZE | % PASSING TOLERANCES |
|------------|----------------------|
| 0.5        | ±10.0                |
| #10        | ±5.0                 |
| #100       | ±5.0                 |
| #200       | ±5.0                 |

DESIGN REFERENCES  
1 UNH STORMWATER CENTER

CONSTRUCTION NOTE: THE DESIGN ENGINEER IS TO BE ON SITE PRIOR TO AND DURING THE PLACEMENT OF THE RESERVOIR STONE, AND TO WITNESS THE INSTALLATION OF THE UNDER-DRAIN AND INTER-CHAMBER PIPES. PLEASE PROVIDE 24 HOURS NOTICE PRIOR TO REQUESTED INSPECTION.

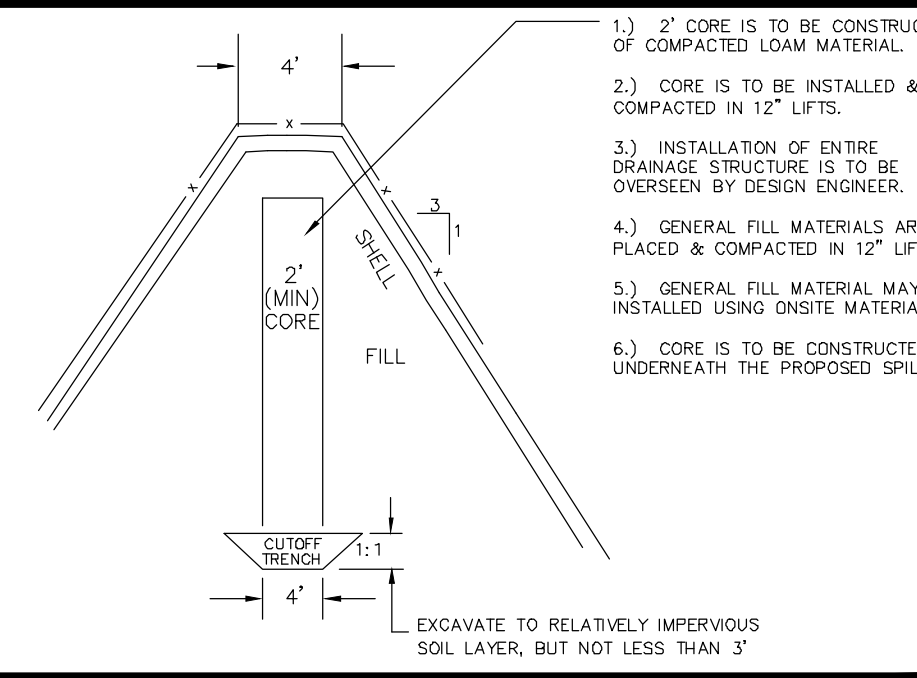
**PLAN VIEW  
GRAVEL WETLAND #103**

**NORTH POINT COMMONS**

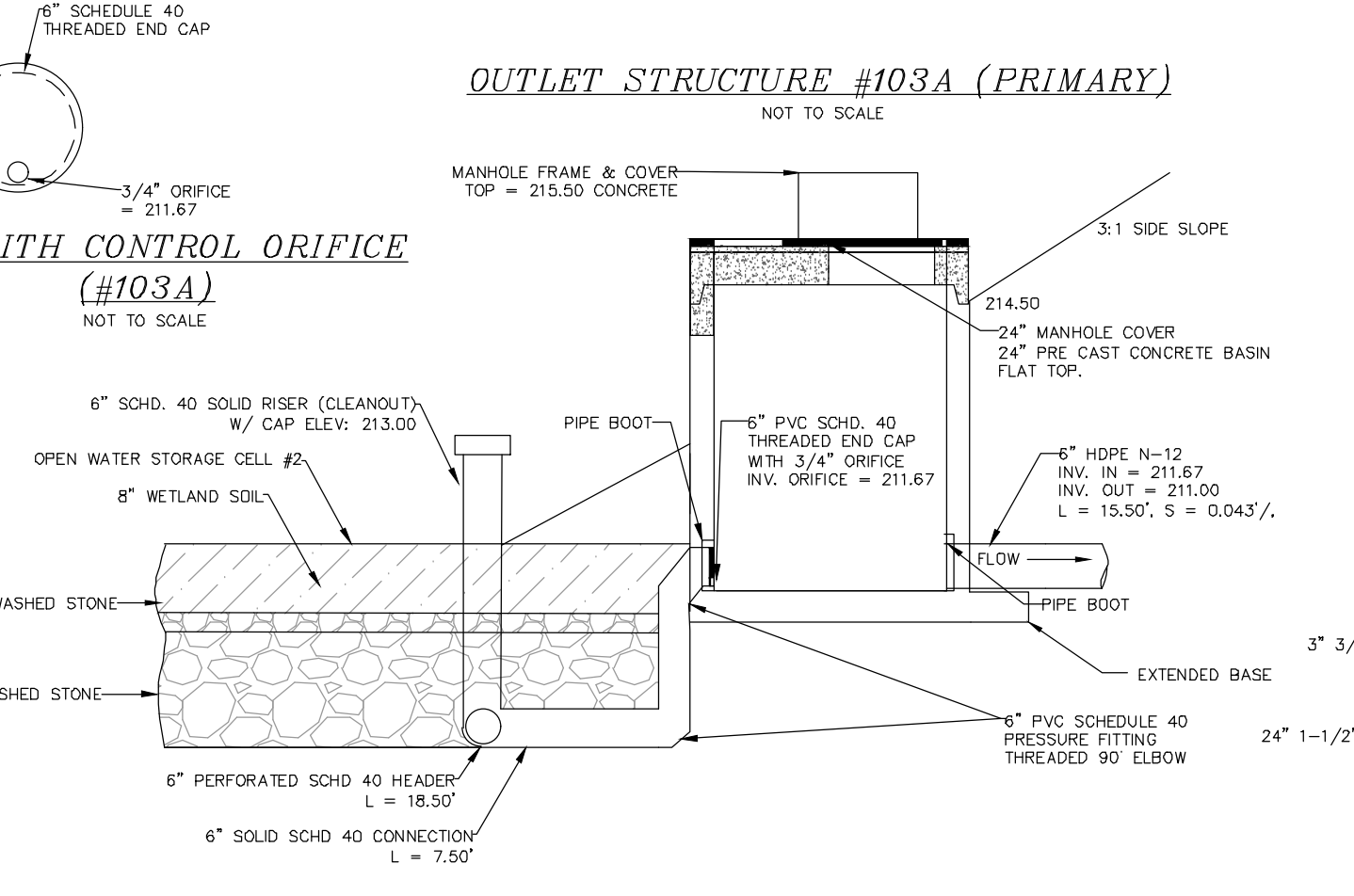
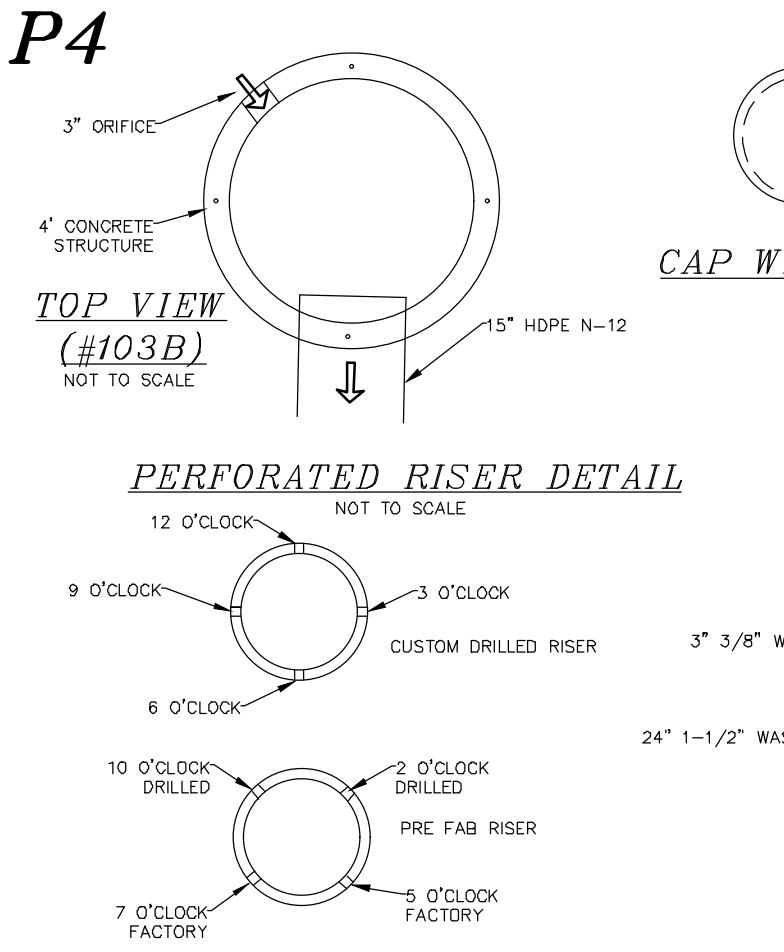


**P3** LOW PERMEABILITY MATERIAL GRADATION

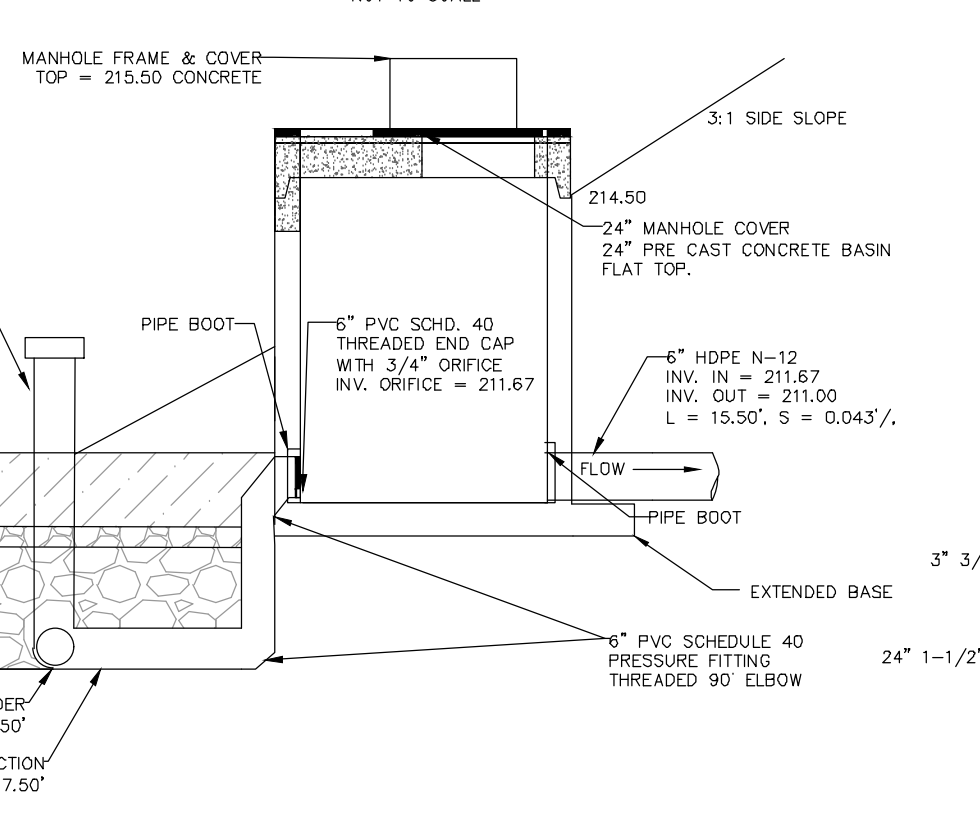
| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| #4         | 95 - 100            |
| #40        | 60 - 95             |
| #100       | 40 - 60             |
| #200       | 25 - 45             |



- 2" CORE IS TO BE CONSTRUCTED OF COMPACTED LOAM MATERIAL.
- CORE IS TO BE INSTALLED & COMPACTED IN 12" LIFTS.
- INSTALLATION OF ENTIRE DRAINAGE STRUCTURE IS TO BE OVERSEEN BY DESIGN ENGINEER.
- GENERAL FILL MATERIALS ARE TO BE PLACED & COMPACTED IN 12" LIFTS.
- GENERAL FILL MATERIAL MAY BE INSTALLED USING ONSITE MATERIALS.
- CORE IS TO BE CONSTRUCTED UNDERNEATH THE PROPOSED SPILLWAY.



**OUTLET STRUCTURE #103A (PRIMARY)**



**OUTLET STRUCTURE #103B (SECONDARY)**

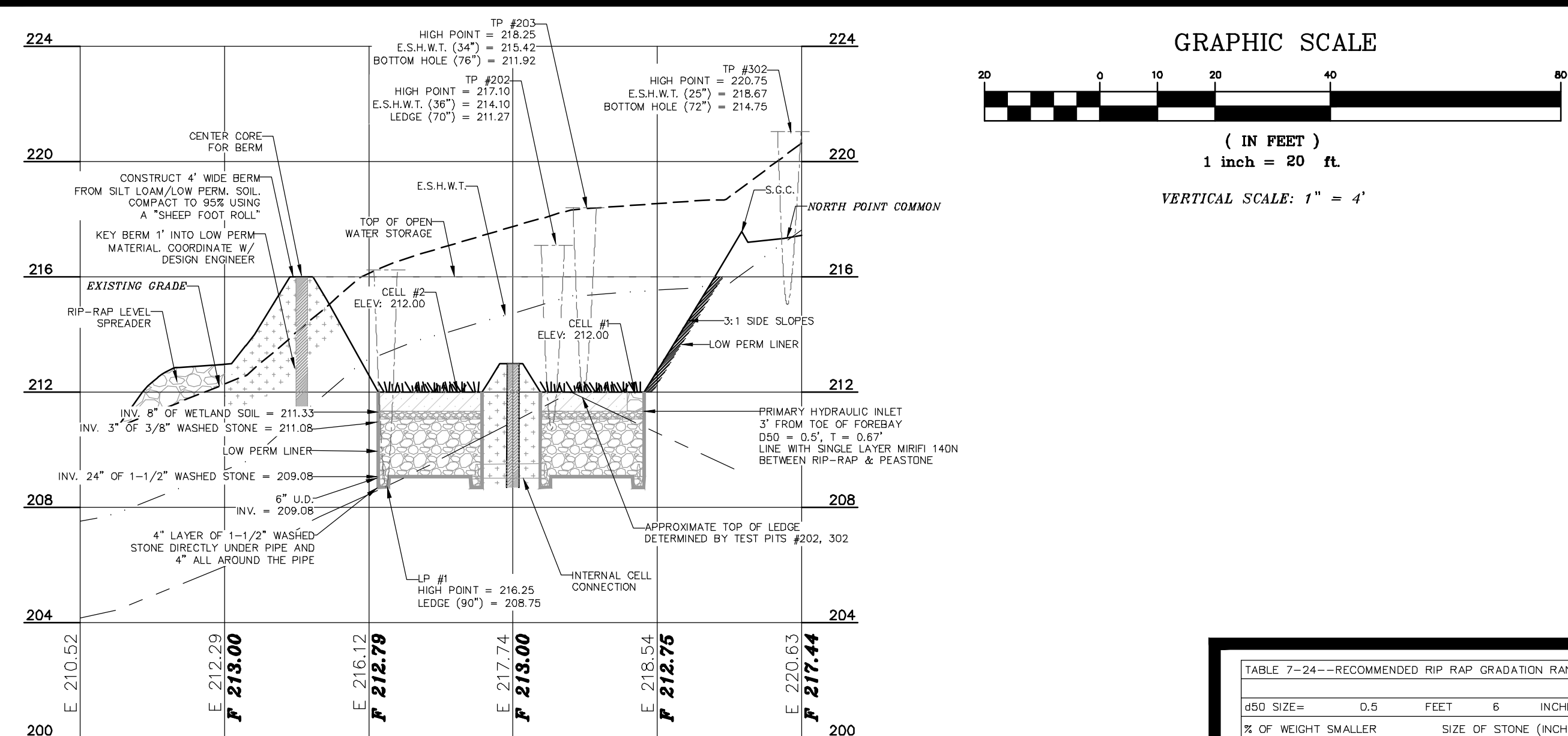
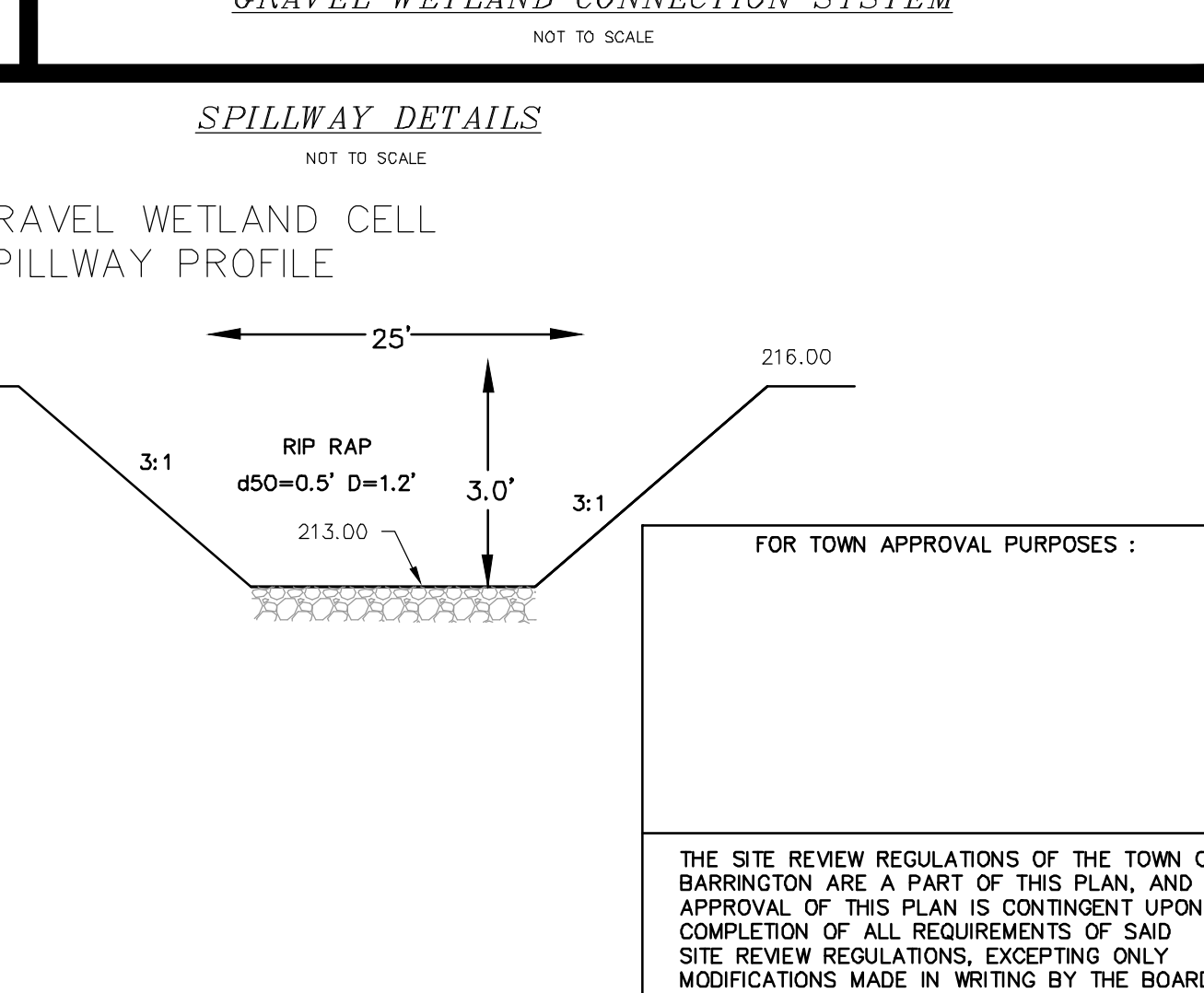
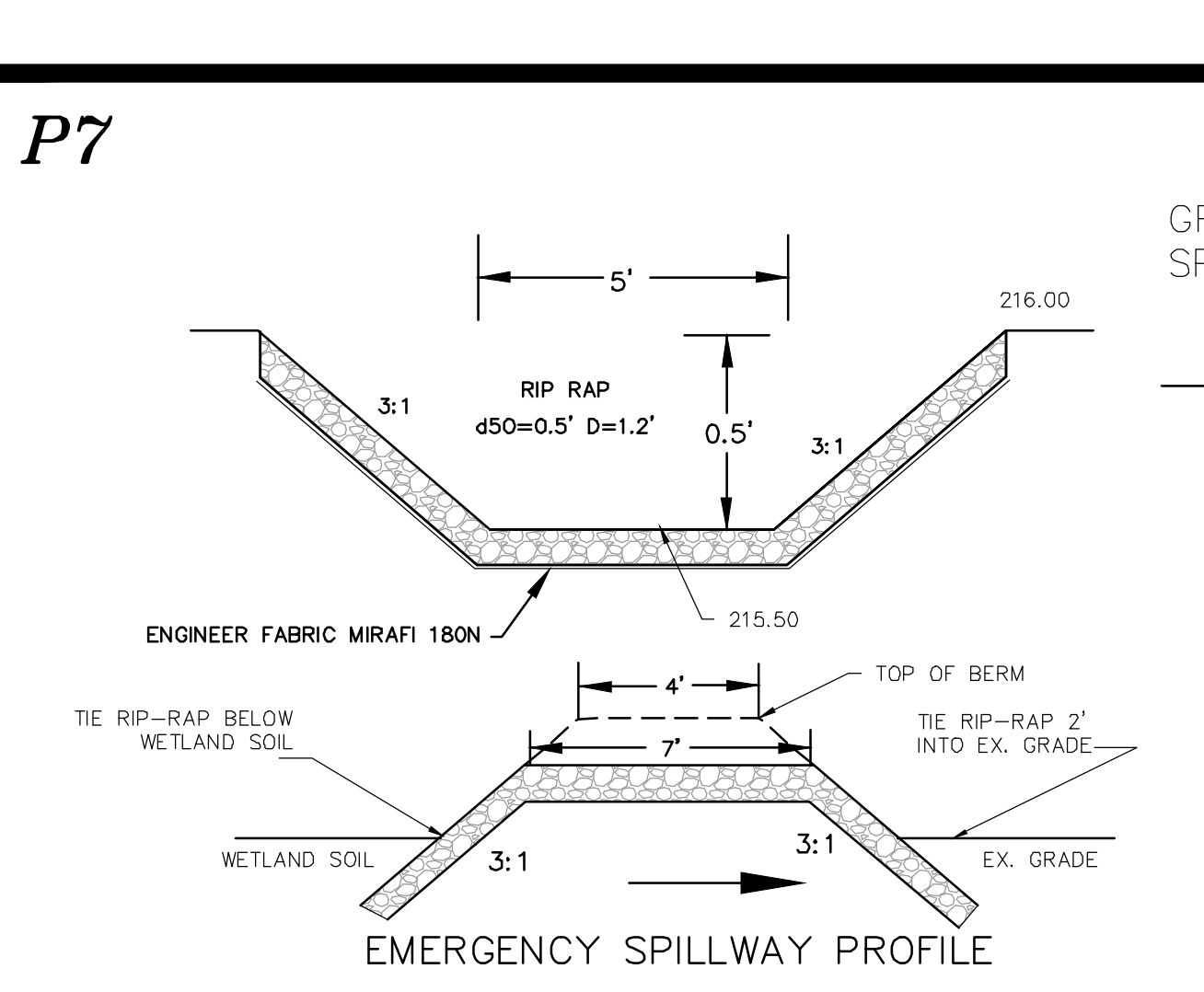
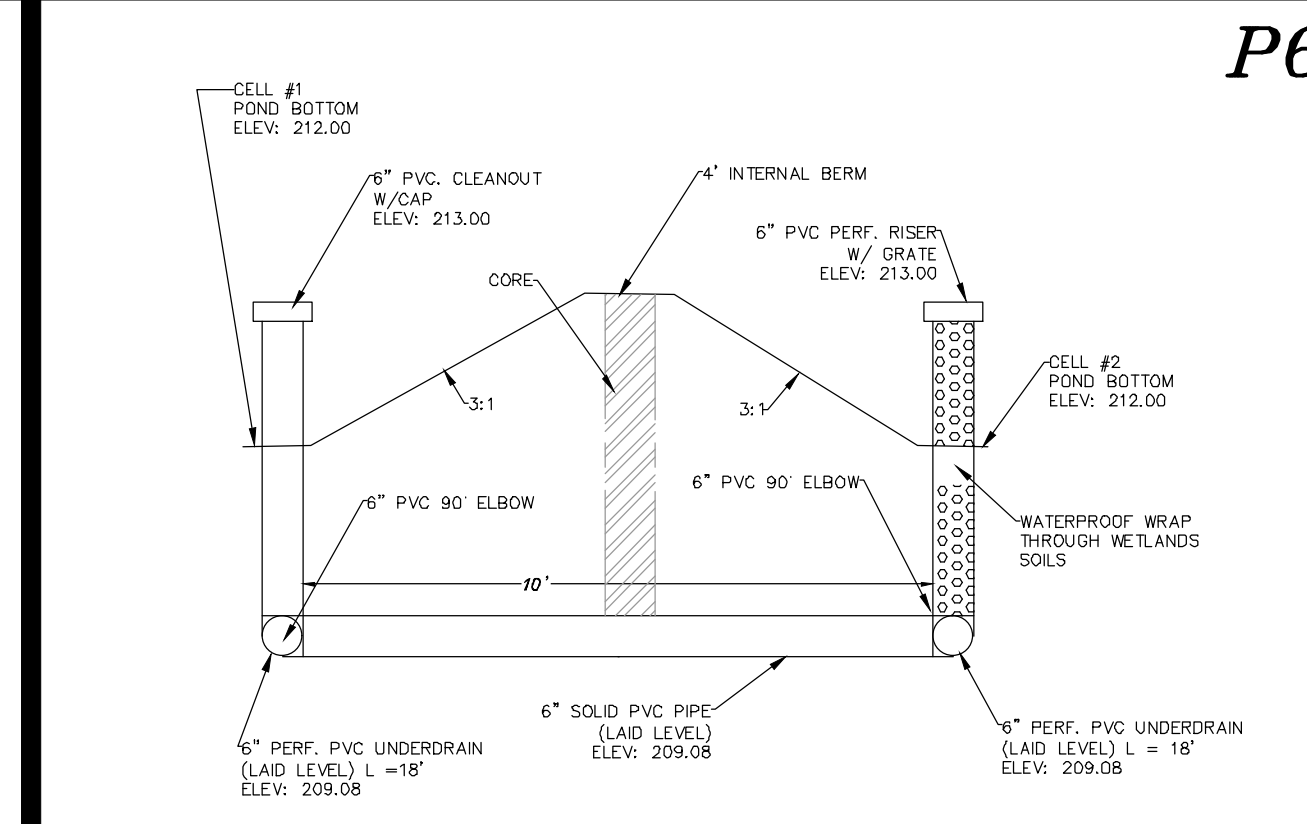
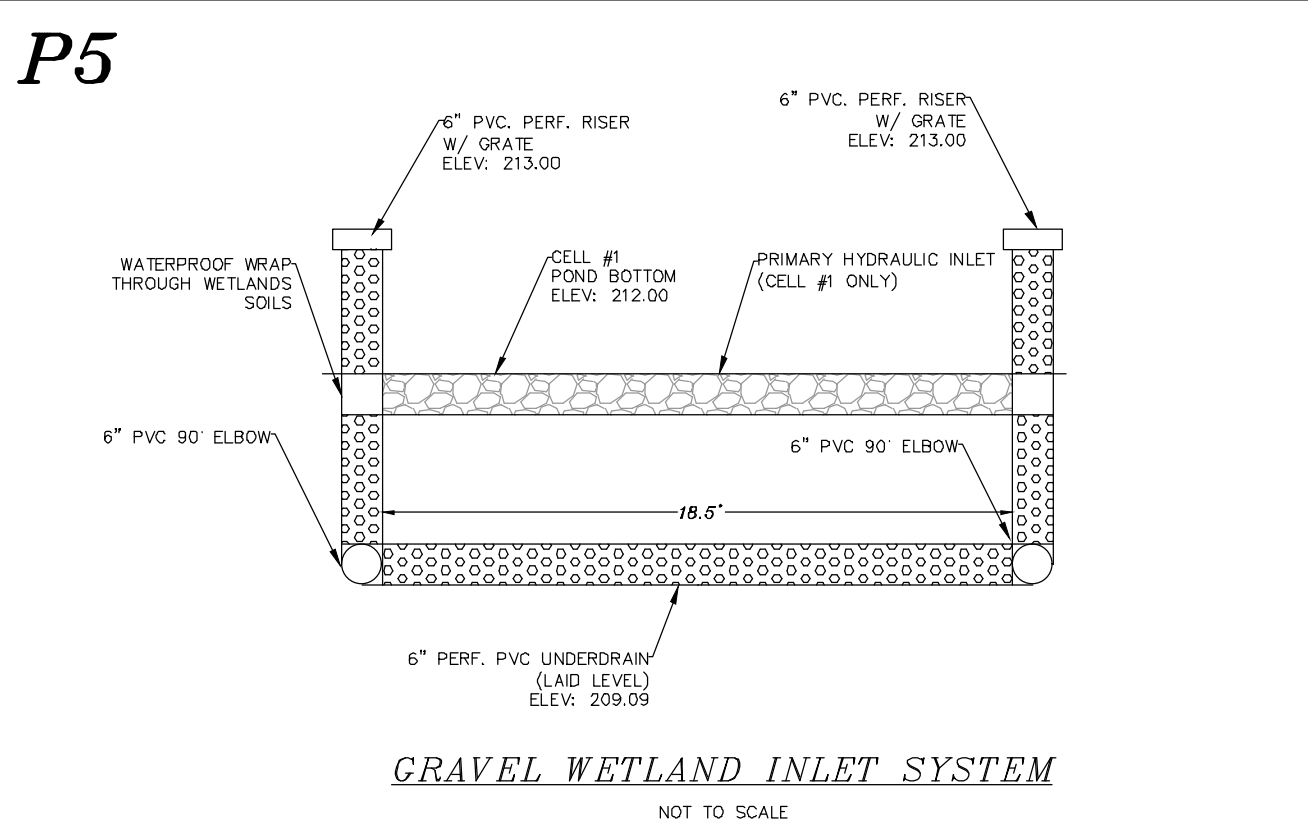
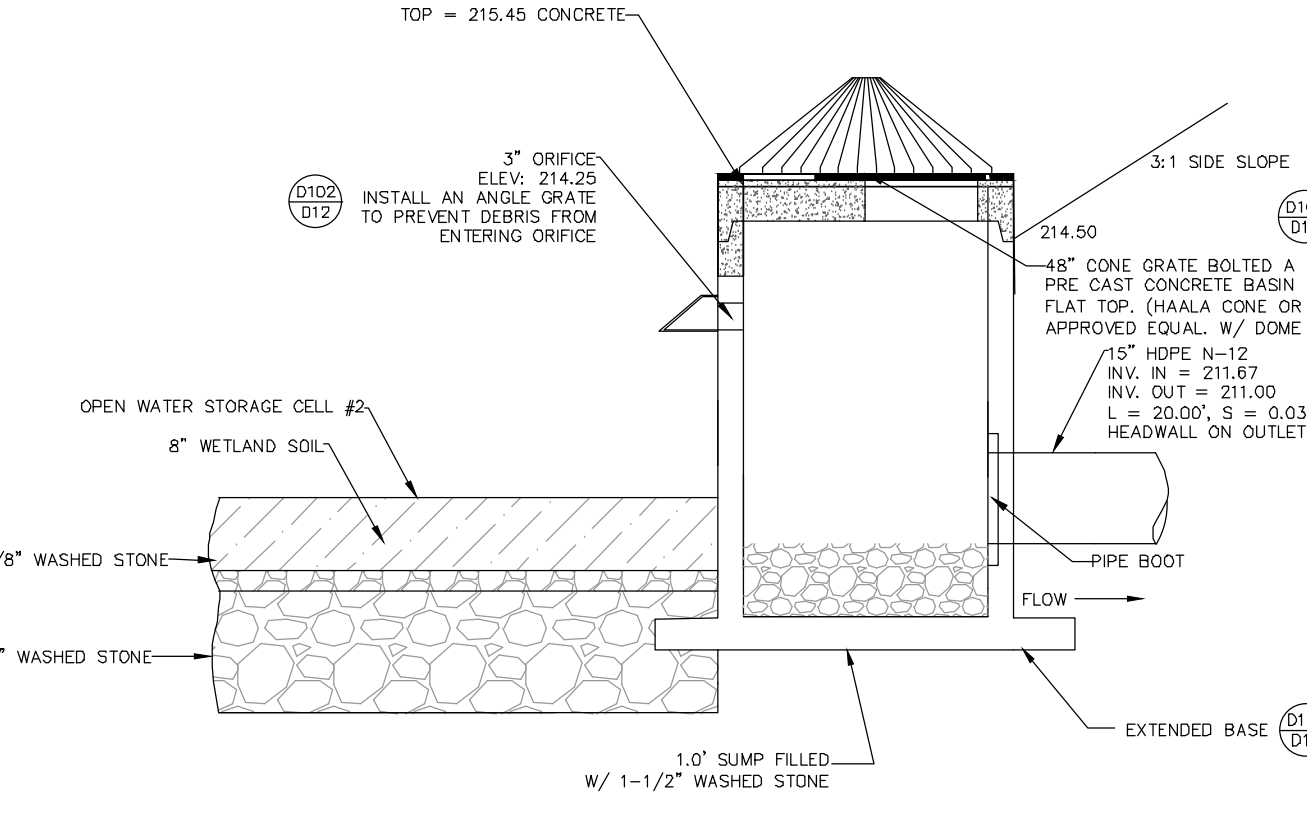


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

| d50 SIZE=                                   | FEET                        | 6 INCHES |
|---|-----------------------------|----------|
| % OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE | SIZE OF STONE (INCHES) FROM | TO       |
| 100%  | 9                           | 12       |
| 85%   | 8                           | 11       |
| 50%   | 6                           | 9        |
| 15%   | 2                           | 3        |

| REVISION | DATE       | DESCRIPTION                                    |
|----------|------------|--|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |

GRAVEL WETLAND #103  
LAND OF DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE: 1 IN. EQUALS 20 FT.  
DATE: JUNE 14, 2021  
FILE NO.: DB 2020 - 097

FOR TOWN APPROVAL PURPOSES:  
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**MAINTENANCE REQUIREMENTS**

| ACTIVITY  | CLOGGING AND SYSTEM PERFORMANCE | FREQUENCY  |
|---|---------------------------------|--|
| INSPECT INLETS AND OUTLETS TO ENSURE GOOD CONDITION AND NO EVIDENCE OF DETRIORATION. CHECK TO SEE IF HIGH-FLOW BYPASS IS FUNCTIONING. |                                 |  |
| REMEDY:<br>REPAIR OR REPLACE ANY DAMAGED STRUCTURAL PARTS, INLETS AND OUTLETS. CLEAR OR REMOVE DEBRIS OR RESTRICTIONS.                |                                 |  |
| CHECK FOR INTERNAL EROSION, EVIDENCE OF SHORT-CIRCUITING, AND ANIMAL BURROWS.   |                                 | ANNUALLY, MORE FREQUENTLY IN THE FIRST YEAR OF OPERATION |
| REMEDY:<br>SOIL EROSION FROM SHORT-CIRCUITING OR ANIMAL BURROWS SHOULD BE REPAIRED WHEN THEY OCCUR.                                   |                                 |  |
| CHECK THAT THE SYSTEM IS FULLY DRAINING WITHIN A 24-48 HOUR PERIOD AFTER RAIN EVENTS.   |                                 |  |
| REMEDY:<br>REPAIR OR RESTORE HYDRAULIC INLET OR OUTLET CONFIGURATION.   |                                 |  |
| VEGETATION  |                                 |  |
| CHECK FOR ROBUST VEGETATION COVERAGE THROUGHOUT THE SYSTEM AND DEAD OR DYING PLANTS   |                                 | ANNUALLY, OR AS NEEDED                                   |
| REMEDY:<br>VEGETATION SHOULD COVER > 75% OF THE SYSTEM AND SHOULD BE RESEEDED AND CARED FOR AS NEEDED                                 |                                 |  |
| CUT AND REMOVE VEGETATION FROM GRAVEL WETLAND SYSTEM AND FOREBAY IN ORDER TO MAINTAIN NITROGEN REMOVAL PERFORMANCE                    |                                 | ONCE EVERY 3 YEARS                                       |
| REMEDY:<br>THE VEGETATION SHOULD BE CUT AND REMOVED FROM THE SYSTEM TO PREVENT NITROGEN FROM CYCLING BACK INTO THE SYSTEM             |                                 |  |

**3/8" WASHED CRUSHED STONE\***

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 1/2"       | 100                 |
| 3/8"       | 95 - 100            |
| # 4        | 22 - 55             |
| # 8        | 0 - 10              |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

**1-1/2" WASHED CRUSHED STONE\***

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 2"         | 100                 |
| 1-1/2"     | 90 - 100            |
| 1"         | 20 - 55             |
| 1-1/2"     | 0 - 15              |
| 3/8"       | 0 - 5               |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

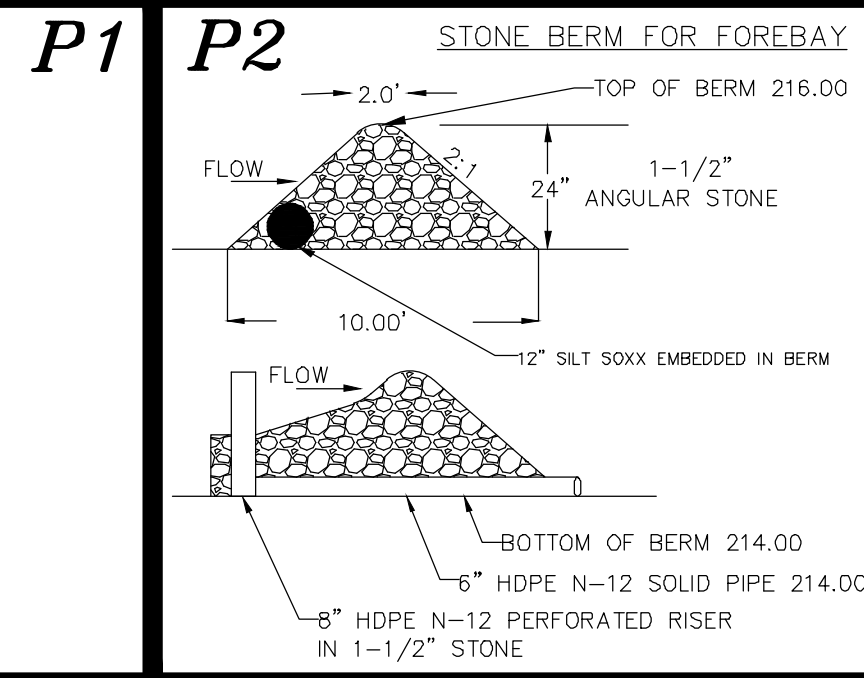
**WETLAND SOIL**

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 0.5        | 100                 |
| #10"       | 90 - 75             |
| #100       | 40 - 50             |
| #200       | 25 - 50             |

| SIEVE SIZE | % PASSING TOLERANCES |
|------------|----------------------|
| 0.5        | ±10.0                |
| #10        | ±5.0                 |
| #100       | ±5.0                 |
| #200       | ±5.0                 |

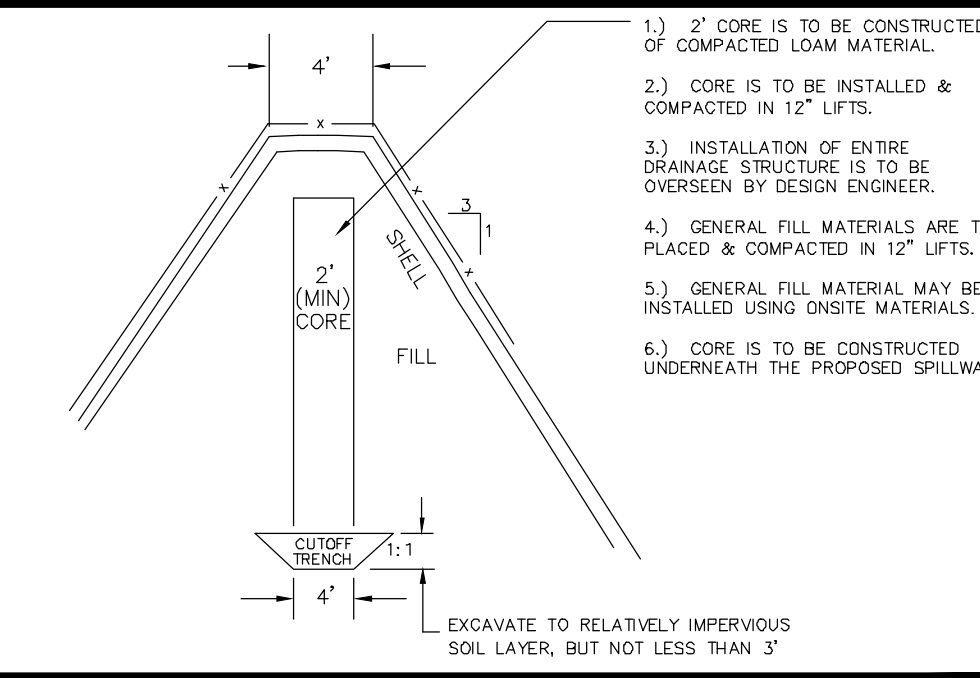
DESIGN REFERENCES  
1 UNH STORMWATER CENTER

CONSTRUCTION NOTE: THE DESIGN ENGINEER IS TO BE ON SITE PRIOR TO AND DURING THE PLACEMENT OF THE RESERVOIR STONE, AND TO WITNESS THE INSTALLATION OF THE UNDER-DRAIN AND INTER-CHAMBER PIPES. PLEASE PROVIDE 24 HOURS NOTICE PRIOR TO REQUESTED INSPECTION.



**P3 LOW PERMEABILITY MATERIAL GRADATION**

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| #4         | 95 - 100            |
| #40        | 60 - 95             |
| #100       | 40 - 60             |
| #200       | 25 - 45             |



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

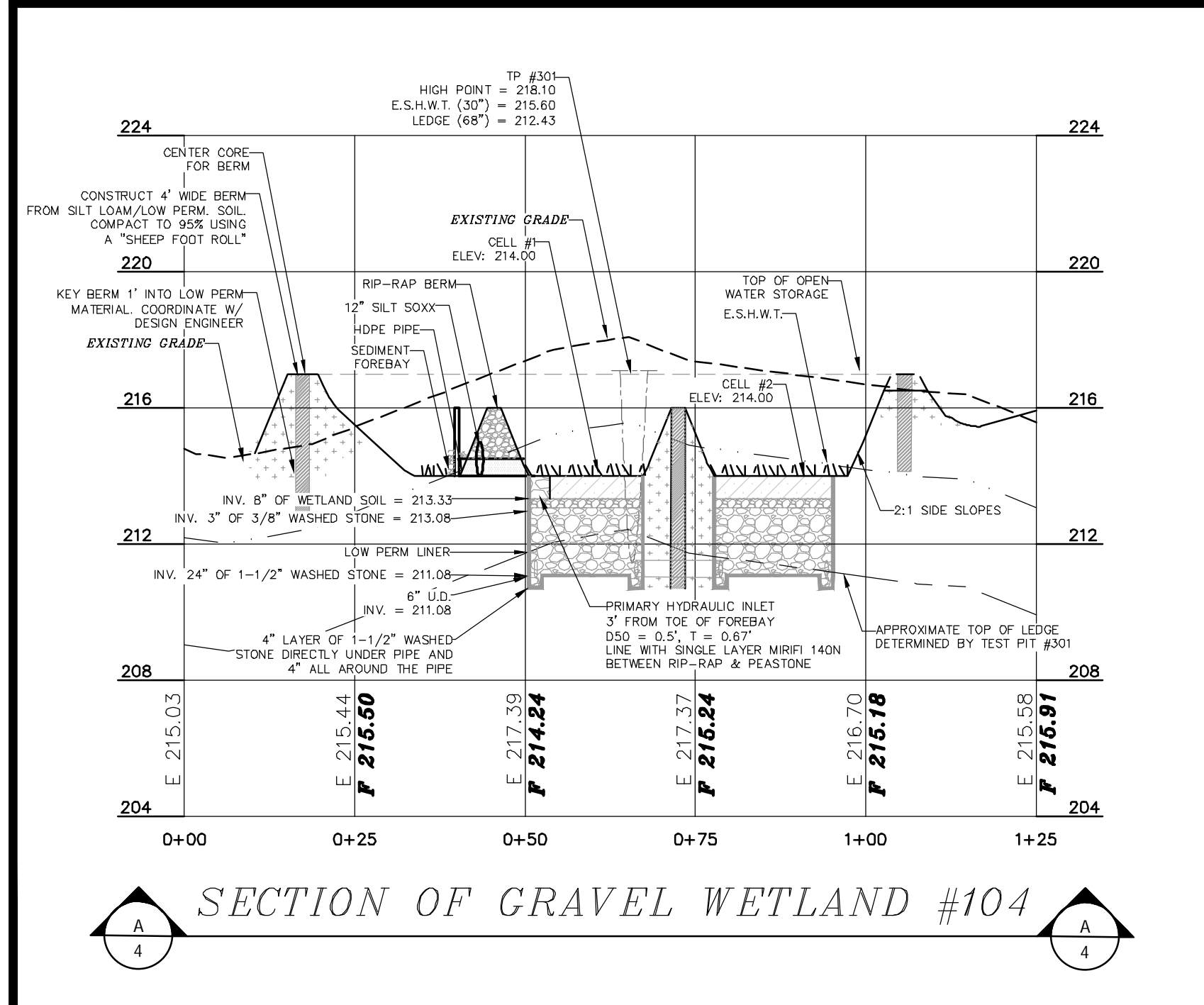
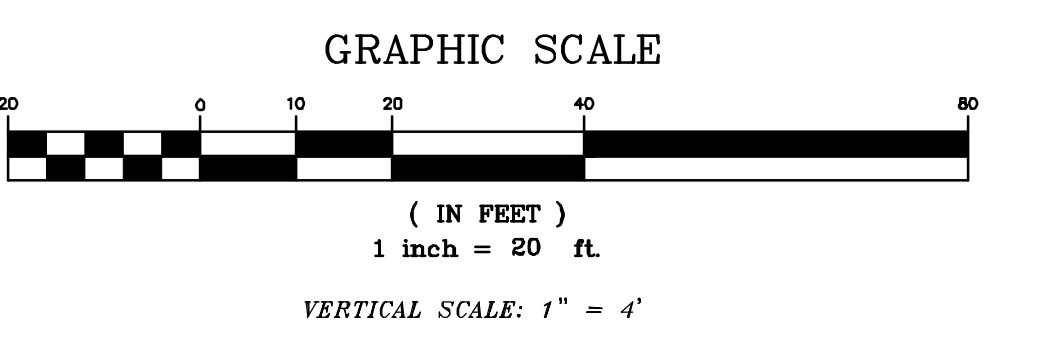
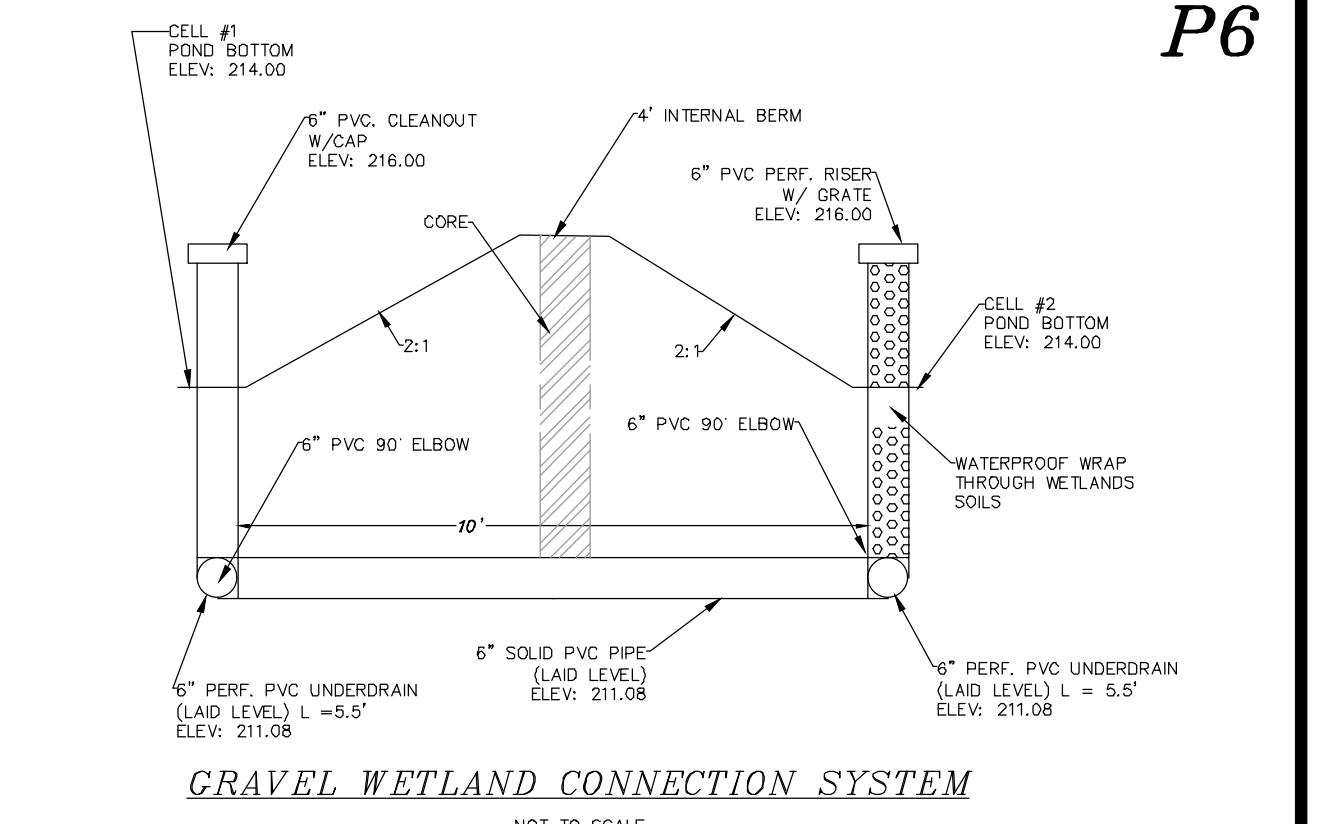
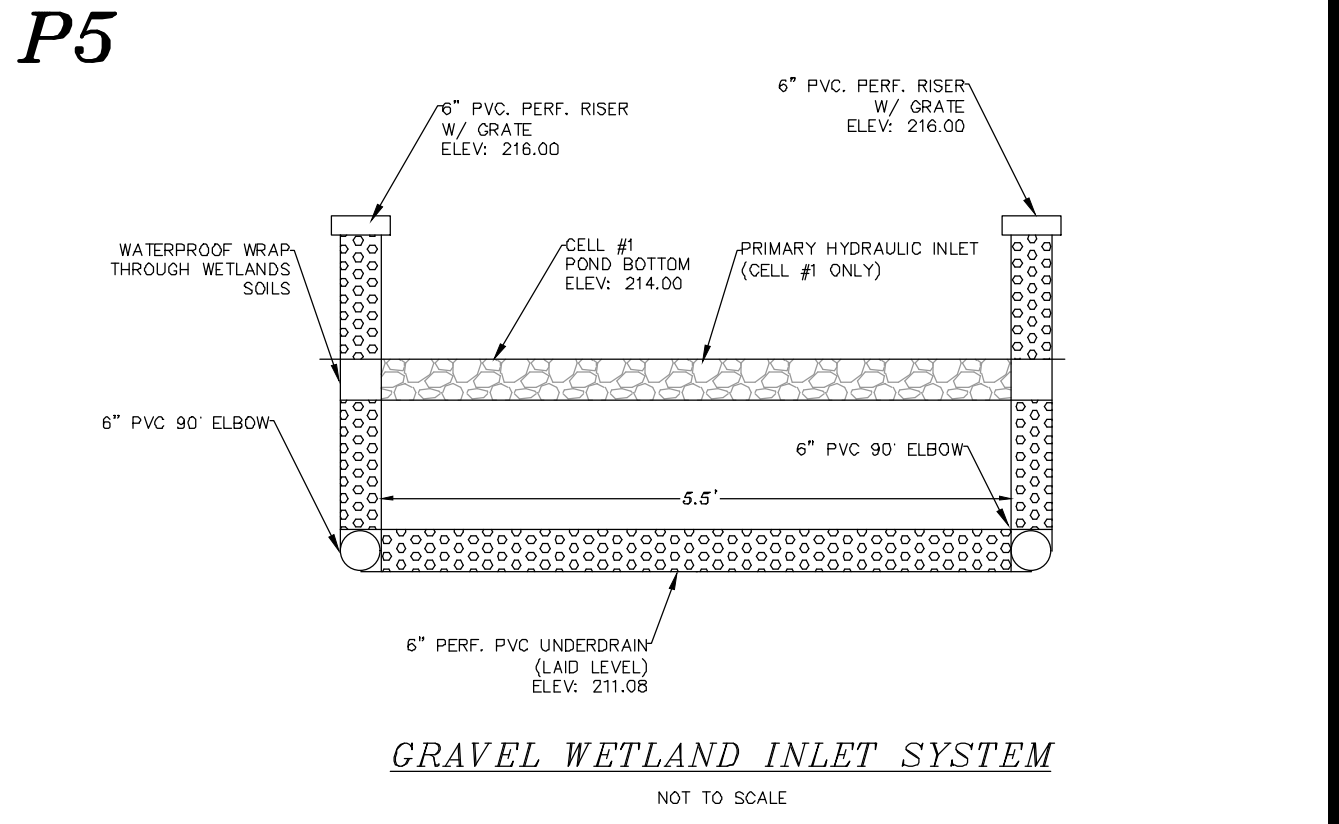
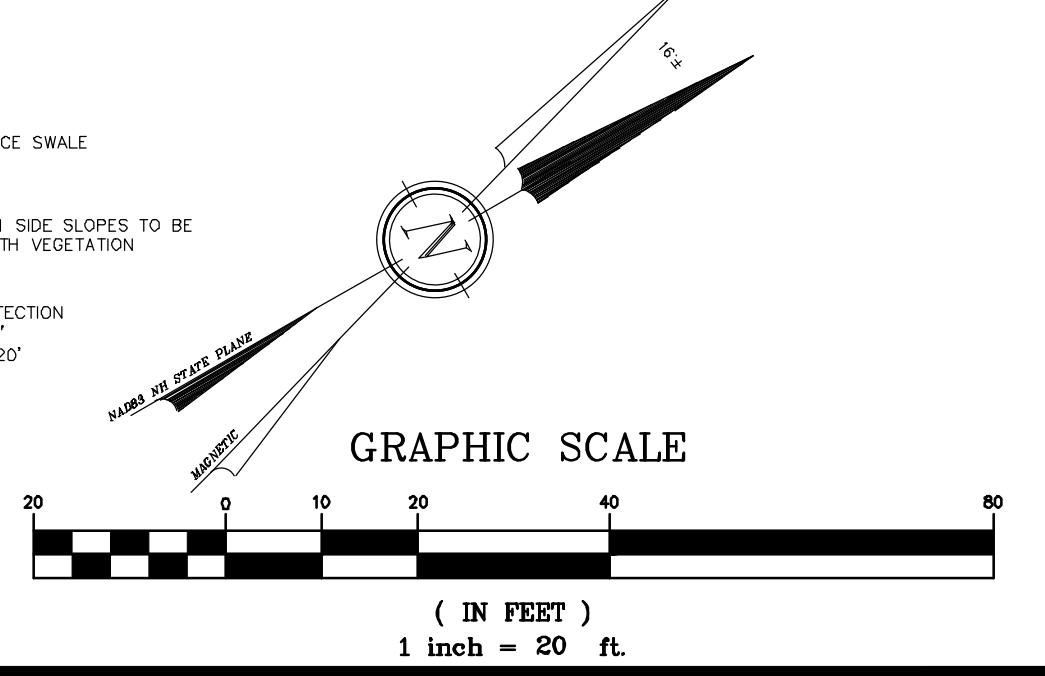
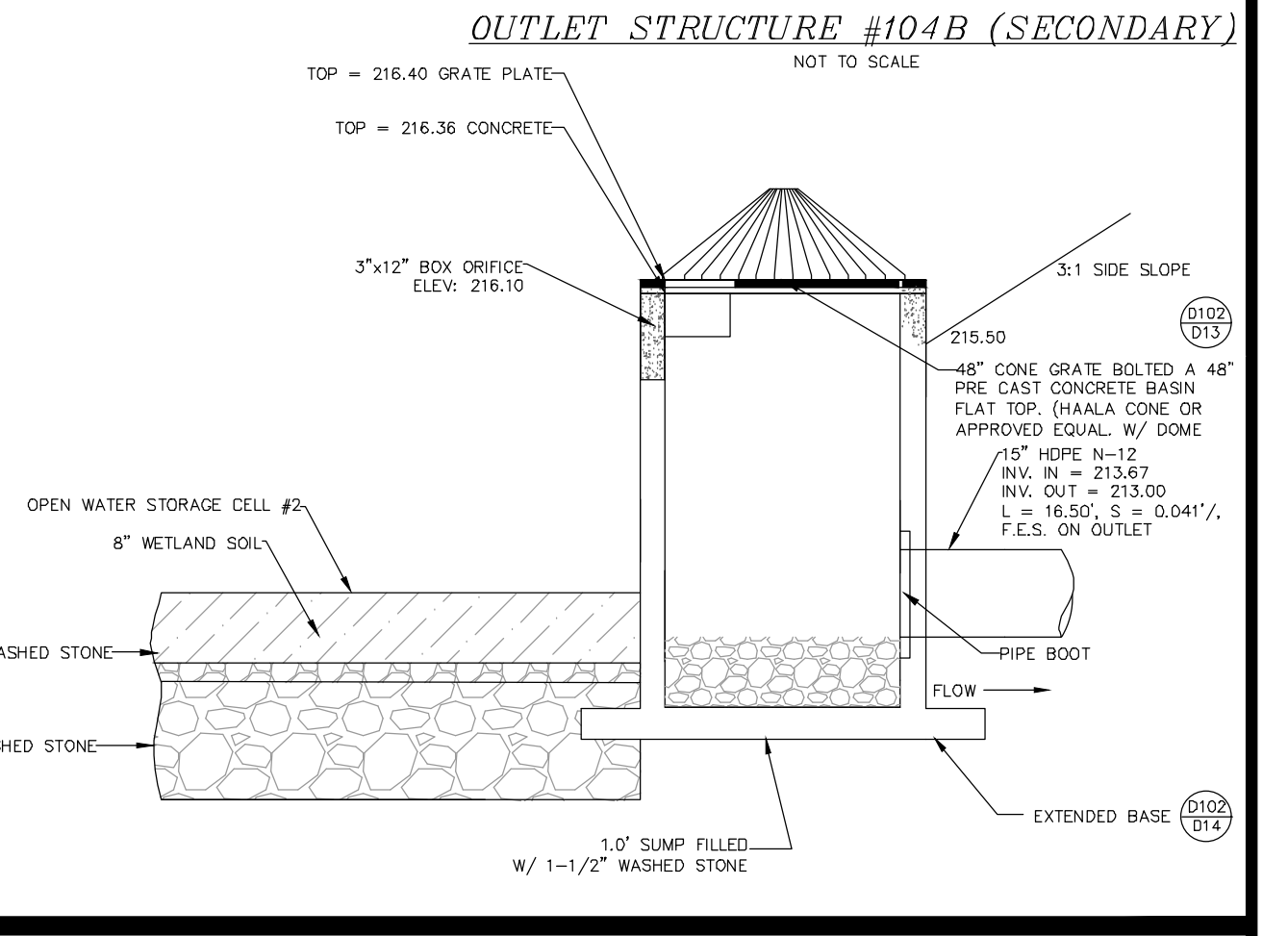
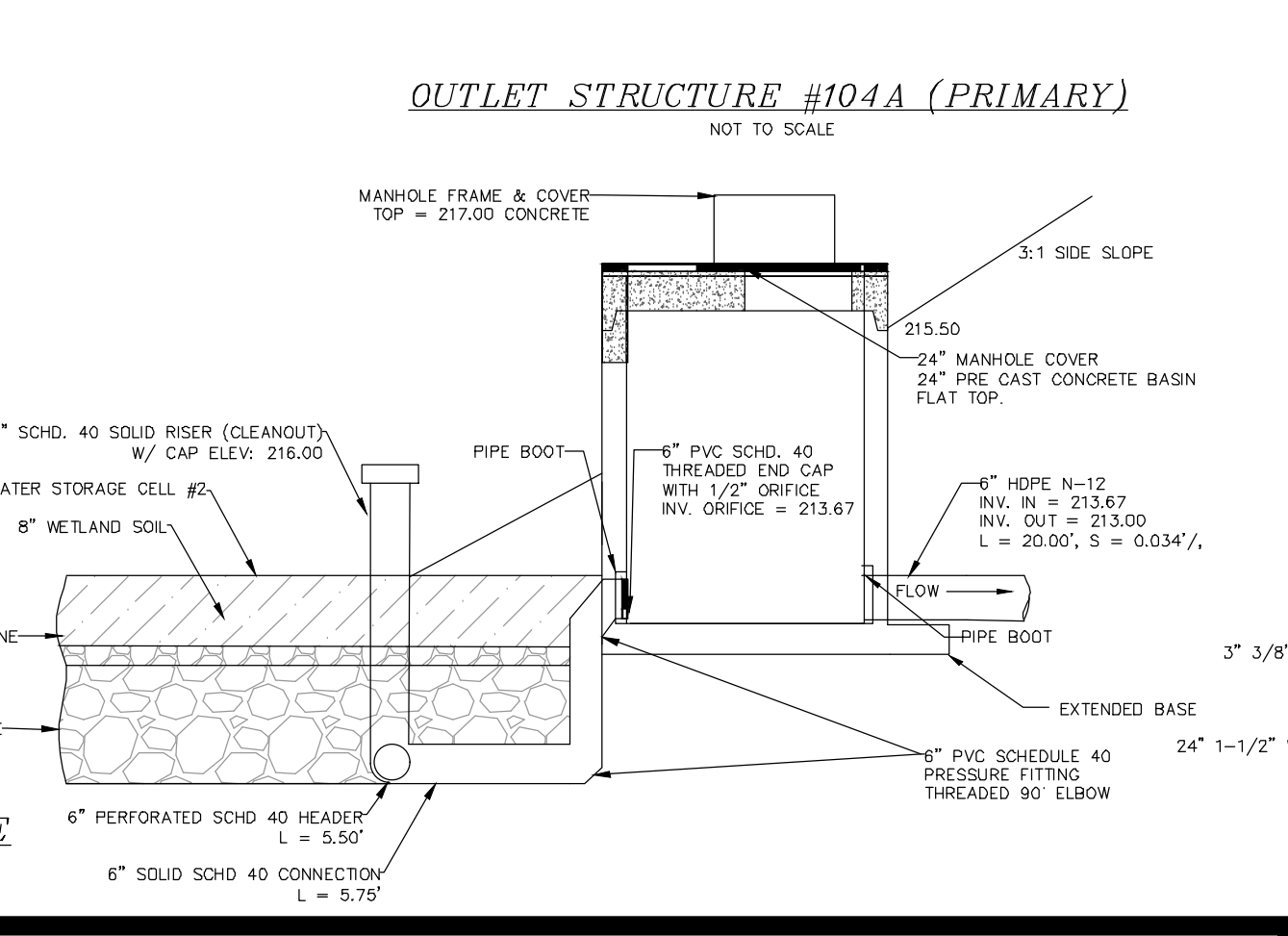
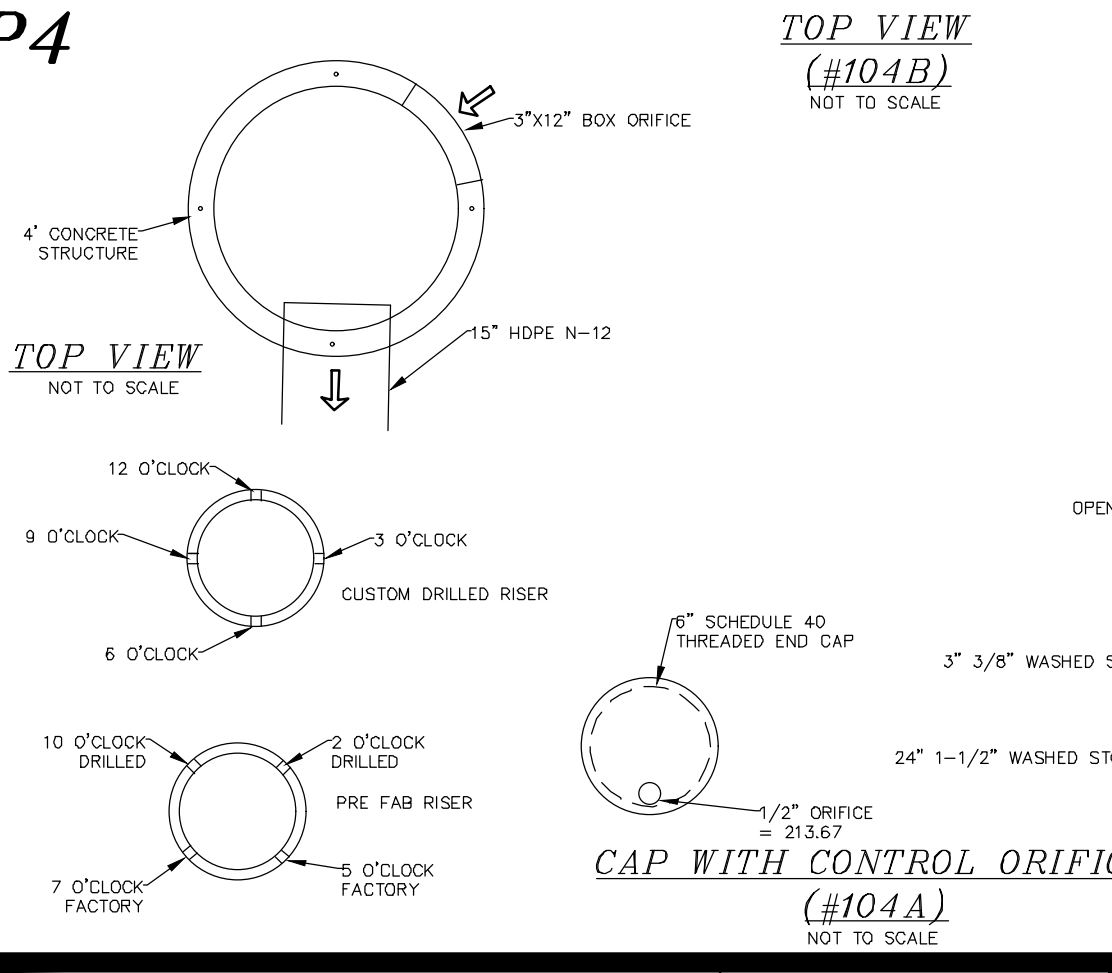
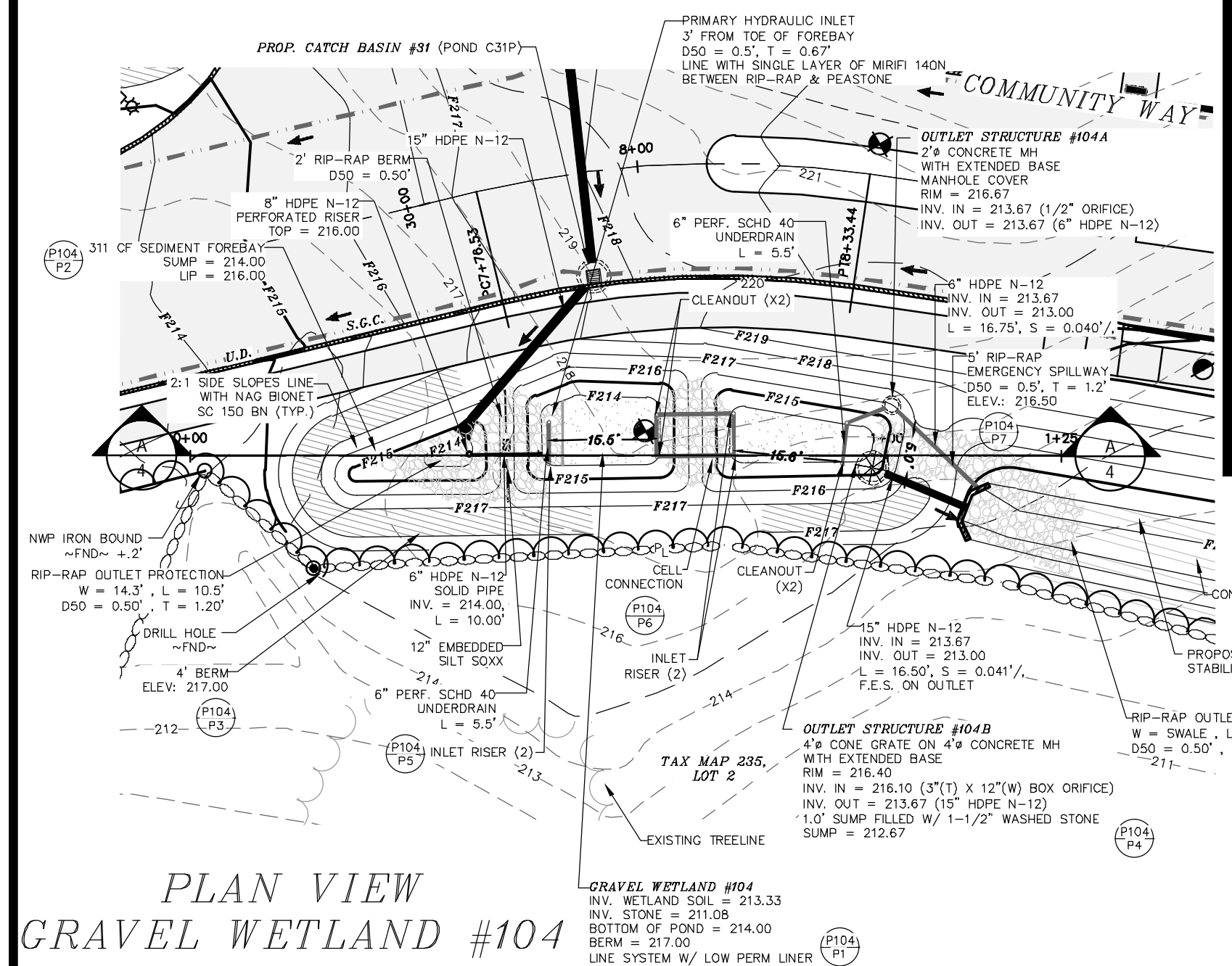
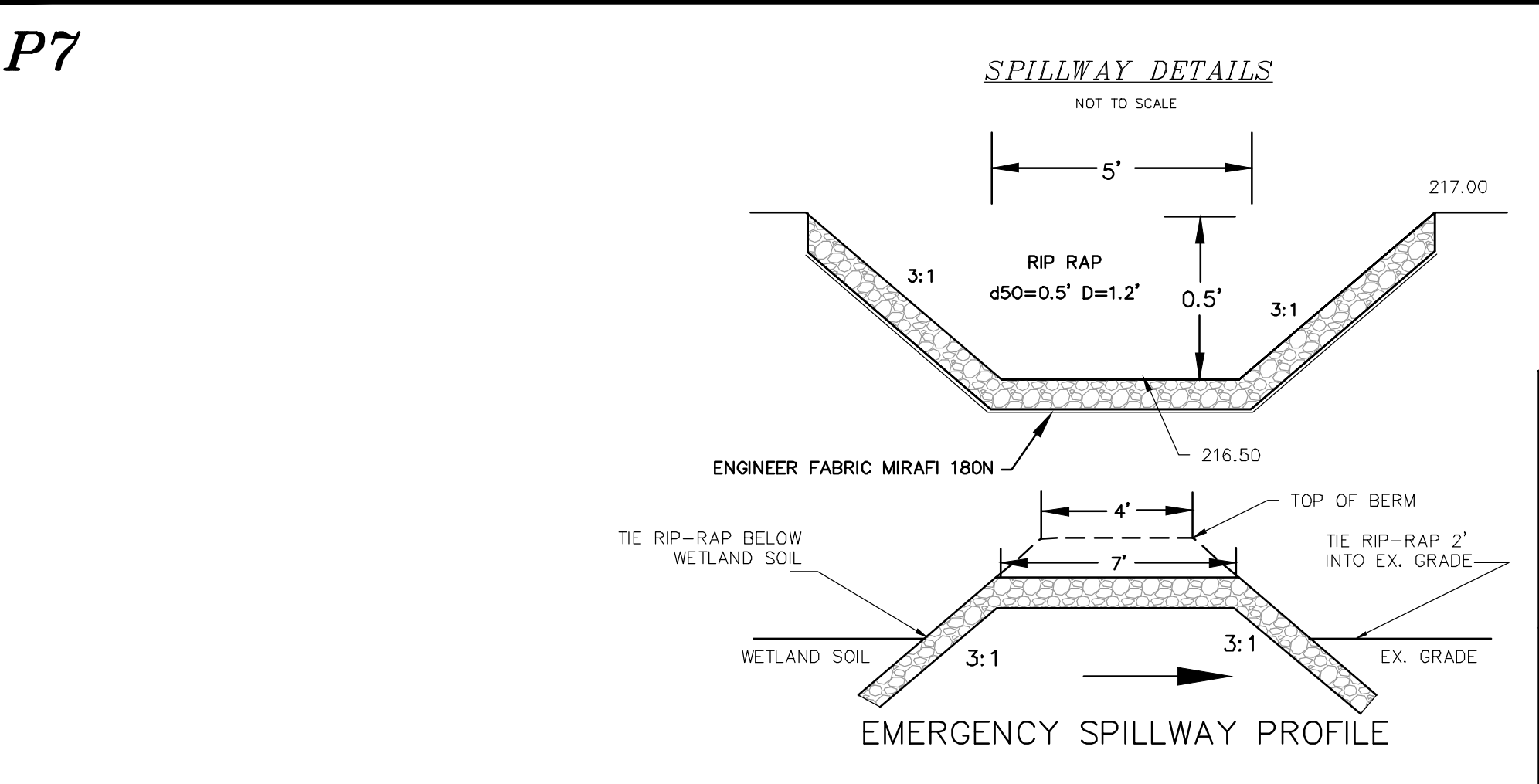


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

| d50 SIZE=                                   | 0.5 FEET                    | 6 INCHES |
|---|-----------------------------|----------|
| % OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE | SIZE OF STONE (INCHES) FROM | TO       |
| 100%  | 9                           | 12       |
| 85%   | 8                           | 11       |
| 50%   | 6                           | 9        |
| 15%   | 2                           | 3        |



FOR TOWN APPROVAL PURPOSES :

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**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 19412  
LICENSED PROFESSIONAL ENGINEER

| BIORETENTION FILTER MEDIA MIXTURES   |                              |                       |  |
|--|------------------------------|-----------------------|--|
| Component Material   | Percent of Mixture by Volume | Gradation of material |  |
|  |                              | Sieve No.             | Percent by Weight Passing Standard Sieve |
| Bioretention Filter Media Option A   |                              |                       |  |
| ASTM C-33 concrete sand  | 50 to 55                     |                       |  |
| Loomy sand topsoil, with fines as indicated                                | 20 to 30                     | 200                   | 15 to 25                                 |
| Moderately fine shredded bark or wood fiber mulch, with fines as indicated | 20 to 30                     | 200                   | < 5                                      |

| 3/8" WASHED CRUSHED STONE* |                     |
|----------------------------|---------------------|
| SIEVE SIZE                 | % PASSING BY WEIGHT |
| 1/2"                       | 100                 |
| 3/8"                       | 95 - 100            |
| # 4                        | 22 - 55             |
| # 8                        | 0 - 10              |

| 1-1/2" WASHED CRUSHED STONE* |                     |
|------------------------------|---------------------|
| SIEVE SIZE                   | % PASSING BY WEIGHT |
| 2"                           | 100                 |
| 1-1/2"                       | 90 - 100            |
| 1"                           | 20 - 55             |
| 1/2"                         | 0 - 15              |
| 3/8"                         | 0 - 5               |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

**NOTES**

- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
- SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

**MAINTENANCE REQUIREMENTS**

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

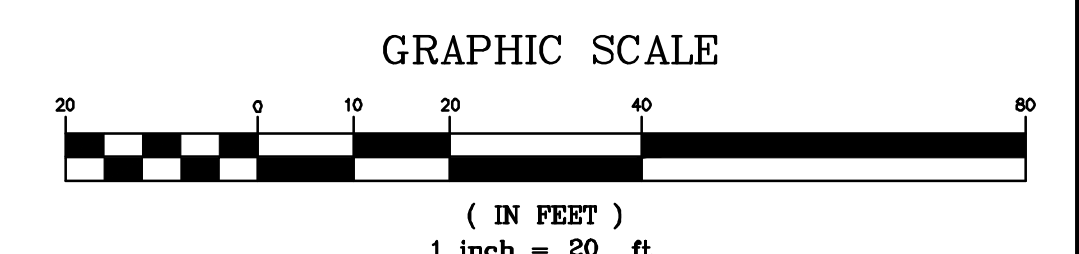
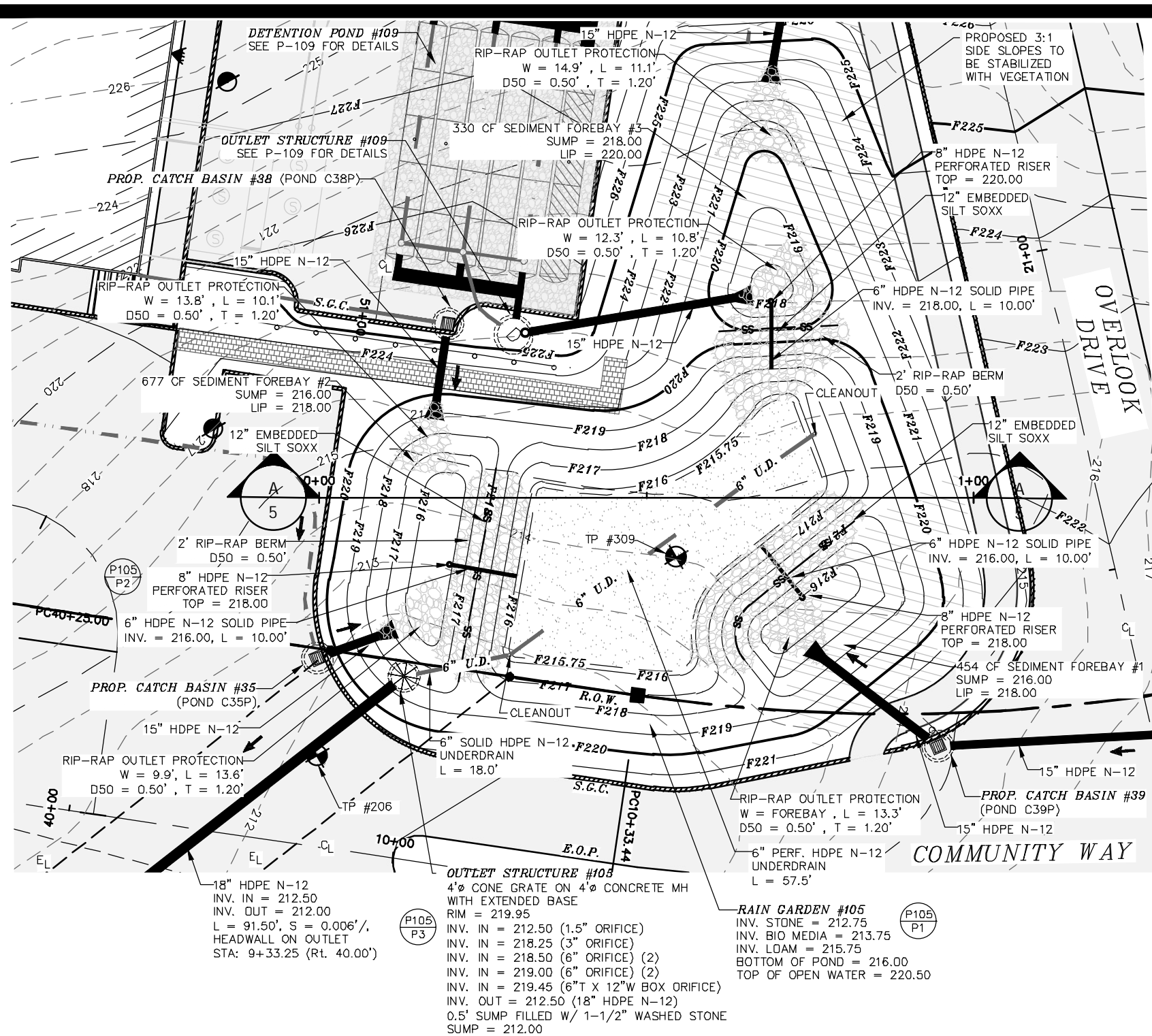
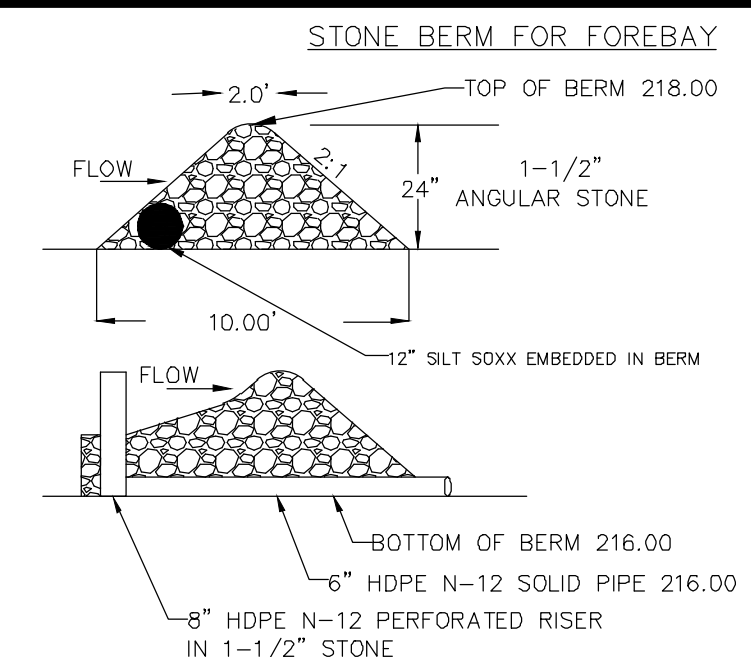
**DESIGN REFERENCES**

- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

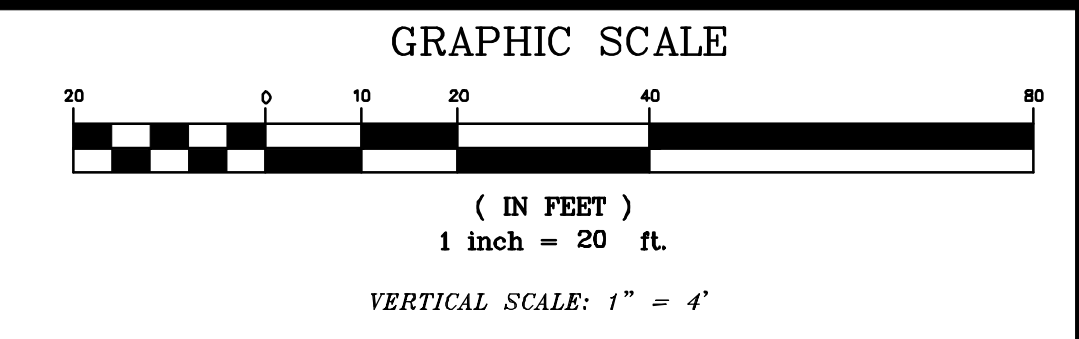
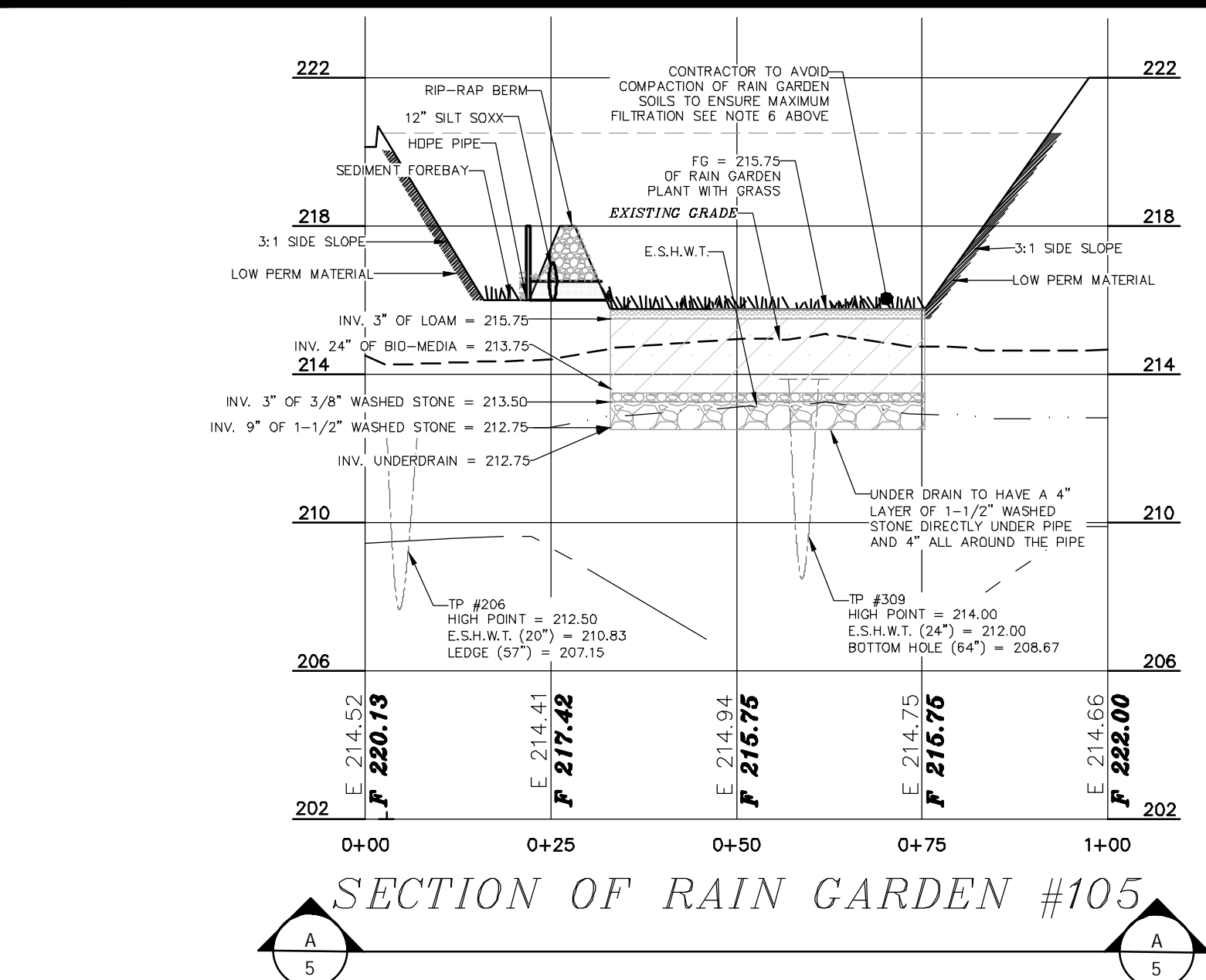
**RAIN GARDEN MIX**

THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS" MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

P1 P2

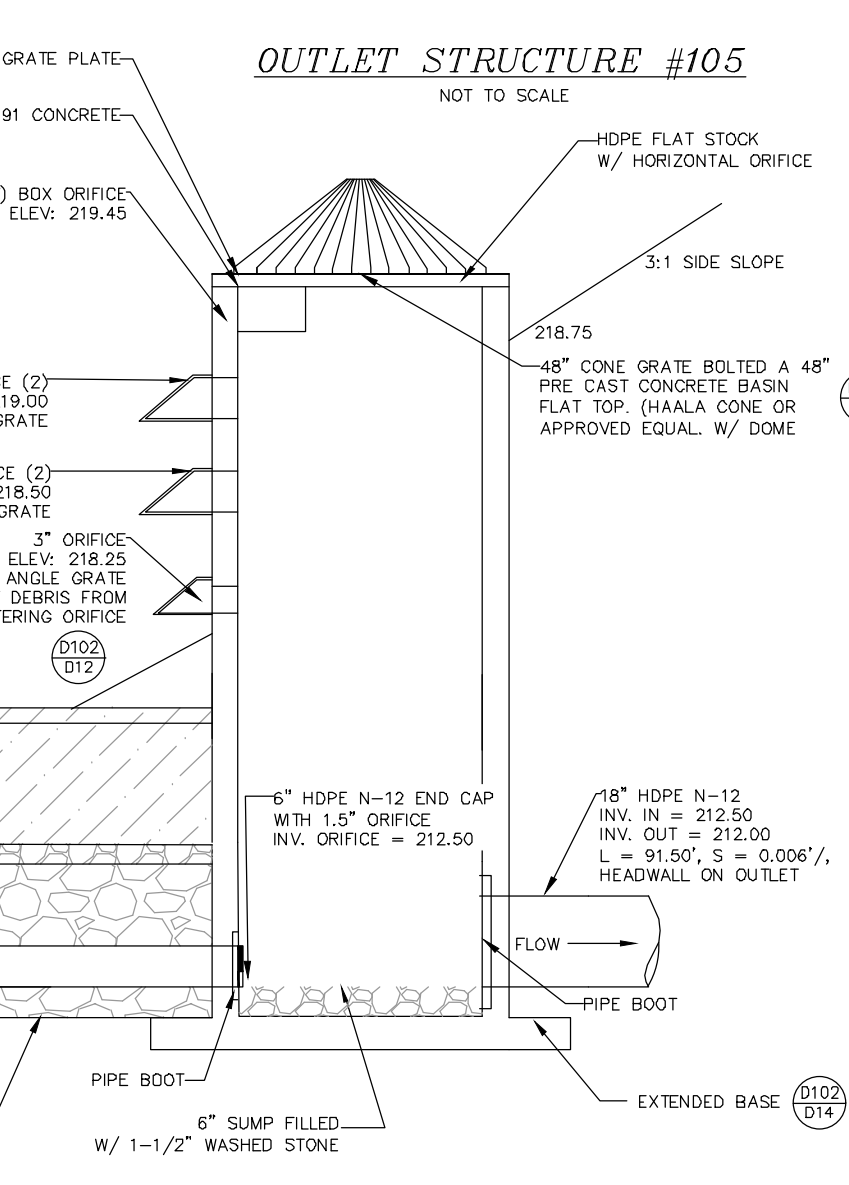
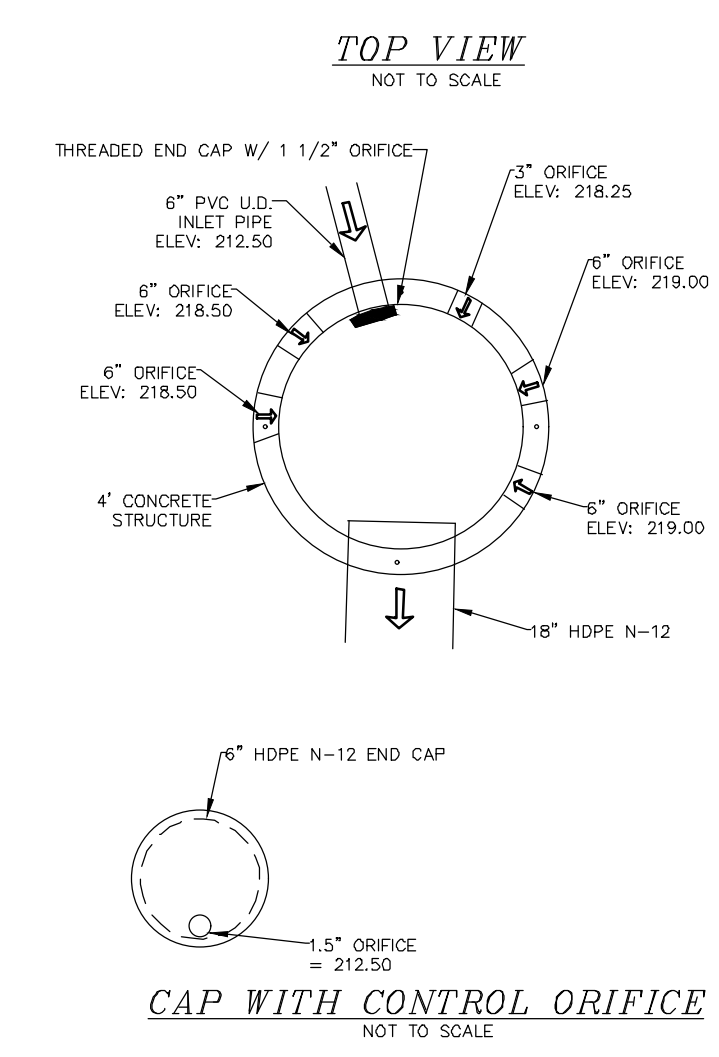


PLAN VIEW RAIN GARDEN #105



| TABLE 7-24--RECOMMENDED RIP-RAP GRADATION RANGES |                             |          |  |
|--|-----------------------------|----------|--|
| d50 SIZE-  | 0.5 FEET                    | 6 INCHES |  |
| % OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE      | SIZE OF STONE (INCHES) FROM |          |  |
| 100%   | 9                           | 12       |  |
| 85%  | 8                           | 11       |  |
| 50%  | 6                           | 9        |  |
| 15%  | 2                           | 3        |  |

P3



FOR TOWN APPROVAL PURPOSES :

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| #1 | REVISION | DATE       | DESCRIPTION                                   |
|----|----------|------------|---|
| #2 |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1 |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

RAIN GARDEN #105  
 AND  
 OUTLET STRUCTURE #105  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

| BIORETENTION FILTER MEDIA MIXTURES   |                              |                       |  |
|--|------------------------------|-----------------------|--|
| Component Material   | Percent of Mixture by Volume | Gradation of material |  |
|  |                              | Sieve No.             | Percent by Weight Passing Standard Sieve |
| Bioretention Filter Media Option A   |                              |                       |  |
| ASTM C-33 concrete sand  | 50 to 55                     |                       |  |
| Loomy sand topsoil, with fines as indicated                                | 20 to 30                     | 200                   | 15 to 25                                 |
| Moderately fine shredded bark or wood fiber mulch, with fines as indicated | 20 to 30                     | 200                   | < 5                                      |

| 3/8" WASHED CRUSHED STONE* |                     |
|----------------------------|---------------------|
| SIEVE SIZE                 | % PASSING BY WEIGHT |
| 1/2"                       | 100                 |
| 3/8"                       | 95 - 100            |
| # 4                        | 22 - 55             |
| # 8                        | 0 - 10              |

| 1-1/2" WASHED CRUSHED STONE* |                     |
|------------------------------|---------------------|
| SIEVE SIZE                   | % PASSING BY WEIGHT |
| 2"                           | 100                 |
| 1-1/2"                       | 90 - 100            |
| 1"                           | 20 - 55             |
| 1/2"                         | 0 - 15              |
| 3/8"                         | 0 - 5               |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

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**NOTES**

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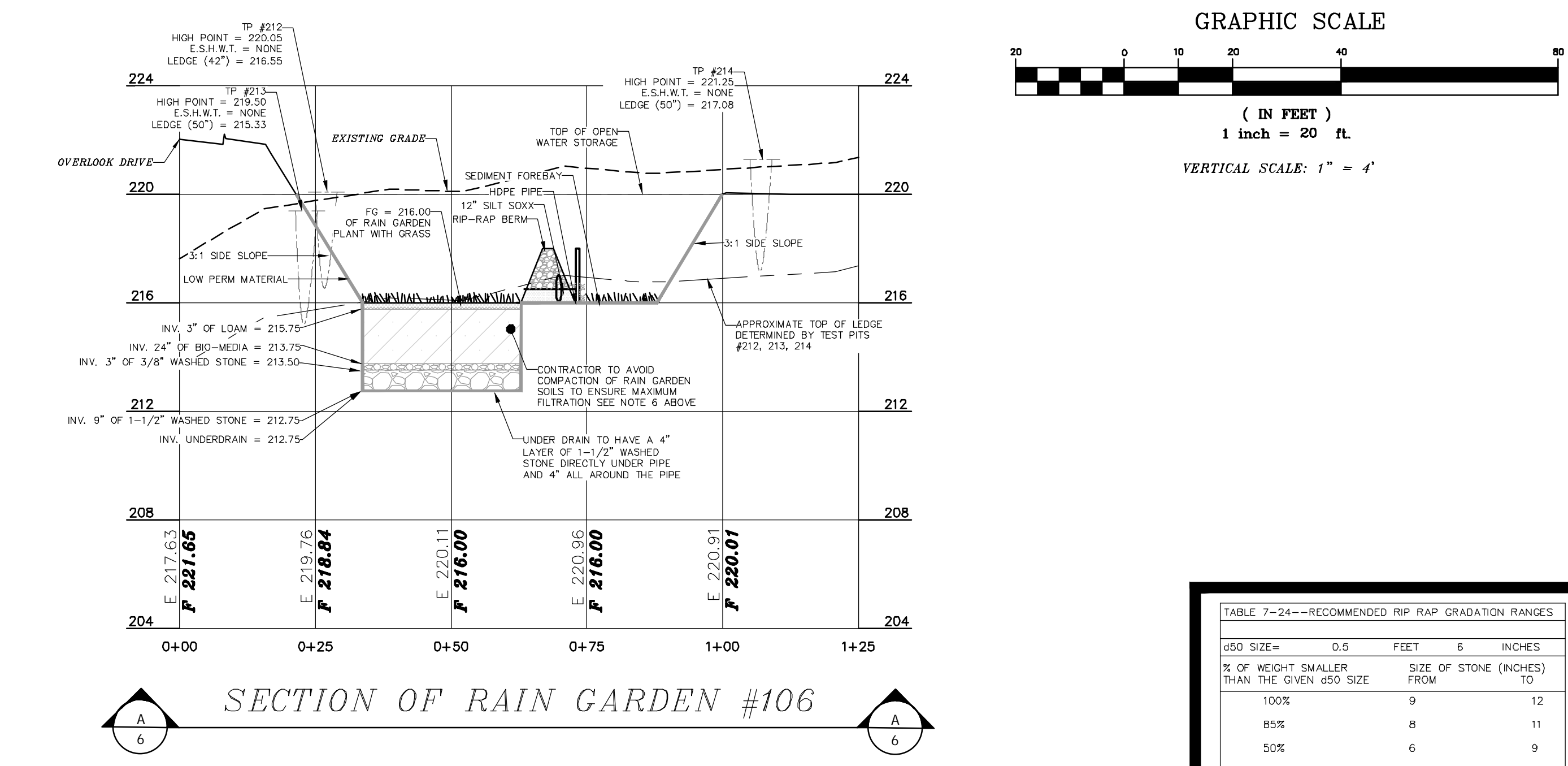
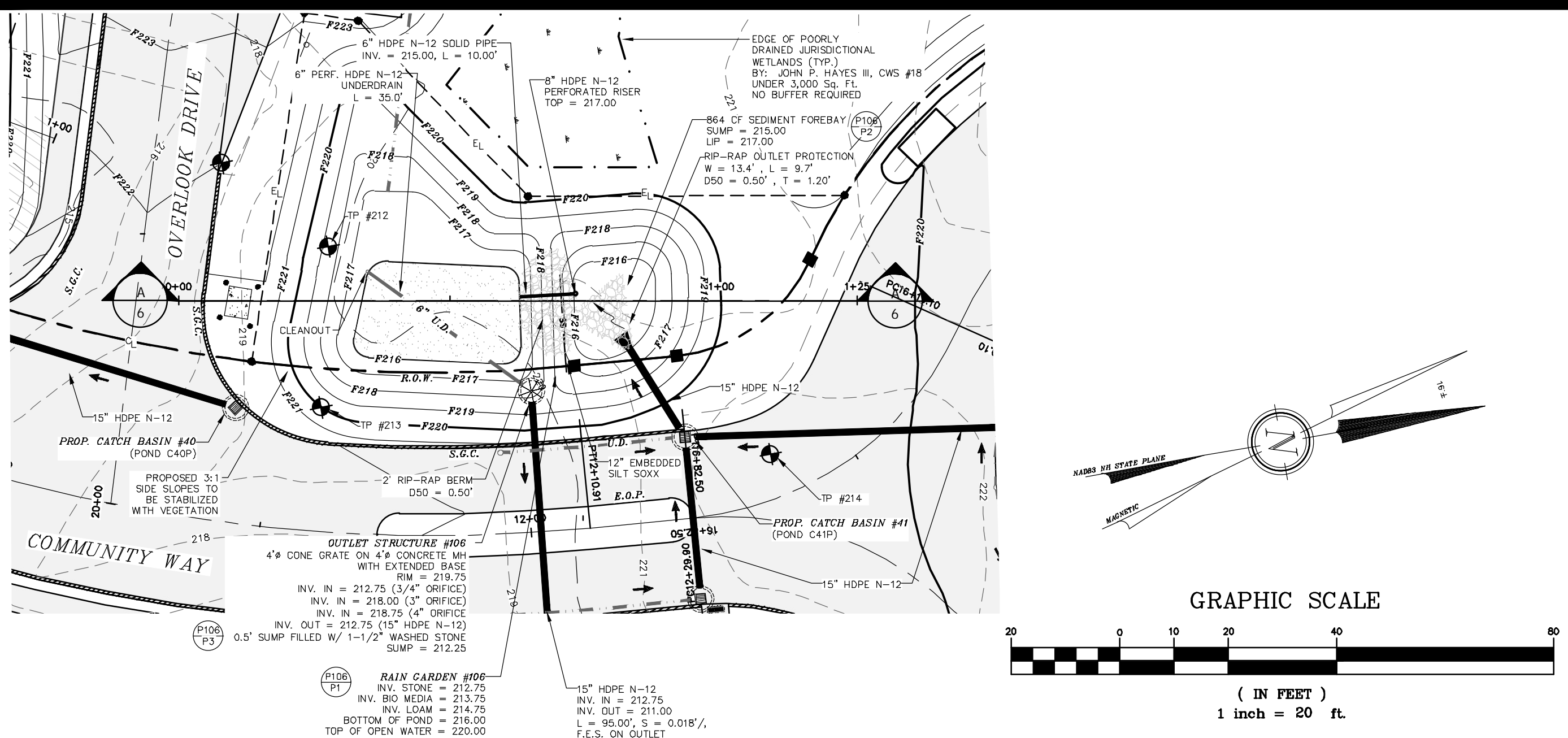
**DESIGN REFERENCES**

- 1 UNH STORMWATER CENTER
- 2 NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

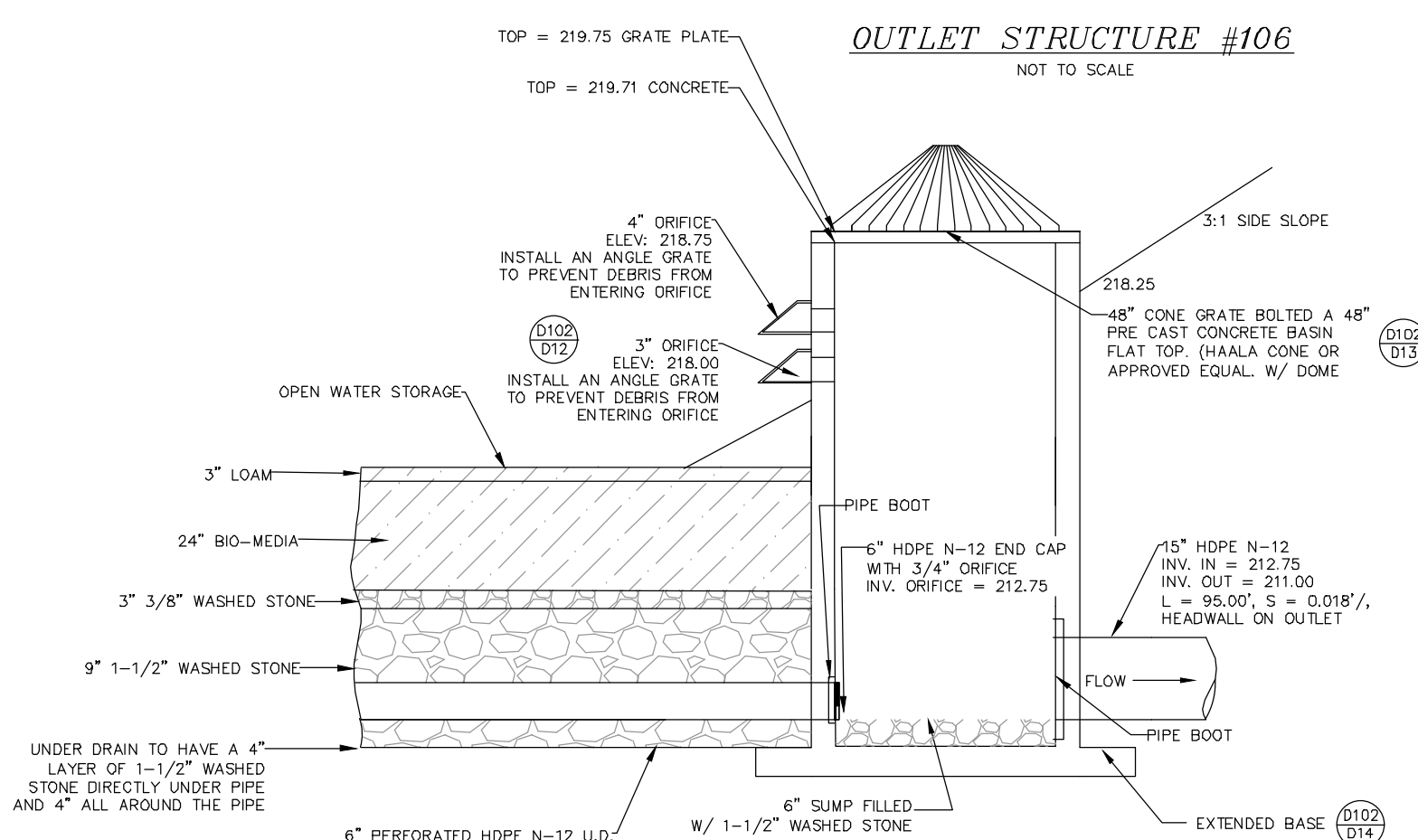
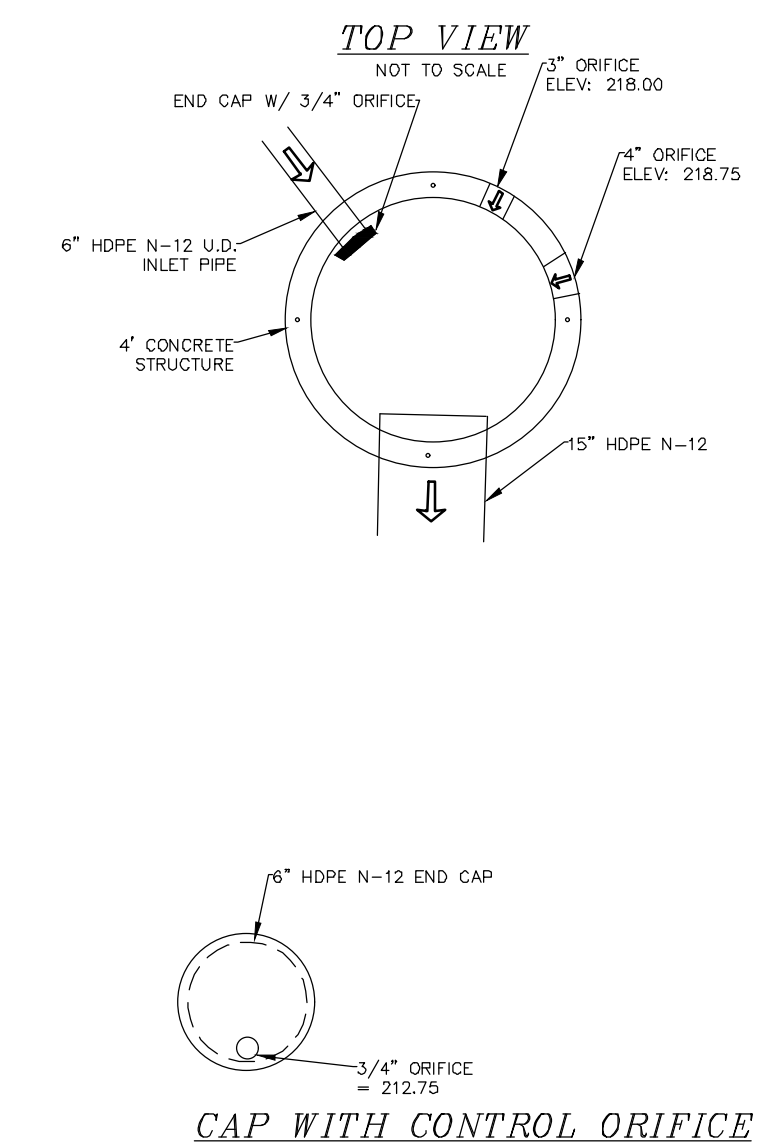
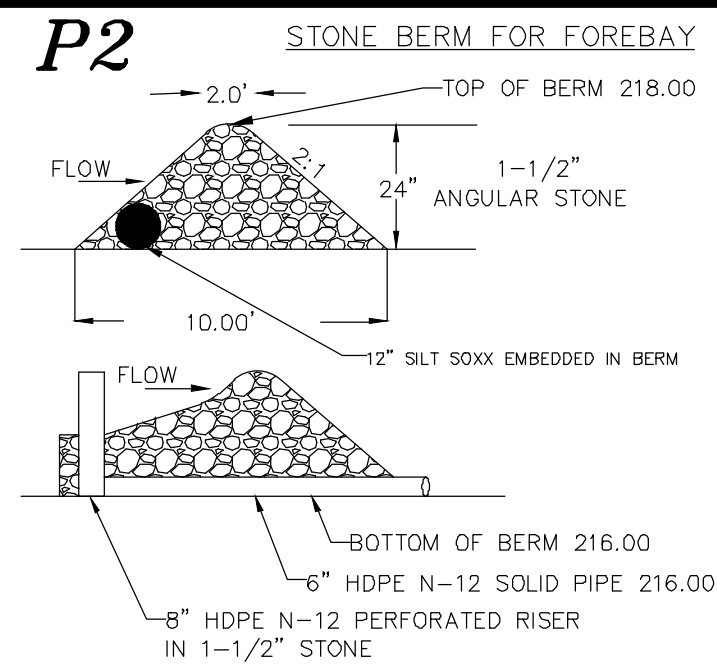
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P3



P1



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| #2          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

RAIN GARDEN #106  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 15472  
LICENSED PROFESSIONAL ENGINEER

| BIORETENTION FILTER MEDIA MIXTURES   |                              |                       |  |
|--|------------------------------|-----------------------|--|
| Component Material   | Percent of Mixture by Volume | Gradation of material |  |
|  |                              | Sieve No.             | Percent by Weight Passing Standard Sieve |
| Bioretention Filter Media Option A   |                              |                       |  |
| ASTM C-33 concrete sand  | 50 to 55                     |                       |  |
| Loomy sand topsoil, with fines as indicated                                | 20 to 30                     | 200                   | 15 to 25                                 |
| Moderately fine shredded bark or wood fiber mulch, with fines as indicated | 20 to 30                     | 200                   | < 5                                      |

| 3/8" WASHED CRUSHED STONE* |                     |
|----------------------------|---------------------|
| SIEVE SIZE                 | % PASSING BY WEIGHT |
| 1/2"                       | 100                 |
| 3/8"                       | 95 - 100            |
| # 4                        | 22 - 55             |
| # 8                        | 0 - 10              |

| 1-1/2" WASHED CRUSHED STONE* |                     |
|------------------------------|---------------------|
| SIEVE SIZE                   | % PASSING BY WEIGHT |
| 2"                           | 100                 |
| 1-1/2"                       | 90 - 100            |
| 1"                           | 20 - 55             |
| 1/2"                         | 0 - 15              |
| 3/8"                         | 0 - 5               |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

**NOTES**

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**MAINTENANCE REQUIREMENTS**

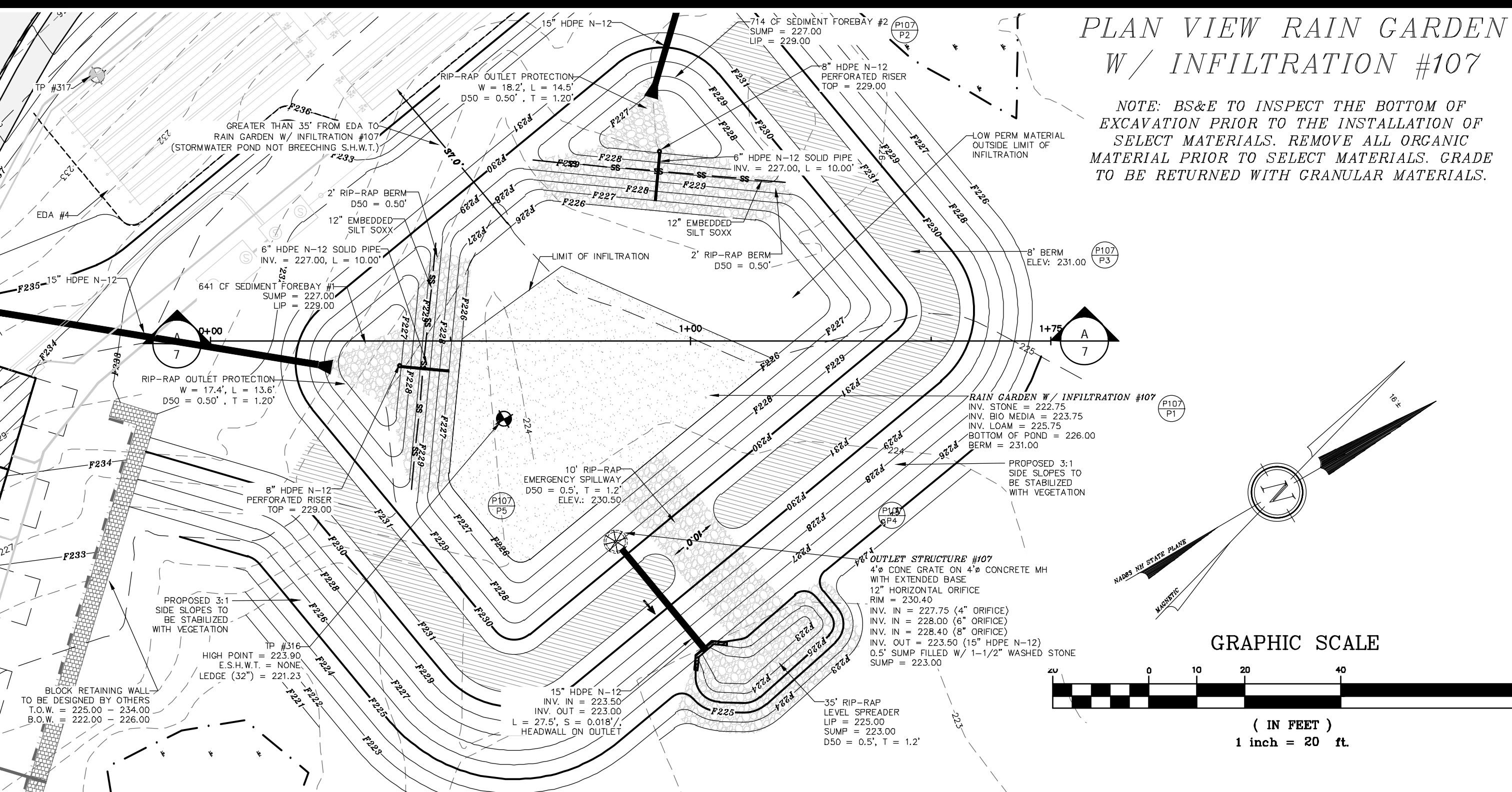
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**DESIGN REFERENCES**

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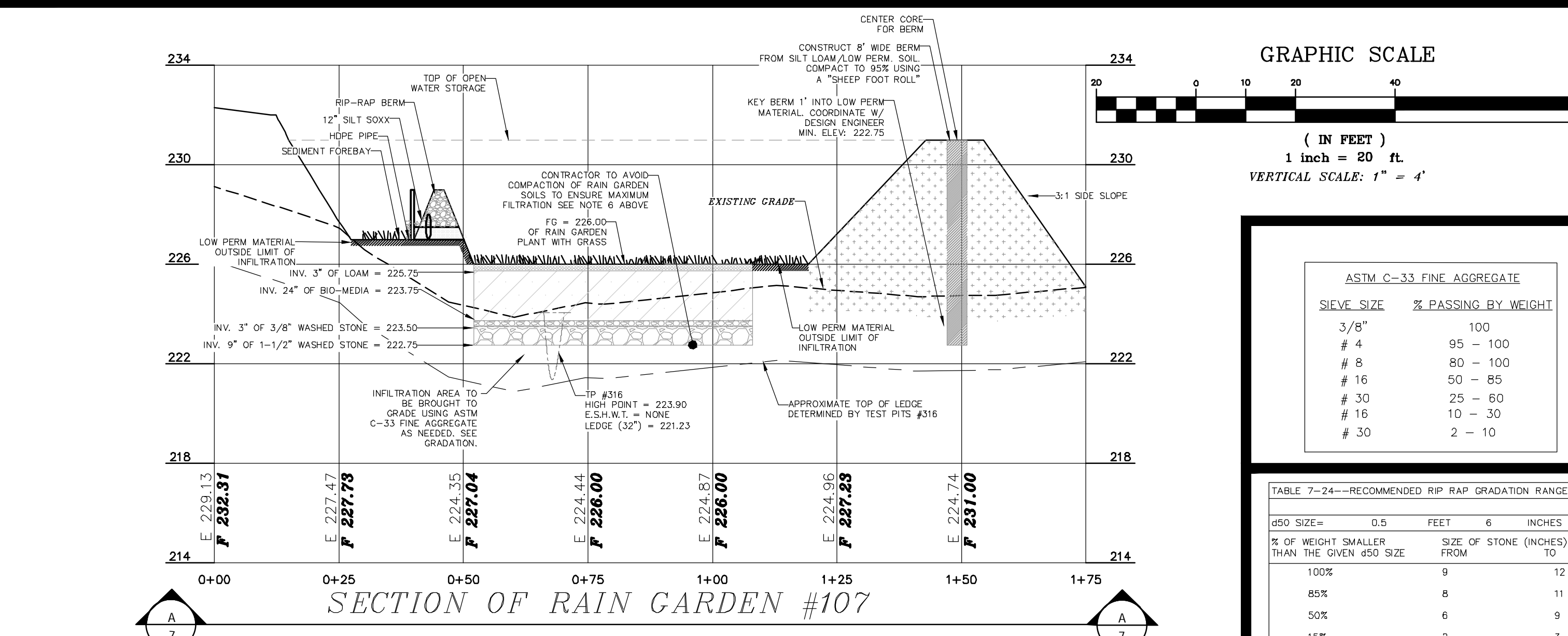
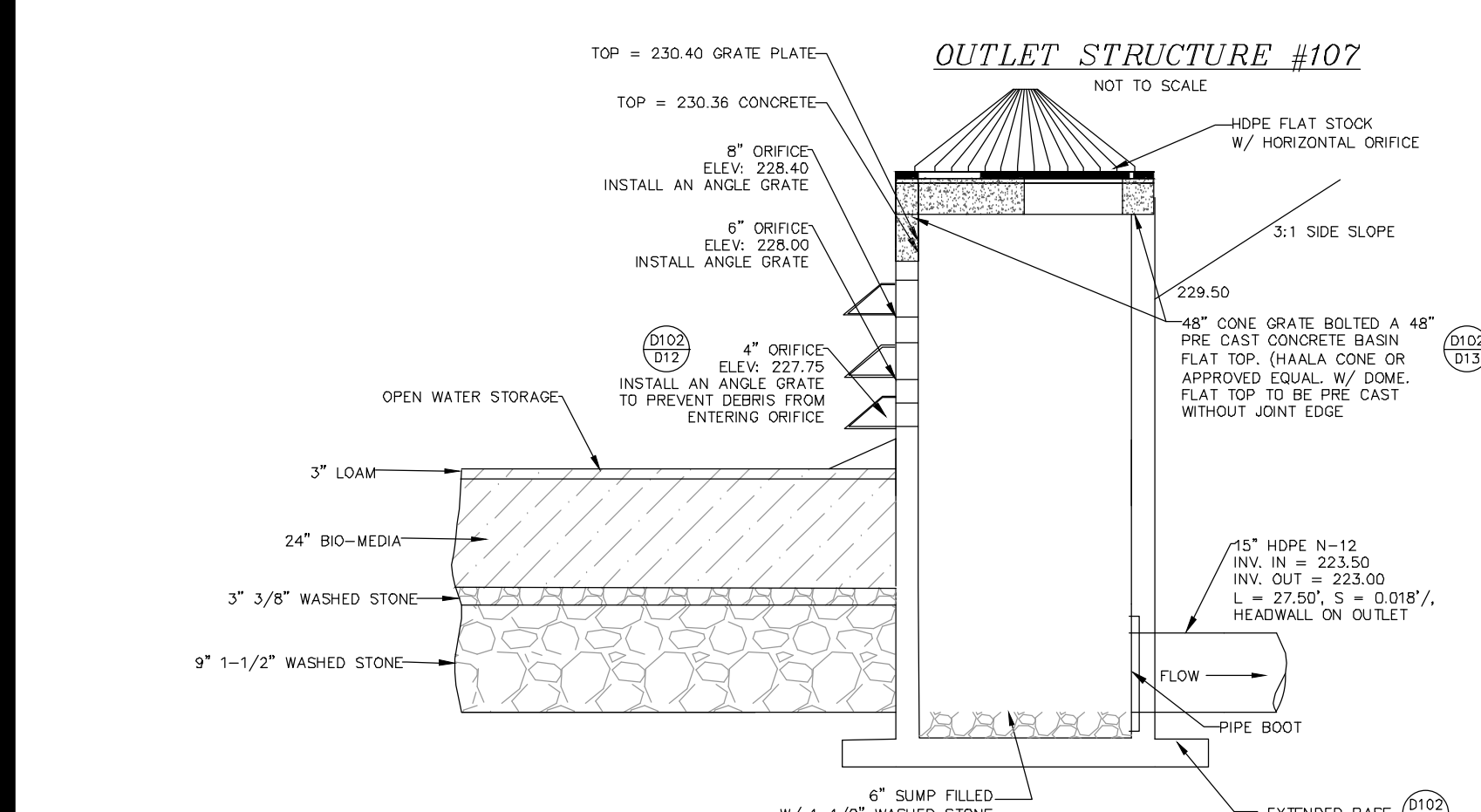
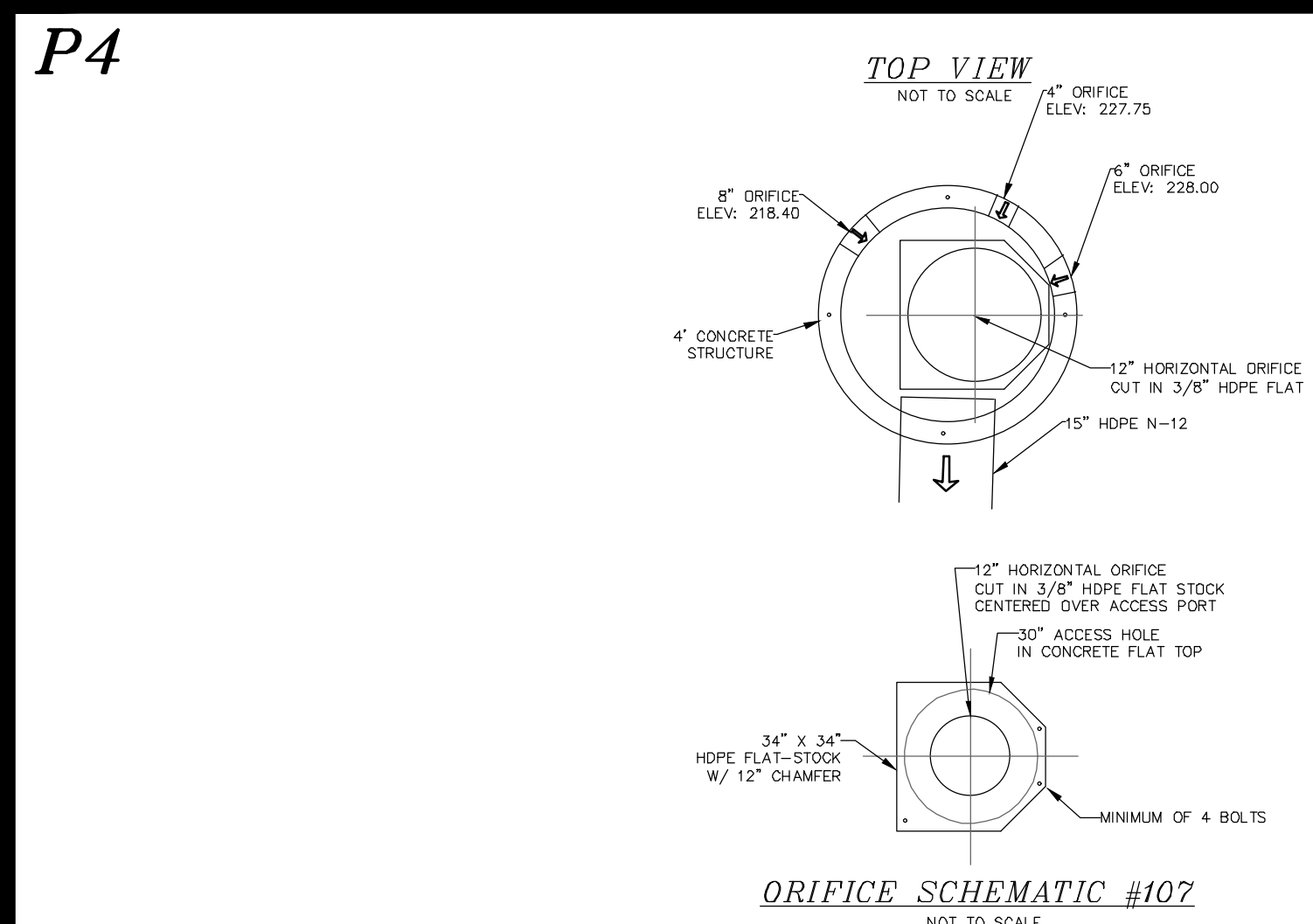
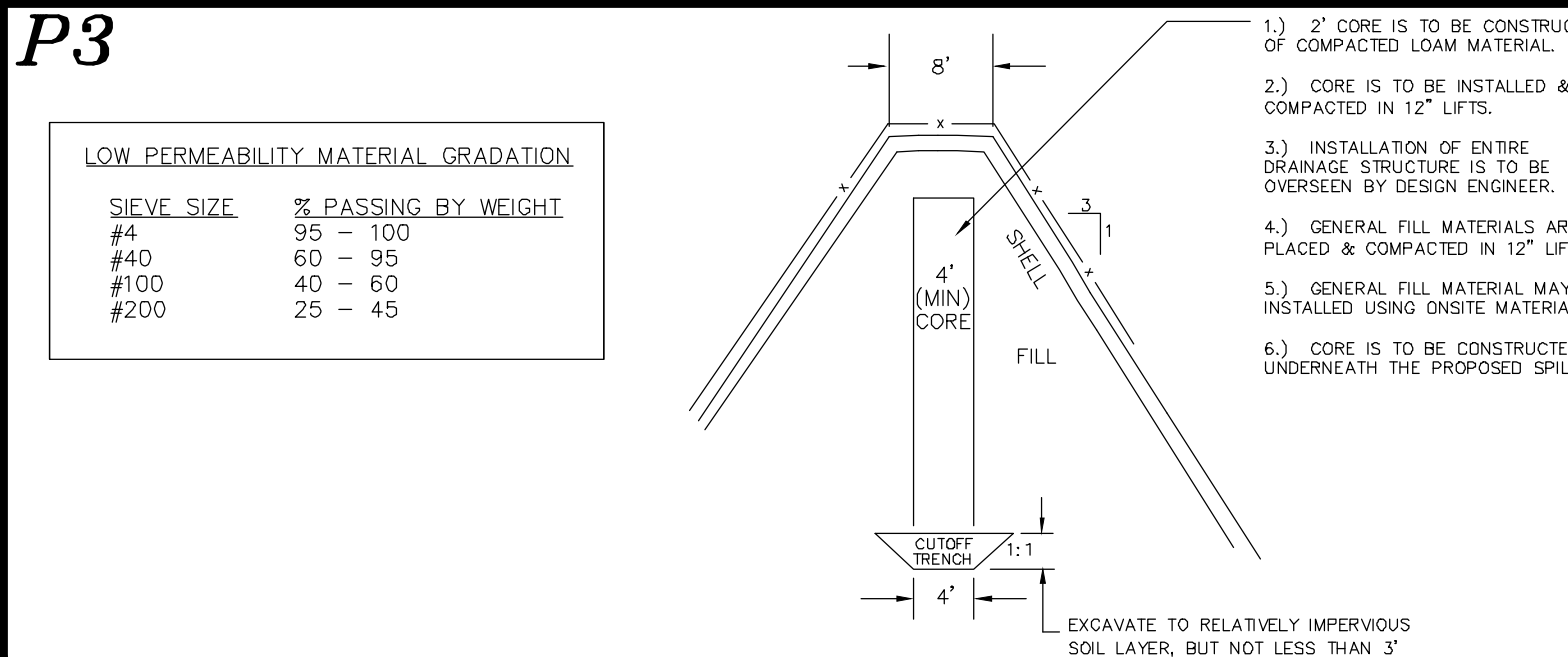
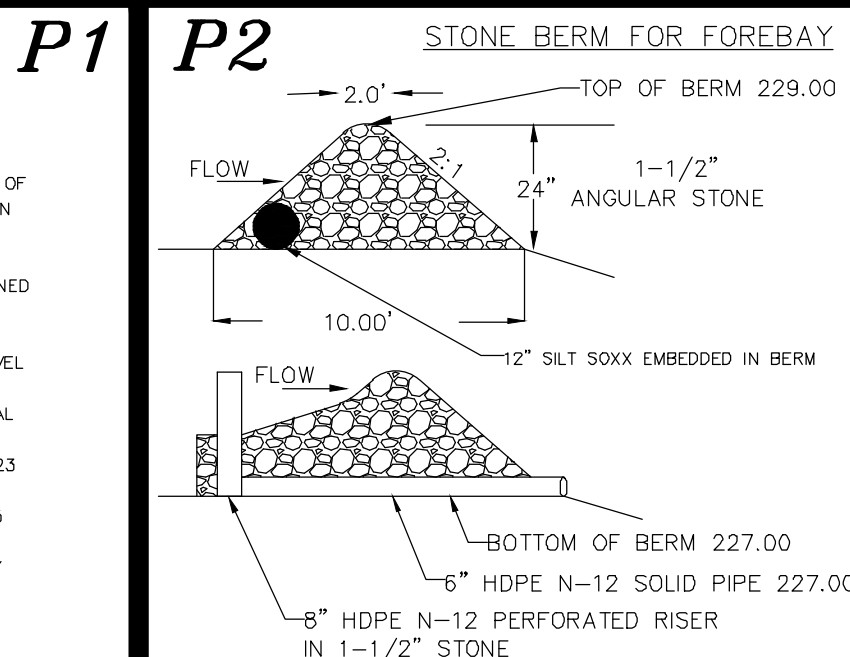
**RAIN GARDEN MIX**

THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PIT'S MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.



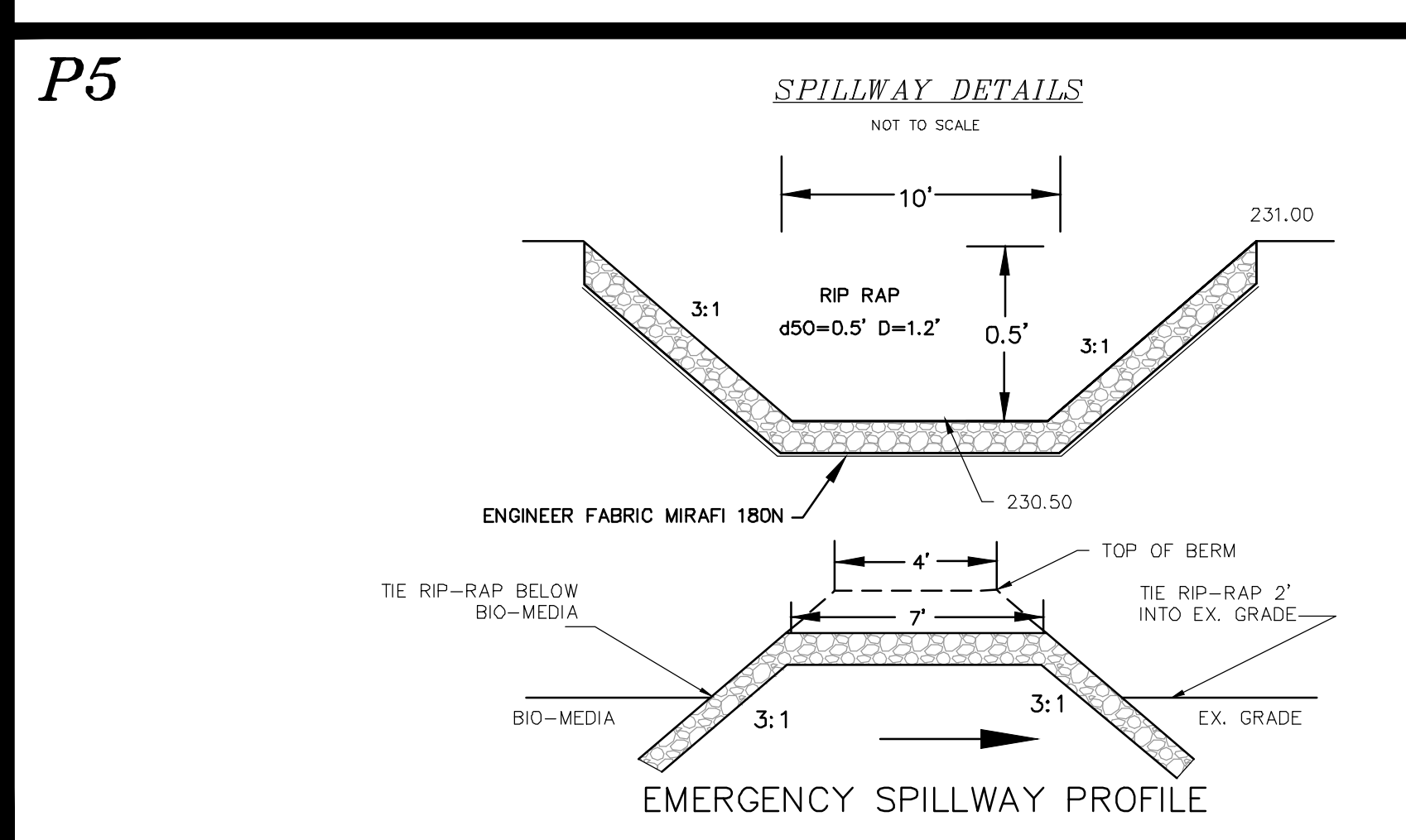
**PLAN VIEW RAIN GARDEN W/ INFILTRATION #107**

NOTE: BS&E TO INSPECT THE BOTTOM OF EXCAVATION PRIOR TO THE INSTALLATION OF SELECT MATERIALS. REMOVE ALL ORGANIC MATERIAL PRIOR TO SELECT MATERIALS. GRADE TO BE RETURNED WITH GRANULAR MATERIALS.



| ASTM C-33 FINE AGGREGATE |                     |  |
|--------------------------|---------------------|--|
| SIEVE SIZE               | % PASSING BY WEIGHT |  |
| 3/8"                     | 100                 |  |
| # 4                      | 95 - 100            |  |
| # 8                      | 80 - 100            |  |
| # 16                     | 50 - 85             |  |
| # 30                     | 25 - 60             |  |
| # 16                     | 10 - 30             |  |
| # 30                     | 2 - 10              |  |

| TABLE 7-24---RECOMMENDED RIP RAP GRADATION RANGES |                             |   |          |
|---|-----------------------------|---|----------|
| D50 SIZE=   | FEET                        |   | 6 INCHES |
|   | 0.5                         | 1 |          |
| % OF WEIGHT SMALLER THAN THE GIVEN D50 SIZE       | SIZE OF STONE (INCHES) FROM |   | TO       |
| 100%  | 9                           |   | 12       |
| 85%   | 8                           |   | 11       |
| 50%   | 6                           |   | 9        |
| 15%   | 2                           |   | 3        |



FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| REVISION |    | DATE       | DESCRIPTION                                   |
|----------|----|------------|---|
| #2       | #1 | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       |    | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

RAIN GARDEN W/ INFILTRATION #107  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097



| BIORETENTION FILTER MEDIA MIXTURES   |                              |                       |  |
|--|------------------------------|-----------------------|--|
| Component Material   | Percent of Mixture by Volume | Gradation of material |  |
|  |                              | Sieve No.             | Percent by Weight Passing Standard Sieve |
| Bioretention Filter Media Option A   |                              |                       |  |
| ASTM C-33 concrete sand  | 50 to 55                     |                       |  |
| Loomy sand topsoil, with fines as indicated                                | 20 to 30                     | 200                   | 15 to 25                                 |
| Moderately fine shredded bark or wood fiber mulch, with fines as indicated | 20 to 30                     | 200                   | < 5                                      |

| 3/8" WASHED CRUSHED STONE* |                     |
|----------------------------|---------------------|
| SIEVE SIZE                 | % PASSING BY WEIGHT |
| 1/2"                       | 100                 |
| 3/8"                       | 95 - 100            |
| # 4                        | 22 - 55             |
| # 8                        | 0 - 10              |

| 1-1/2" WASHED CRUSHED STONE* |                     |
|------------------------------|---------------------|
| SIEVE SIZE                   | % PASSING BY WEIGHT |
| 2"                           | 100                 |
| 1-1/2"                       | 90 - 100            |
| 1"                           | 20 - 55             |
| 1/2"                         | 0 - 15              |
| 3/8"                         | 0 - 5               |

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

\* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

- NOTES**
- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
  - SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
  - DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
  - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

**MAINTENANCE REQUIREMENTS**

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

**DESIGN REFERENCES**

- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

**RAIN GARDEN MIX**  
THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS' MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

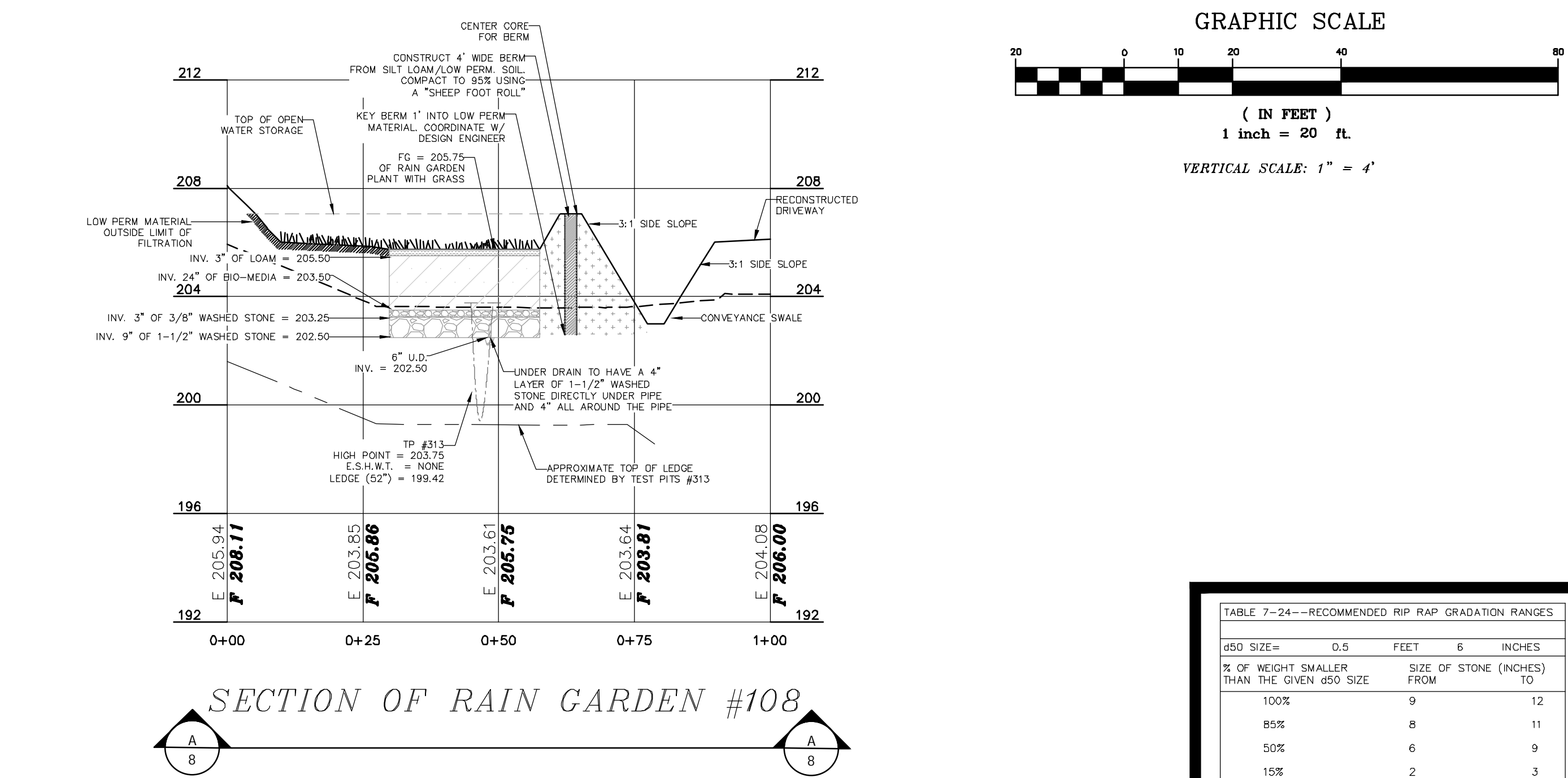
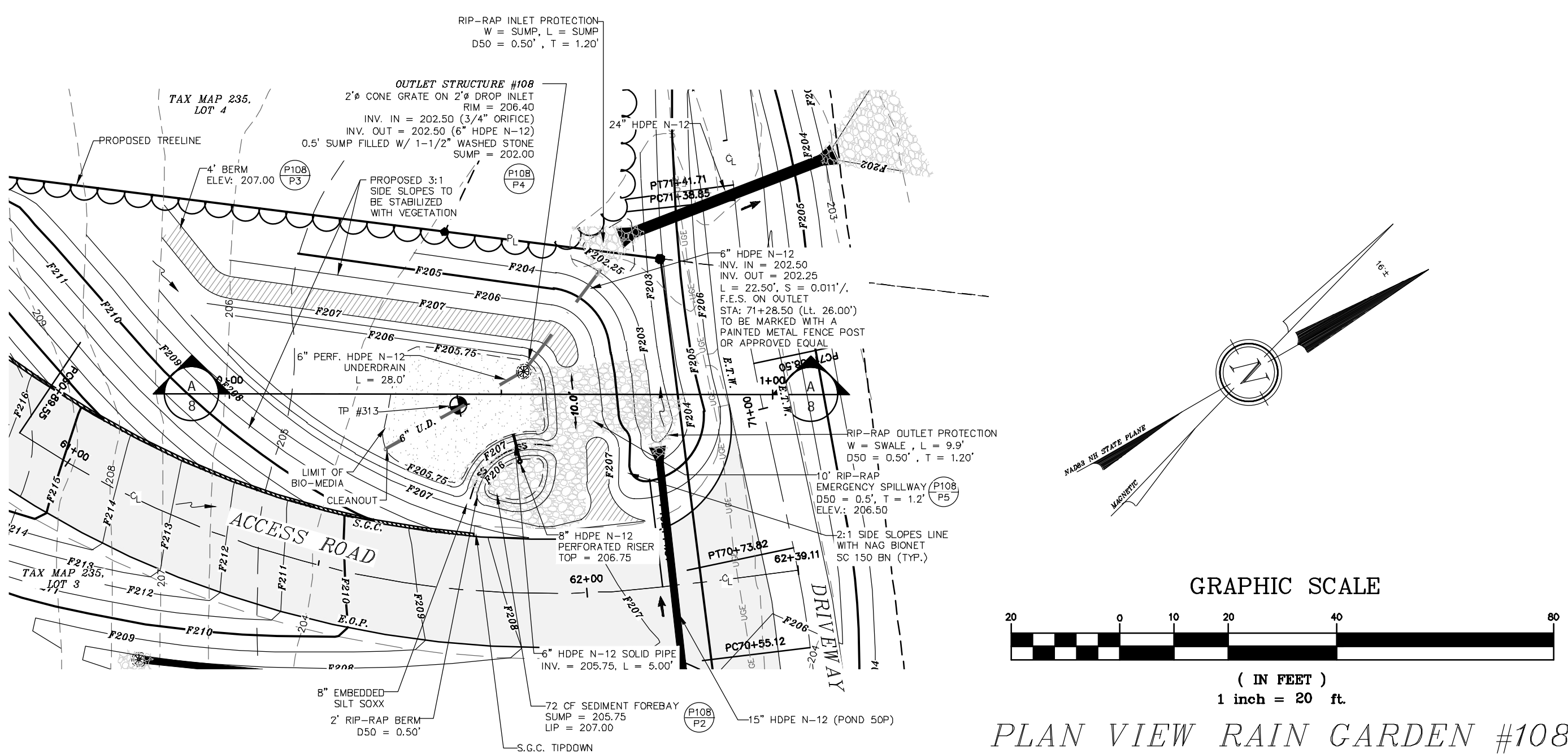
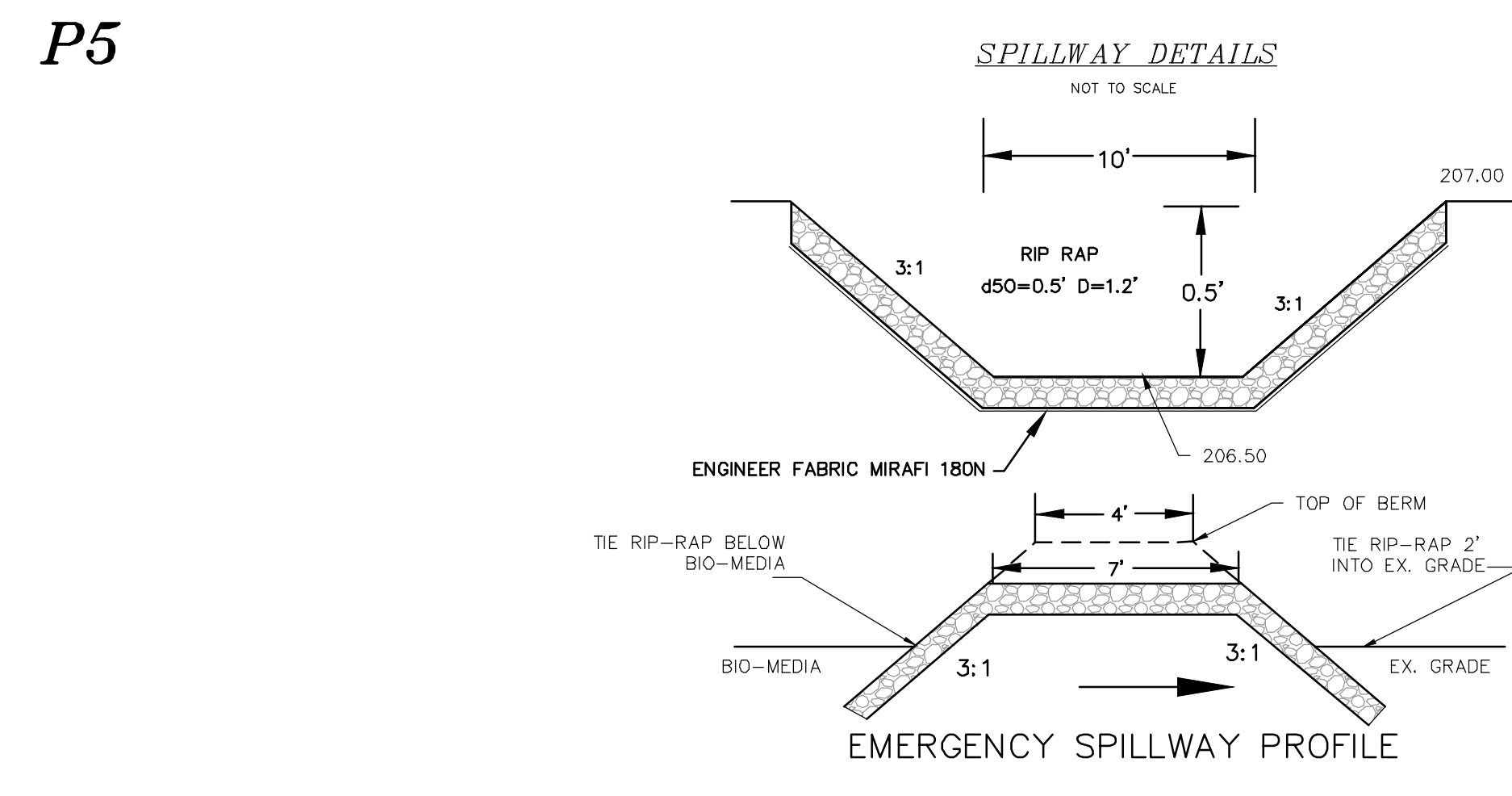
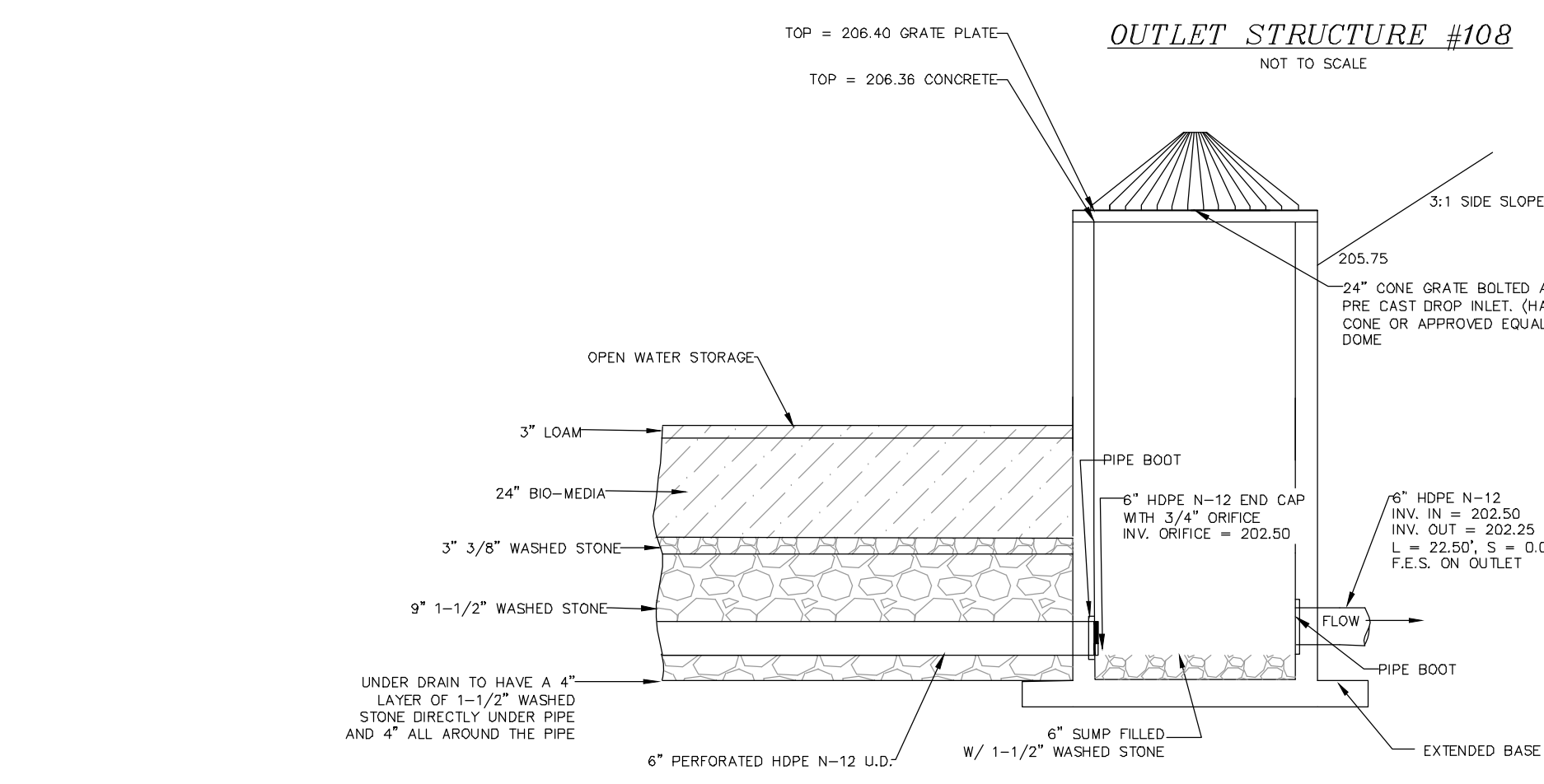
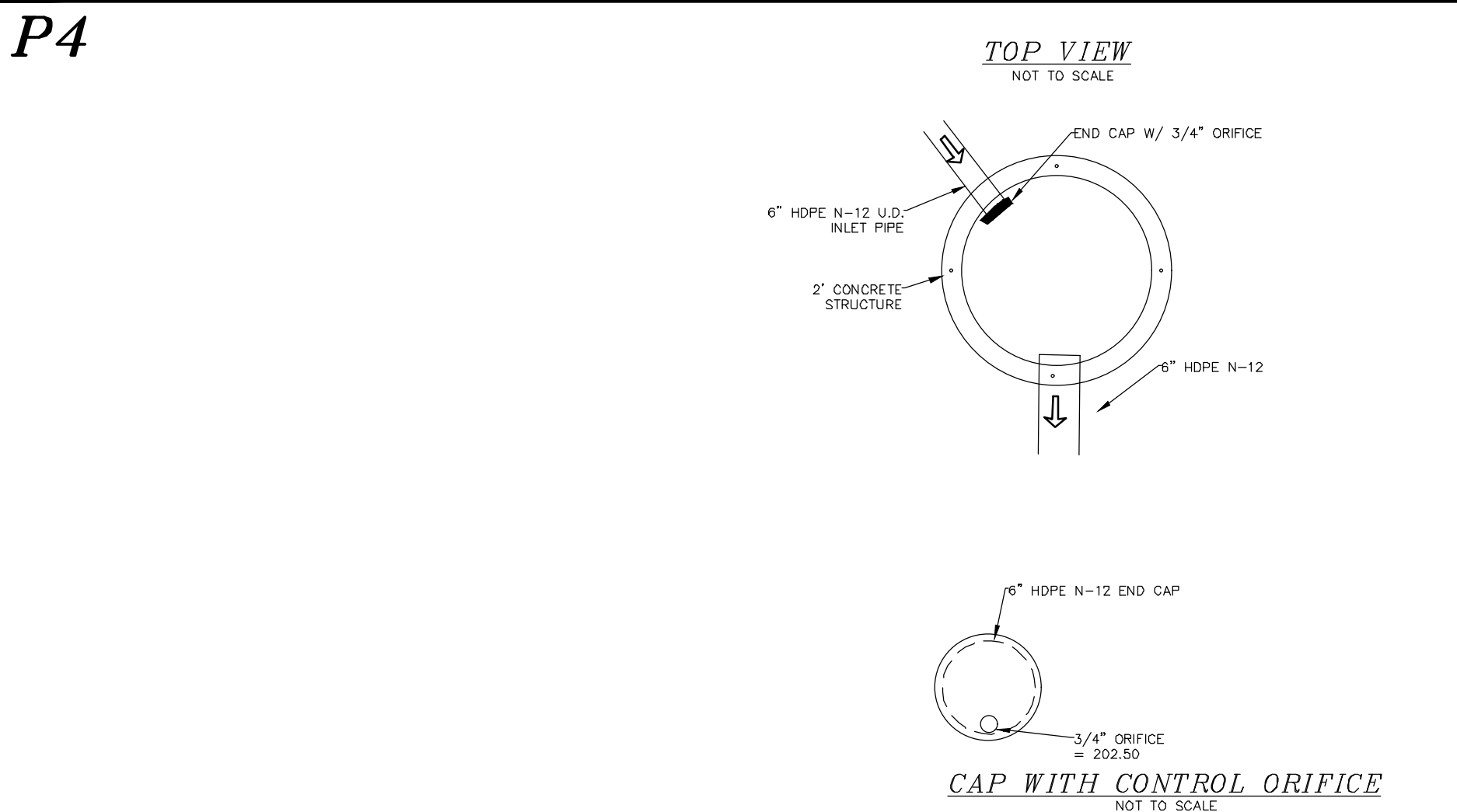
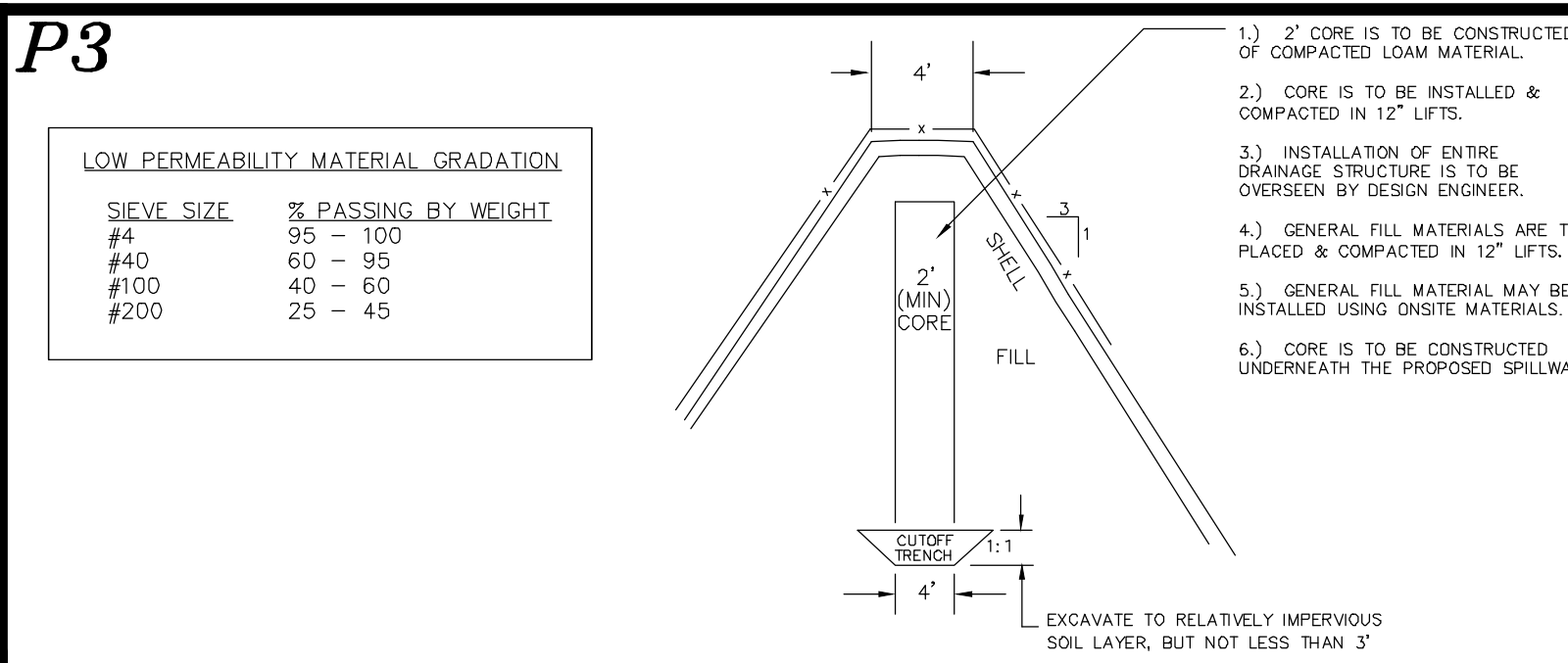
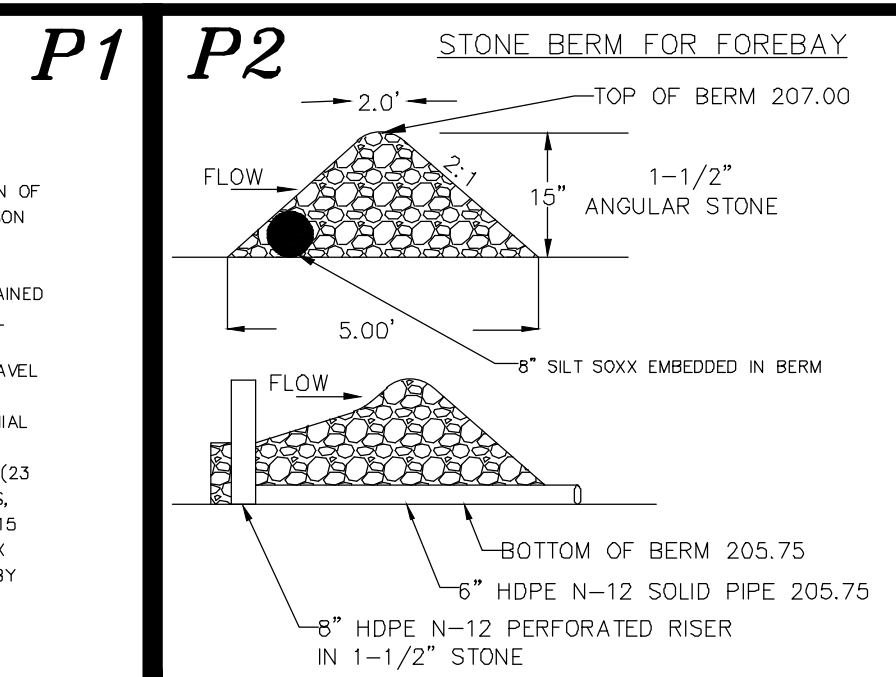


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

| d50 SIZE=                                   | 0.5 FEET                    | 6 INCHES |
|---|-----------------------------|----------|
| % OF HEIGHT SMALLER THAN THE GIVEN d50 SIZE | SIZE OF STONE (INCHES) FROM | TO       |
| 100%  | 9                           | 12       |
| 85%   | 8                           | 11       |
| 50%   | 6                           | 9        |
| 15%   | 2                           | 3        |



FOR TOWN APPROVAL PURPOSES :

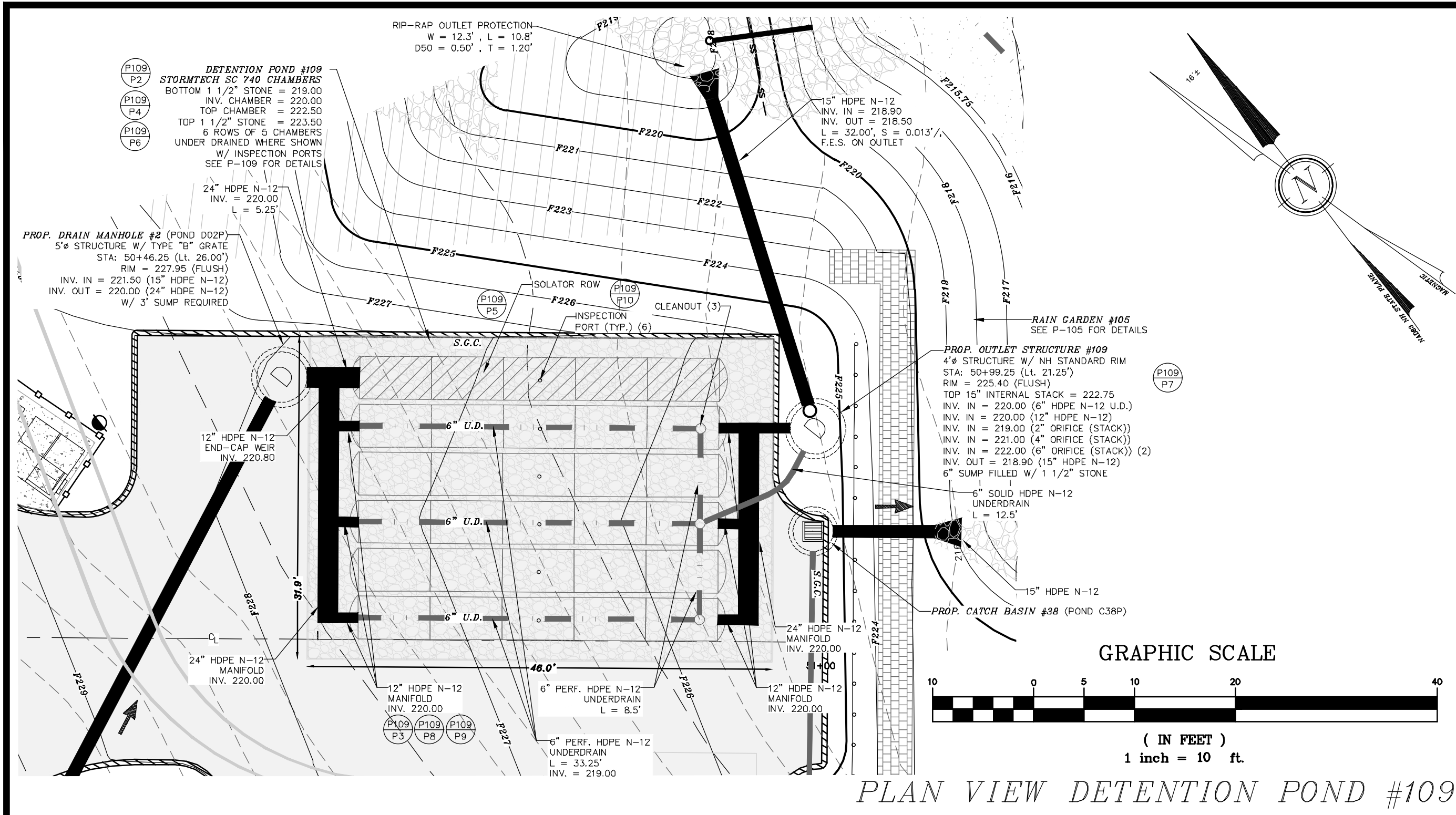
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

RAIN GARDEN #108  
LAND OF DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 19472  
LICENSED PROFESSIONAL ENGINEER



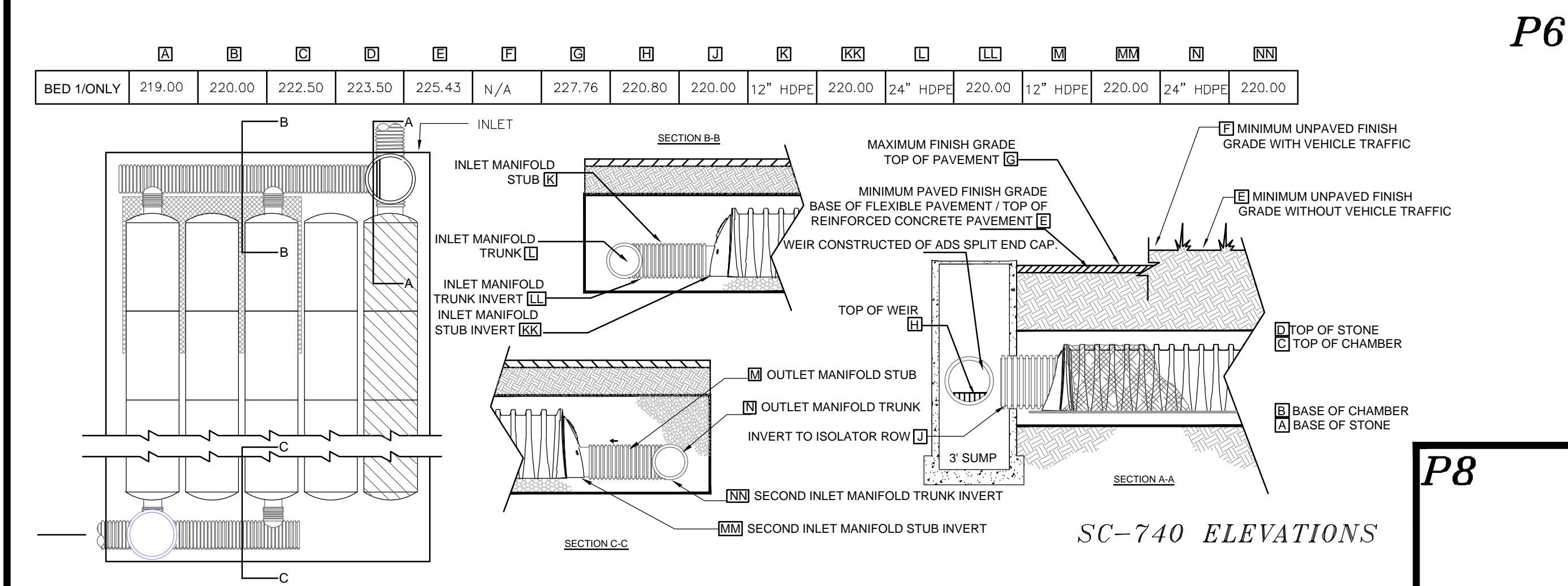
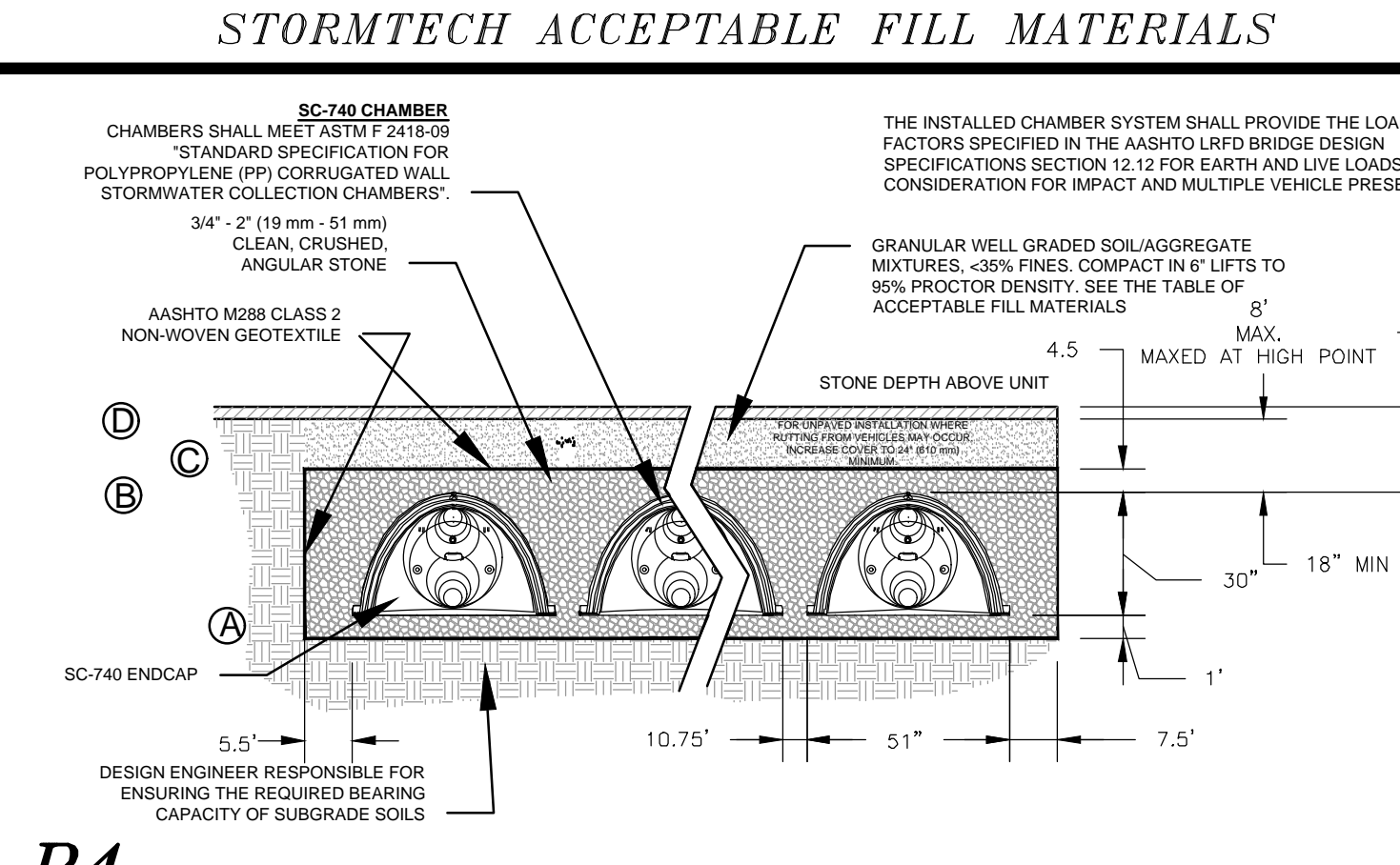
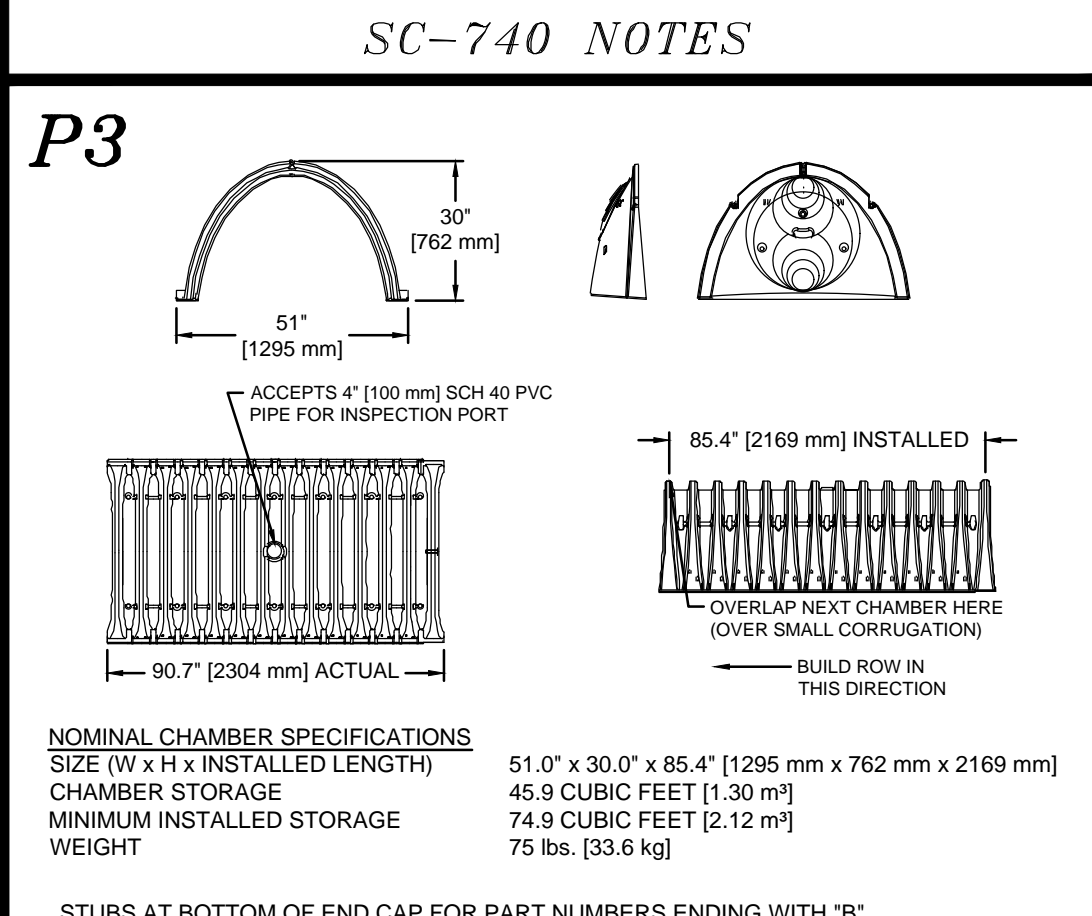
- P1**
- ALL DESIGN SPECIFICATIONS FOR STORMTECH SC-740 CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL, ADVANCED DRAINAGE SYSTEM, INC (ADS STORMTECH)
  - THE INSTALLATION OF STORMTECH SC-740 CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS
  - THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2694 OR VISIT [WWW.STORMTECH.COM](http://WWW.STORMTECH.COM) TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS
  - CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND LOAD FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS

**P2**

**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

| MATERIAL LOCATION | DESCRIPTION   | AASHTO M33 DESIGNATION   | COMPACTION/DENSITY REQUIREMENT   |
|-------------------|---|--|--|
| D                 | FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE. ADDRE NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THIS LAYER. | NA   | PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.   |
| C                 | FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDED STONE OR LAYER TO 1/4" (6.35 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE A PART OF THIS LAYER.    | 3.351, 4.467, 5.56, 6.67, 7.78, 8.89, 10   | BEGIN COMPACTION AFTER 1" (25.4 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. CONTACT ADDITIONAL LAYERS IN 1" (25.4 mm) LIFTS TO A MIN. 90% STANDARD PROCTOR DENSITY. SOLAR CROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 3000 lbs (13 kN). |
| B                 | EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYERS) TO THE 'C' LAYER ABOVE.   | CLEAN, CRUSHED ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 1 1/2" (19 - 38 mm) | NO COMPACTION REQUIRED   |
| A                 | FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.   | CLEAN, CRUSHED ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 1 1/2" (19 - 38 mm) | PLATE COMPACT OR ROLL TO ACHIEVE A 90% STANDARD PROCTOR DENSITY.   |

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M33) STONE."  
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (229 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.



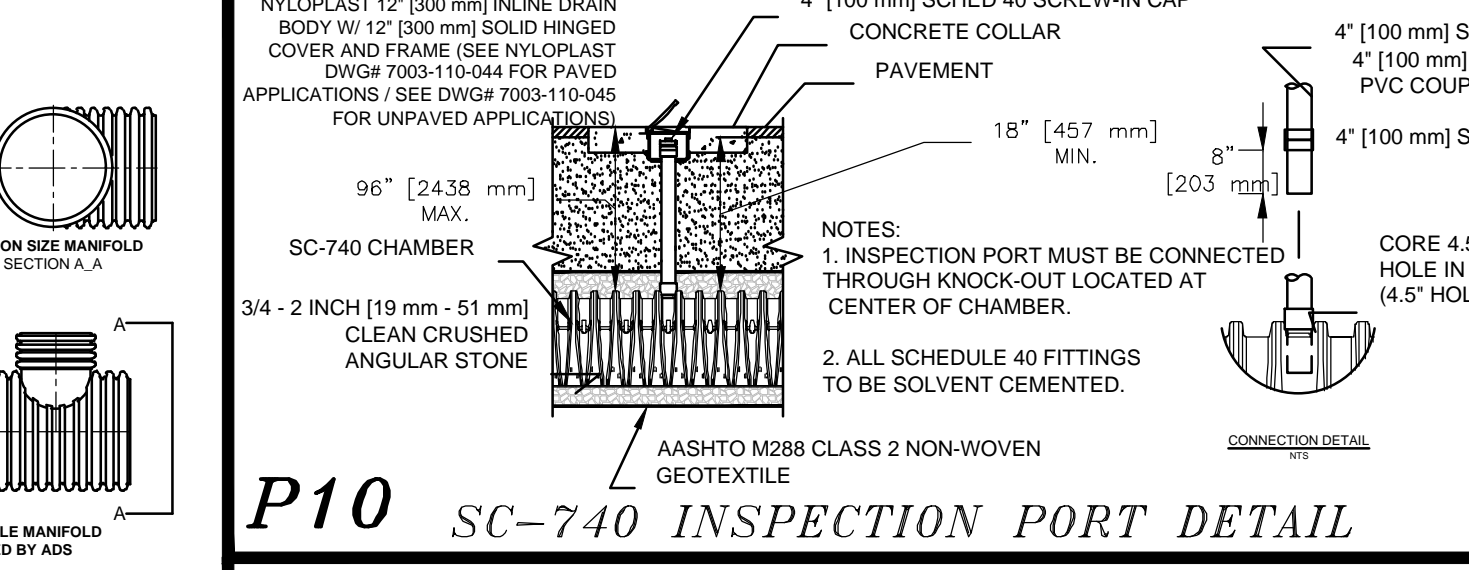
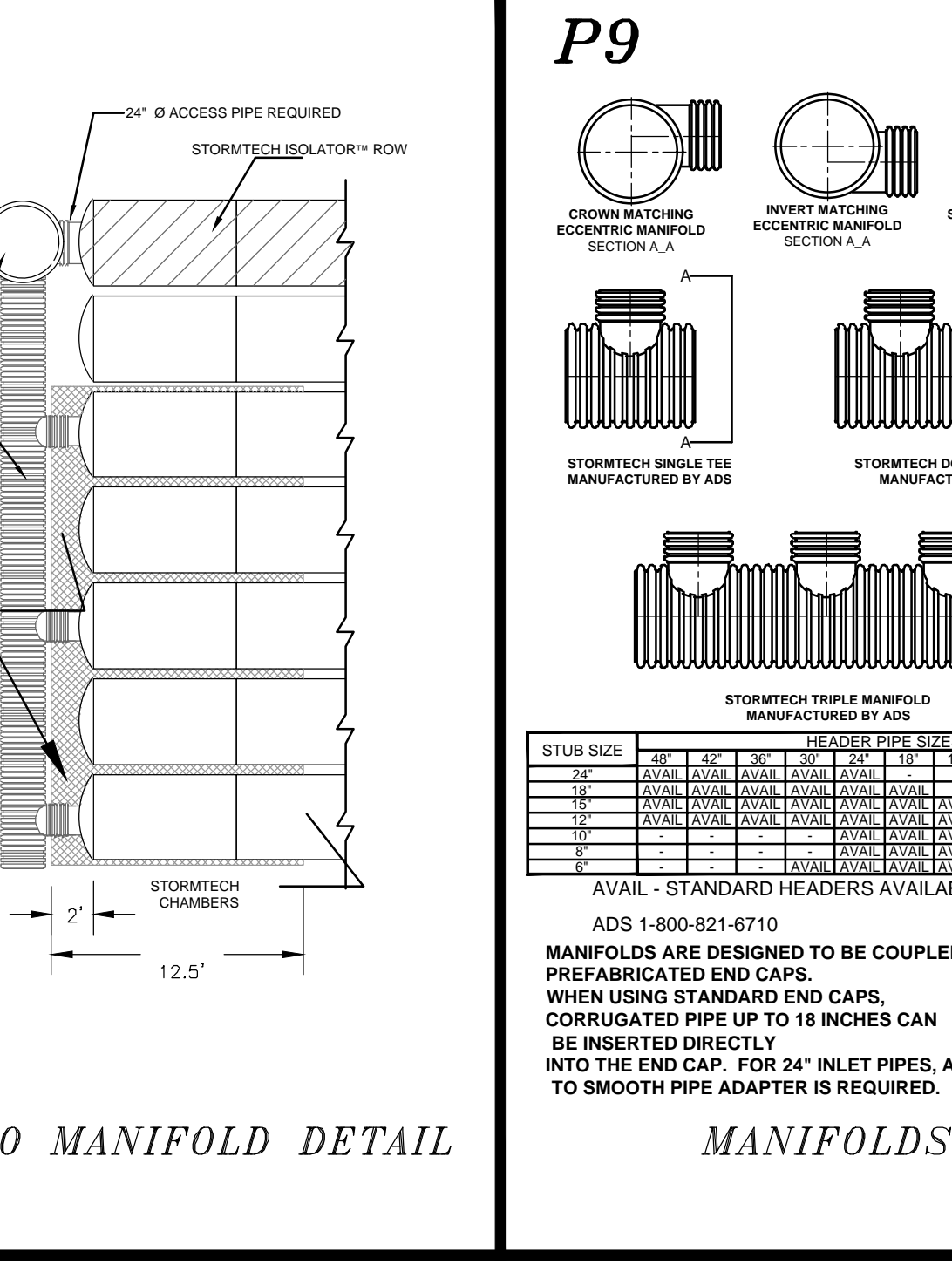
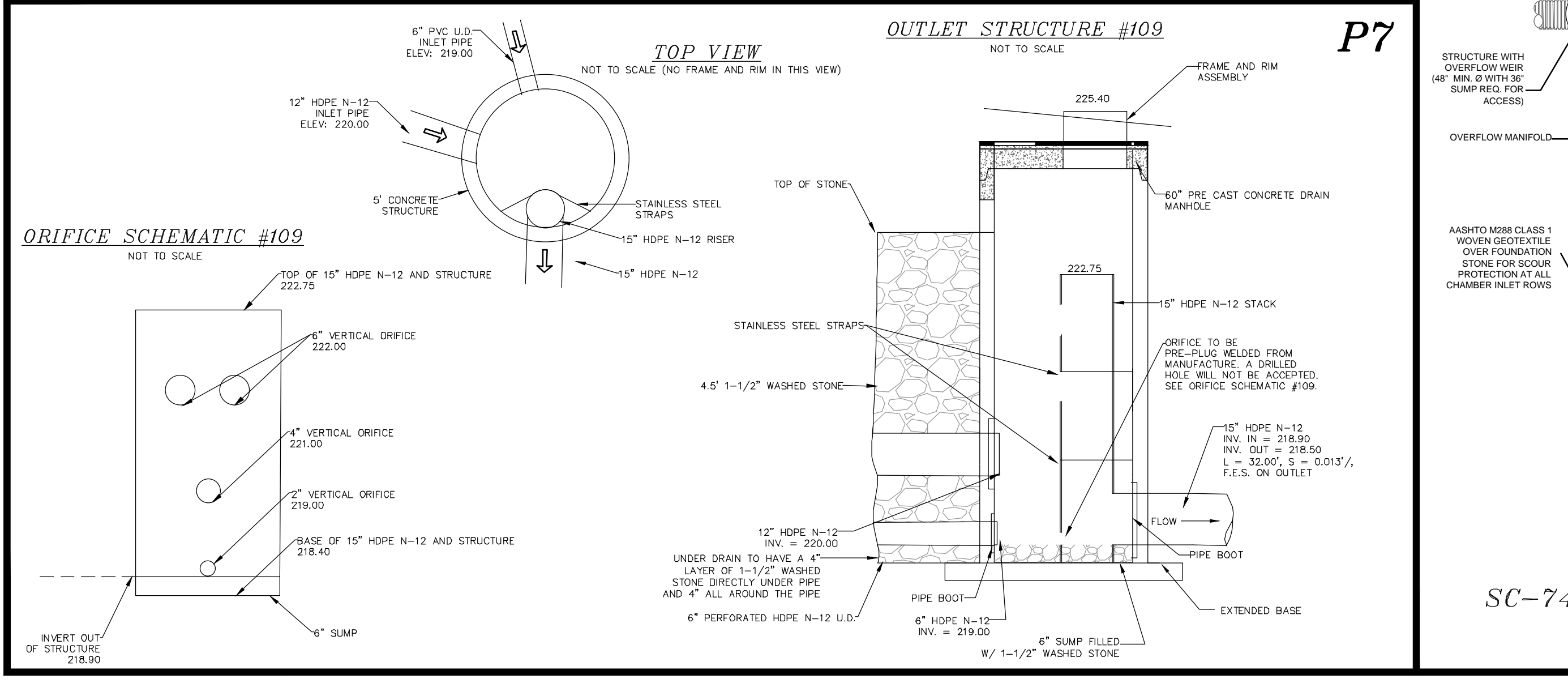
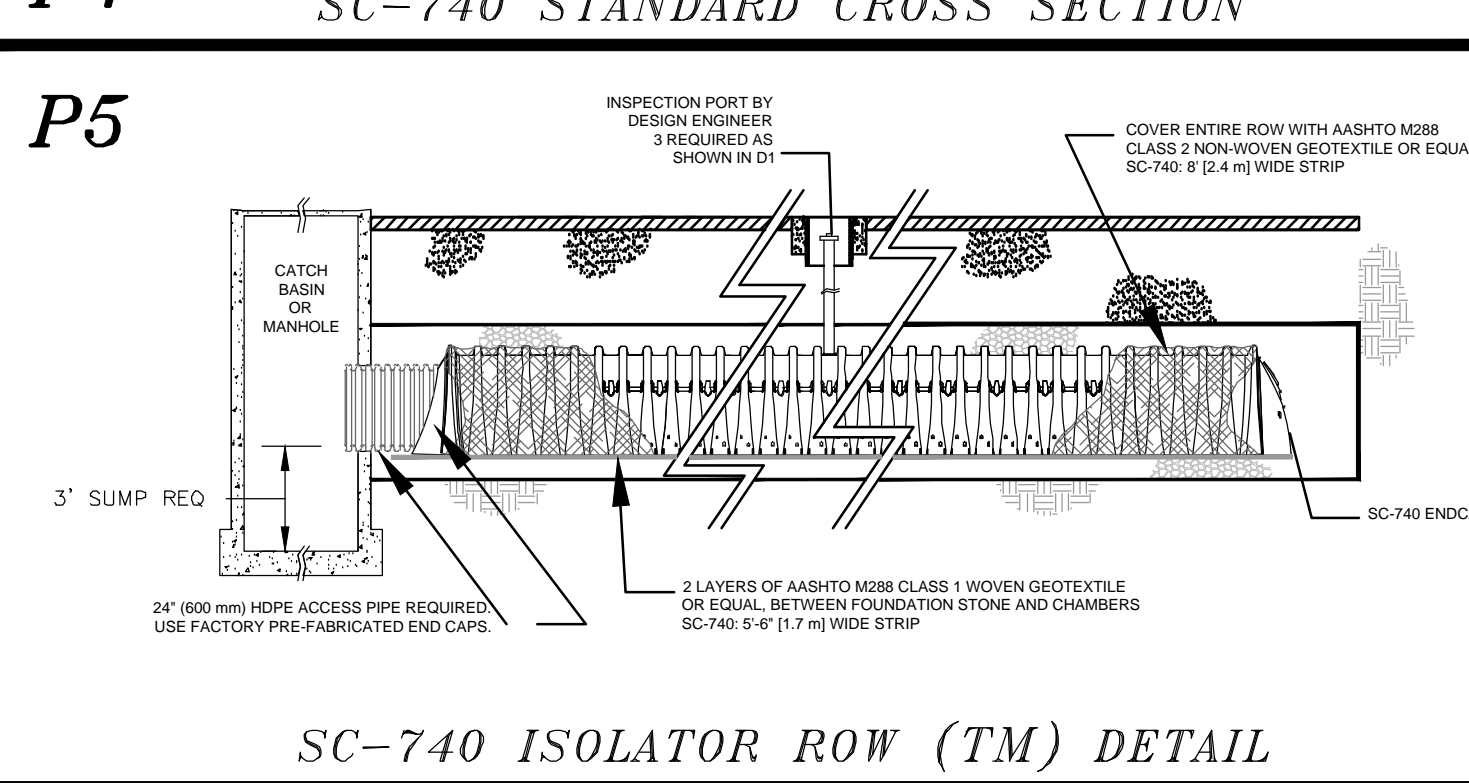
**SC-740 TECHNICAL SPEC.**

| PART#       | STUB         | A               | B               | C             |
|-------------|--------------|-----------------|-----------------|---------------|
| SC740EPE06T | 6" [150 mm]  | 10.90" [277 mm] | 18.50" [470 mm] | N/A           |
| SC740EPE06B | 6" [150 mm]  | 10.90" [277 mm] | N/A             | 0.50" [13 mm] |
| SC740EPE08T | 8" [200 mm]  | 12.20" [310 mm] | 16.50" [419 mm] | N/A           |
| SC740EPE08B | 8" [200 mm]  | 12.20" [310 mm] | N/A             | 0.60" [15 mm] |
| SC740EPE10T | 10" [250 mm] | 13.40" [340 mm] | 14.50" [368 mm] | N/A           |
| SC740EPE10B | 10" [250 mm] | 13.40" [340 mm] | N/A             | 0.70" [18 mm] |
| SC740EPE12T | 12" [300 mm] | 14.70" [373 mm] | 12.50" [318 mm] | N/A           |
| SC740EPE12B | 12" [300 mm] | 14.70" [373 mm] | N/A             | 1.20" [30 mm] |
| SC740EPE15T | 15" [375 mm] | 19.40" [493 mm] | 9.00" [229 mm]  | N/A           |
| SC740EPE15B | 15" [375 mm] | 18.40" [467 mm] | N/A             | 1.30" [33 mm] |
| SC740EPE18T | 18" [450 mm] | 19.70" [500 mm] | 5.00" [127 mm]  | N/A           |
| SC740EPE18B | 18" [450 mm] | 19.70" [500 mm] | N/A             | 1.60" [41 mm] |
| SC740EPE24B | 24" [600 mm] | 18.50" [470 mm] | N/A             | 0.10" [3 mm]  |

NOTE: ALL DIMENSIONS ARE NOMINAL

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

\*FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.



**P10**

**INSPECTION AND MAINTENANCE:**

**P11**

DUE TO THE CRITICAL NATURE OF INSPECTION AND MAINTENANCE STORMTECH SYSTEM AS DETAILED IN THE DESIGN MANUAL, ADVANCED DRAINAGE SYSTEM, INC (ADS STORMTECH) THE FOLLOWING THREE FIRMS ARE RECOMMENDED FOR THIS TASK. IT IS HIGHLY RECOMMENDED THAT THE OPERATOR OF THE PROPERTY HAVE A LONG TERM INSPECTION AND MAINTENANCE CONTACT WITH A FIRM THAT CAN COMPLETE THESE VITAL SERVICES.

AS FOR ISOLATOR ROW MAINTENANCE, CB MAINTENANCE, ETC., REGIONAL ADS REPRESENTATIVES RECOMMEND USING ANY OF THE FOLLOWING CONTACTS:

STORMWATER COMPLIANCE, LLC:  
 ATTN: NATHAN MARLES, 1-877-271-9055; [NMARLES@LIDTECH.COM](mailto:NMARLES@LIDTECH.COM)  
 163 THADEUS STREET, PORTLAND, ME 04106  
 INFO@STORMWATERCOMP.COM

TED BERRY COMPANY:  
 ATTN: DAVE BEAUCHAMP, 207-897-3348; [DAVID.BEAUCHAMP@TEDBERRYCOMPANY.COM](mailto:DAVID.BEAUCHAMP@TEDBERRYCOMPANY.COM)  
 521 FEDERAL ROAD, LIVERMORE, ME 04253  
 INFO@TEDBERRYCOMPANY.COM

BELLEMORE SEPTIC, SEWER, & DRAIN:  
 ATTN: RAY BELLEMORE, 603-641-6640; [RAYMOND@BELLEMORE.COM](mailto:RAYMOND@BELLEMORE.COM)  
 PO BOX 10369, BEDFORD, NH 03110

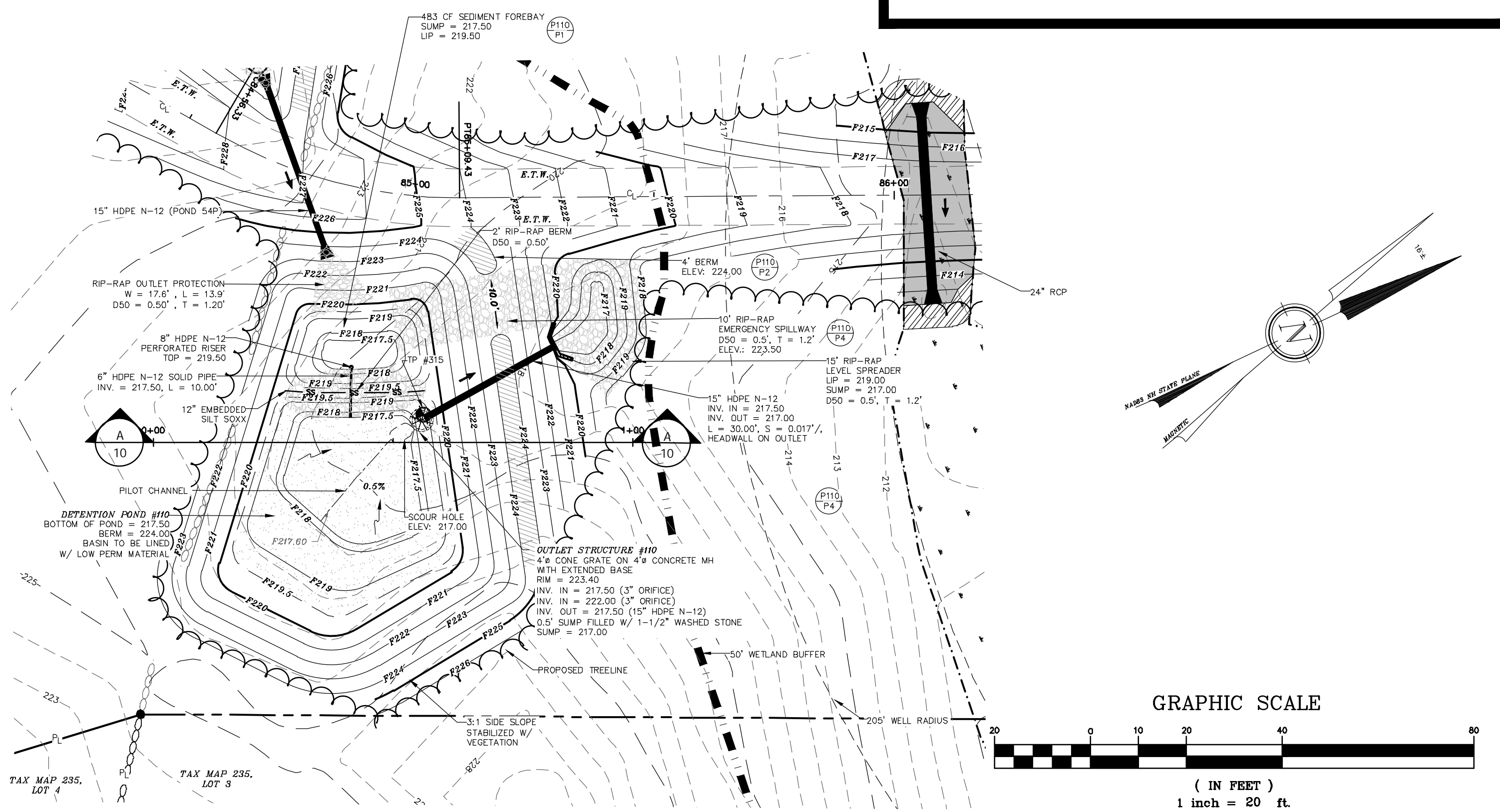
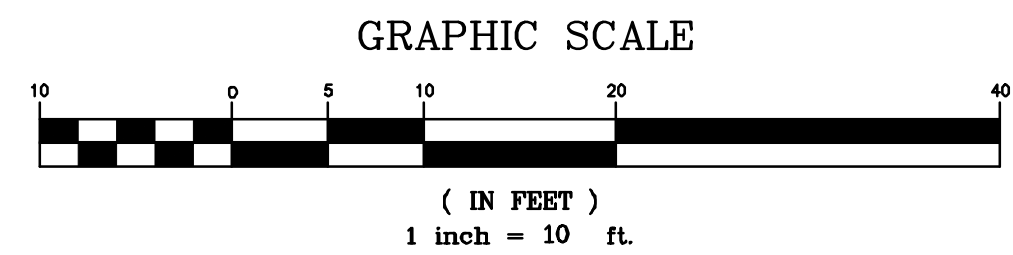
CONTACT AARON CHEEVER, P.E., ADVANCE DRAINAGE SYSTEMS, INC.  
 AARON.CHEEVER@ADS-PIPE.COM 1-978-302-0650  
 FOR PRODUCT AND PRICING

DETECTION POND #109  
 LAND OF DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

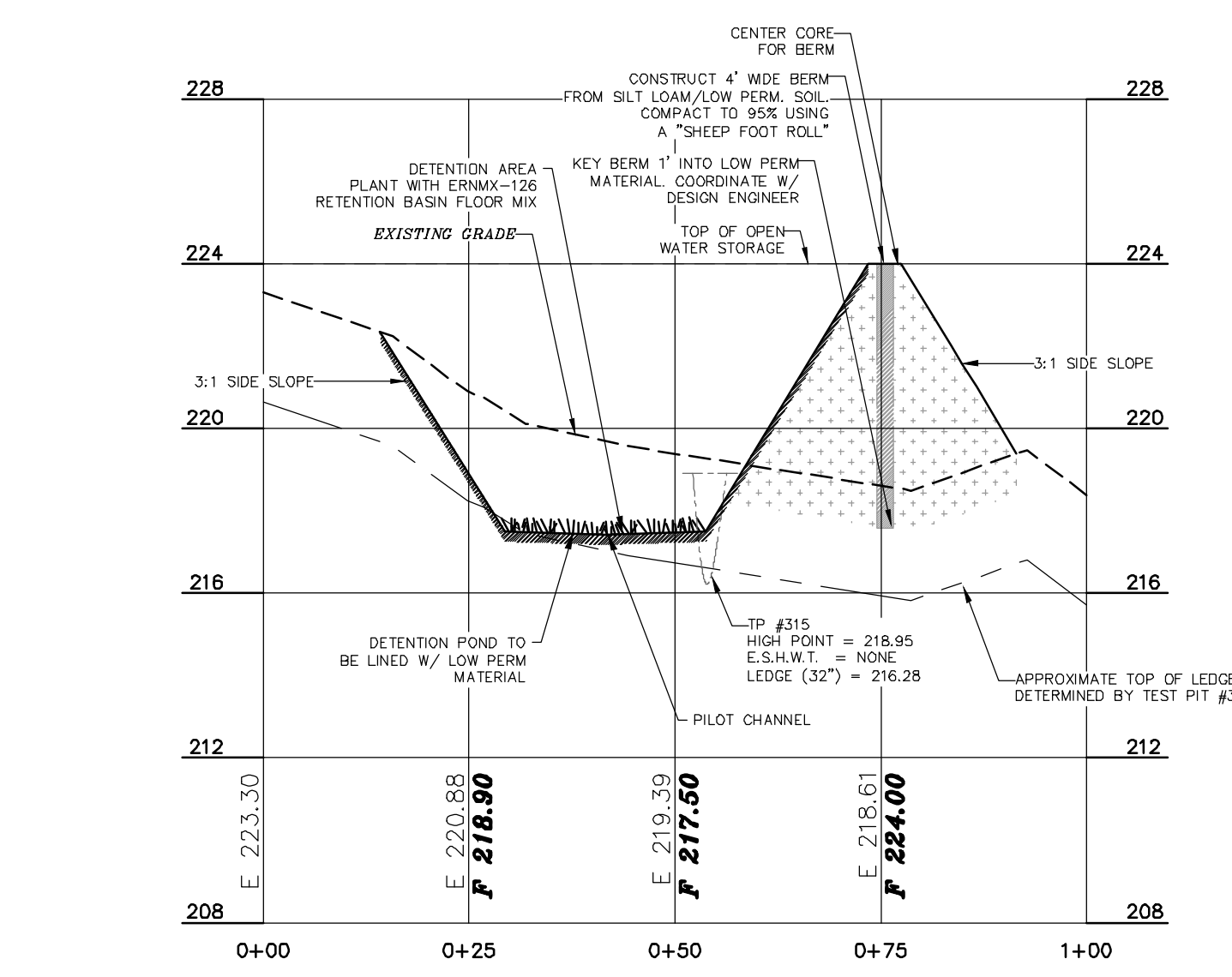
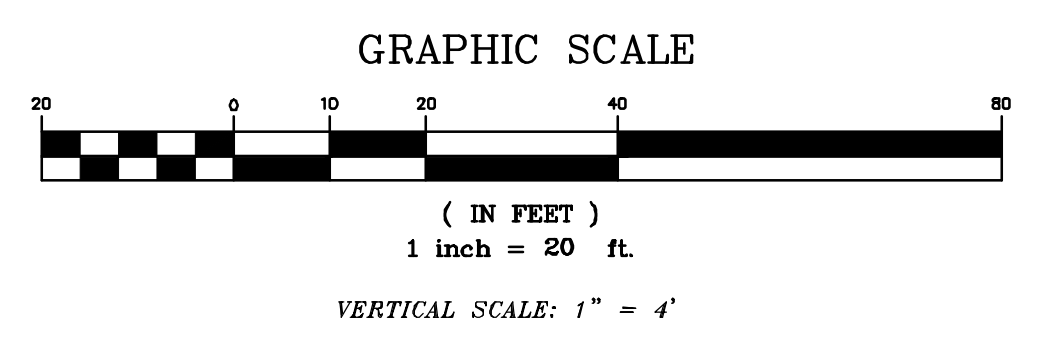
BERRY SURVEYING & ENGINEERING  
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 DATE: JUNE 14, 2021  
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REVISION #1  
 10-12-2021  
 08-30-2021  
 REVISION PER CMA ENGINEERS & NHDES AOT COMMENT  
 REVISION PER CMA ENGINEERS & NHDES AOT COMMENT

STATE OF NEW HAMPSHIRE  
 KENNETH A. BERRY  
 PROFESSIONAL ENGINEER



PLAN VIEW DETENTION POND #110



SECTION OF DETENTION POND #110

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

| d50 SIZE=                                   | 0.5 FEET                    | 6 INCHES |
|---|-----------------------------|----------|
| % OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE | SIZE OF STONE (INCHES) FROM | TO       |
| 100%  | 9                           | 12       |
| 85%   | 8                           | 11       |
| 50%   | 6                           | 9        |
| 15%   | 2                           | 3        |

**NOTES**

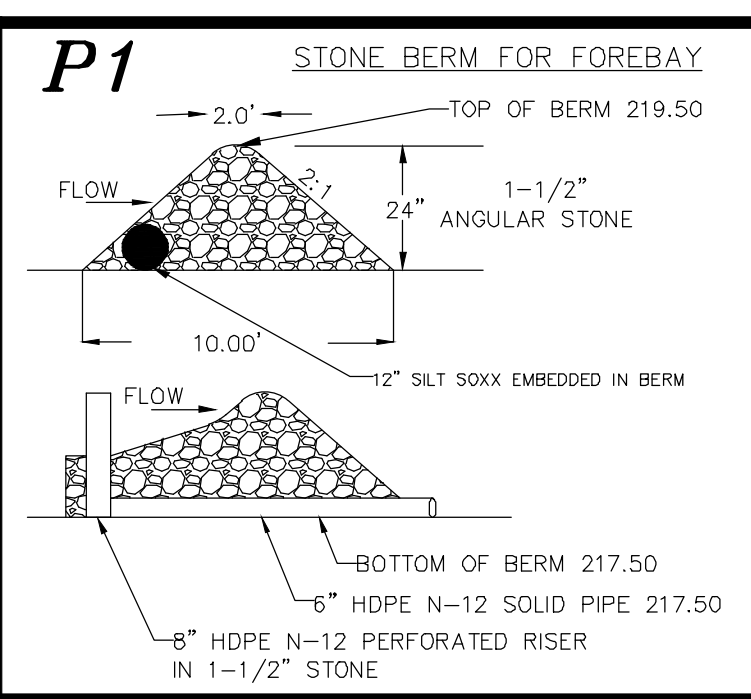
- DO NOT PLACE THE DETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE DETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

**MAINTENANCE REQUIREMENTS**

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

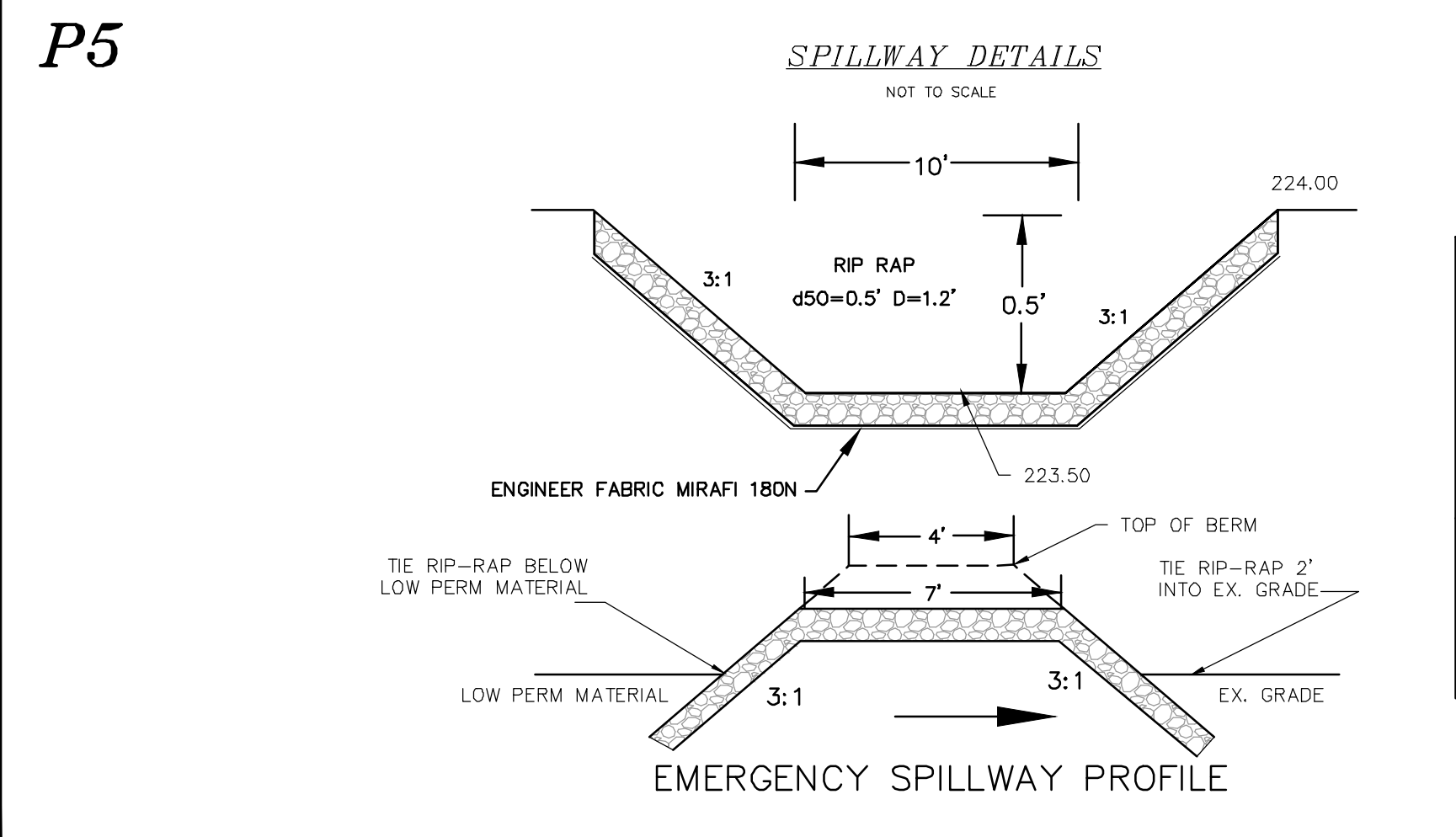
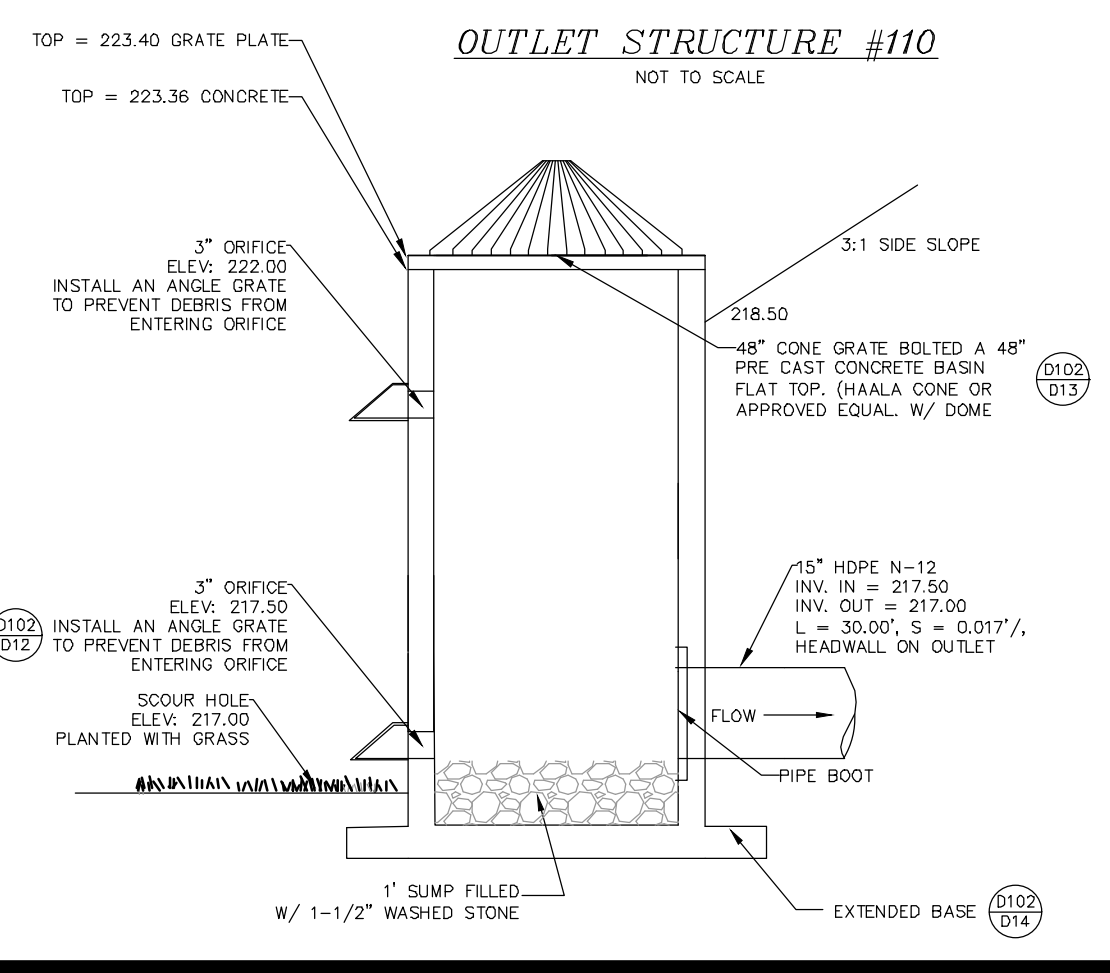
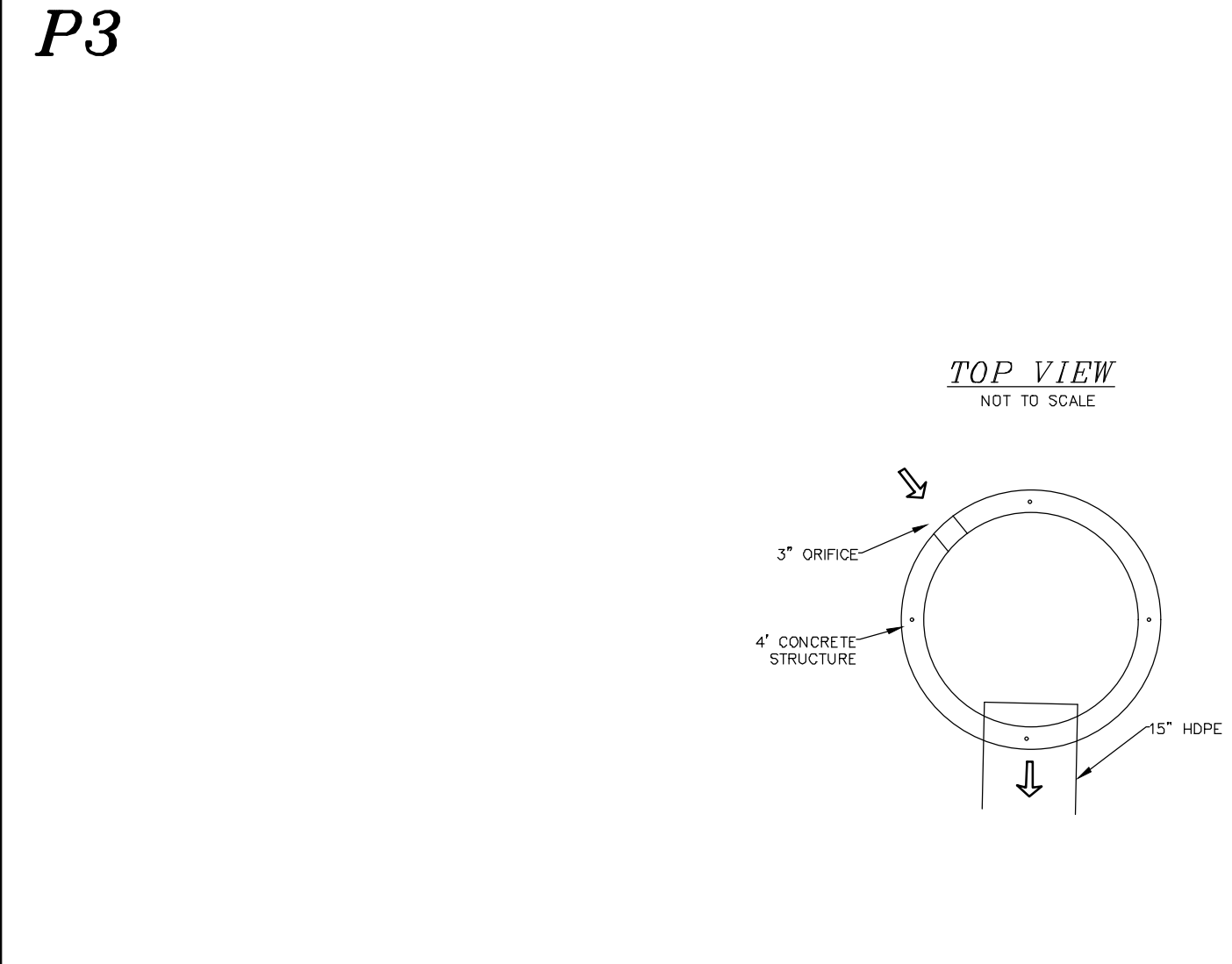
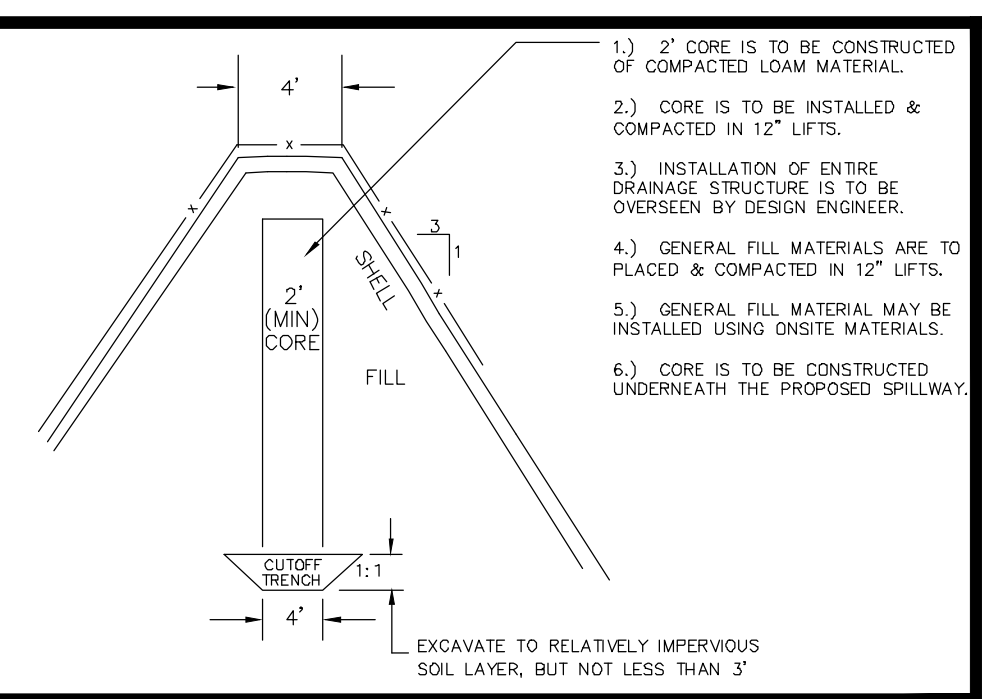
**DESIGN REFERENCES**

- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.



**P2: LOW PERMEABILITY MATERIAL GRADATION**

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| #4         | 95 - 100            |
| #40        | 60 - 95             |
| #100       | 40 - 60             |
| #200       | 25 - 45             |



FOR TOWN APPROVAL PURPOSES :

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| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

DETENTION POND #110  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
 KENNETH A. BERRY  
 No. 19472  
 LICENSED PROFESSIONAL ENGINEER

**NOTES:**

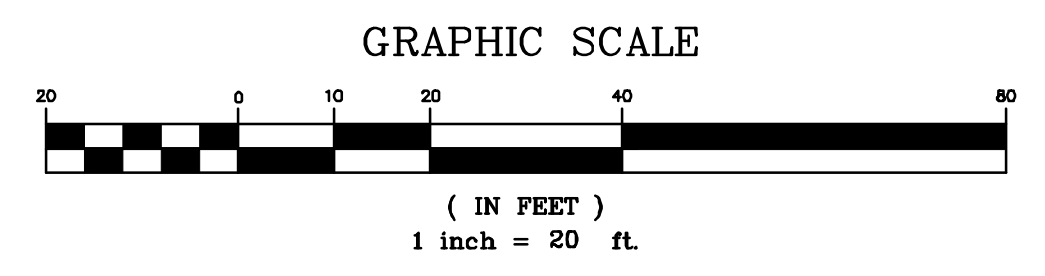
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- 2.) OWNER:
  - A.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 3.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- 6.) SEE SHEET 2 FOR STANDARD EROSION AND SEDIMENT CONTROL NOTES.

**LEGEND:**

- BMP / SUBSURFACE GRAVEL WETLAND PROTECTION
- PERIMETER CONTROL
- RESIDENTIAL/ROADWAY CONSTRUCTION
- IRON PIPE (FND)
- IRON BOUND (FND)
- REBAR (FND)
- UTILITY POLE
- GUY WIRE
- BENCH MARK
- RIP RAP
- STORMWATER BMP
- BERM
- SF SILT FENCE
- SS FILTREXX SILTSOXX
- TREE LINE
- C CONSTRUCTION FENCE

N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4268, PAGE 115  
TAX MAP 239, LOT 2

N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 993, PAGE 080  
TAX MAP 235, LOT 1



**STABILIZATION:**  
SEE WINTER CONSTRUCTION SPECIFICATIONS, DETAIL E22 SHEET E-102. UNDER SOME CONDITIONS, E.G. WINTER CONSTRUCTION OR RAIN EVENT SATURATION, AREA INTENDED FOR VEGETATION STABILIZATION MAY REQUIRE HAY MULCH OR R.E.C.B. STABILIZATION

**SOILS & DEWATERING:**

SEE SITE SPECIFIC SOILS MAP (SSSM)  
SEE MESSOIL USDA-NRCS  
ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

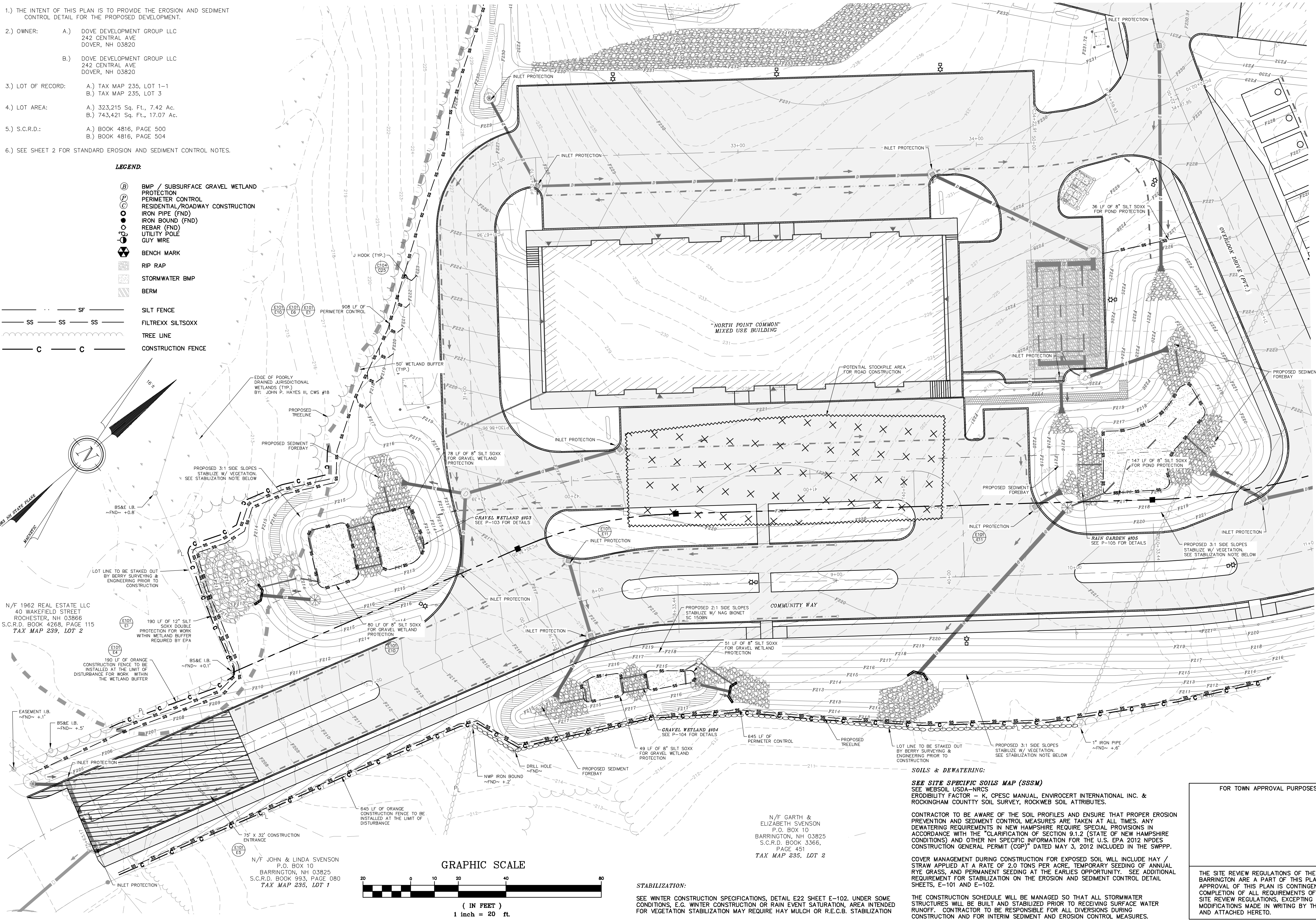
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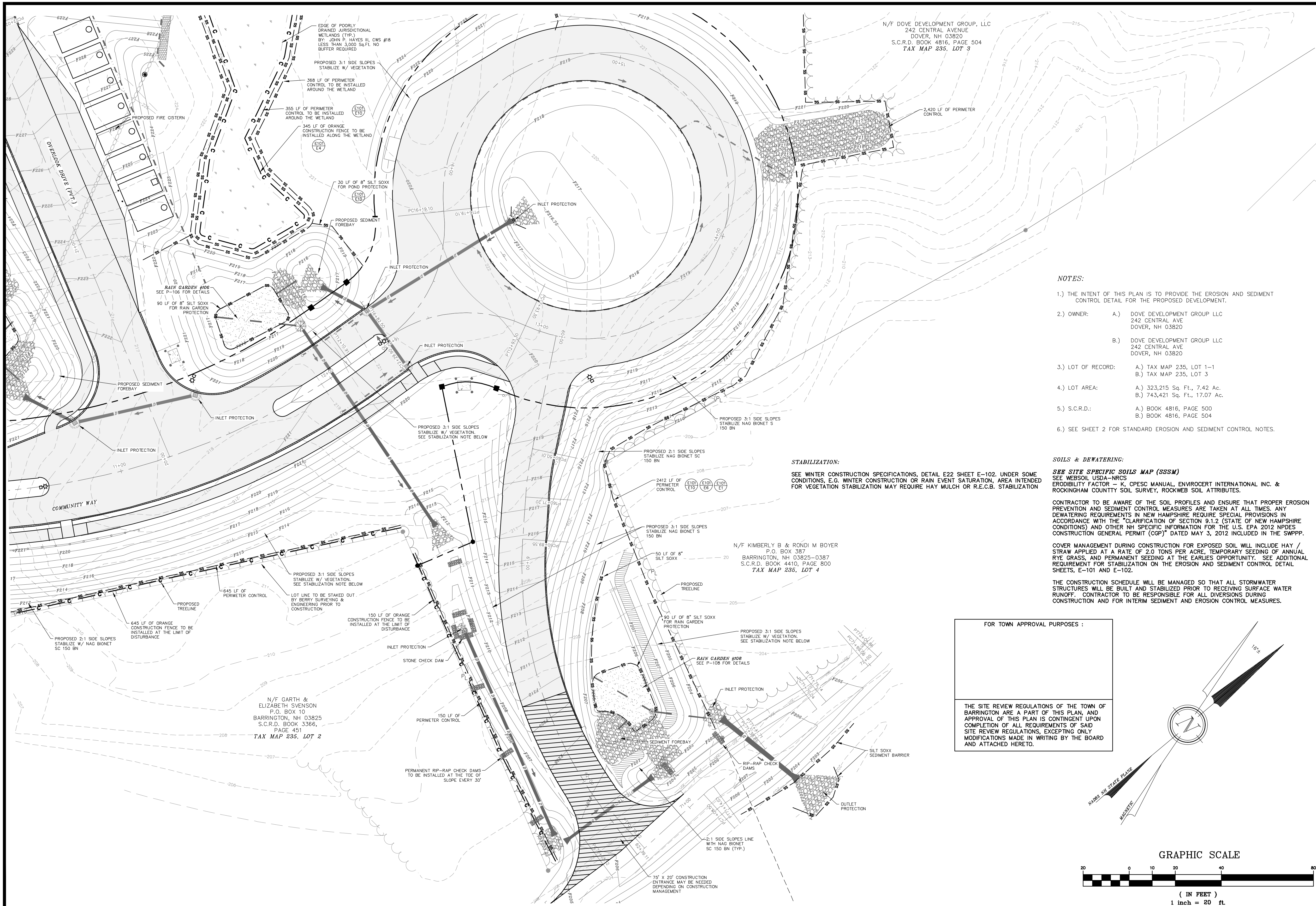


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EROSION AND SEDIMENT CONTROL PLAN SOUTH  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
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SHEET 59 OF 109



N/F DOVE DEVELOPMENT GROUP, LLC  
 242 CENTRAL AVENUE  
 DOVER, NH 03820  
 S.C.R.D. BOOK 4816, PAGE 504  
 TAX MAP 235, LOT 3

N/F GARTH & ELIZABETH SVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 3366, PAGE 451  
 TAX MAP 235, LOT 2

N/F KIMBERLY B & RONI M BOYER  
 P.O. BOX 387  
 BARRINGTON, NH 03825-0387  
 S.C.R.D. BOOK 4410, PAGE 800  
 TAX MAP 235, LOT 4

**NOTES:**

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242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 3.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
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- 4.) LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
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**SOILS & DEWATERING:**

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 SEE WEBSOL USDA-NRCS  
 ERODIBILITY FACTOR - K' OPSC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

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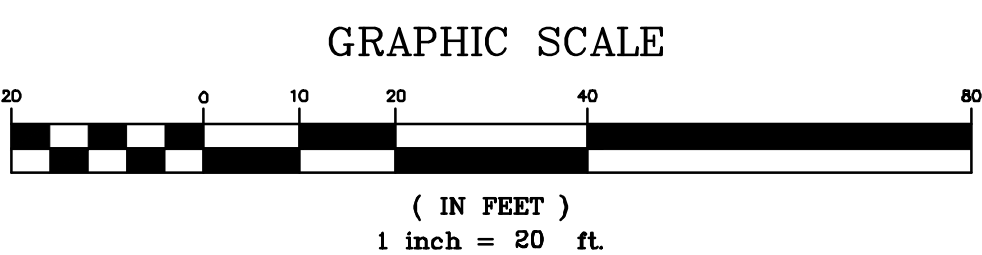
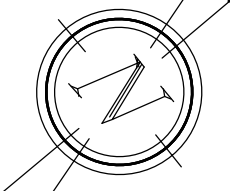
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**STABILIZATION:**

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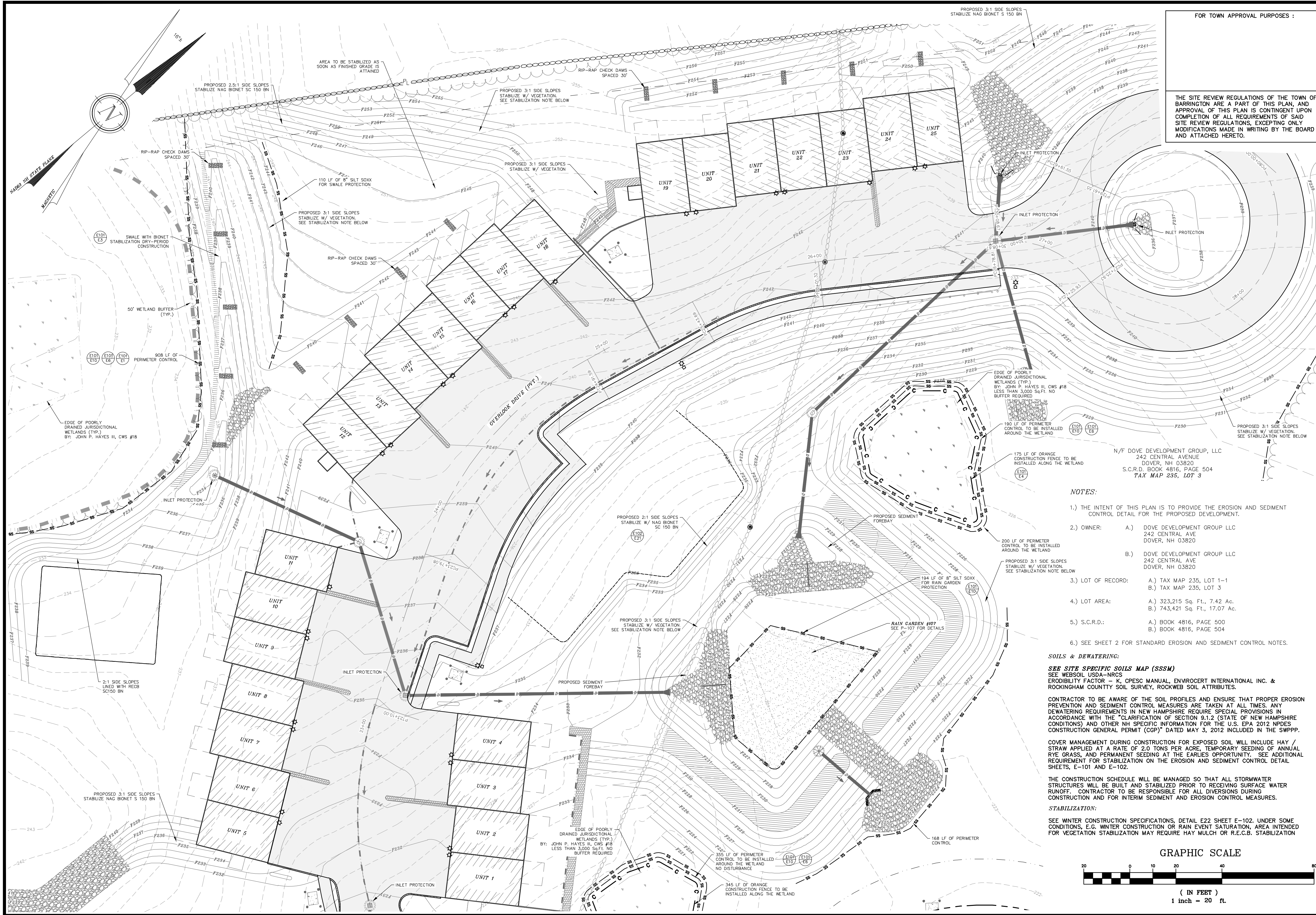
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EROSION AND SEDIMENT CONTROL PLAN EAST  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
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 SCALE : 1 IN. EQUALS 20 FT.  
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DOVER, NH 03820
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  - S.C.R.D.:
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  - SEE SHEET 2 FOR STANDARD EROSION AND SEDIMENT CONTROL NOTES.

**SOILS & DEWATERING:**

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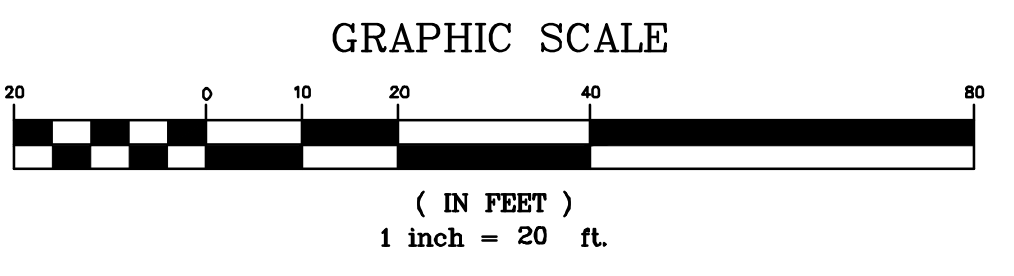
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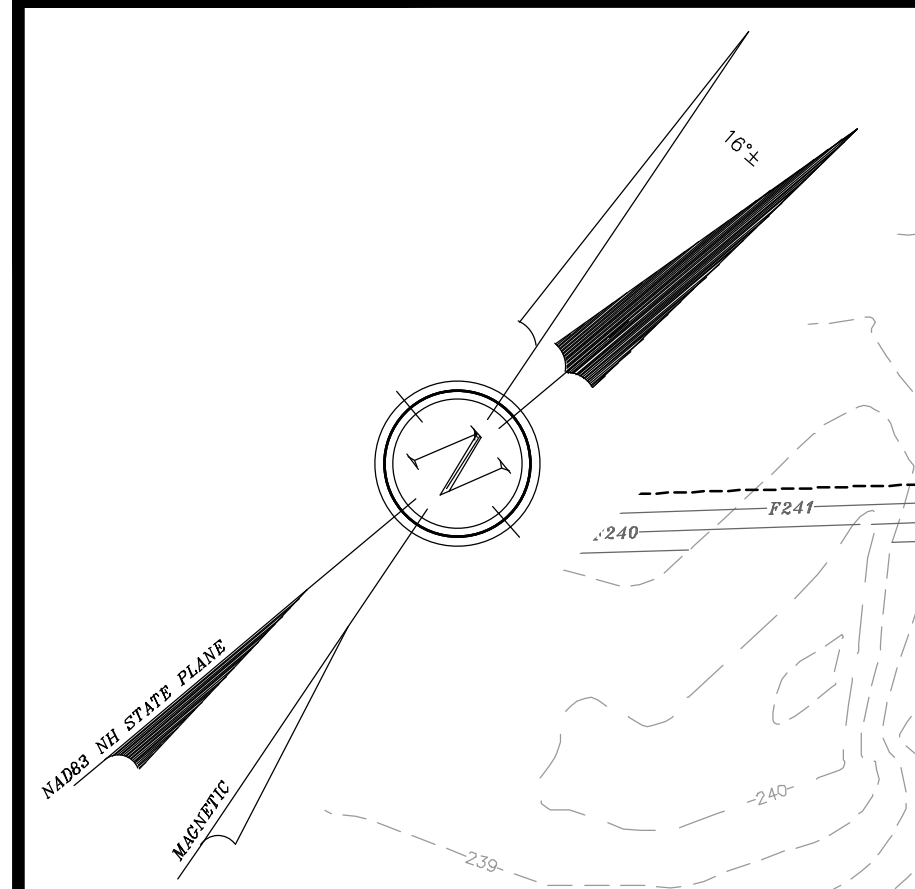
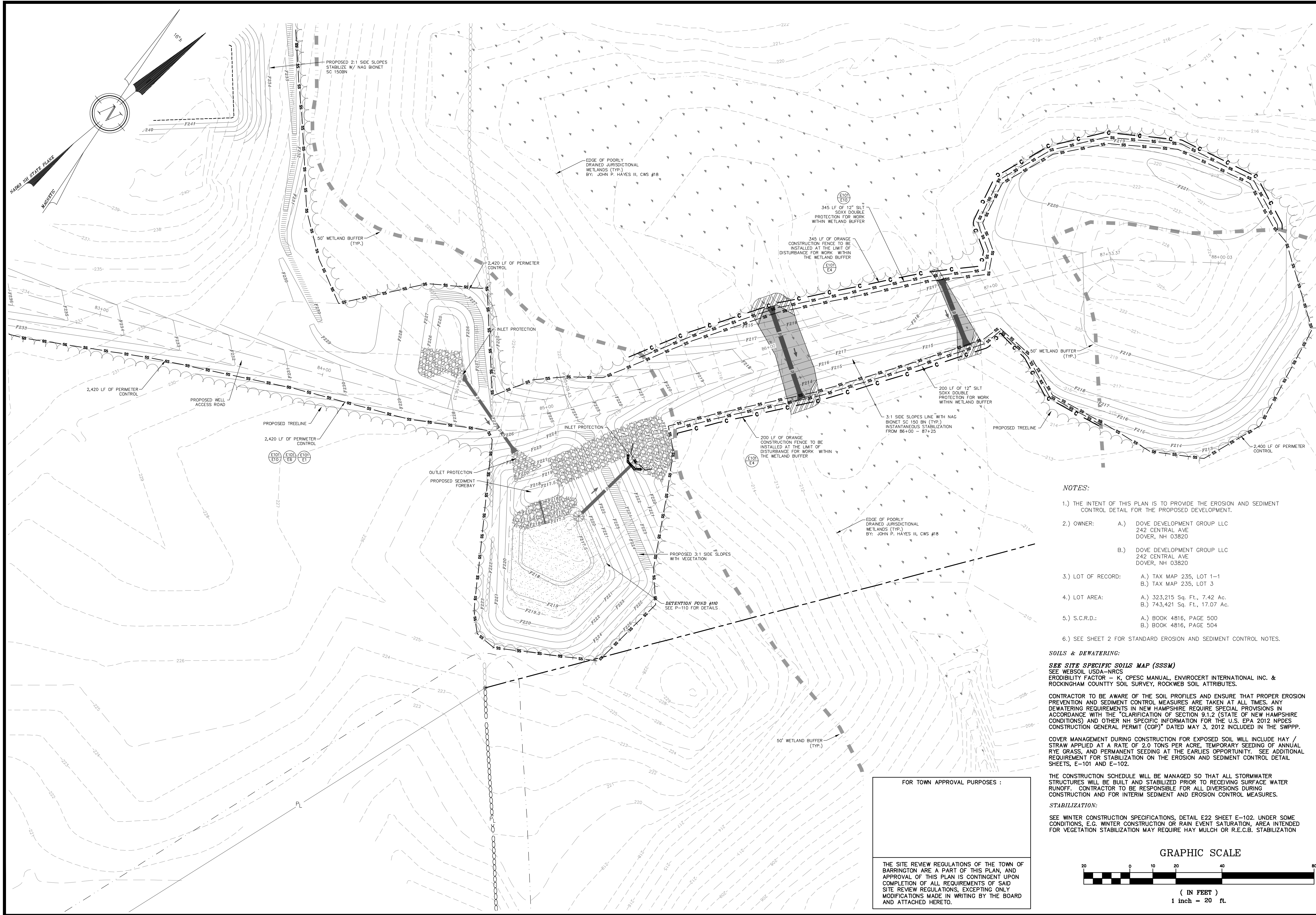
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EROSION AND SEDIMENT CONTROL PLAN NORTH  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
**TAX MAP 235 LOT 1-1 & MAP 235 LOT 3**

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
**SCALE : 1 IN. EQUALS 20 FT.**  
**DATE : JUNE 14, 2021**  
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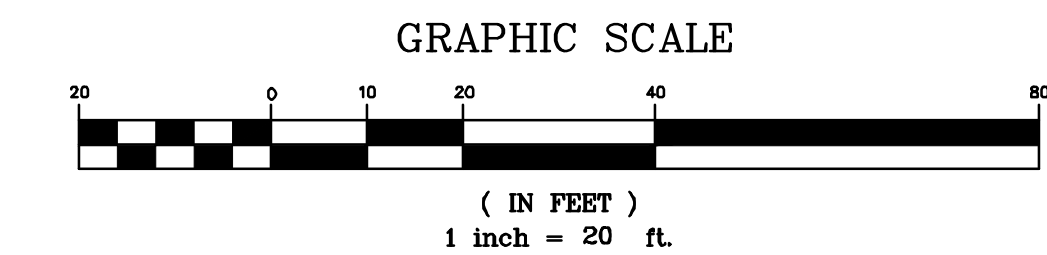
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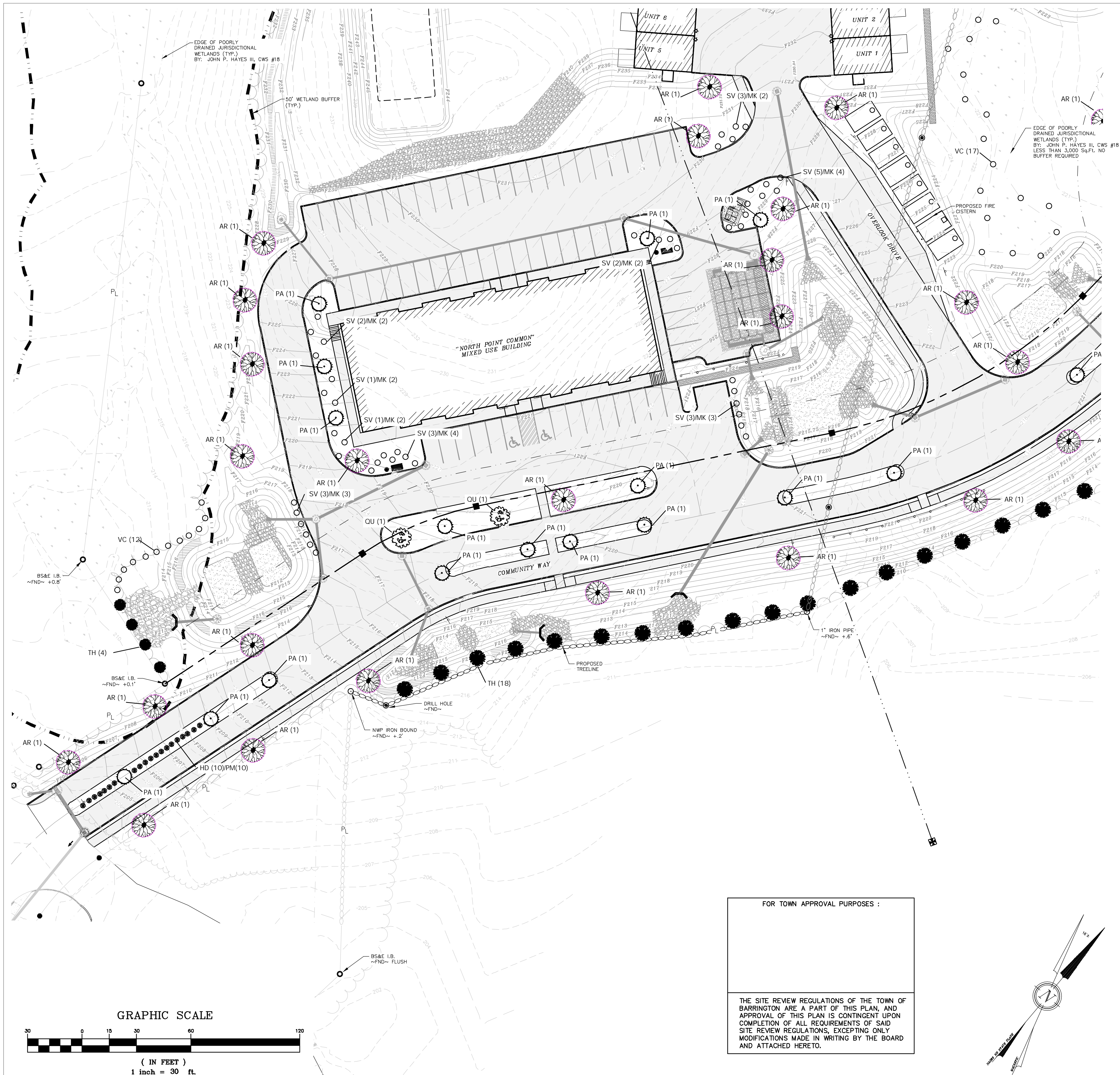
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EROSION AND SEDIMENT CONTROL PLAN NORTHEAST  
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- PLANTING NOTES**
- CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
  - CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
  - LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
  - CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
  - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY & FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT APPROVAL BY L.A.
  - ALL BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

- TEMPORARY WATERING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
  - THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
  - TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

**PLANTING SCHEDULE**  
Community Way

| Botanical Name / Common Name                           | Size     | Qty | Label |
|--|----------|-----|-------|
| <b>Trees</b>   |          |     |       |
| Plantanus acerifolia / London Planetree                | 3" Cal.  | 18  | PA    |
| Acer Rubrum / Red maple                                | 3" Cal.  | 42  | AR    |
| Thuja / arborvitae                                     | 3" Cal.  | 22  | TH    |
| Quercus / Oak  | 3" Cal.  | 2   | QU    |
| Junipers   | 3" Cal.  | 9   | JU    |
| <b>Shrubs</b>  |          |     |       |
| Syringa Pubescens / Miss Kim Lilac                     | #3 3-4'  | 24  | MK    |
| Cornus sanguina "Winter Flame" / Winter Flame Dogwood  | 2-3' B&B | 23  | SV    |
| Vaccinium corybosum / Highbush Blueberry               | 3-4'     | 40  | VC    |
| <b>Perennials</b>                                      |          |     |       |
| Hemerocallis "Big Time Happy" / Big Time Happy Daylily | #1       | 10  | HD    |
| Hemerocallis "Pardon Me" / Pardon Me Daylily           | #1       | 10  | PM    |



- General Plant Maintenance Guide**
- General Plant Bed Maintenance:**
- All plant maintenance should be performed by a qualified horticulturist or licensed arborist. Clearing the dead material out of the planting bed in the fall helps keep litter from building up around the plants and in some cases killing the plants. Watering the first year during dry periods will help get the plants established. Mulching every year is not necessary. Raking the old mulch and turning it over is all that is needed. When necessary only install one inch of mulch and do not place the mulch closer than 3" to the trunks or stems of woody plants.
- Trees:**
- The first year watering during dry periods will be necessary.
  - 3" inches of mulch may be used. The mulch should be kept 3 inches from the trunk.
  - Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
  - Fertilization should occur prior to May 31<sup>st</sup> or after trees have dropped their leaves for the year.
  - Prune dead wood once a year.
  - Depending on the amount of compaction the bed area receives, deep root aeration may be needed over time.
- Woody Shrubs:**
- The first year watering during dry periods will be necessary.
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- Grasses:**
- Grasses only need to be clipped back at the end of the growing season and all the clippings removed from the area.
  - Do not over mulch. Too much mulch will prohibit the grass from developing into a strong clump.
- Perennials:**
- All perennials need to be pruned back after the first or second hard frost. A two-step method: first dead head all the flower heads and let drop to the ground for re-seeding. Second cut the stems back to 3" above the ground and remove the stems and leaf litter and place in compost. Do not over mulch. Too much mulch will prohibit the growth and development.
  - Fertilizing perennials once in the spring with a low phosphate fertilizer will help the plants to get started in the spring.
- www.terrainplanting.com      311 kast hill road hopkinton nh 03229      603-491-2922



**terrain**  
planning & design llc

311 kast hill road  
hopkinton, nh 03229  
603. 491. 2322  
terrainplanning.com

**COMMUNITY WAY**

Site Location:  
N.H. ROUTE 9/COMMUNITY WAY  
BARRINGTON, NH  
Tax Map: 235

Prepared For:  
Berry Surveying & Engineering  
335 Second Crown Point Rd  
Barrington, NH 03825

**LANDSCAPE PLAN**

DATE: 6/14/2021

SCALE: 1" = 30'

PROJECT #: 2097

Drawn By: ID

Checked By: ERB

REVISIONS:      DATE:  
Issued for Client Review

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**L - 01**

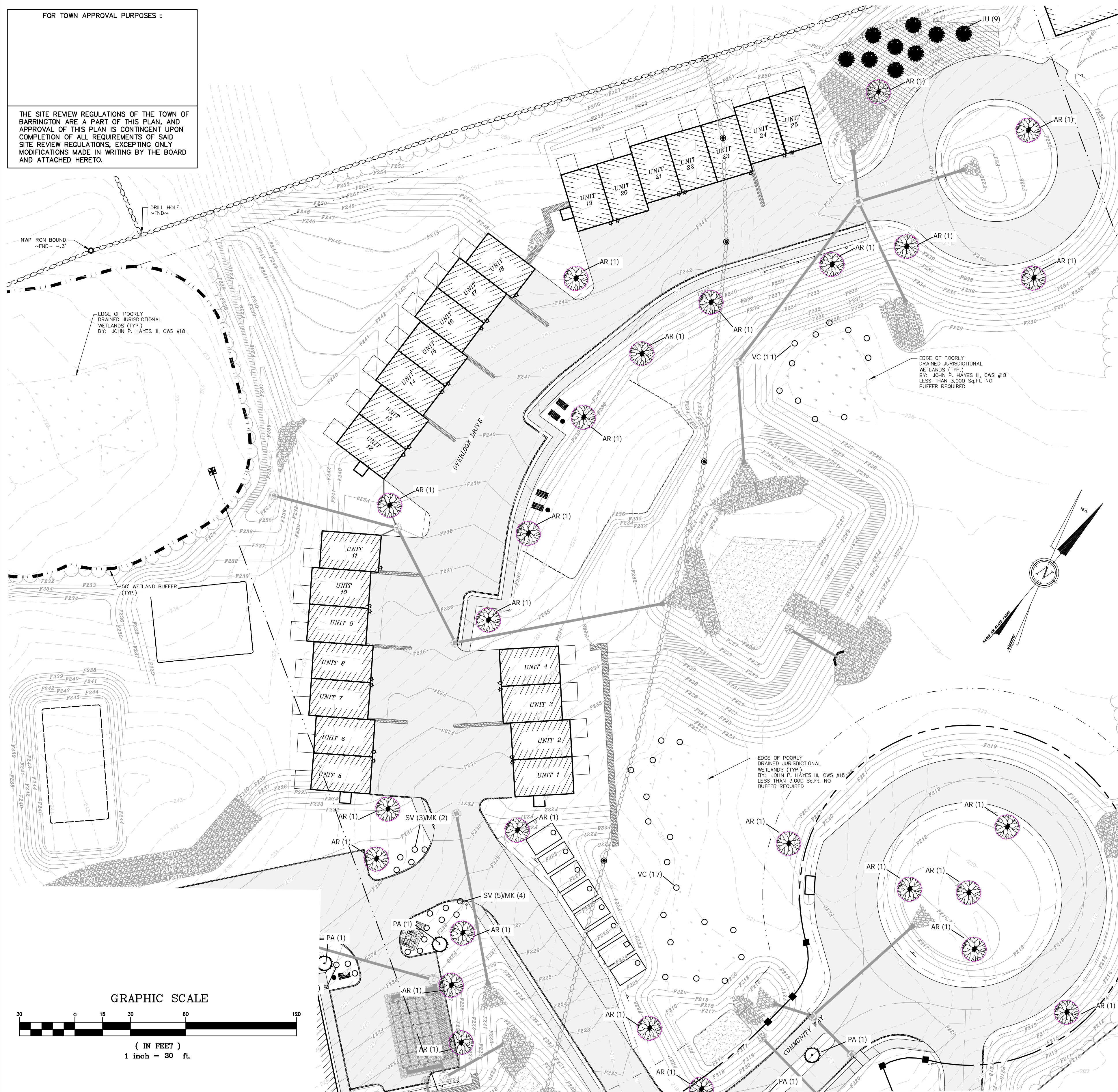
SHEET 63 OF 109





FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



- PLANTING NOTES**
- CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
  - CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
  - LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
  - CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
  - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY & FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY L.A.
  - ALL BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

- TEMPORARY WATERING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
  - THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
  - TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

**PLANTING SCHEDULE**  
Community Way  
Botanical Name/ Common Name

| Trees  | Size     | Qty | Label |
|--|----------|-----|-------|
| Plantanus acerifolia/London Planetree                  | 3" Cal.  | 18  | PA    |
| Acer Rubrum / Red maple                                | 3" Cal.  | 42  | AR    |
| Thuja / arborvitae                                     | 3" Cal.  | 22  | TH    |
| Quercus / Oak  | 3" Cal.  | 2   | QU    |
| Junipers   | 3" Cal.  | 9   | JU    |
| <b>Shrubs</b>  |          |     |       |
| Syringa Pubescens / Miss Kim Lilac                     | #3 3-4'  | 24  | MK    |
| Cornus sanguinea 'Winter Flame' / Winter Flame Dogwood | 2-3' B&B | 23  | SV    |
| Vaccinium corybosum / Highbush Blueberry               | 3-4'     | 40  | VC    |
| <b>Perennials</b>                                      |          |     |       |
| Hemerocallis 'Big Time Happy' / Big Time Happy Daylily | #1       | 10  | HD    |
| Hemerocallis 'Pardon Me' / Pardon Me Daylily           | #1       | 10  | PM    |



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- www.terrainplanning.com    311 kast hill road hopkinton nh 03229    7603-491-2322



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311 kast hill road  
hopkinton, nh 03229  
603.491.2322  
terrainplanning.com

**COMMUNITY WAY**

Site Location:  
N.H. ROUTE 9/COMMUNITY WAY  
BARRINGTON, NH  
Tax Map: 235

Prepared For:  
Berry Surveying & Engineering  
335 Second Crown Point Rd  
Barrington, NH 03825

**LANDSCAPE PLAN**

DATE: 6/14/2021

SCALE: 1" = 30'

PROJECT #: 2097

Drawn By: ID

Checked By: ERB

REVISIONS:                      DATE:  
Issued for Client Review

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**L - 02**

SHEET 64 OF 109



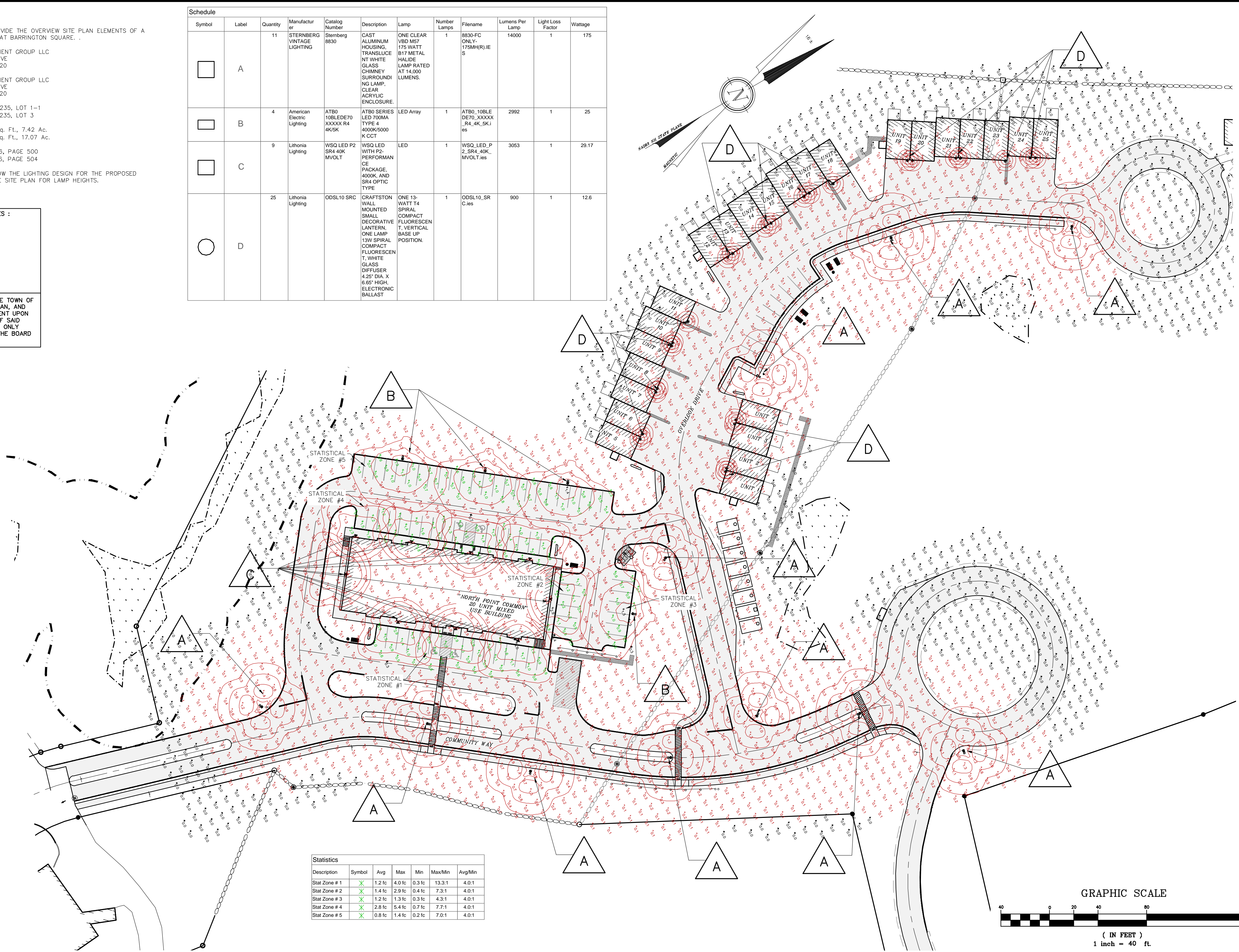
**NOTES:**

- 1.) THE INTENT OF THIS PLAN IS TO PROVIDE THE OVERVIEW SITE PLAN ELEMENTS OF A PROJECT KNOWN AS THE VILLAGE AT BARRINGTON SQUARE.
- 2.) OWNER:
  - A.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 3.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 4.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 5.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- 6.) THE INTENT OF THIS PLAN IS TO SHOW THE LIGHTING DESIGN FOR THE PROPOSED MIXED USE SITE PLAN DEVELOPMENT. SEE SITE PLAN FOR LAMP HEIGHTS.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| Symbol | Label | Quantity | Manufacturer               | Catalog Number                | Description  | Lamp   | Number Lamps | Filename                           | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|----------------------------|-------------------------------|--|--|--------------|------------------------------------|-----------------|-------------------|---------|
| □      | A     | 11       | STERNBERG LIGHTING         | Sternberg 8830                | CAST ALUMINUM HOUSING, TRANSLUCENT WHITE GLASS CHIMNEY SURROUNDING LAMP, CLEAR ACRYLIC ENCLOSURE.  | ONE CLEAR VSD M57 175 WATT B17 METAL HALIDE LAMP RATED AT 14,000 LUMENS. | 1            | 8830-FC ONLY-175MH/RJ/IES          | 14000           | 1                 | 175     |
| □      | B     | 4        | American Electric Lighting | ATB0 108LEDE70 XXXXX R4 4K/5K | ATB0 SERIES LED 700MA TYPE 4 4000K/5000 K CCT  | LED Array  | 1            | ATB0_108LE DE70_XXXXX R4_4K_5K1.es | 2992            | 1                 | 25      |
| □      | C     | 9        | Lithonia Lighting          | WSQ LED P2 SR4 40K MVOLT      | WSQ LED WITH P2 PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE   | LED  | 1            | WSQ_LED_P2_SR4_40K_MVOLT.es        | 3053            | 1                 | 29.17   |
| ○      | D     | 25       | Lithonia Lighting          | OOSL10 SRC                    | CRAFTSTON WALL MOUNTED SMALL DECORATIVE LANTERN, ONE LAMP, 13W SPIRAL COMPACT FLUORESCEN T, WHITE GLASS DIFFUSER 4.25" DIA. X 6.65" HIGH, ELECTRONIC BALLAST | ONE 13-WATT T4 SPIRAL COMPACT FLUORESCEN T, VERTICAL BASE UP POSITION.   | 1            | OOSL10_SR C.es                     | 900             | 1                 | 12.6    |



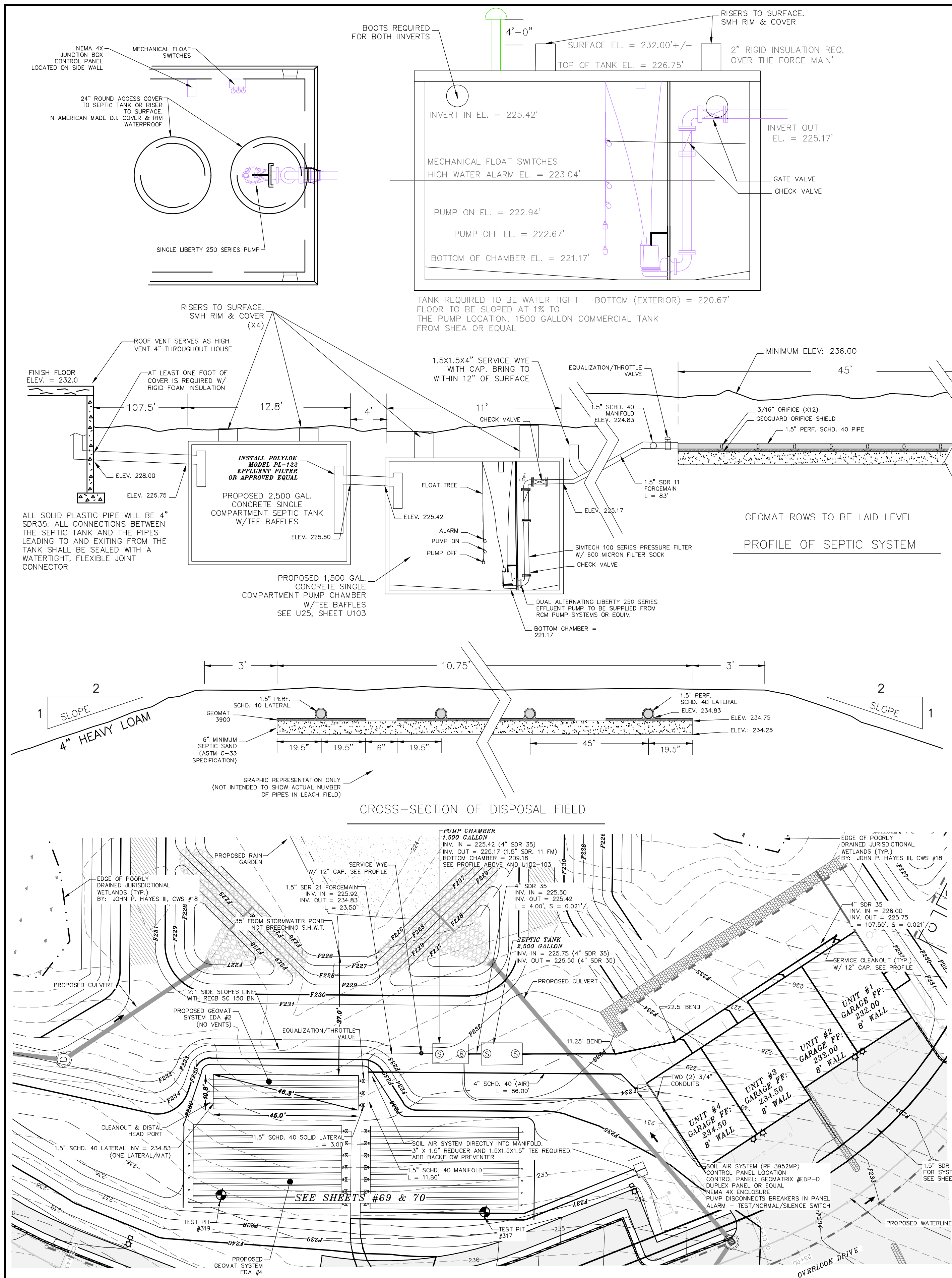
| Description   | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
|---------------|--------|--------|--------|--------|---------|---------|
| Stat Zone # 1 | ✕      | 1.2 fc | 4.0 fc | 0.3 fc | 13.3:1  | 4.0:1   |
| Stat Zone # 2 | ✕      | 1.4 fc | 2.9 fc | 0.4 fc | 7.3:1   | 4.0:1   |
| Stat Zone # 3 | ✕      | 1.2 fc | 1.3 fc | 0.3 fc | 4.3:1   | 4.0:1   |
| Stat Zone # 4 | ✕      | 2.8 fc | 5.4 fc | 0.7 fc | 7.7:1   | 4.0:1   |
| Stat Zone # 5 | ✕      | 0.8 fc | 1.4 fc | 0.2 fc | 7.0:1   | 4.0:1   |

| # | REVISION   | DATE  | DESCRIPTION |
|---|------------|---|-------------|
| 1 | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |             |
| 2 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |             |

LIGHTING PLAN  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 40 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097





**NOTES:**

- OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820
- DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825
- A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D. A.) BOOK 4816 PAGE 500  
B.) BOOK 4816 PAGE 504
- SUBDIVISION STATUS: OVER 5 ACRES
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER, IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH, IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- THIS IS NOT A BOUNDARY SURVEY.
- THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

**CALCULATIONS :**

8 BEDROOMS TOTAL, 1,200 GPD  
TOTAL DYNAMIC HEAD (TDH): 17.2 FEET  
PUMP: LIBERTY 250 SERIES  
PUMP OFF ELEV.: 222.67  
PUMP ON ELEV.: 222.94  
EXCESS STORAGE: 927 GALLONS

**TEST PIT DATA:**

TEST PIT #317  
0-3 10YR 3/2 VERY DARK GRAYISH BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE  
3-20 10YR 5/6 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE  
20-30 2.5Y 5/4 LIGHT OLIVE BROWN, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE  
30-60 2.5Y 5/3 LIGHT OLIVE BROWN, GRAVELLY FINE SANDY LOAM W/REDOX. FEAT. PRESENT, MASSIVE, FRIABLE  
E.S.H.W.T. @ 30"  
GROUND WATER @ NONE  
TERMINATED @ NONE  
REFUSAL @ 60"  
PERC. = 10 MIN/IN

TEST PIT #319  
0-3 10YR 5/2 VERY DARK GRAYISH BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE  
3-20 5YR 5/6 STRONG BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE  
20-32 2.5Y 5/4 LIGHT OLIVE BROWN, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE  
32-50 2.5Y 5/3 LIGHT OLIVE BROWN, GRAVELLY FINE SANDY LOAM W/REDOX. FEAT. PRESENT, MASSIVE, FRIABLE  
E.S.H.W.T. @ 32"  
GROUND WATER @ 40"  
TERMINATED @ 50"  
REFUSAL @ 50"  
PERC. = 8 MIN/IN

**VENTING NOTE:**

THE MANUFACTURERS SPECIFICATIONS FOR GEOMAT INSTALLATIONS PROHIBIT THE INSTALLATION OF A VENT.

**SOILS:**

GsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES  
HdB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES  
HdC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES  
WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES  
SEE WEBSOIL USDA-NRCS

**ELEVATIONS :**

235.25 - HIGH POINT OF LEACH BED  
232.75 - S.H.W.T.  
N/A - IMPERVIOUS LAYER  
224.83 - BOTTOM OF GEOMAT-SEPTIC PIPES

**PLAN INTENT :**

THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED 4.33' BELOW THE HIGH POINT OF THE EXISTING LAND.  
IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

**WETNOTE :**

THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:  
JOHN P. HAYES III

**CAUTION !!!!**

ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

**GRAPHIC SCALE**

( IN FEET )  
1 inch = 20 ft.

PROPOSED NITRATE SETBACKS FOR FIELDS #2 & #4  
DOWN-GRADE: 340'  
SIDE-GRADE: 170'  
UP-GRADE: 85'

NITRATE SETBACKS FOR EDA #2 & #4

| Soil | Group | Slope  | Area   | Acres | Factor | GPD              |                |
|------|-------|--------|--------|-------|--------|------------------|----------------|
| CsB  | 2     | 3-8%   | 96337  | 2.189 | 1.30   | 3367.133         |                |
| CsC  | 2     | 8-15%  | 324681 | 7.454 | 1.43   | 10424.69         |                |
| CsD  | 2     | 15-25% | 101706 | 2.335 | 1.56   | 2993.395         |                |
| CsE  | 2     | 25-50% | 61285  | 1.407 | 1.69   | 1664.982         |                |
| HcC  | 4     | 8-15%  | 9,548  | 0.219 | 1.6    | 273.9325         |                |
| HcD  | 4     | 15-25% | 6215   | 0.143 | 1.73   | 164.9442         |                |
| HcE  | 4     | 25-50% | 13890  | 0.319 | 1.9    | 335.6532         |                |
| HdE  | 4     | 25-50% | 48,207 | 1.107 | 1.90   | 1164.927         |                |
| LeB  | 5     | 3-8%   | 25,917 | 0.595 | 3.00   | 396.6483         |                |
| LeC  | 5     | 8-15%  | 9,488  | 0.218 | N/A    |                  |                |
| LeD  | 5     | 15-25% | 5,260  | 0.121 | N/A    |                  |                |
| SubB | 3     | 3-8%   | 55,882 | 1.283 | 1.6    | 1603.593         |                |
| SuC  | 3     | 8-15%  | 98,220 | 2.255 | 1.76   | 2562.297         |                |
| SuD  | 3     | 15-25% | 32,872 | 0.750 | 1.73   | 887.1051         |                |
|      |       |        |        |       |        | <b>Total GPD</b> | <b>25819.3</b> |

APPROX. SUBJECT PARCEL  
COMMUNITY WAY  
FOREST BROOK DR.  
CENTURY PINES DR.  
EASTERN AVE.  
BARRINGTON PARK AND RIDE  
CALEF COUNTRY STORE  
MALLEGRO RD.  
LOCATION MAP BARRINGTON, NH NOT TO SCALE

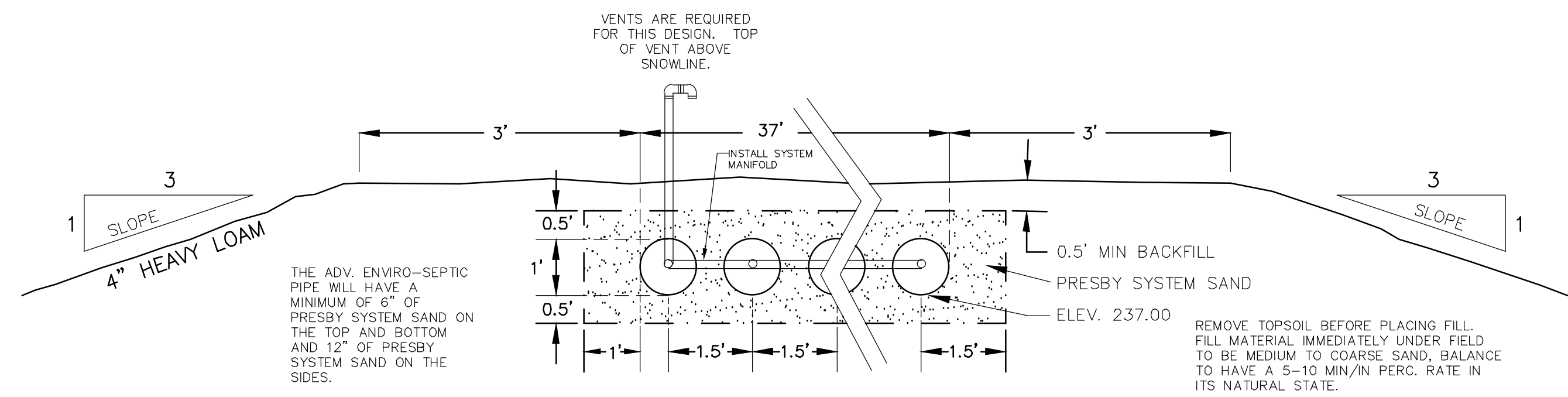
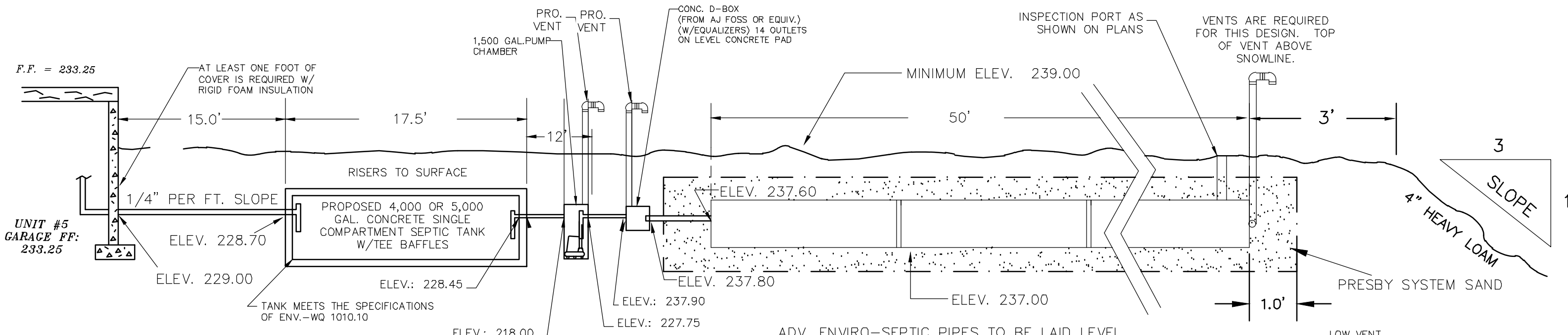
| #  | REVISION | DATE       | DESCRIPTION                                   |
|----|----------|------------|---|
| #2 |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1 |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 2)

**BERRY SURVEYING & ENGINEERING**  
KENNETH A. BERRY  
335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
LICENSED PROFESSIONAL ENGINEER

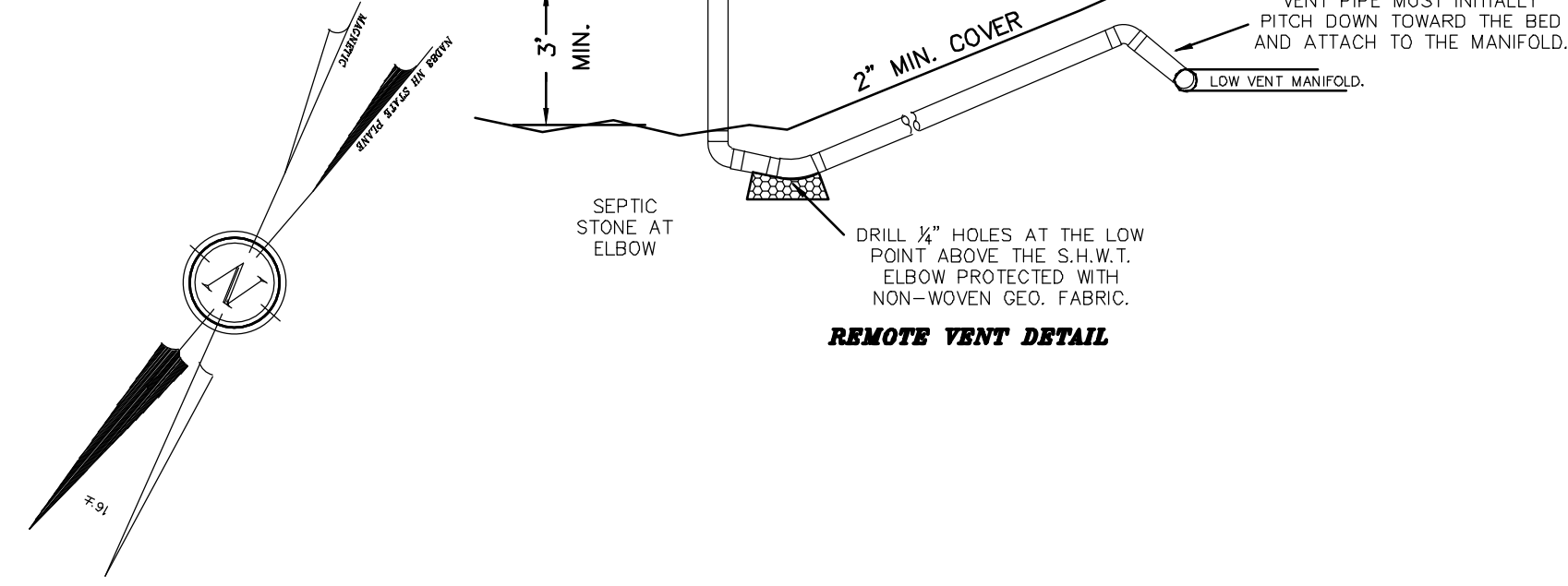
SHEET 67 OF 109



| Soil             | Group | Slope  | Area   | Acres | Factor | GPD            |
|------------------|-------|--------|--------|-------|--------|----------------|
| CsB              | 2     | 3-8%   | 96337  | 2.189 | 1.30   | 3367.133       |
| CsC              | 2     | 8-15%  | 324681 | 7.454 | 1.43   | 10424.89       |
| CsD              | 2     | 15-25% | 101706 | 2.335 | 1.58   | 2993.395       |
| CsE              | 2     | 25-50% | 61285  | 1.407 | 1.69   | 1064.982       |
| HcC              | 4     | 8-15%  | 9546   | 0.219 | 1.6    | 273.9325       |
| HcD              | 4     | 15-25% | 6215   | 0.143 | 1.73   | 164.9442       |
| HcE              | 4     | 25-50% | 13890  | 0.319 | 1.9    | 335.6532       |
| HcF              | 4     | 25-50% | 48207  | 1.107 | 1.90   | 1164.927       |
| LeB              | 5     | 3-8%   | 25917  | 0.595 | 3.00   | 396.6483       |
| LeC              | 5     | 8-15%  | 9488   | 0.218 | N/A    |                |
| LeD              | 5     | 15-25% | 6260   | 0.121 | N/A    |                |
| Sub              | 3     | 3-8%   | 55882  | 1.283 | 1.6    | 1803.593       |
| SuC              | 3     | 8-15%  | 98220  | 2.255 | 1.76   | 2562.297       |
| SuD              | 3     | 15-25% | 32872  | 0.750 | 1.73   | 867.1051       |
| <b>Total GPD</b> |       |        |        |       |        | <b>25819.3</b> |

**FOR TOWN APPROVAL PURPOSES :**

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



**PUMP DATA :**  
 BRAND : LIBERTY PUMPS SERIES 280 (OR EQUIV.)  
 PIPE SIZE : 2.0" W/VELOCITY REDUCING DEVICE IN THE D-BOX  
 10.67 MINUTE PUMP CYCLES @ 500 GAL./CYCLE  
 4.20 CYLES PER DAY  
 PUMP OFF ELEV. 224.85  
 PUMP ON ELEV. 226.19  
 ALARM ON ELEV. 228.29  
 EXCESS STORAGE: 1,178  
 THE PUMP WILL BE EQUIPPED WITH AN ALARM SYSTEM  
 THE ALARM SYSTEM AND PUMP WILL BE ON SEPARATE ELECTRICAL CIRCUITS  
 THE PUMP CHAMBER WILL BE VENTED AND WATER-TIGHT  
**CHAMBER BOTTOM (INSIDE) : 237.75**  
 SEE PUMP CHAMBER SPECIFICATIONS AND DIAGRAM ON SHEET 66

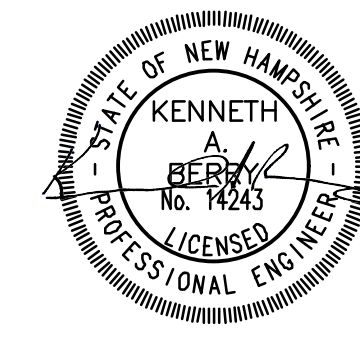
- NOTES:**
- OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820
  - DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825
  - A) TAX MAP 235, LOT 1-1  
B) TAX MAP 235, LOT 3
  - LOT AREA: A) 323,215 Sq. Ft. 7.42 Ac.  
B) 743,421 Sq. Ft. 17.07 Ac.
  - S.C.R.D. A) BOOK 4816 PAGE 500  
B) BOOK 4816 PAGE 504
  - SUBDIVISION STATUS: OVER 5 ACRES
  - FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
  - THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
  - THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
  - THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
  - IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
  - THIS IS NOT A BOUNDARY SURVEY.
  - THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

**TEST PIT DATA:**  
 TEST PIT #306  
 0-0.3' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE  
 0.3-1.6' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE  
 1.6-2.3' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE  
 2.3-6.1' 2.5Y 5/2, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE  
 REFUSAL N/A  
 S.H.W.T. @ 2.3'  
 GROUND WATER N/A  
 TERMINATED @ 6.1'  
 PERC. RATE = 6 MIN./IN.

**CALCULATIONS :**  
 7 (2) BEDROOM UNITS, 2,100 GPD  
 US A 5,000 GAL. & 4,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM SHEA CONCRETE OR EQUIV.)  
 6 MIN/IN MEASURED PERC RATE  
 6 MIN/IN DESIGN PERC RATE  
 1,155 - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED  
 1,250 - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE  
 125 - TOTAL NUMBER OF 10' SECTIONS OF ADV. ENVIRO SEPTIC PIPE REQUIRED  
 25 ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW 50' LONG

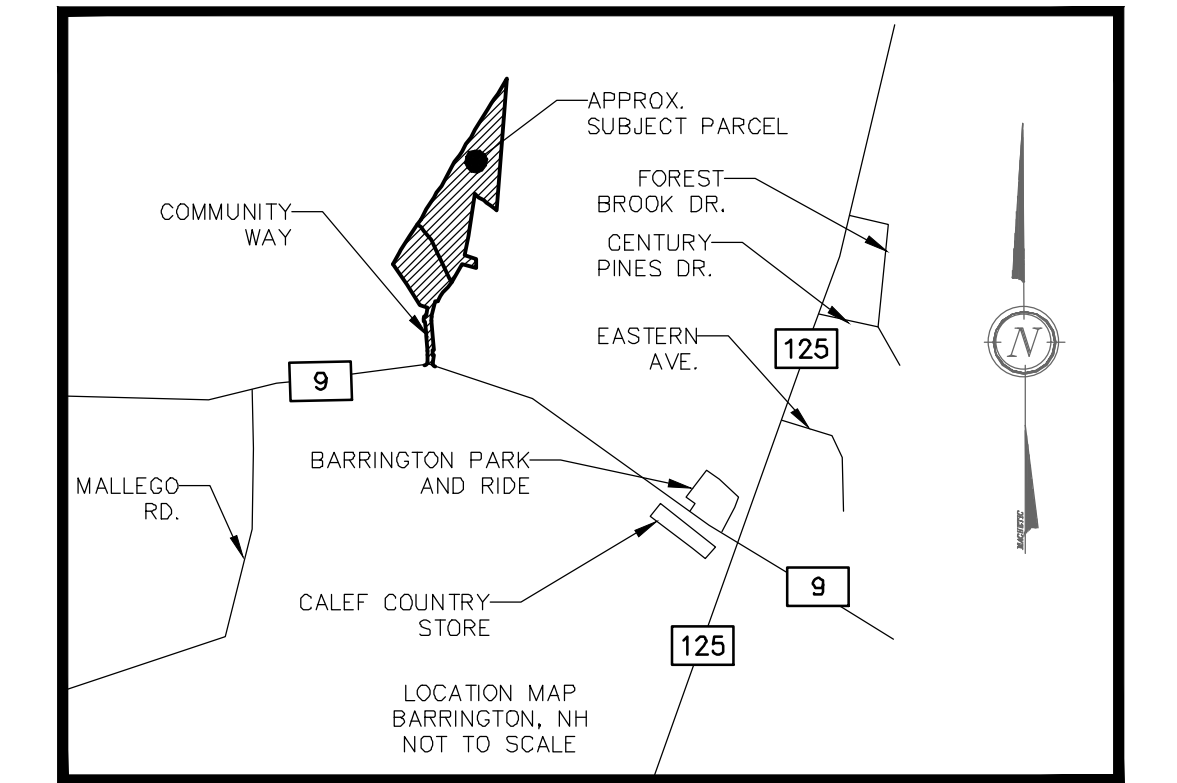
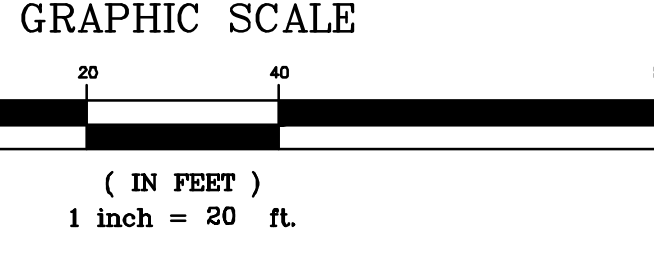
**ELEVATIONS :**  
 236.50 - HIGH POINT OF LEACH BED  
 234.20 - S.H.W.T.  
 N/A - IMPERVIOUS LAYER  
 237.00 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

**PLAN INTENT :**  
 THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED IS 0.5' ABOVE THE HIGH POINT OF THE EXISTING LAND.  
 IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.



**WETNOTE :**  
 THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:  
 JOHN P. HAYES III

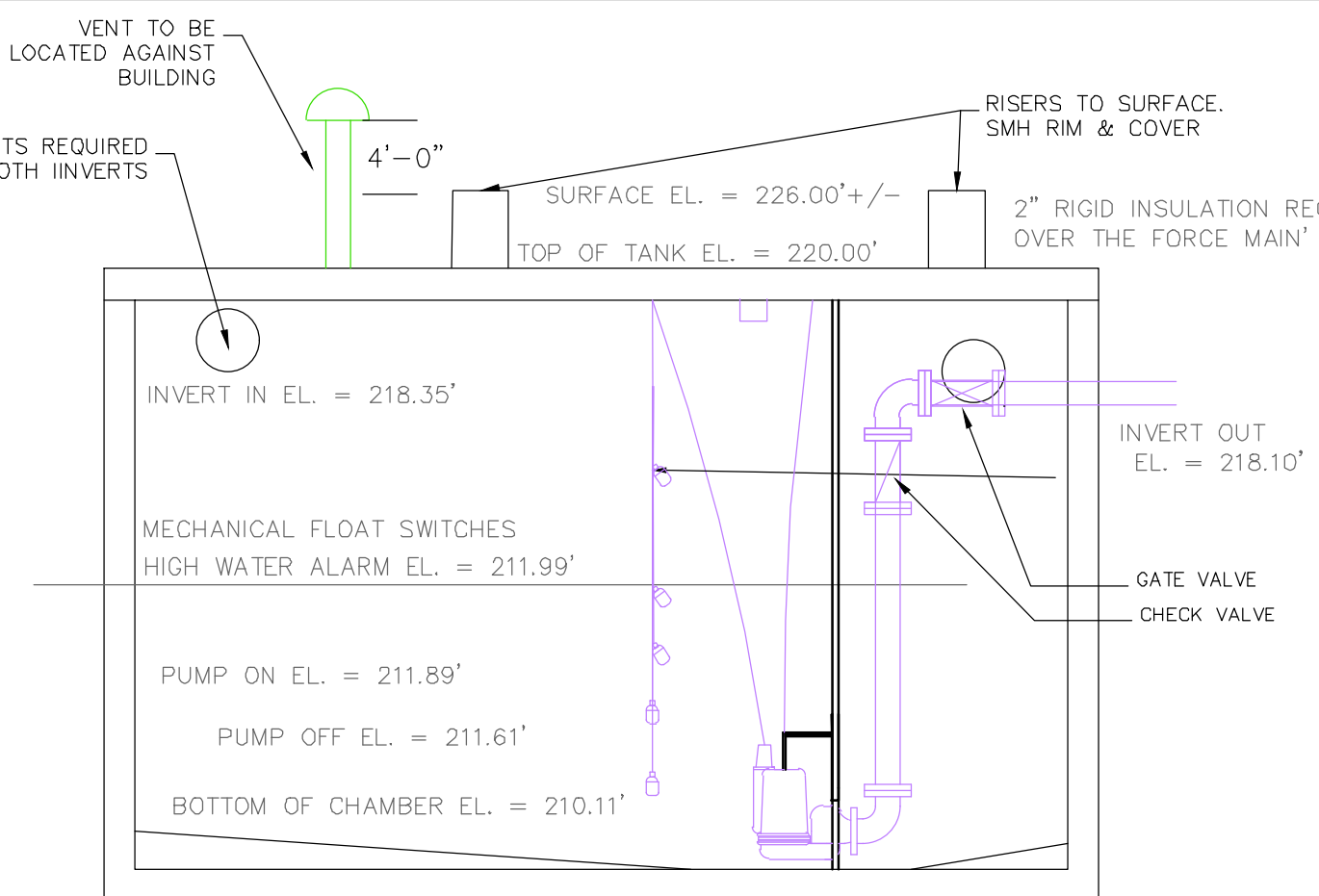
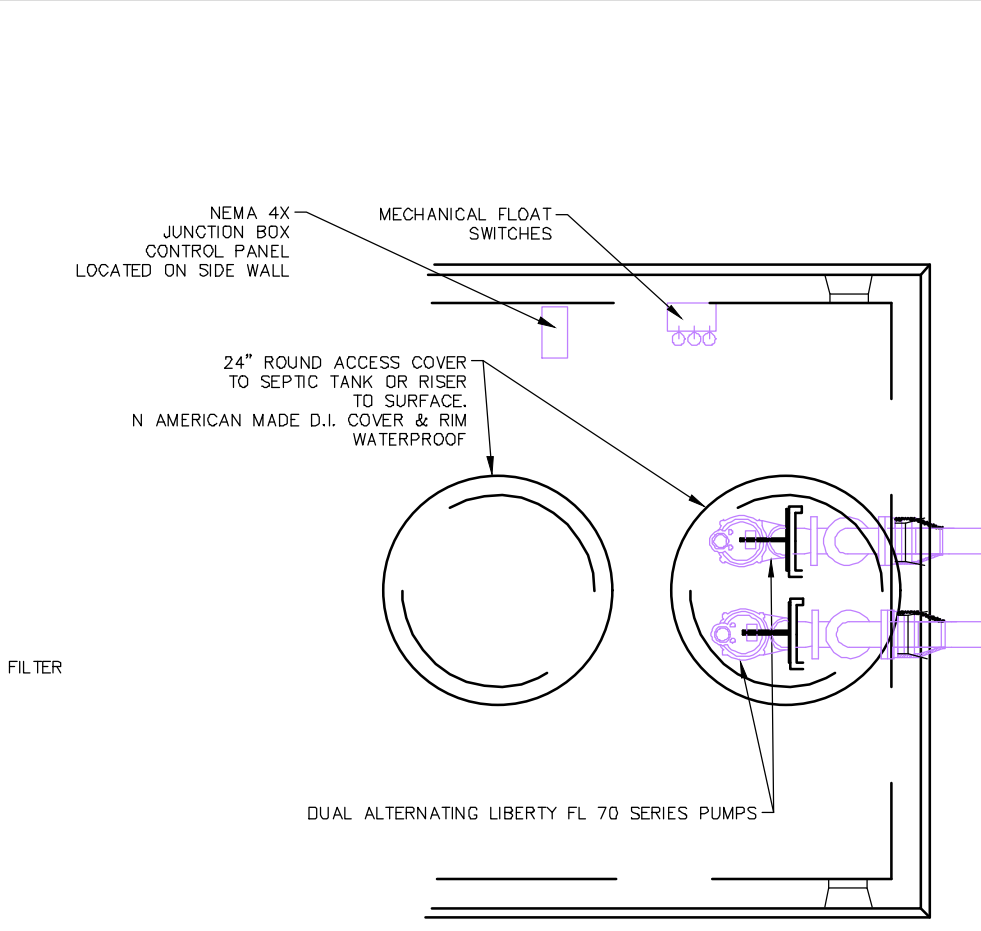
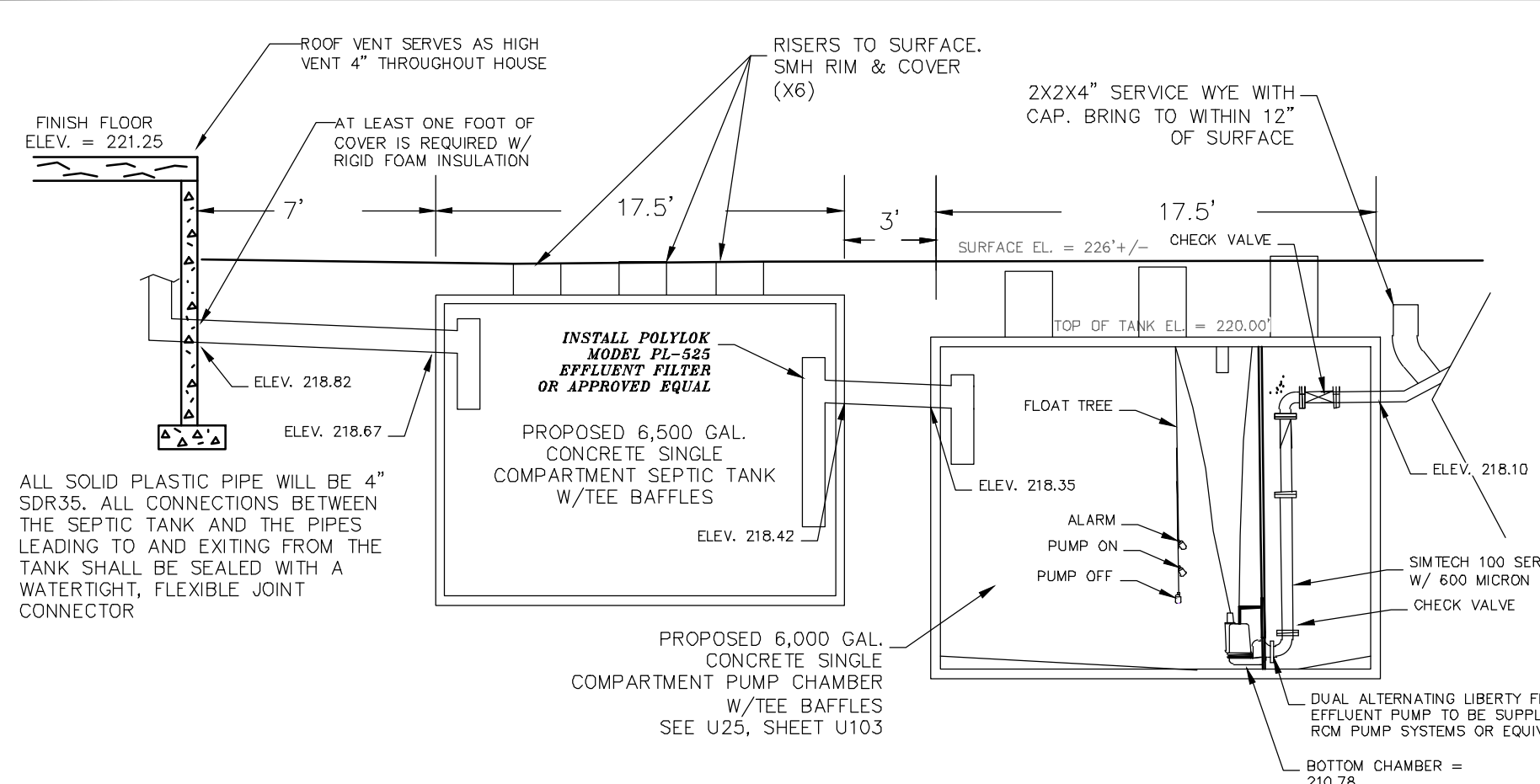
**CAUTION !!!!**  
 ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.



| #1         | DATE  | DESCRIPTION |
|------------|---|-------------|
| 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |             |
| 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |             |

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR  
 DOVE DEVELOPMENT GROUP, LLC  
 COMMUNITY WAY  
 BARRINGTON, N.H.  
 TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 3)

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT RD.  
 BARRINGTON, N.H. 332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

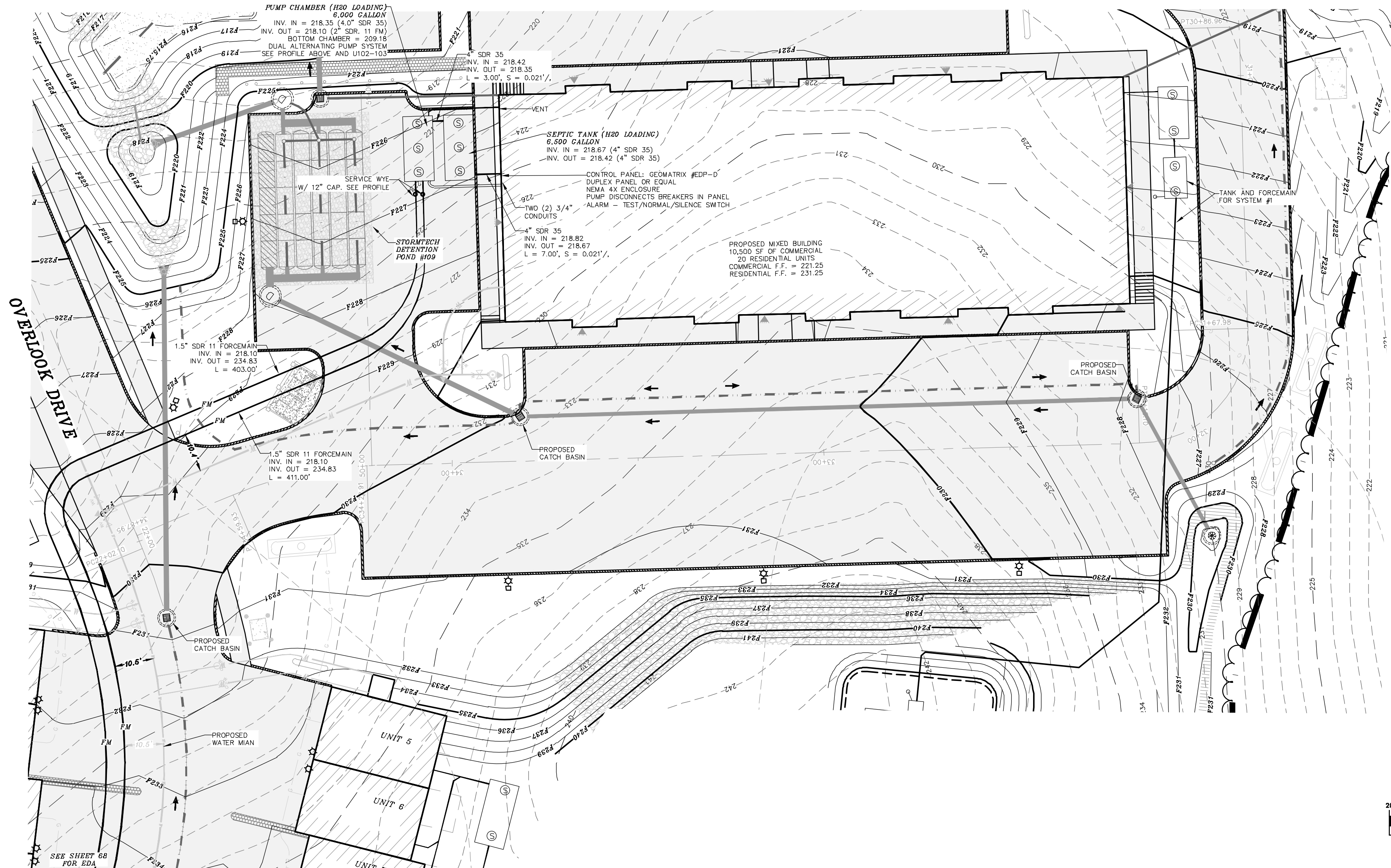


**FOR TOWN APPROVAL PURPOSES :**

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

- OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820
- DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825
- A) TAX MAP 235, LOT 1-1  
B) TAX MAP 235, LOT 3
- LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.  
B) 743,421 Sq. Ft., 17.07 Ac.
- S.C.R.D. A) BOOK 4816 PAGE 500  
B) BOOK 4816 PAGE 504
- SUBDIVISION STATUS: OVER 5 ACRES
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- THIS IS NOT A BOUNDARY SURVEY.
- THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
- SEE SHEET 68 FOR REMAINING SEPTIC DESIGN INFORMATION FOR EDA #4.

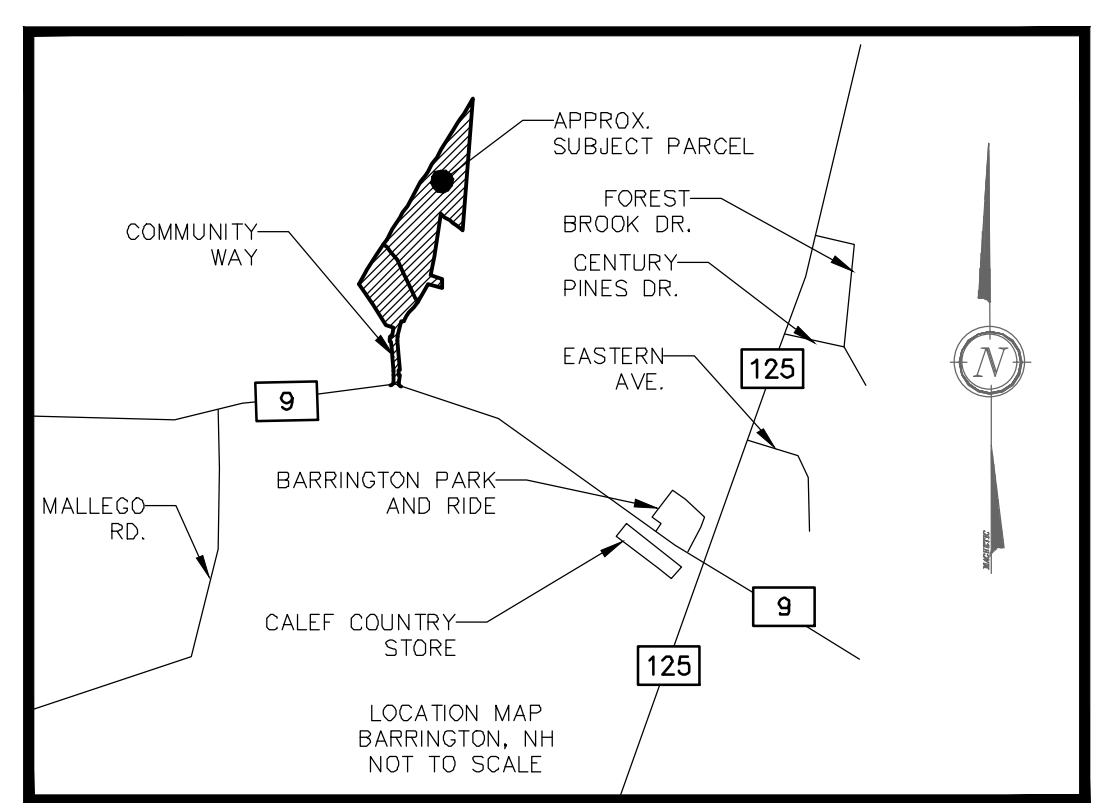
| Soil             | Group | Slope  | Area   | Acres | Factor | GPD            |
|------------------|-------|--------|--------|-------|--------|----------------|
| CsB              | 2     | 3-8%   | 95337  | 2.189 | 1.30   | 3367.133       |
| CsC              | 2     | 8-15%  | 324681 | 7.454 | 1.43   | 10424.09       |
| CsD              | 2     | 15-25% | 101706 | 2.335 | 1.56   | 2993.395       |
| CsE              | 2     | 25-50% | 61285  | 1.407 | 1.69   | 1664.982       |
| HcC              | 4     | 8-15%  | 9546   | 0.219 | 1.6    | 273.9325       |
| HcD              | 4     | 15-25% | 6215   | 0.143 | 1.73   | 164.9442       |
| HcE              | 4     | 25-50% | 13890  | 0.319 | 1.9    | 335.6632       |
| HcF              | 4     | 25-50% | 48207  | 1.107 | 1.90   | 1164.927       |
| LaB              | 5     | 3-9%   | 25917  | 0.595 | 3.00   | 396.6483       |
| LaC              | 5     | 9-15%  | 9488   | 0.218 | N/A    |                |
| LaD              | 5     | 15-25% | 5260   | 0.121 | N/A    |                |
| SuB              | 3     | 3-9%   | 55882  | 1.283 | 1.6    | 1603.593       |
| SuC              | 3     | 9-15%  | 98220  | 2.255 | 1.76   | 2562.297       |
| SuD              | 3     | 15-25% | 32872  | 0.750 | 1.73   | 867.1051       |
| <b>Total GPD</b> |       |        |        |       |        | <b>25819.3</b> |



**SOILS:**

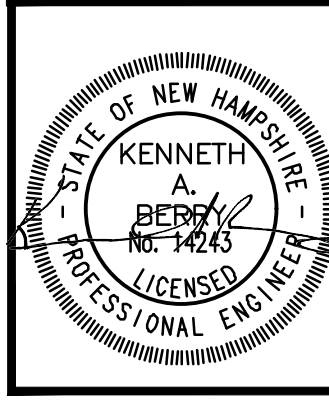
CsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES  
 H&B - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES  
 HdC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES  
 WaL - WINDSOR LOAMY SAND, 0 TO 3% SLOPES

SEE WEBSOIL USDA-NRCS

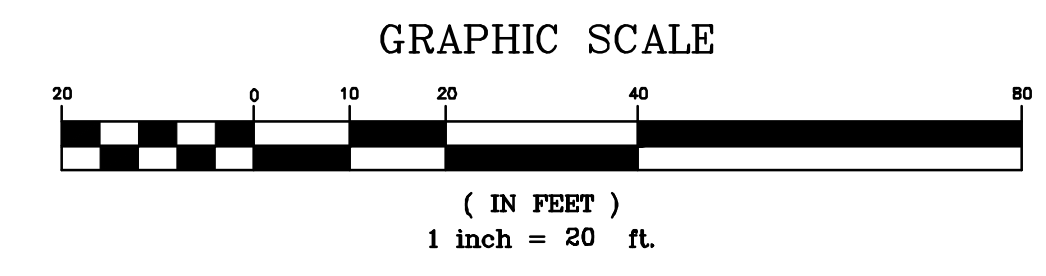


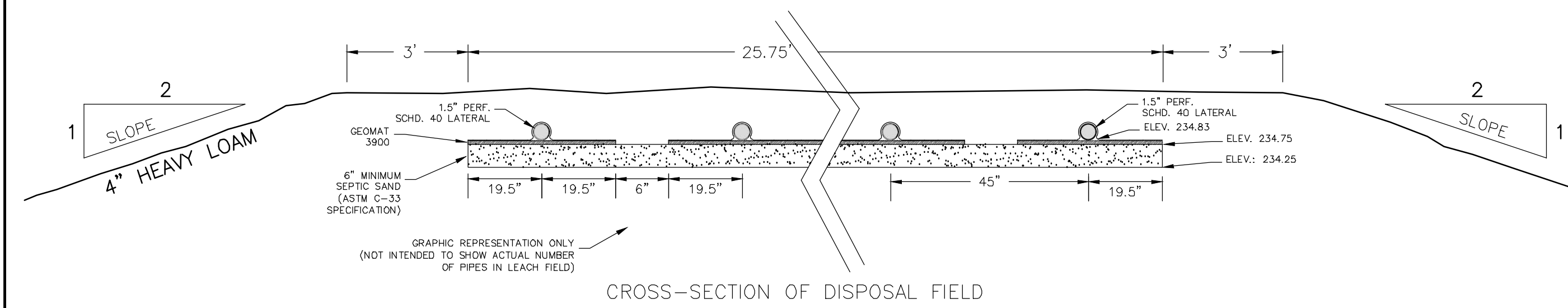
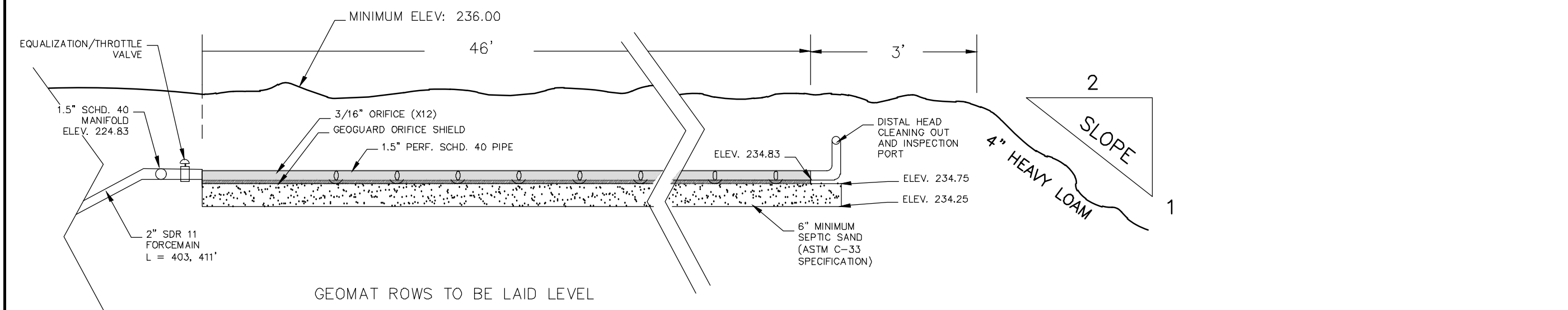
| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM  
 EFFLUENT DISPOSAL FIELD  
 FOR  
 DOVE DEVELOPMENT GROUP, LLC  
 COMMUNITY WAY  
 BARRINGTON, N.H.  
 TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 4A)



**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT RD.  
 BARRINGTON, N.H. 03825  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097





PROFILE OF SEPTIC SYSTEM

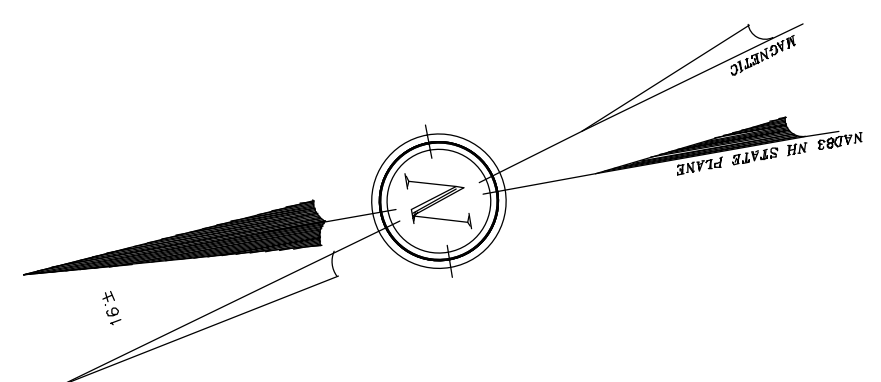
CROSS-SECTION OF DISPOSAL FIELD

**SOILS:**  
*GsC* - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES  
*HdL* - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES  
*HdC* - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES  
*WdA* - WINDSOR LOAMY SAND, 0 TO 3% SLOPES  
 SEE WEBSOIL USDA-NRCS

**VENTING NOTE:**  
 THE MANUFACTURERS SPECIFICATIONS FOR GEOMAT INSTALLATIONS PROHIBIT THE INSTALLATION OF A VENT.

**ELEVATIONS :**  
 235.25 - HIGH POINT OF LEACH BED  
 232.75 - S.H.W.T.  
 N/A - IMPERVIOUS LAYER  
 224.83 - BOTTOM OF GEOMAT-SEPTIC PIPES

**PUMP SIZING :**  
 DESIGN FLOW RATE: 51.9 GPM  
 TOTAL DYNAMIC HEAD (TDH): 51.0 FEET  
 PUMP: LIBERTY FL70 SERIES  
 4.65 MINUTE PUMP CYCLE @ 242 GAL/CYCLE  
 12.5 CYCLES/DAY  
 PUMP OFF ELEV.: 211.61  
 PUMP ON ELEV.: 211.89  
 ALARM ON ELEV.: 211.99  
 BOTTOM CHAMBER: 210.11  
 EXCESS STORAGE: 5,590 GALLONS



- NOTES:**
- OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820
  - DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825
  - A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D. A.) BOOK 4816 PAGE 500  
B.) BOOK 4816 PAGE 504
  - SUBDIVISION STATUS: OVER 5 ACRES
  - FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
  - THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
  - THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
  - THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
  - IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
  - THIS IS NOT A BOUNDARY SURVEY.
  - THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.

**TEST PIT DATA:**

- TEST PIT #317
- 0-0.3' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
  - 0.3-1.6' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
  - 1.6-2.5' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
  - 2.5-5.0' 2.5Y 5/3, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
  - REFUSAL @ 5.0'
  - S.H.W.T. @ 2.5'
  - GROUND WATER N/A
  - TERMINATED @ 5.0'
  - PERC. RATE = 8 MIN./IN.
- TEST PIT #319
- 0-0.3' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
  - 0.3-1.6' 7.5YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE
  - 1.6-2.6' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
  - 2.6-4.1' 2.5Y 5/3, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE
  - REFUSAL @ 4.1'
  - S.H.W.T. @ 2.6'
  - GROUND WATER N/A
  - TERMINATED @ 4.1'
  - PERC. RATE = 8 MIN./IN.

**CALCULATIONS :**

40 BEDROOMS TOTAL, 6,000 GPD  
 USE 6,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK WITH A 6,000 GAL. PUMP CHAMBER (FROM SHEA CONCRETE OR EQUIV.)

8 MIN./IN. MEASURED PERC. RATE  
 8 MIN./IN. DESIGN PERC. RATE  
 3.23 GPD/SF HYDRAULIC LOADING  
 572 - MIN. LENGTH GEOMAT SEPTIC PIPE REQUIRED  
 644 - PROPOSED LENGTH OF GEOMAT SEPTIC PIPE  
 7 ROWS OF GEOMAT SEPTIC PIPE, EACH ROW 46' LONG  
 242 - MAX. GAL./DOSE/HALF FIELD  
 2' RESIDUAL HEAD AT LAST ORIFICE  
 3/16" ORIFICE SIZE  
 4' ORIFICE SPACING  
 STATIC HEAD = 24.1'

**ELEVATIONS :**

235.25 - HIGH POINT OF LEACH BED  
 232.75 - S.H.W.T.  
 N/A - IMPERVIOUS LAYER  
 224.83 - BOTTOM OF GEOMAT-SEPTIC PIPES

**PLAN INTENT :**

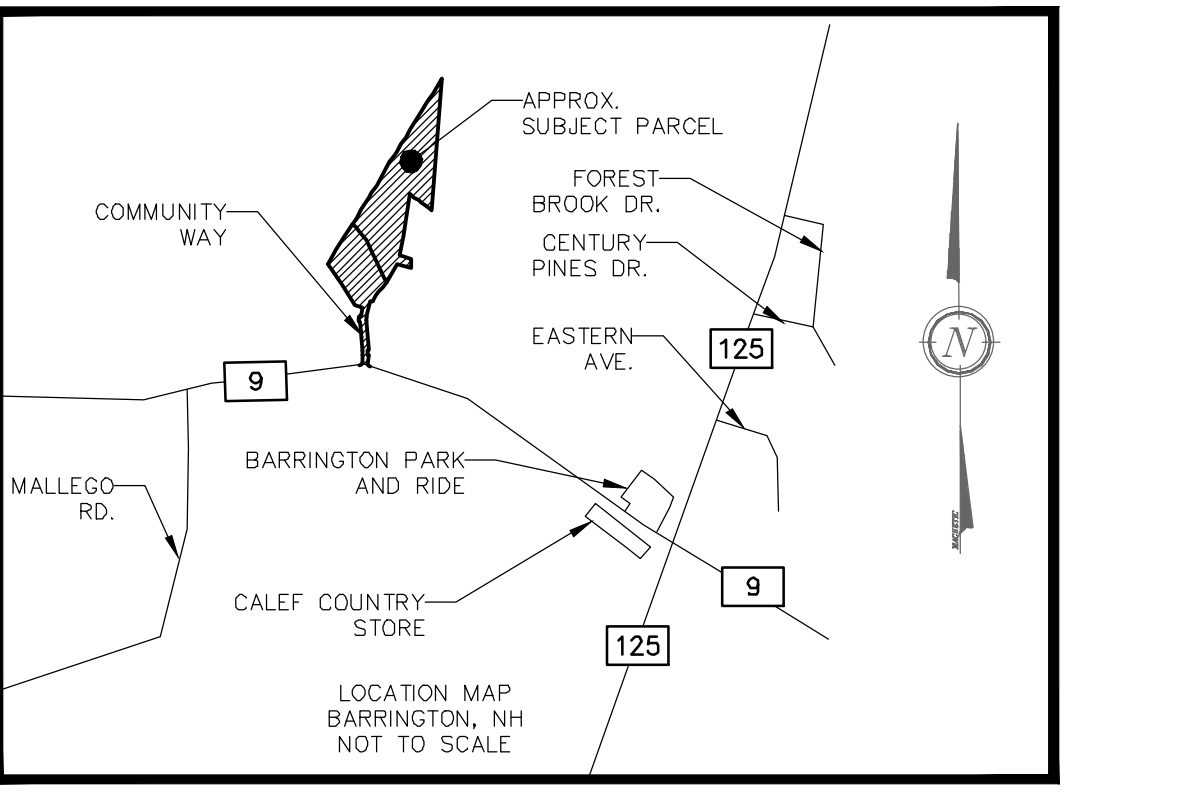
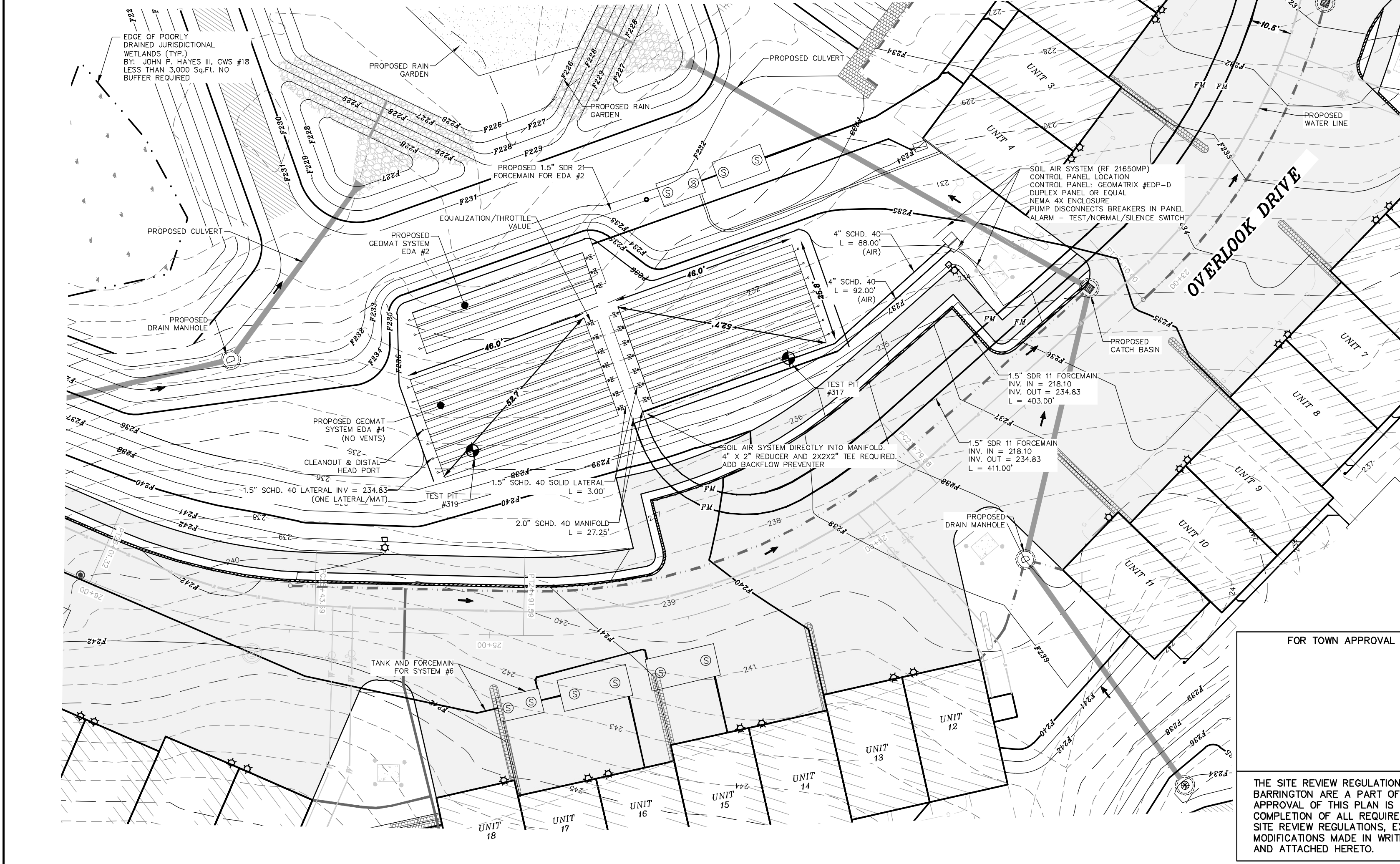
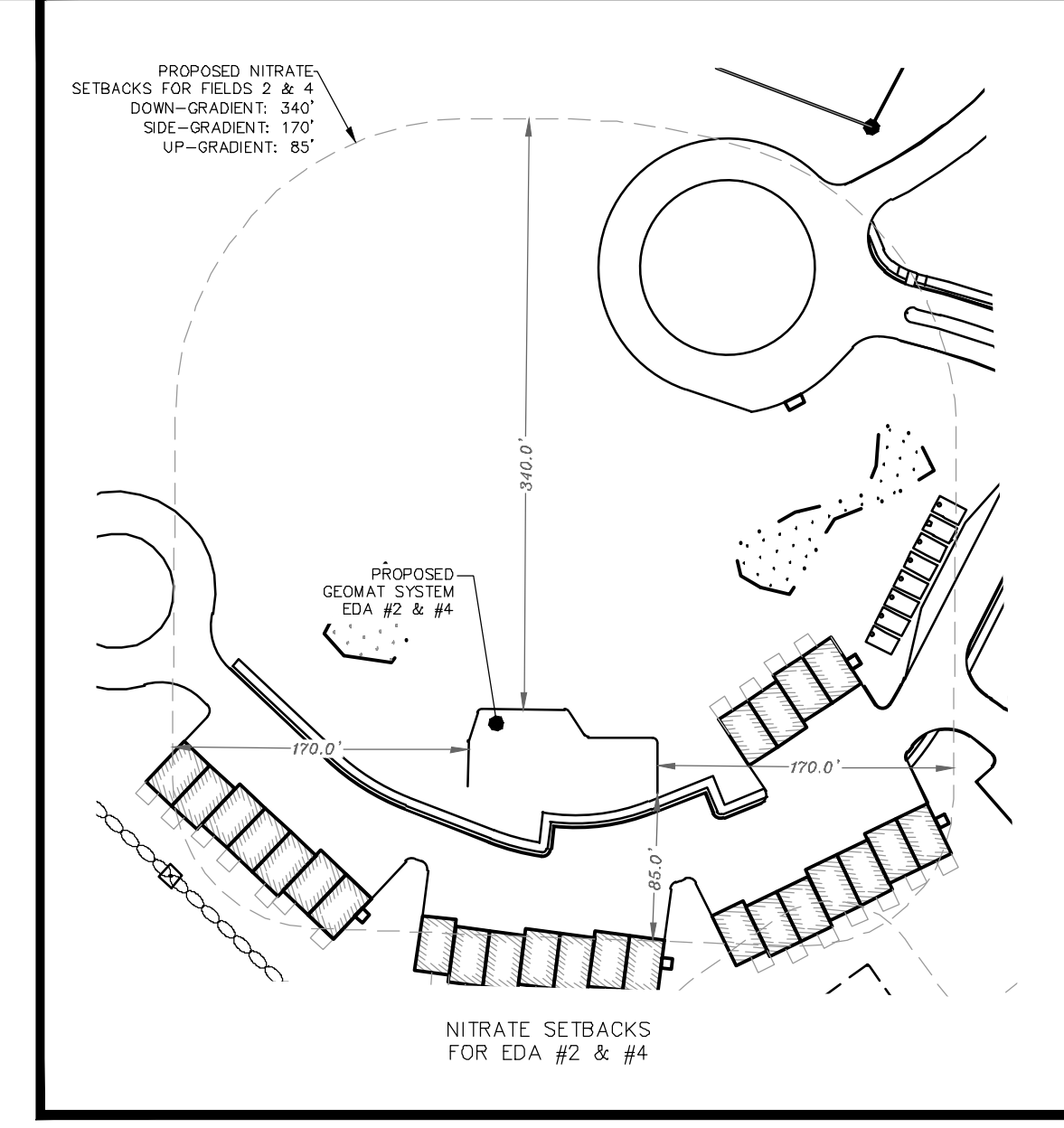
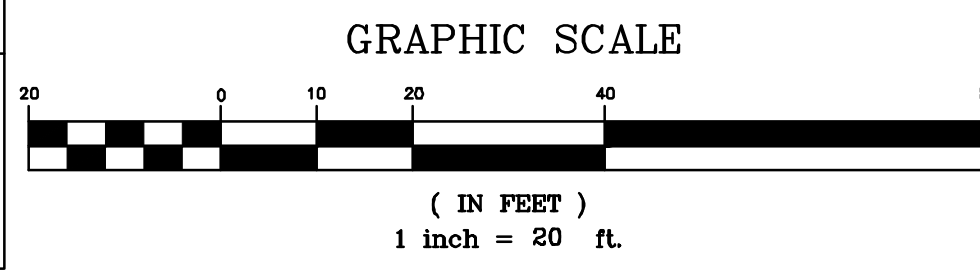
THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED 0.67' BELOW THE HIGH POINT OF THE EXISTING LAND.  
 IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

**WETNOTE :**

THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:  
 JOHN P. HAYES III

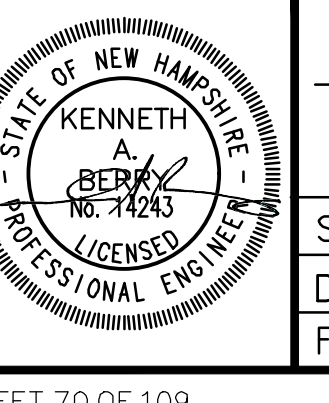
**CAUTION !!!!!**

ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

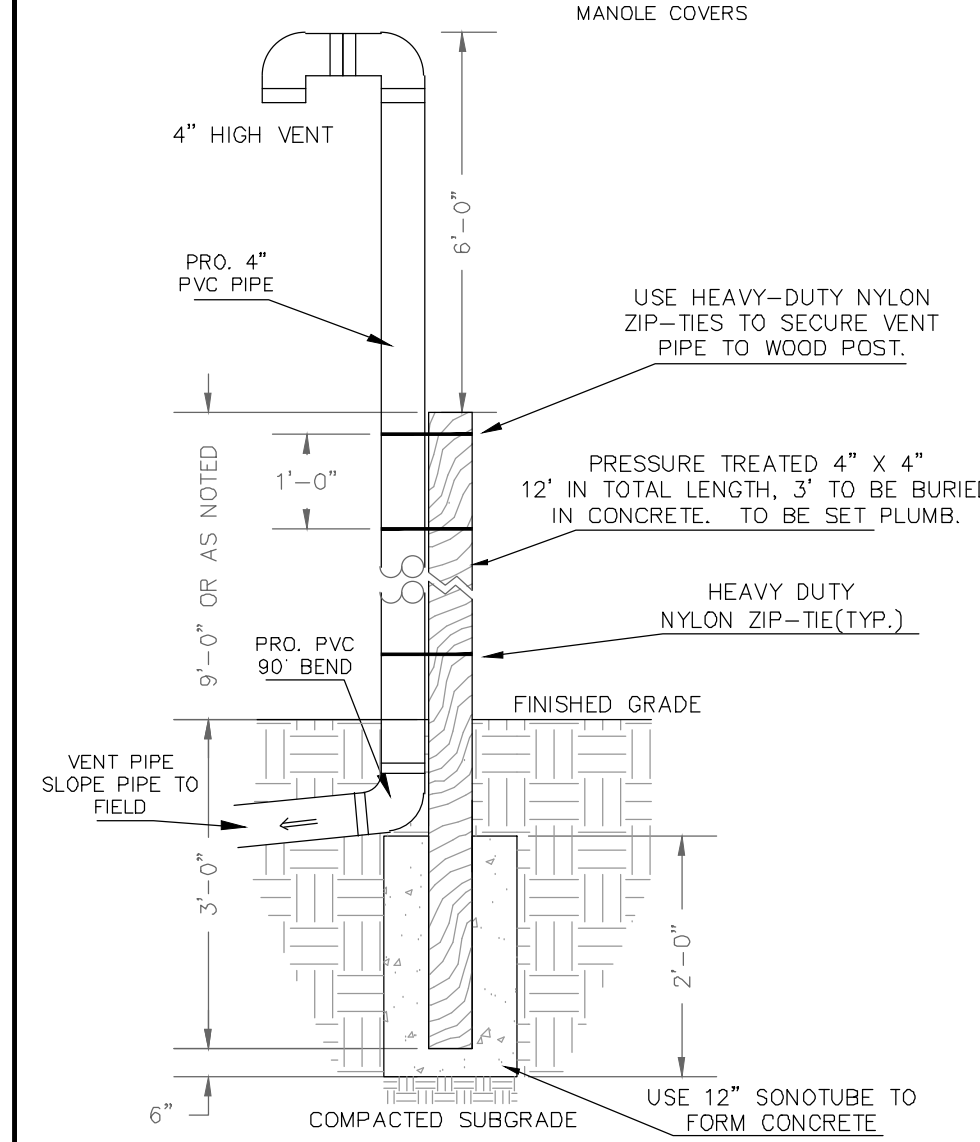
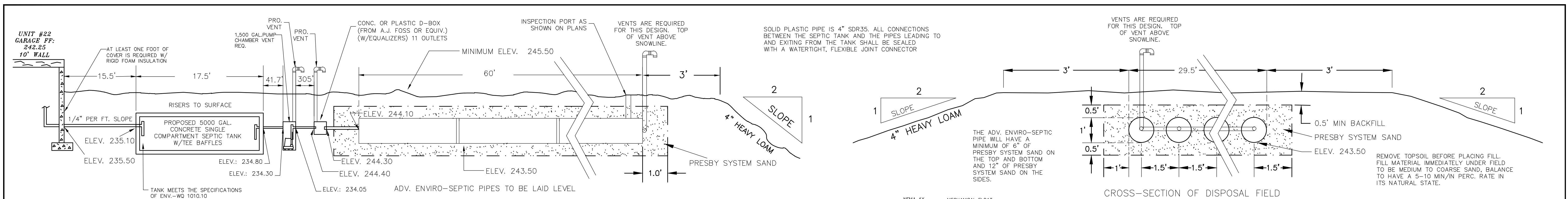


| #  | REVISION | DATE       | DESCRIPTION                                   |
|----|----------|------------|---|
| #2 |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1 |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PROPOSED GEOMAT SEPTIC SYSTEM  
 EFFLUENT DISPOSAL FIELD  
 FOR  
 DOVE DEVELOPMENT GROUP, LLC  
 COMMUNITY WAY  
 BARRINGTON, N.H.  
 TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 4B)



**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT RD.  
 BARRINGTON, N.H. 332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097



**PROFILE OF SEPTIC SYSTEM**

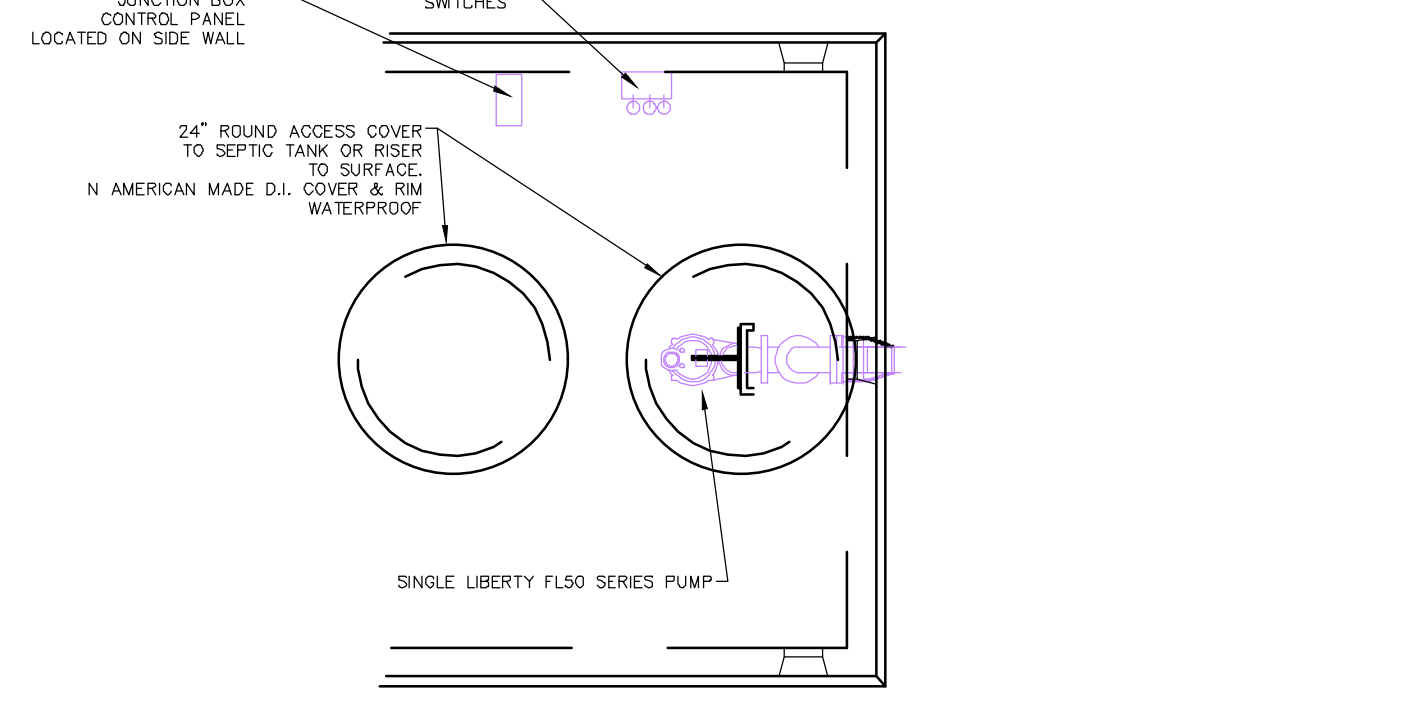
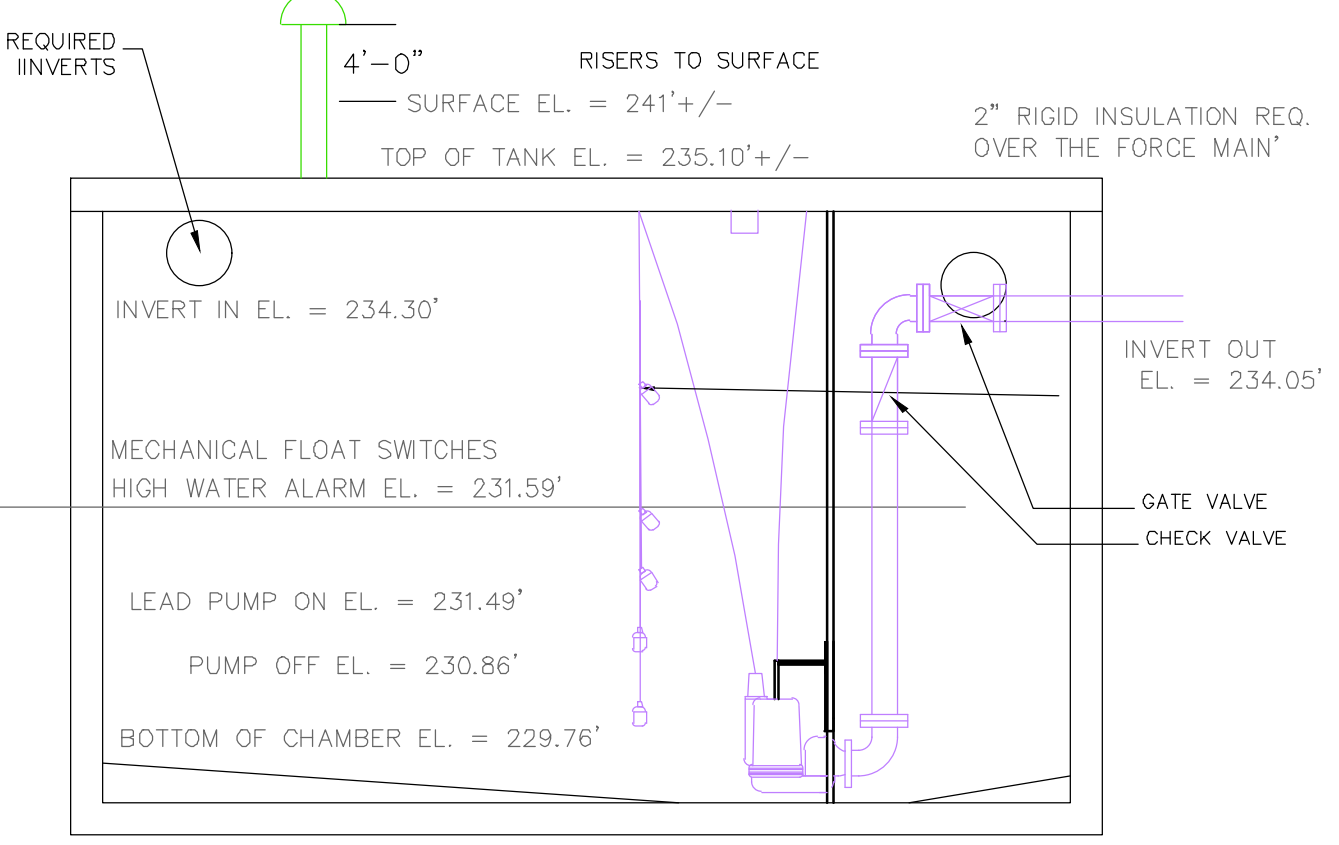
**PUMP DATA :**  
 BRAND : LIBERTY SERIES 280, (FROM A.J. FOSS) OR EQUIV.  
 PIPE SIZE : 2.0" W/VELOCITY REDUCING DEVICE IN THE D-BOX  
 6.58 MINUTE PUMP CYCLES @ 250 GAL./CYCLE  
 8.40 CYLES PER DAY  
 PUMP OFF ELEV. 230.86  
 PUMP ON ELEV. 231.49  
 ALARM ON ELEV. 231.59  
 EXCESS STORAGE: 1,362 GALLONS  
 THE PUMP WILL BE EQUIPPED WITH AN ALARM SYSTEM THE ALARM SYSTEM AND PUMP WILL BE ON SEPARATE ELECTRICAL CIRCUITS  
 THE PUMP CHAMBER WILL BE VENTED AND WATER-TIGHT CHAMBER BOTTOM (INSIDE): 229.76

**ELEVATIONS :**  
 243.00 - HIGH POINT OF LEACH BED  
 240.00 - S.H.W.T.  
 N/A - IMPERVIOUS LAYER  
 243.50 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

**PLAN INTENT :**  
 THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED IS 0.5' ABOVE THE HIGH POINT OF THE EXISTING LAND.  
 IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.

**WETNOTE :**  
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 JOHN P. HAYES III

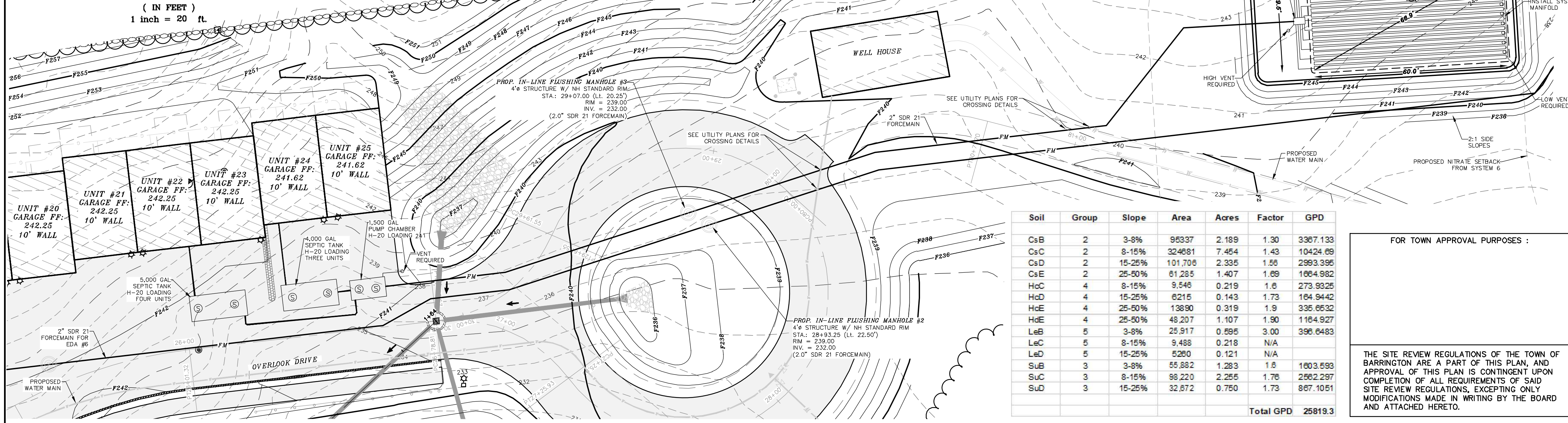
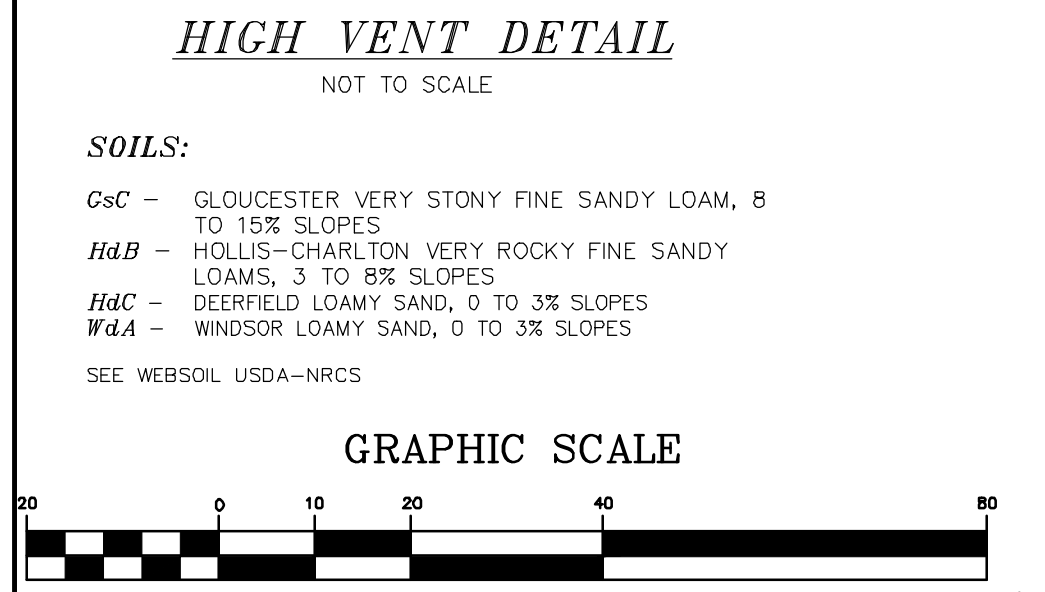
**TEST PIT DATA:**  
 TEST PIT #323  
 0-0.4' 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE  
 0.4-2.0' 10YR 5/6, FINE SANDY LOAM, GRANULAR, FRIABLE  
 2.0-3.0' 2.5Y 5/4, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE  
 3.0-5.6' 2.5Y 5/2, GRAVELLY FINE SANDY LOAM, MASSIVE, FRIABLE  
 REFUSAL N/A  
 S.H.W.T. @ 3.0'  
 GROUND WATER N/A  
 TERMINATED @ 5.6'  
 PERC. RATE = 6 MIN./IN.



**CALCULATIONS :**  
 7 (2) BEDROOM UNITS, 2,100 GPD  
 US A 5,000 GAL. & 4,000 GAL. SINGLE COMPARTMENT CONCRETE SEPTIC TANK (FROM SHEA CONCRETE OR EQUIV.)  
 6 MIN/IN MEASURED PERC RATE  
 6 MIN/IN DESIGN PERC RATE  
 1,155 - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED  
 1,200 - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE  
 120 - TOTAL NUMBER OF 10' SECTIONS OF ADV. ENVIRO SEPTIC PIPE REQUIRED  
 20 ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW 60' LONG

**CAUTION !!!!**  
 ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL OR FUNCTION PROPERLY AND SAFELY.

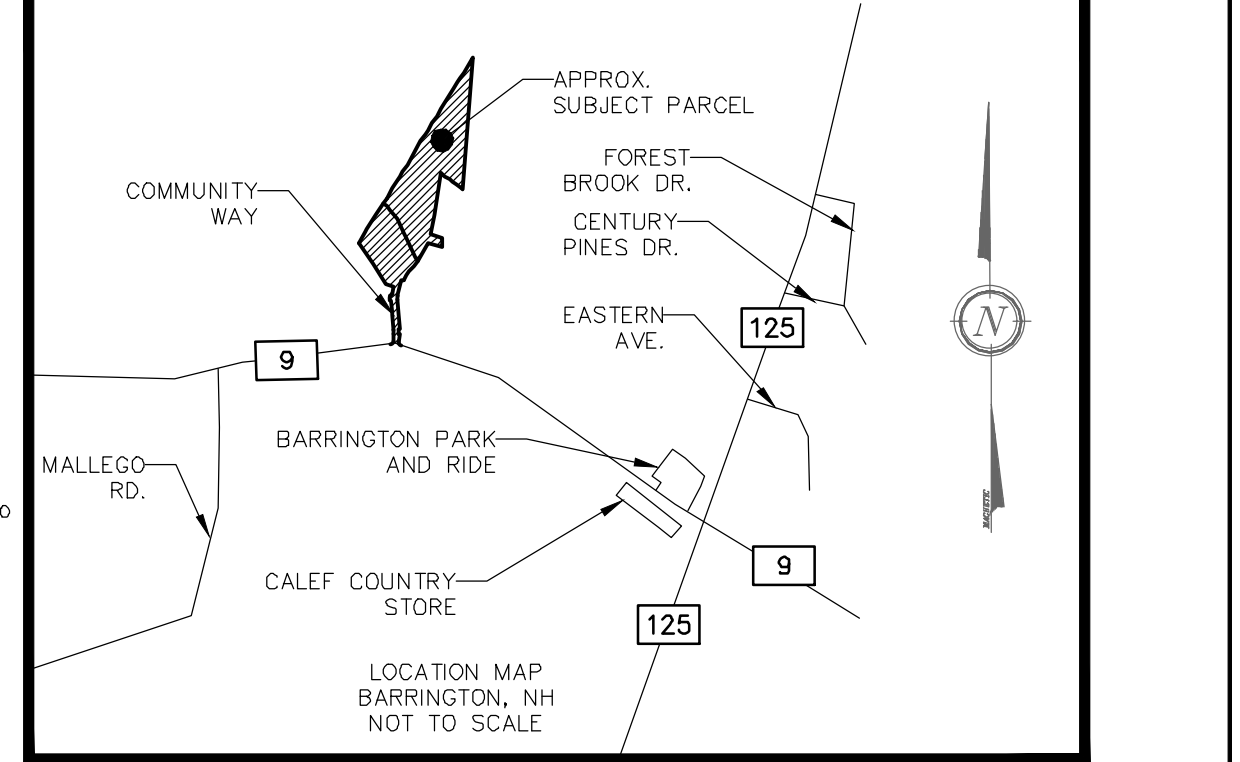
- NOTES:**
- OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820
  - DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825
  - A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.  
B.) 743,421 Sq. Ft. 17.07 Ac.
  - S.C.R.D. A.) BOOK 4816 PAGE 500  
B.) BOOK 4816 PAGE 504
  - SUBDIVISION STATUS: OVER 5 ACRES
  - FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
  - THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
  - THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
  - THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
  - IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
  - THIS IS NOT A BOUNDARY SURVEY.
  - THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.



| Soil             | Group | Slope  | Area   | Acres | Factor | GPD            |
|------------------|-------|--------|--------|-------|--------|----------------|
| CsB              | 2     | 3-8%   | 95337  | 2.189 | 1.30   | 3387.133       |
| CsC              | 2     | 8-15%  | 324681 | 7.454 | 1.43   | 10424.69       |
| CsD              | 2     | 15-25% | 101706 | 2.335 | 1.55   | 2993.395       |
| CsE              | 2     | 25-50% | 61285  | 1.407 | 1.69   | 1664.982       |
| HcC              | 4     | 8-15%  | 9546   | 0.219 | 1.6    | 273.9325       |
| HcD              | 4     | 15-25% | 6215   | 0.143 | 1.73   | 164.9442       |
| HcE              | 4     | 25-50% | 13890  | 0.319 | 1.9    | 335.6532       |
| HcF              | 4     | 25-50% | 48207  | 1.107 | 1.90   | 1164.9227      |
| LeB              | 5     | 3-8%   | 25917  | 0.595 | 3.00   | 396.6493       |
| LeC              | 5     | 8-15%  | 9488   | 0.218 | N/A    |                |
| LeD              | 5     | 15-25% | 5260   | 0.121 | N/A    |                |
| SubB             | 3     | 3-8%   | 55882  | 1.283 | 1.6    | 1603.593       |
| SubC             | 3     | 8-15%  | 98220  | 2.255 | 1.76   | 2562.297       |
| SubD             | 3     | 15-25% | 32672  | 0.750 | 1.73   | 867.1051       |
| <b>Total GPD</b> |       |        |        |       |        | <b>25819.3</b> |

**FOR TOWN APPROVAL PURPOSES :**

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



| #  | REVISION | DATE       | DESCRIPTION                                   |
|----|----------|------------|---|
| #2 |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1 |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 5)

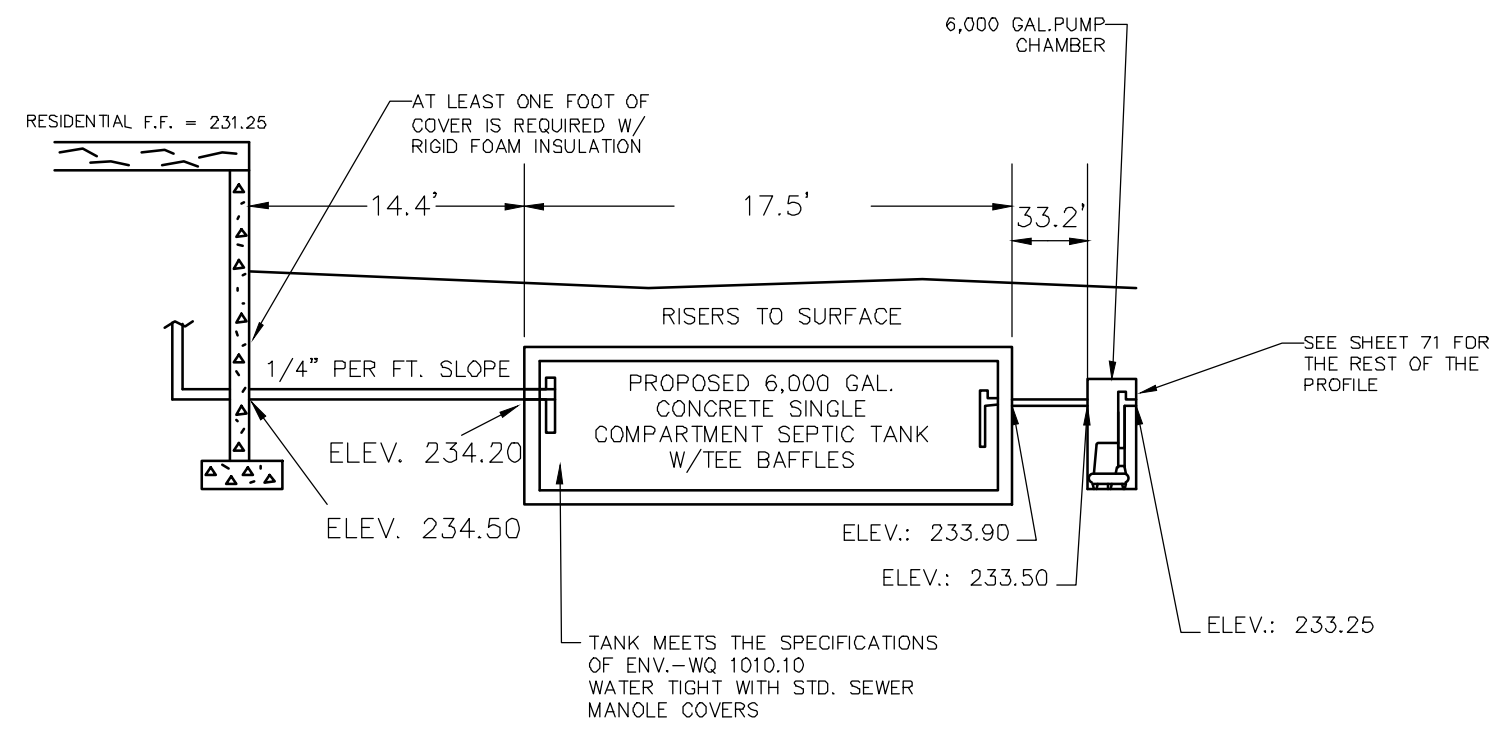
**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT RD.  
 BARRINGTON, N.H. 332-2863

SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

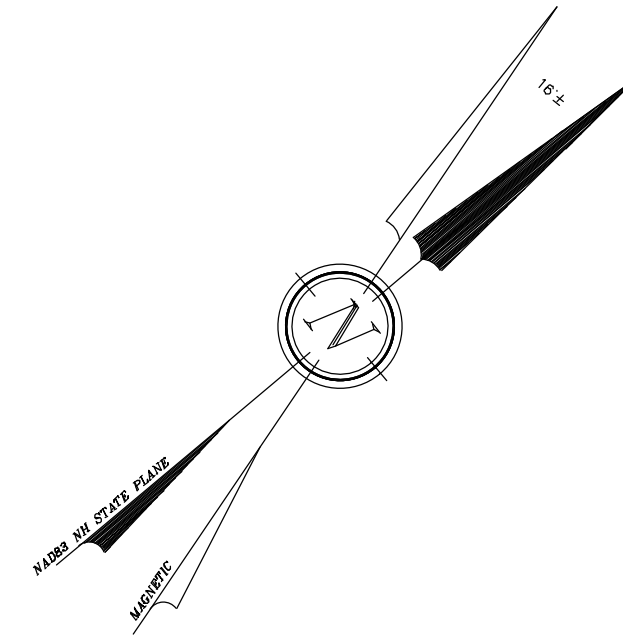
KENNETH A. BERRY  
 No. 14243  
 LICENSED PROFESSIONAL ENGINEER

SHEET 71 OF 109





| Soil             | Group | Slope  | Area   | Acres | Factor | GPD            |
|------------------|-------|--------|--------|-------|--------|----------------|
| CsB              | 2     | 3-8%   | 96337  | 2.189 | 1.30   | 3367.133       |
| CsC              | 2     | 8-15%  | 324681 | 7.464 | 1.43   | 10424.69       |
| CsD              | 2     | 15-25% | 101708 | 2.335 | 1.56   | 2983.396       |
| CsE              | 2     | 25-50% | 61285  | 1.407 | 1.89   | 1884.982       |
| HcC              | 4     | 8-15%  | 9546   | 0.219 | 1.6    | 273.9325       |
| HcD              | 4     | 15-25% | 6215   | 0.143 | 1.73   | 164.9442       |
| HcE              | 4     | 25-50% | 13890  | 0.319 | 1.9    | 335.6532       |
| HcF              | 4     | 25-50% | 48207  | 1.107 | 1.90   | 1164.927       |
| LeB              | 5     | 3-8%   | 25917  | 0.595 | 3.00   | 396.6483       |
| LeC              | 5     | 8-15%  | 9488   | 0.218 | N/A    |                |
| LeD              | 5     | 15-25% | 5280   | 0.121 | N/A    |                |
| SuB              | 3     | 3-8%   | 55882  | 1.283 | 1.6    | 1603.698       |
| SuC              | 3     | 8-15%  | 98220  | 2.255 | 1.76   | 2562.297       |
| SuD              | 3     | 15-25% | 32672  | 0.750 | 1.73   | 867.1051       |
| <b>Total GPD</b> |       |        |        |       |        | <b>25819.3</b> |



**SOILS:**

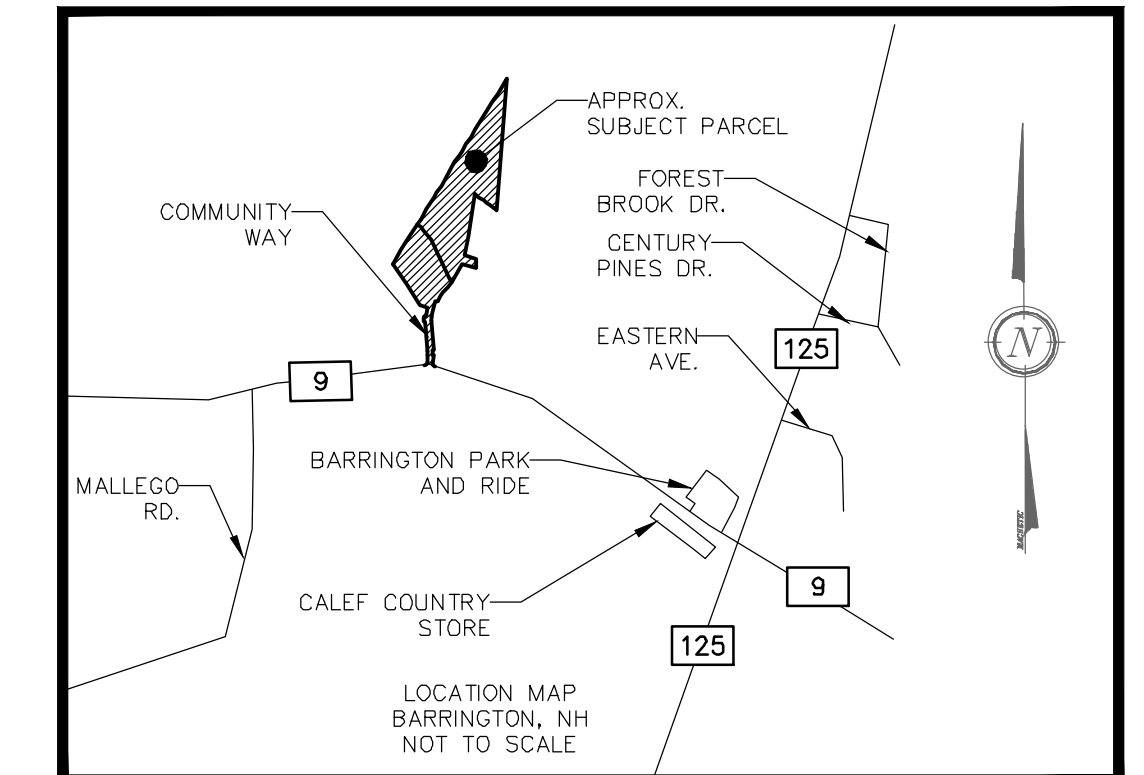
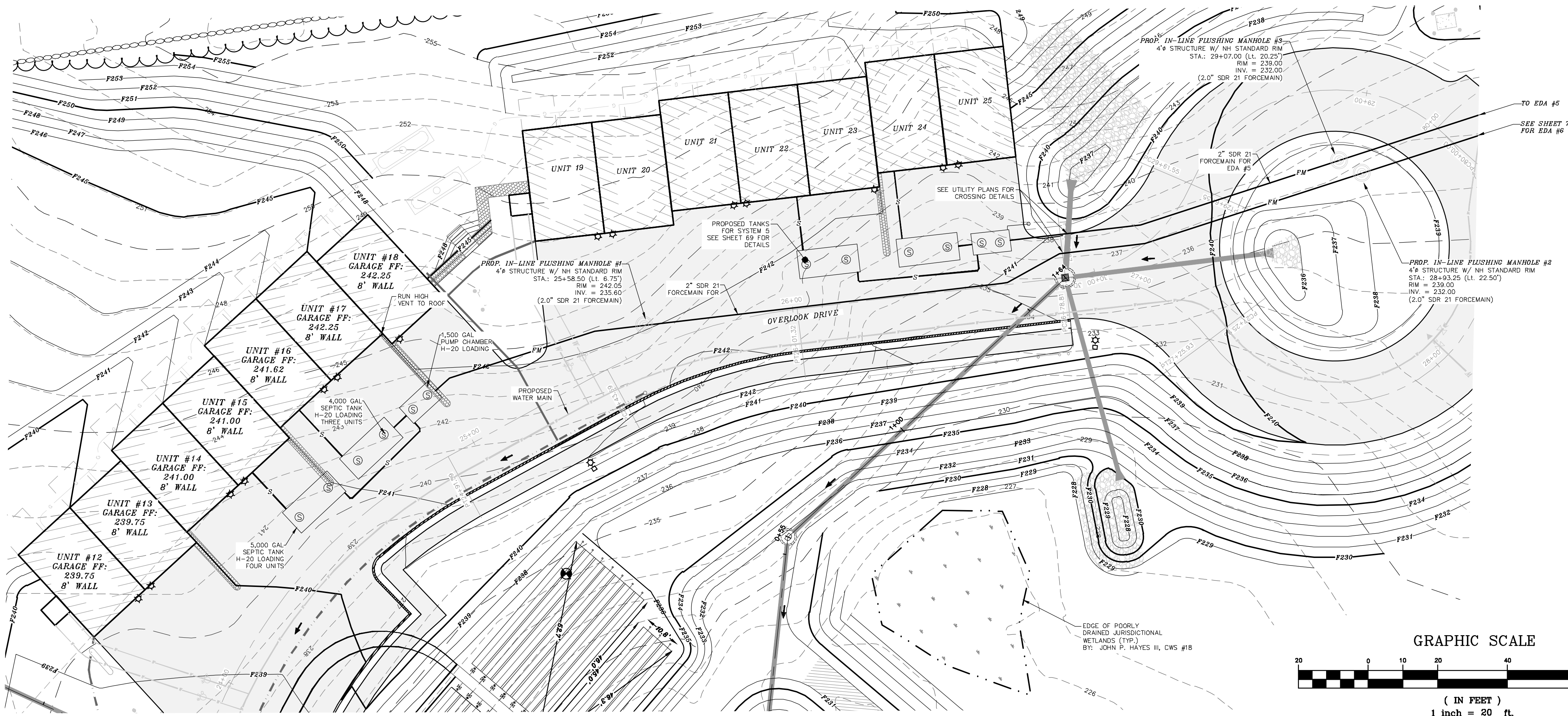
- CsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
  - HAB - HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 3 TO 8% SLOPES
  - HcC - DEERFIELD LOAMY SAND, 0 TO 3% SLOPES
  - WdA - WINDSOR LOAMY SAND, 0 TO 3% SLOPES
- SEE WEBSOIL USDA-NRCS

**FOR TOWN APPROVAL PURPOSES :**

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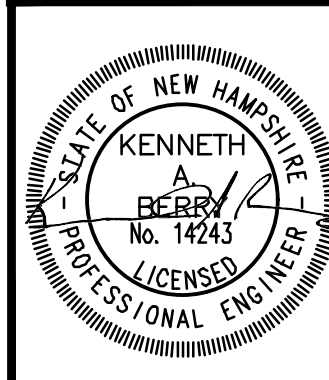
**NOTES:**

- 1.) OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820
- 2.) DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825
- 3.) A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 4.) LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.  
B.) 743,421 Sq. Ft. 17.07 Ac.
- 5.) S.C.R.D. A.) BOOK 4816 PAGE 500  
B.) BOOK 4816 PAGE 504
- 6.) SUBDIVISION STATUS: OVER 5 ACRES
- 7.) FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- 8.) THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 50', OR VERY POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- 9.) THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- 10.) THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.
- 11.) IN THE EVENT A DISCREPANCY IS FOUND ON THIS PLAN, THE DESIGNER SHOULD BE CONTACTED IMMEDIATELY AT 603-332-2863 TO DISCUSS AN APPROPRIATE PLAN OF ACTION.
- 12.) THIS IS NOT A BOUNDARY SURVEY.
- 13.) THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.



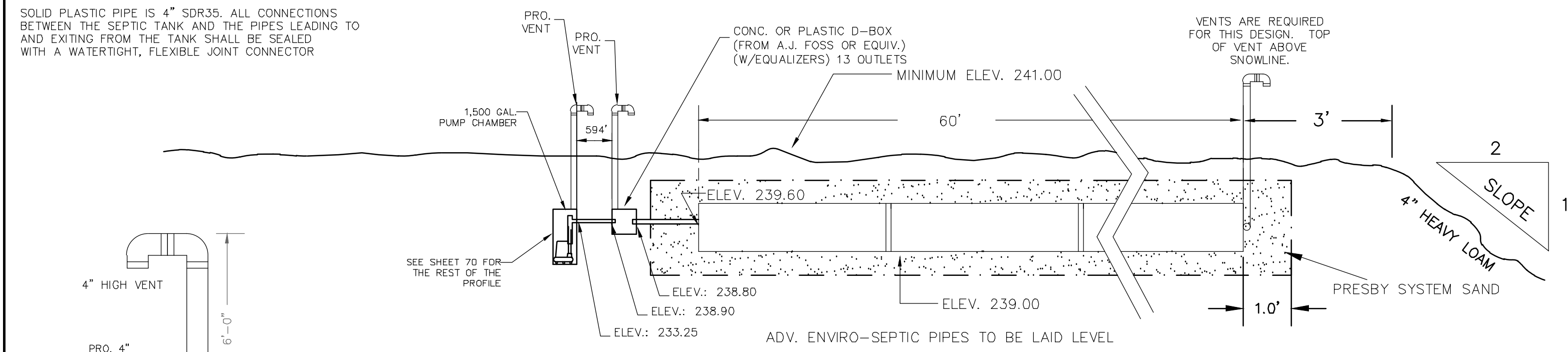
| #2<br>#1 | 10-12-2021<br>08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT<br>REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|----------|--------------------------|--|
| REVISION | DATE                     | DESCRIPTION  |

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 6A)

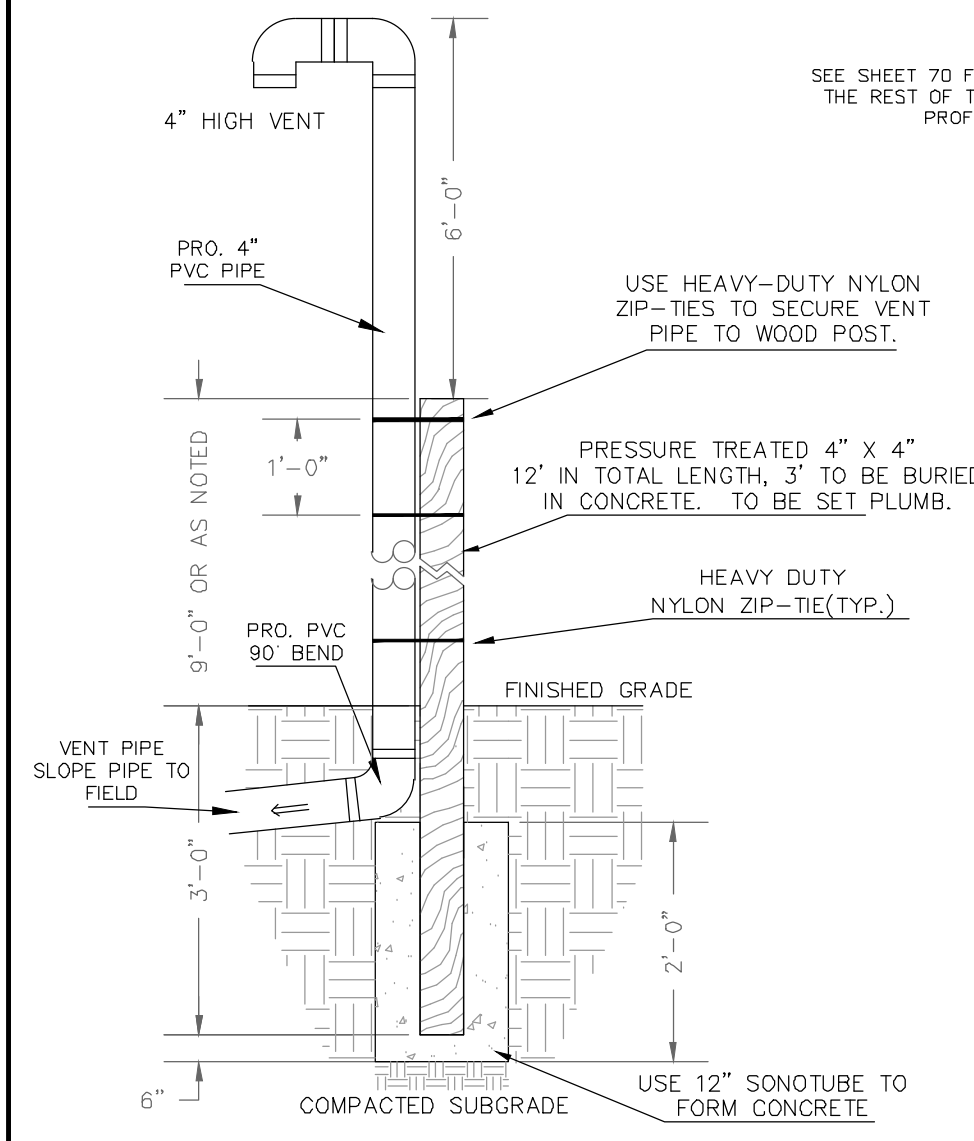


**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

SOLID PLASTIC PIPE IS 4" SDR35. ALL CONNECTIONS BETWEEN THE SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR



PROFILE OF SEPTIC SYSTEM



HIGH VENT DETAIL NOT TO SCALE

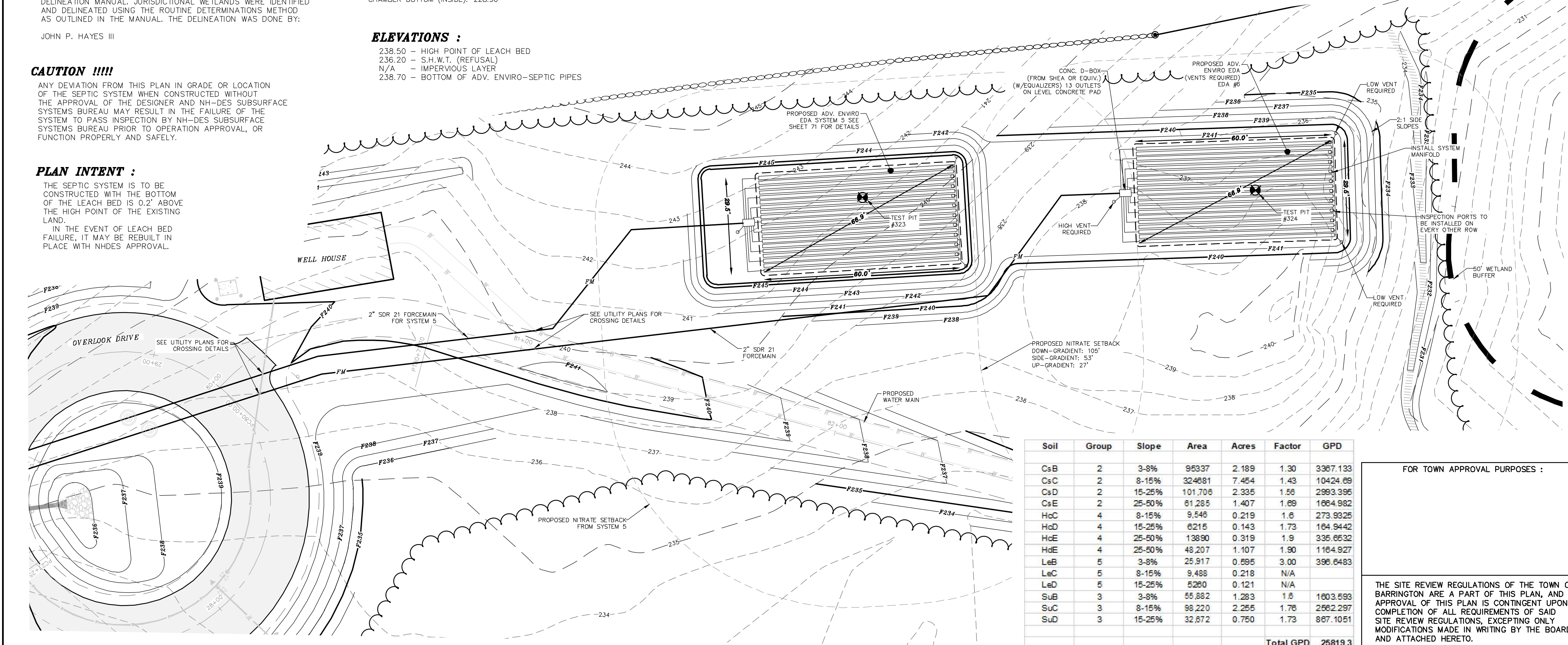
**PUMP DATA :**  
 BRAND : LIBERTY SERIES 280, (FROM A.J. FOSS) OR EQUIV.  
 PIPE SIZE : 2.0" W/VELOCITY REDUCING DEVICE IN THE D-BOX  
 6.76 MINUTE PUMP CYCLES @ 250 GAL./CYCLE  
 8.40 CYCLES PER DAY  
 PUMP OFF ELEV. 230.06  
 PUMP ON ELEV. 230.69  
 ALARM ON ELEV. 230.79  
 EXCESS STORAGE: 1,362 GALLONS  
 THE PUMP WILL BE EQUIPPED WITH AN ALARM SYSTEM  
 THE ALARM SYSTEM AND PUMP WILL BE ON SEPARATE ELECTRICAL CIRCUITS  
 THE PUMP CHAMBER WILL BE VENTED AND WATER-TIGHT  
 CHAMBER BOTTOM (INSIDE): 228.96'

**ELEVATIONS :**  
 238.50 - HIGH POINT OF LEACH BED  
 236.20 - S.H.W.T. (REFUSAL)  
 N/A - IMPERVIOUS LAYER  
 238.70 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

**WETNOTE :**  
 THE WETLAND DELINEATION WAS COMPLETED SPRING, 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY:  
 JOHN P. HAYES III

**CAUTION !!!!!**  
 ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

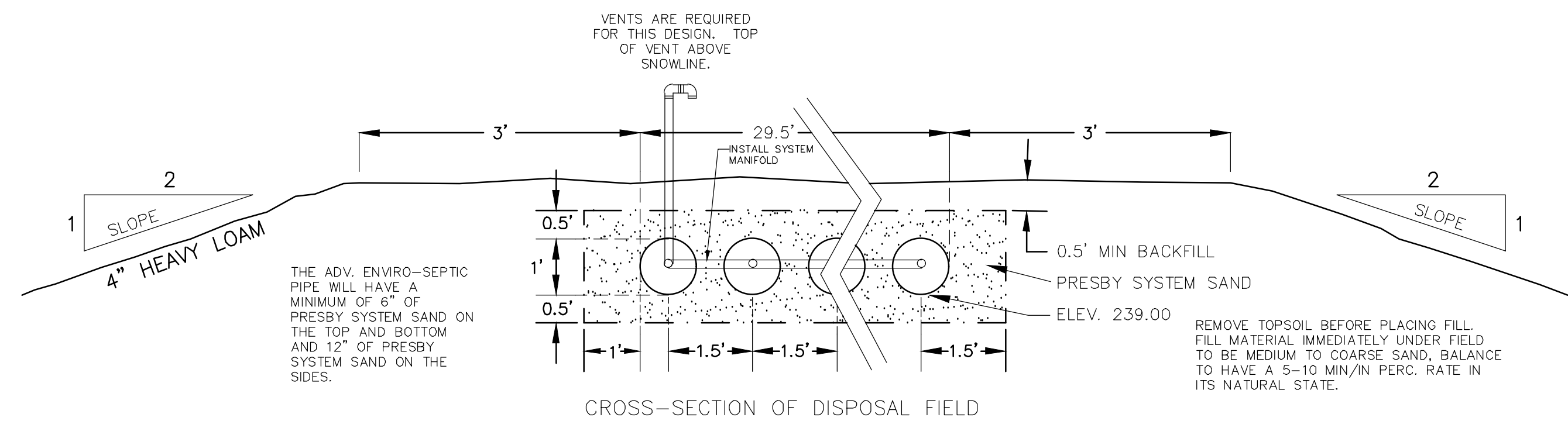
**PLAN INTENT :**  
 THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED IS 0.2' ABOVE THE HIGH POINT OF THE EXISTING LAND.  
 IN THE EVENT OF LEACH BED FAILURE, IT MAY BE REBUILT IN PLACE WITH NHDES APPROVAL.



| Soil             | Group | Slope  | Area    | Acres | Factor | GPD            |
|------------------|-------|--------|---------|-------|--------|----------------|
| CsB              | 2     | 3-8%   | 95337   | 2.189 | 1.30   | 3387.133       |
| CsC              | 2     | 8-15%  | 324681  | 7.454 | 1.43   | 10424.89       |
| CsD              | 2     | 15-25% | 101.708 | 2.335 | 1.55   | 2993.395       |
| CsE              | 2     | 25-50% | 61.285  | 1.407 | 1.69   | 1864.982       |
| HcC              | 4     | 8-15%  | 9.546   | 0.219 | 1.6    | 273.9325       |
| HcD              | 4     | 15-25% | 6215    | 0.143 | 1.73   | 164.9442       |
| HcE              | 4     | 25-50% | 13890   | 0.319 | 1.9    | 335.6532       |
| HdE              | 4     | 25-50% | 48.207  | 1.107 | 1.90   | 1164.927       |
| LeB              | 5     | 3-8%   | 25.917  | 0.595 | 3.00   | 398.6483       |
| LeC              | 5     | 8-15%  | 9.488   | 0.218 | N/A    |                |
| LeD              | 5     | 15-25% | 5280    | 0.121 | N/A    |                |
| SubB             | 3     | 3-8%   | 55.882  | 1.283 | 1.8    | 1603.593       |
| SubC             | 3     | 8-15%  | 98.220  | 2.255 | 1.76   | 2562.297       |
| SubD             | 3     | 15-25% | 32.672  | 0.750 | 1.73   | 867.1051       |
| <b>Total GPD</b> |       |        |         |       |        | <b>25913.3</b> |

FOR TOWN APPROVAL PURPOSES :

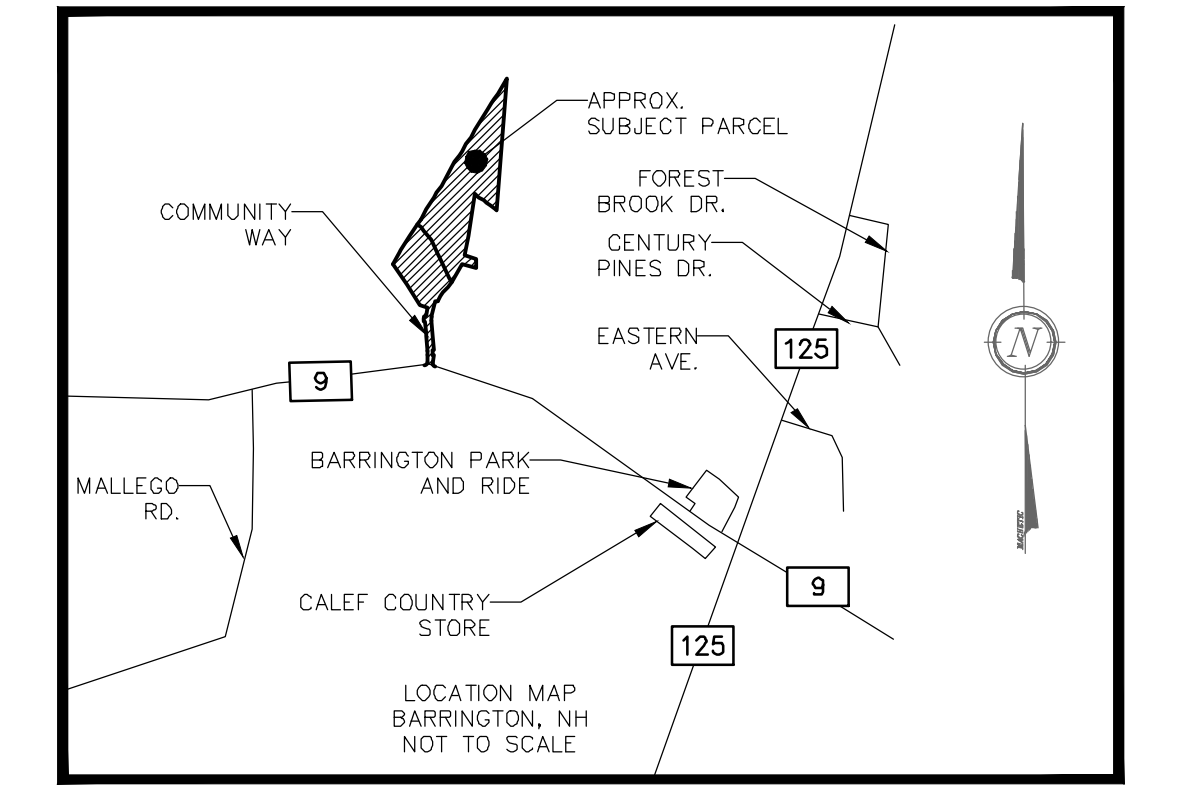
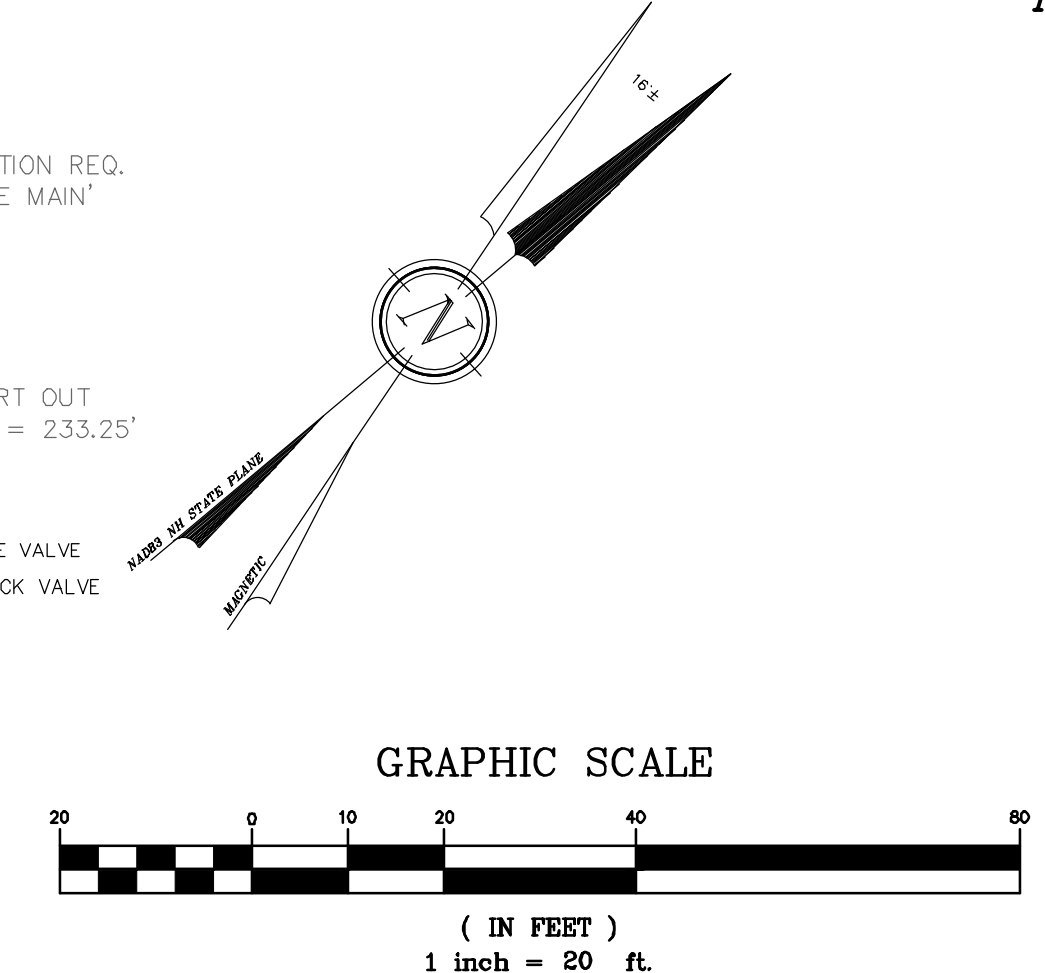
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CROSS-SECTION OF DISPOSAL FIELD

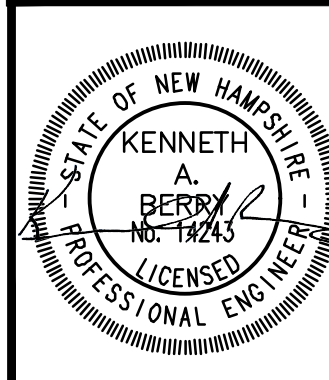
**NOTES:**

- OWNER: DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVENUE  
DOVER, NH 03820
- DESIGNER: CHRISTOPHER R. BERRY, PERMIT #1886  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825
- A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- LOT AREA: A.) 323,215 Sq. Ft. 7.42 Ac.  
B.) 743,421 Sq. Ft. 17.07 Ac.
- S.C.R.D. A.) BOOK 4816 PAGE 500  
B.) BOOK 4816 PAGE 504
- SUBDIVISION STATUS: OVER 5 ACRES
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
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- THIS IS NOT A BOUNDARY SURVEY.
- THERE IS NO KNOWN BURIAL SITE OR CEMETERY ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.



| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM EFFLUENT DISPOSAL FIELD FOR DOVE DEVELOPMENT GROUP, LLC COMMUNITY WAY BARRINGTON, N.H. TAX MAP 235, LOTS 1-1 & 3 (SYSTEM 6B)



**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT RD.  
 BARRINGTON, N.H. 332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

**NOTES:**

- 1.) OWNER & APPLICANT:
  - A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD:
  - A.) TAX MAP 235, LOT 1-1
  - B.) TAX MAP 235, LOT 3
- 3.) LOT AREA:
  - A.) 323,215 Sq. Ft., 7.42 Ac.
  - B.) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.:
  - A.) BOOK 4816, PAGE 500
  - B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF UTILITIES AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.
- 10.) NOTE: ALL REQUIRED UTILITIES FOR 239-2 AND 235-1 WERE INSTALLED IN 2019.

**PROPOSED LEGEND:**

- 4"x4" GRANITE BOUND ~FND~
- 3/4" REBAR W/ ID CAP ~TBS~
- 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
- PROPOSED LOT LINE REVISION LINE
- PROPOSED EASEMENT LINE
- UTILITY POLE
- LIGHT TYPE "A" MOUNTED LIGHT POLE
- LIGHT TYPE "B" MOUNTED LIGHT POLE
- LIGHT TYPE "C" MOUNTED ON BUILDING
- LIGHT TYPE "D" MOUNTED ON CONDOMINIUM BUILDING
- INLINE FLUSHING MANHOLE W/ STRUCTURE
- DRAIN MANHOLE W/STRUCTURE
- CATCH BASIN
- WELL
- TEMPORARY BENCHMARK (T.B.M.)
- DETAIL SHEET / DETAIL
- MATCH POINT
- MATCH LINE
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
- SHOULDER
- CENTER LINE
- BUILDING SETBACK LINE
- HIDES PROTECTIVE WELL RADIUS
- TRANSFORMER / JBOX
- UNDERGROUND UTILITY
- UNDER DRAIN
- GATE VALVE
- CLUB STOP
- BLOW OFF HYDRANT
- THRUST BLOCKS
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND LP TANK
- SEPTIC OR PUMP TANK

**EXISTING LEGEND:**

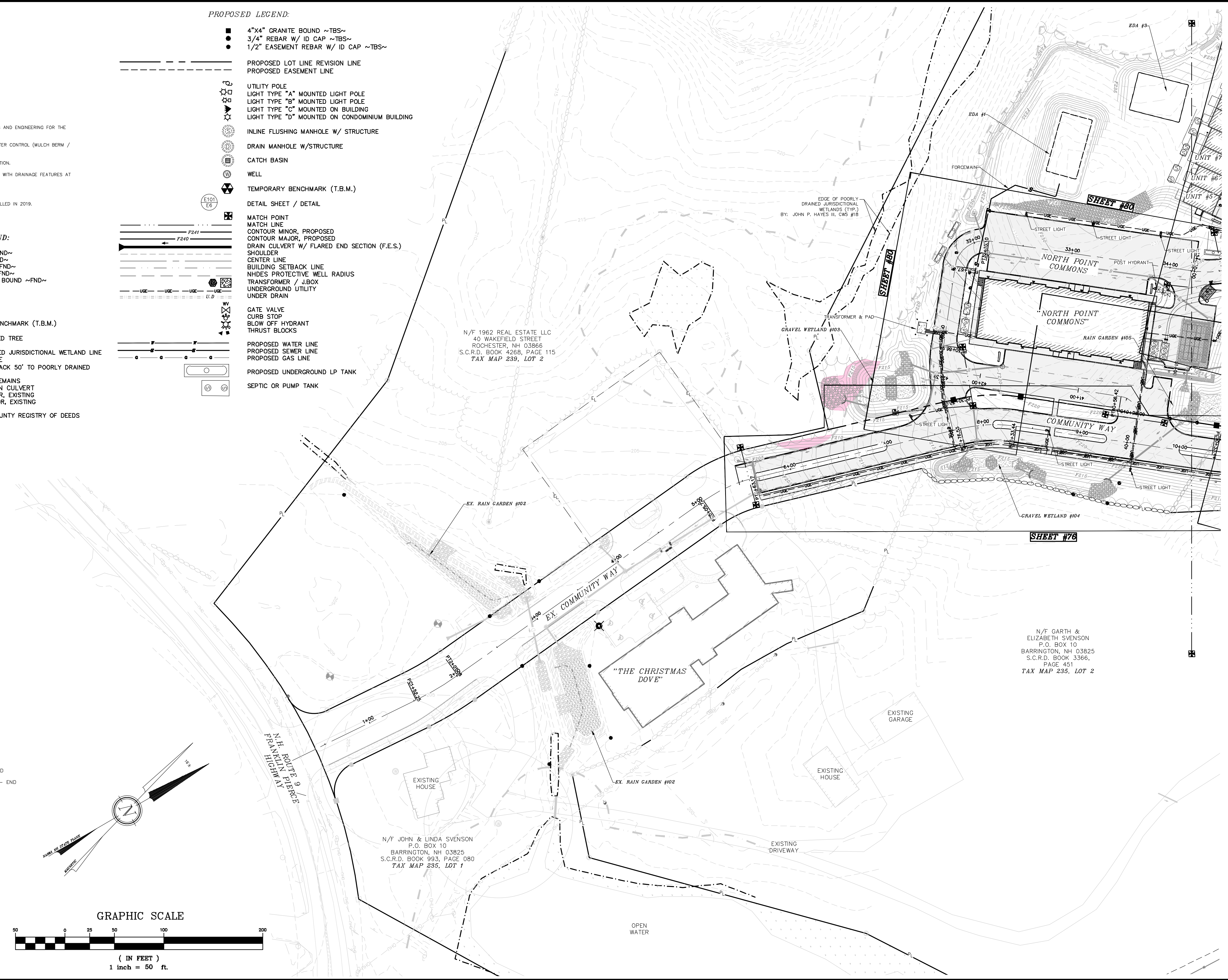
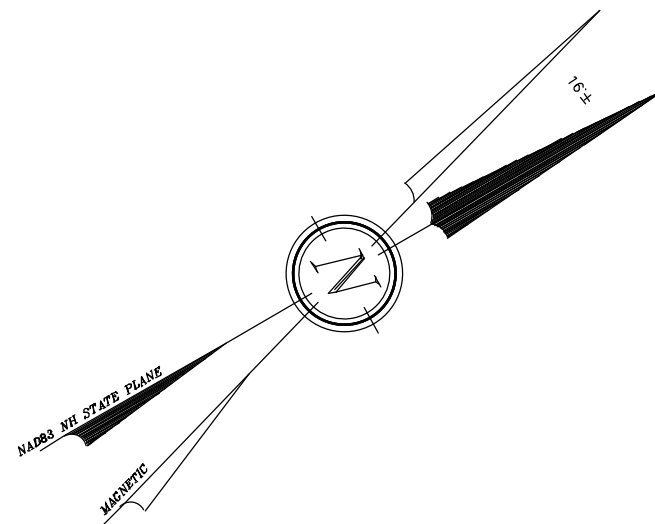
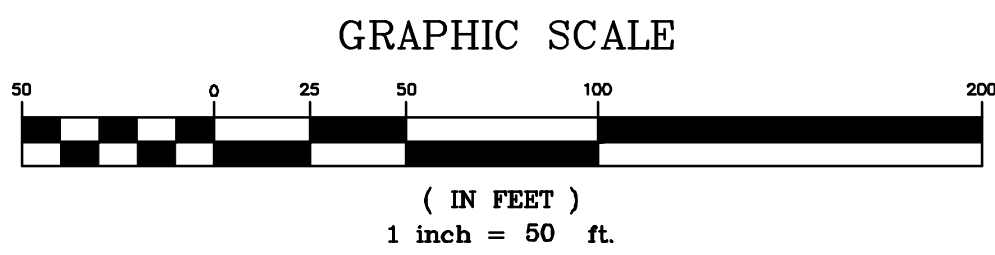
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- IRON BOUND ~FND~
- ANGLE IRON ~FND~
- NH&B GRANITE BOUND ~FND~
- TEST PIT
- LEDGE PROBE
- TEMPORARY BENCHMARK (T.B.M.)
- BLAZED/PAINTED TREE
- POORLY DRAINED JURISDICTIONAL WETLAND LINE
- EASEMENT LINE
- WETLAND SETBACK 50' TO POORLY DRAINED
- STONE WALL
- STONE WALL REMAINS
- EXISTING DRAIN CULVERT
- CONTOUR MINOR, EXISTING
- CONTOUR MAJOR, EXISTING
- S.C.R.D. TYP. STRAFFORD COUNTY REGISTRY OF DEEDS
- FND TYPICAL
- FND FOUND

**UTILITY PLAN TABLE OF CONTENTS:**

- SHEET #74: OVERVIEW UTILITY PLAN SOUTH
- SHEET #75: OVERVIEW UTILITY PLAN NORTH
- SHEET #76: UTILITY P&P COMMUNITY WAY 5+50 - 11+00
- SHEET #77: UTILITY P&P COMMUNITY WAY 11+00 - END
- SHEET #78: UTILITY P&P OVERLOOK DRIVE 20+00 - 25+00
- SHEET #79: UTILITY P&P OVERLOOK DRIVE 25+00 - END
- SHEET #80: UTILITY P&P NORTH POINT COMMON 30+00 - END
- SHEET #81: UTILITY P&P ACCESS ROAD 60+00 - END
- SHEET #82: UTILITY P&P DRIVEWAY RECONSTRUCTION 70+00 - END
- SHEET #83: UTILITY P&P WELL ACCESS 80+00 - 85+00
- SHEET #84: UTILITY P&P WELL ACCESS 85+00 - END

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



N/F 1962 REAL ESTATE LLC  
40 WAKEFIELD STREET  
ROCHESTER, NH 03866  
S.C.R.D. BOOK 4268, PAGE 115  
TAX MAP 239, LOT 2

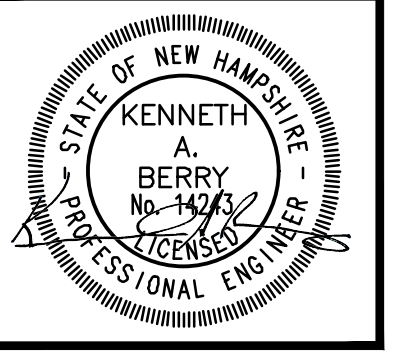
N/F GARTH &  
ELIZABETH SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 3366,  
PAGE 451  
TAX MAP 235, LOT 2

N/F JOHN & LINDA SVENSON  
P.O. BOX 10  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 993, PAGE 080  
TAX MAP 235, LOT 1

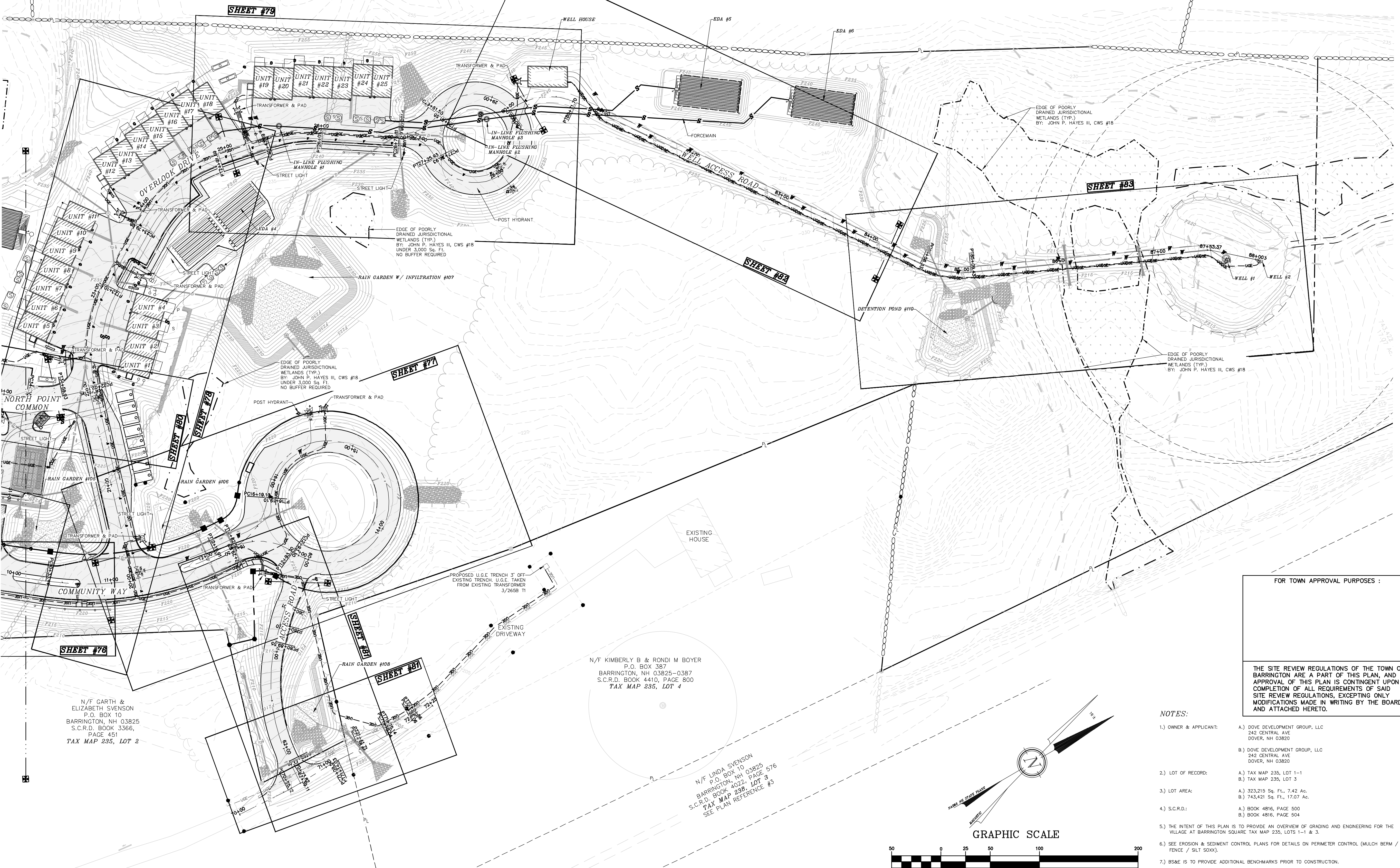
| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

OVERVIEW UTILITY PLAN SOUTH  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 50 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



N/F DAVID R. & GLENDA J. HERDERSON  
 UND INT LIV REV TRUST 1/2  
 1272 WINGED FOOT LANE  
 DENVER, NC 28037-6520  
 S.C.R.D. BOOK 897, PAGE 121  
 TAX MAP 235, LOT 1  
 SEE PLAN REFERENCE #5



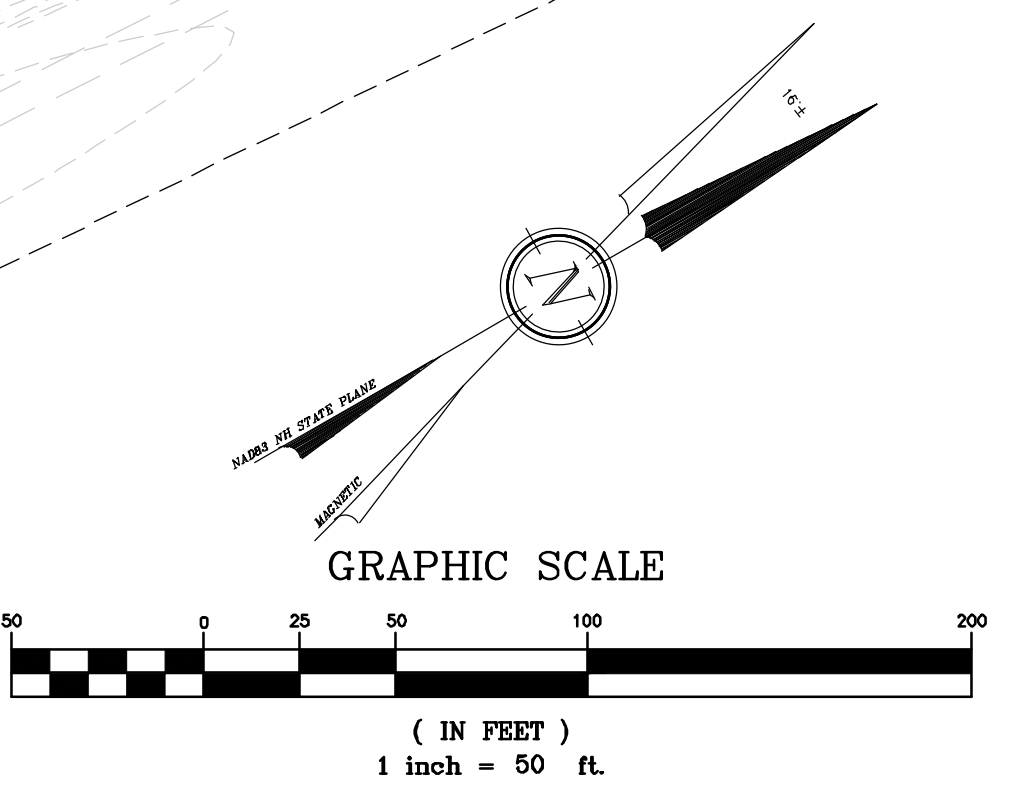
N/F GARTH & ELIZABETH SVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 3366,  
 PAGE 451  
 TAX MAP 235, LOT 2

N/F LINDA SVENSON  
 P.O. BOX 10  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 4022, PAGE 576  
 TAX MAP 235, LOT 3  
 SEE PLAN REFERENCE #3

N/F KIMBERLY B & RONI M BOYER  
 P.O. BOX 387  
 BARRINGTON, NH 03825-0387  
 S.C.R.D. BOOK 4410, PAGE 800  
 TAX MAP 235, LOT 4

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

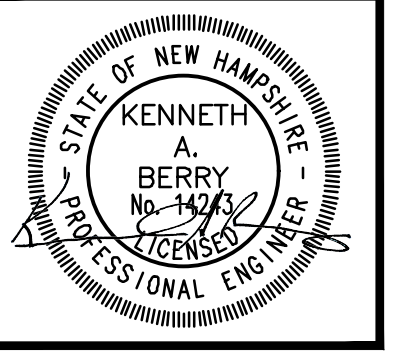


- NOTES:
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING AND ENGINEERING FOR THE VILLAGE AT BARRINGTON SQUARE, TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

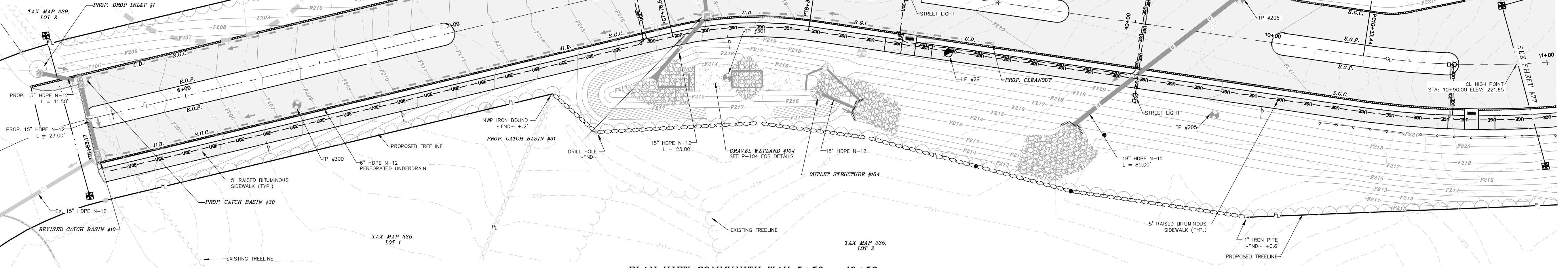
OVERVIEW UTILITY PLAN NORTH  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 50 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

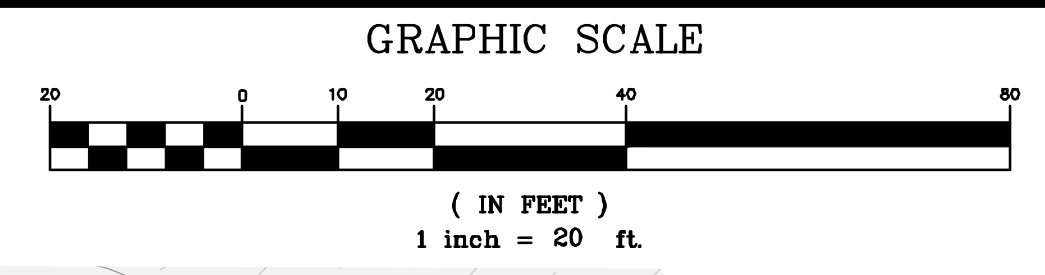
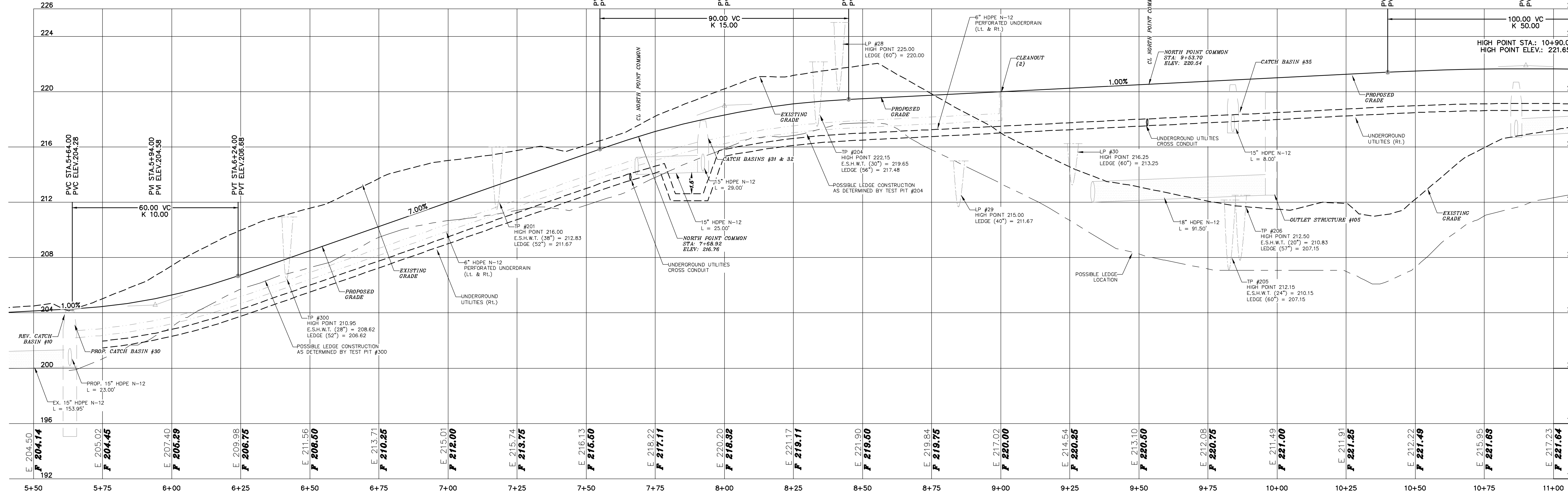
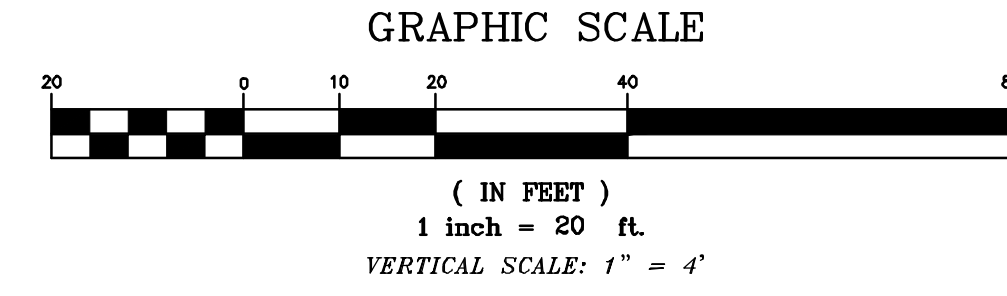


**NOTES:**

- 1.) OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- B) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A) TAX MAP 235, LOT 1-1  
B) TAX MAP 235, LOT 3
- 3.) LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.  
B) 743,421 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A) BOOK 4816, PAGE 500  
B) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW COMMUNITY WAY 5+50 - 10+50  
PROFILE VIEW COMMUNITY WAY 5+50 - 10+50



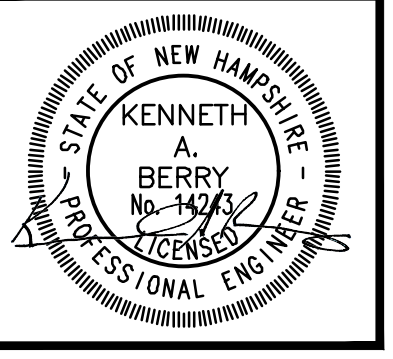
FOR TOWN APPROVAL PURPOSES :

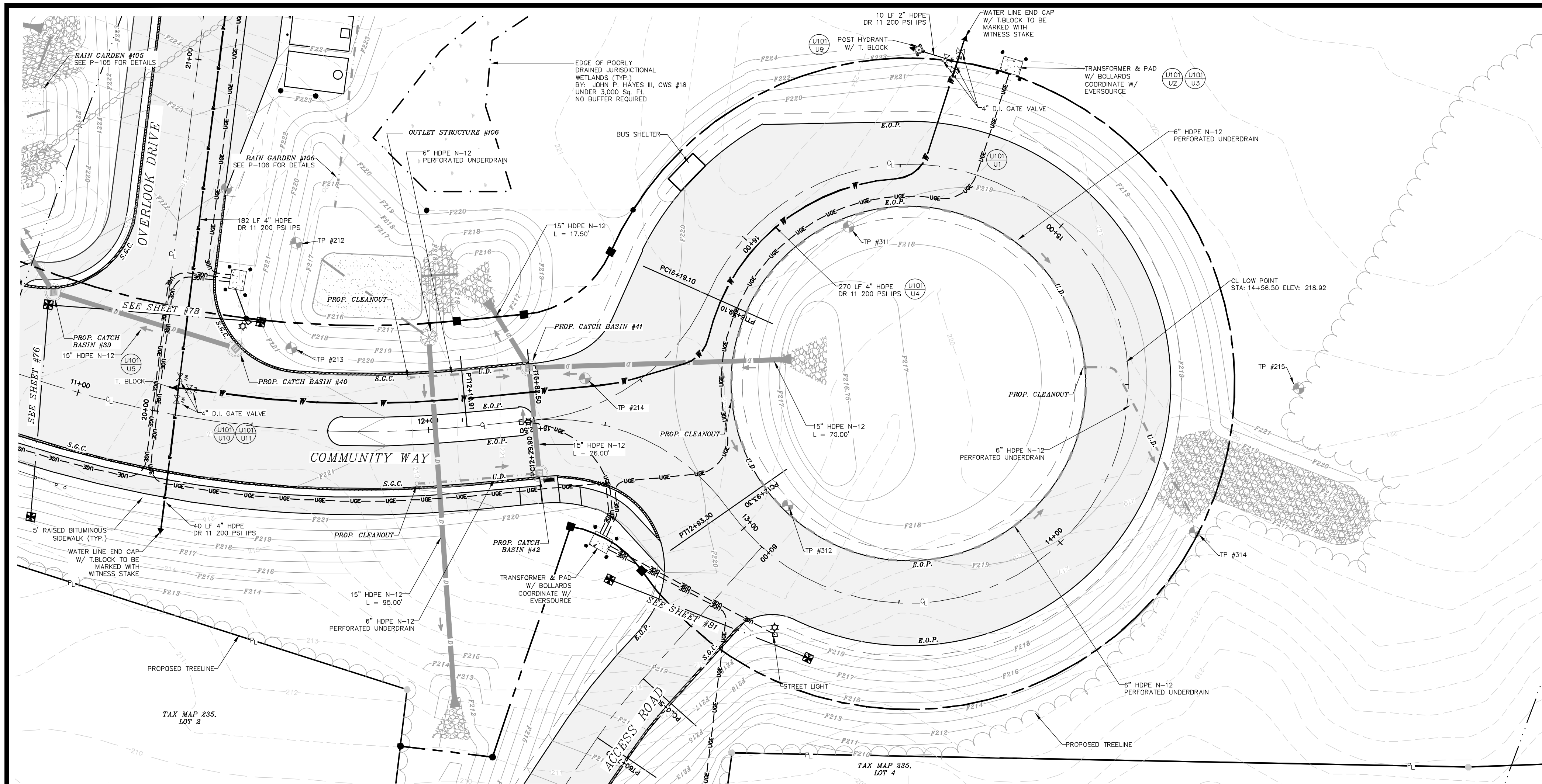
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

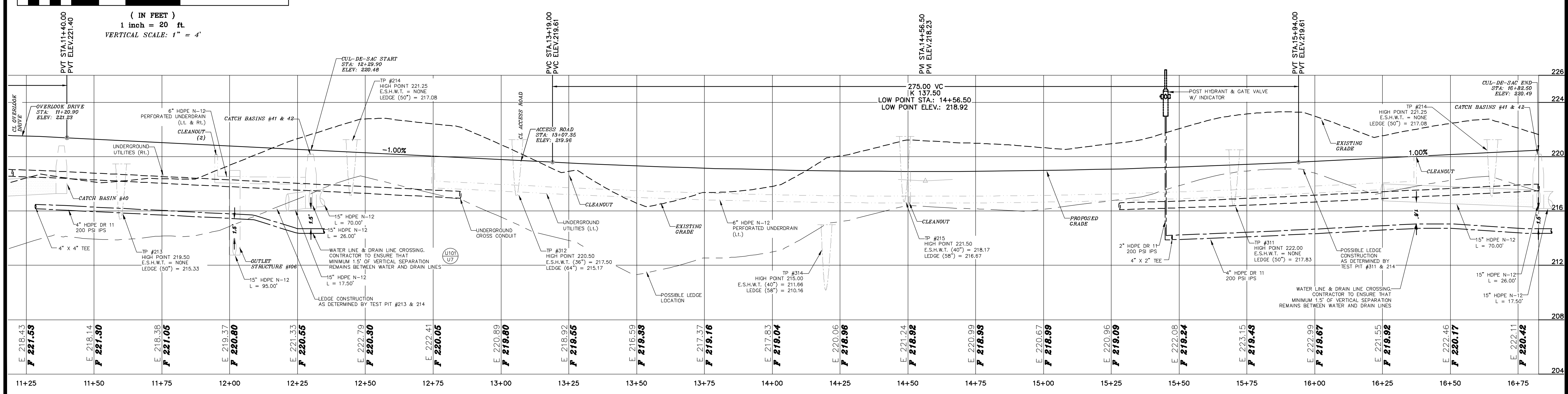
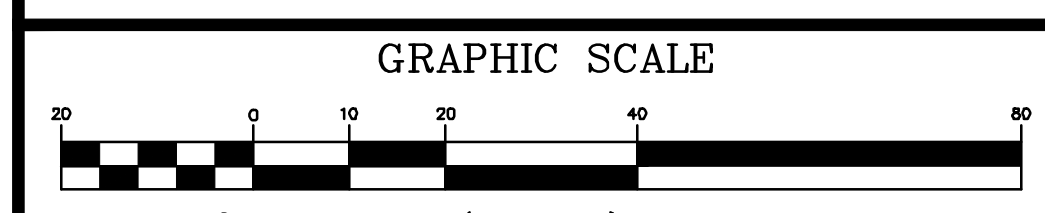
UTILITY  
PLAN AND PROFILE COMMUNITY WAY 5+50 - 11+00  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





PROFILE VIEW COMMUNITY WAY 11+00 - END



- NOTES:
- OWNER & APPLICANT:
    - A) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
    - B) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD:
    - A) TAX MAP 235, LOT 1-1
    - B) TAX MAP 235, LOT 3
  - LOT AREA:
    - A) 323,215 Sq. Ft., 7.42 AC.
    - B) 743,421 Sq. Ft., 17.07 AC.
  - S.C.R.D.:
    - A) BOOK 4816, PAGE 500
    - B) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| # | REVISION | DATE | DESCRIPTION |
|---|----------|------|-------------|
| 1 |          |      |             |
| 2 |          |      |             |
| 3 |          |      |             |
| 4 |          |      |             |
| 5 |          |      |             |
| 6 |          |      |             |
| 7 |          |      |             |
| 8 |          |      |             |
| 9 |          |      |             |

UTILITY  
PLAN AND PROFILE COMMUNITY WAY 11+00 - END  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

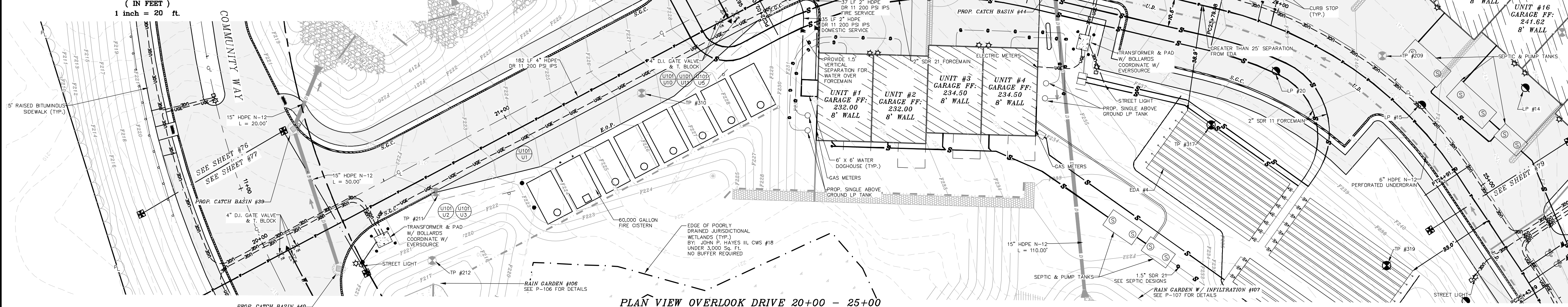
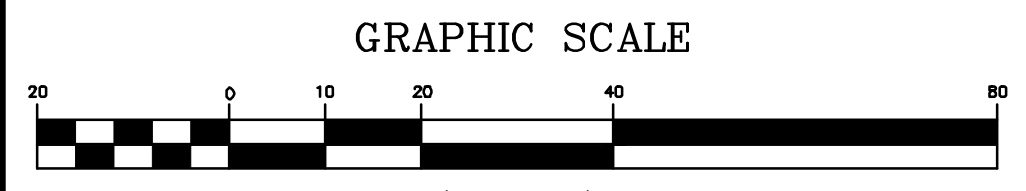
BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE: 1 IN. EQUALS 20 FT.  
DATE: JUNE 14, 2021  
FILE NO.: DB 2020 - 097

**NOTES:**

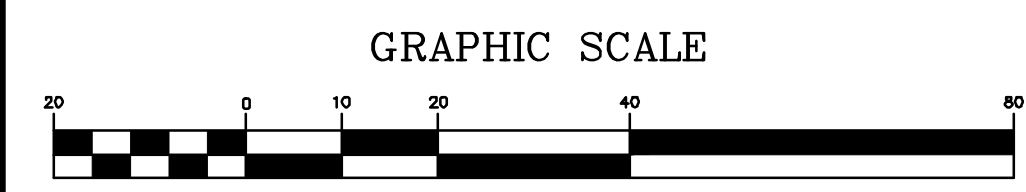
- 1.) OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
- 2.) LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
- 3.) LOT AREA: A.) 333,215 Sq. Ft., 7.43 Ac.  
B.) 743,429 Sq. Ft., 17.07 Ac.
- 4.) S.C.R.D.: A.) BOOK 4816, PAGE 300  
B.) BOOK 4816, PAGE 504
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF OVERLOOK DRIVE AND TAX MAP 235, LOTS 1-1 & 3.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
- 7.) BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

**FOR TOWN APPROVAL PURPOSES :**

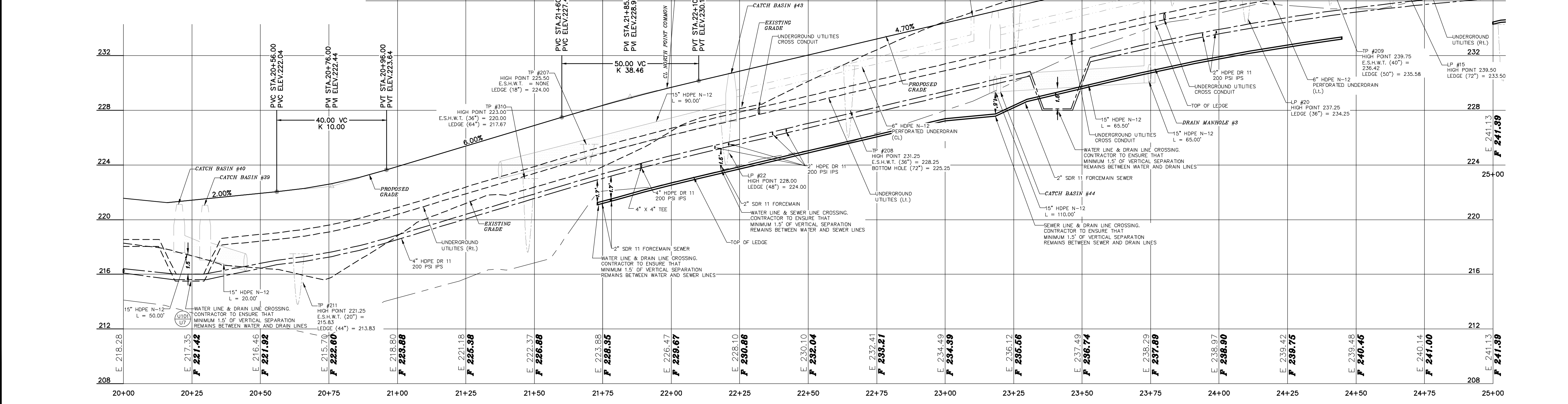
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



**PLAN VIEW OVERLOOK DRIVE 20+00 - 25+00**  
**PROFILE VIEW OVERLOOK DRIVE 20+00 - 25+00**



**VERTICAL SCALE: 1" = 4'**

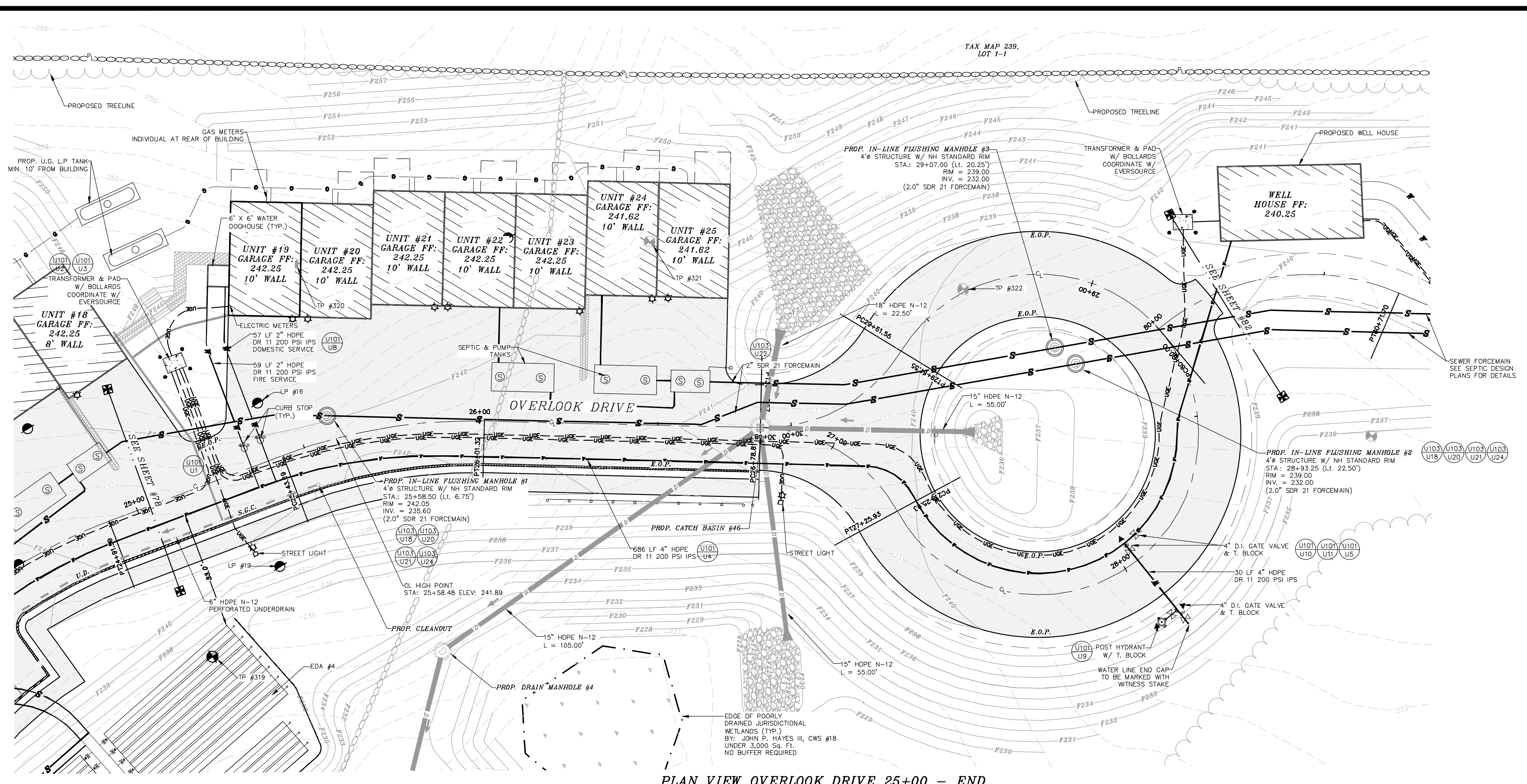


| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

UTILITY  
PLAN AND PROFILE OVERLOOK DRIVE 20+00 - 25+00  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

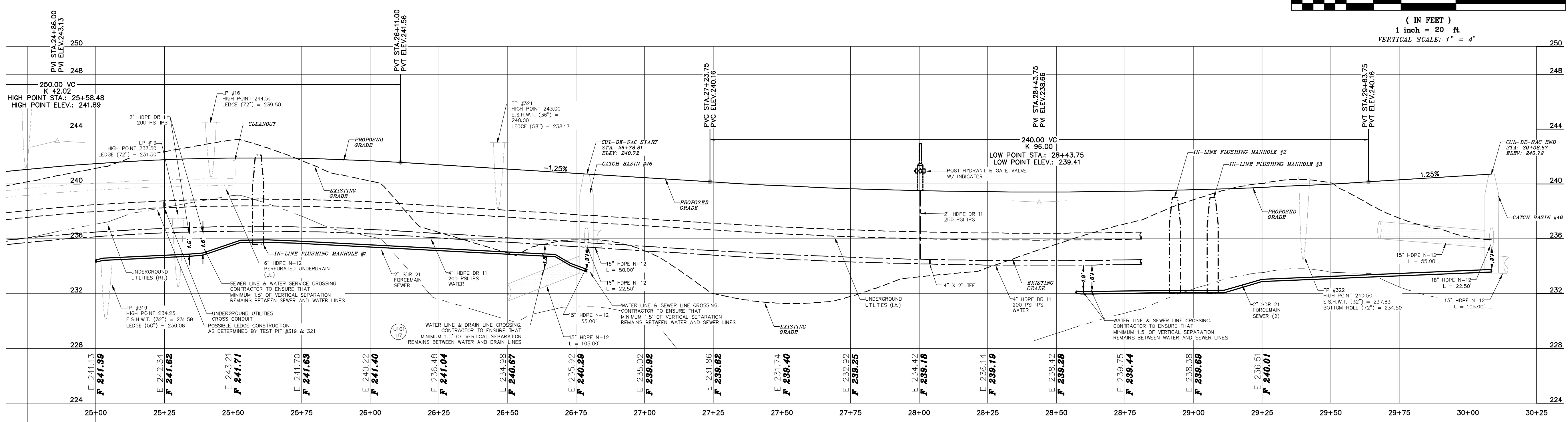
**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

SHEET 78 OF 109



PLAN VIEW OVERLOOK DRIVE 25+00 - END

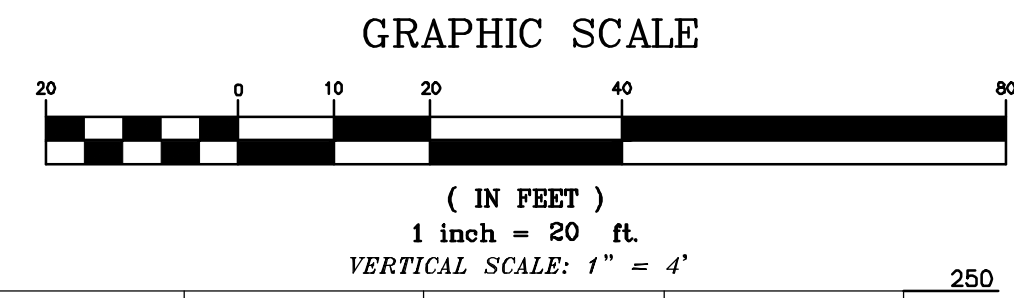
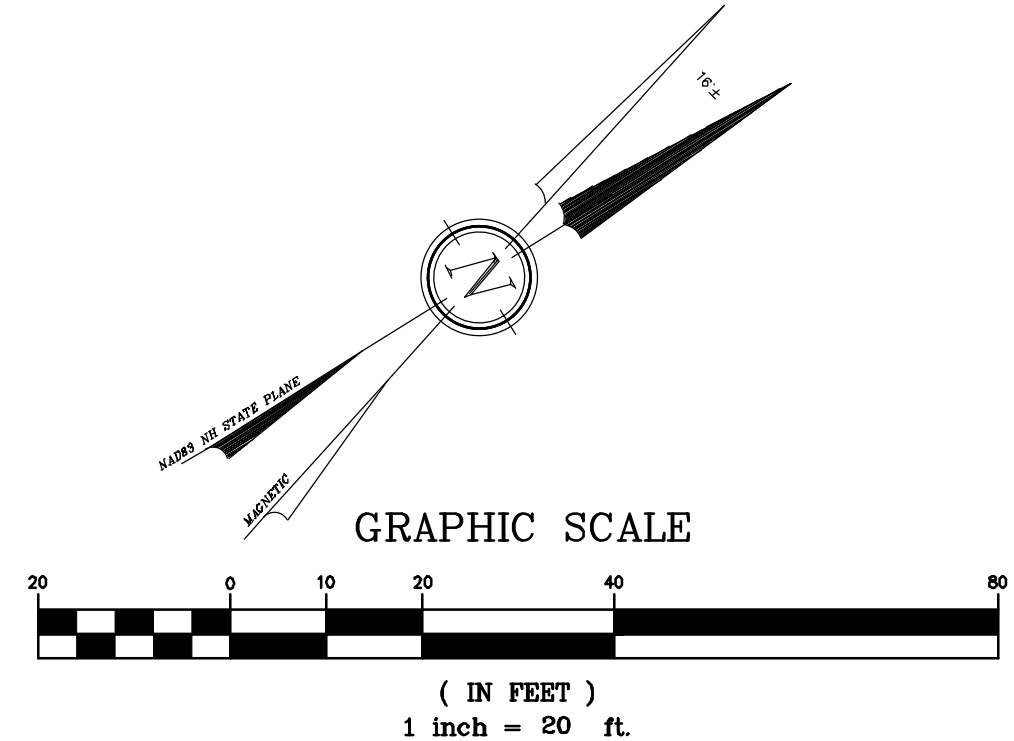
PROFILE VIEW OVERLOOK DRIVE 25+00 - END



- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820  
B.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF OVERLOOK DRIVE AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

FOR TOWN APPROVAL PURPOSES:

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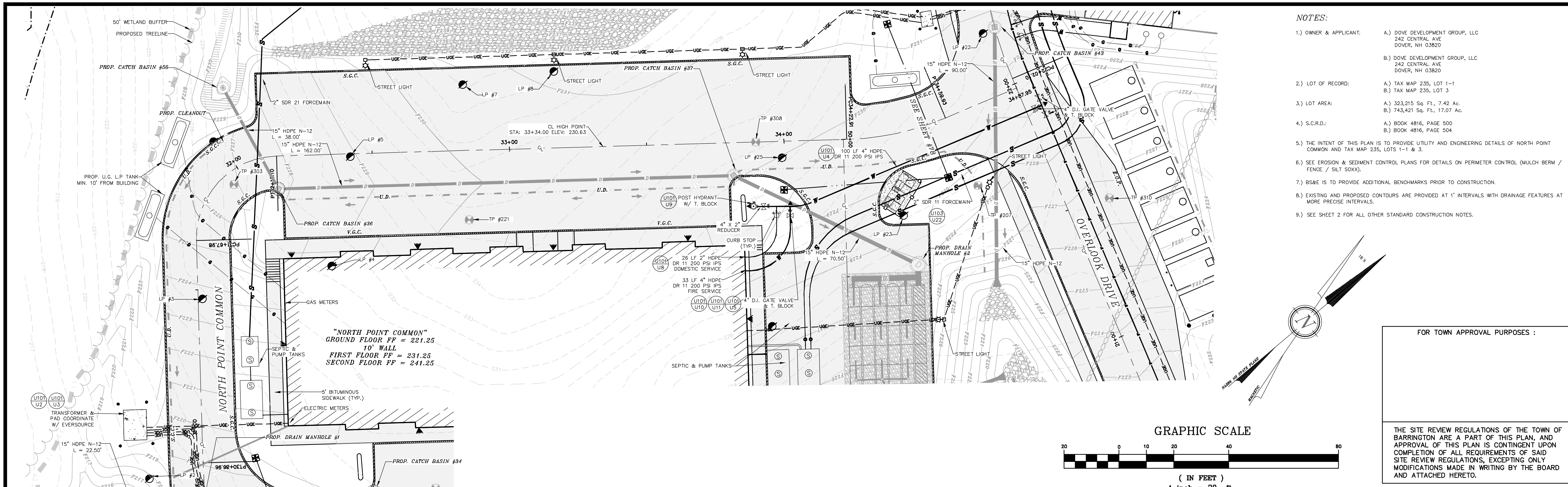


| #          | REVISION | DATE | DESCRIPTION                                     |
|------------|----------|------|---|
| 1          |          |      |   |
| 2          |          |      |   |
| 3          |          |      |   |
| 4          |          |      |   |
| 5          |          |      |   |
| 6          |          |      |   |
| 7          |          |      |   |
| 8          |          |      |   |
| 9          |          |      |   |
| 10-12-2021 |          |      | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT |
| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & INHIDES AOT COMMENT |

UTILITY  
 PLAN AND PROFILE OVERLOOK DRIVE 25+00 - END  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE: 1 IN. EQUALS 20 FT.  
 DATE: JUNE 14, 2021  
 FILE NO.: DB 2020 - 097

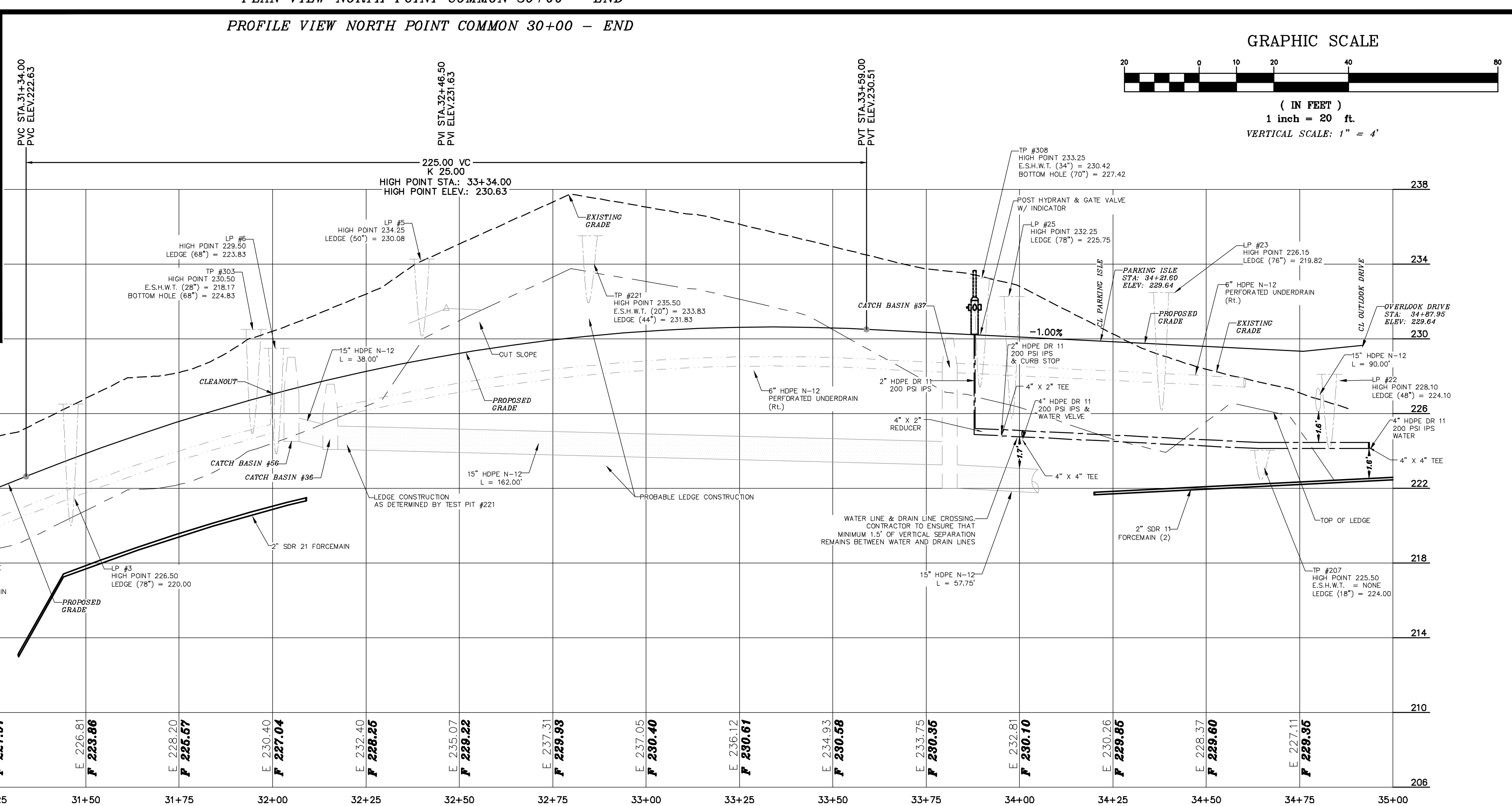




- NOTES:**
- OWNER & APPLICANT:
    - A) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
    - B) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD:
    - A) TAX MAP 235, LOT 1-1
    - B) TAX MAP 235, LOT 3
  - LOT AREA:
    - A) 323,215 Sq. Ft., 7.42 Ac.
    - B) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.:
    - A) BOOK 4816, PAGE 500
    - B) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF NORTH POINT COMMON AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

**FOR TOWN APPROVAL PURPOSES :**

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| Station | Elevation | Utility / Feature         |
|---------|-----------|---------------------------|
| 30+00   | 217.57    | CL COMMUNITY WAY          |
| 30+25   | 218.74    | TP #302 HIGH POINT 220.75 |
| 30+50   | 217.46    | PVC STA. 30+56.00         |
| 30+75   | 218.89    | PVI STA. 30+81.00         |
| 31+00   | 219.89    | PVT STA. 31+06.00         |
| 31+25   | 221.91    | TP #303 HIGH POINT 230.50 |
| 31+50   | 223.86    | TP #302 HIGH POINT 229.50 |
| 31+75   | 225.67    | TP #303 HIGH POINT 230.50 |
| 32+00   | 230.40    | TP #221 HIGH POINT 235.50 |
| 32+25   | 232.40    | TP #221 HIGH POINT 235.50 |
| 32+50   | 235.07    | TP #221 HIGH POINT 235.50 |
| 32+75   | 237.93    | TP #221 HIGH POINT 235.50 |
| 33+00   | 237.05    | TP #221 HIGH POINT 235.50 |
| 33+25   | 236.12    | TP #221 HIGH POINT 235.50 |
| 33+50   | 234.93    | TP #221 HIGH POINT 235.50 |
| 33+75   | 233.75    | TP #221 HIGH POINT 235.50 |
| 34+00   | 232.81    | TP #221 HIGH POINT 235.50 |
| 34+25   | 230.26    | TP #221 HIGH POINT 235.50 |
| 34+50   | 228.37    | TP #221 HIGH POINT 235.50 |
| 34+75   | 227.11    | TP #221 HIGH POINT 235.50 |
| 35+00   | 226.00    | TP #221 HIGH POINT 235.50 |

| REVISION | DATE       | DESCRIPTION                                   |
|----------|------------|---|
| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

PLAN AND PROFILE NORTH POINT COMMONS 30+00 - END

LAND OF DOVE DEVELOPMENT GROUP, LLC

N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY

COMMUNITY WAY BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**

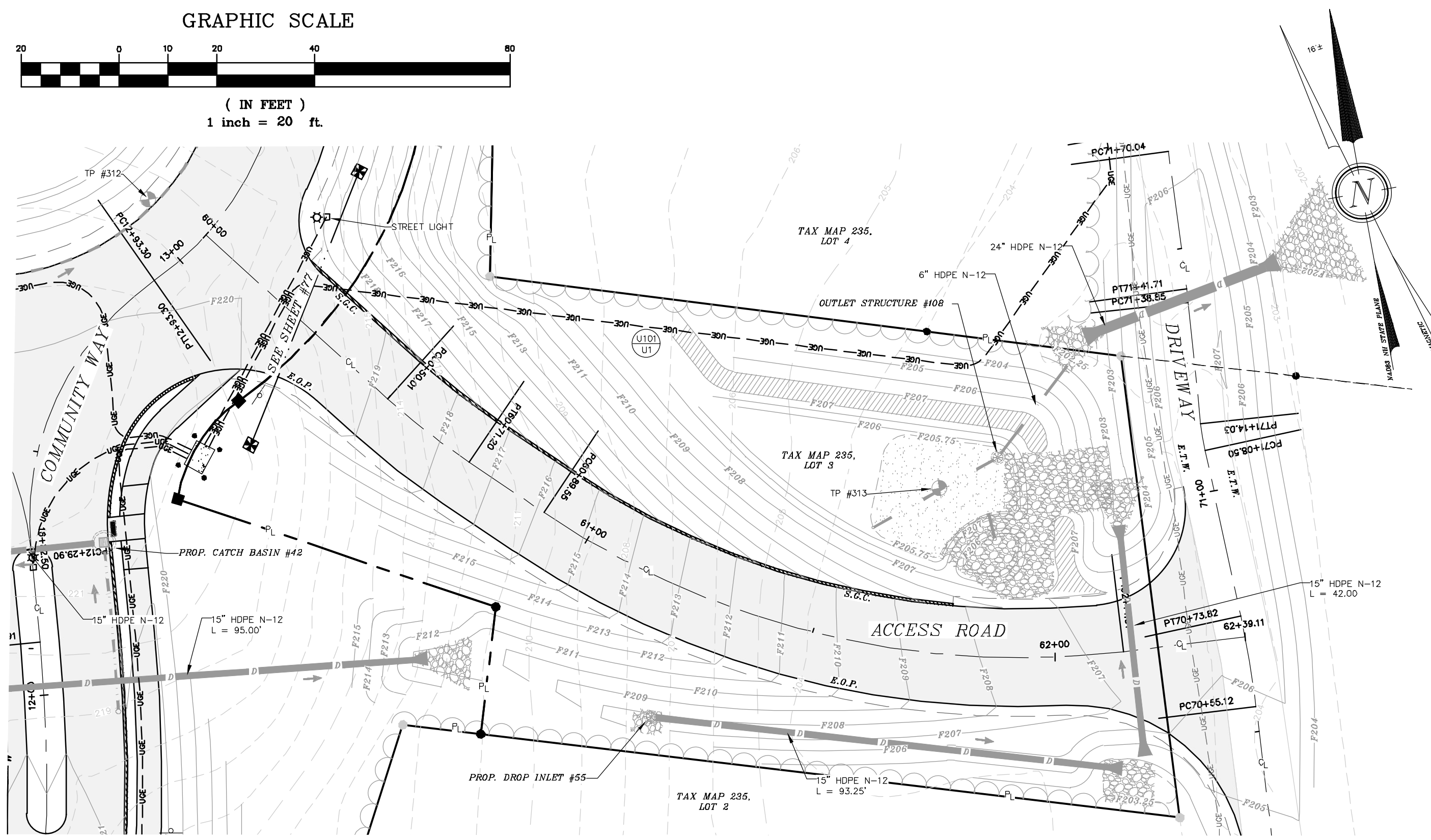
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863

SCALE: 1 IN. EQUALS 20 FT.

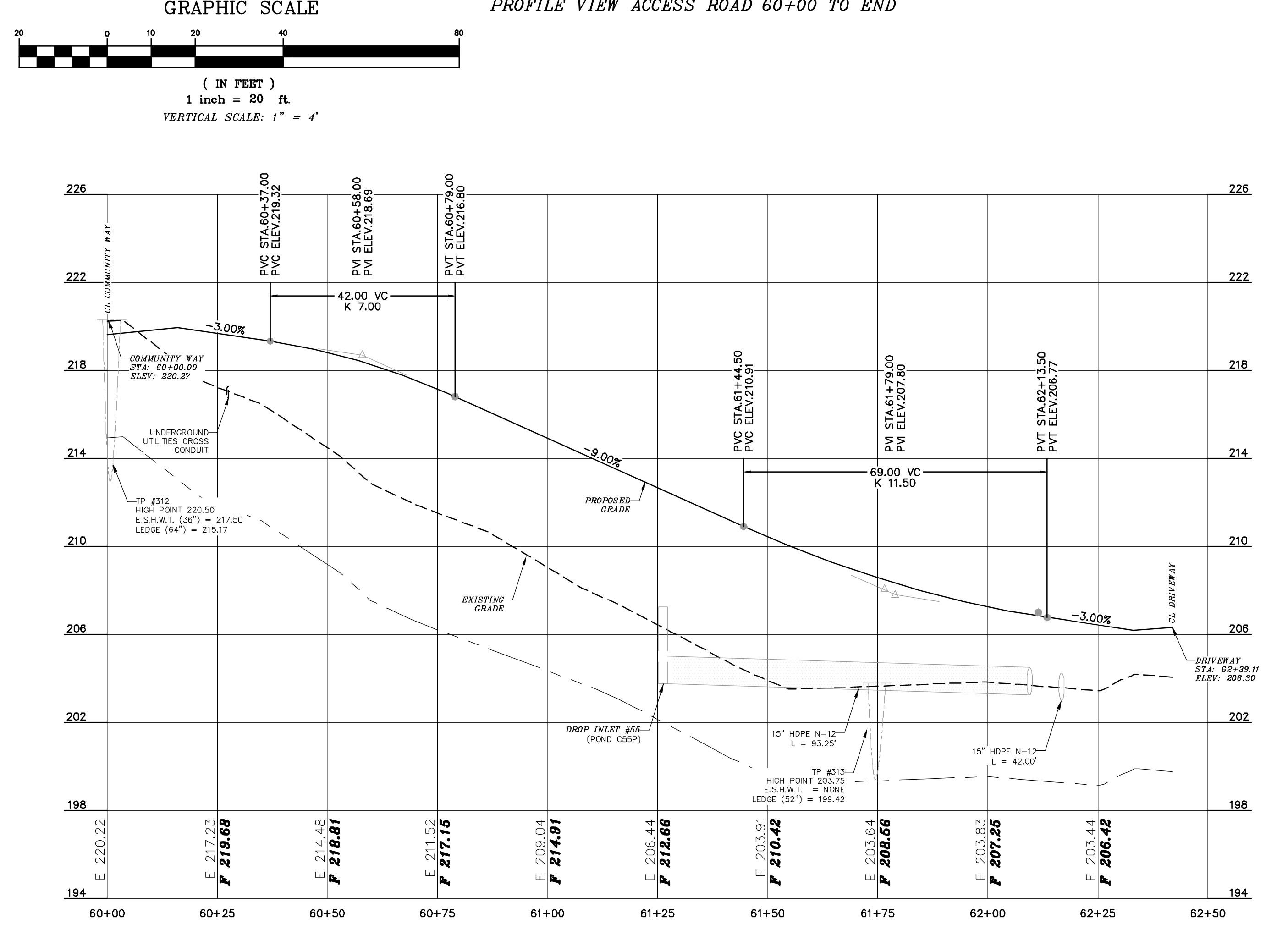
DATE: JUNE 14, 2021

FILE NO.: DB 2020 - 097

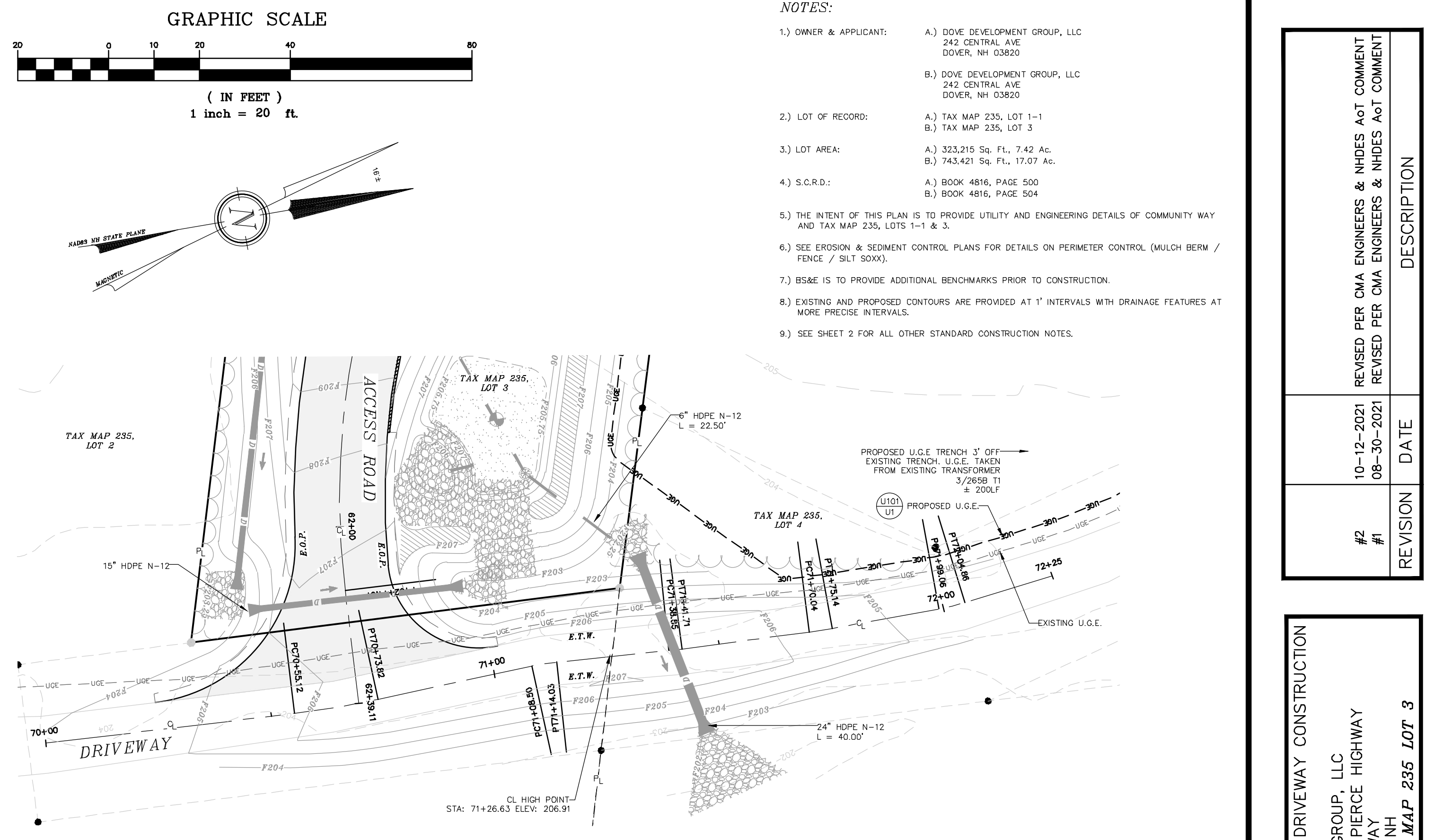
SHEET 80 OF 109



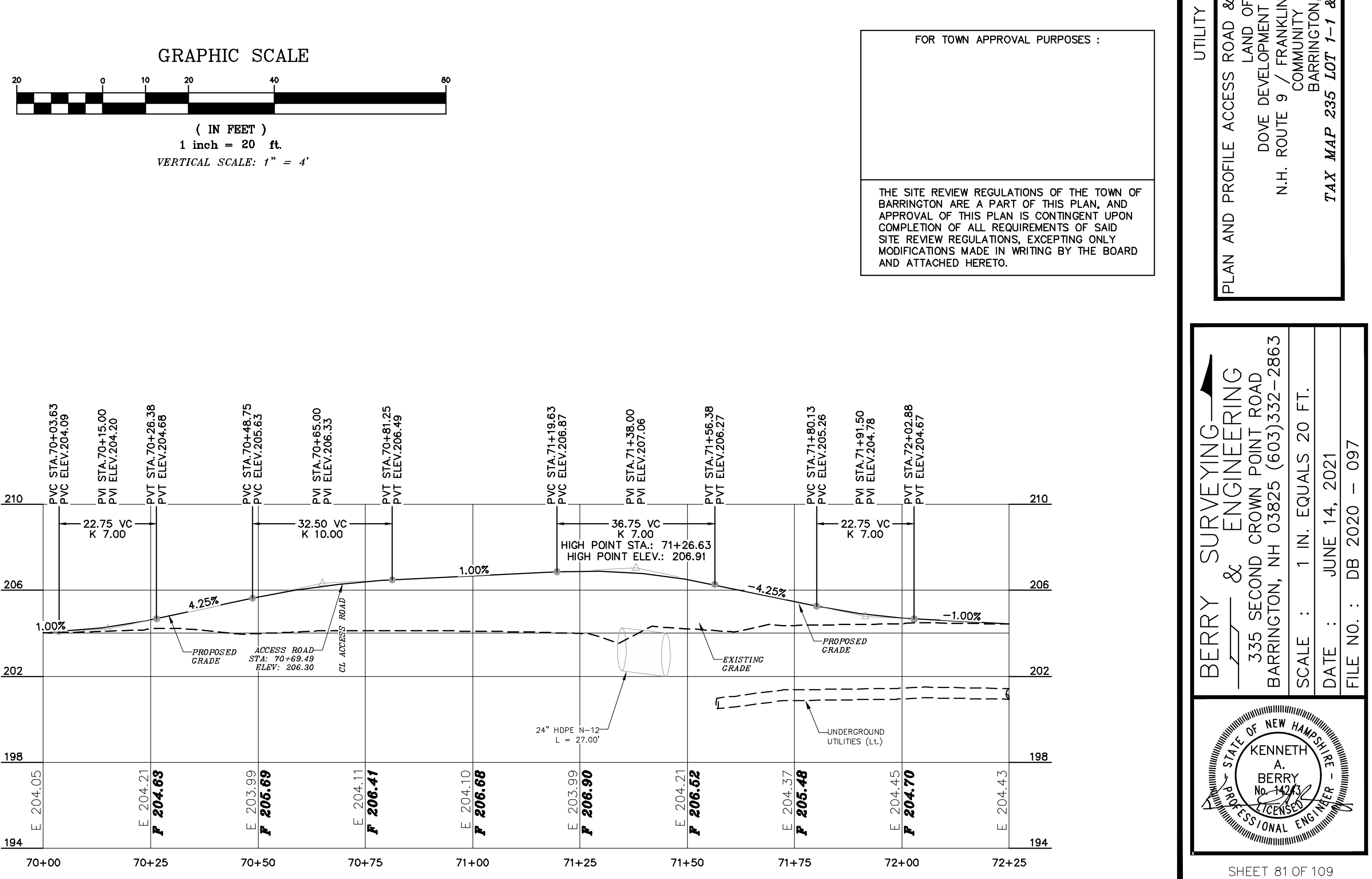
PLAN VIEW ACCESS ROAD 60+00 TO END



PROFILE VIEW ACCESS ROAD 60+00 TO END



- NOTES:
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
B.) TAX MAP 235, LOT 3
  - LOT AREA: A.) 323,216 Sq. Ft., 7.42 Ac.  
B.) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A.) BOOK 4816, PAGE 500  
B.) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF COMMUNITY WAY AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



FOR TOWN APPROVAL PURPOSES :

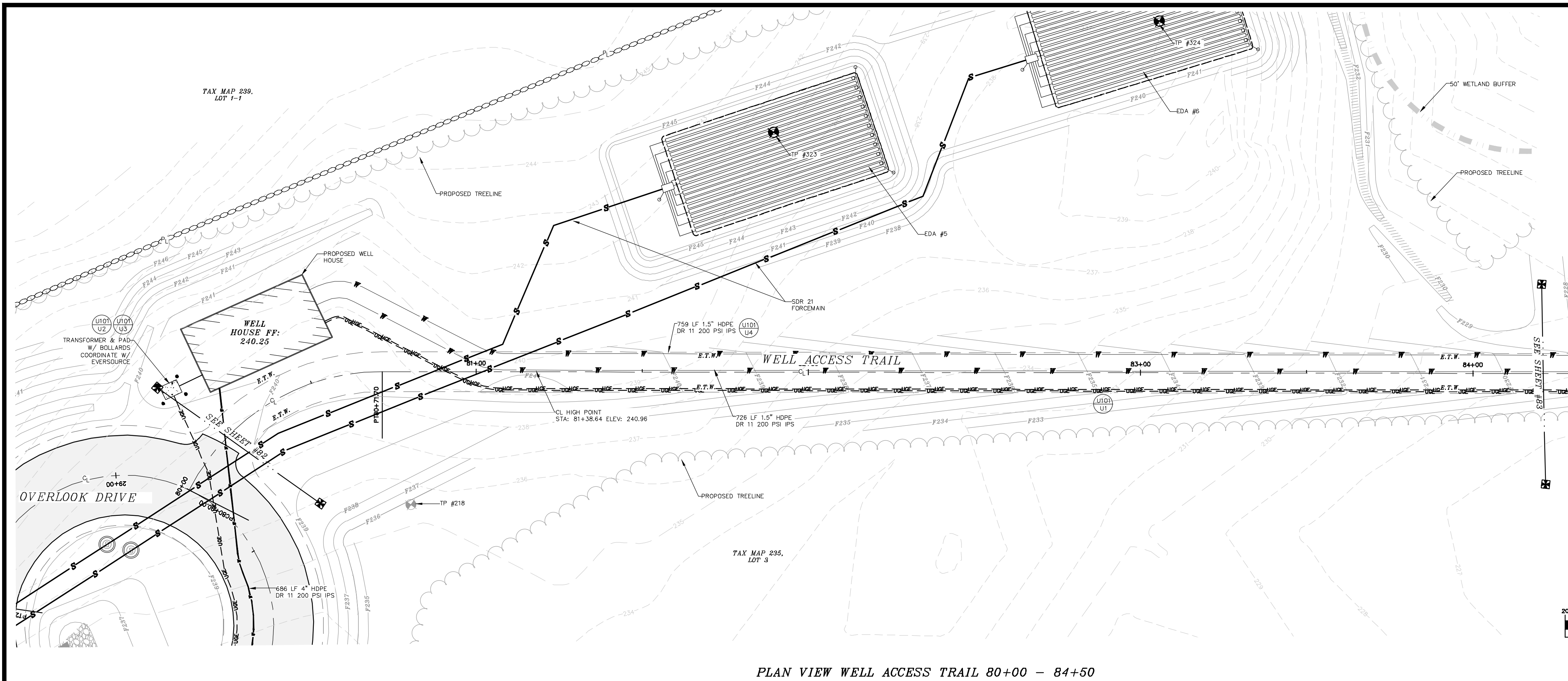
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #1 | #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

UTILITY  
 PLAN AND PROFILE ACCESS ROAD & DRIVEWAY CONSTRUCTION  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

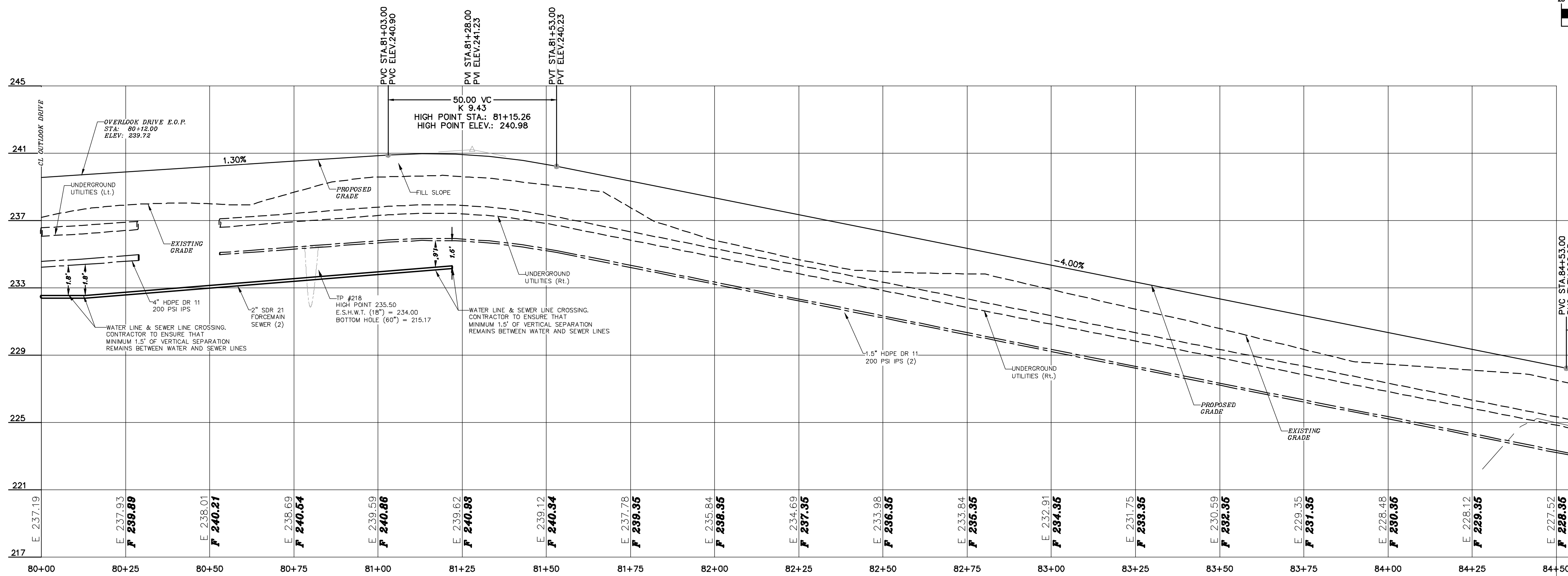
**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
 FILE NO. : DB 2020 - 097

SHEET 81 OF 109

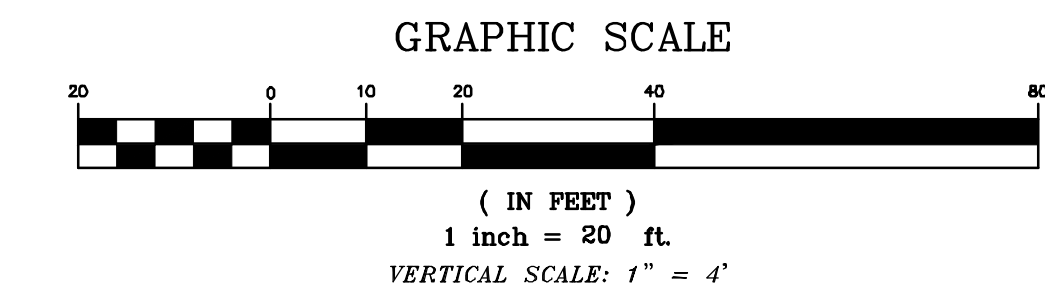
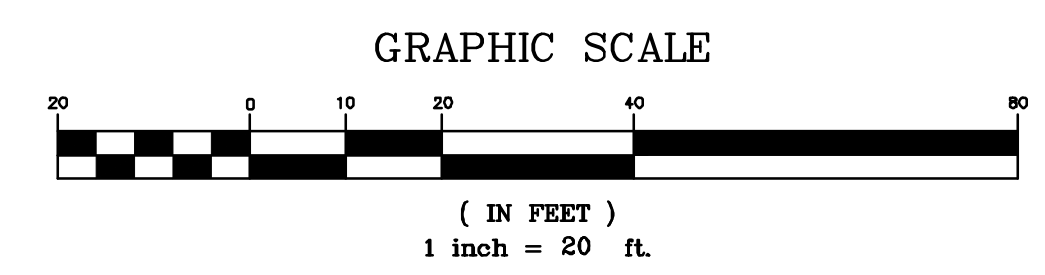
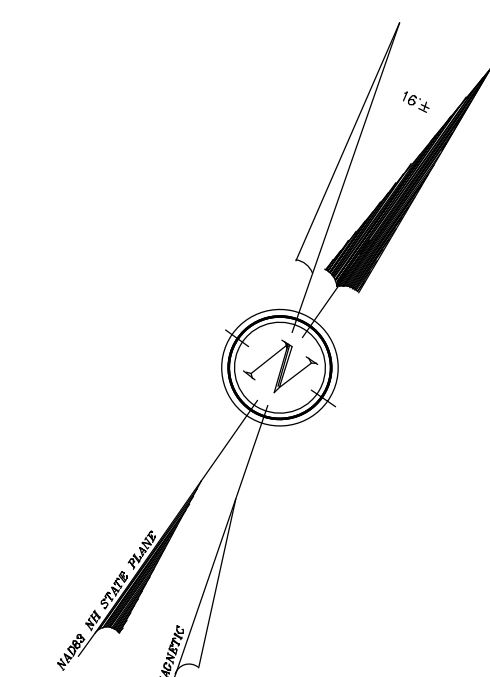


PLAN VIEW WELL ACCESS TRAIL 80+00 - 84+50

PROFILE VIEW WELL ACCESS TRAIL 80+00 - 84+50



- NOTES:**
- OWNER & APPLICANT: A) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A) TAX MAP 235, LOT 1-1  
B) TAX MAP 235, LOT 3
  - LOT AREA: A) 323,215 Sq. Ft., 7.42 Ac.  
B) 743,421 Sq. Ft., 17.07 Ac.
  - S.C.R.D.: A) BOOK 4816, PAGE 500  
B) BOOK 4816, PAGE 504
  - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



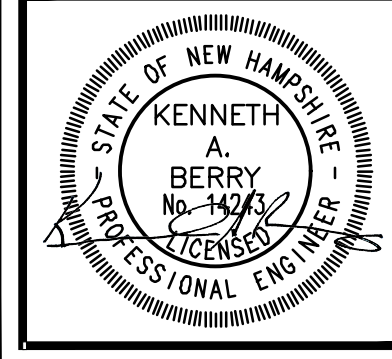
FOR TOWN APPROVAL PURPOSES :

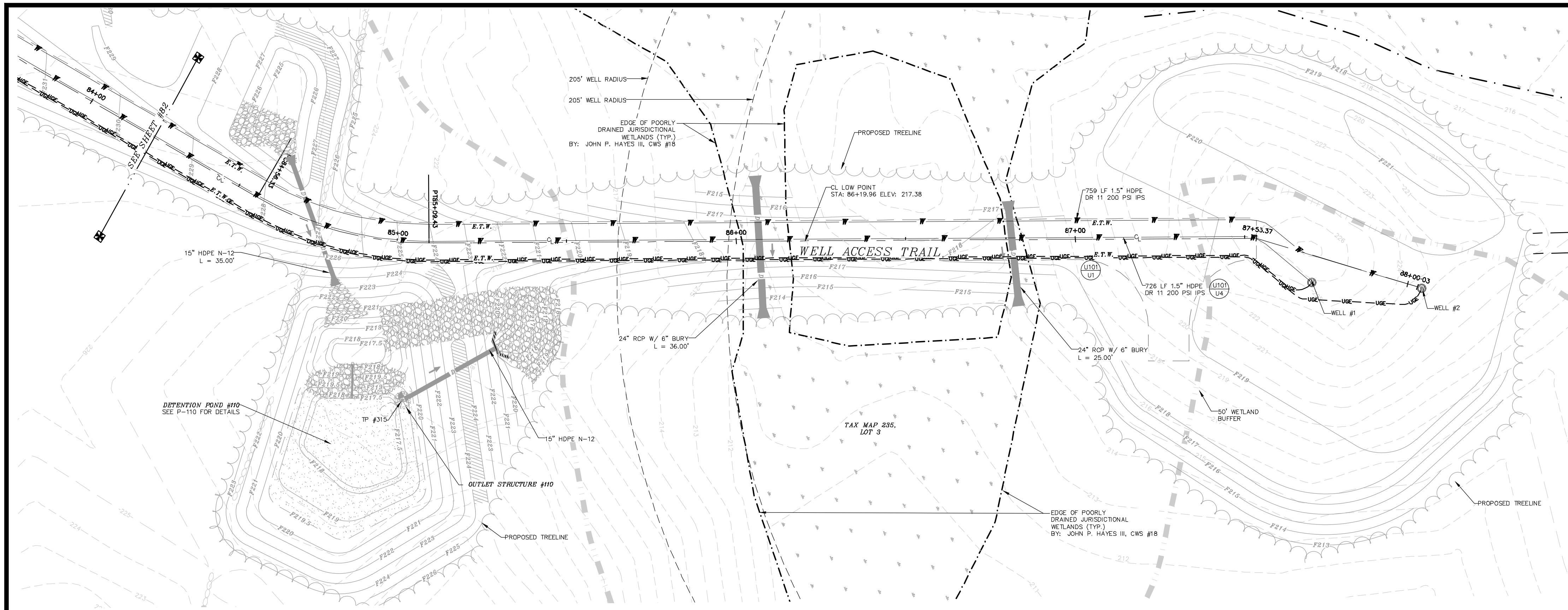
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| #  | REVISION | DATE       | DESCRIPTION                                   |
|----|----------|------------|---|
| #1 |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2 |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

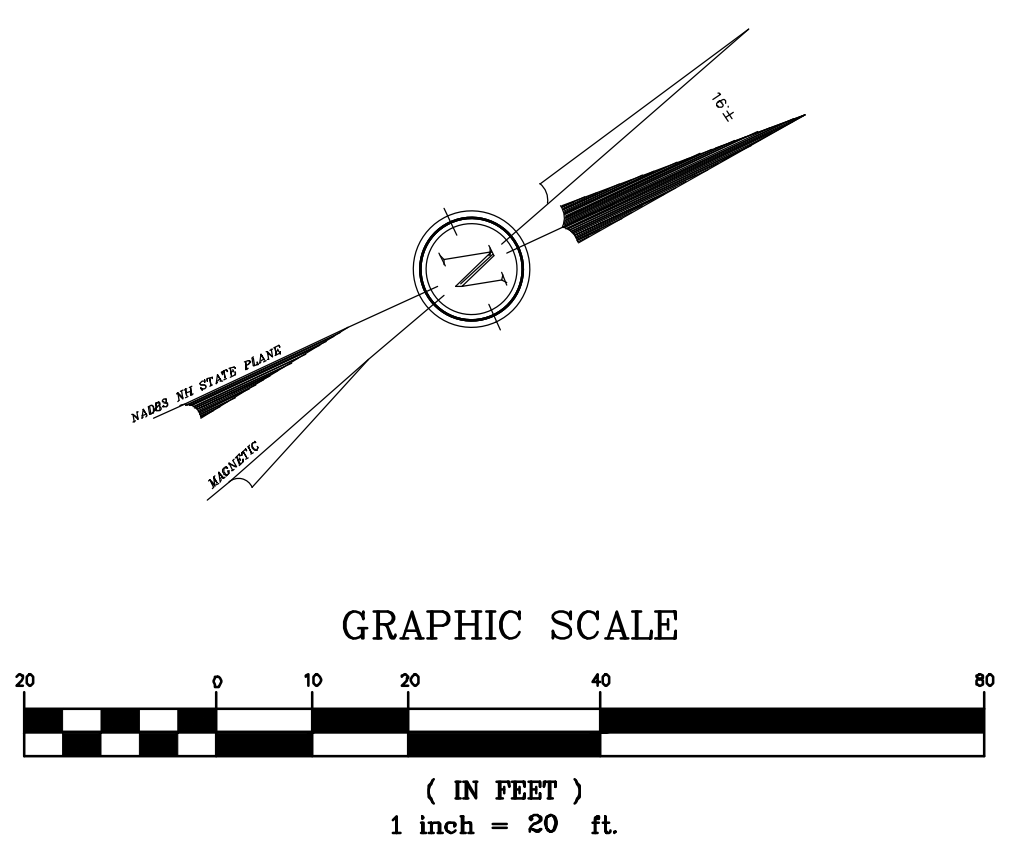
UTILITY  
 PLAN AND PROFILE WELL ACCESS TRAIL 80+00 - 84+50  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
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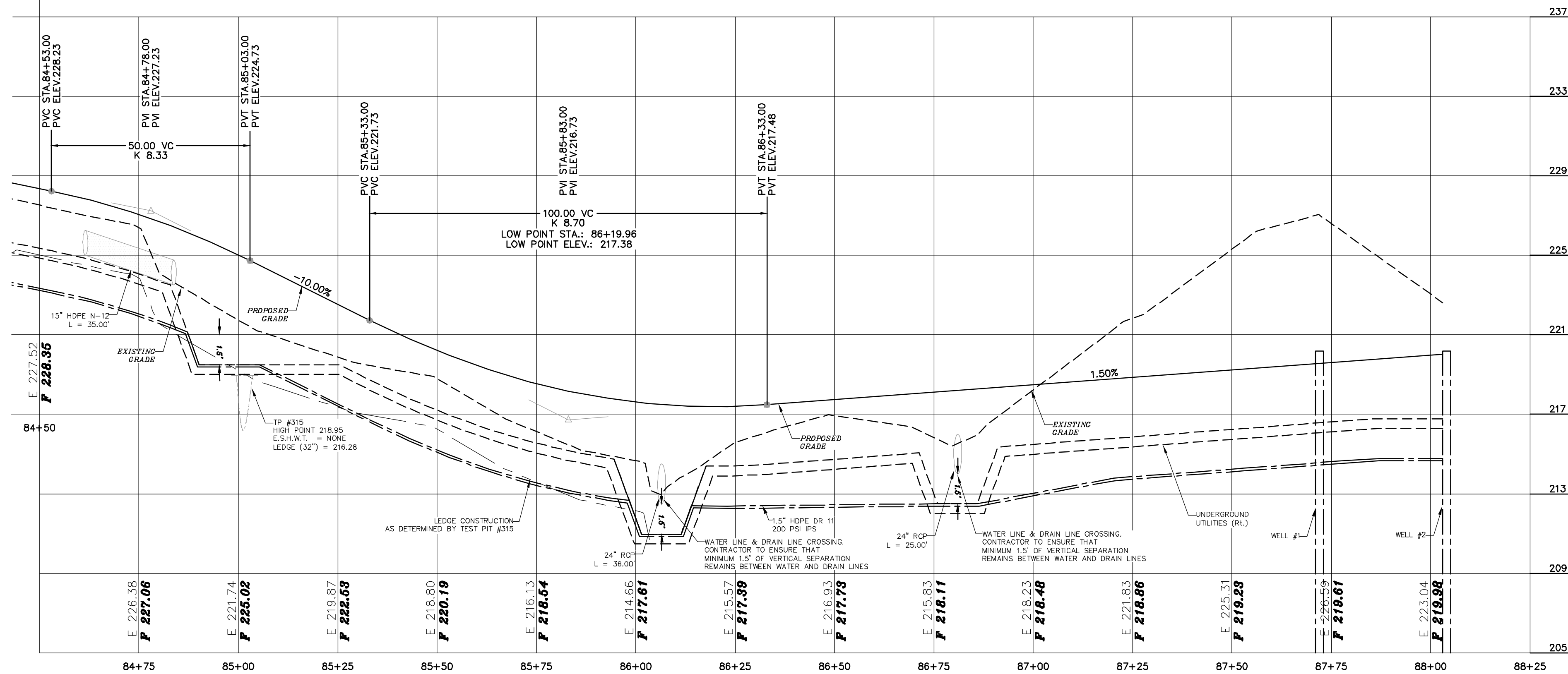
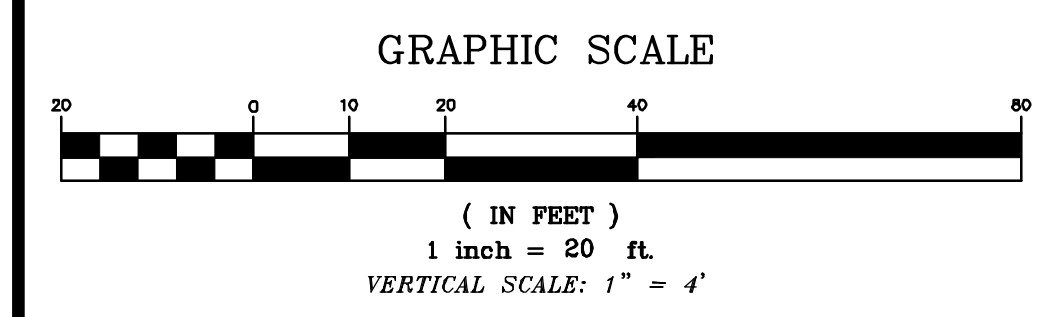




- NOTES:**
- OWNER & APPLICANT: A.) DOVE DEVELOPMENT GROUP, LLC  
242 CENTRAL AVE  
DOVER, NH 03820
  - LOT OF RECORD: A.) TAX MAP 235, LOT 1-1  
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  - LOT AREA: A.) 323,215 Sq. Ft., 7.42 Ac.  
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  - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF THE WELL ACCESS TRAIL AND TAX MAP 235, LOTS 1-1 & 3.
  - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
  - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
  - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
  - SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW WELL ACCESS TRAIL 84+50 - END  
PROFILE VIEW WELL ACCESS TRAIL 84+50 - END



FOR TOWN APPROVAL PURPOSES :

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| #  | REVISION   | DATE       | DESCRIPTION                                   |
|----|------------|------------|---|
| #2 | 10-12-2021 | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1 |            |            | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

UTILITY  
PLAN AND PROFILE WELL ACCESS TRAIL 84+50 - END  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

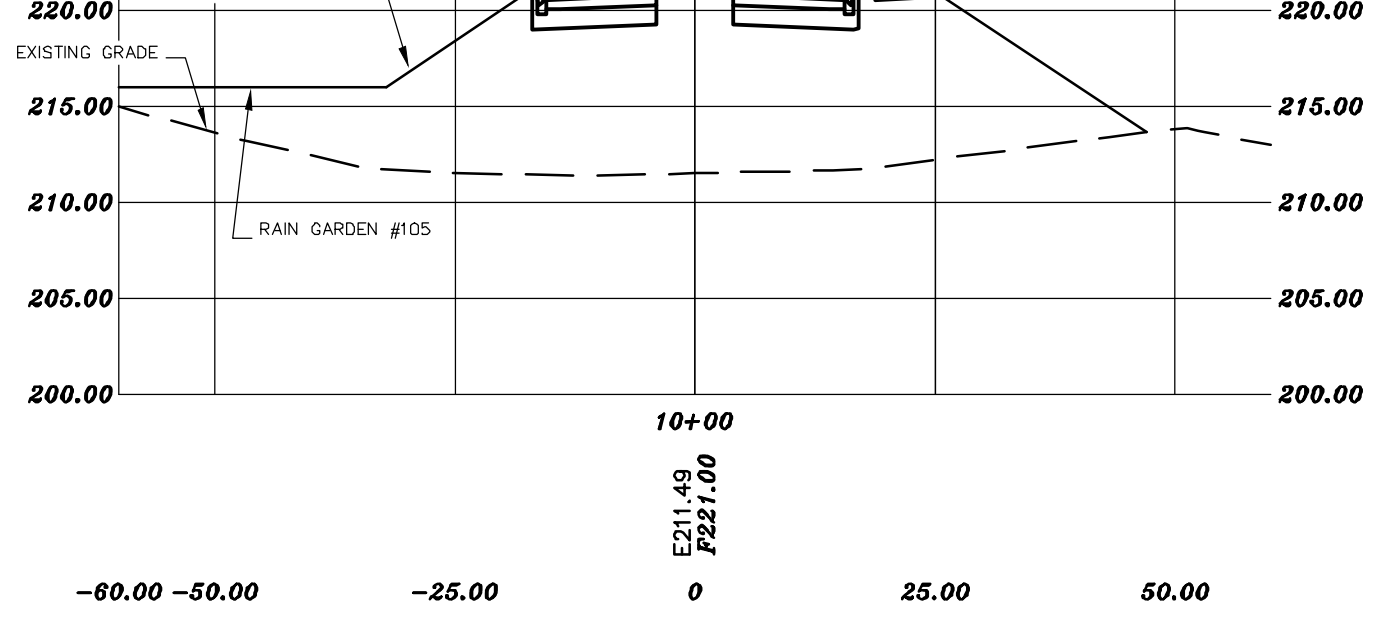
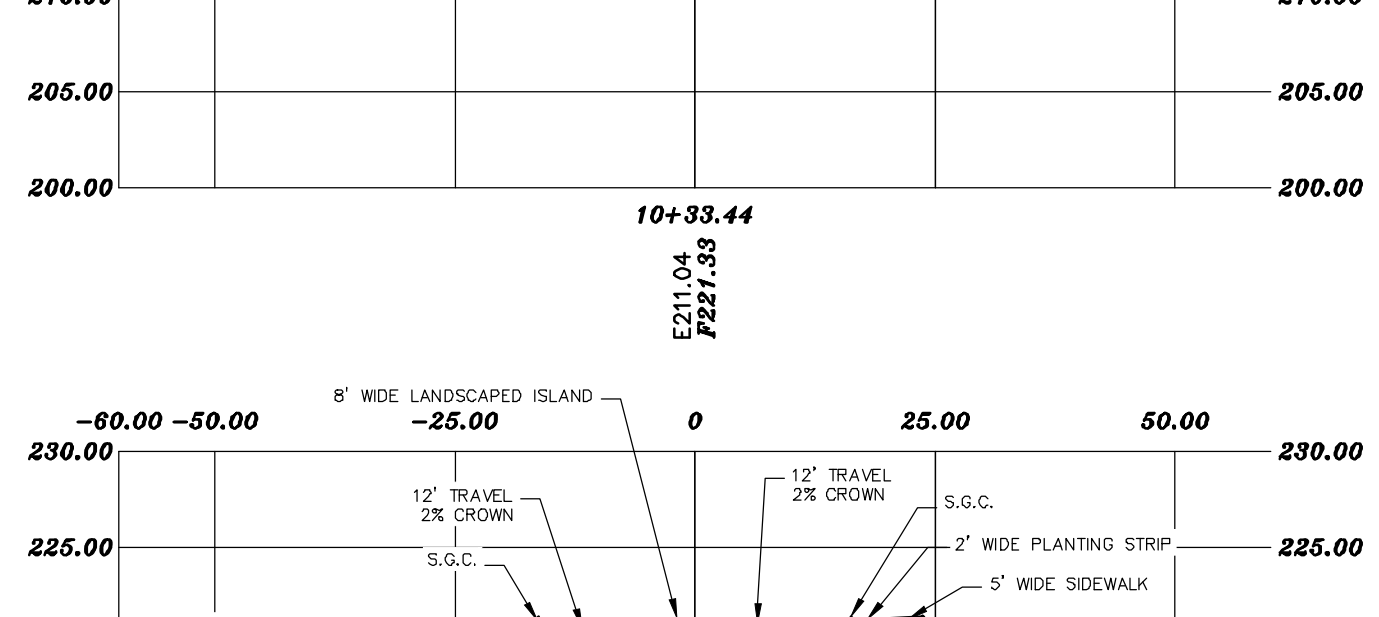
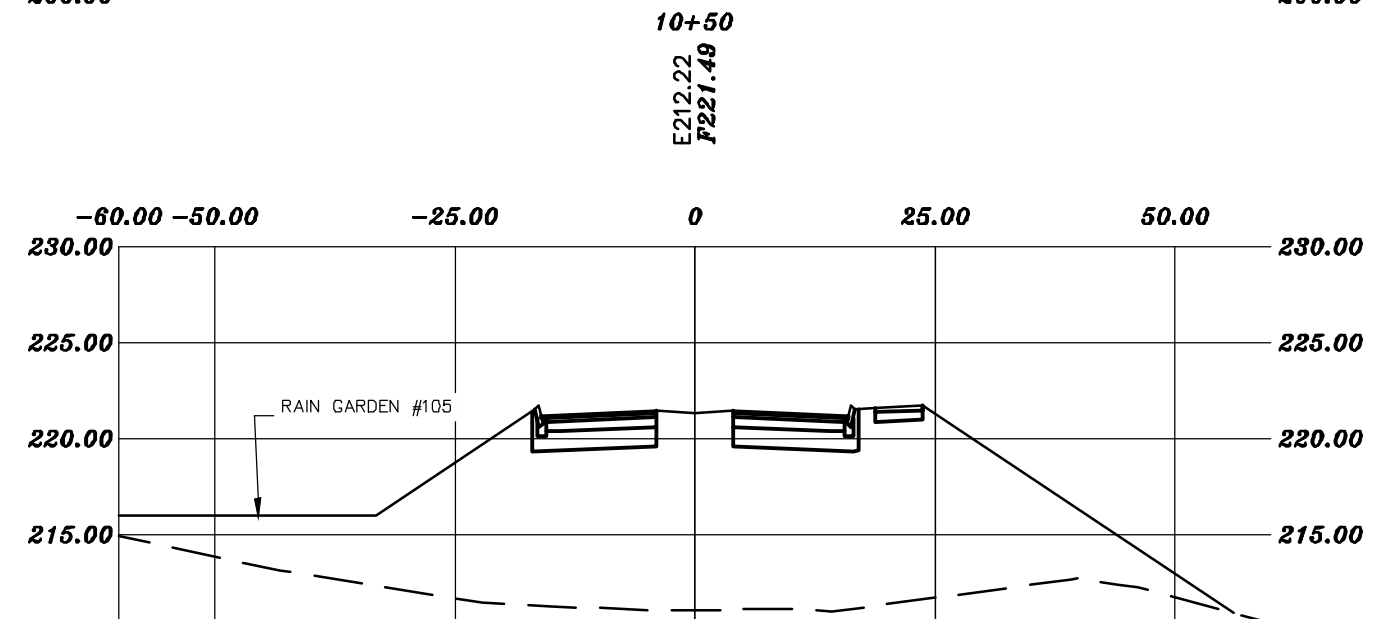
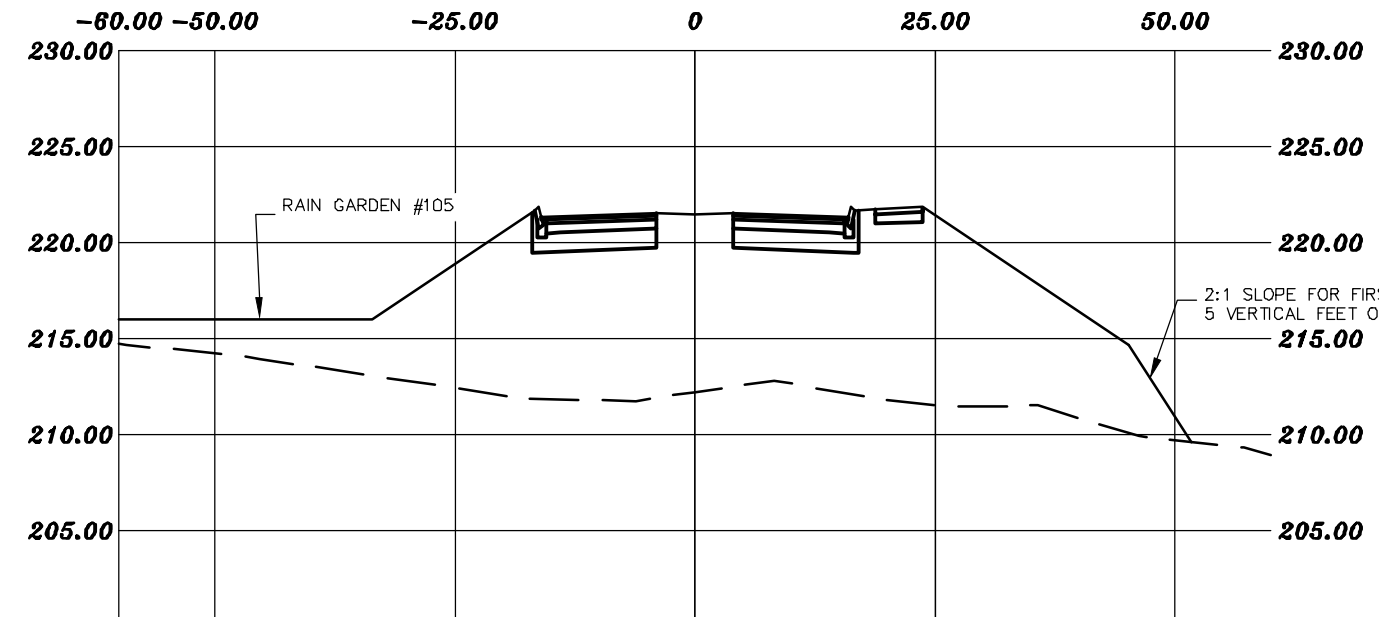
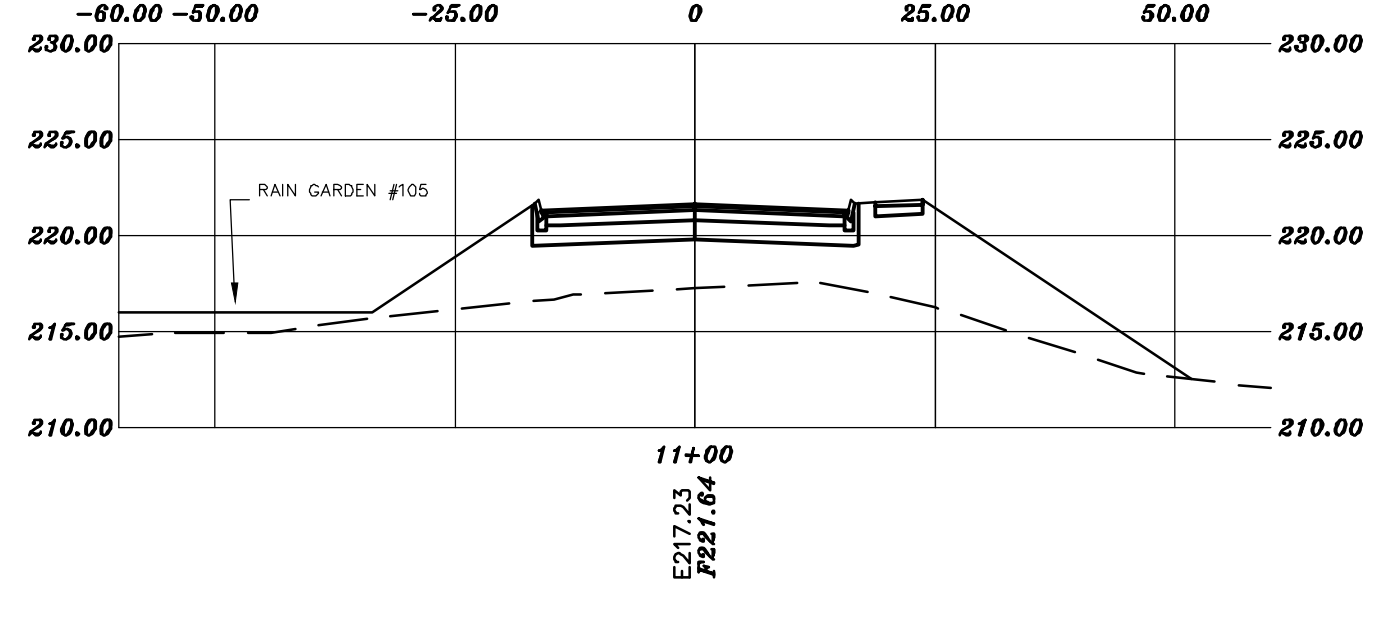
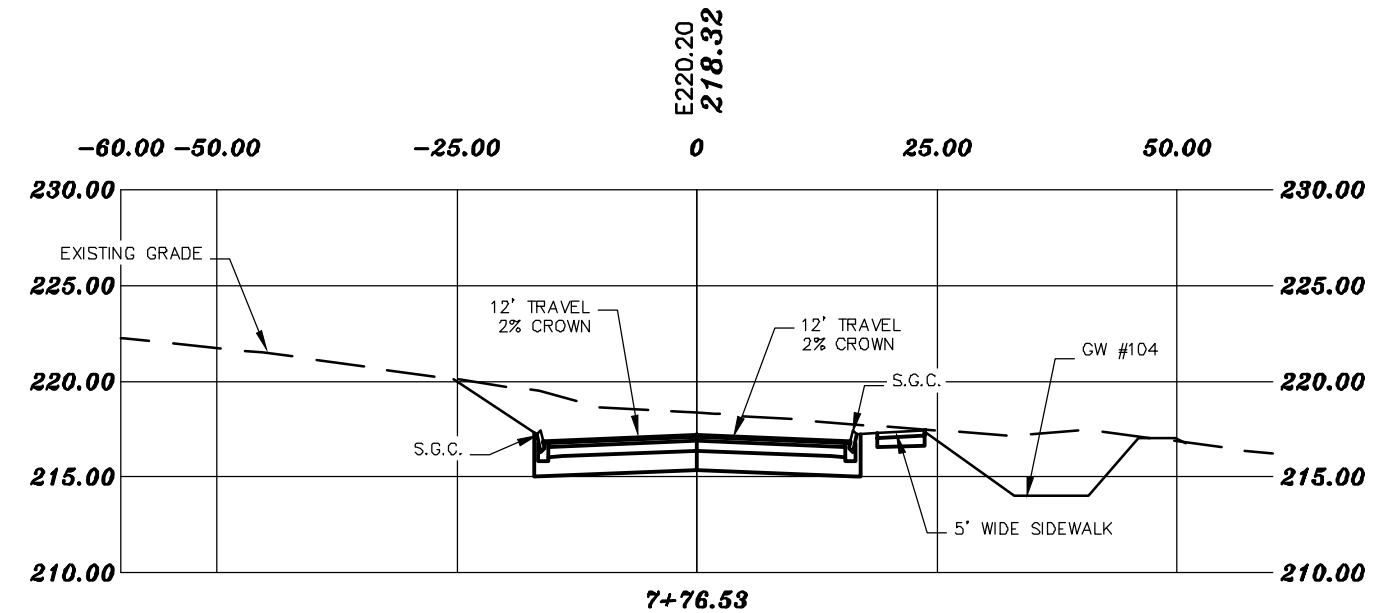
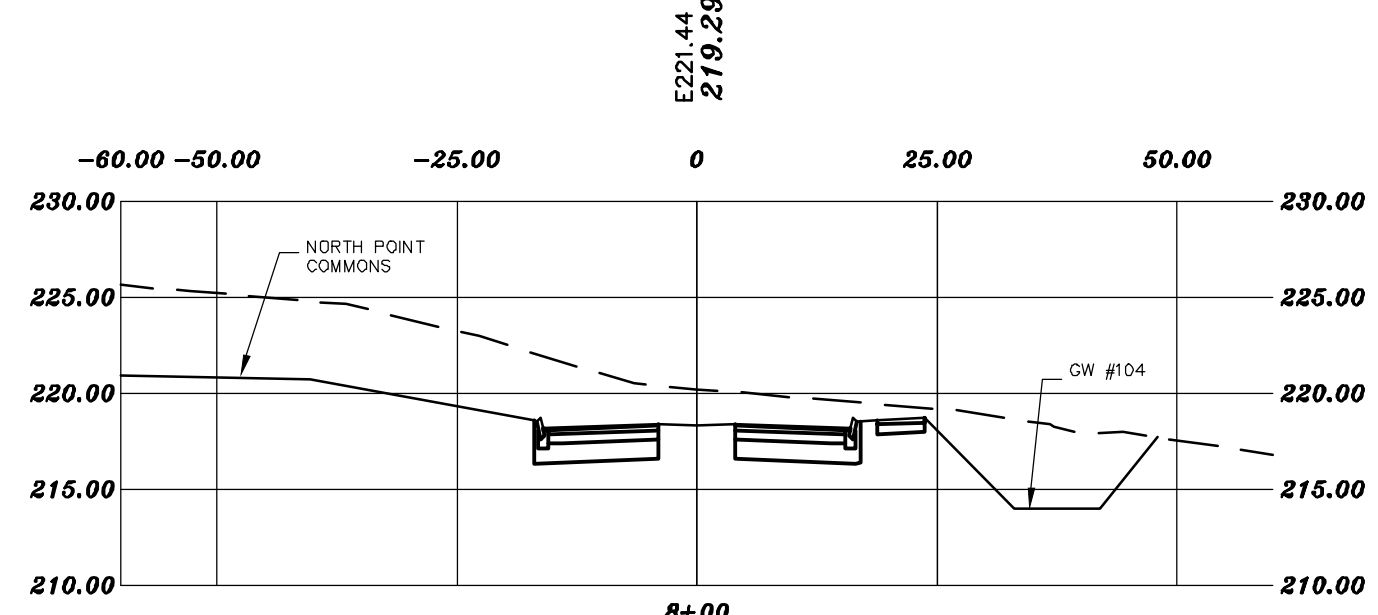
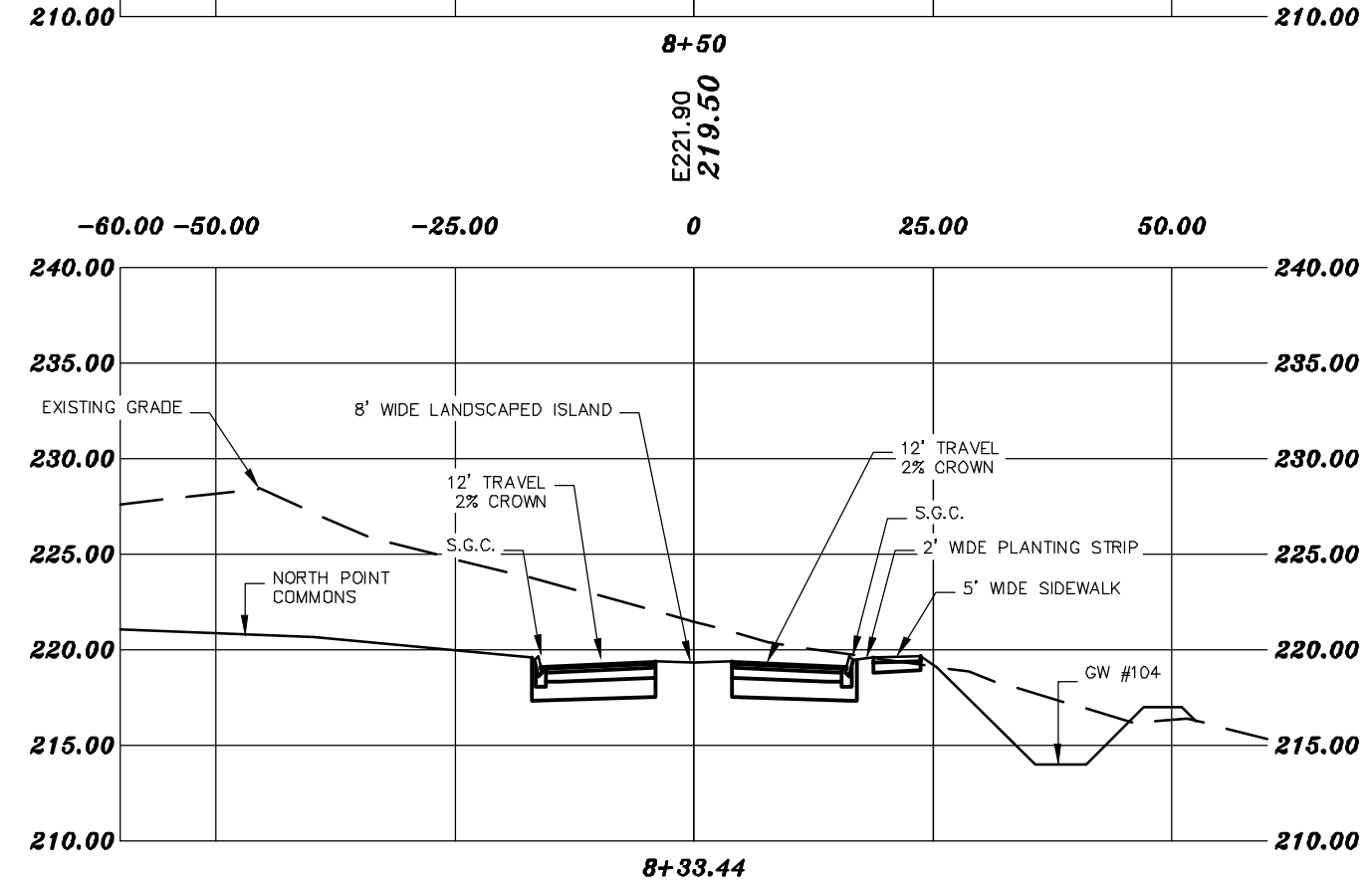
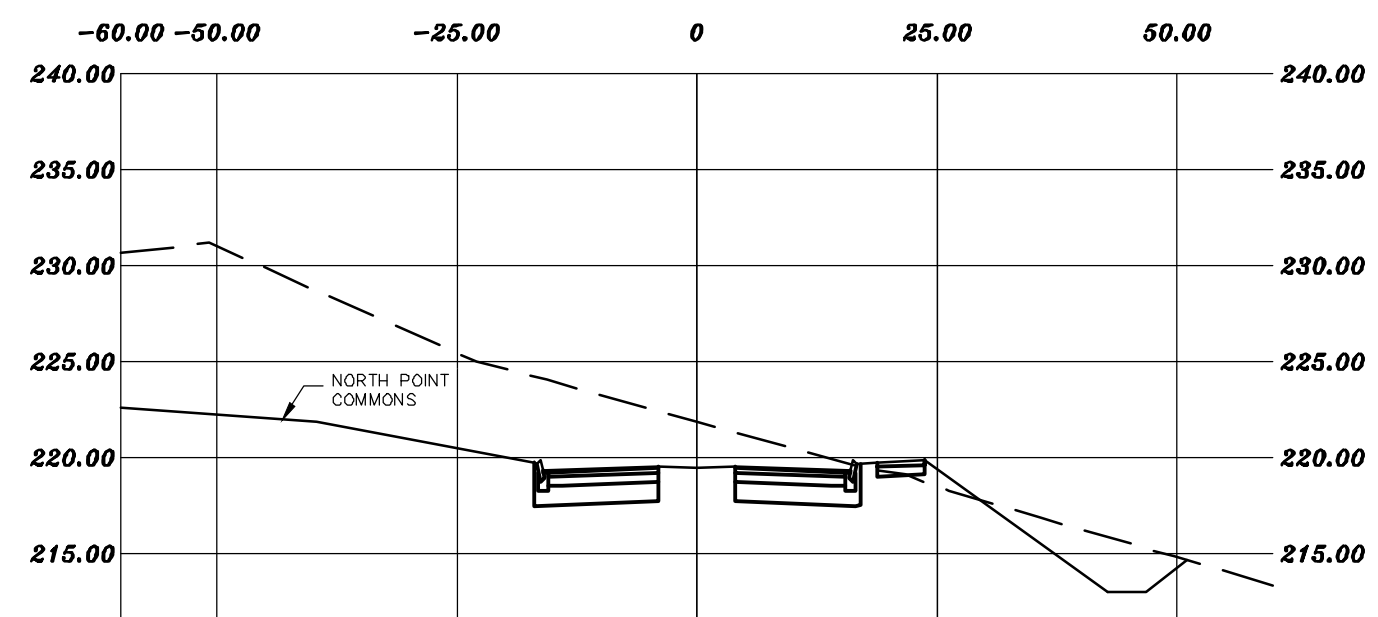
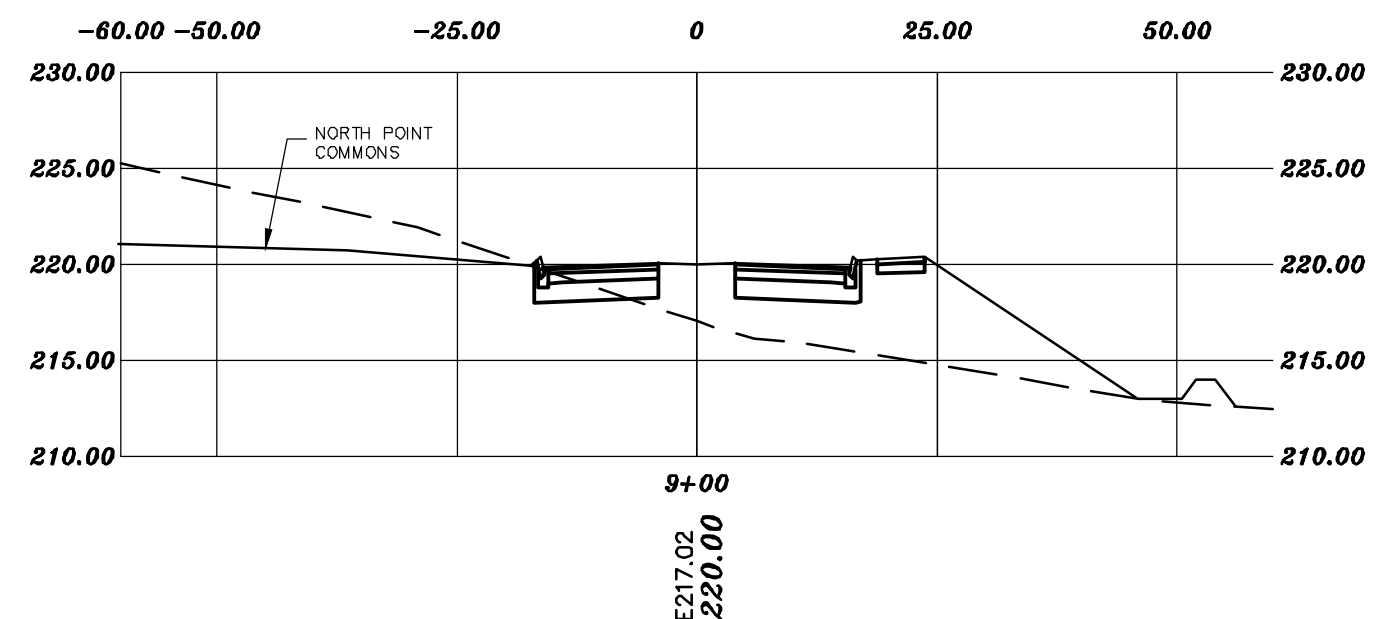
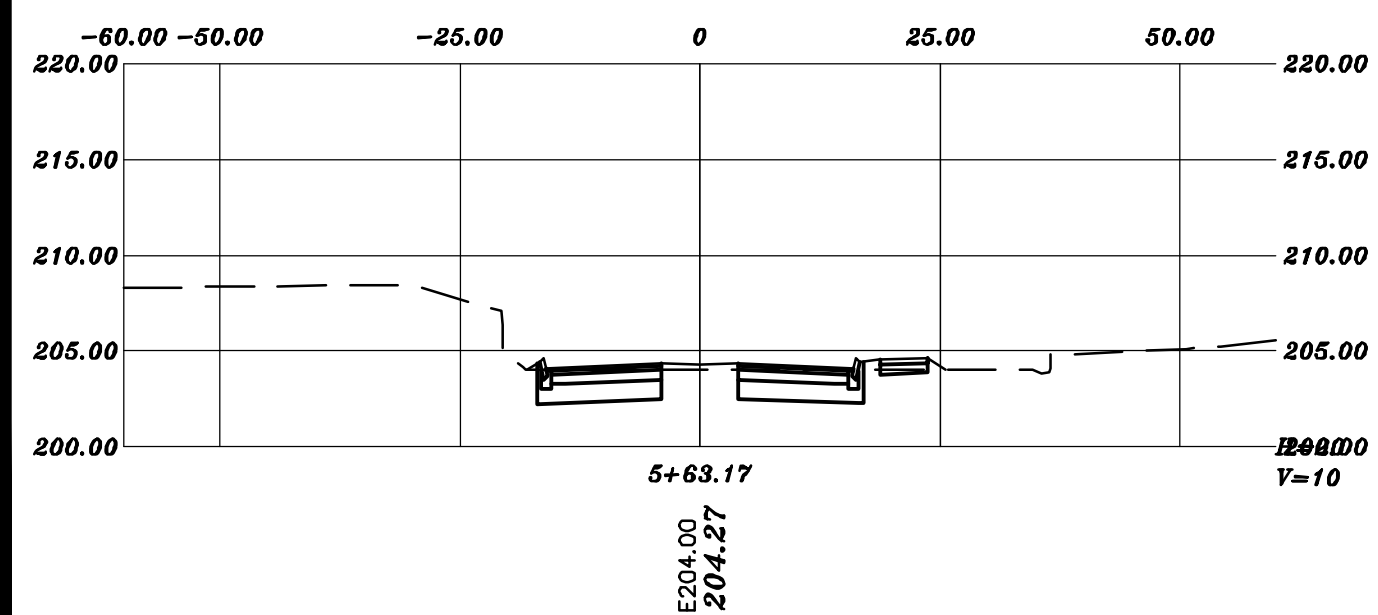
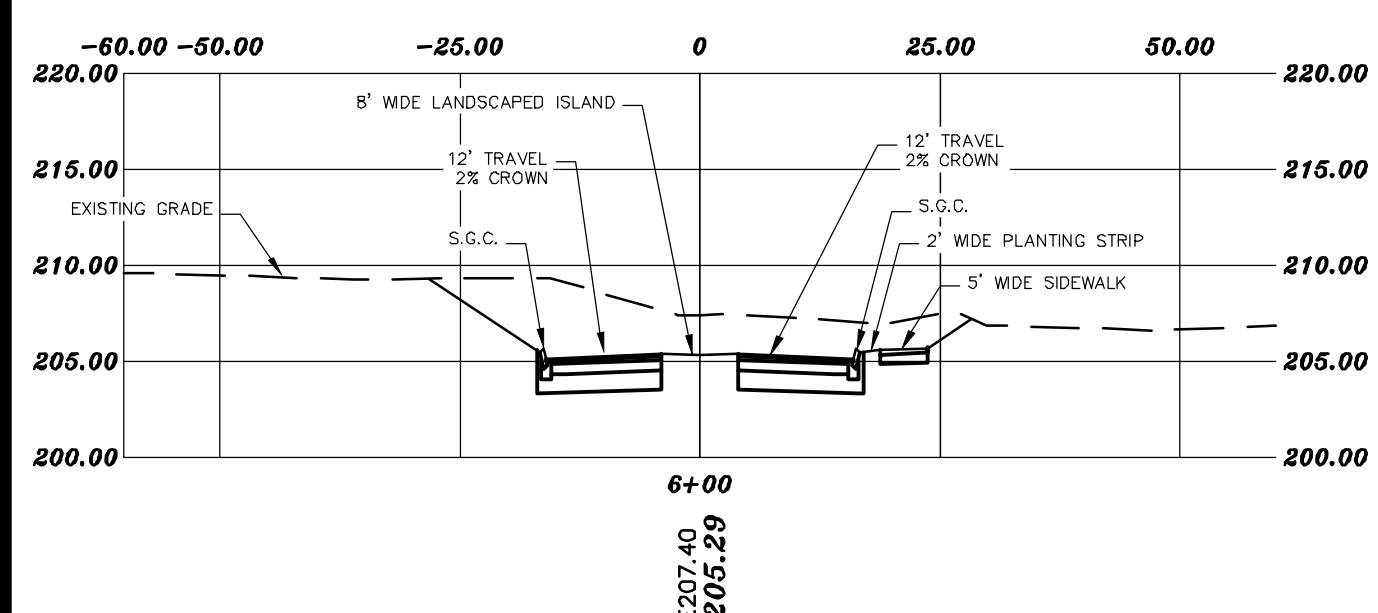
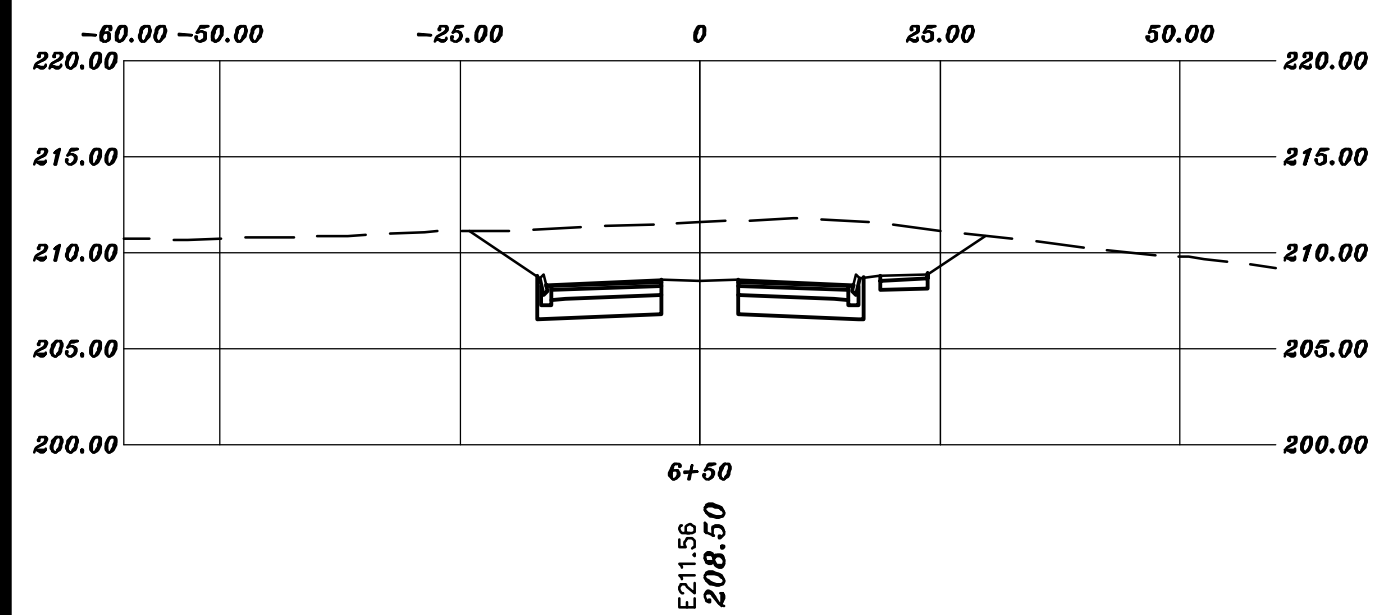
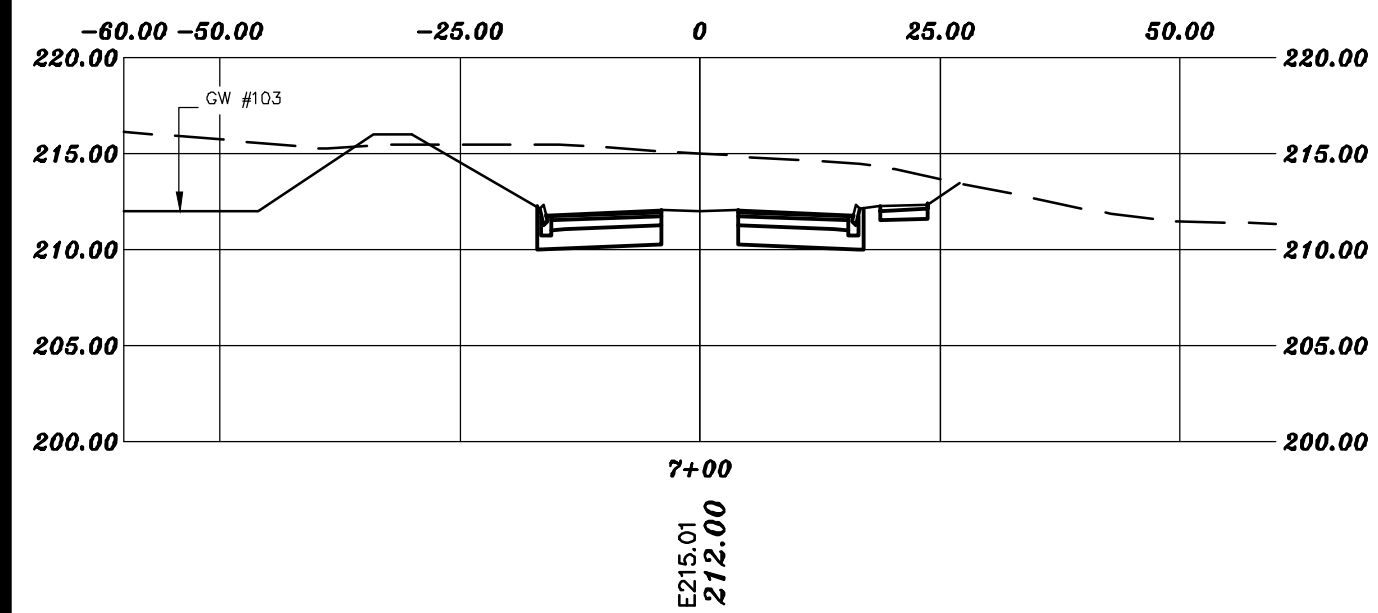
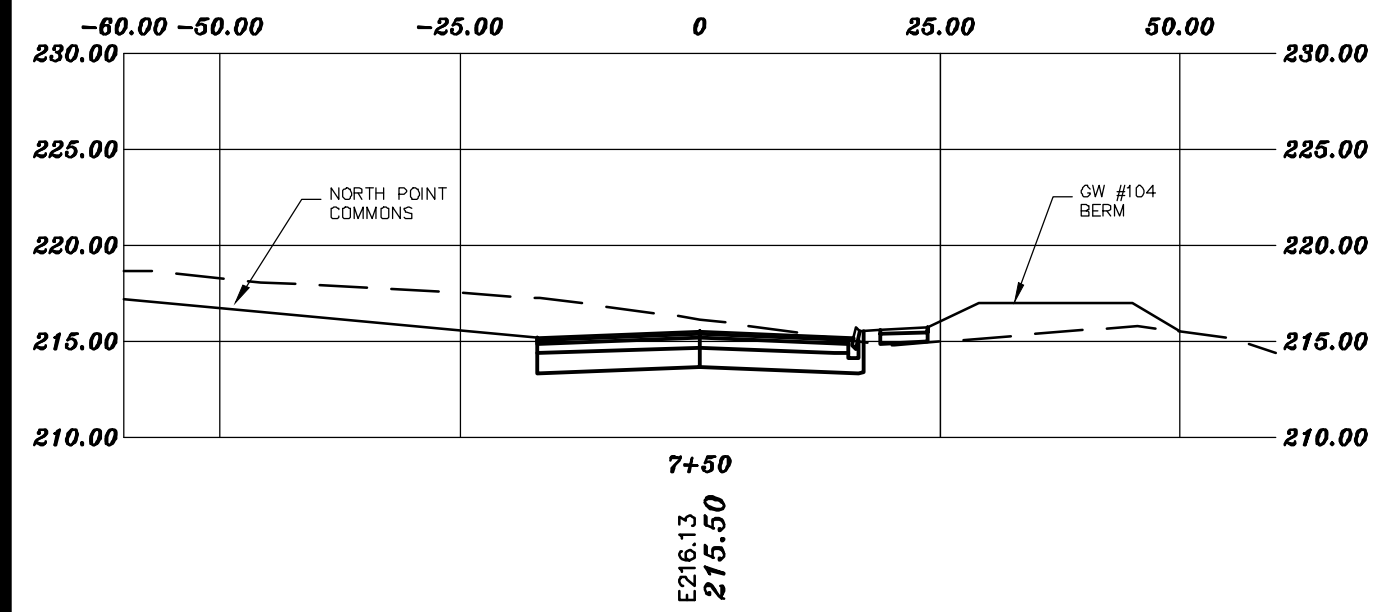
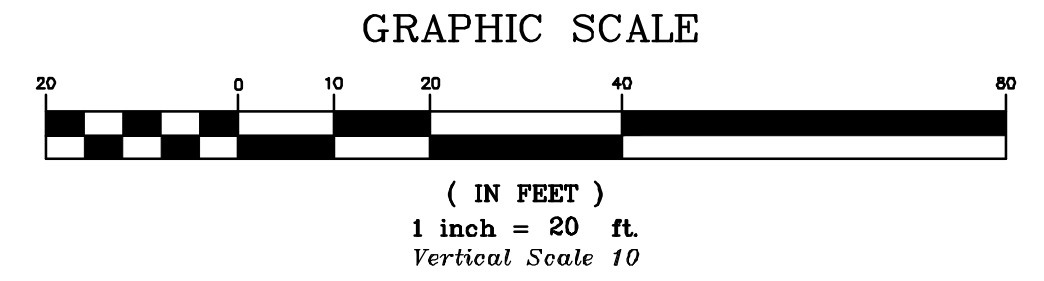
**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 14472  
LICENSED PROFESSIONAL ENGINEER

SHEET 83 OF 109

FOR TOWN APPROVAL PURPOSES :

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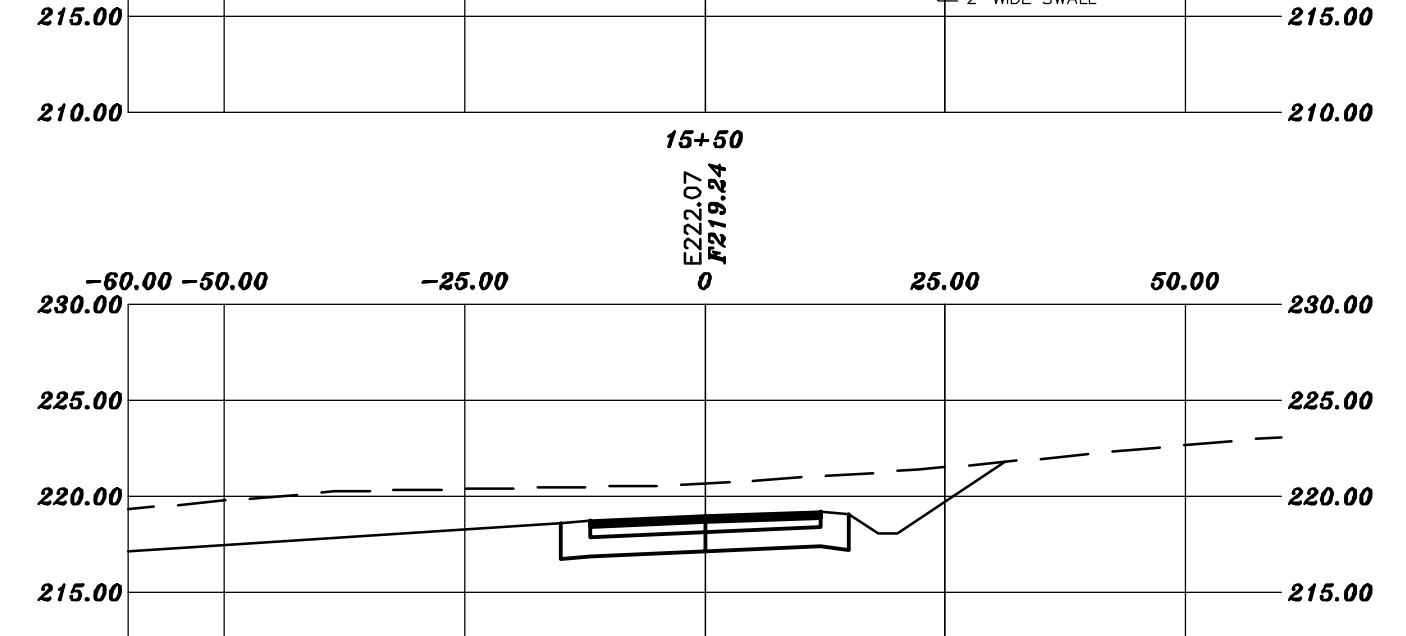
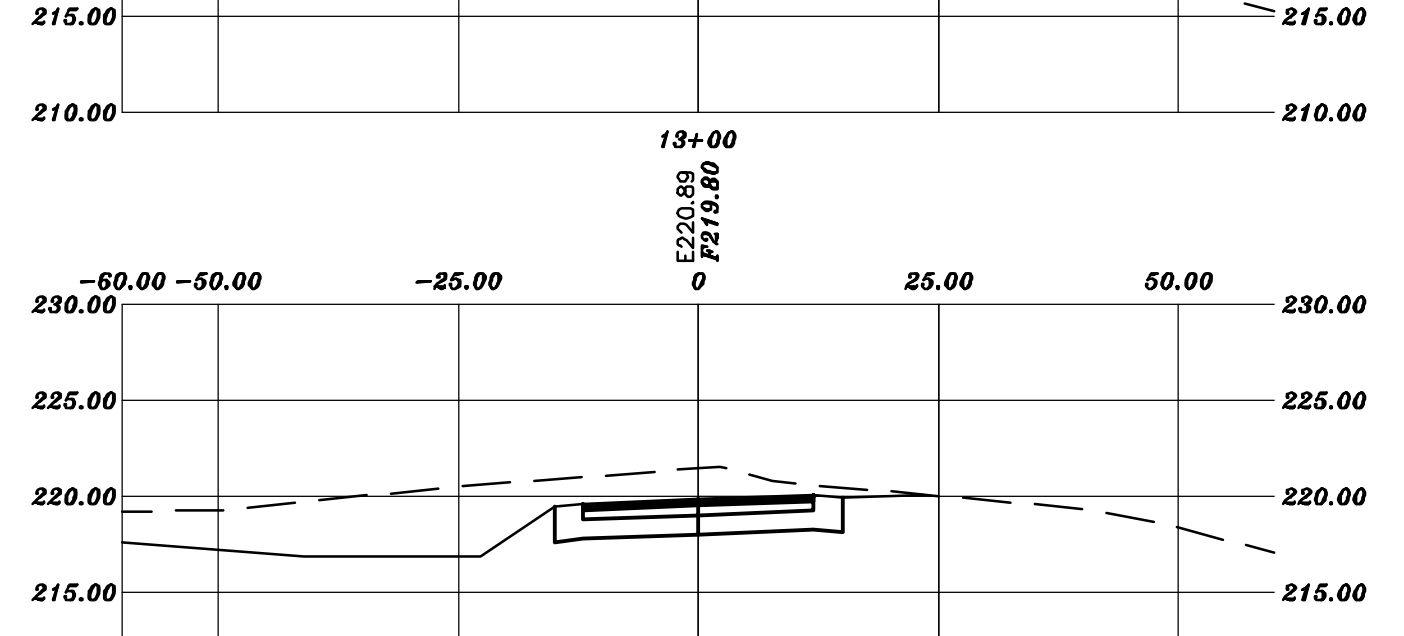
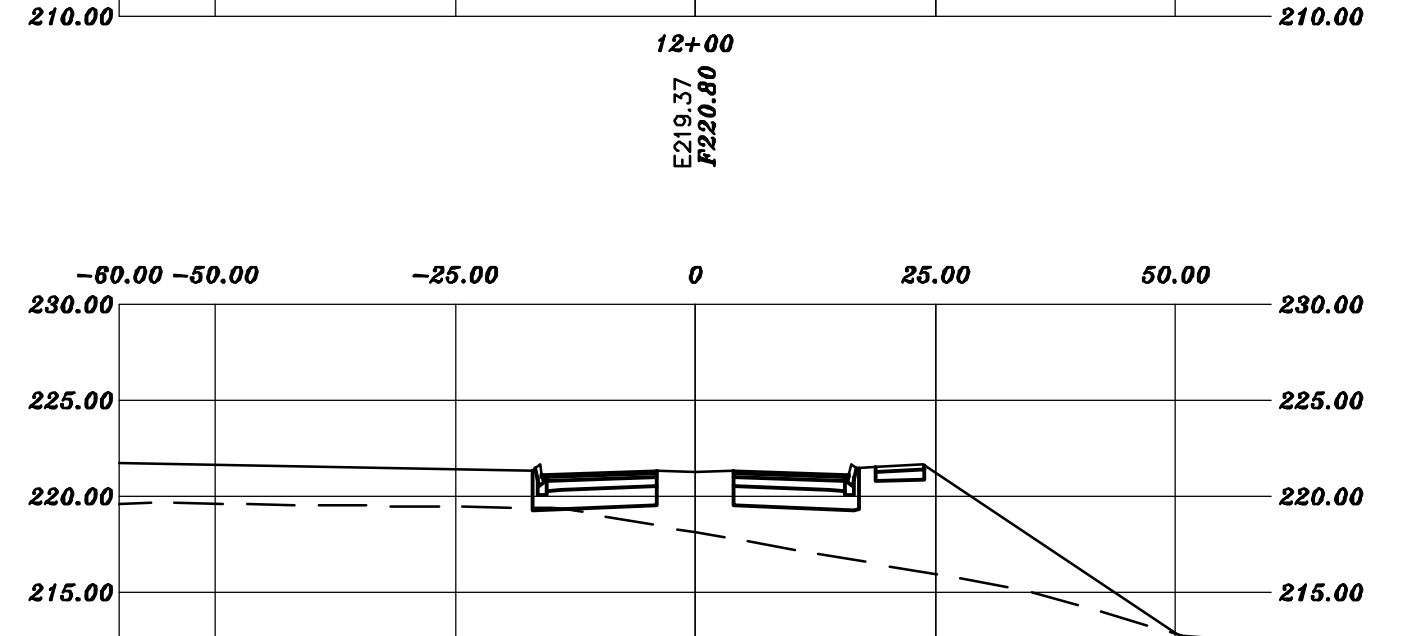
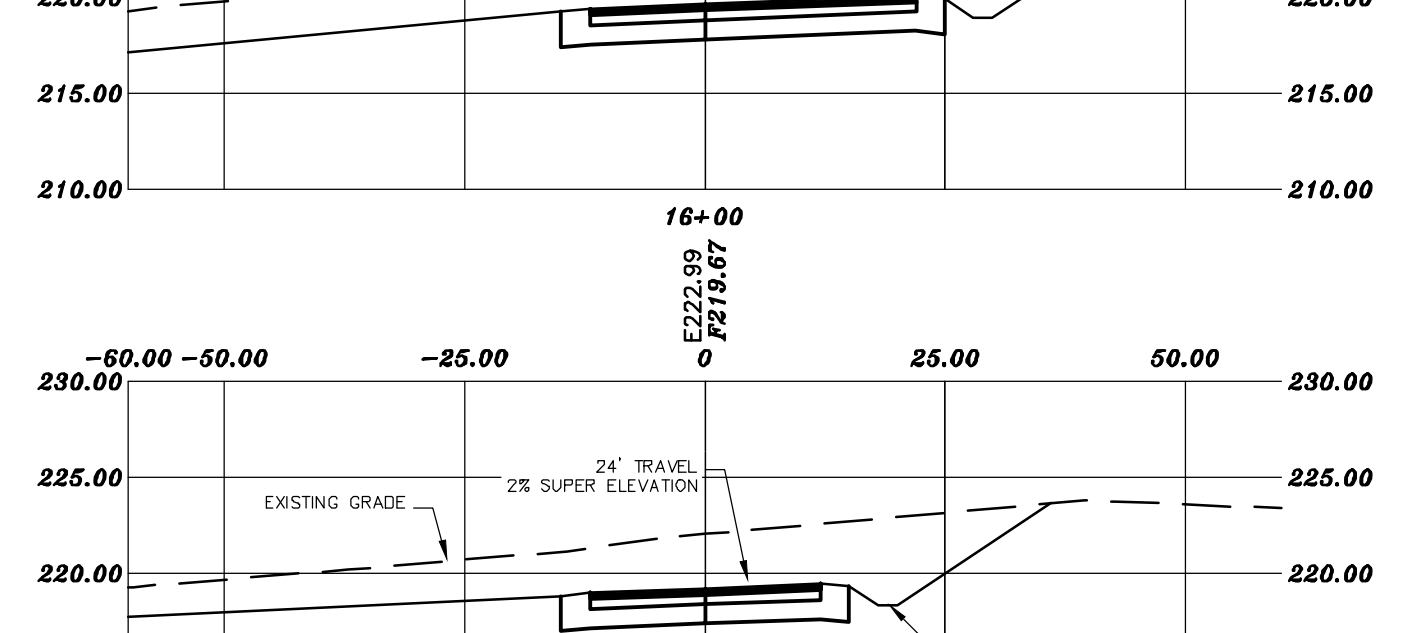
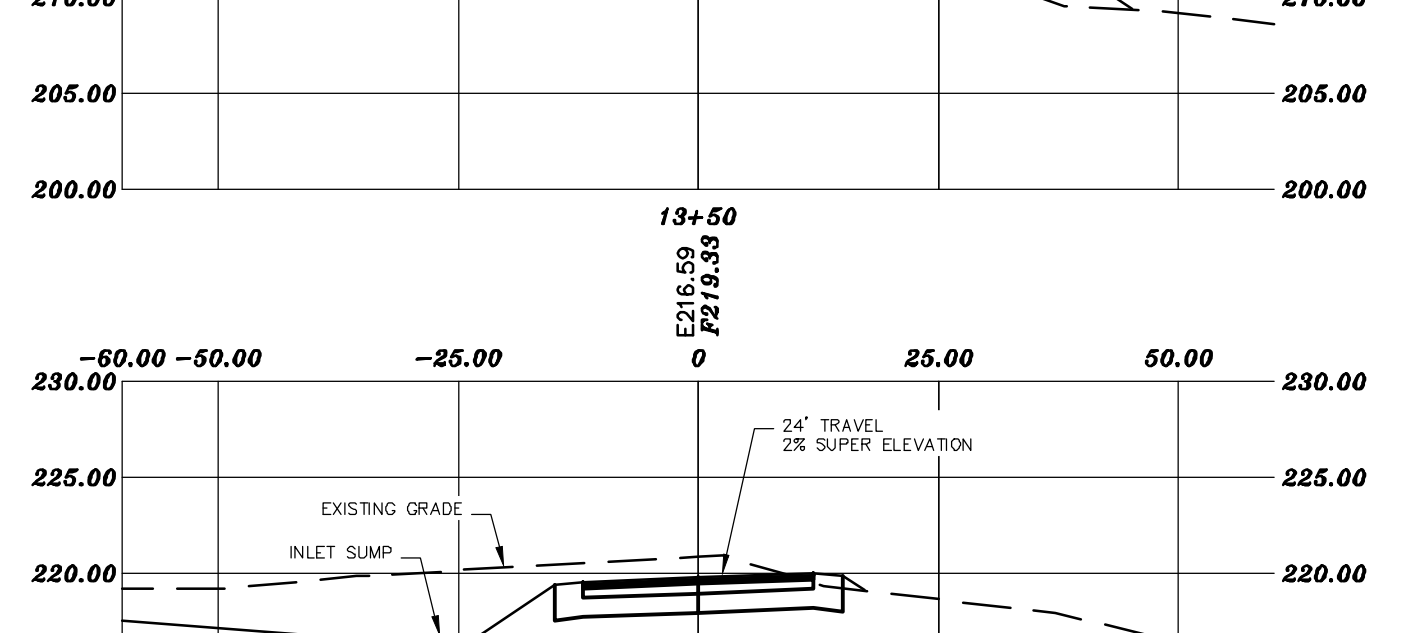
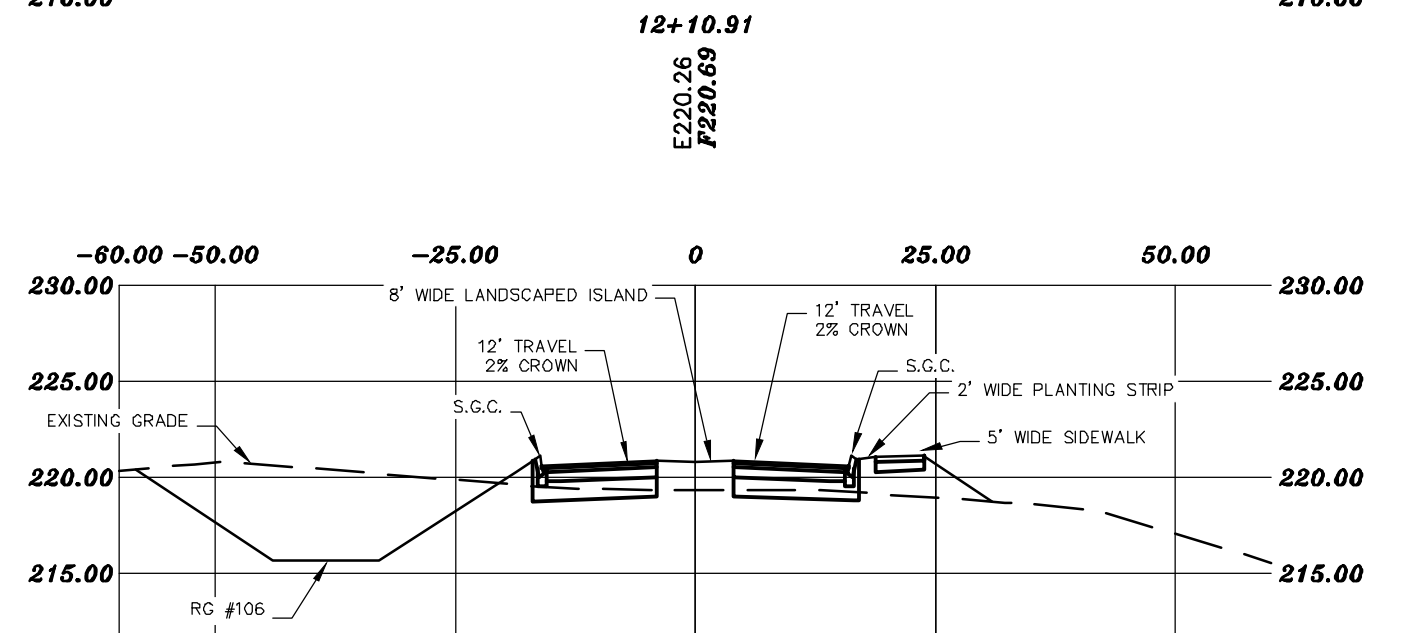
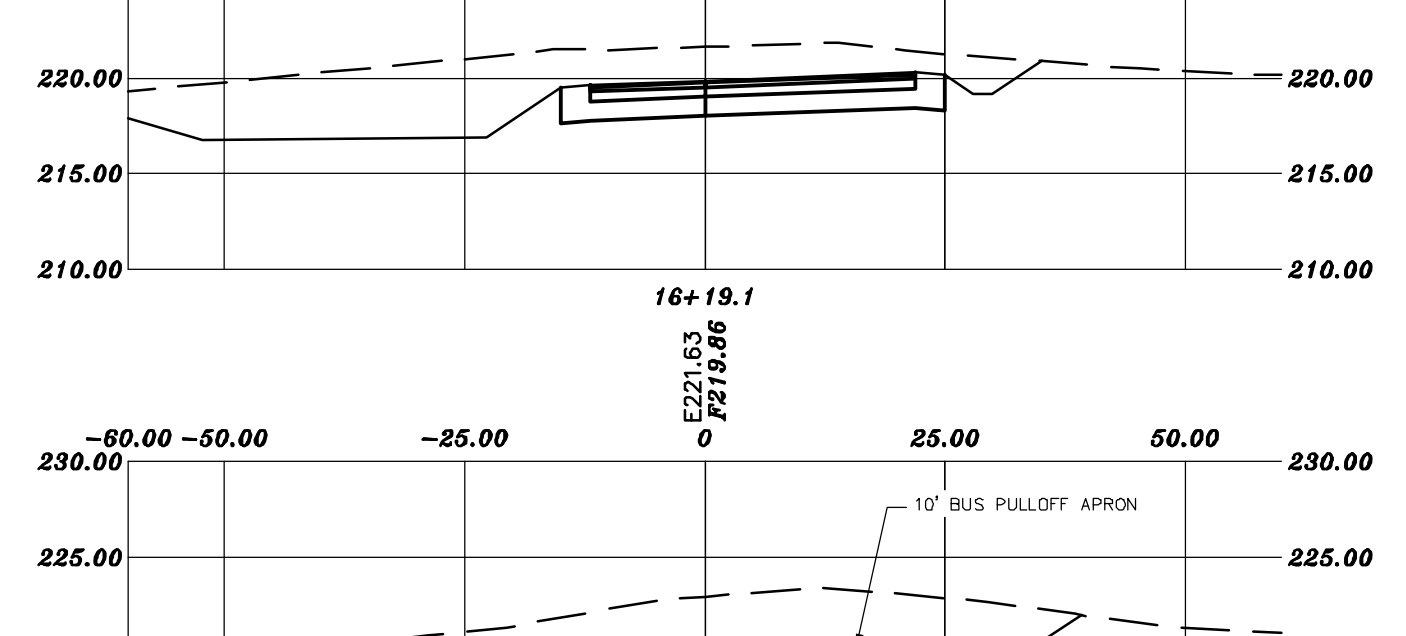
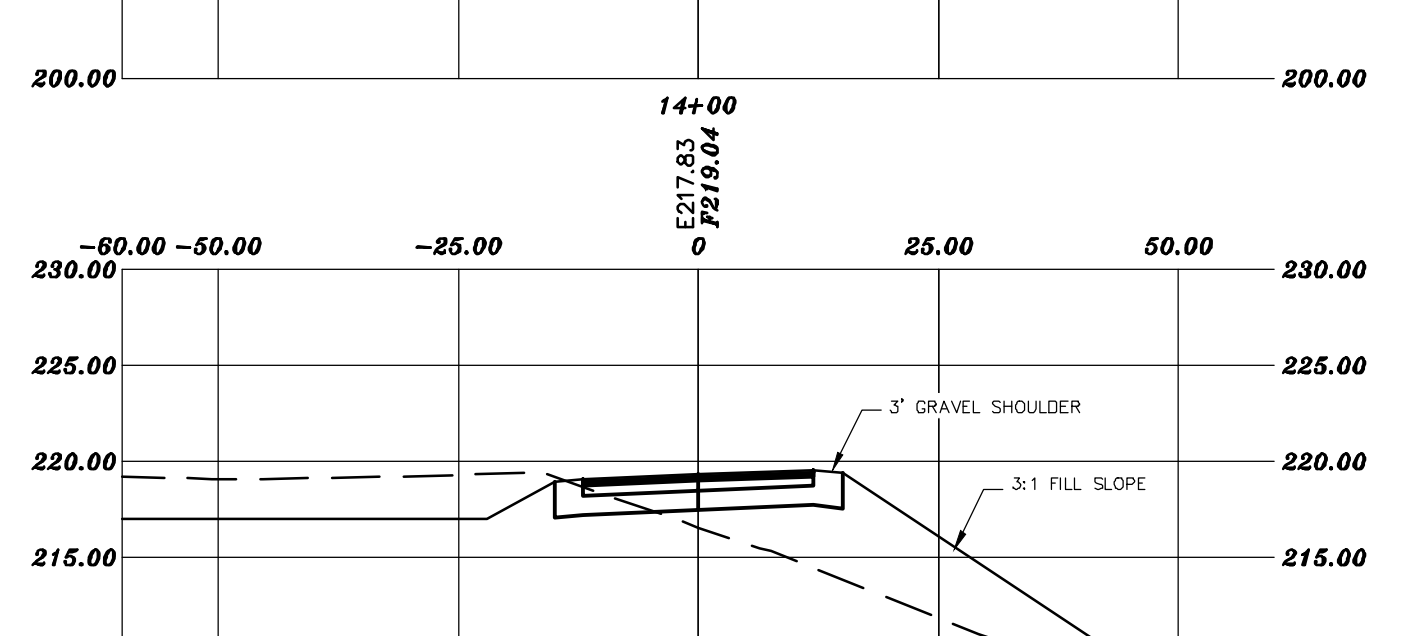
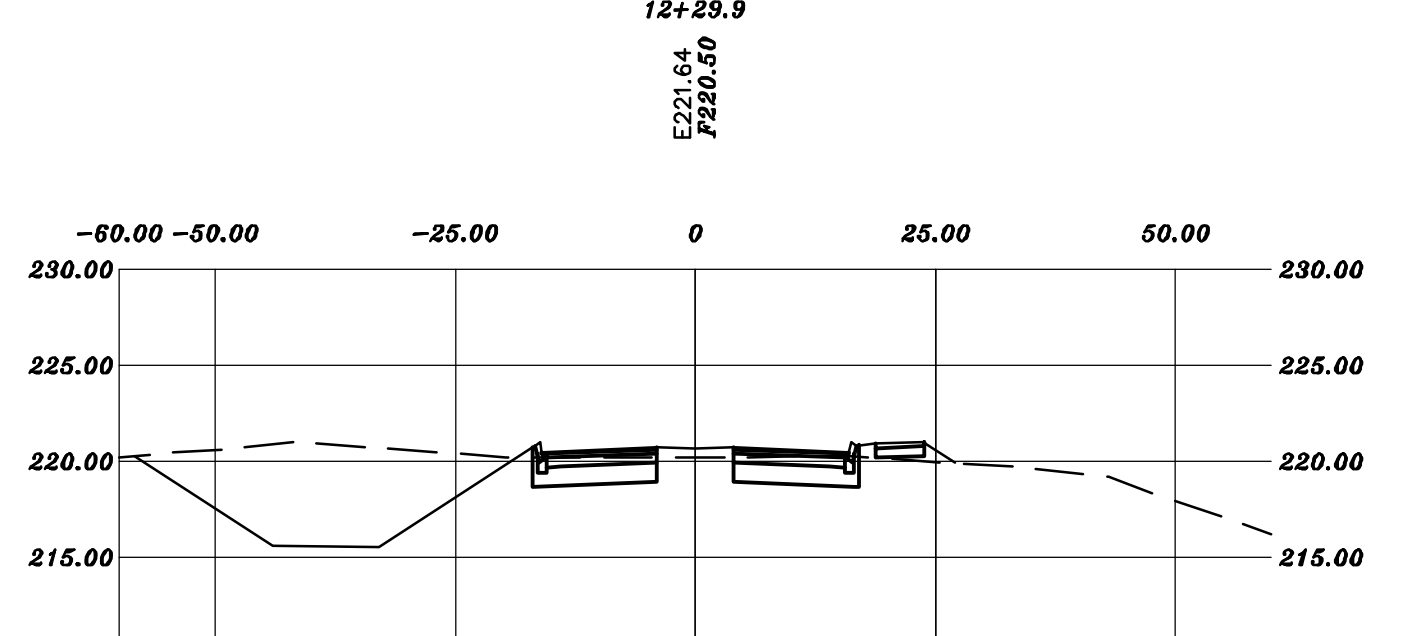
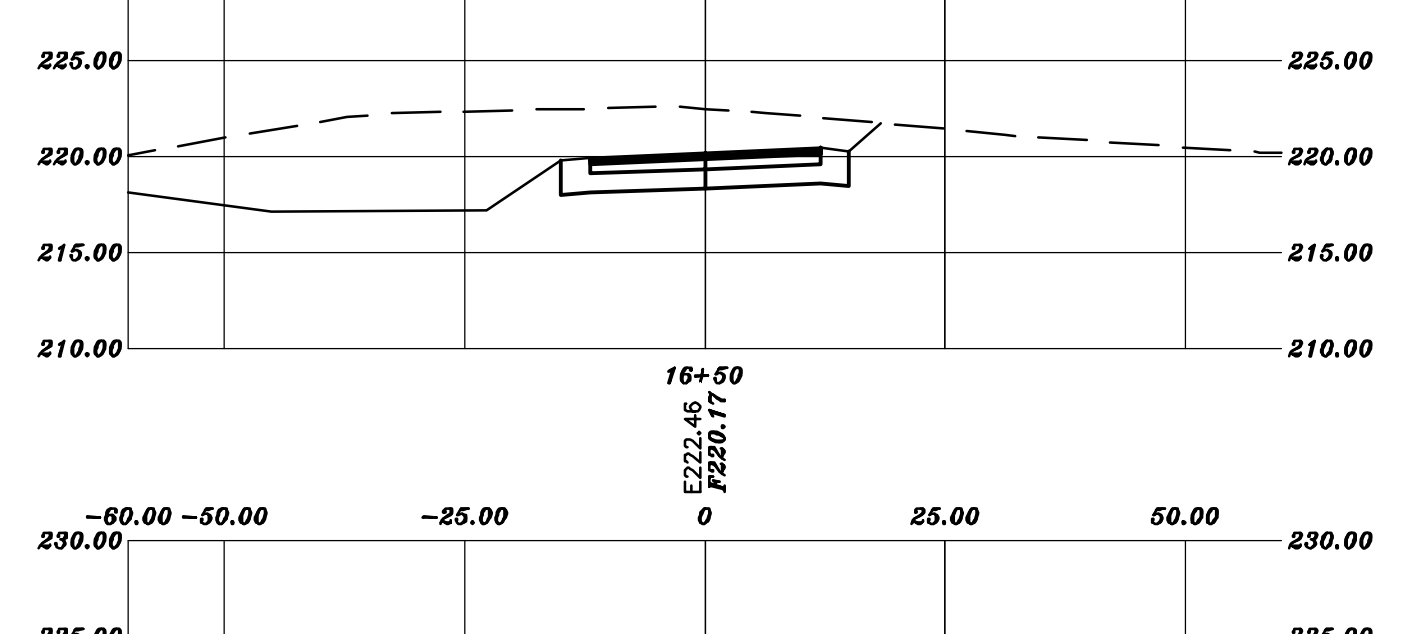
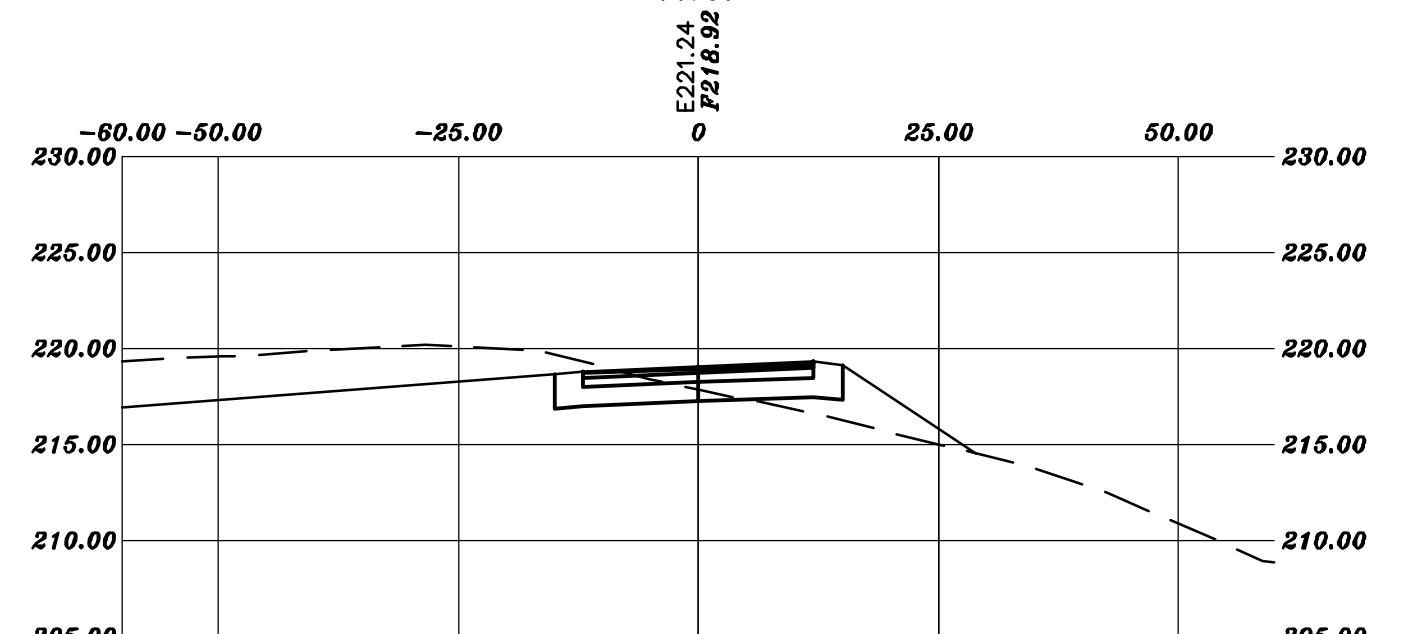
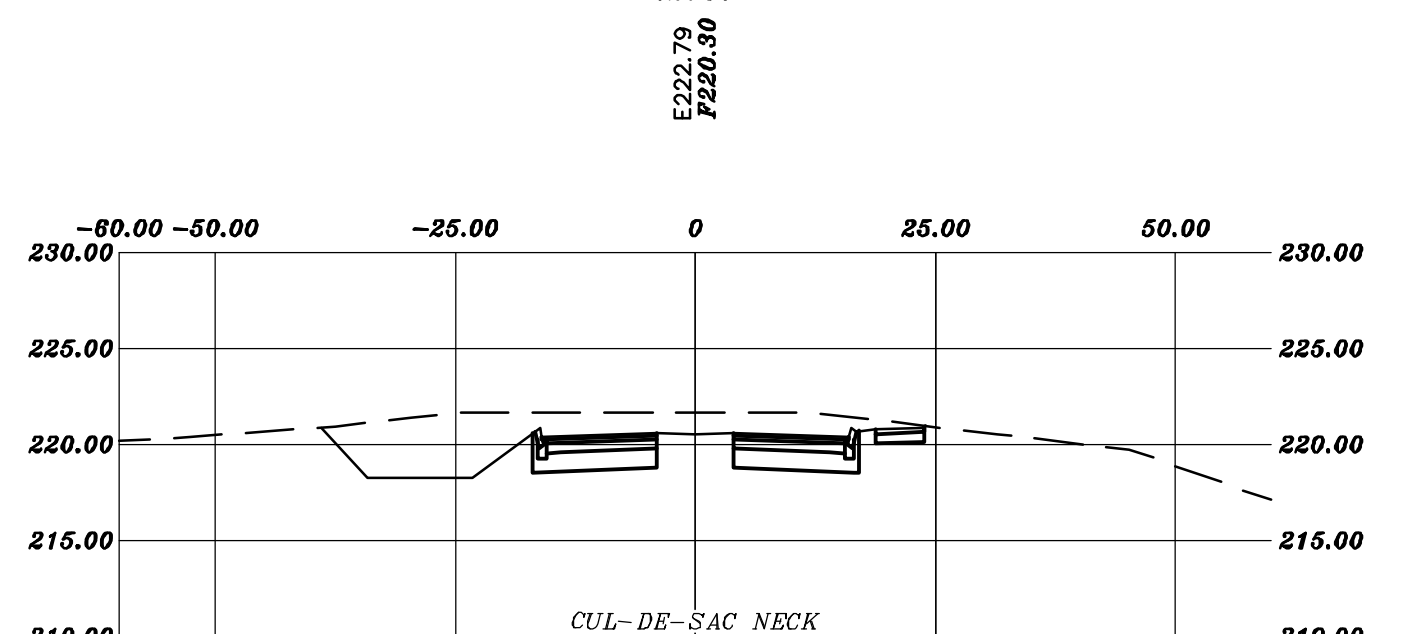
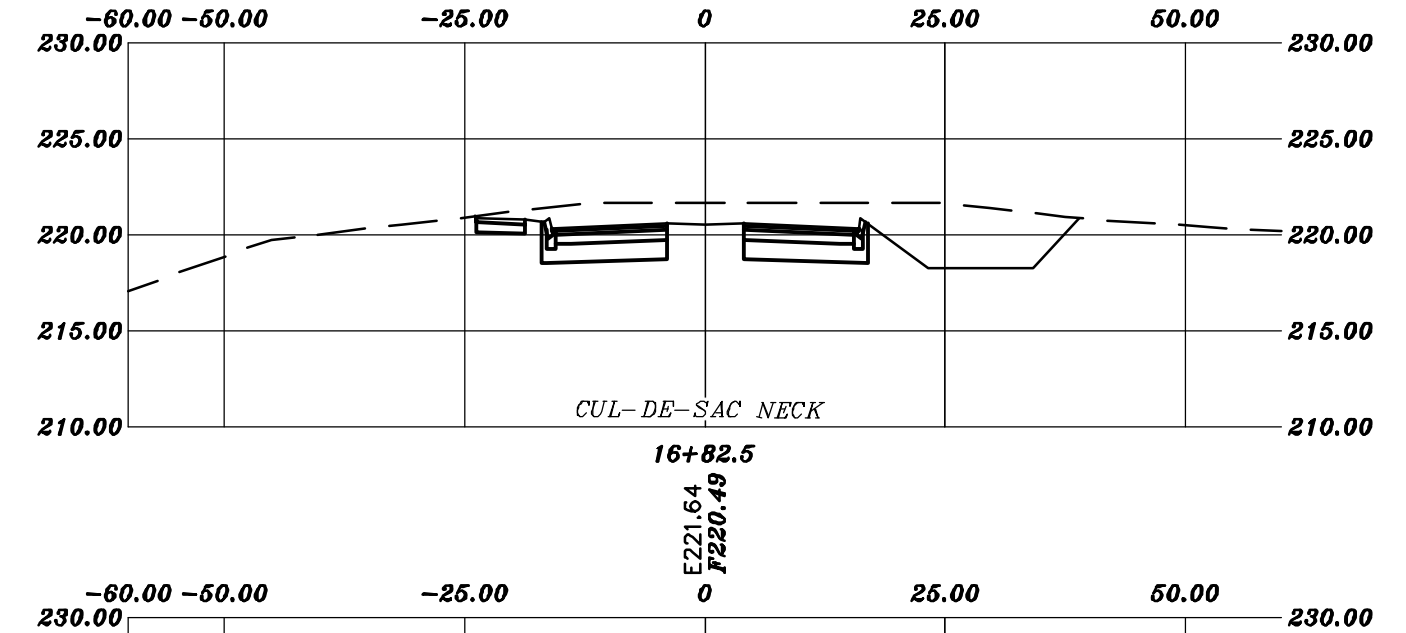
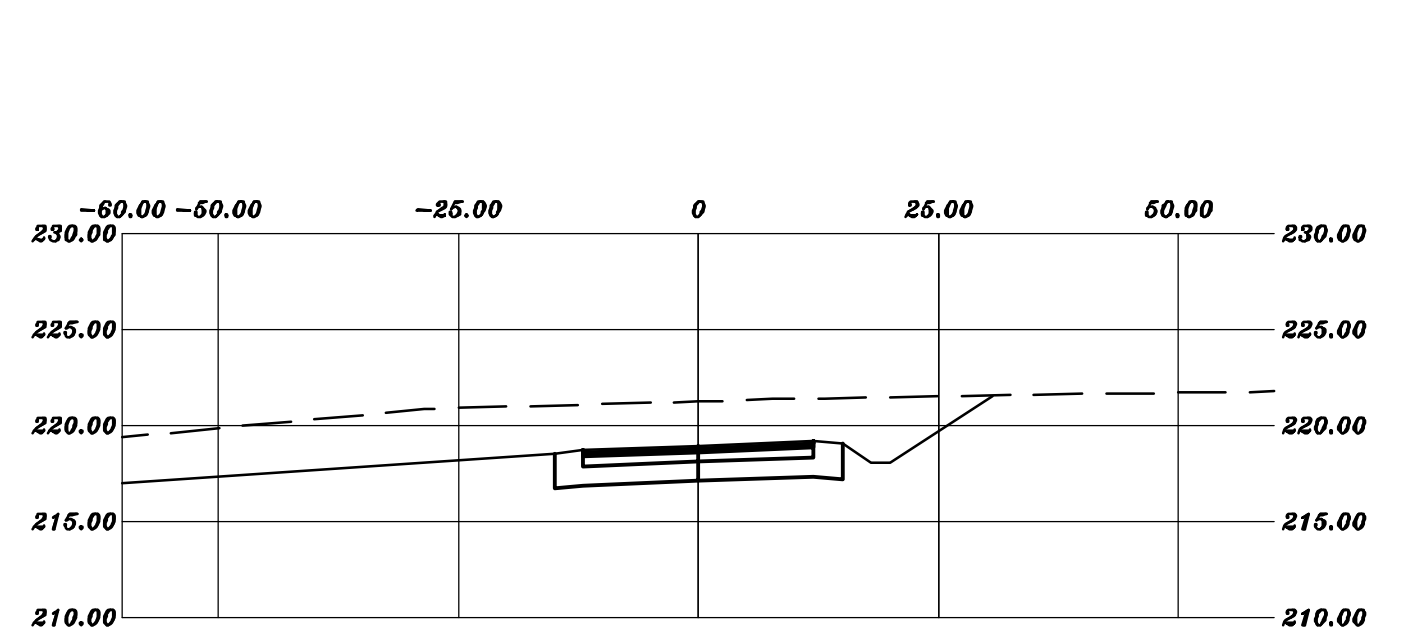
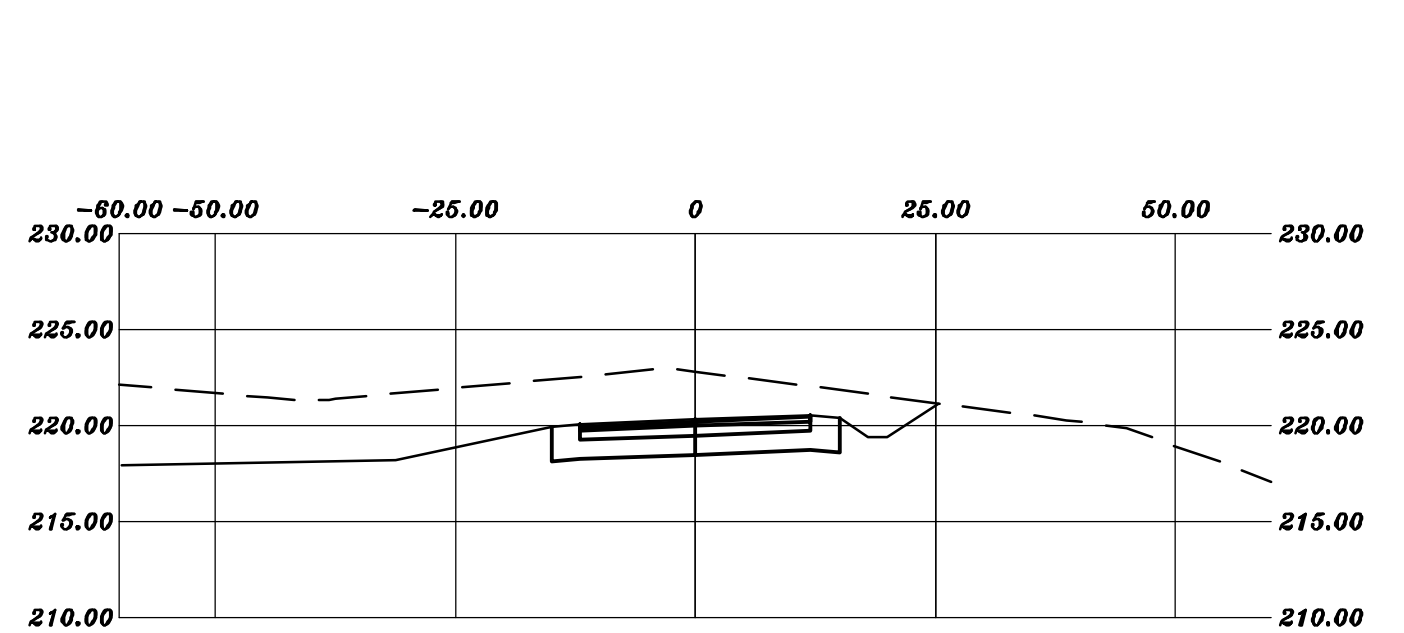
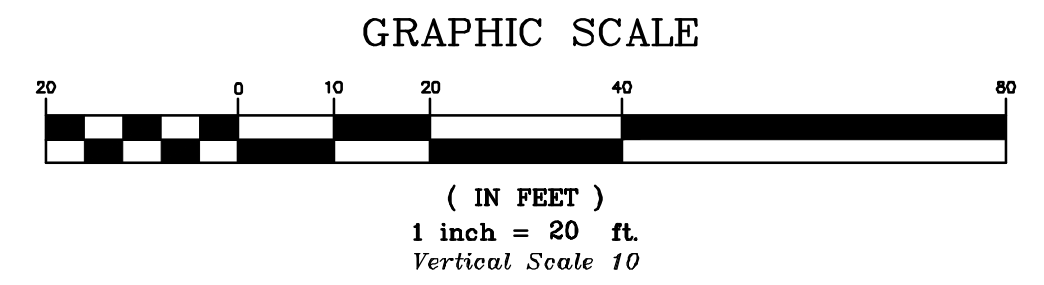


| #1 | #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CROSS SECTIONS COMMUNITY WAY 5+63 - 11+00  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





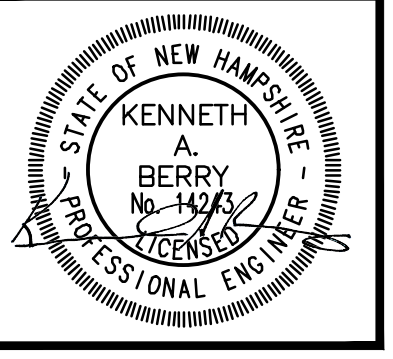
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| #1 | #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CROSS SECTIONS COMMUNITY WAY 11+00 - END  
 LAND OF DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
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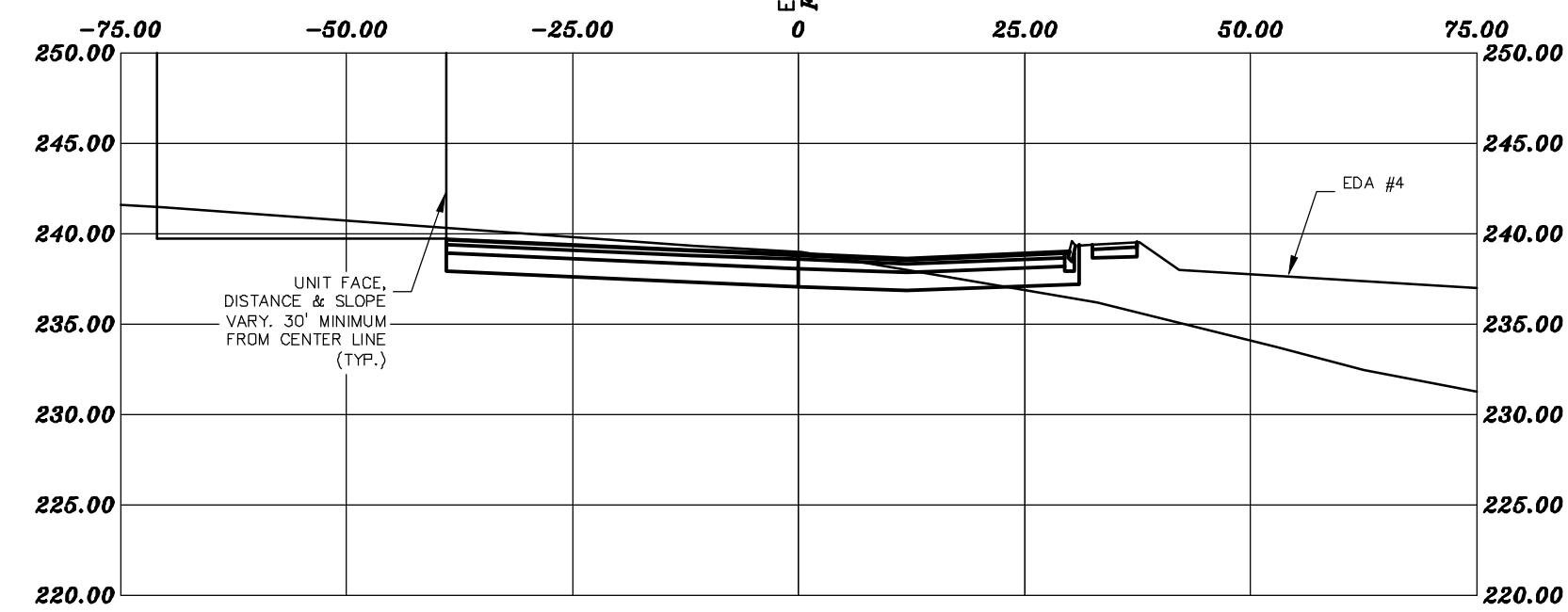
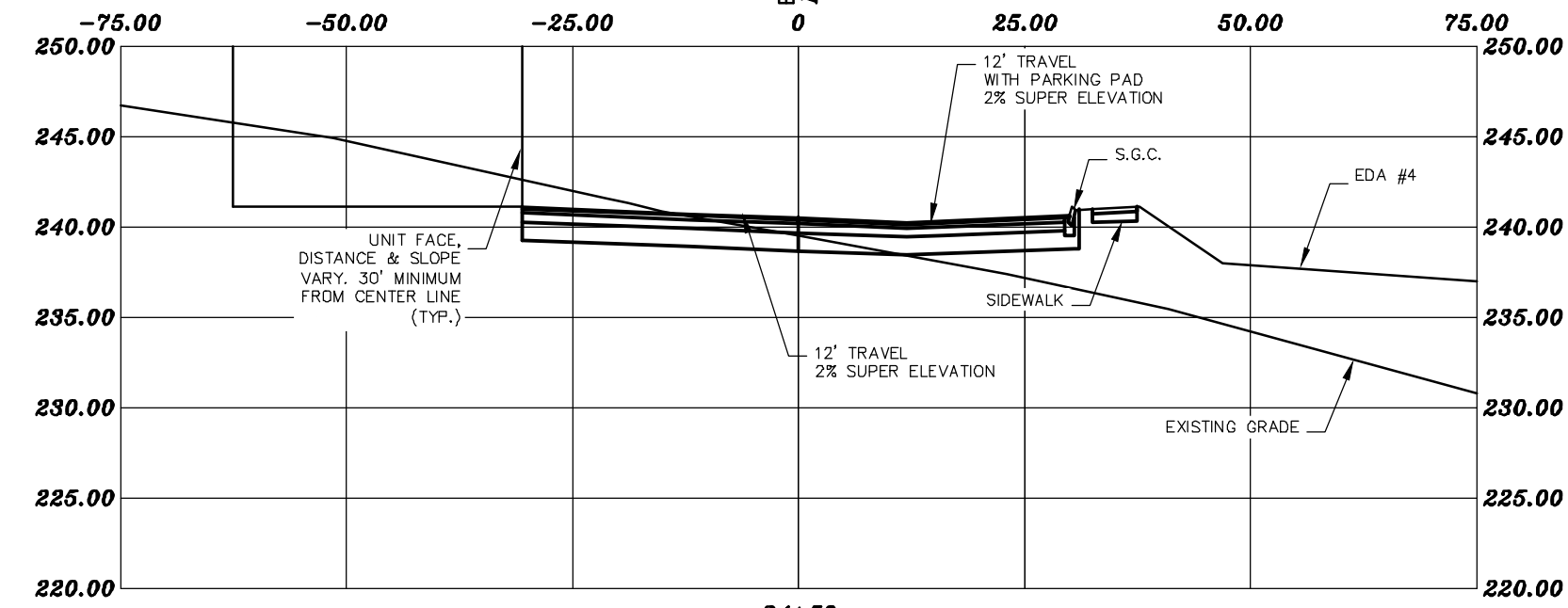
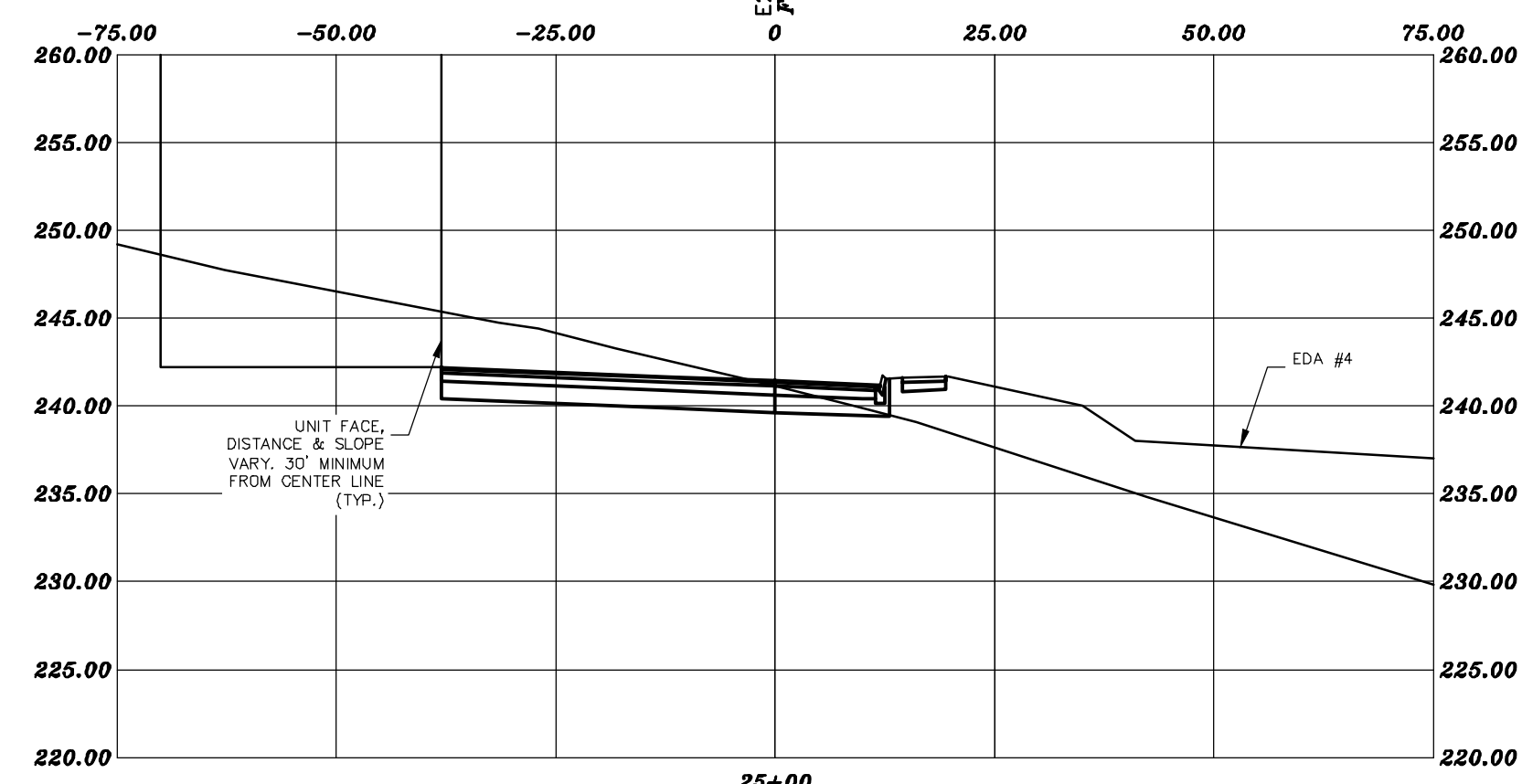
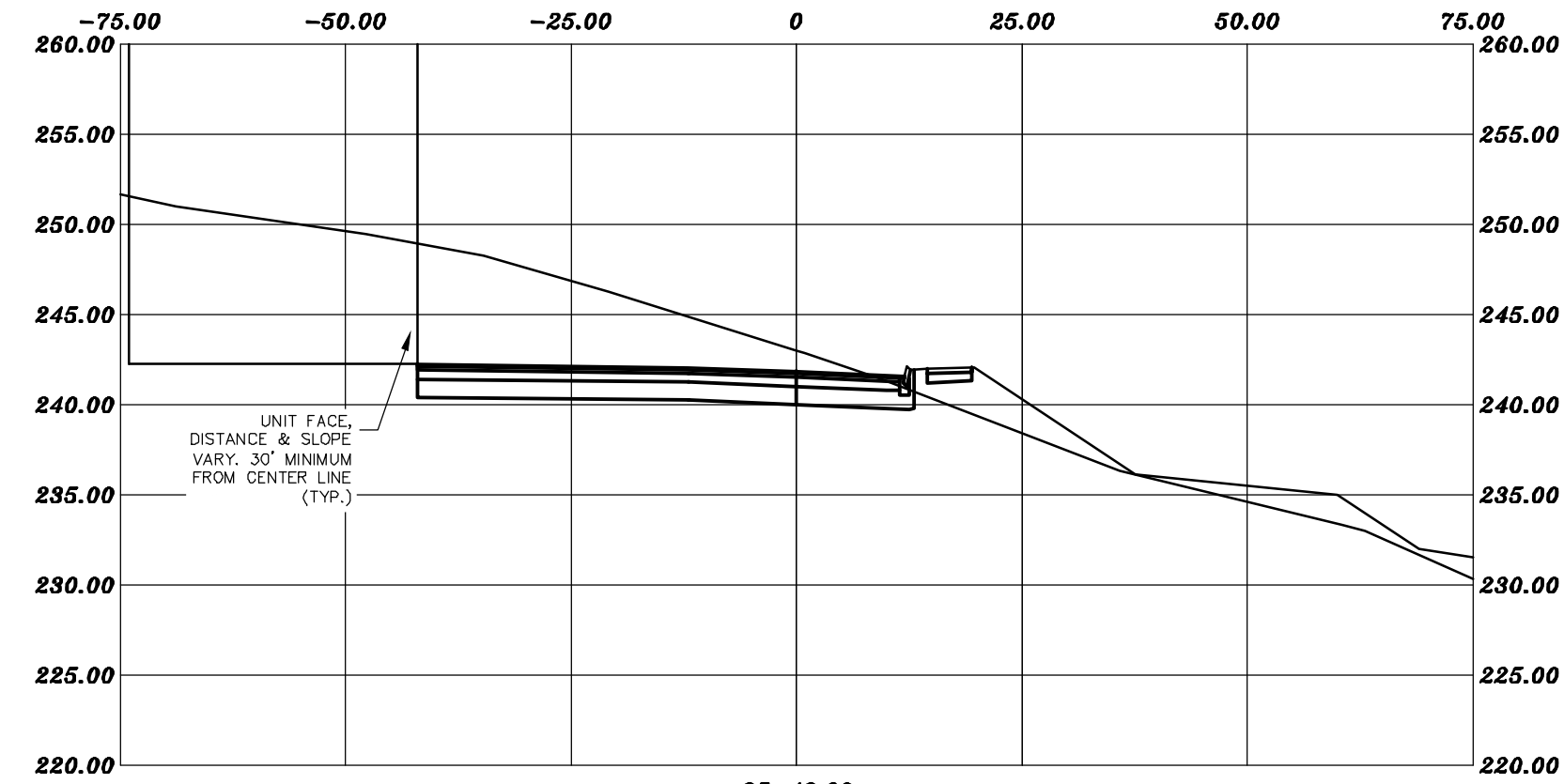
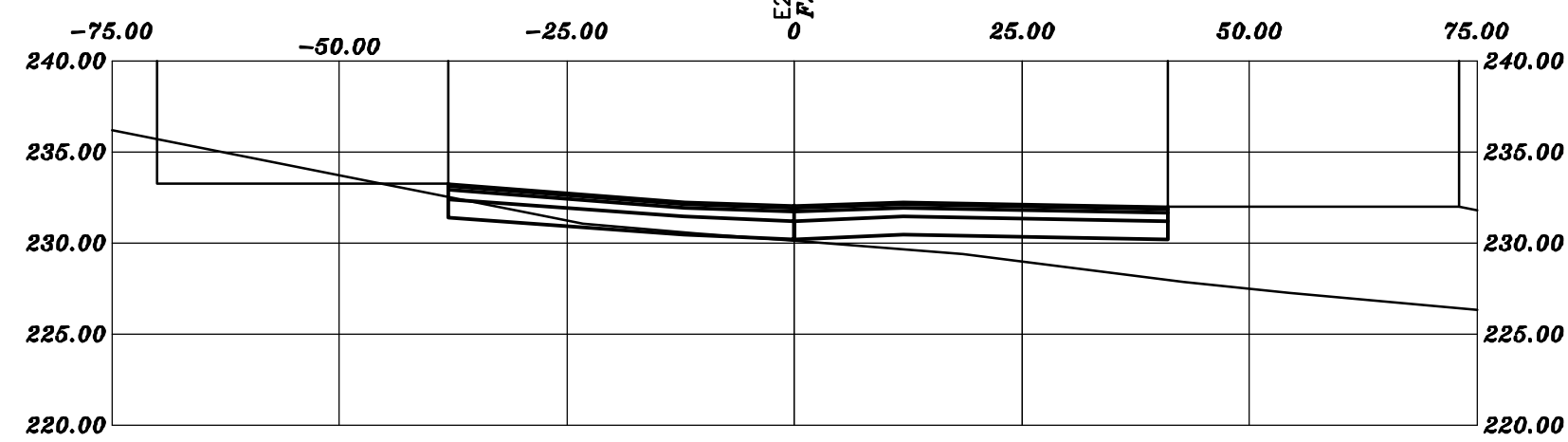
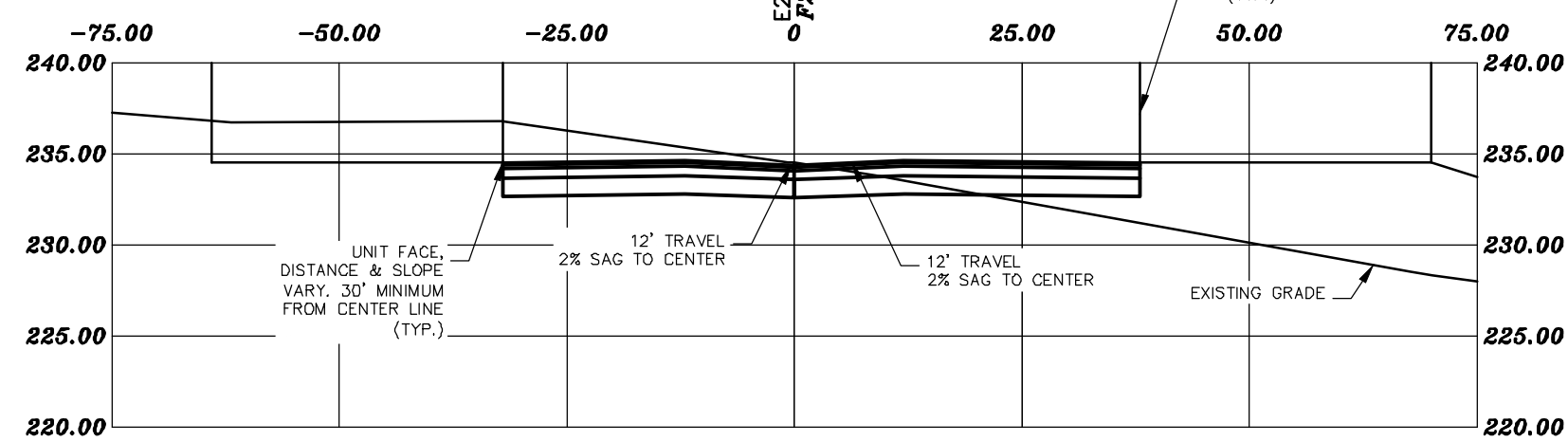
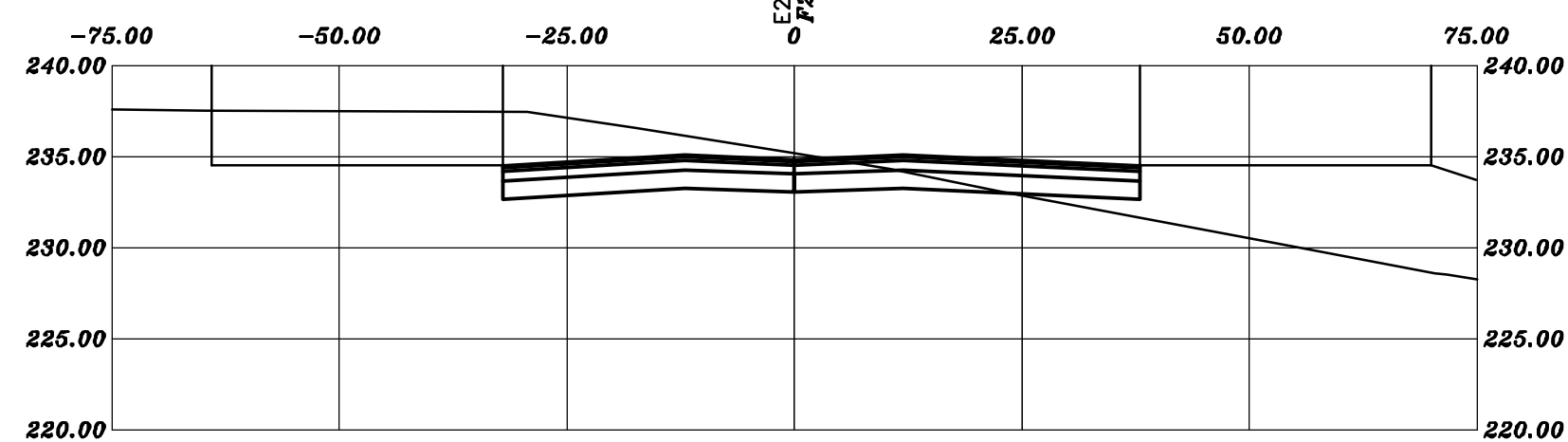
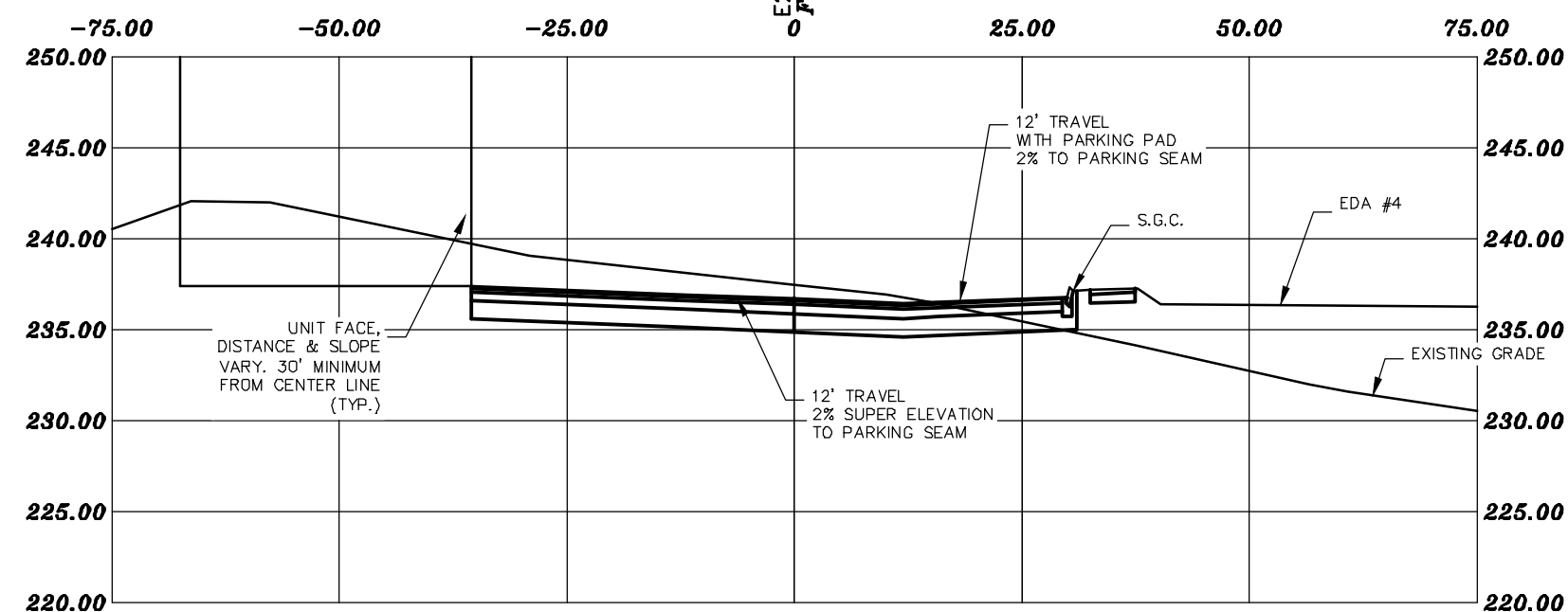
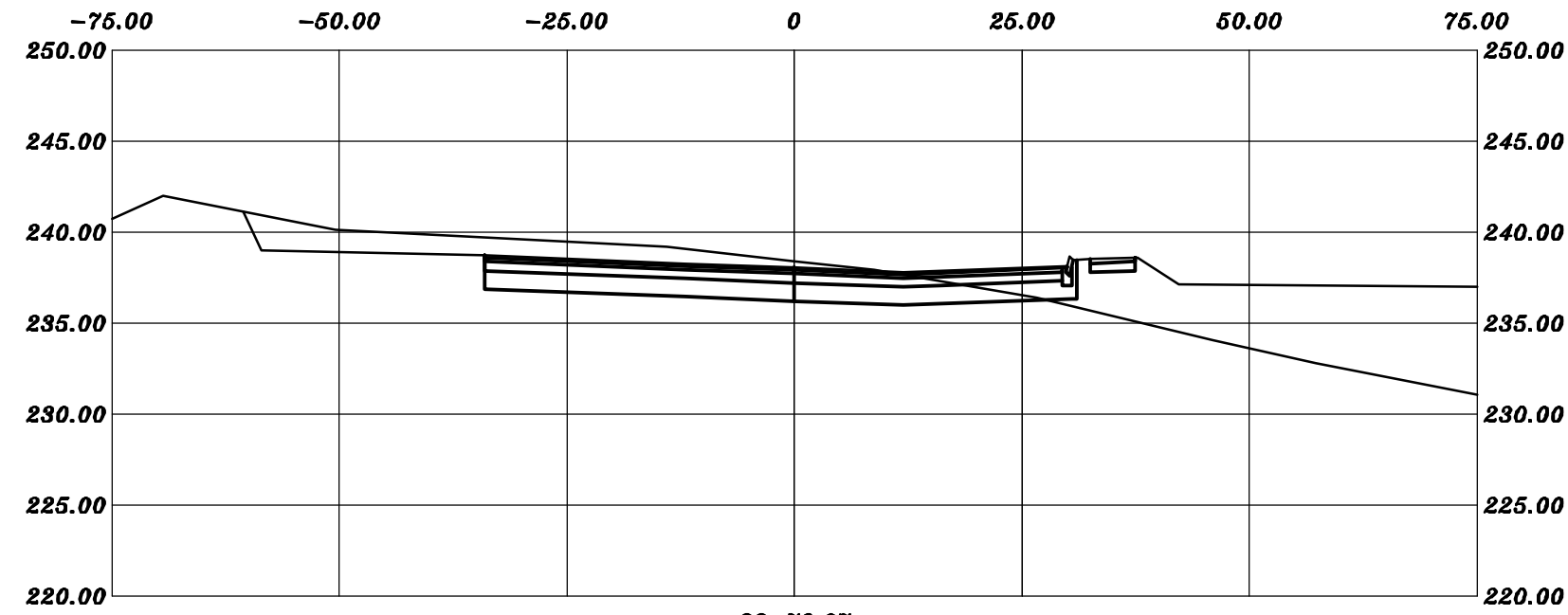
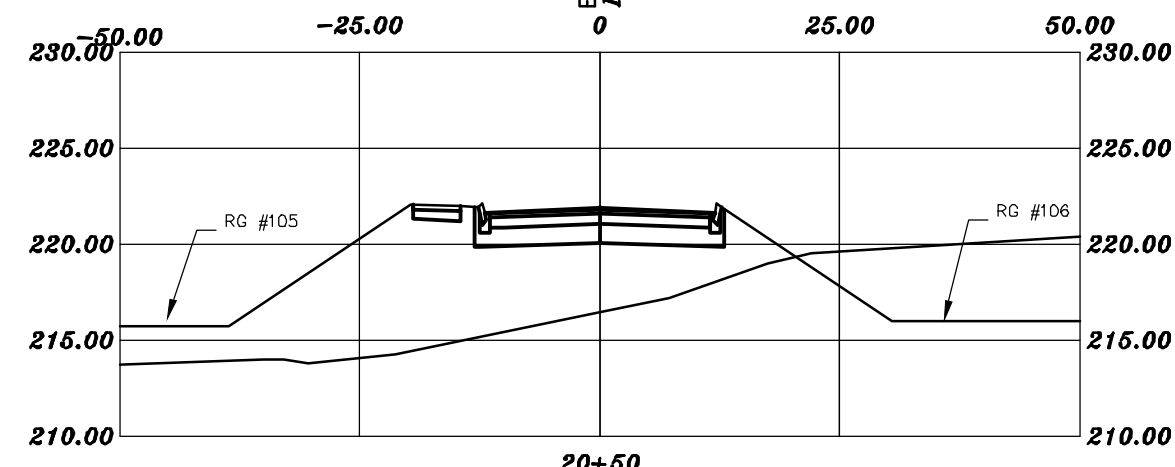
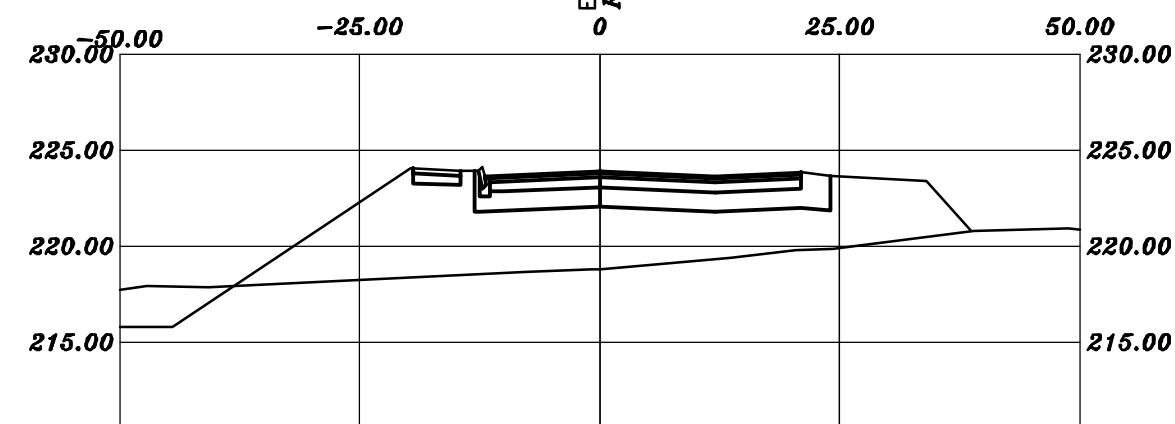
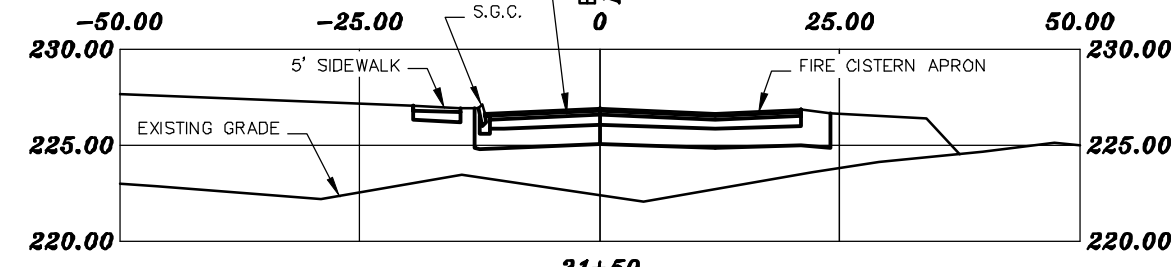
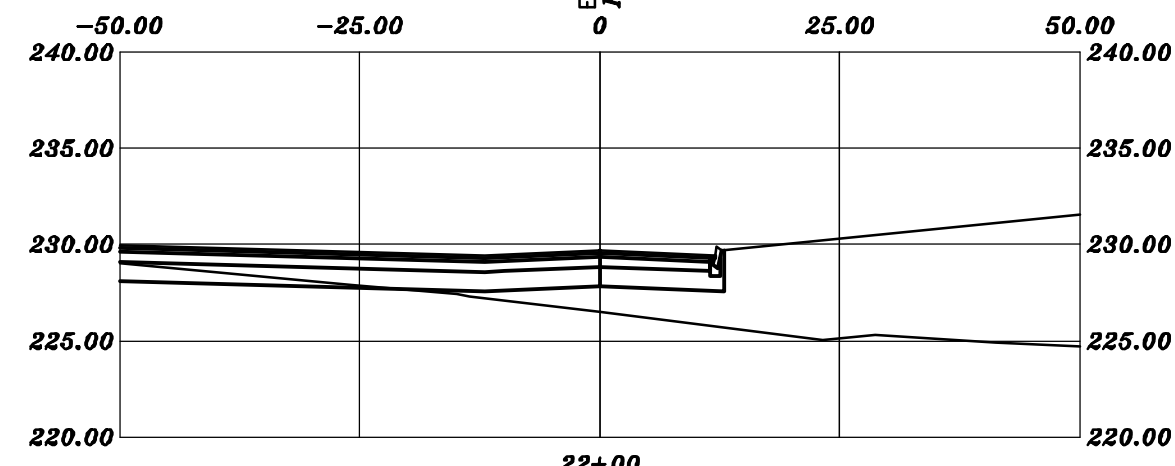
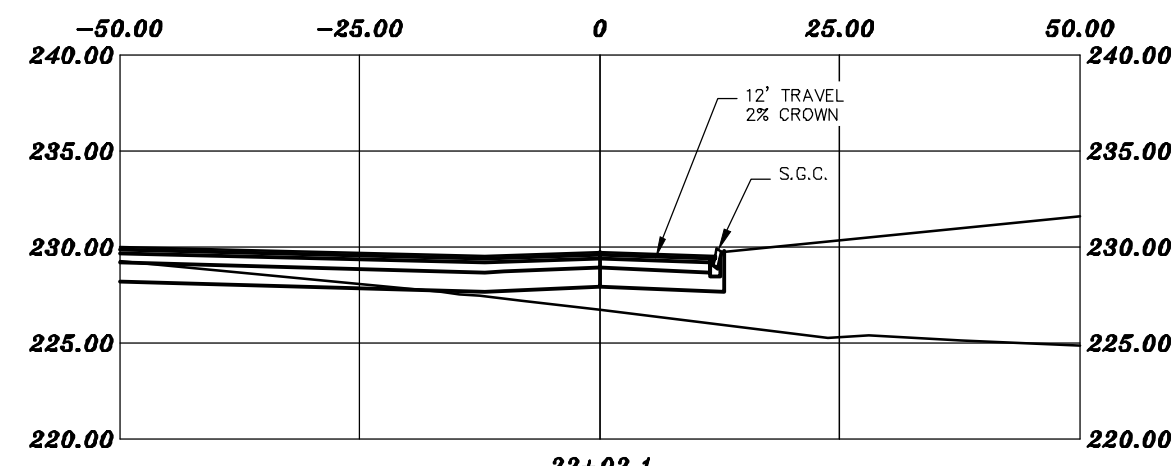
FOR TOWN APPROVAL PURPOSES :

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.  
Vertical Scale 10

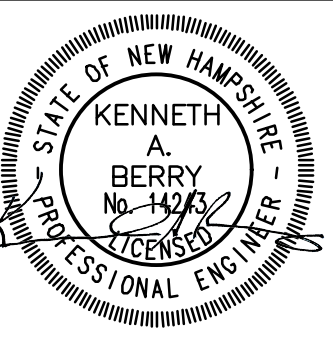
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

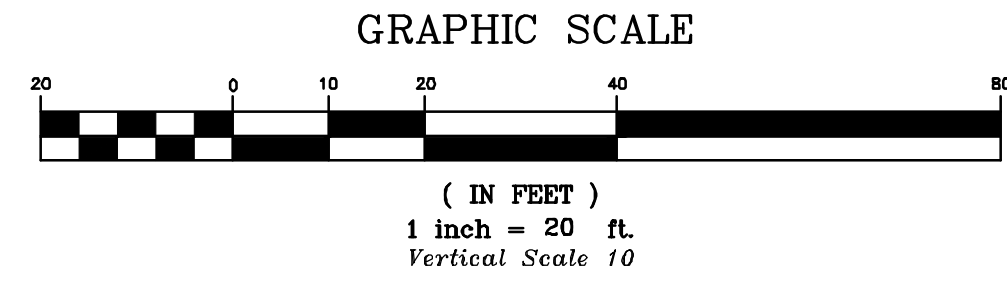
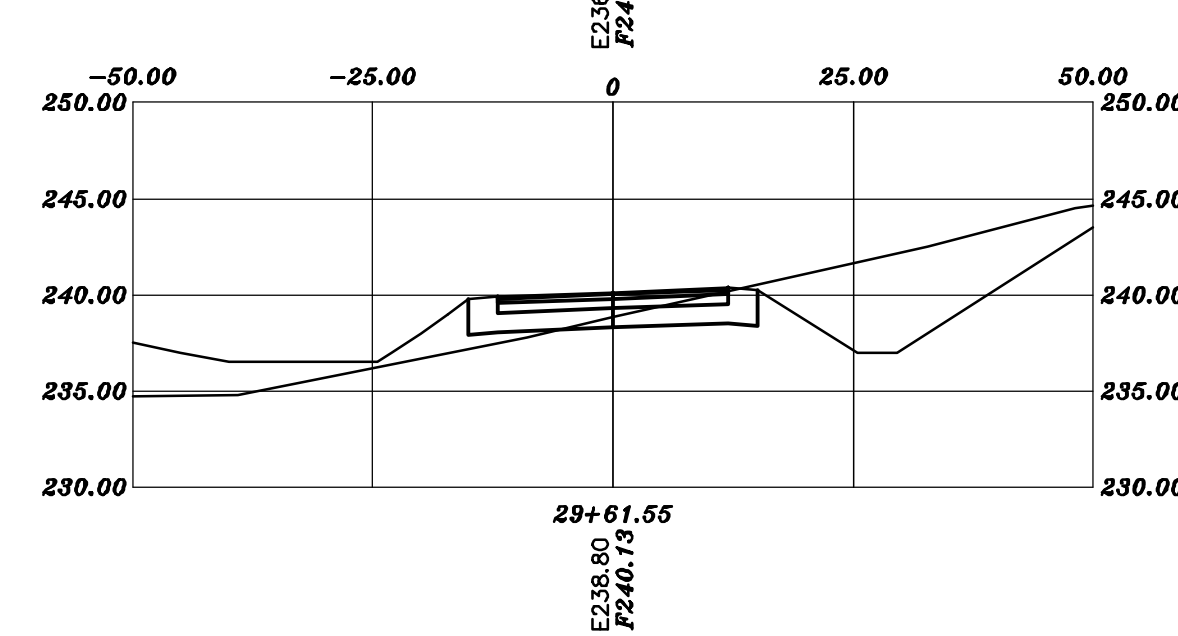
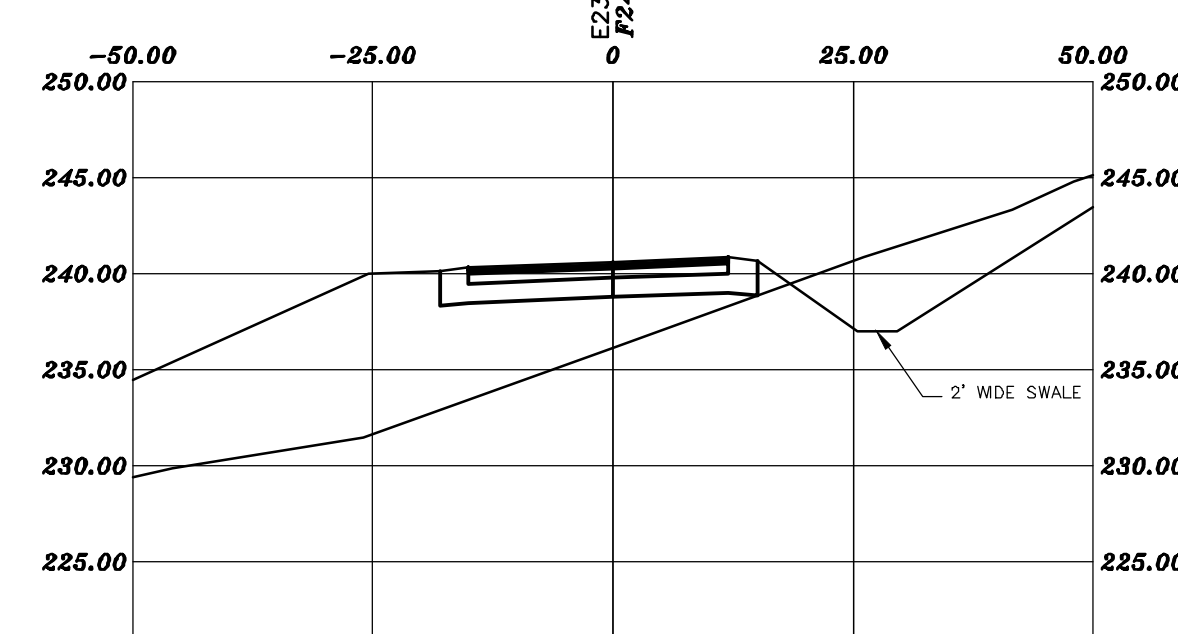
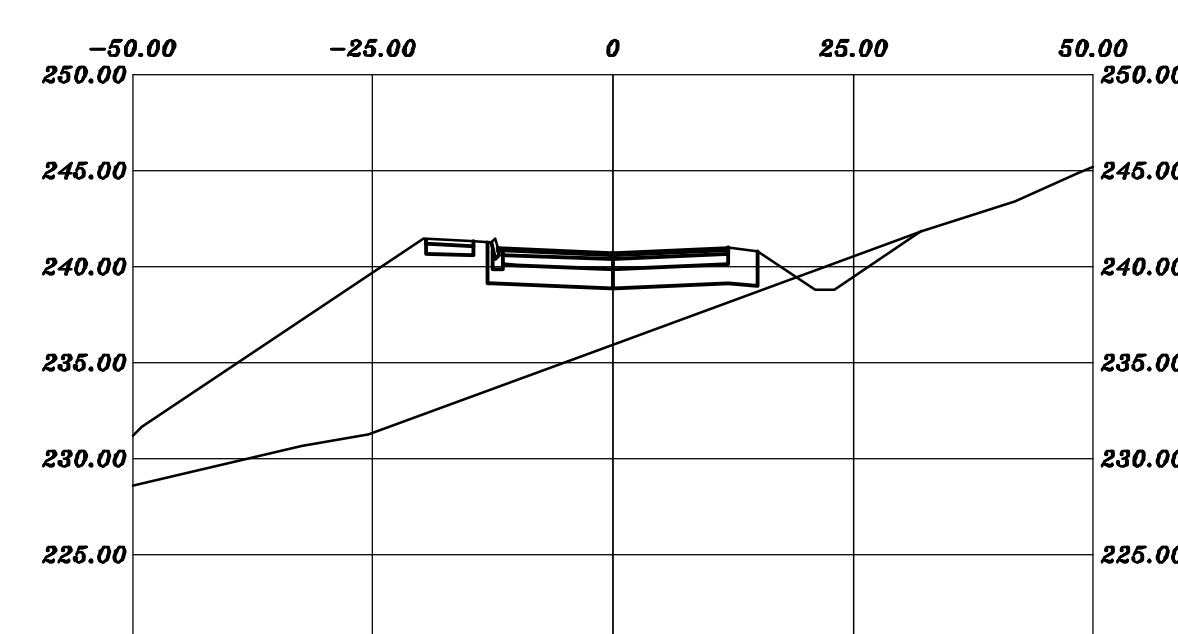
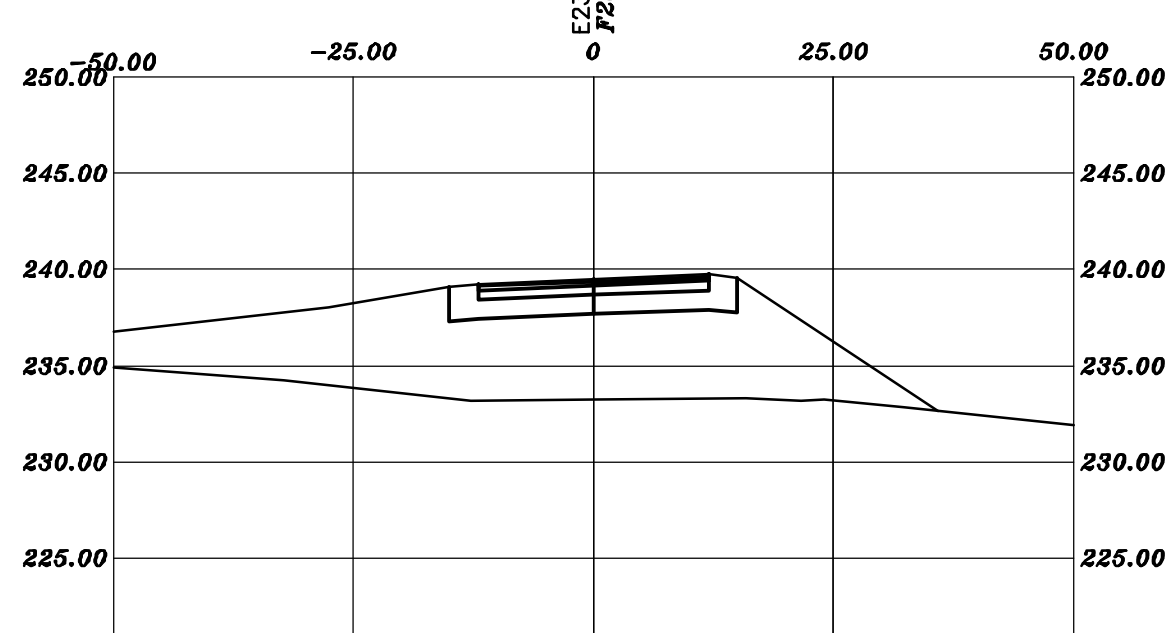
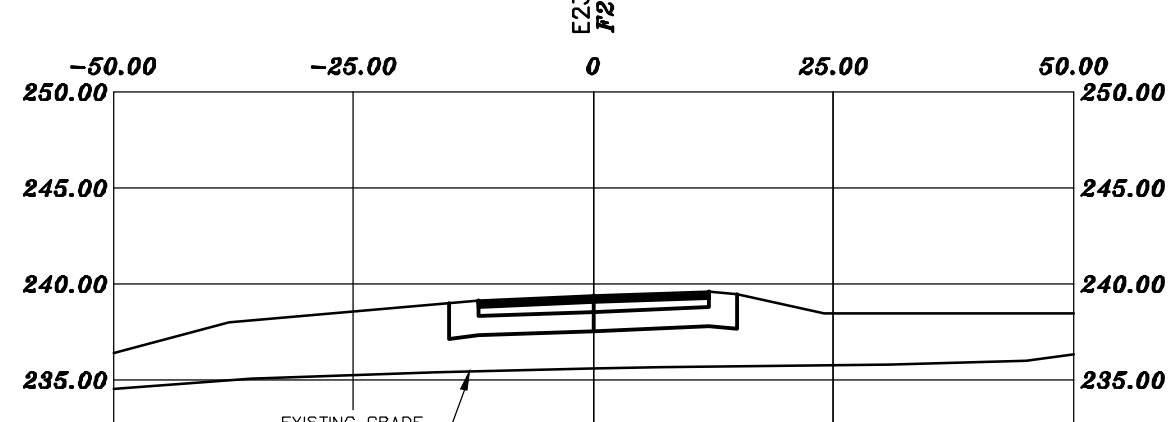
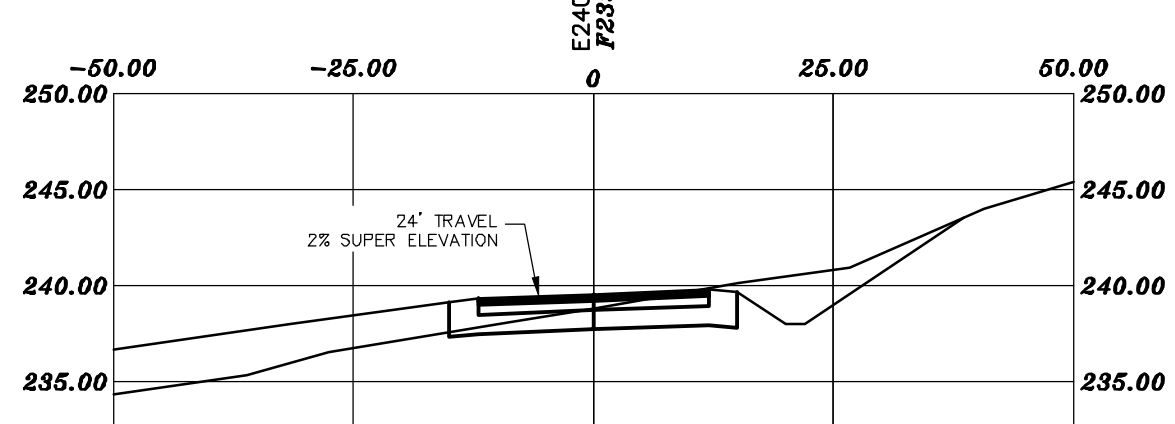
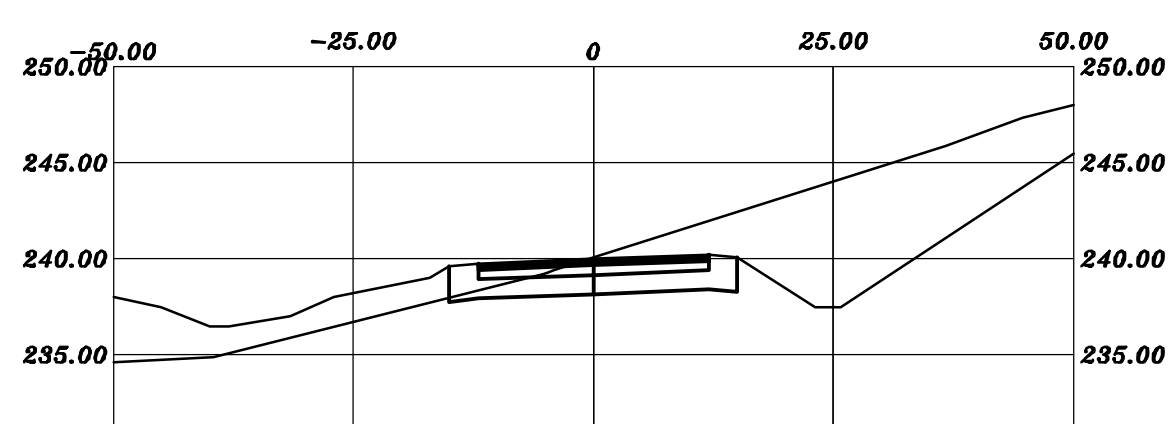
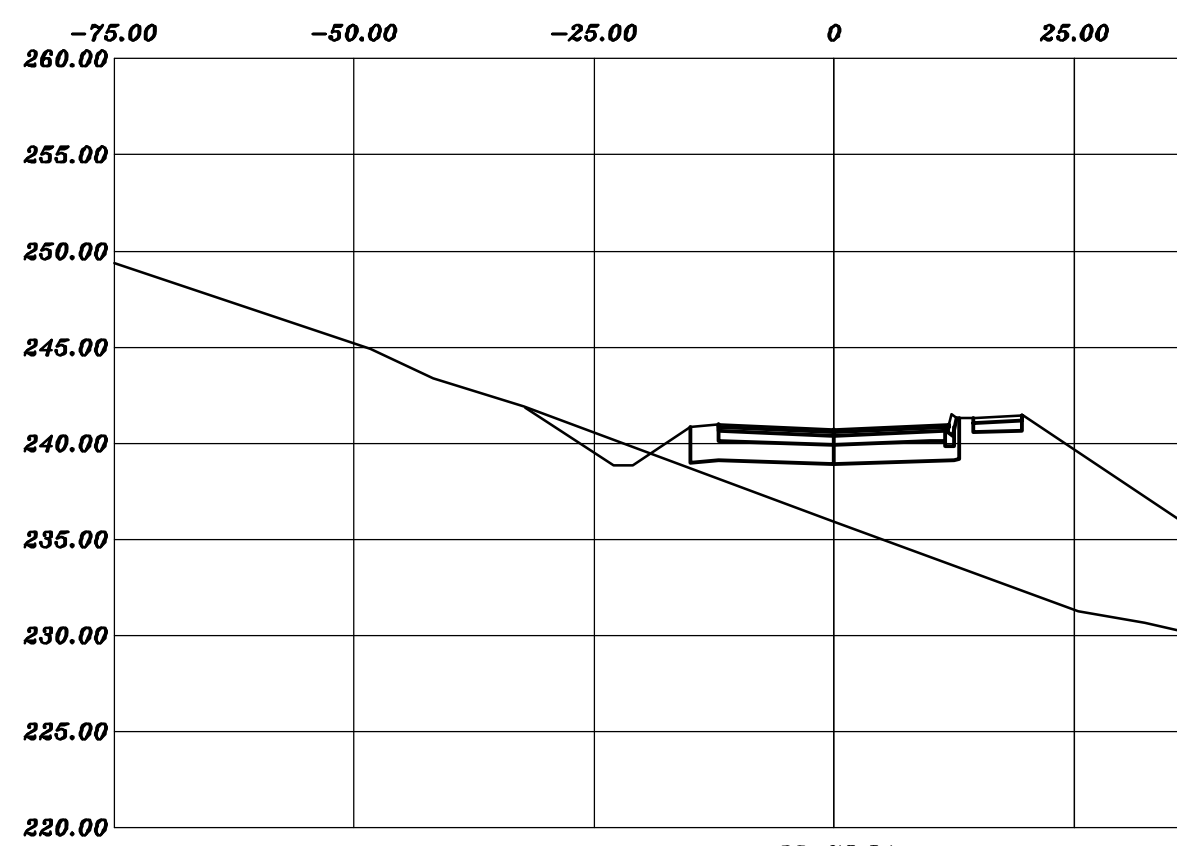
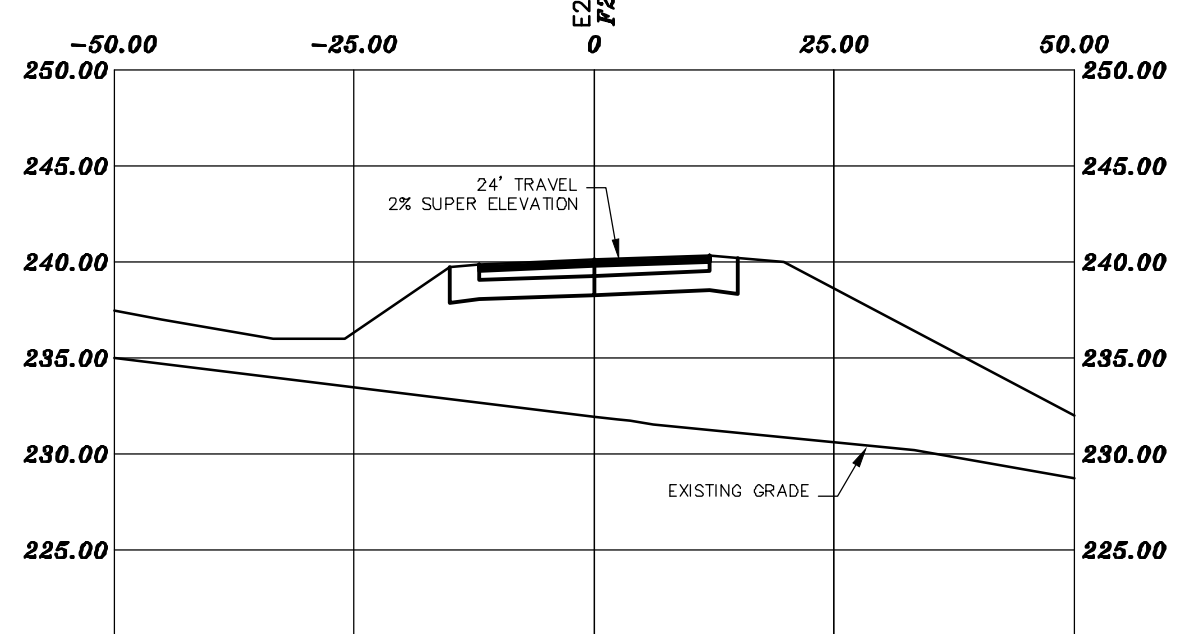
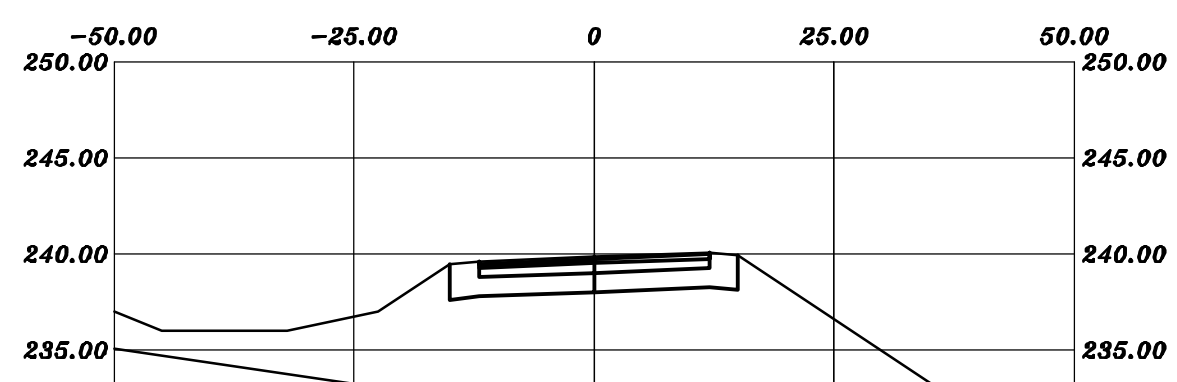
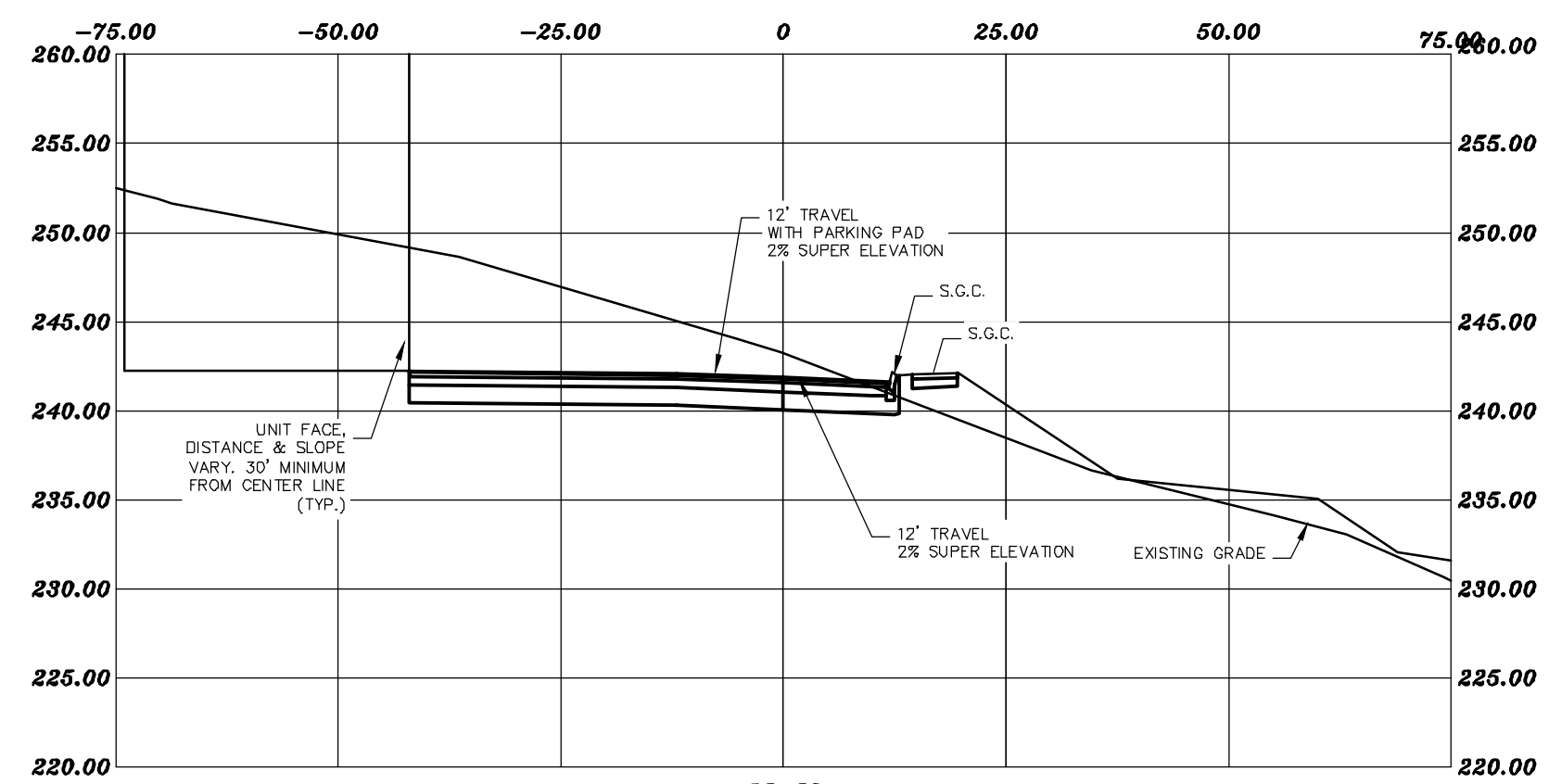
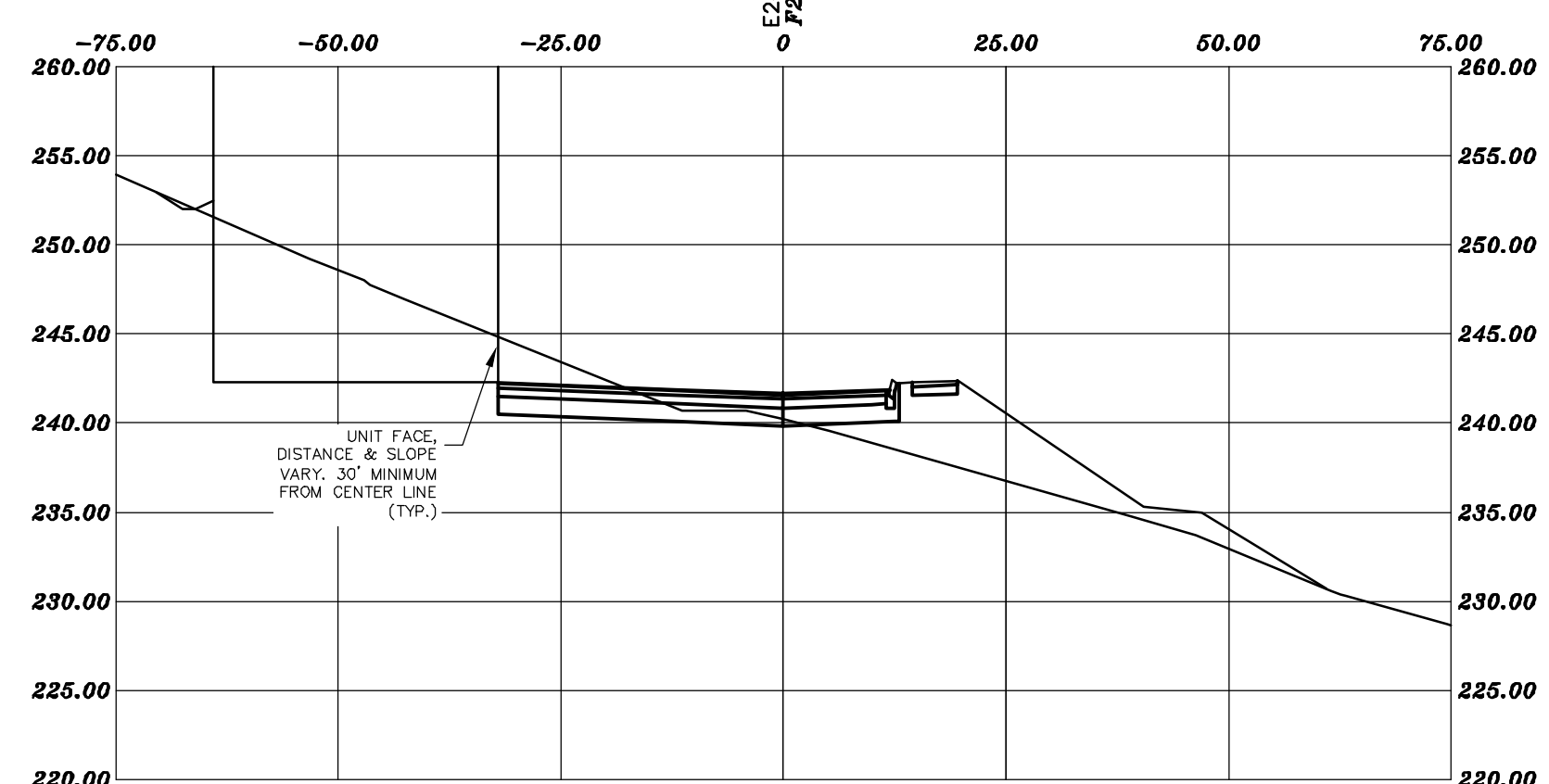
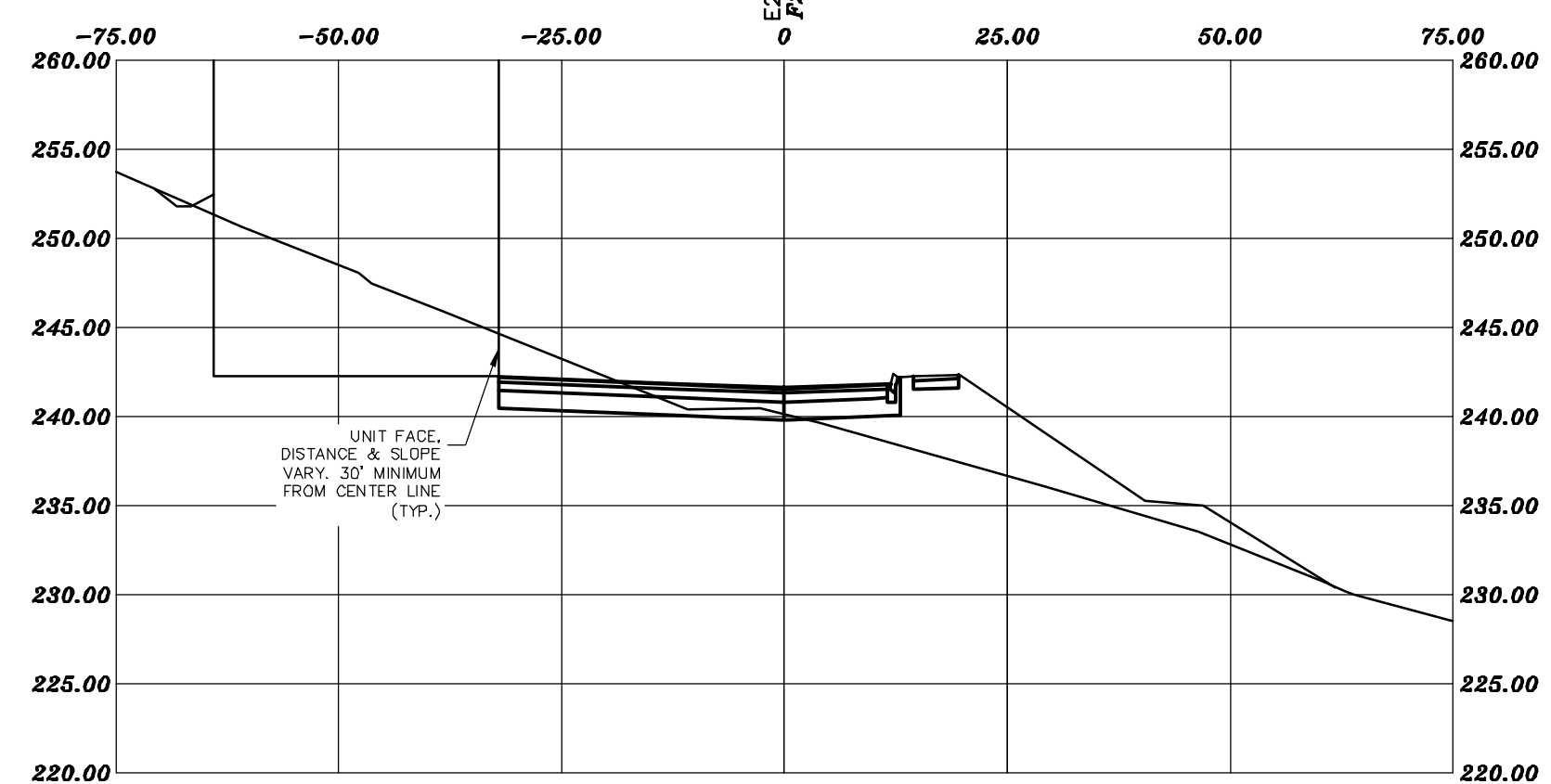
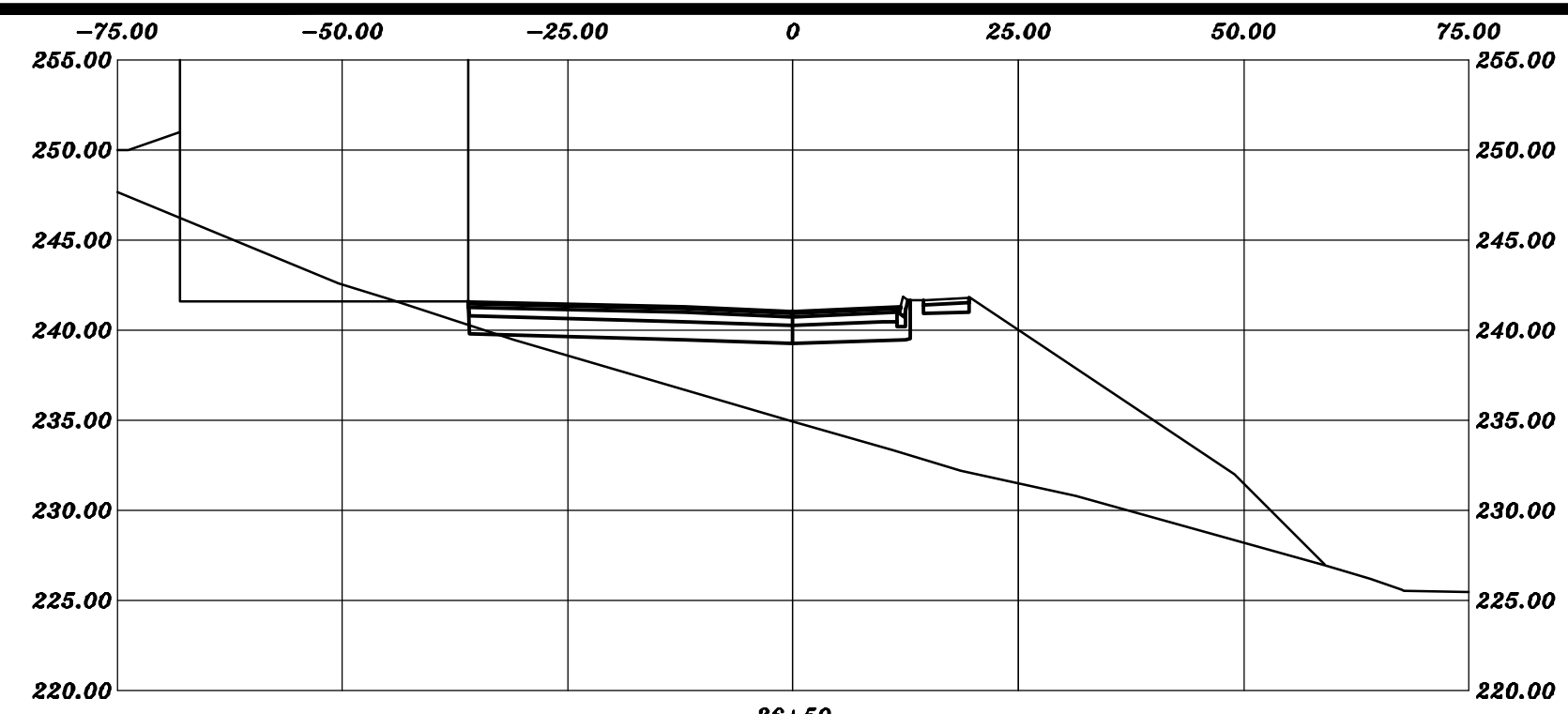


| #1 | #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CROSS SECTIONS OUTLOOK DRIVE 20+00 - 25+43.69  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





FOR TOWN APPROVAL PURPOSES :

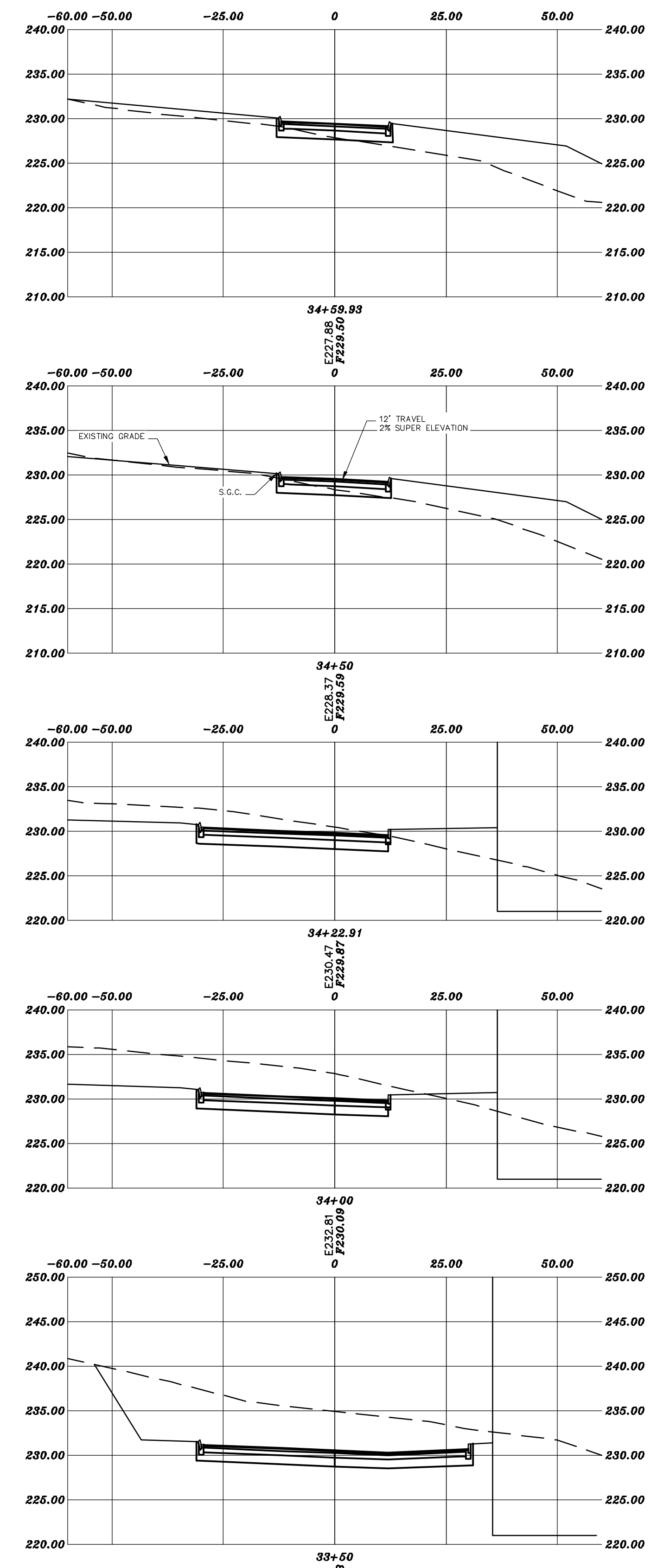
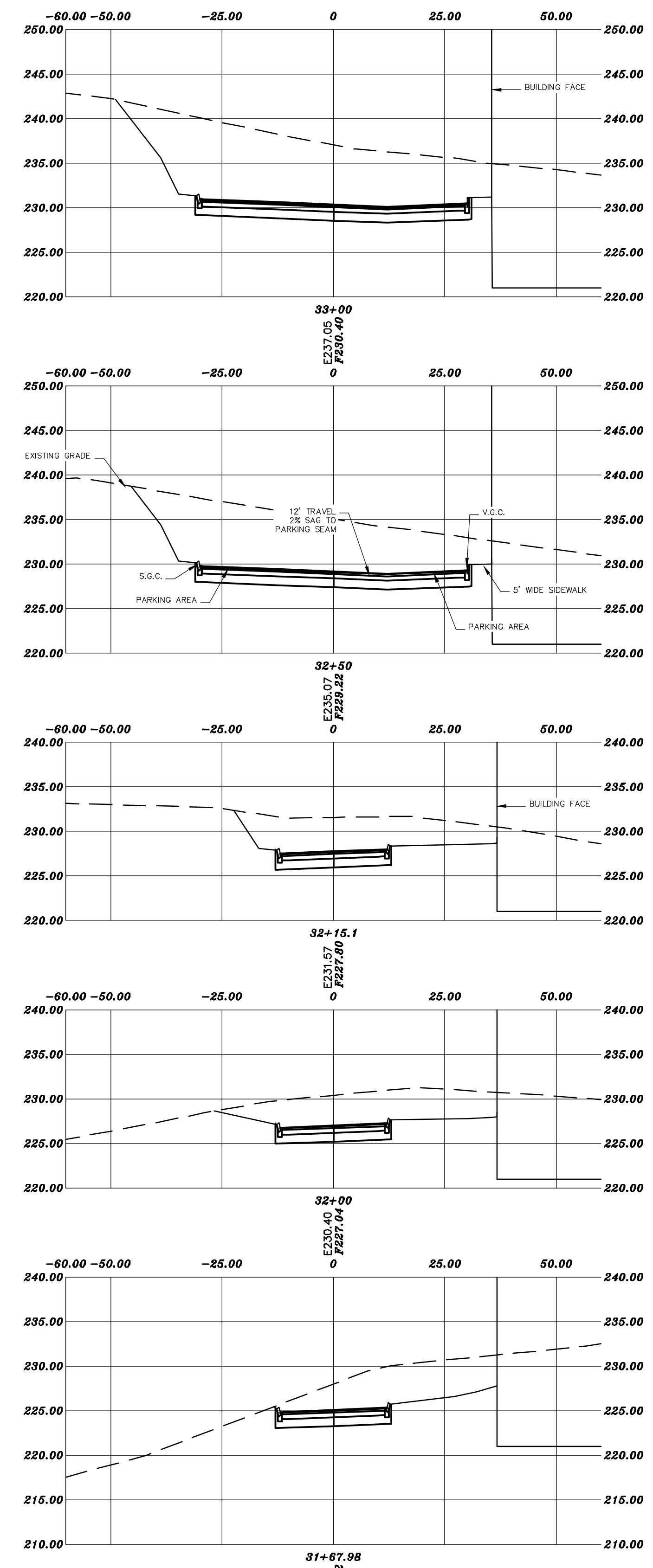
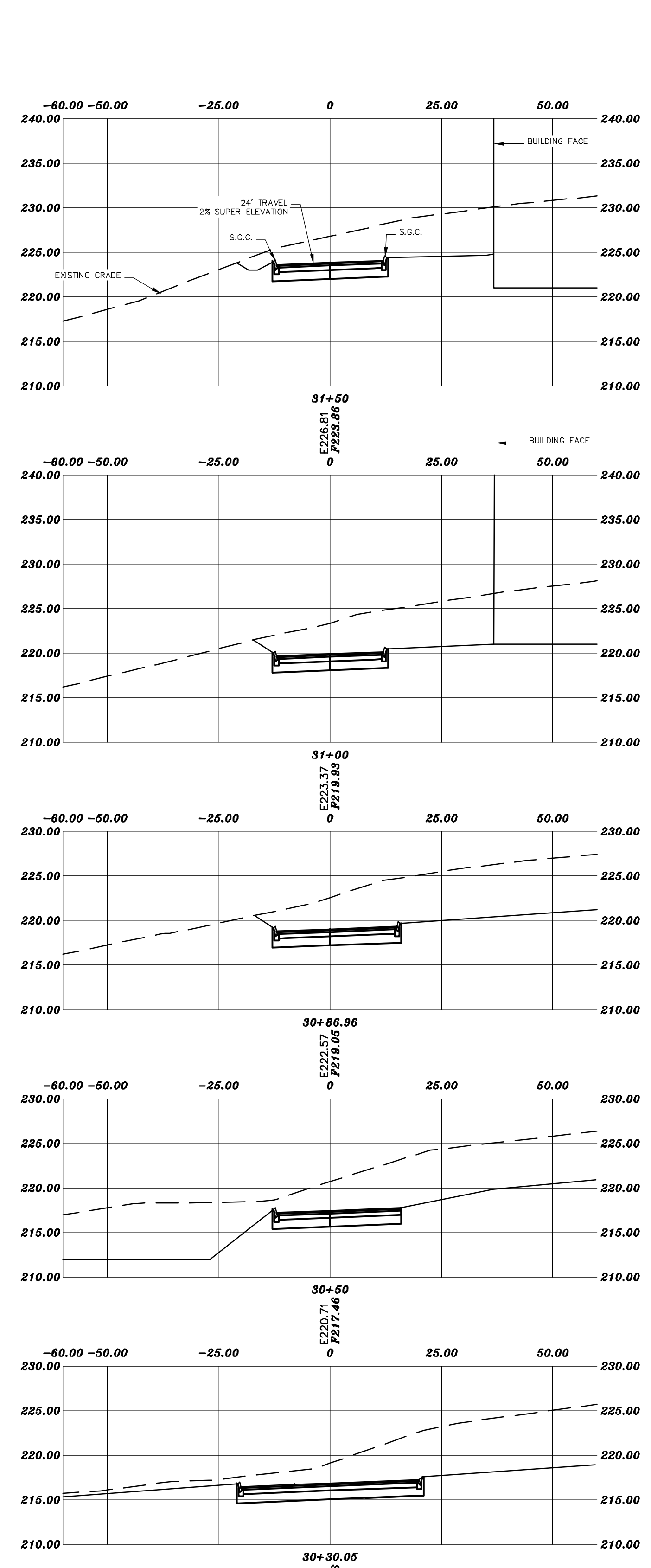
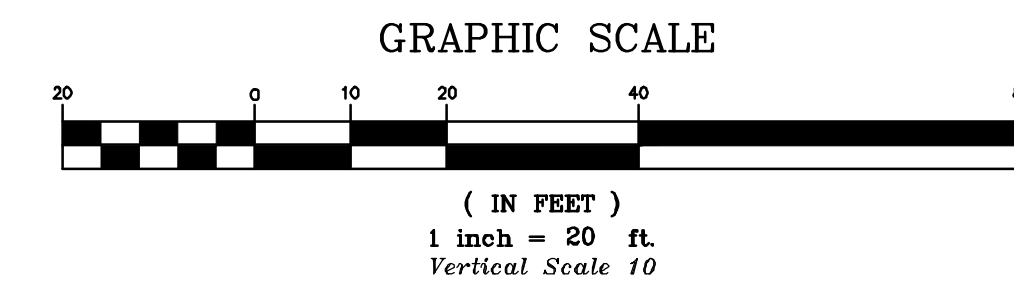
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| #2 | REVISION | DATE       | DESCRIPTION                                   |
|----|----------|------------|---|
|    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CROSS SECTIONS OUTLOOK DRIVE 25+50 - END  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JUNE 14, 2021  
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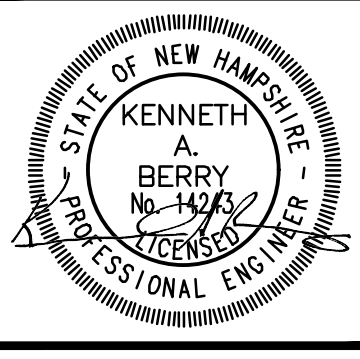
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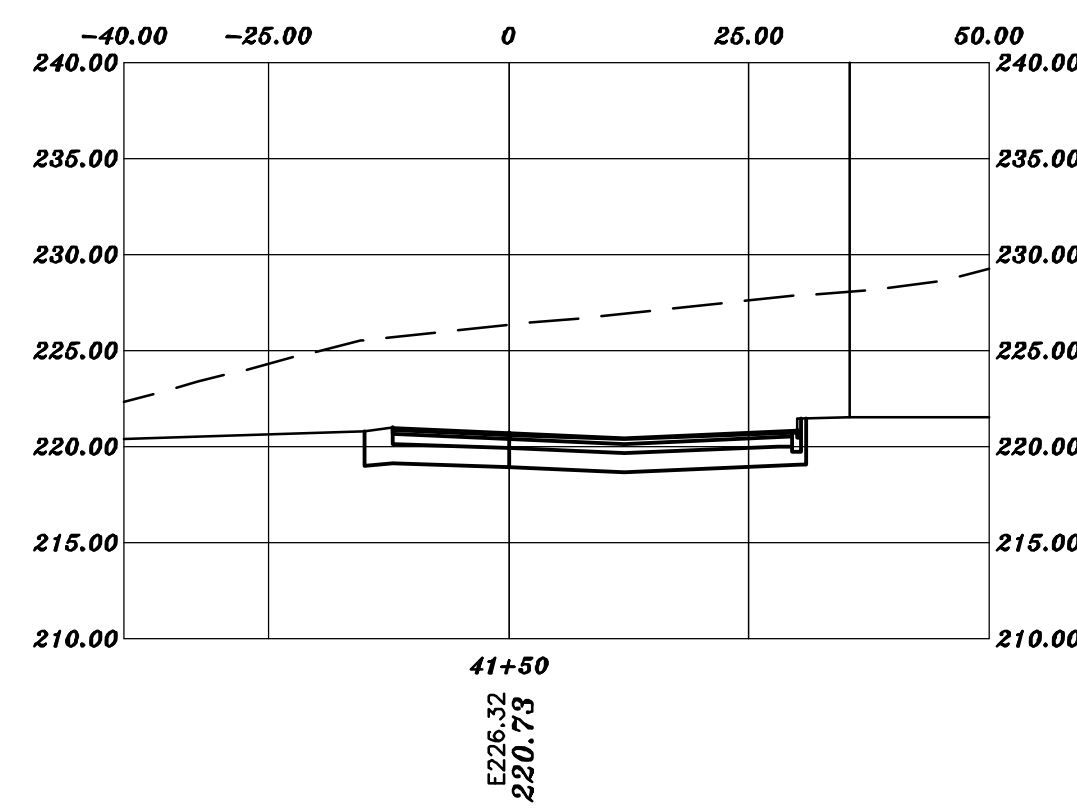
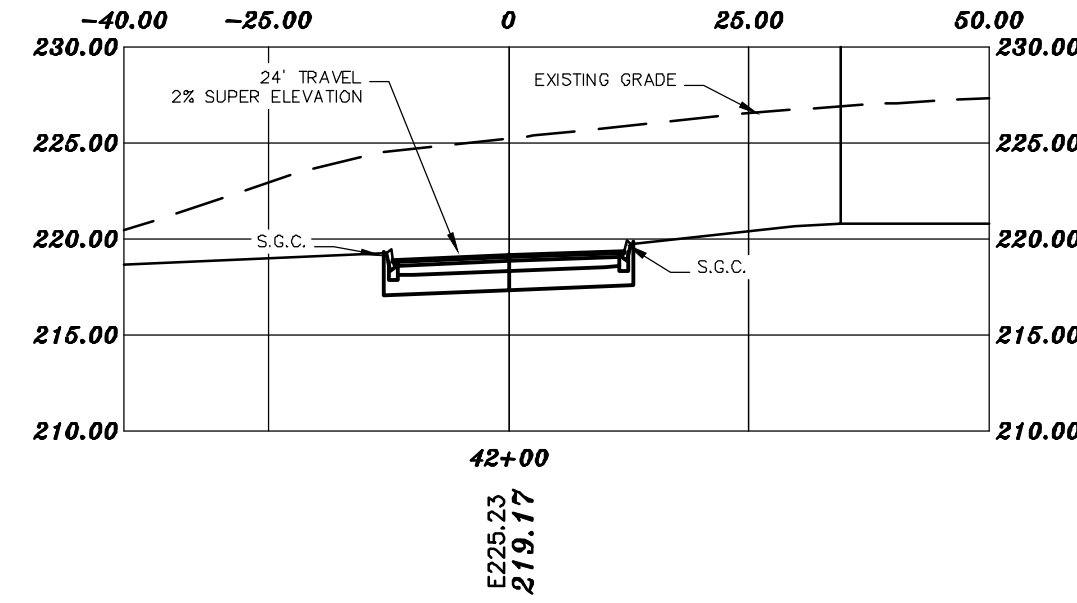
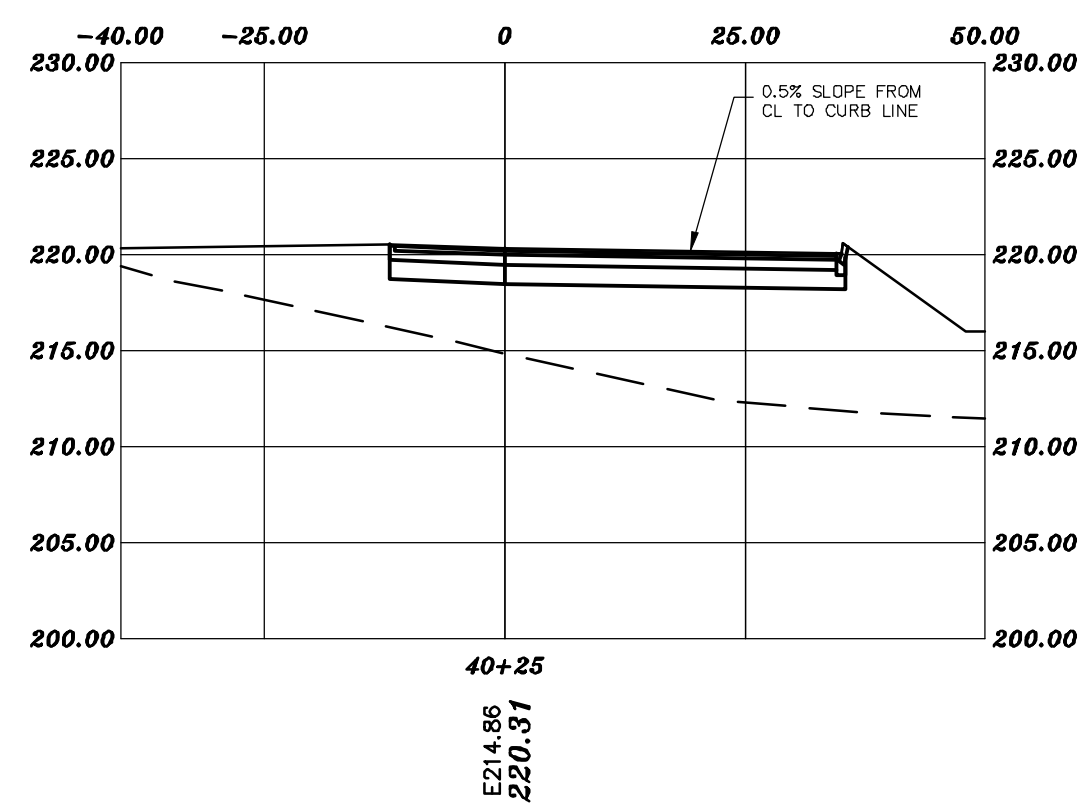
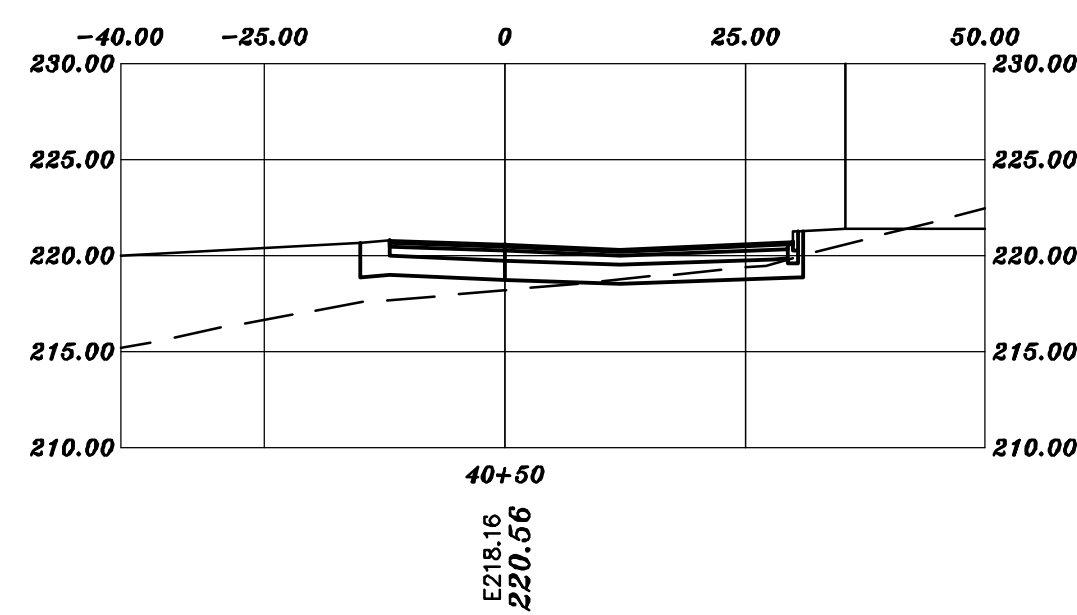
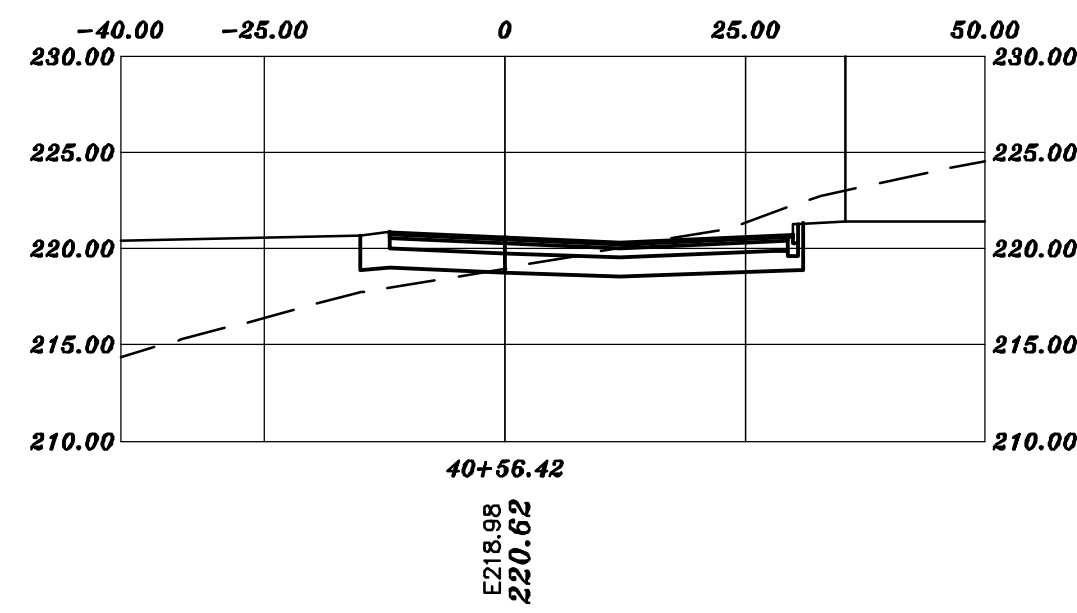
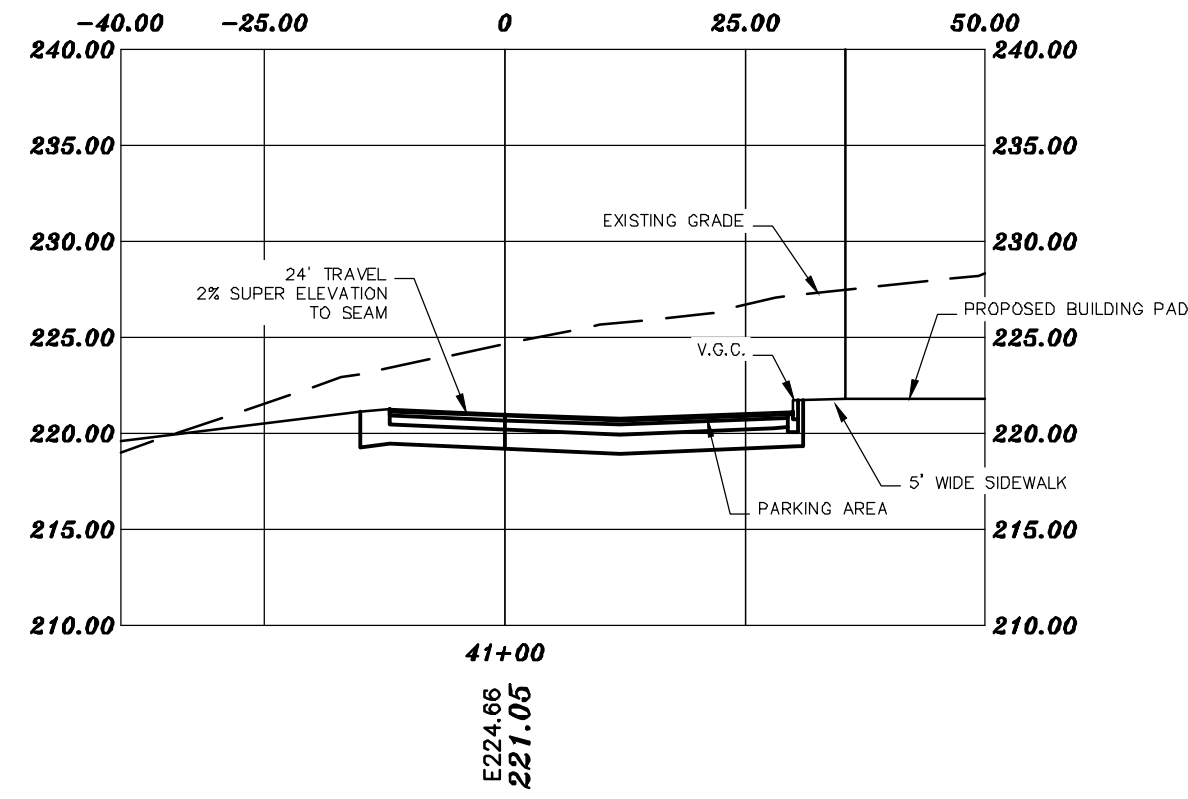
| #2 | #1 | REVISION | DATE       | DESCRIPTION                                   |
|----|----|----------|------------|---|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CROSS SECTIONS NORTH POINT COMMON 30+00 - END  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

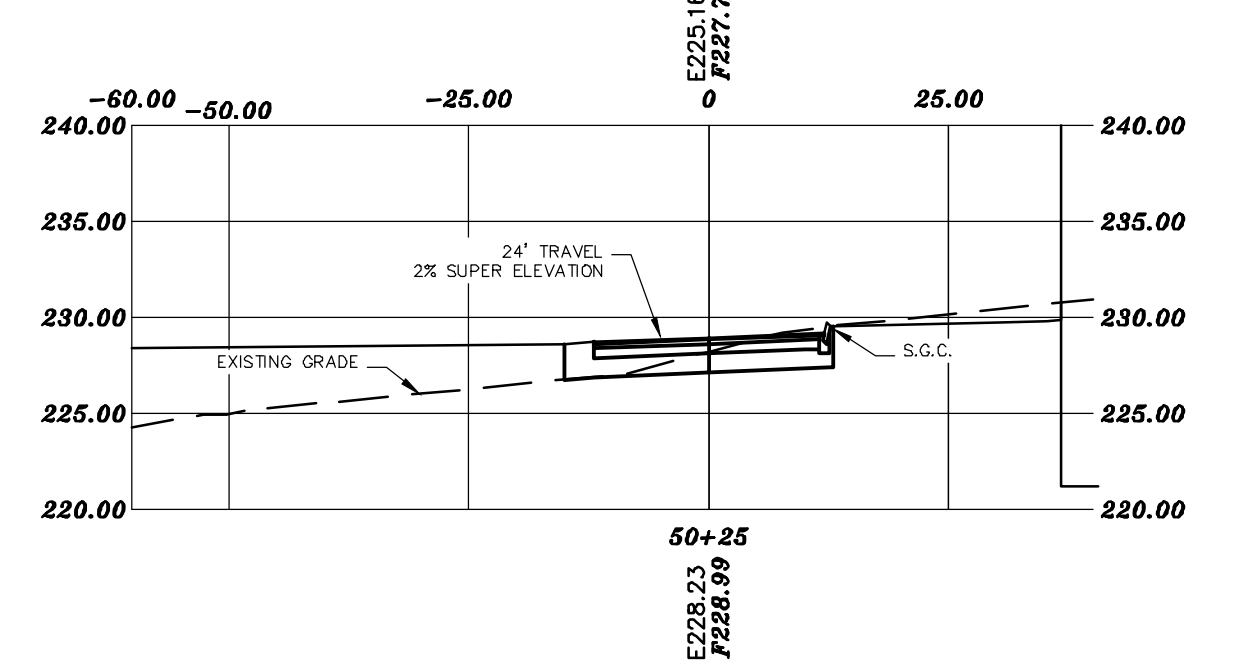
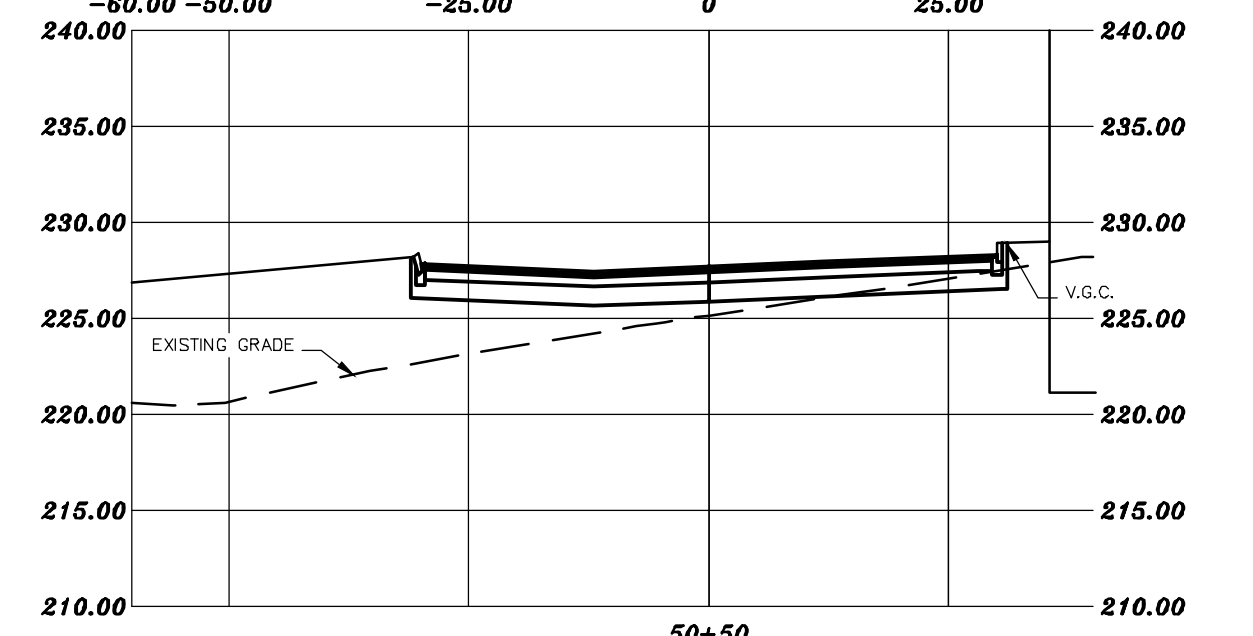
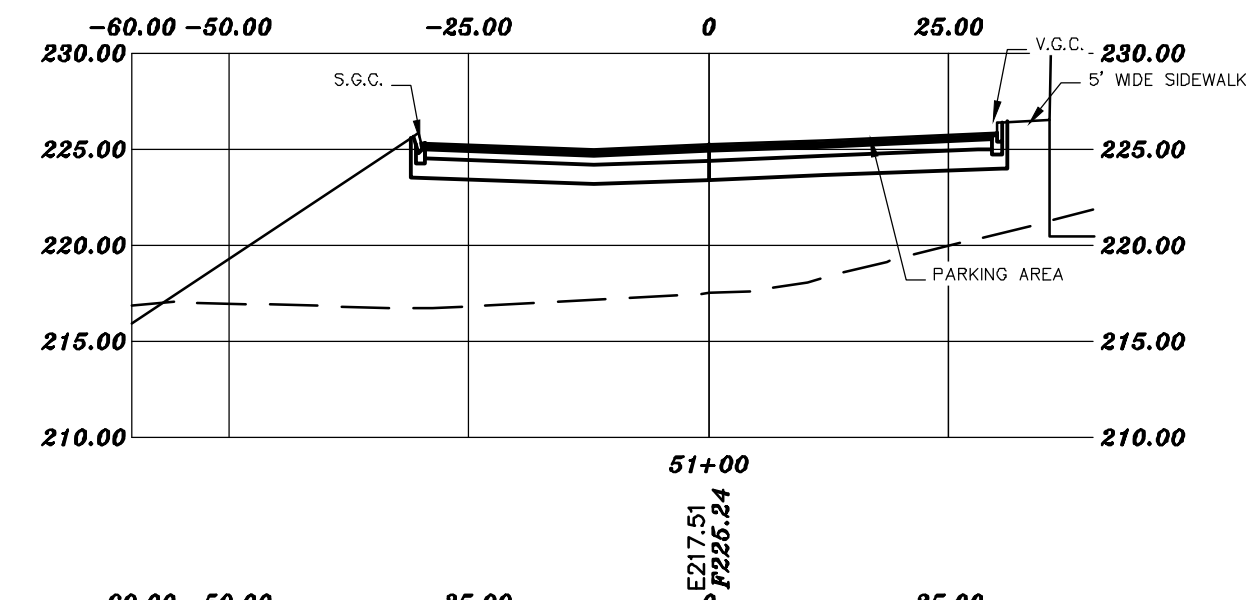
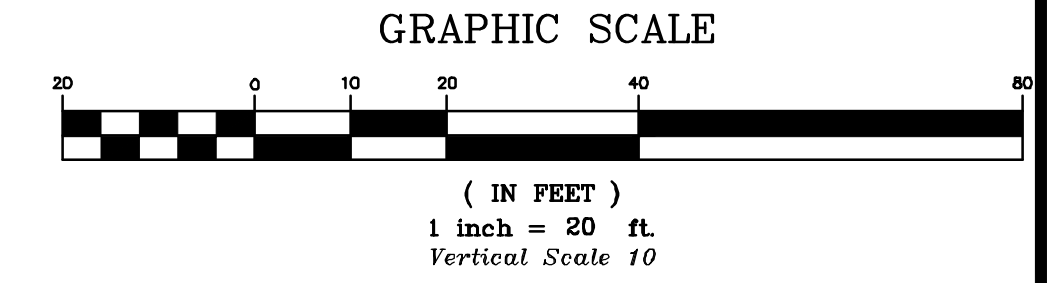
BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



NORTH POINT COMMON FRONT PARKING 40+00 - END



NORTH POINT COMMON SIDE PARKING 50+00 - END



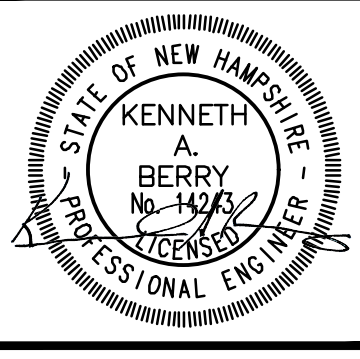
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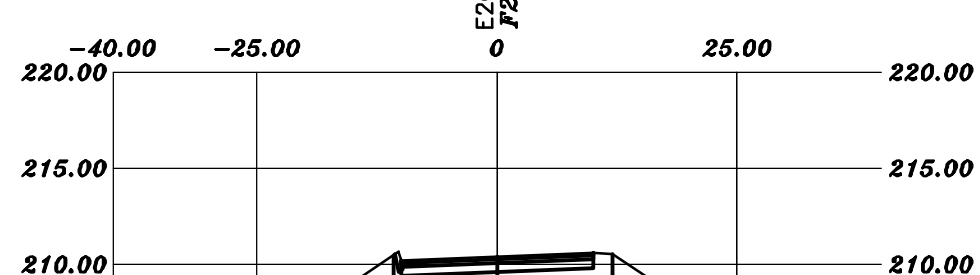
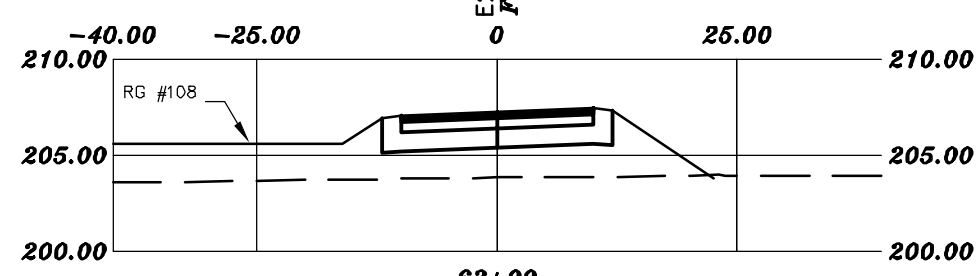
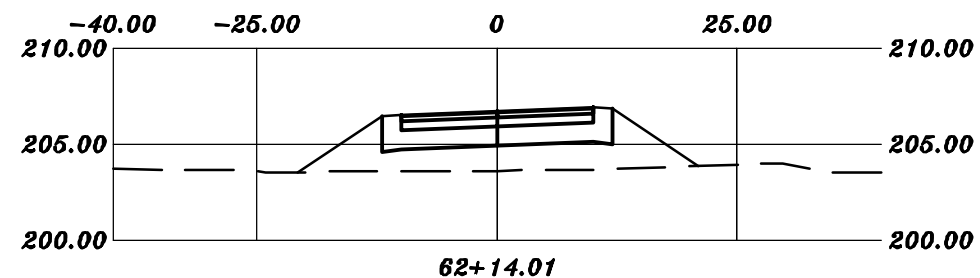
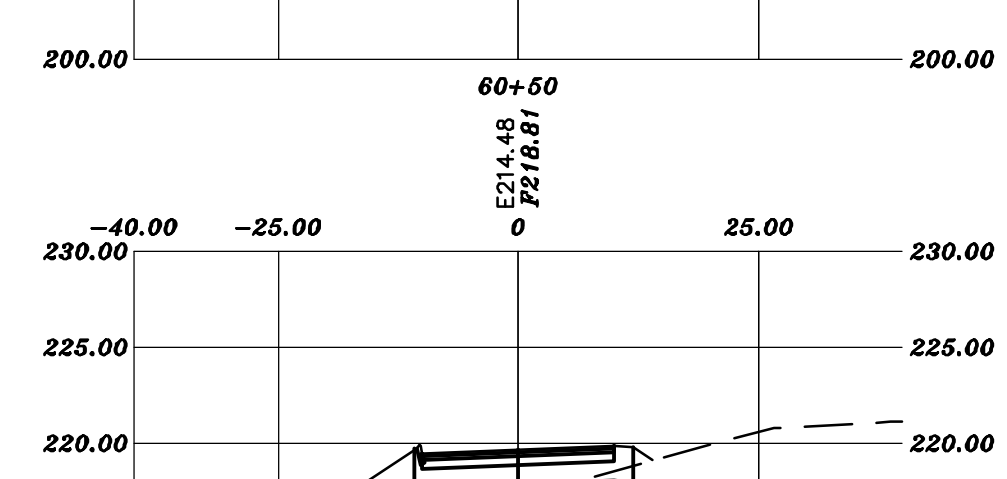
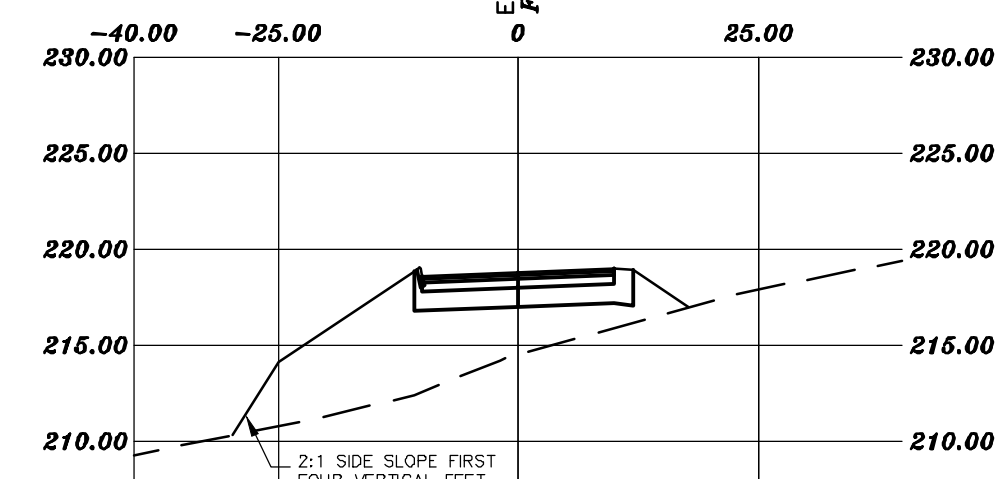
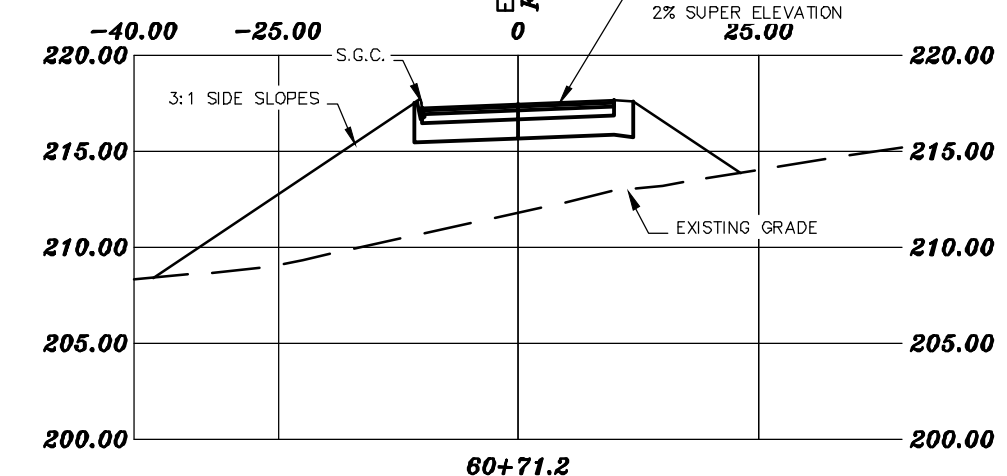
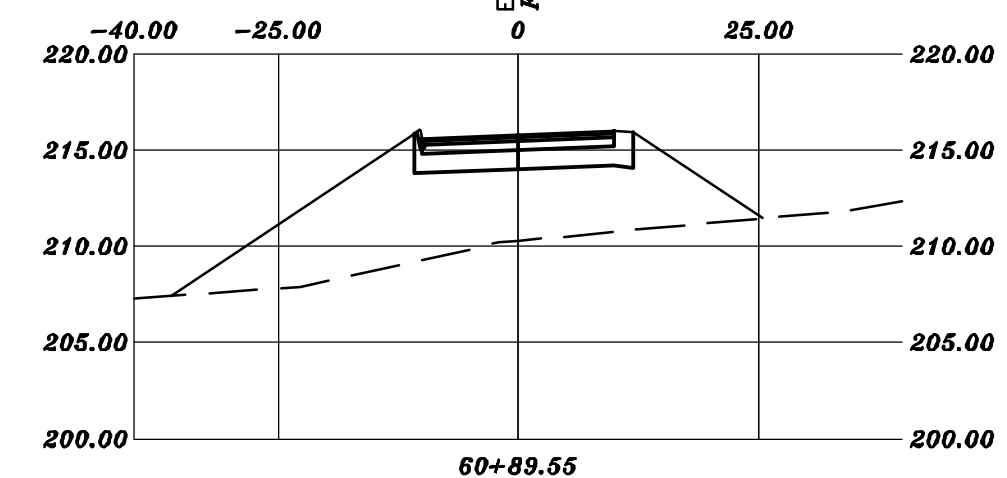
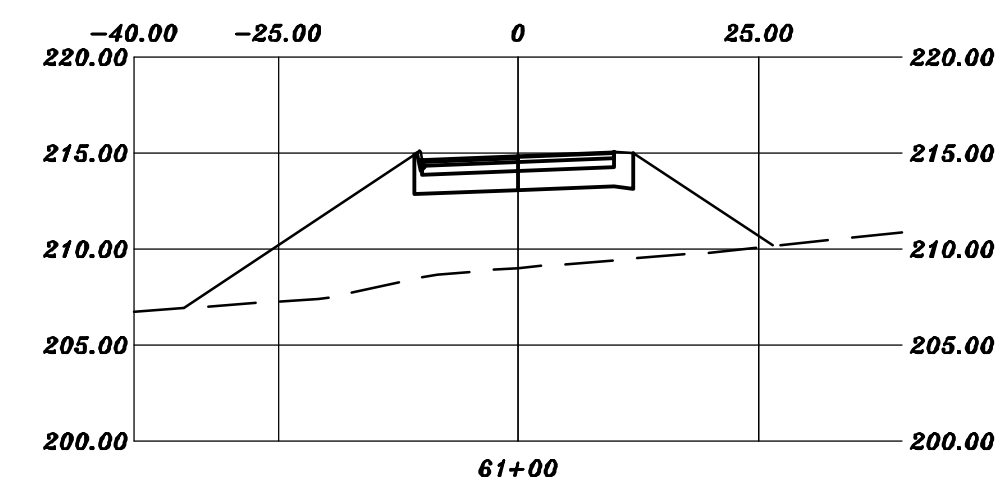
| REVISION #1 | DATE       | DESCRIPTION                                   |
|-------------|------------|---|
| #2          | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CROSS SECTIONS NP COMMON FRONT & SIDE PARKING  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

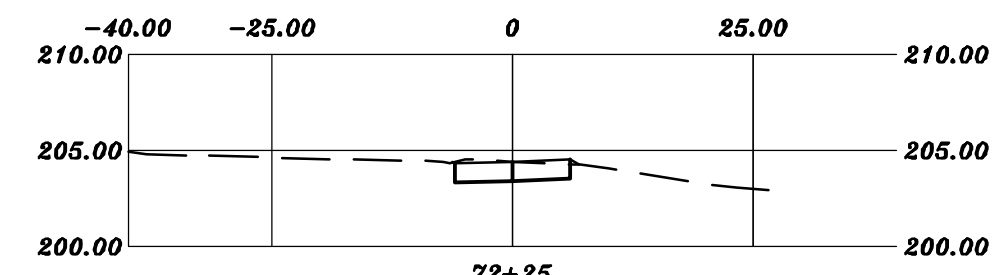
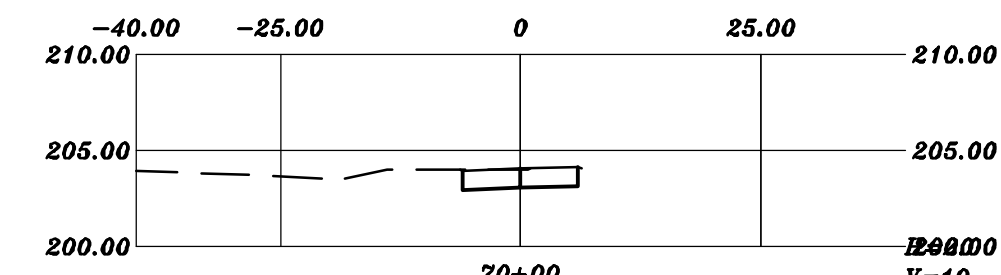
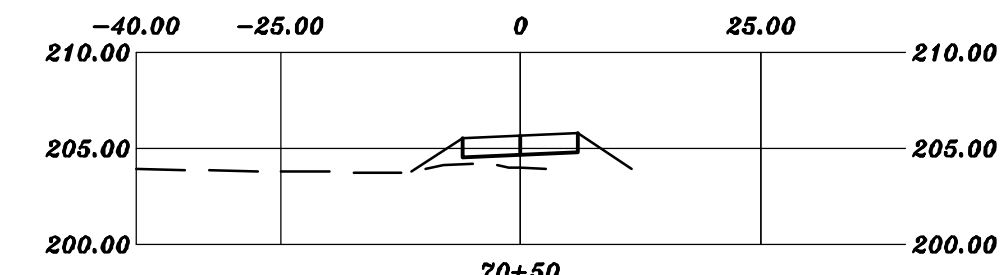
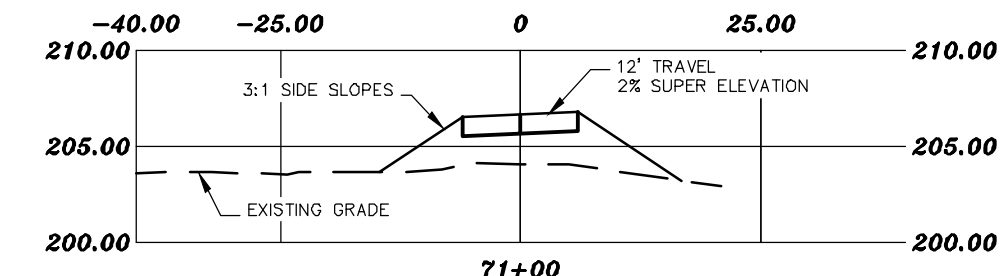
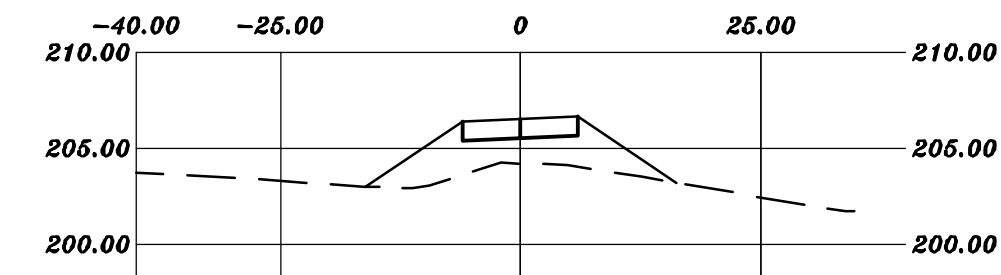
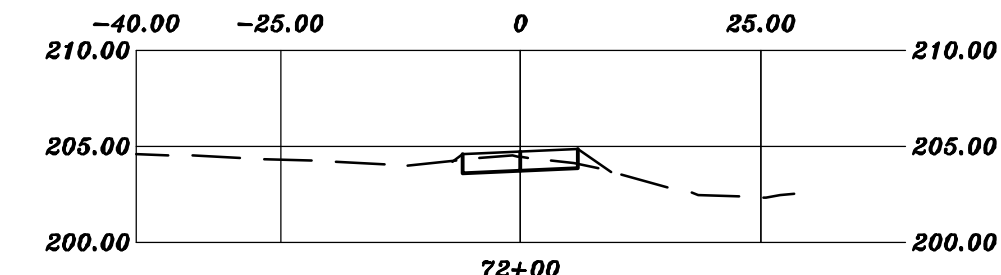
BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097



ACCESS ROAD 60+00 - END



DRIVEWAY RECONSTRUCTION 70+00 - END



FOR TOWN APPROVAL PURPOSES :

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GRAPHIC SCALE

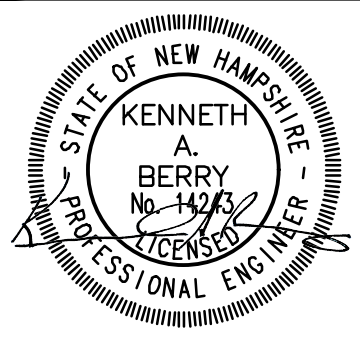


( IN FEET )  
1 inch = 20 ft.  
Vertical Scale 10

| REVISION #1 | DATE       | DESCRIPTION                                   |
|-------------|------------|---|
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| #1          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

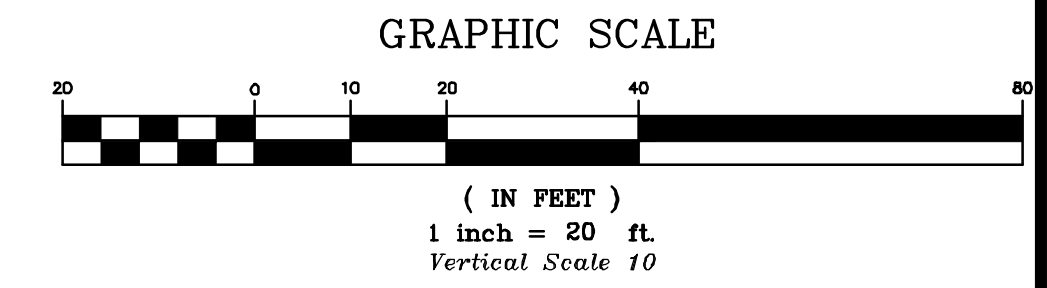
CROSS SECTIONS ACCESS ROAD & DRIVEWAY RECONSTRUCTION  
LAND OF DOVE DEVELOPMENT GROUP, LLC  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
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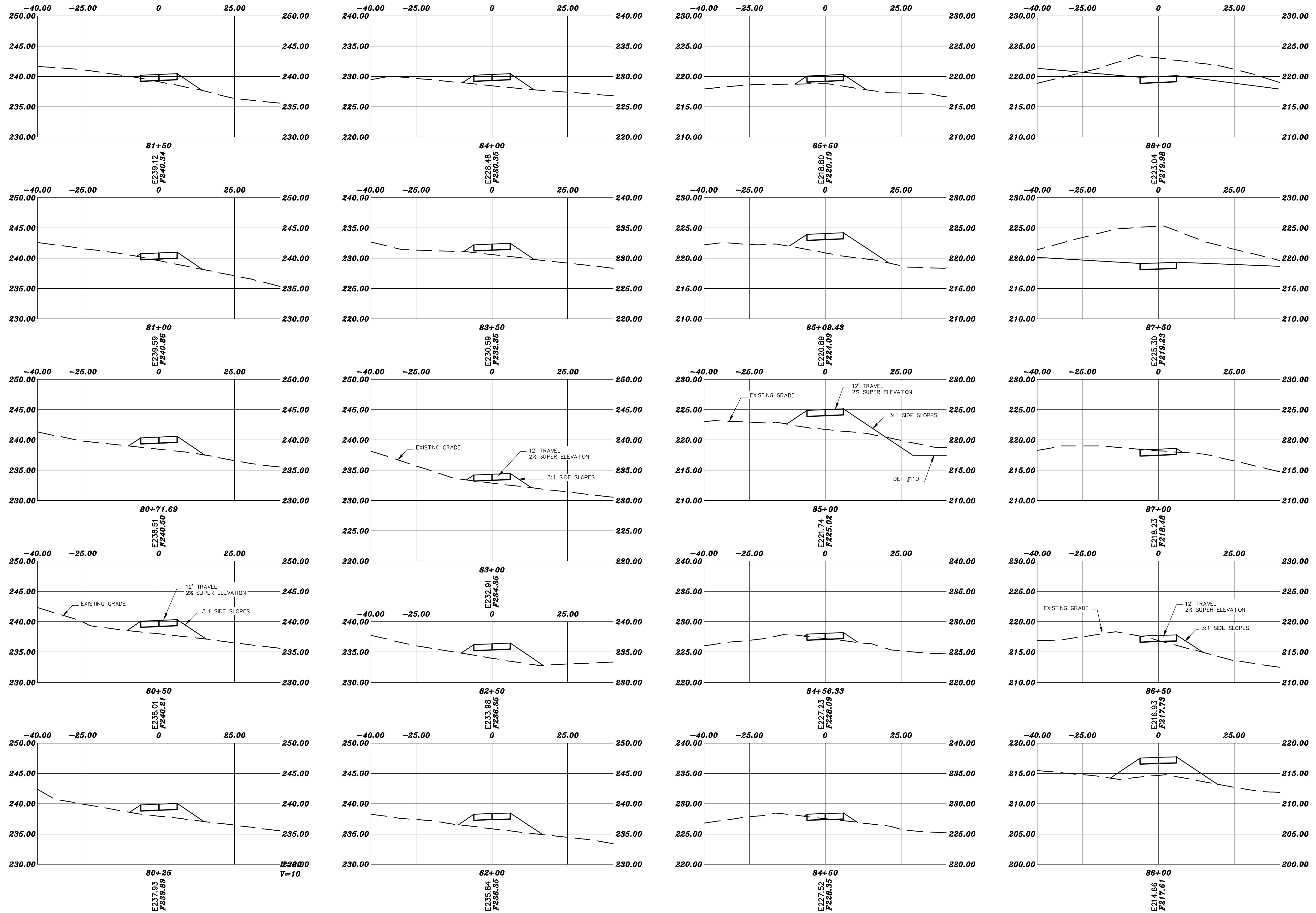


FOR TOWN APPROVAL PURPOSES :

WELL ACCESS TRAIL 80+00 - END



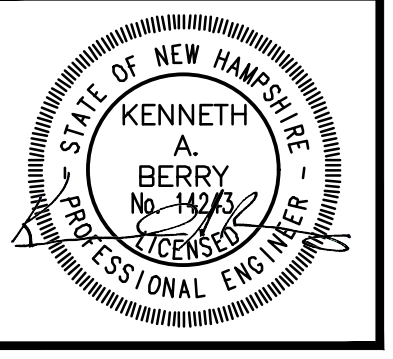
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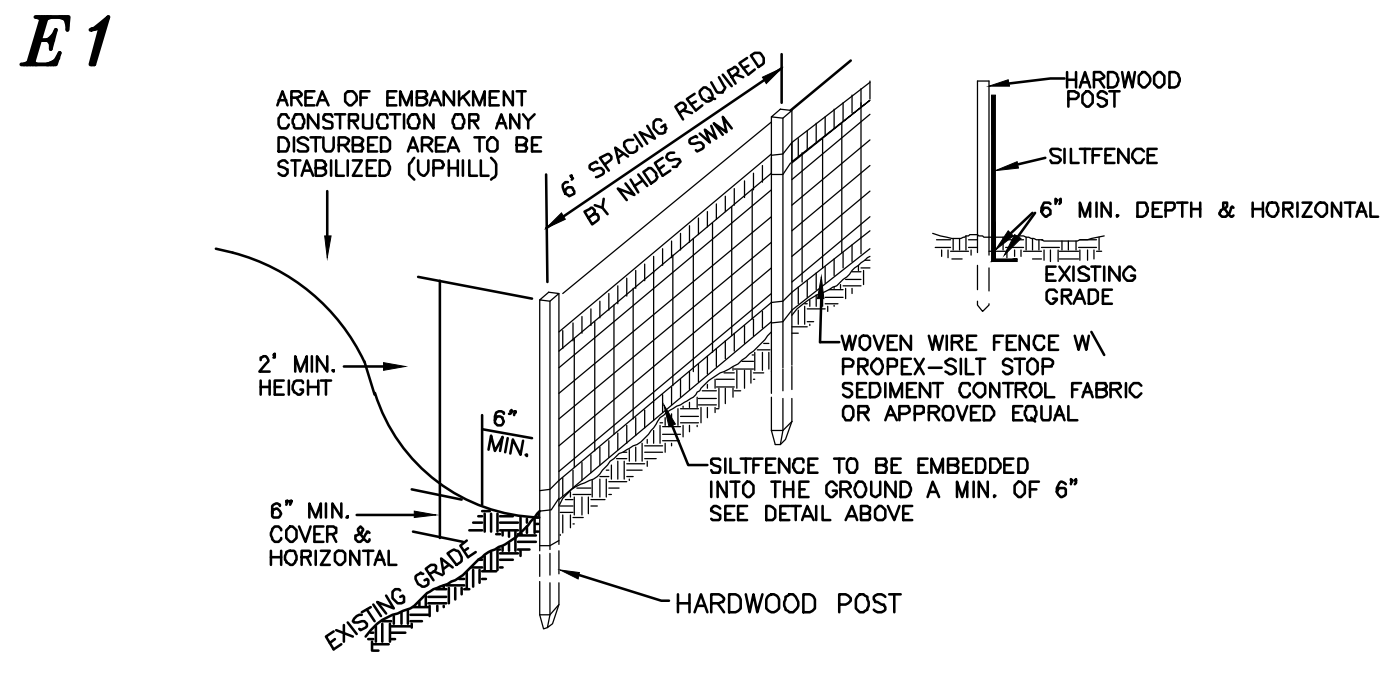


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|-------------|------------|---|
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| #1          | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CROSS SECTIONS WELL ACCESS TRAIL  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

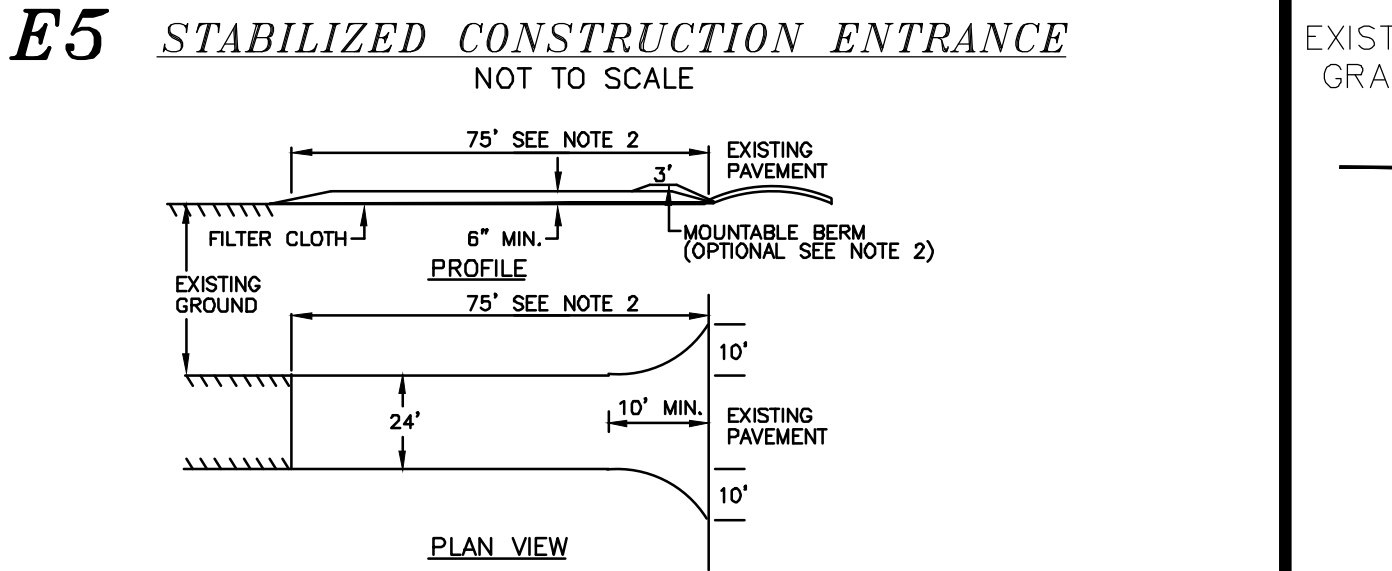
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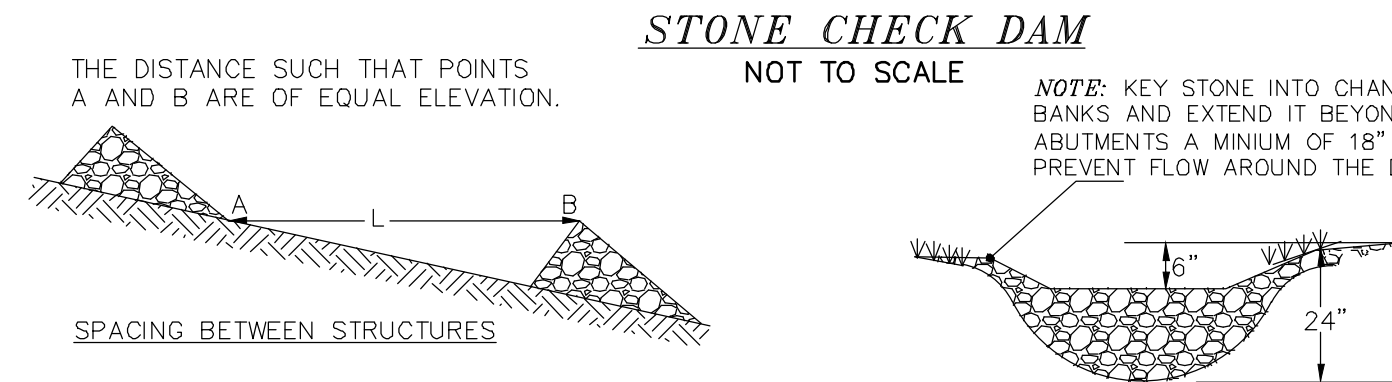


- SILT FENCE CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 6" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
  - PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
  - SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
  - THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
  - TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

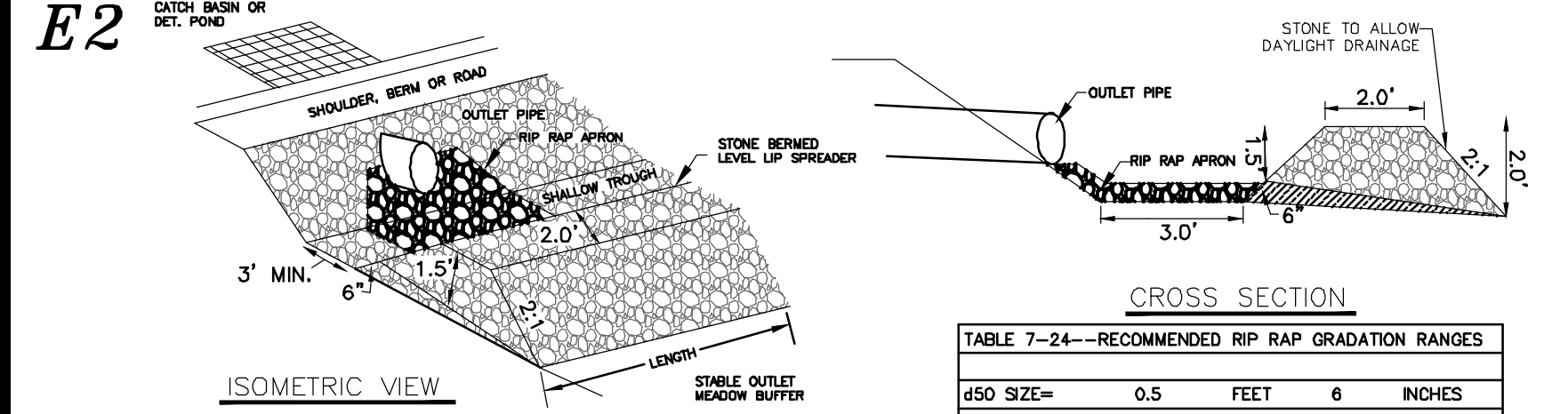
- SILT FENCE MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
  - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
  - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- SILT FENCE DETAIL**  
NOT TO SCALE



- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- THE THICKNESS OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.



- CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
- THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
- THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGES.
- THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
- CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
- TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
- TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.

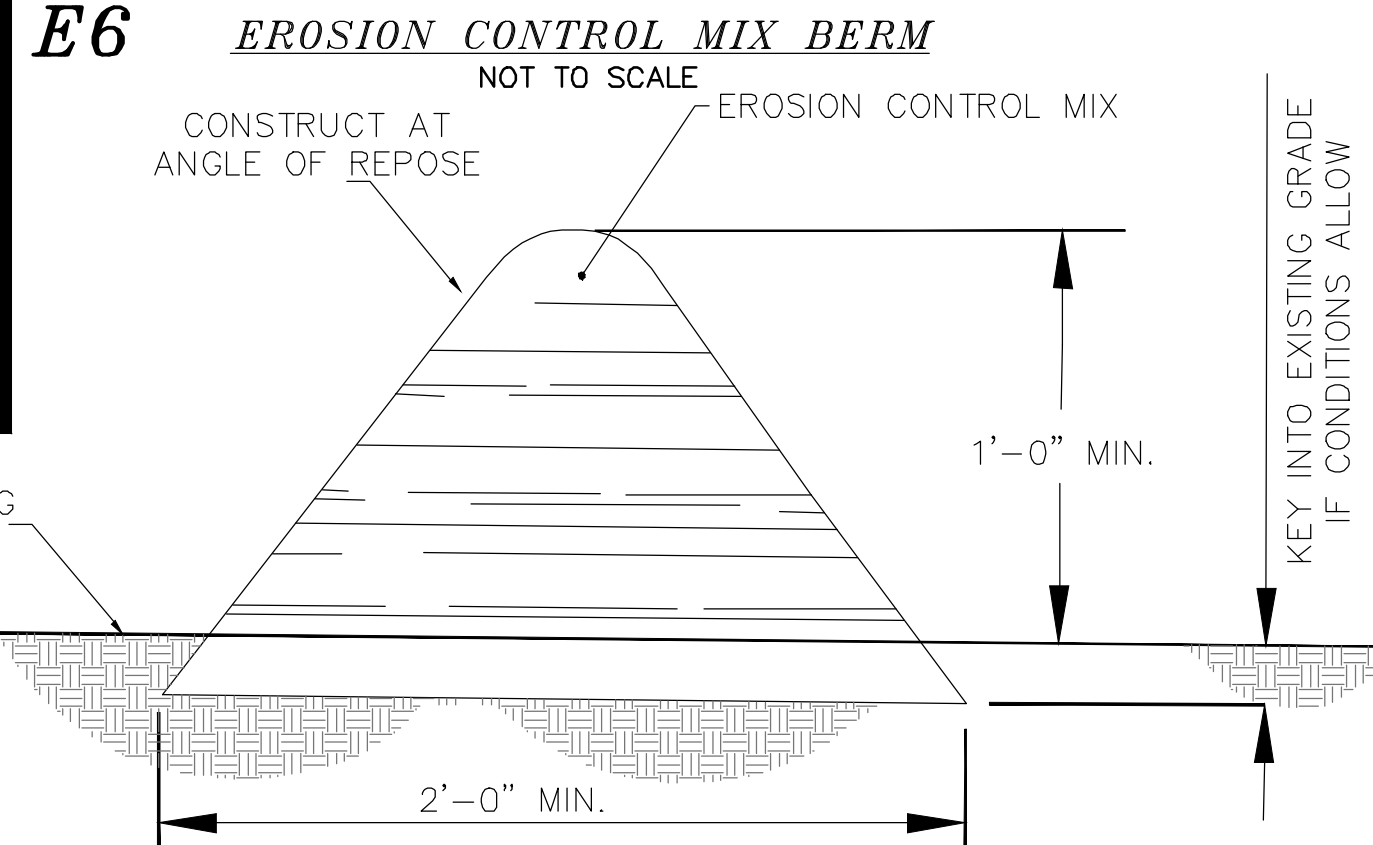


**CROSS SECTION**

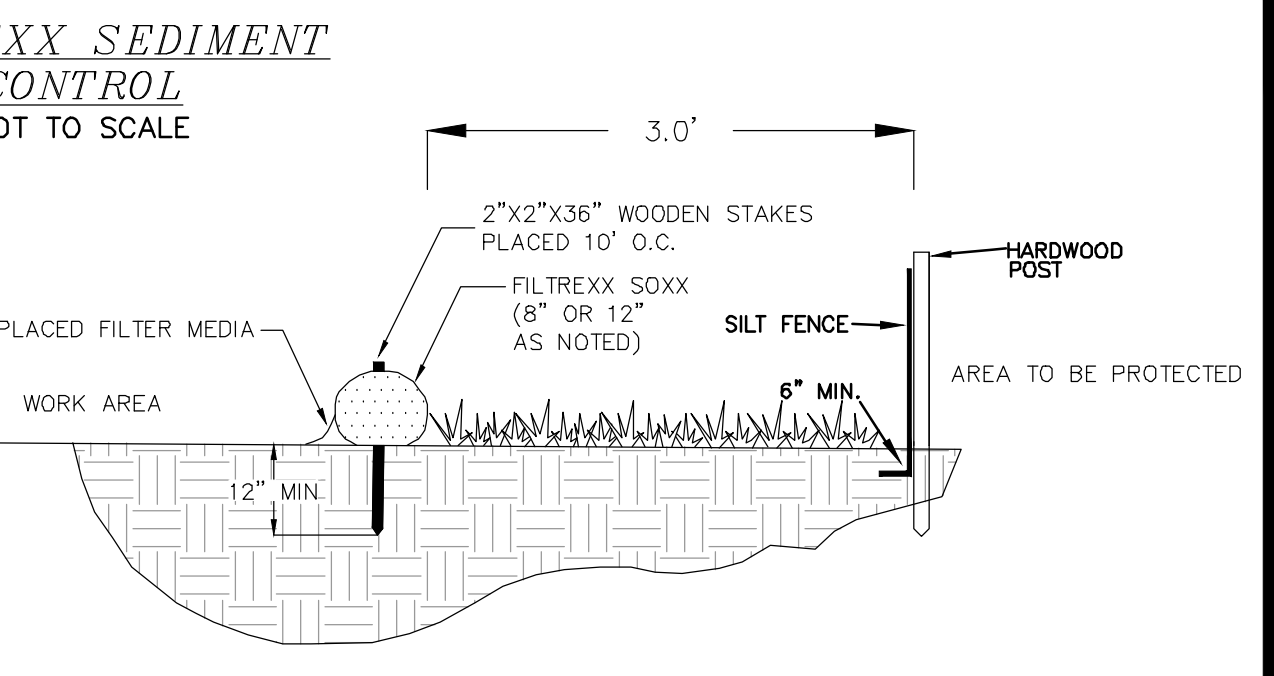
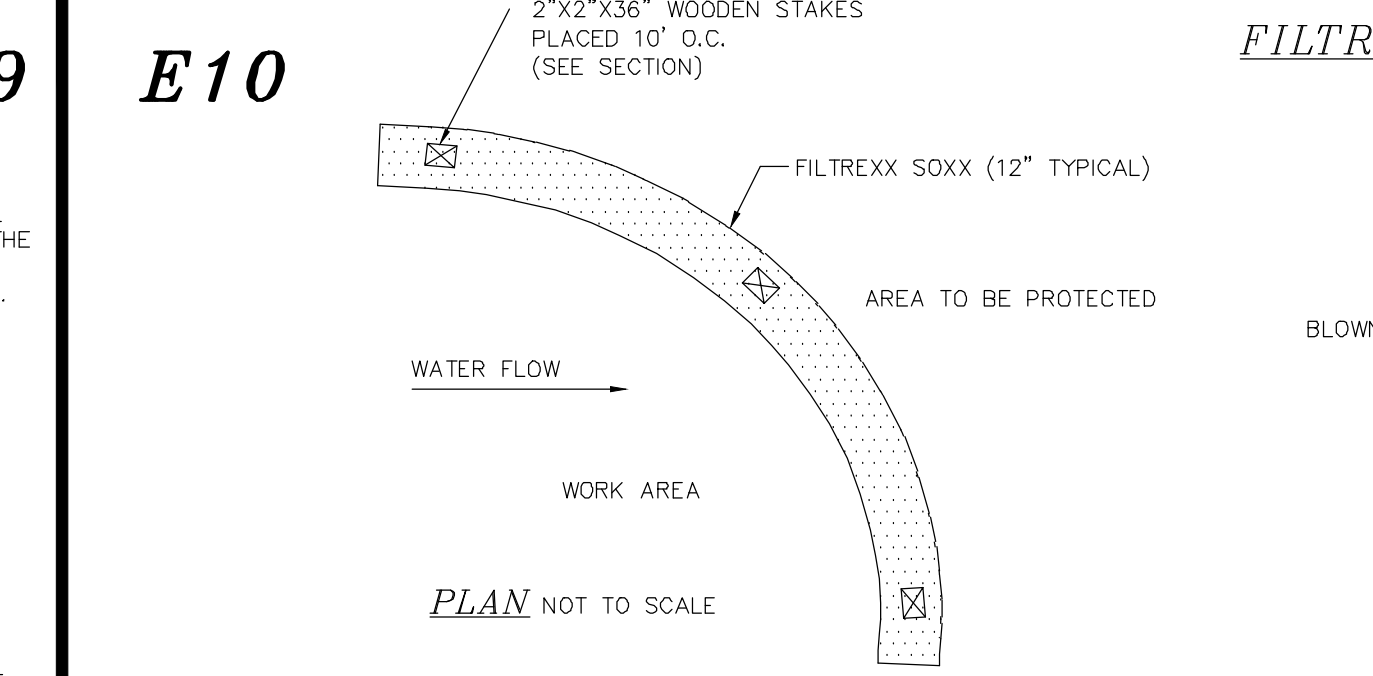
**TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES**

| d50 SIZE=  | 0.5 FEET                  | 6 INCHES |
|--|---------------------------|----------|
| % OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE FROM | SIZE OF STONE (INCHES) TO | TO       |
| 100%   | 9                         | 12       |
| 85%  | 8                         | 11       |
| 50%  | 6                         | 9        |
| 15%  | 2                         | 3        |

- CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
  - LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
  - THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
  - THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
  - MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.
  - REFERENCE IS MADE TO NHDES SWM VOL. 2, 4-6, STONE BERM LEVEL SPREADERS, PAGE 162
- STONE BERM LEVEL SPREADER**  
NOT TO SCALE



- EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:
- BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
  - THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
  - THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5% (WHICH MAY BE EVALUATED ON SITE).
  - THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
  - WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
  - THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
  - THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
  - THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
  - THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
  - TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

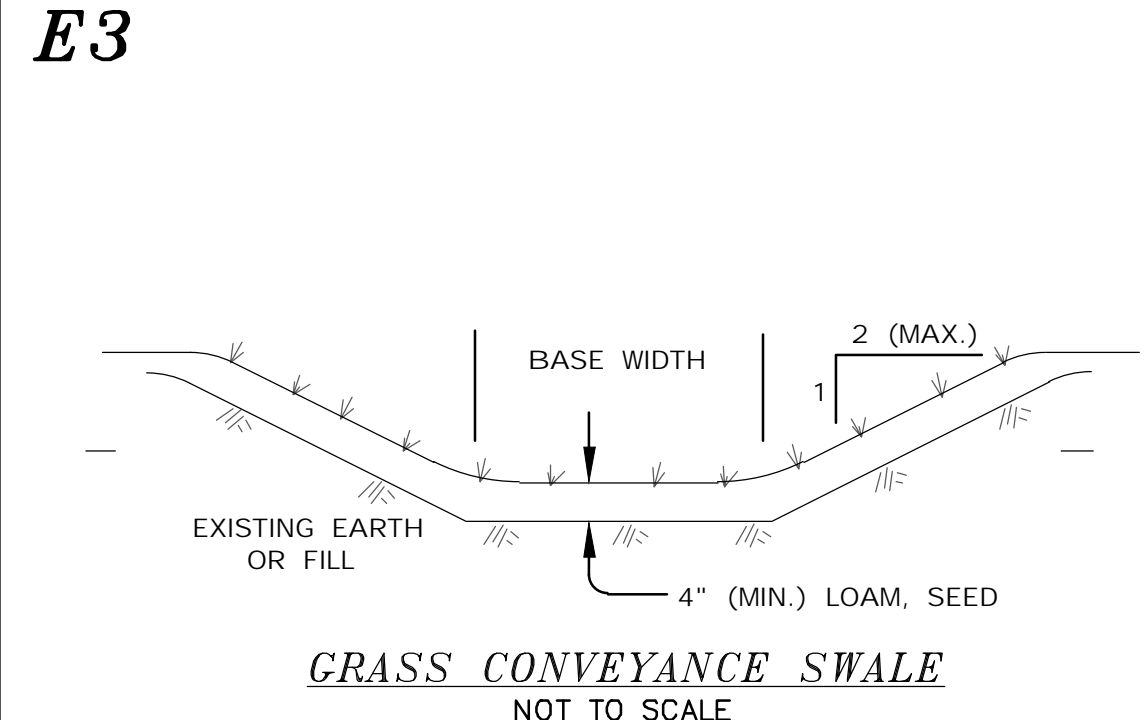


**FILTREXX SEDIMENT CONTROL**  
NOT TO SCALE

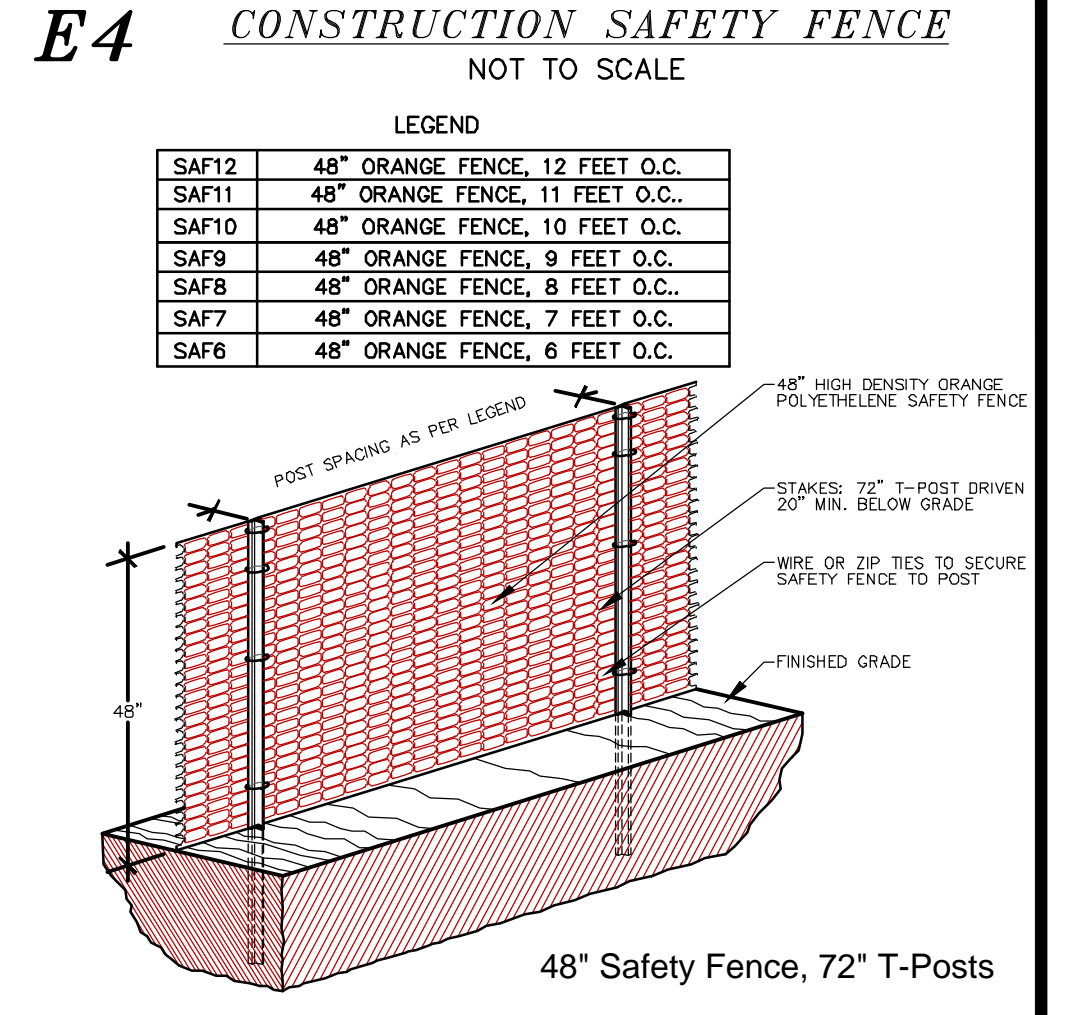
Filtrex International, LLC  
35481 Grafton Eastern Rd | Grafton, Oh 44044  
440-926-2607 | fax: 440-926-4021  
www.filtrex.com  
OR APPROVED EQUAL

NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOXX APPLICATIONS. THIS DUPLICATION MAY BE SPECIFIED AS 12" SILT SOXX AND GRANGE CONSTRUCTION FENCE AS NOTED.

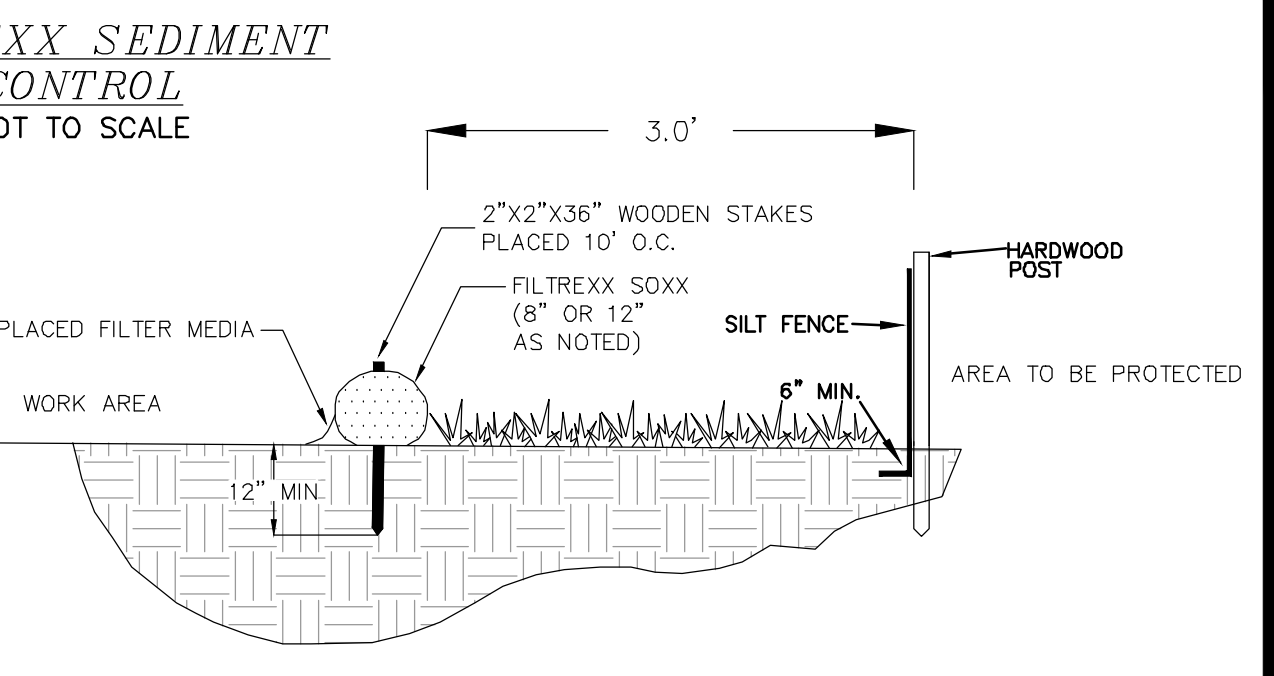
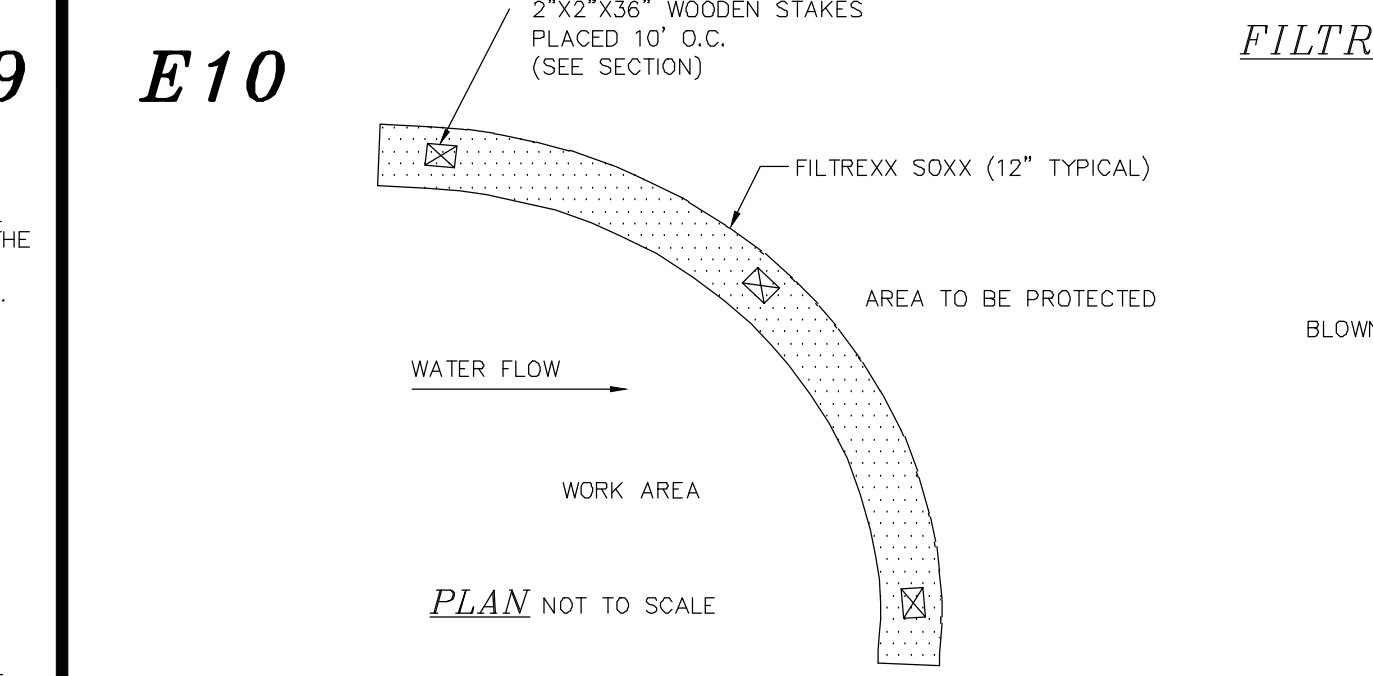
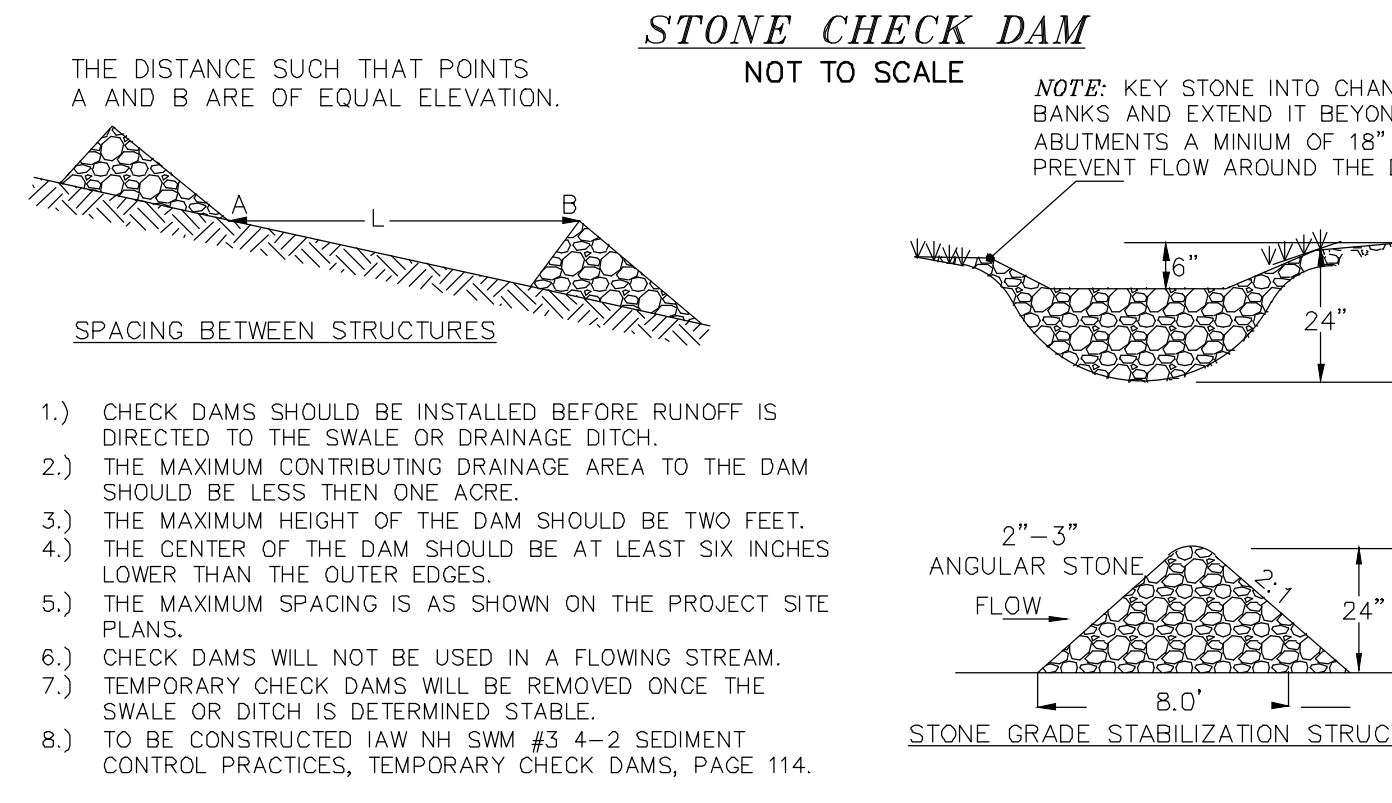
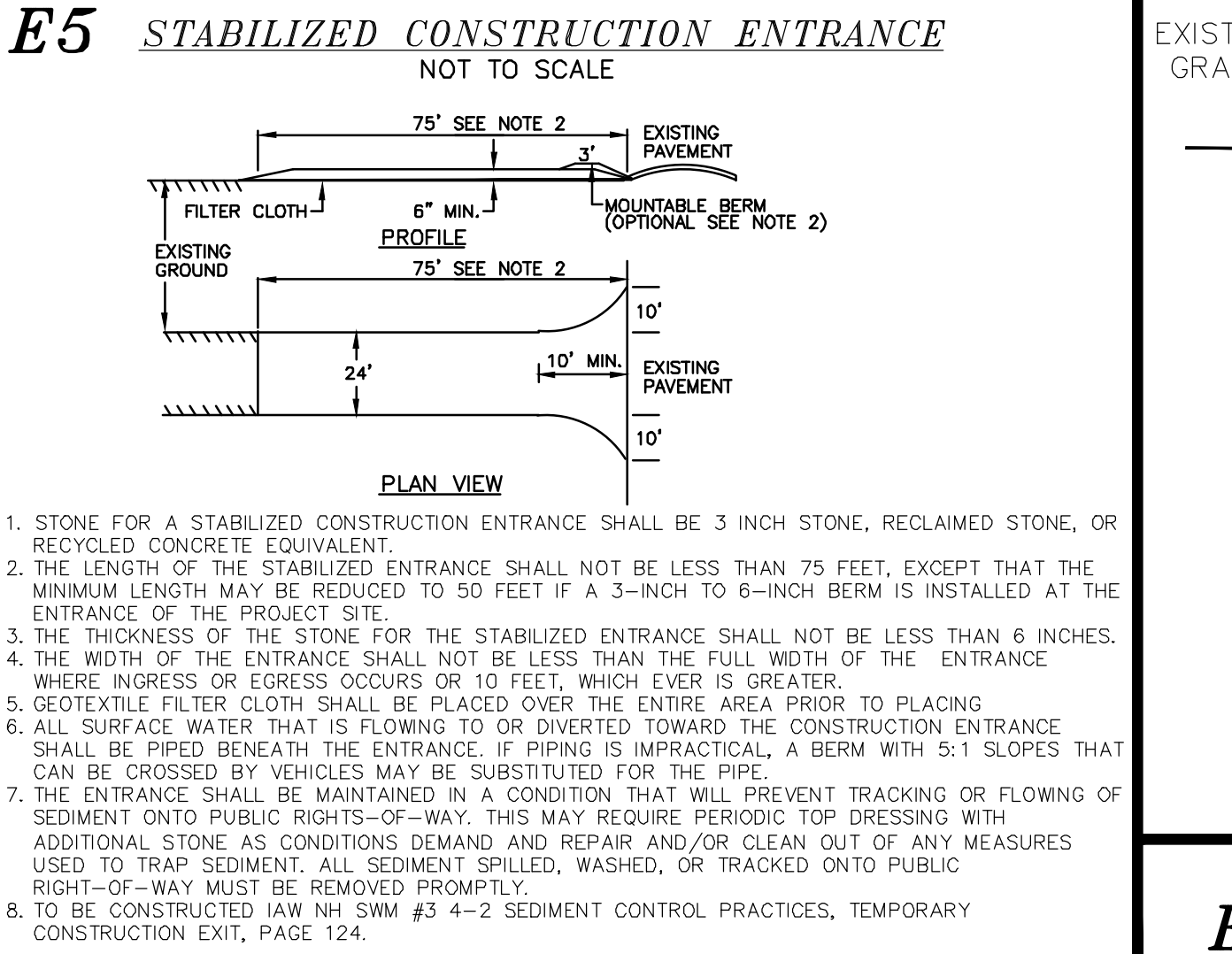
**SECTION** NOT TO SCALE



- GRASS CONVEYANCE SWALE**  
NOT TO SCALE
- INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.
- MOW GRASS ANNUALLY TO A DEPTH OF 4".
- INSTALL STABILIZATION MATTING DURING CONSTRUCTION
- TO BE CONSTRUCTED IAW NH SWM #2 CHAPTER 4, #5 TREATMENT SWALES, PAGE 123.



- 48" Safety Fence, 72" T-Posts**
- LEGEND
- |       |                                |
|-------|--------------------------------|
| SAF12 | 48" ORANGE FENCE, 12 FEET O.C. |
| SAF11 | 48" ORANGE FENCE, 11 FEET O.C. |
| SAF10 | 48" ORANGE FENCE, 10 FEET O.C. |
| SAF9  | 48" ORANGE FENCE, 9 FEET O.C.  |
| SAF8  | 48" ORANGE FENCE, 8 FEET O.C.  |
| SAF7  | 48" ORANGE FENCE, 7 FEET O.C.  |
| SAF6  | 48" ORANGE FENCE, 6 FEET O.C.  |
- ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
  - ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
  - WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
  - SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
  - THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.



- E8 TEMPORARY EROSION CONTROL MEASURES**
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
  - EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
  - ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDING WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
  - ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,800 Sq. Ft.) WILL BE DISTURBED.
  - SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
  - AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
  - PER THE EPA CGP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
  - DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
  - DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
  - ROADWAYS, DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
  - STABILIZATION MEANS:
    - A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
    - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
    - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
  - THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
  - THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)

- E9 STONE CHECK DAM**  
NOT TO SCALE
- THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION.
- NOTE: KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW AROUND THE DAM.
- STONE GRADE STABILIZATION STRUCTURE**
1. CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
3. THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
4. THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGES.
5. THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
6. CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
7. TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.

- E10 FILTREXX SEDIMENT CONTROL**  
NOT TO SCALE
- 2"x2"x36" WOODEN STAKES PLACED 10' O.C. (SEE SECTION)
- FILTREXX SOXX (12" TYPICAL)
- AREA TO BE PROTECTED
- PLAN** NOT TO SCALE
- E11 SILTSACK DETAIL**  
NOT TO SCALE
- LIFTING STRAPS
- GRATE
- SILTSACK DETAIL**  
NOT TO SCALE
- FOR TOWN APPROVAL PURPOSES :
- THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

|            |   |          |             |
|------------|---|----------|-------------|
| 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT | DATE     | DESCRIPTION |
| 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |          |             |
| #2         | #1  | REVISION |             |

**EROSION & SEDIMENT CONTROL DETAILS**

LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**

335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863

AS NOTED

DATE : JUNE 14, 2021

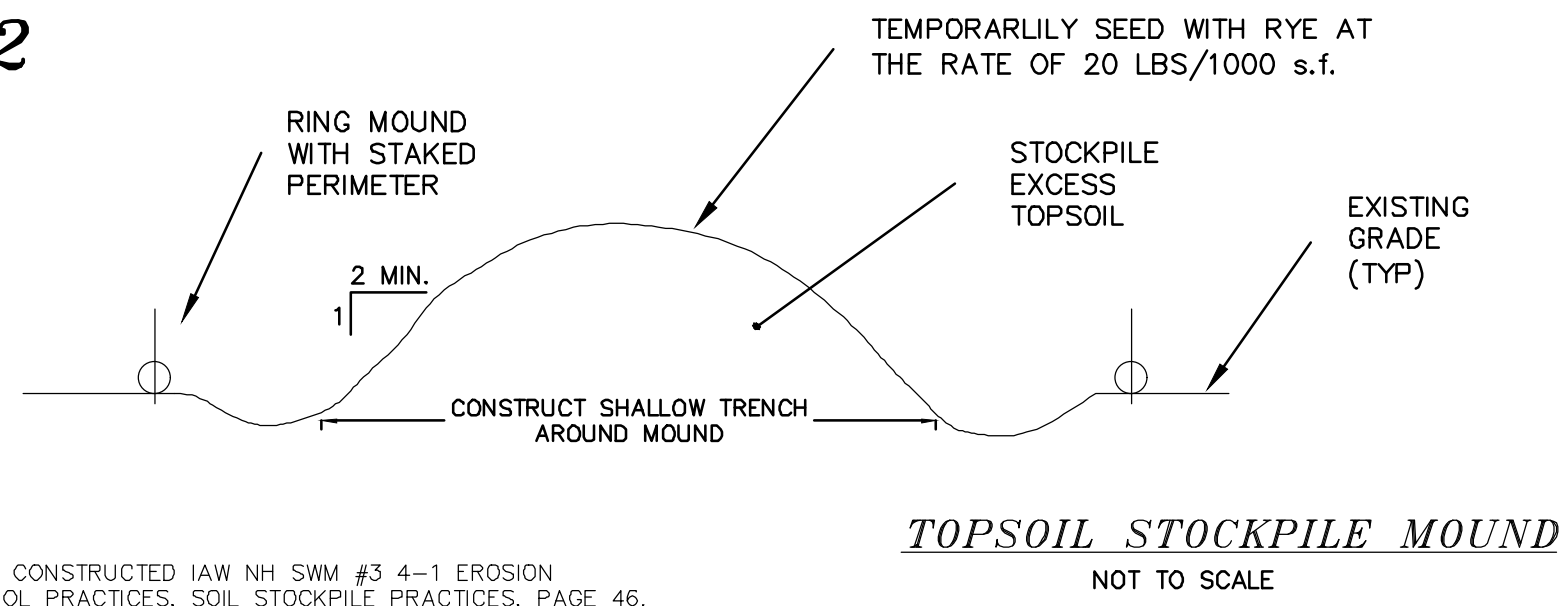
FILE NO. : DB 2020 - 097

KENNETH A. BERRY  
REGISTERED PROFESSIONAL ENGINEER

**E-101**

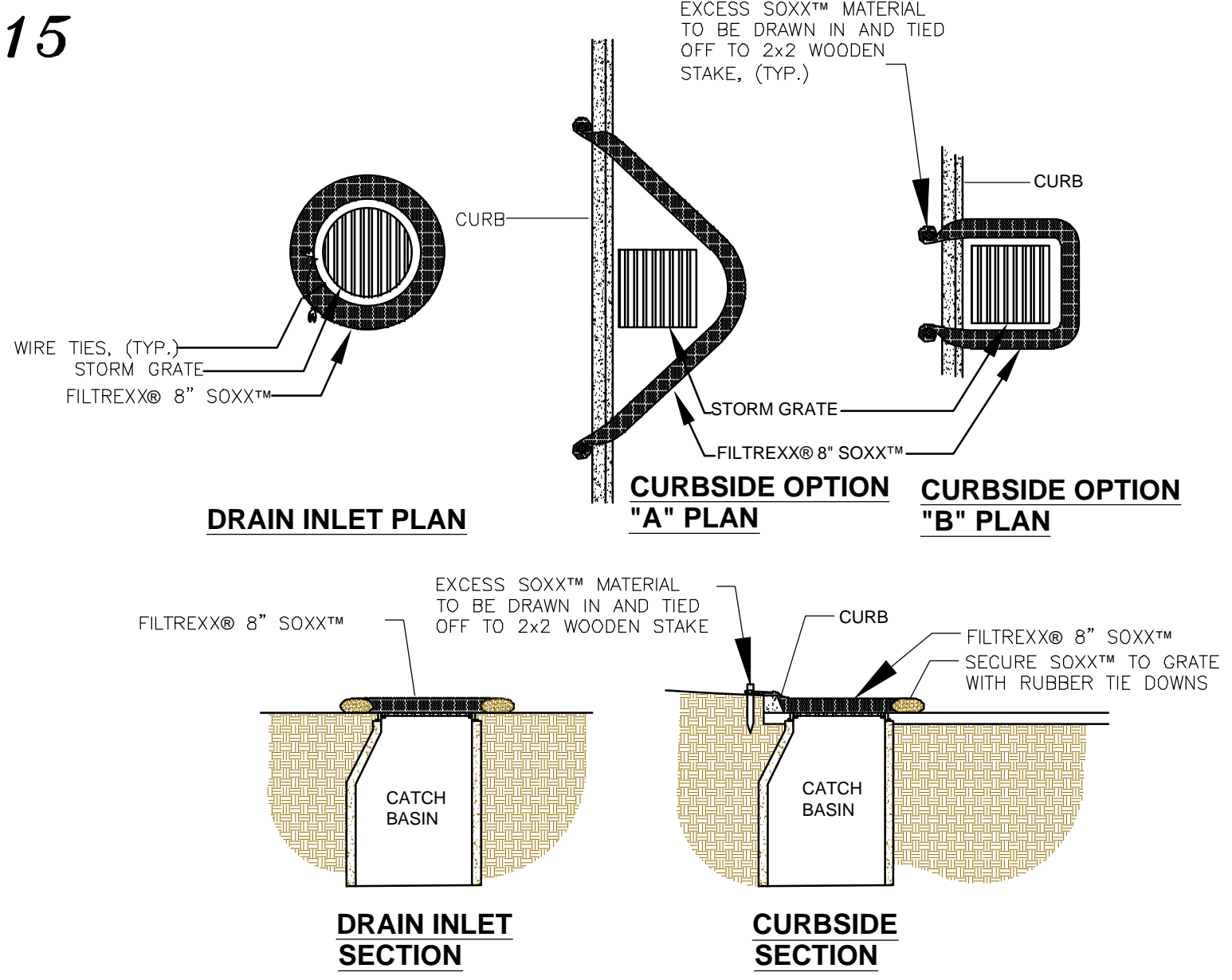
SHEET 92 OF 109

E12



TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, SOIL STOCKPILE PRACTICES, PAGE 46.

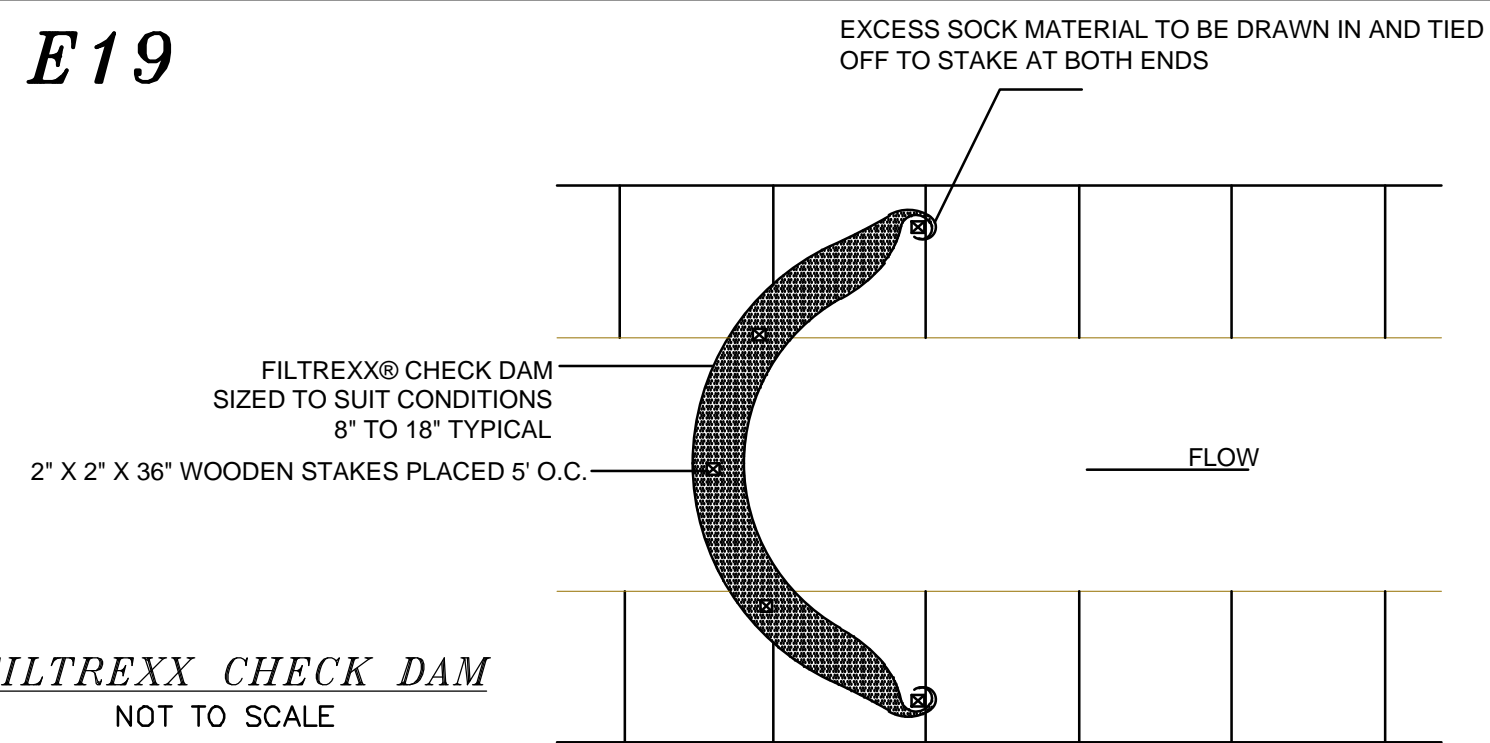
E15



- NOTES:  
 1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.  
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.  
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

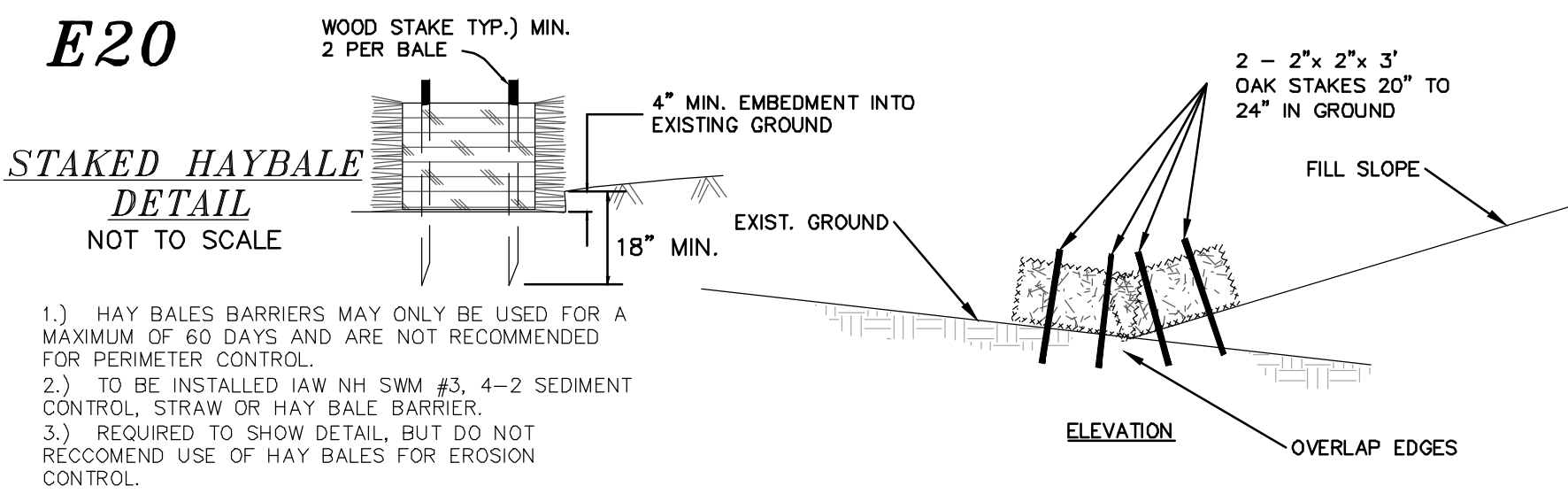
FILTREXX INLET PROTECTION  
NOT TO SCALE

E19



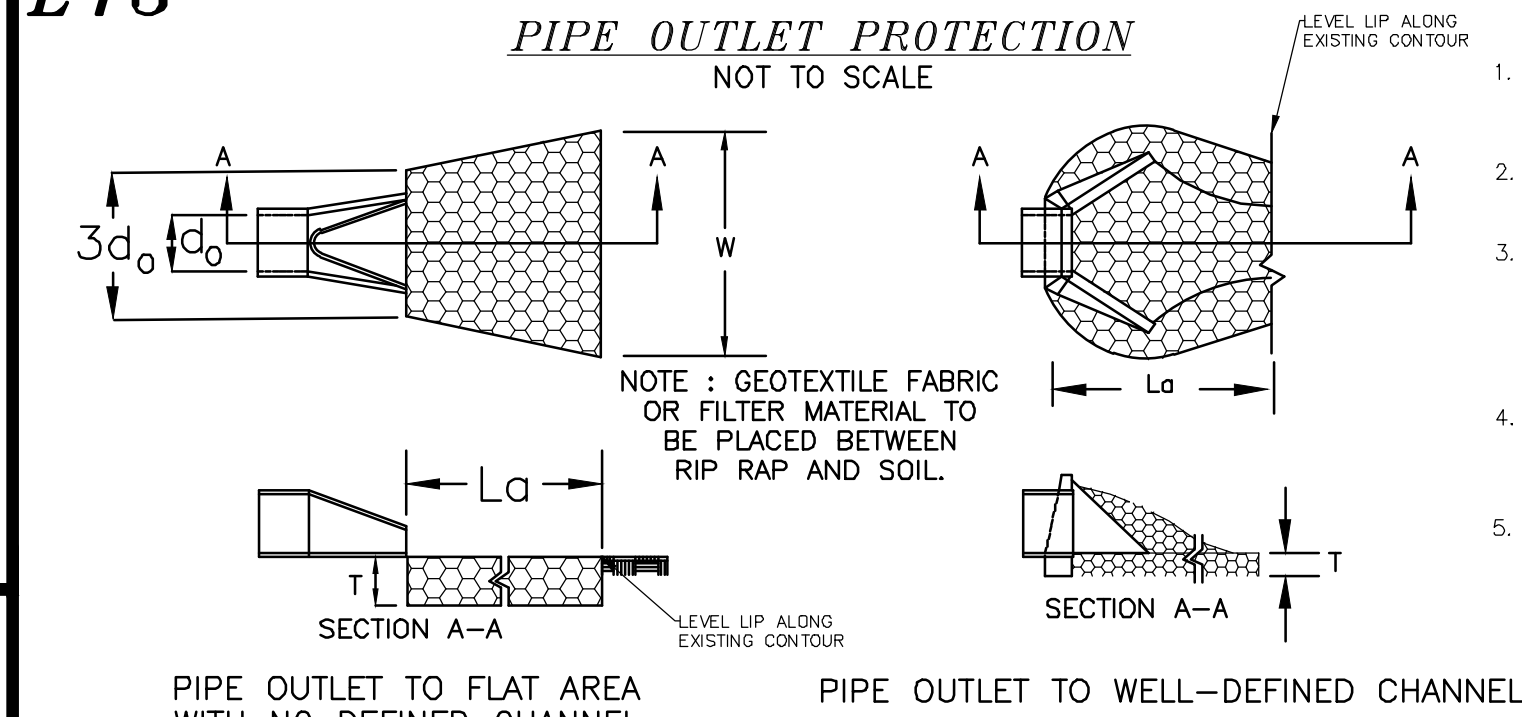
- NOTES:  
 1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.  
 2. CHECK DAM SHOULD BE USED IN AREAS THAT DRAIN 1 ACRE OR LESS.  
 3. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.  
 4. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.  
 5. CONTRACTOR IS REQUIRED TO BE A FILTREXX CERTIFIED™ INSTALLER.

E20



- 1.) HAY BALES BARRIERS MAY ONLY BE USED FOR A MAXIMUM OF 60 DAYS AND ARE NOT RECOMMENDED FOR PERIMETER CONTROL.  
 2.) TO BE INSTALLED IAW NH SWM #3, 4-2 SEDIMENT CONTROL, STRAW OR HAY BALE BARRIER.  
 3.) REQUIRED TO SHOW DETAIL, BUT DO NOT RECOMMEND USE OF HAY BALES FOR EROSION CONTROL.

E13



E16

NOTE: Temporary seed mix for stabilization of turf shall be winter type or oats at a rate of 2.5 lbs. per 1000 s.f. and shall be placed prior to OCT. 15, if permanent seeding not yet complete.

SEEDING GUIDE

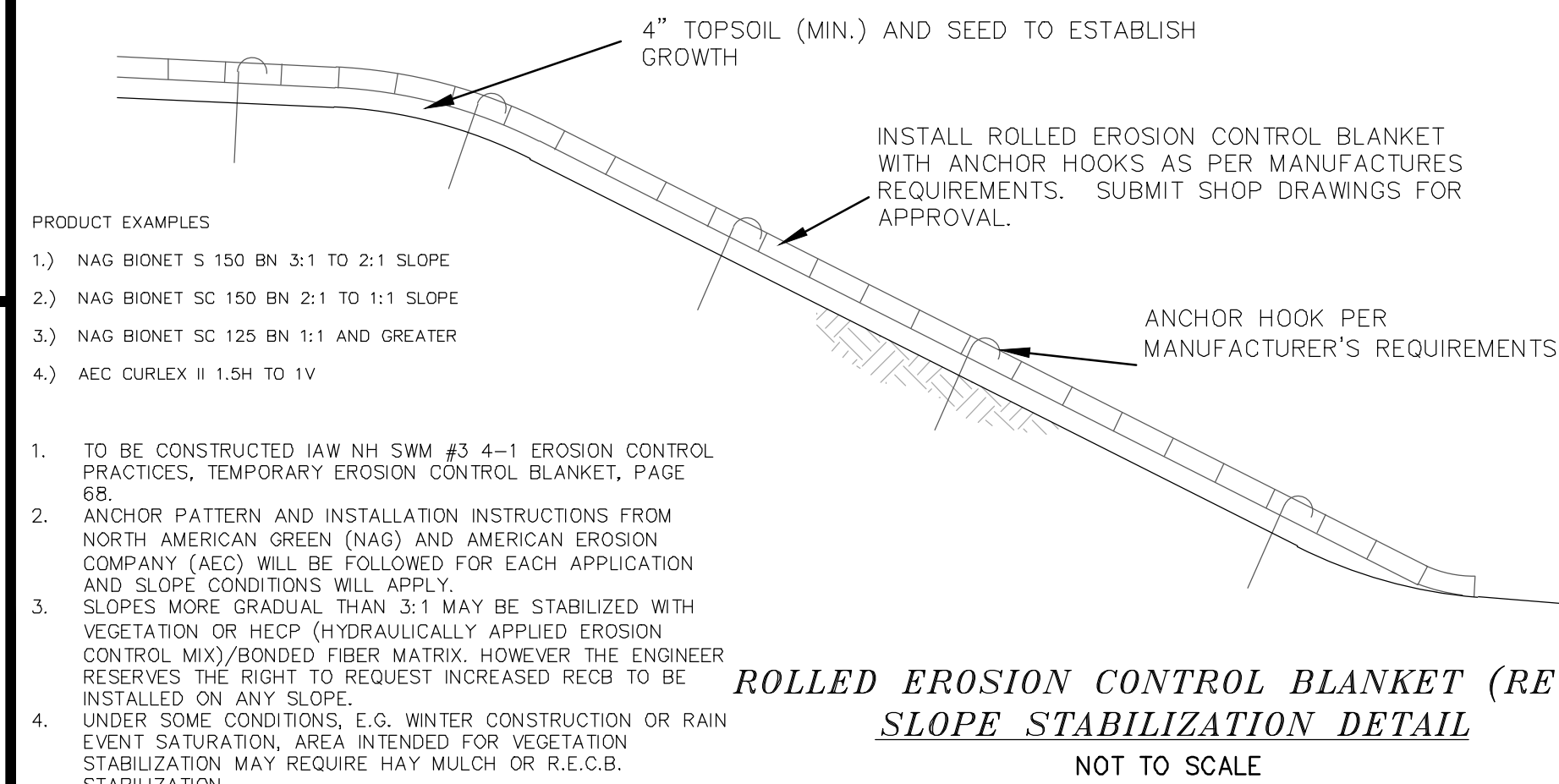
| USE   | SEEDING MIXTURE 1/ | DROUGHTY | WELL DRAINED | MODERATELY WELL DRAINED | POORLY DRAINED |
|---|--------------------|----------|--------------|-------------------------|----------------|
| STEP CUTS AND FILLS, BORROW AREAS   | A                  | FAIR     | GOOD         | GOOD                    | FAIR           |
|   | B                  | POOR     | GOOD         | GOOD                    | FAIR           |
|   | C                  | GOOD     | EXCELLENT    | EXCELLENT               | POOR           |
|   | D                  | FAIR     | FAIR         | GOOD                    | EXCELLENT      |
| WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER                     | A                  | GOOD     | GOOD         | GOOD                    | FAIR           |
|   | B                  | GOOD     | EXCELLENT    | EXCELLENT               | FAIR           |
|   | C                  | GOOD     | EXCELLENT    | EXCELLENT               | FAIR           |
| LIGHTLY USED PARKING LOTS, GOLF COURSES, UNSEEN LANDS, AND LOW INTENSITY RECREATION SITES | A                  | GOOD     | GOOD         | GOOD                    | FAIR           |
|   | B                  | GOOD     | GOOD         | GOOD                    | FAIR           |
|   | C                  | GOOD     | EXCELLENT    | EXCELLENT               | FAIR           |
|   | D                  | FAIR     | GOOD         | GOOD                    | EXCELLENT      |
| PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)                       | F                  | FAIR     | EXCELLENT    | EXCELLENT               | ZZ             |
|   | G                  | FAIR     | EXCELLENT    | EXCELLENT               | ZZ             |

GRAVEL PIT: SEE NH-FM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.  
 1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.  
 ZZ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING
  - SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
  - SEEDBED PREPARATION
    - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
    - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEED BED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
  - ESTABLISHING A STAND
    - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
      - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100LBS. PER 1,000 SQ.FT.
      - NITROGEN(N), 50LBS. PER ACRE OR 1.1LBS. PER 1,000 SQ.FT.
      - PHOSPHATE(P2O5), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
      - POTASH(K2O), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000LBS. PER ACRE OF 5-10-10.)
- B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING, WHERE BROADCASTING IS USED, COVER SEED WITH 25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING, ALL LEGUMES (CROWNVETCH, BIRDSFOOT TROFOIL, AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
- WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
- MULCH
  - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND
  - PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.
- TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, PERMANENT VEGETATION, PAGE 60.
- SEE RAIN GARDEN AND INFILTRATION DETAIL SHEETS FOR SPECIFIC PLANTING INSTRUCTIONS AND SEEDING.

E21



- TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, TEMPORARY EROSION CONTROL BLANKET, PAGE 68.
- ANCHOR PATTERN AND INSTALLATION INSTRUCTIONS FROM NORTH AMERICAN GREEN (NAG) AND AMERICAN EROSION COMPANY (AEC) WILL BE FOLLOWED FOR EACH APPLICATION AND SLOPE CONDITIONS WILL APPLY.
- SLOPES MORE GRADUAL THAN 3:1 MAY BE STABILIZED WITH VEGETATION OR HECP (HYDRAULICALLY APPLIED EROSION CONTROL MIX)/BONDED FIBER MATRIX. HOWEVER THE ENGINEER RESERVES THE RIGHT TO REQUEST INCREASED RECB TO BE INSTALLED ON ANY SLOPE.
- UNDER SOME CONDITIONS, E.G. WINTER CONSTRUCTION OR RAIN EVENT SATURATION, AREA INTENDED FOR VEGETATION STABILIZATION MAY REQUIRE HAY MULCH OR R.E.C.B. STABILIZATION.

PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

- THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS. SPECIFIED GRADATION.
- THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO NHDOT SECTION 583.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- TO BE CONSTRUCTED IAW NH SWM #2 4-6 CONVEYANCE PRACTICES, 6. OUTLET PROTECTION, PAGE 172.

E14

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

| d50 SIZE=                                   | 0.5 FEET                    | 6 INCHES                  |
|---|-----------------------------|---------------------------|
| % OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE | SIZE OF STONE (INCHES) FROM | SIZE OF STONE (INCHES) TO |
| 100%  | 9                           | 12                        |
| 85%   | 8                           | 11                        |
| 50%   | 6                           | 9                         |
| 15%   | 2                           | 3                         |

CONSTRUCTION SEQUENCE:

- CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
- CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
- EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
- CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
- CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY. SEE BEST MANAGEMENT PRACTICES FOR BLASTING ON SHEET C-102.
- START BUILDING CONSTRUCTION.
- INSTALL PIPE AND CONSTRUCTION APPROVED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 45 DAYS BEFORE BEING STABILIZED. DAILY, OR AS REQUIRED, ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. LIMIT THE LENGTH OF EXPOSURE OF UNSTABILIZED SOIL TO 45 DAYS OR LESS.
- CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESSWI), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSWQ). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT. EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OF RAINFALL.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
- SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
- FINISH PAVING ALL ROADWAYS.

E18 DEFINITION OF STABLE:

- PER ENV-WQ 1500 ALTERATION OF TERRAIN
- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED..
  - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
  - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ADDITION STABILIZATION NOTES:
- HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
  - DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

WINTER STABILIZATION NOTES

- ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CUREX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
- ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
- PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
- AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.
- ENV-WQ 1505.06 COLD WEATHER SITE STABILIZATION (B)(1) LIMITS ARE OF EXPOSURE TO ONE ACRE OF UNSTABILIZED SOIL WITHOUT OBTAINING A WAIVER AND WINTER CONSTRUCTION PLAN.

FOR TOWN APPROVAL PURPOSES:  
 THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

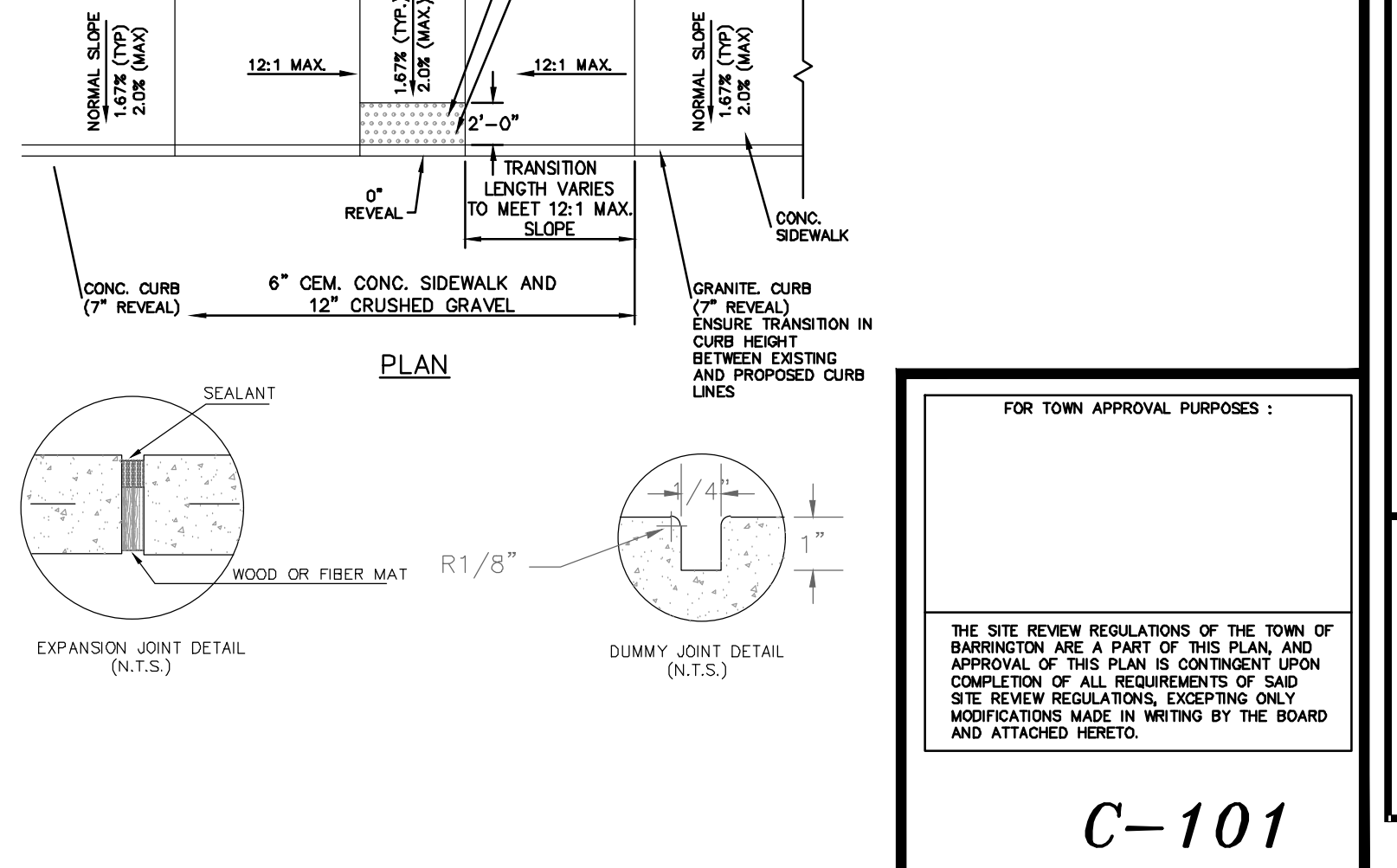
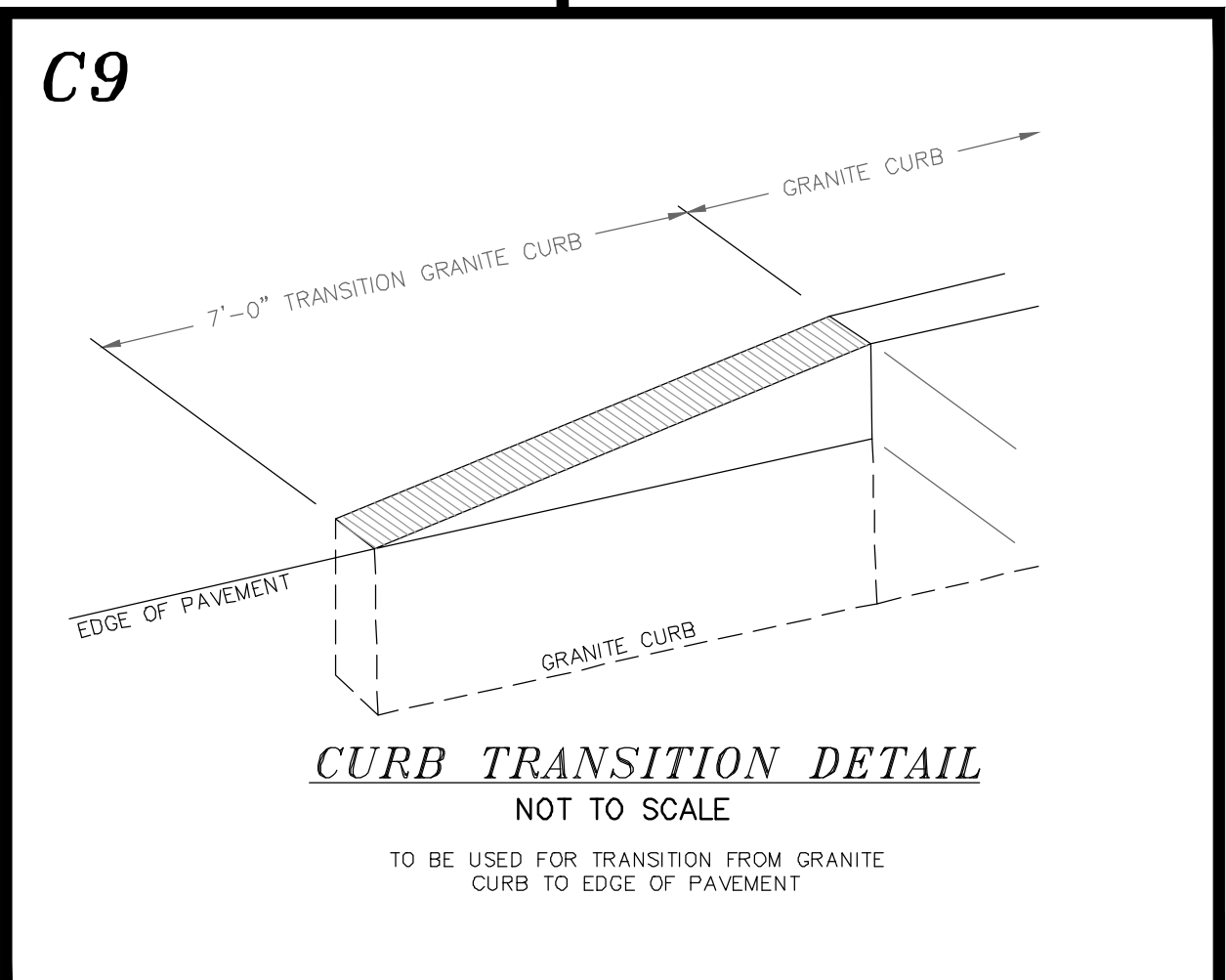
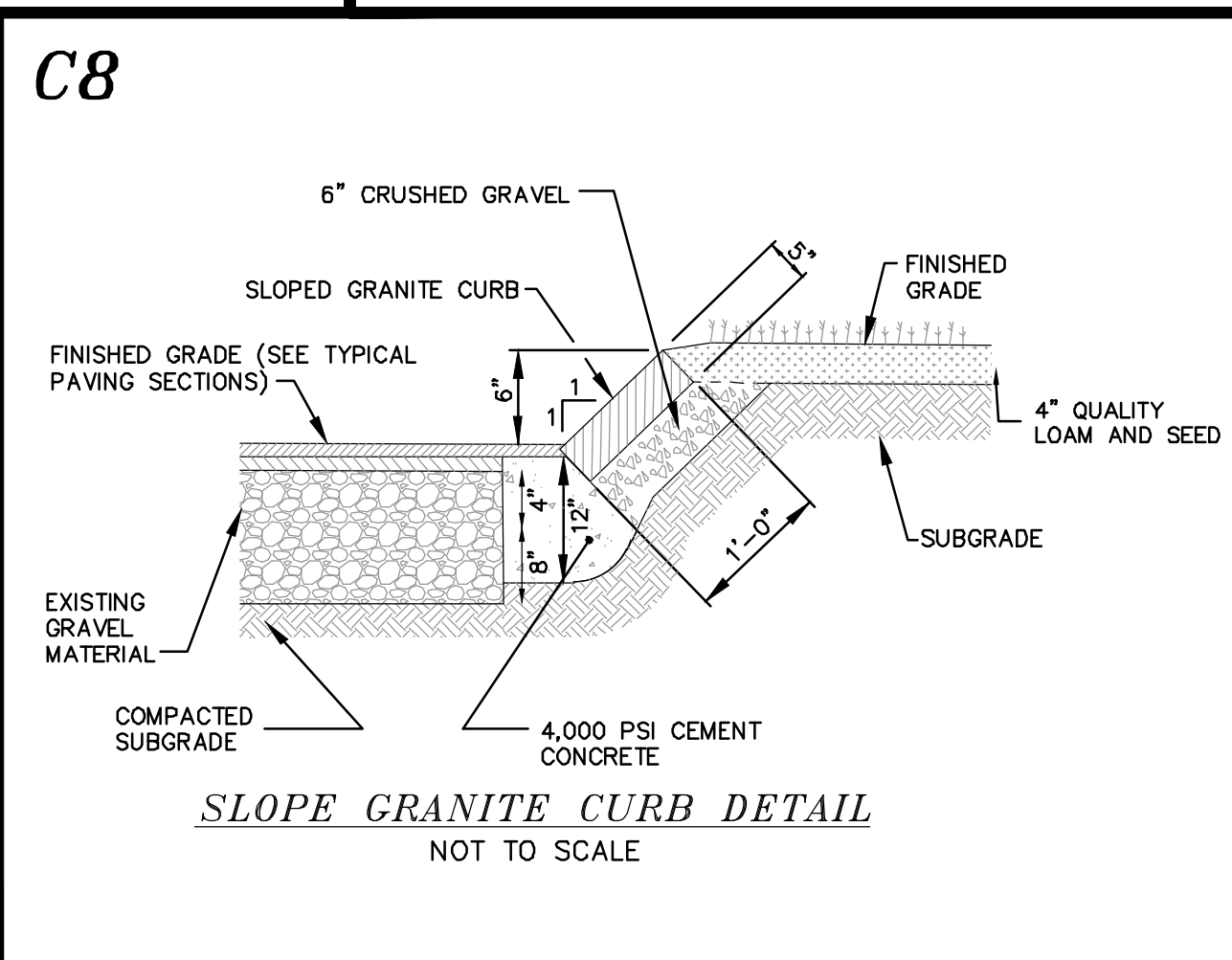
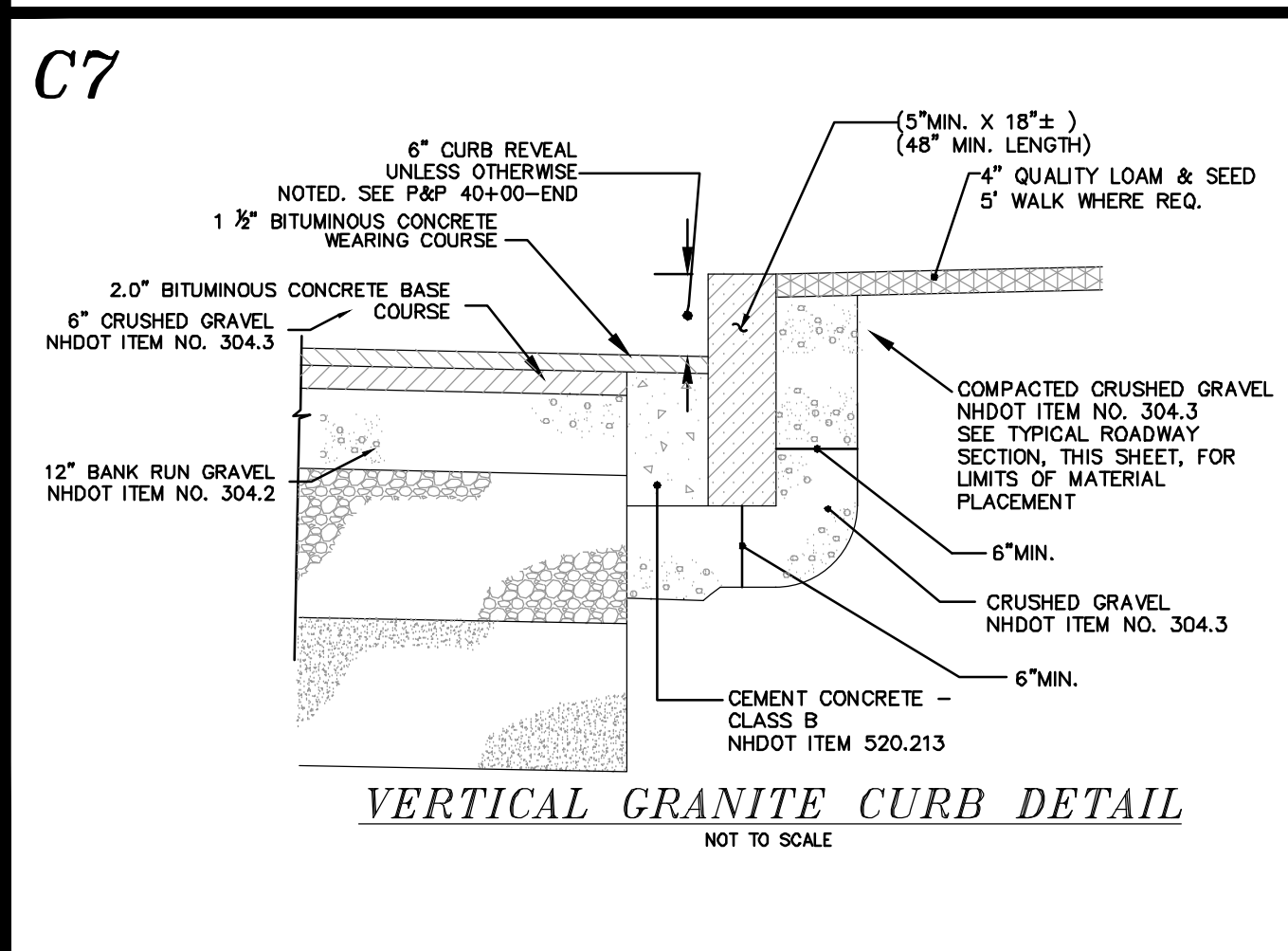
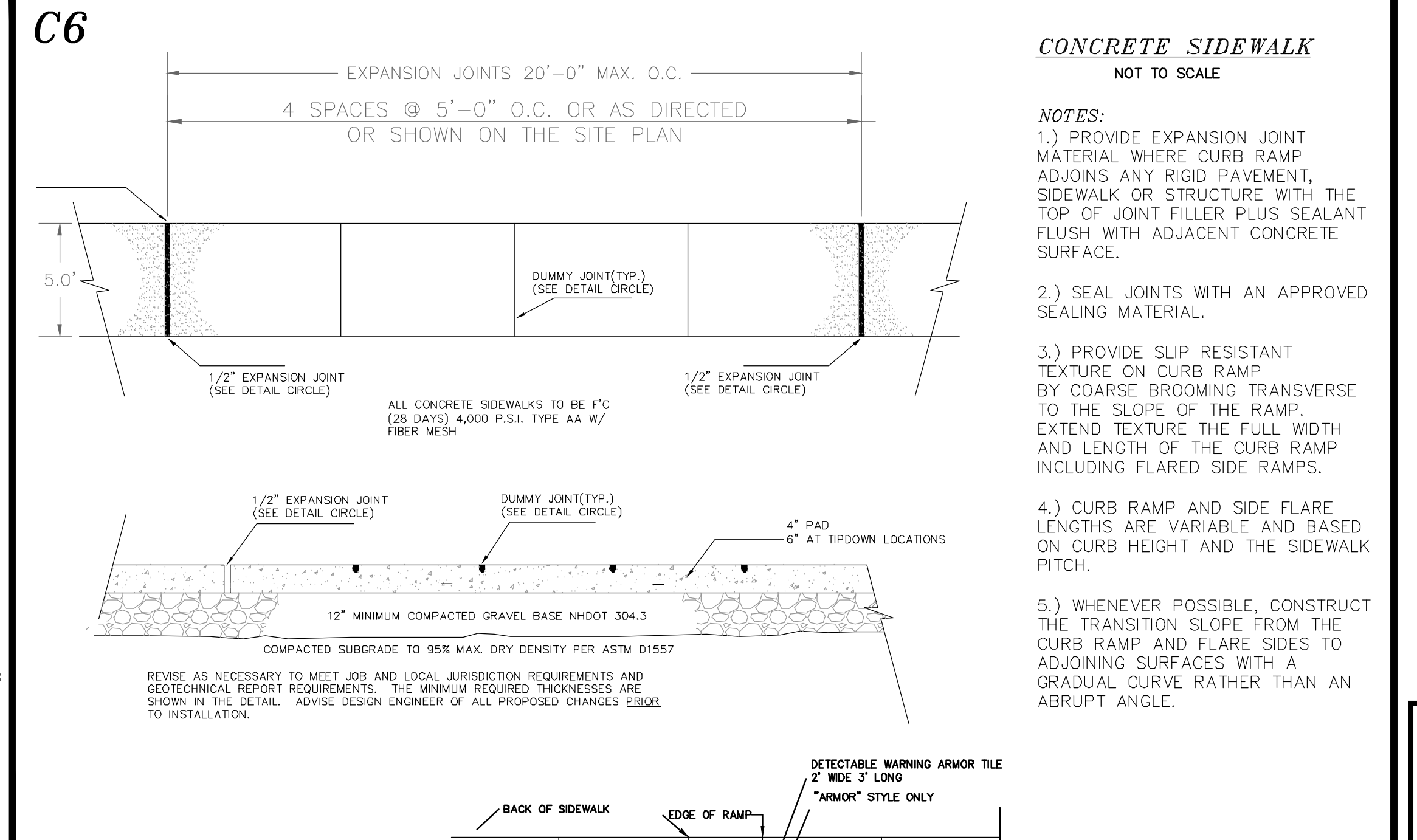
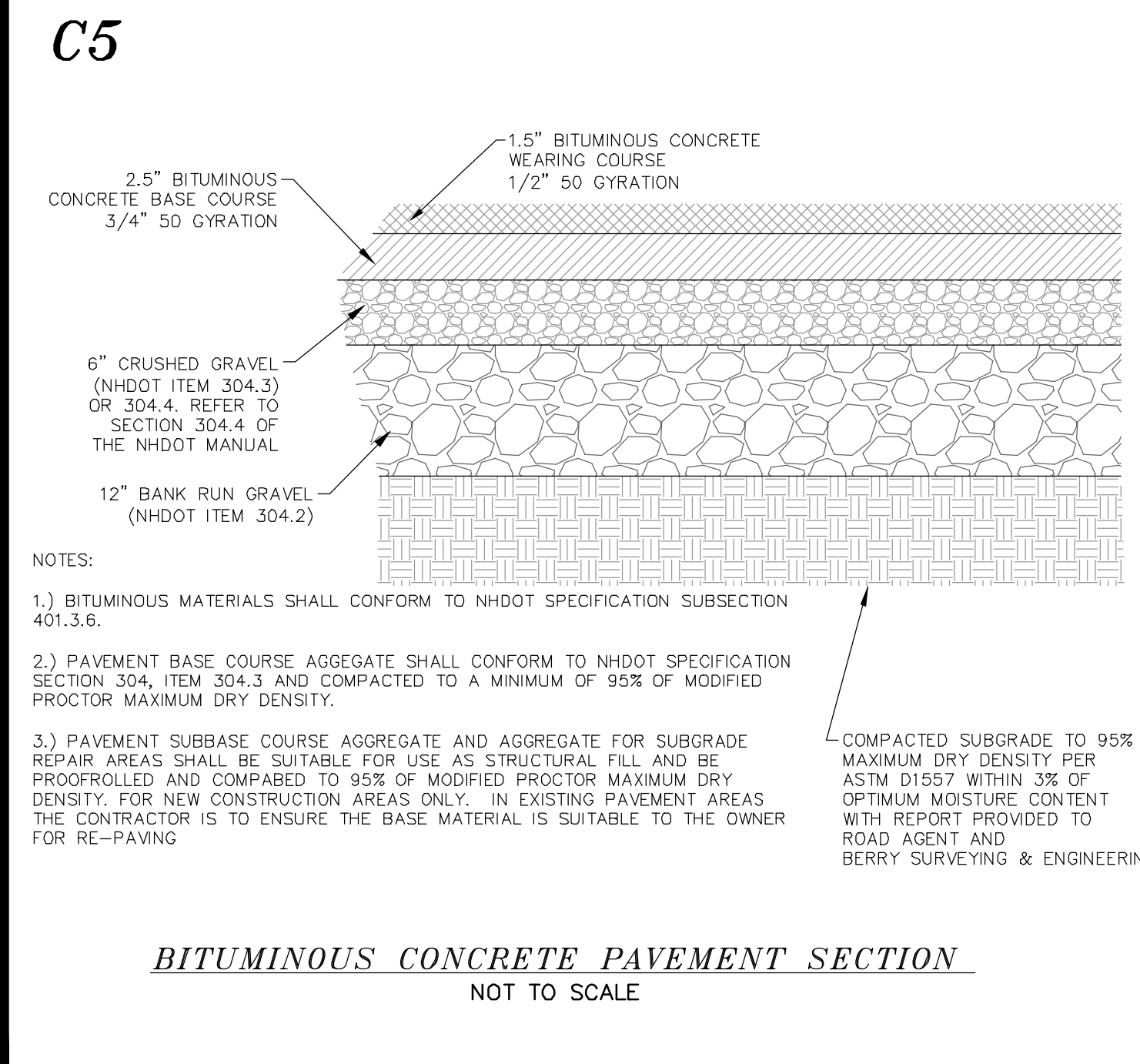
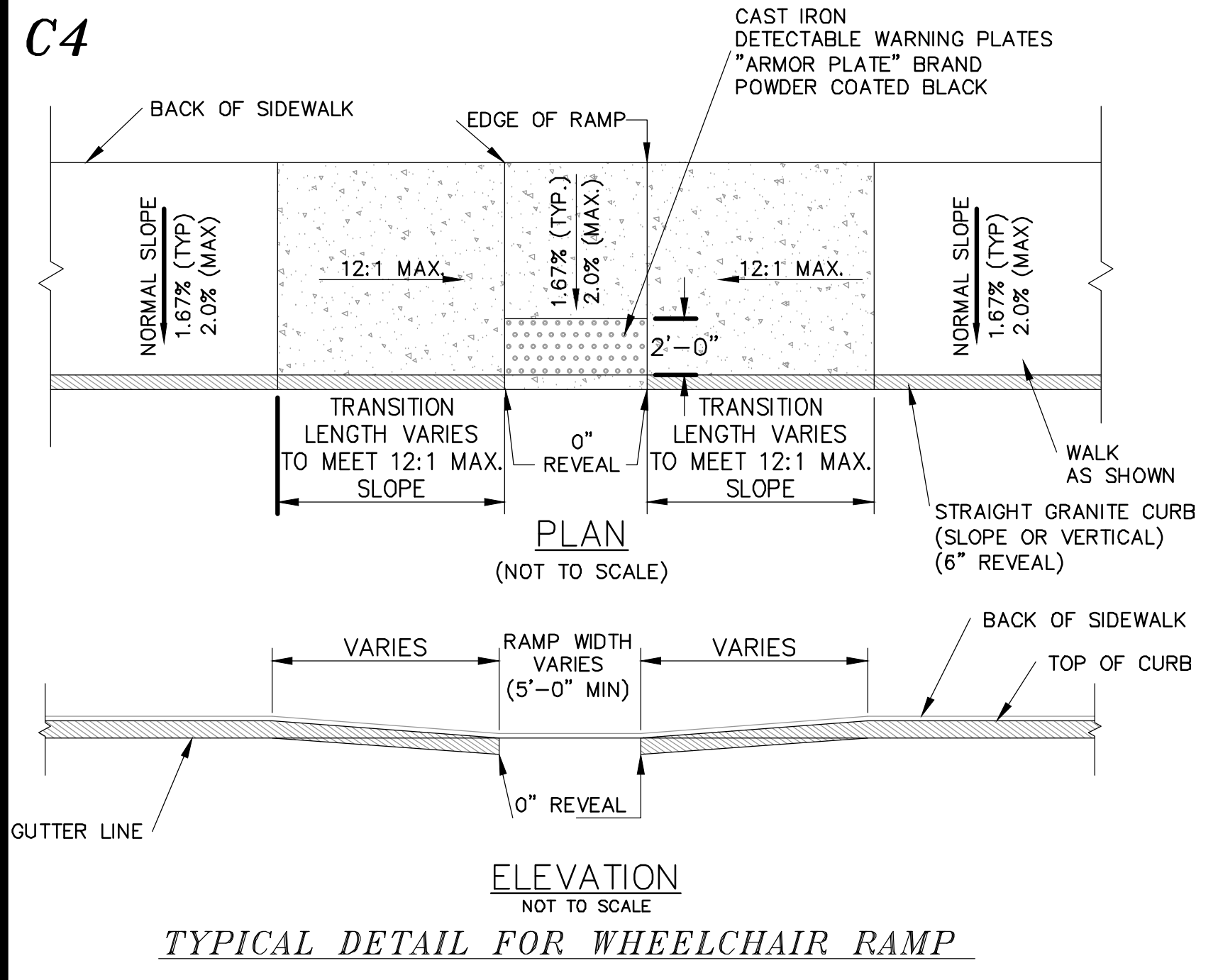
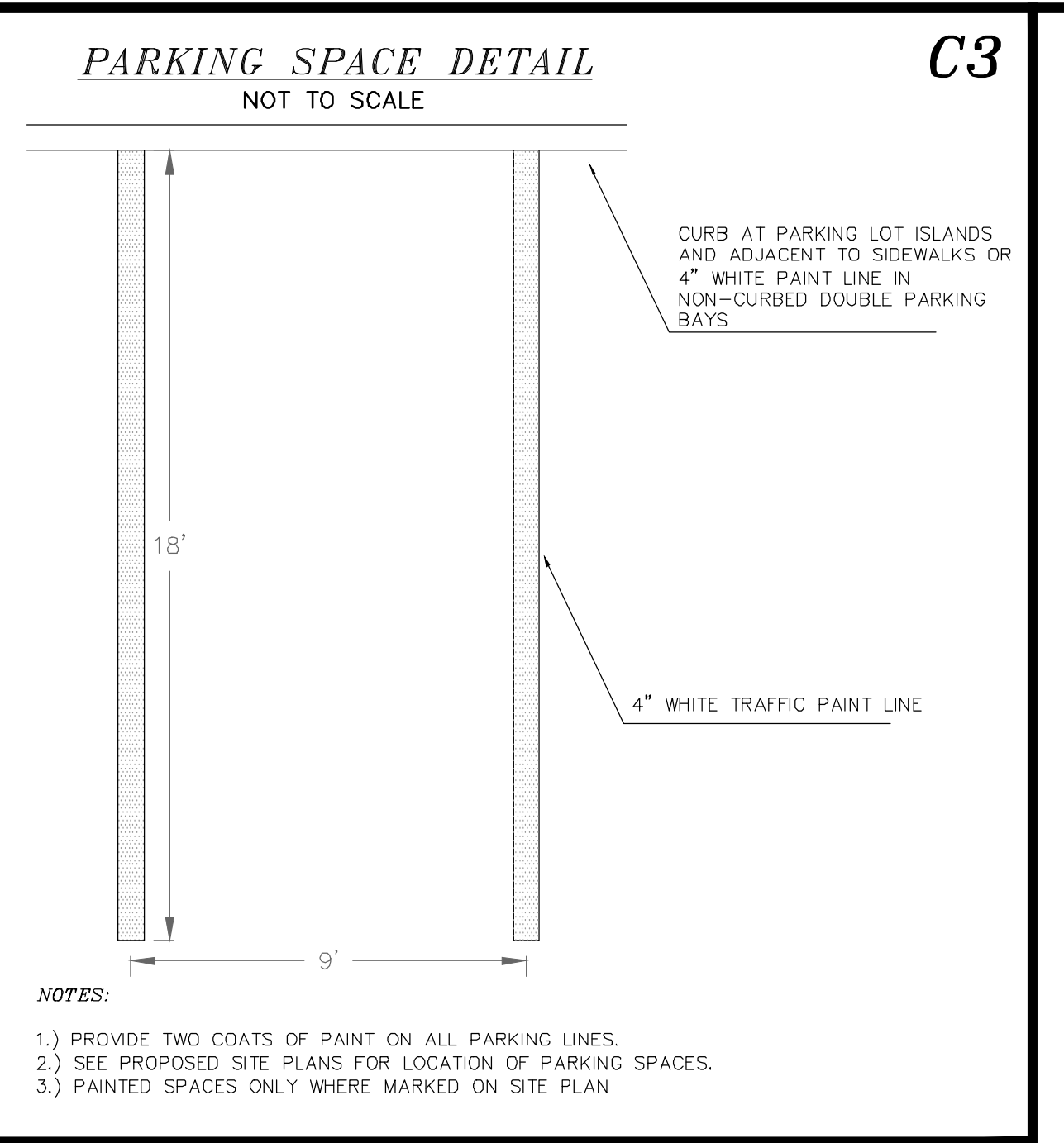
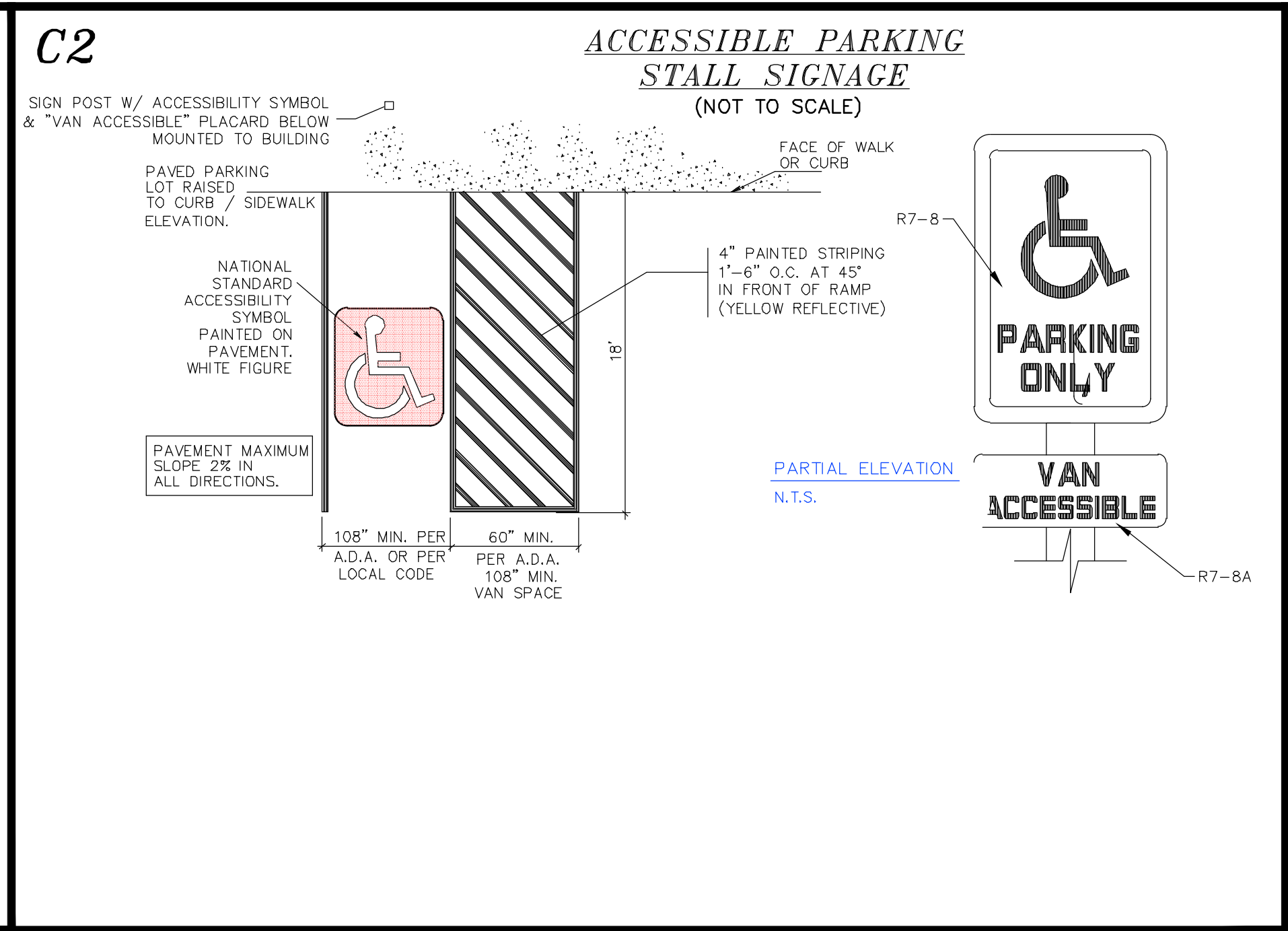
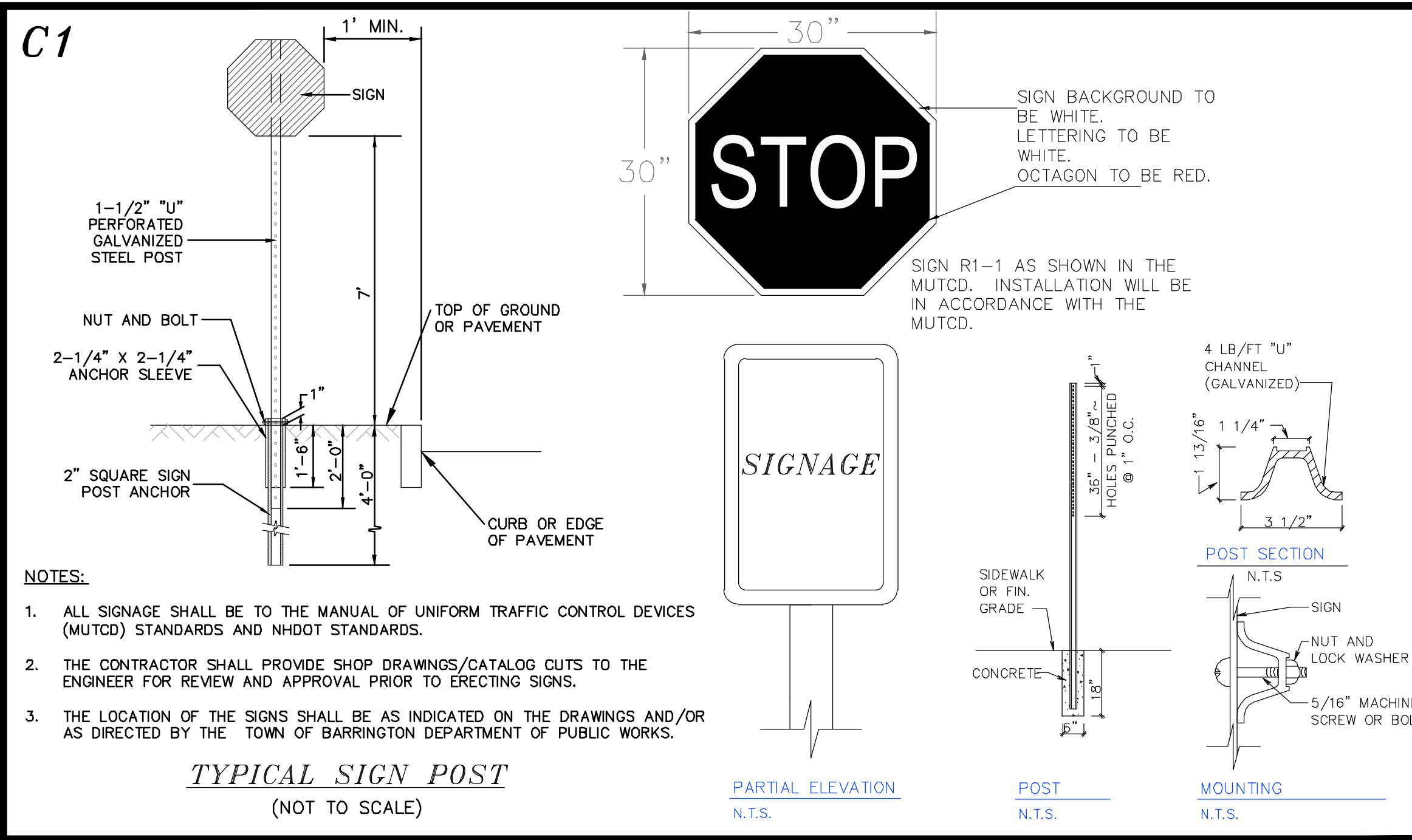
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| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |

EROSION & SEDIMENT CONTROL DETAILS  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863

AS NOTED  
 DATE: JUNE 14, 2021  
 FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE  
 KENNETH A. BERRY  
 PROFESSIONAL ENGINEER



| #1         | REVISION | DATE | DESCRIPTION                                   |
|------------|----------|------|---|
| 10-12-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

CONSTRUCTION DETAILS

LAND OF

DOVE DEVELOPMENT GROUP, LLC

N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY

COMMUNITY WAY

BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

AS NOTED

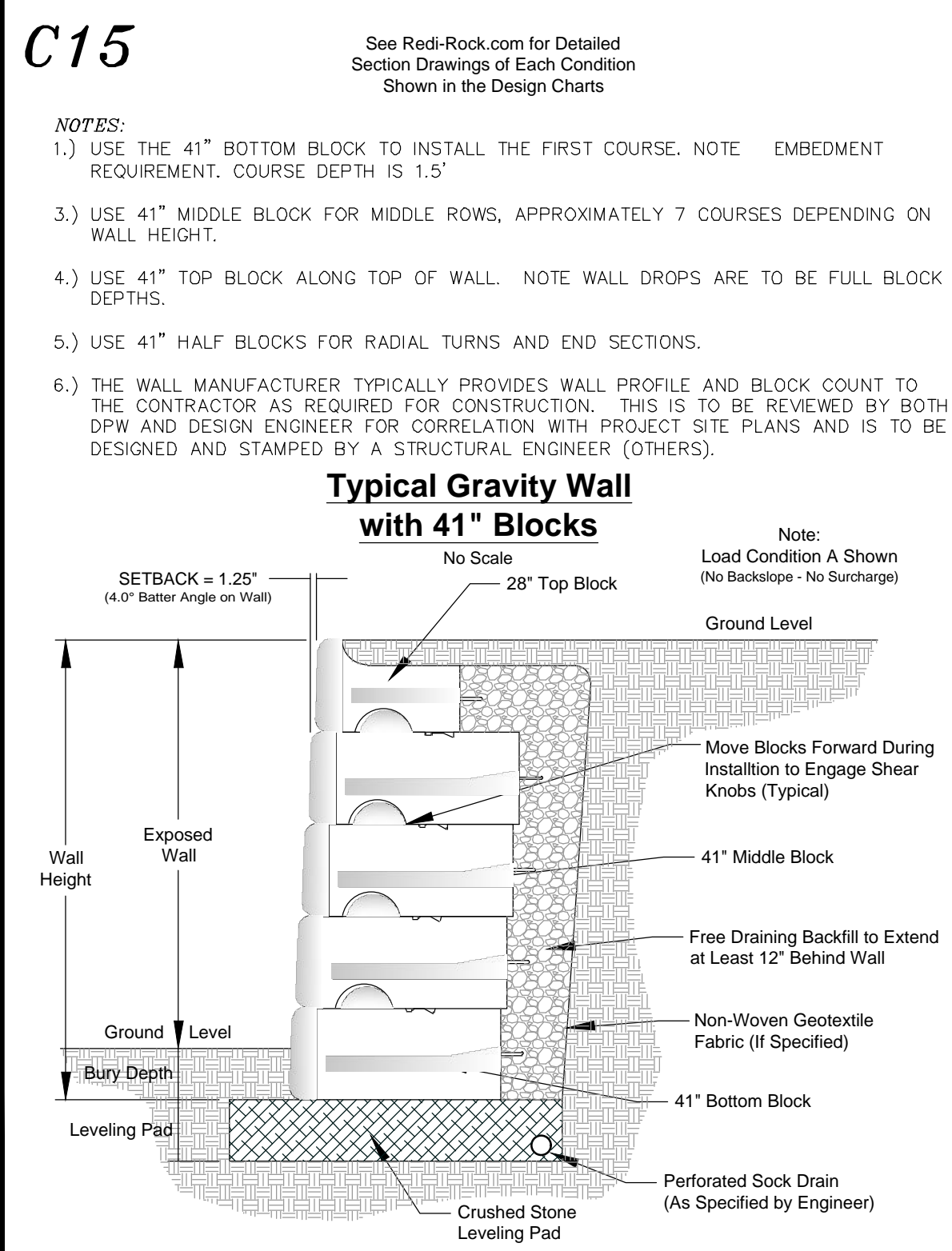
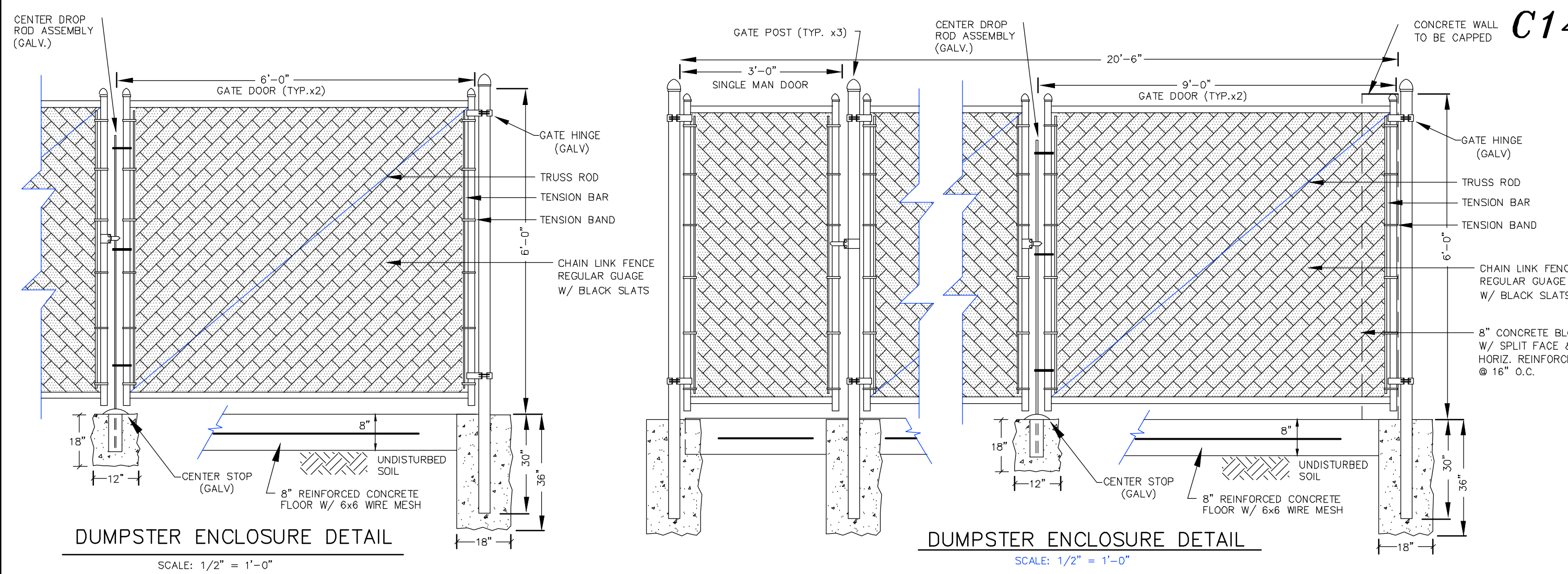
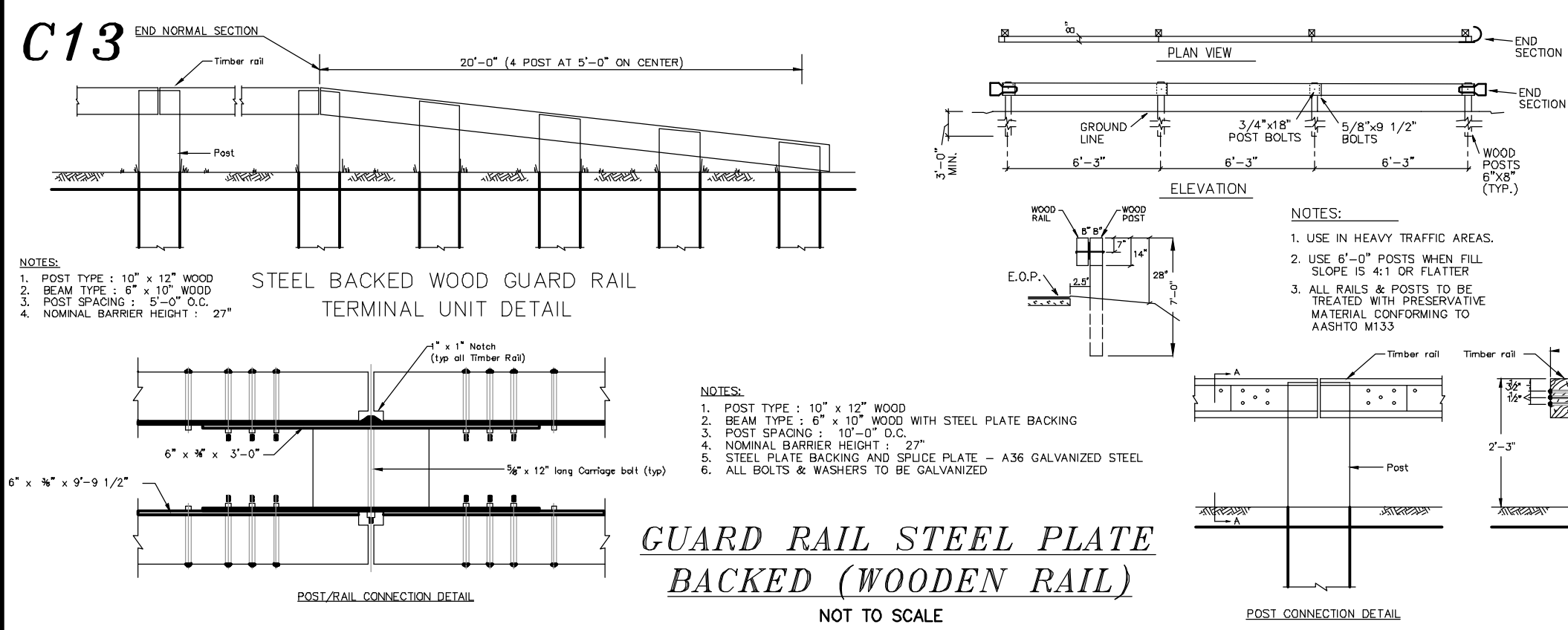
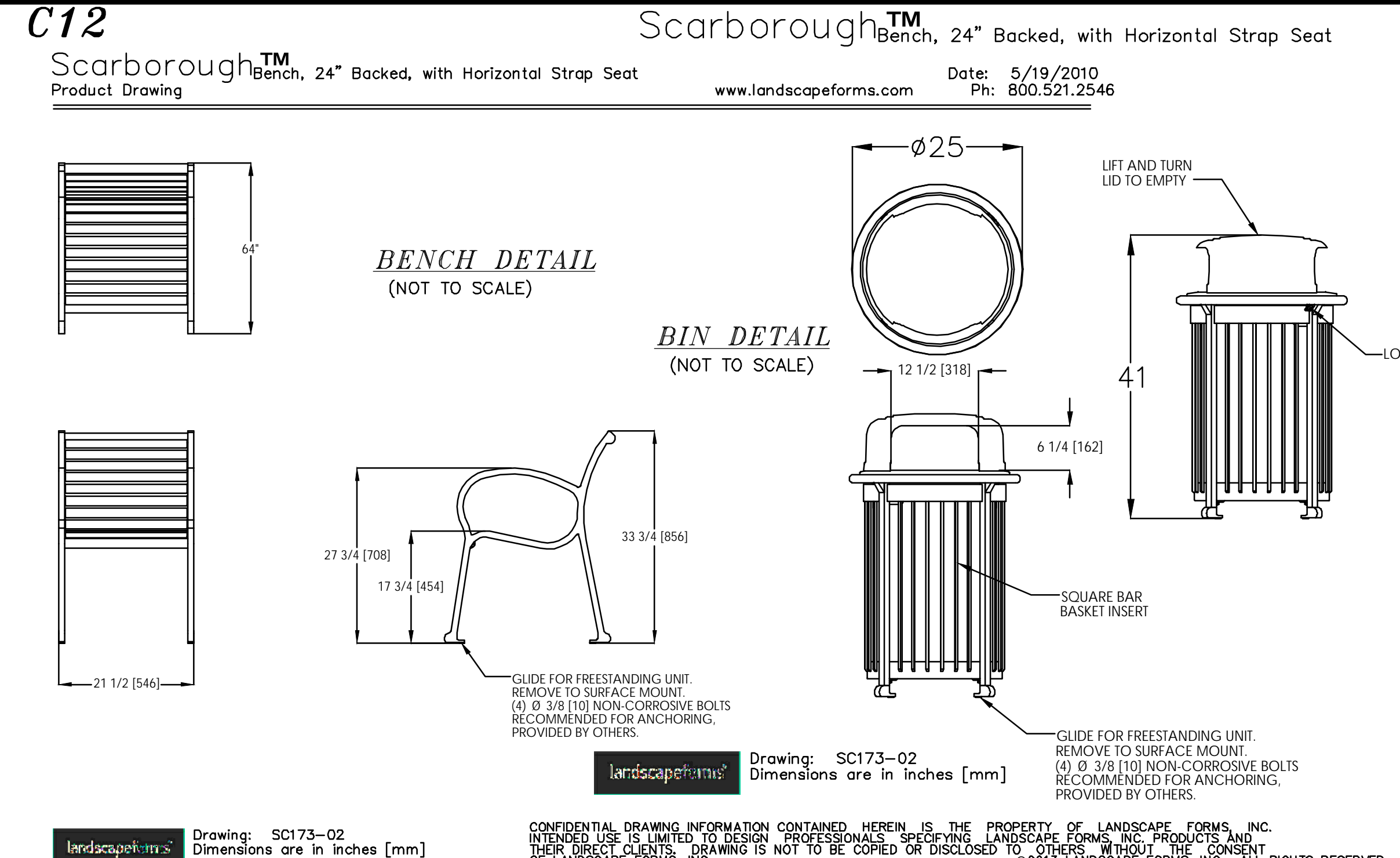
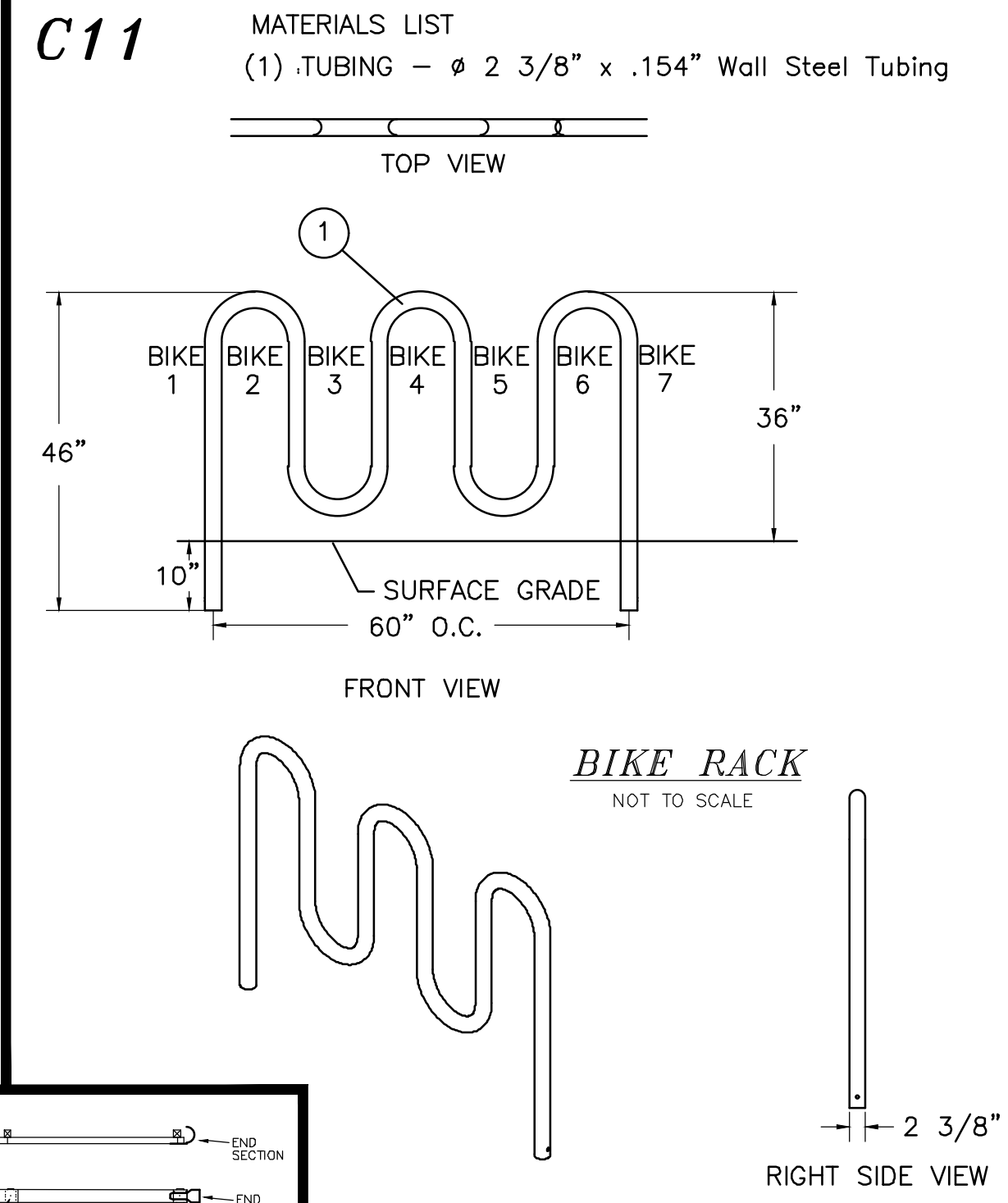
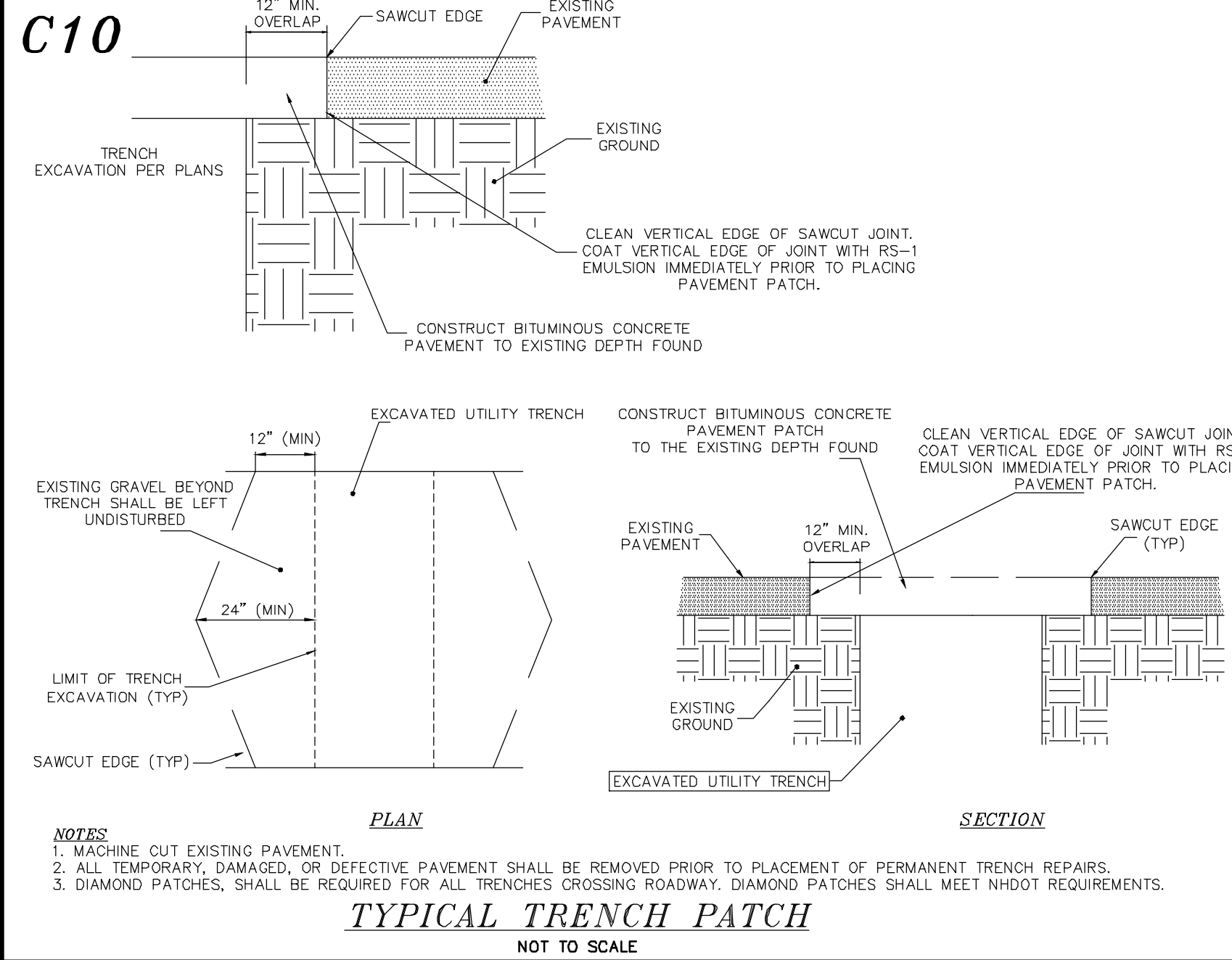
DATE: JUNE 14, 2021

FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

REGISTERED PROFESSIONAL ENGINEER

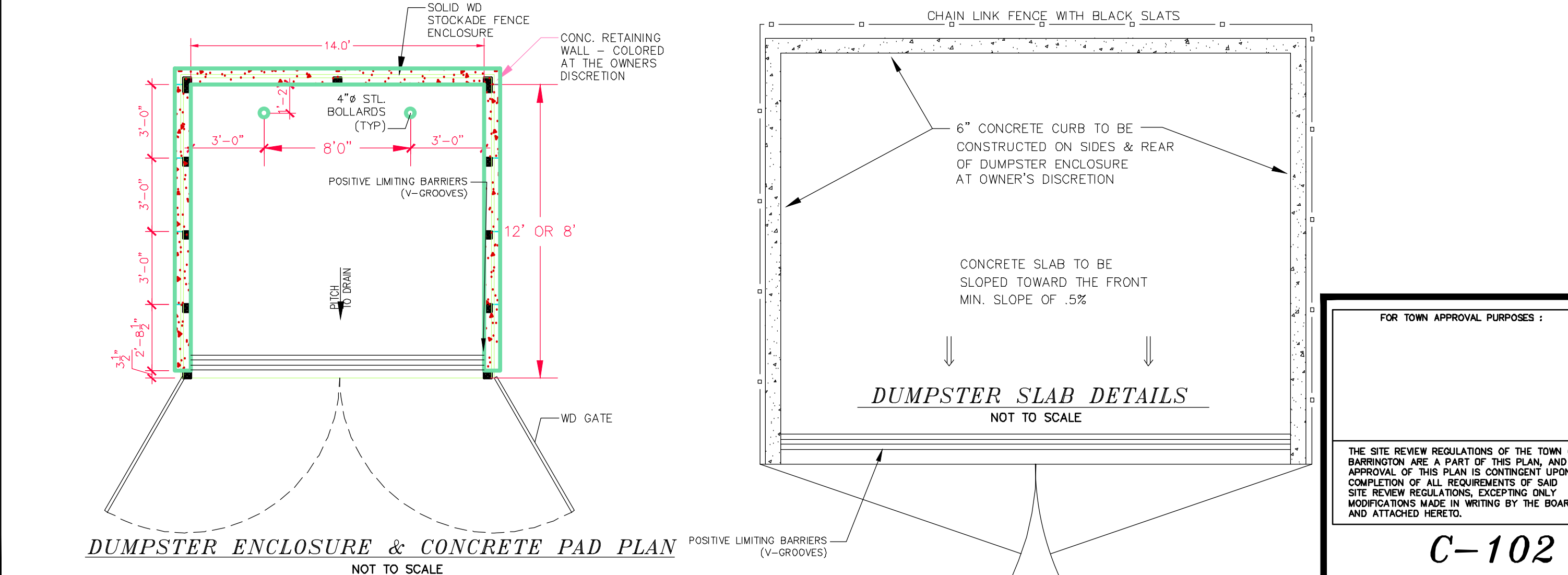


### 41" SERIES BLOCKS

|   |   |
|---|---|
| <p><b>Top - 28"</b><br/>Volume = 8.55 cft<br/>Weight = <math>\pm</math>1223 lbs<br/>C of G = 15.06"</p>     | <p><b>Half Top - 28"</b><br/>Volume = 4.13 cft<br/>Weight = <math>\pm</math>591 lbs</p>     |
| <p><b>Middle - 41"</b><br/>Volume = 16.44 cft<br/>Weight = <math>\pm</math>2351 lbs<br/>C of G = 20.92"</p> | <p><b>Half Middle - 41"</b><br/>Volume = 7.28 cft<br/>Weight = <math>\pm</math>1041 lbs</p> |
| <p><b>Bottom - 41"</b><br/>Volume = 17.37 cft<br/>Weight = <math>\pm</math>2483 lbs<br/>C of G = 21.3"</p>  | <p><b>Half Bottom - 41"</b><br/>Volume = 7.73 cft<br/>Weight = <math>\pm</math>1105 lbs</p> |

**Redi-Rock® International, LLC**  
**RETAINING WALL DETAIL**  
NOT TO SCALE

NOTE: RETAINING WALL TO BE DESIGNED BY A LICENSED PROFESSIONAL GEOTECHNICAL/STRUCTURAL ENGINEER.



|    |            |  |
|----|------------|--|
| #2 | 10-12-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |
| #1 | 08-30-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |

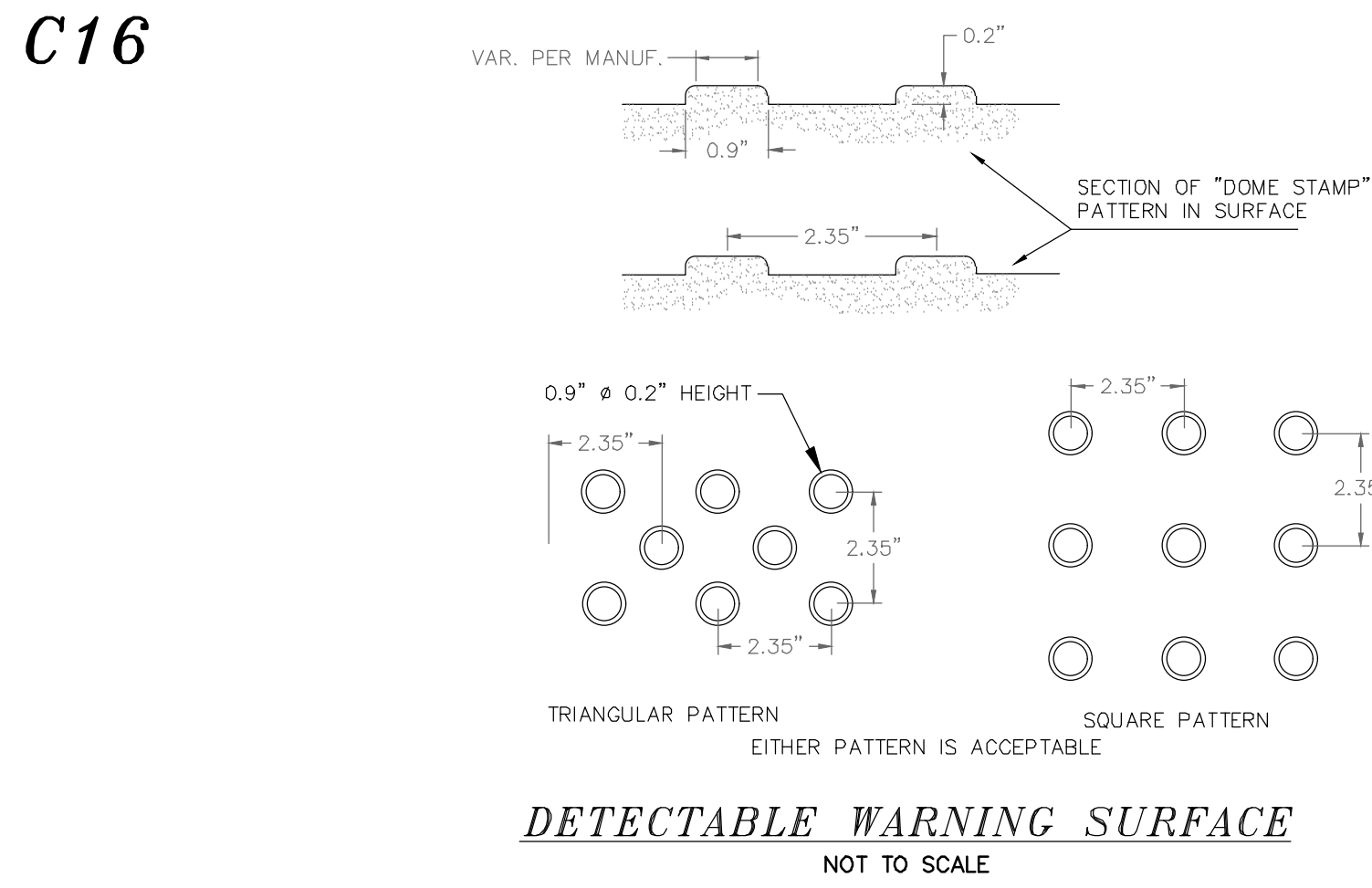
CONSTRUCTION DETAILS  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
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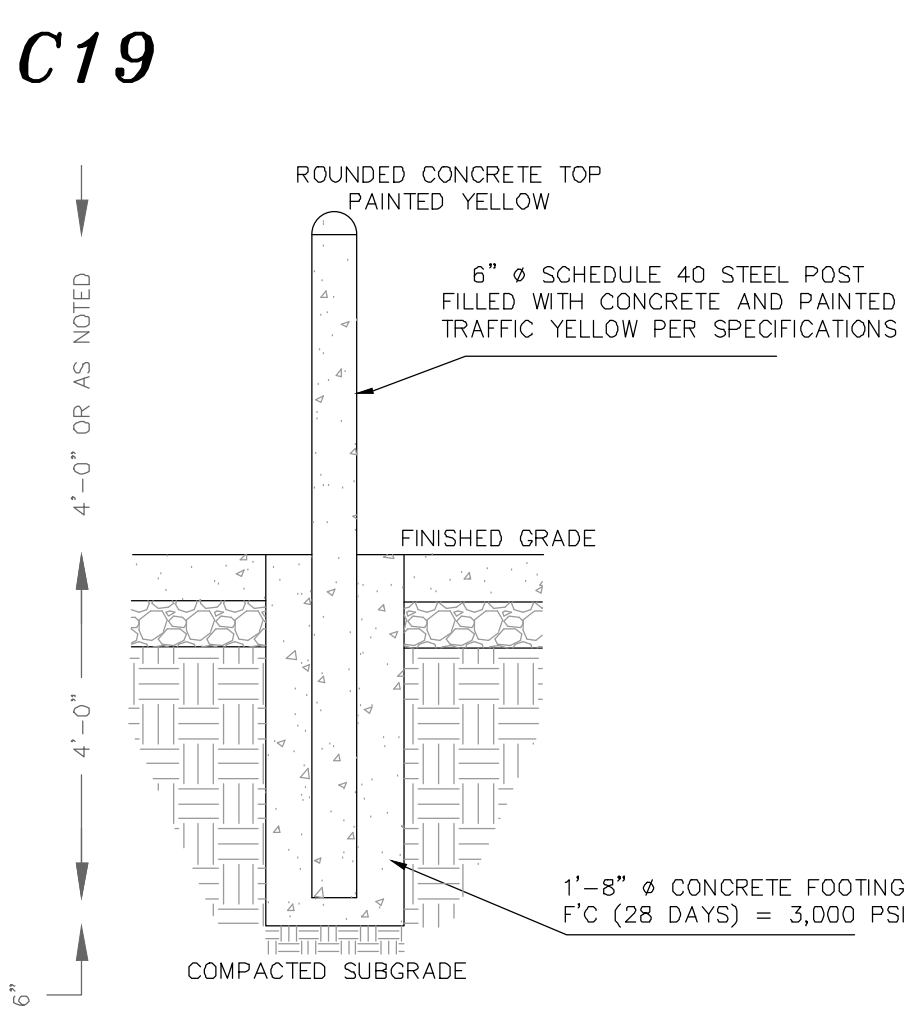
STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 1422  
LICENSED PROFESSIONAL ENGINEER

C-102  
SHEET 95 OF 109

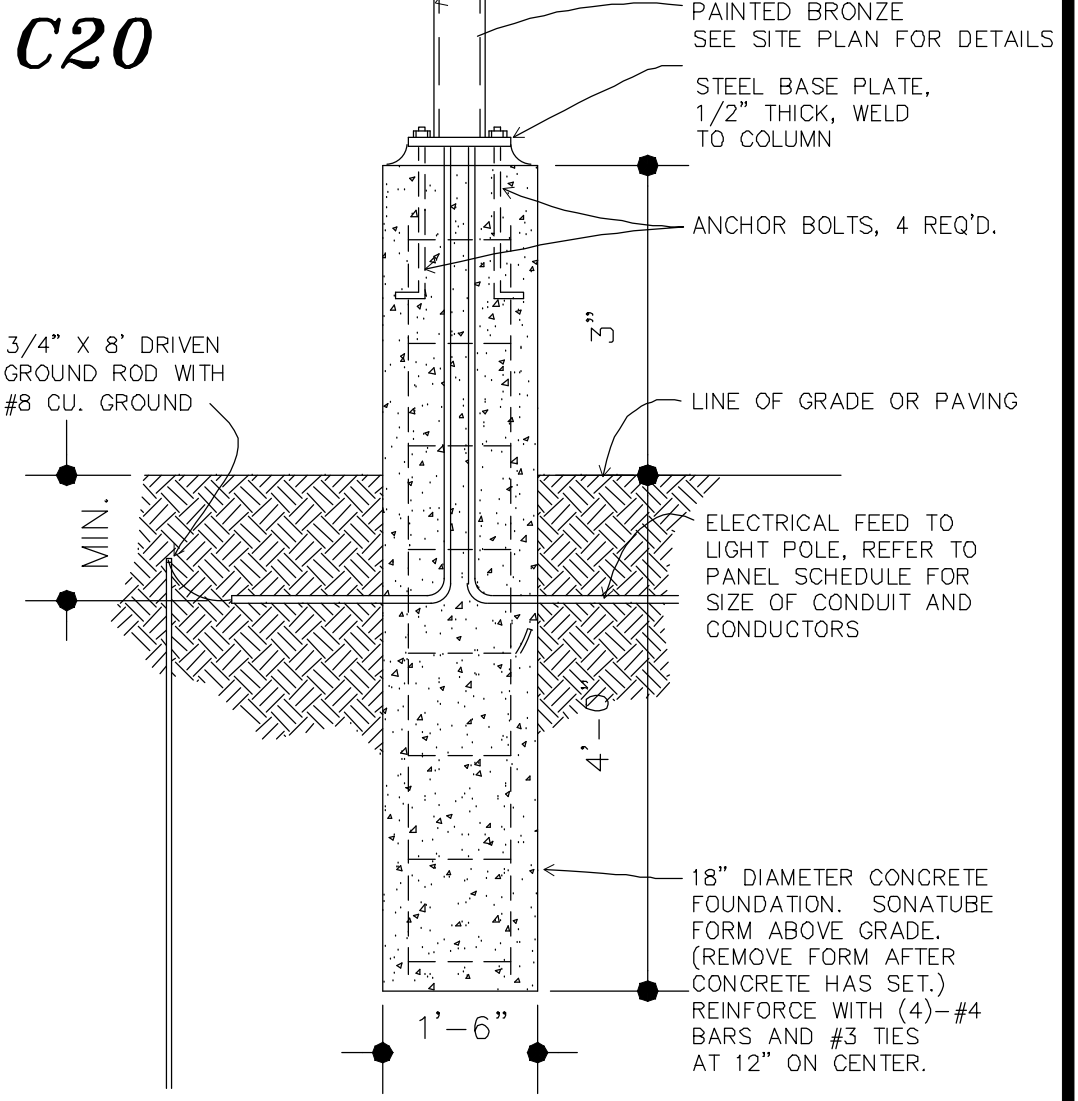




**DETECTABLE WARNING SURFACE**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE

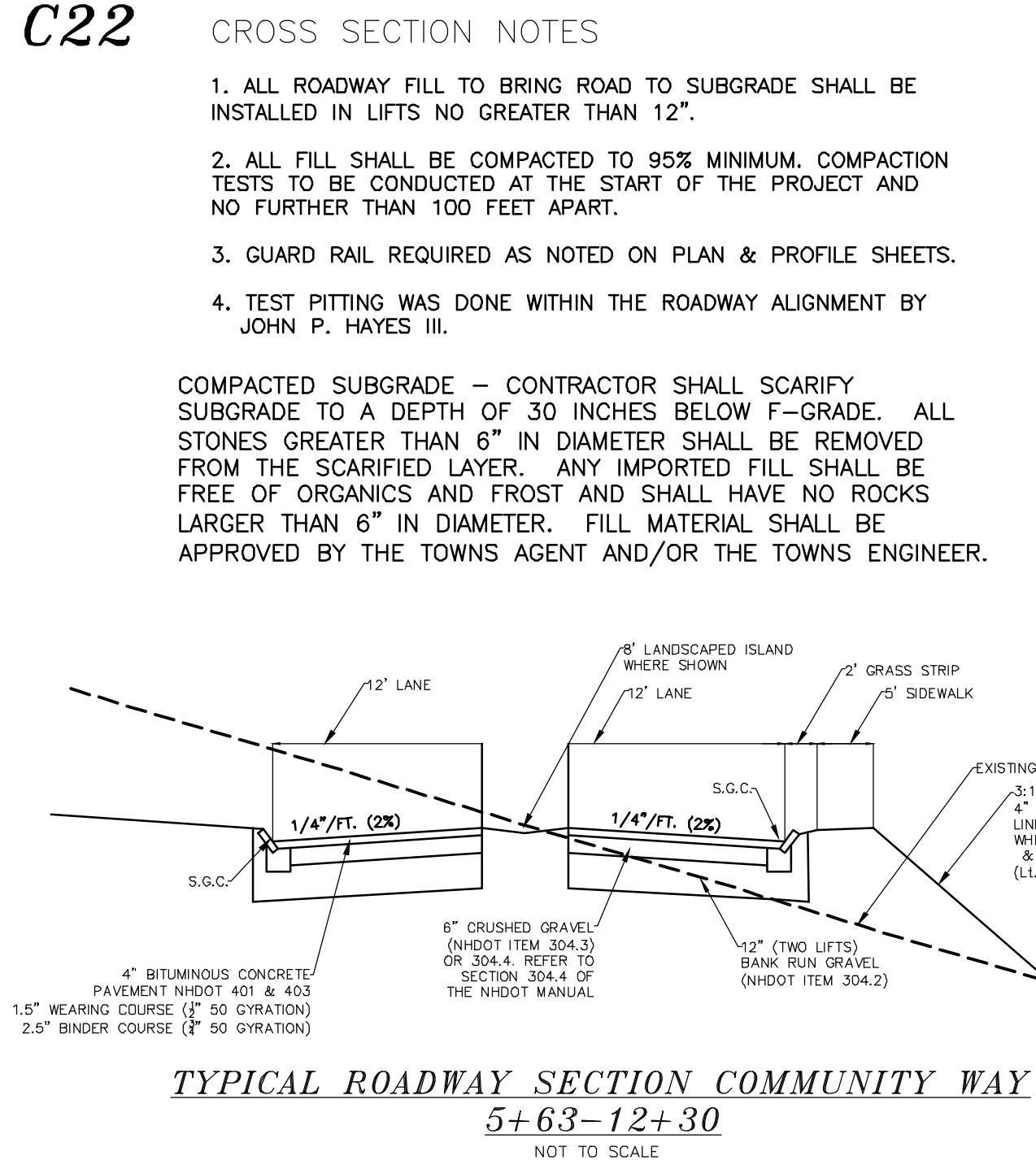


**POLE FOUNDATION LIGHT BASE DETAIL**  
NOT TO SCALE



FOR TOWN APPROVAL PURPOSES:

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### C17 Autobahn Series ATB0 Roadway Lighting

**PRODUCT OVERVIEW**

**Applications:**  
Roadways  
Off ramps  
Residential streets  
Parking lots

**FEATURES:**

**OPTICAL**  
Same Light: Performance is comparable to 70-250W HPS roadway luminaires.  
White Light: Correlated color temperature - 4000K, 70 CRI minimum, 3000K, 70 CRI minimum or optional 5000K, 70 CRI minimum.  
Unique IP65 rated LED light engines provided 0% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.

**ELECTRICAL**  
Expected Life: LED light engines are rated >100,000 hours at 25°C, L70. Electronic driver has an expected life of 100,000 hours at a 25°C ambient.  
Lower Energy: Saves an expected of 40-60% over comparable HID luminaires.  
Robust Surge Protection: Three different surge protection options provide a minimum of ANSI C136.2 10kV/5kA protection. 20kV/10kA protection is also available.

**MECHANICAL**  
Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easily leveling at installation.  
Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 7 (per ASTM D1654) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117).  
Max arm mount is adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Provides a 3G vibration rating per ANSI C136.31.  
Wildlife shield is cast into the housing (not a separate piece).

**CONTROLS**  
NEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 7 pin receptacle optionally available.  
Premium solid state locking style photocontrol - PCSS (10 year rated life) Extreme long life solid state locking style photocontrol - PCLL (20 year rated life).  
Multi-level dimming available to provide scheduled dimming as specified by the customer.  
Optional onboard Adjustable Output module allows the light output and input wattage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.

**STANDARDS**  
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.  
Color temperatures of ≤ 3000K must be specified for International Dark-Sky Association certification.  
Rated for -40°C to 40°C ambient  
CSA Certified to U.S. and Canadian standards  
Complies with ANSI C136.2, C136.10, C136.14, C136.31, C136.35, C136.37

**DIMENSIONS**

Effective Projected Area (EPA): The EPA for the ATB0 is 0.76 sq. ft. Approx. Wt. = 14 lbs.

LAMP "B" MOUNTED 15'

### C18 WSQ LED Architectural Wall Sconce

**Specifications**

**Luminaire**  
Height: 9.3 1/8" (23.8 cm)  
Width: 18" (45.7 cm)  
Depth: 9" (22.8 cm)  
Weight: 17 lbs (7.7 kg)

**Optional Back Box (BBW)**  
Height: 4" (10.2 cm)  
Width: 5-1/2" (14.0 cm)  
Depth: 1-1/2" (3.8 cm)

**Ordering Information**

| Series  | Performance Package | Color Temperature | Distribution | Voltage                  | Mounting                       | Options  | Finish (required)   |
|---------|---------------------|-------------------|--------------|--------------------------|--------------------------------|--|---|
| WSQ LED | P1                  | 30K               | S2 Type I    | 120                      | Shipped separately<br>back box | E1<br>Photoelectric cell, button type**<br>E2<br>Single line (120, 277, 347V) †<br>E3<br>Double line (208, 240, 480V) †<br>E4<br>0-10v dimming wires pulled outside fixture for use with all external control, external dimmer.<br>E5<br>Emergency battery backup, Certified in CA Title 20 (MAGBES 100W, 20%) †<br>E6<br>Emergency battery backup, Certified in CA Title 20 (MAGBES 100W, 20%) †<br>E7<br>Wet location door for up orientation**<br>E8<br>Motion/ambient light sensor †<br>E9<br>Dual switching †<br>E10<br>SRP - Surge Protection †<br>E11<br>Shipped separately<br>E12<br>Lendal guard<br>E13<br>Wire guard | DBD00   |
|         | P2                  | 40K               | S2 Type I    | 120                      |                                |  | DBD01   |
|         | P3                  | 50K               | S4 Type V    | 208                      |                                |  | DBD02   |
|         | P4                  |                   |              | 240<br>277<br>347<br>480 |                                |  | DBD03<br>DBD04<br>DBD05<br>DBD06<br>DBD07<br>DBD08<br>DBD09<br>DBD10<br>DBD11<br>DBD12<br>DBD13<br>DBD14<br>DBD15<br>DBD16<br>DBD17<br>DBD18<br>DBD19<br>DBD20<br>DBD21<br>DBD22<br>DBD23<br>DBD24<br>DBD25<br>DBD26<br>DBD27<br>DBD28<br>DBD29<br>DBD30<br>DBD31<br>DBD32<br>DBD33<br>DBD34<br>DBD35<br>DBD36<br>DBD37<br>DBD38<br>DBD39<br>DBD40<br>DBD41<br>DBD42<br>DBD43<br>DBD44<br>DBD45<br>DBD46<br>DBD47<br>DBD48<br>DBD49<br>DBD50<br>DBD51<br>DBD52<br>DBD53<br>DBD54<br>DBD55<br>DBD56<br>DBD57<br>DBD58<br>DBD59<br>DBD60<br>DBD61<br>DBD62<br>DBD63<br>DBD64<br>DBD65<br>DBD66<br>DBD67<br>DBD68<br>DBD69<br>DBD70<br>DBD71<br>DBD72<br>DBD73<br>DBD74<br>DBD75<br>DBD76<br>DBD77<br>DBD78<br>DBD79<br>DBD80<br>DBD81<br>DBD82<br>DBD83<br>DBD84<br>DBD85<br>DBD86<br>DBD87<br>DBD88<br>DBD89<br>DBD90<br>DBD91<br>DBD92<br>DBD93<br>DBD94<br>DBD95<br>DBD96<br>DBD97<br>DBD98<br>DBD99<br>DBD100 |

**Emergency Battery Operation**

The emergency battery backup (E5/E6) is integral to the luminaire - no external housing required. This design provides reliable emergency operation while maintaining the aesthetics of the product. All E5/E6 & E10W configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per *International Building Code Section 1310* and *IFPE 701 Life Safety Code Section 7.0*, provided luminaires are mounted at an appropriate height and luminaires are open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package. Type 'H' product in emergency mode.

WSQ P1 LED 40K SRP MVOLT 240V 12" x 18" Gridless 8' and 12' Mounting Height

**NOTES**

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Not available with 480V option.
- PE option is voltage specific.
- Single line PE requires 200V, 277V or 347V options. Double line (DL) requires 208V, 240V or 480V options.
- Not available with SRP or 480V. Not available with WLU.
- WLU not available with P1, E20W, or E10W.
- See P18 Tables for default settings.
- Only available with P3 & P4 packages. Provides 50/50 luminaire operation via two independent drivers and light engines on two separate drivers. Not available with E50W, E10W, WLU, SRP, or DL. When ordered with photocontrol (PC) or motion sensor (PS), only the primary power source leads will be controlled.
- See electrical section on page 2 for more details.

LAMP "C" MOUNTED 12'

REVISION PER CMA ENGINEERS & NHDES AOT COMMENT  
08-30-2021

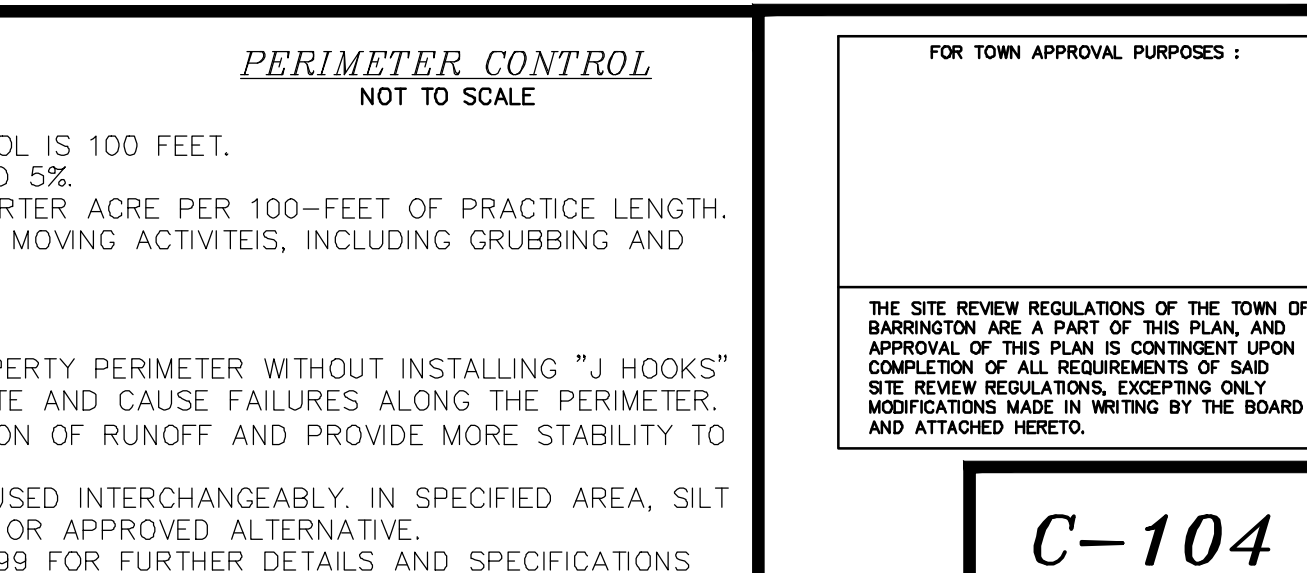
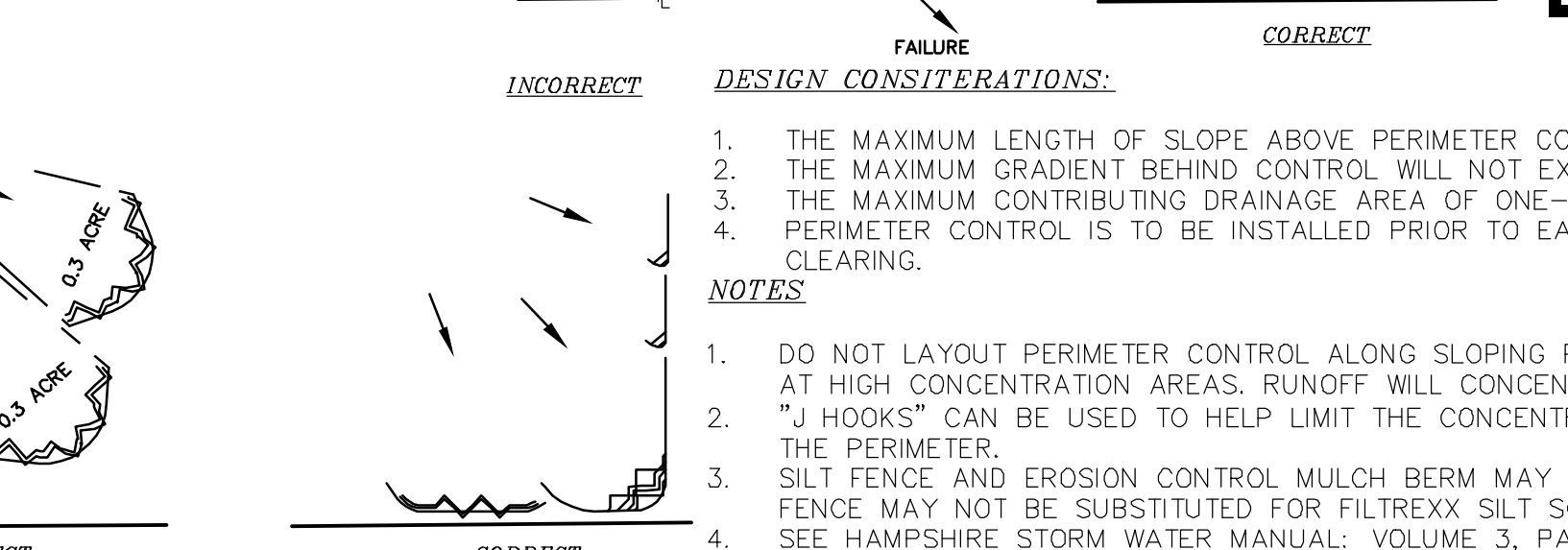
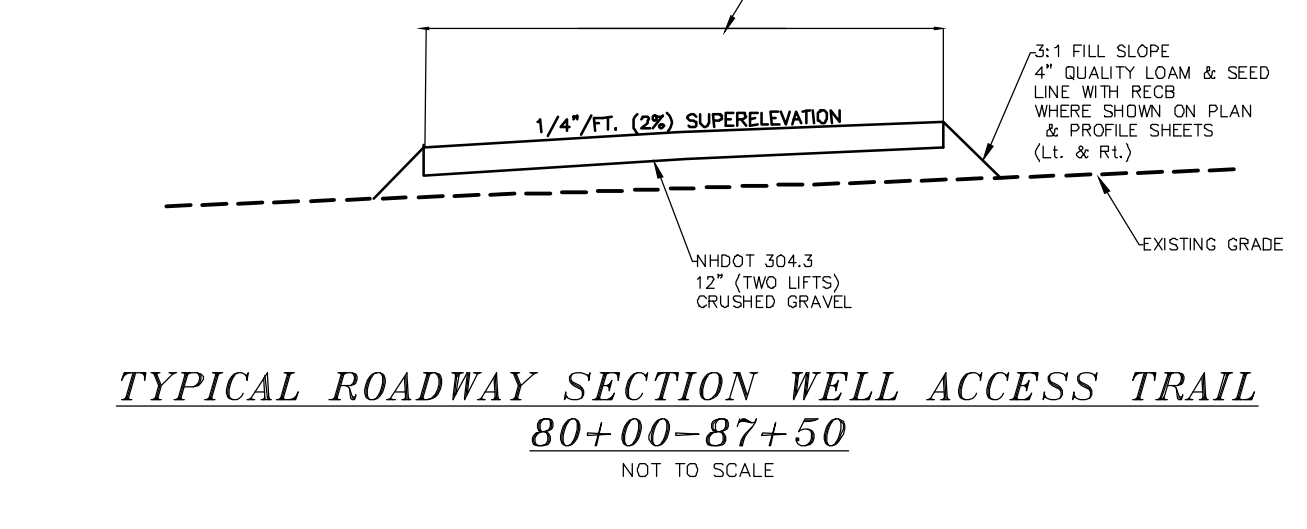
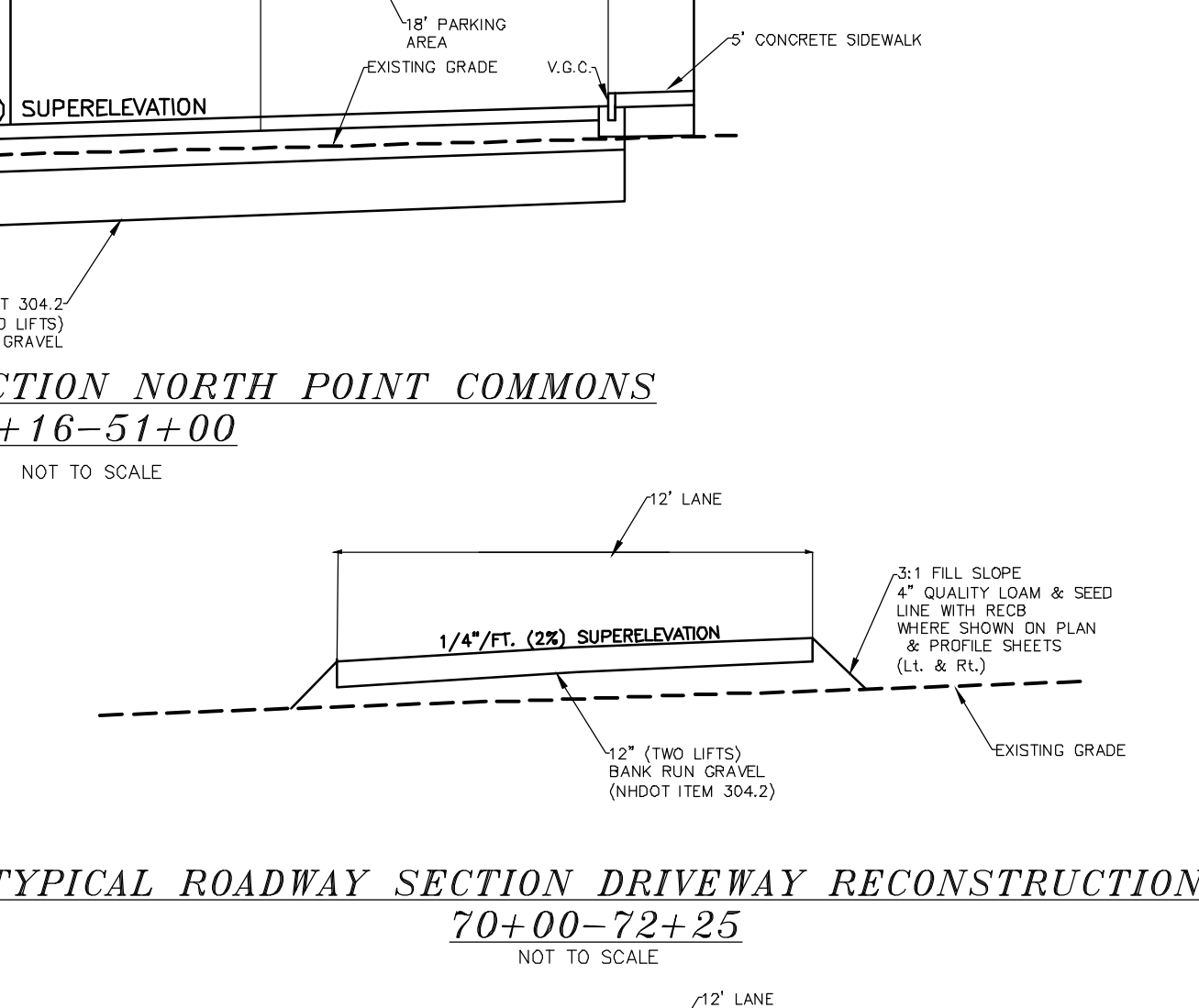
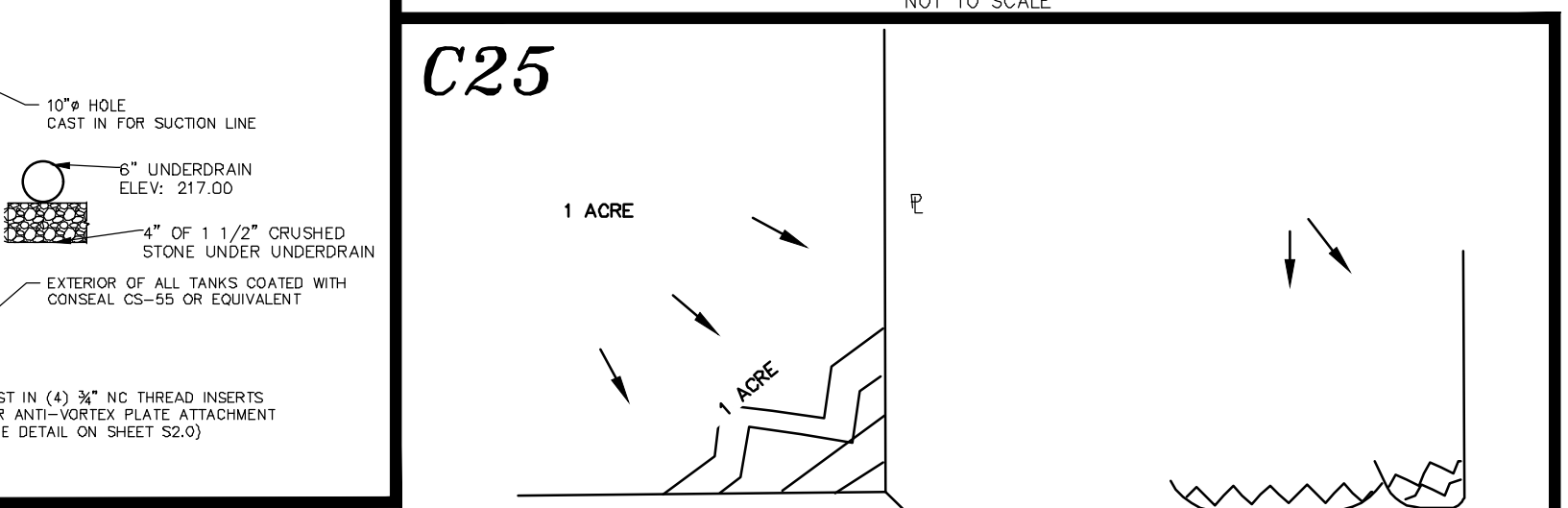
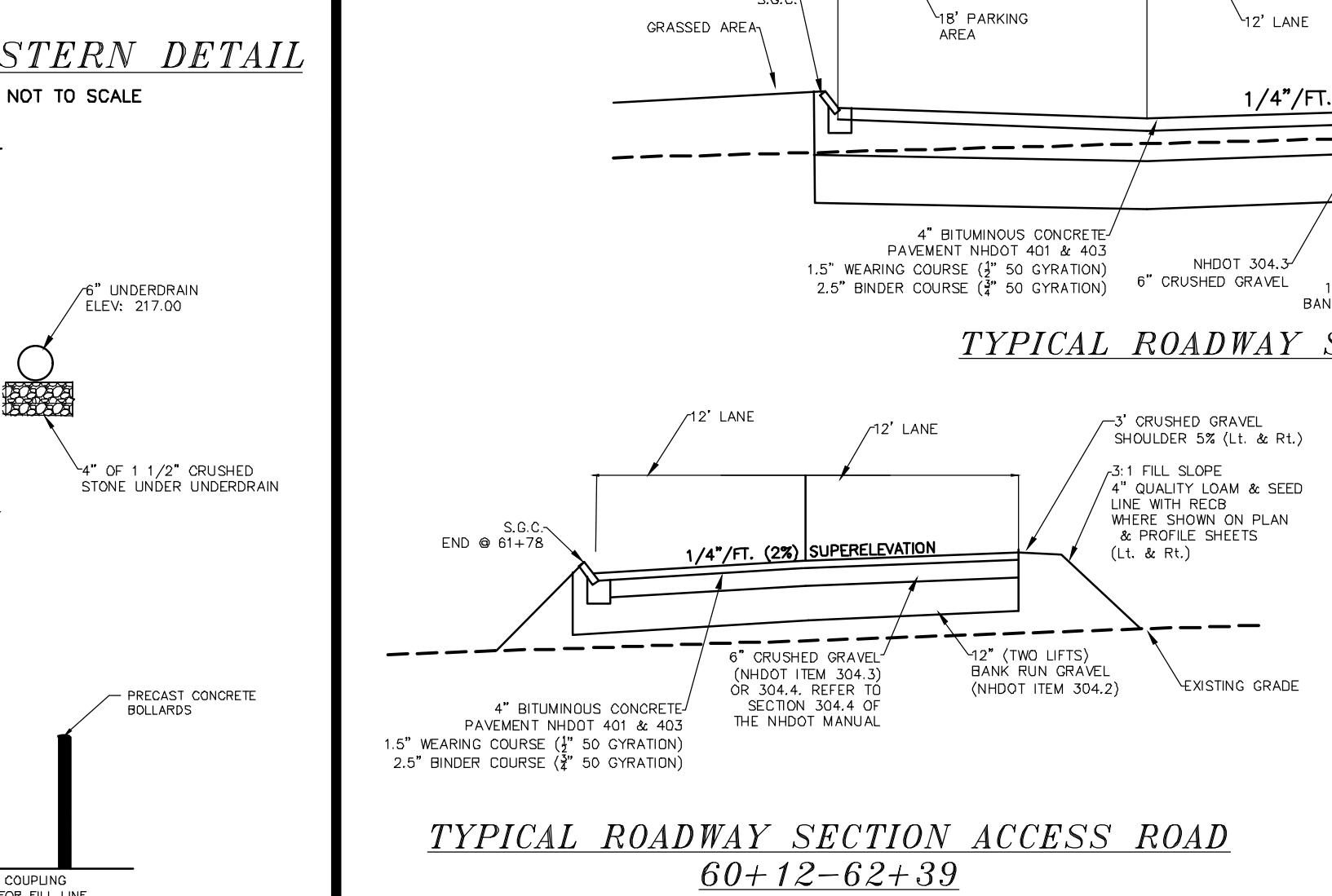
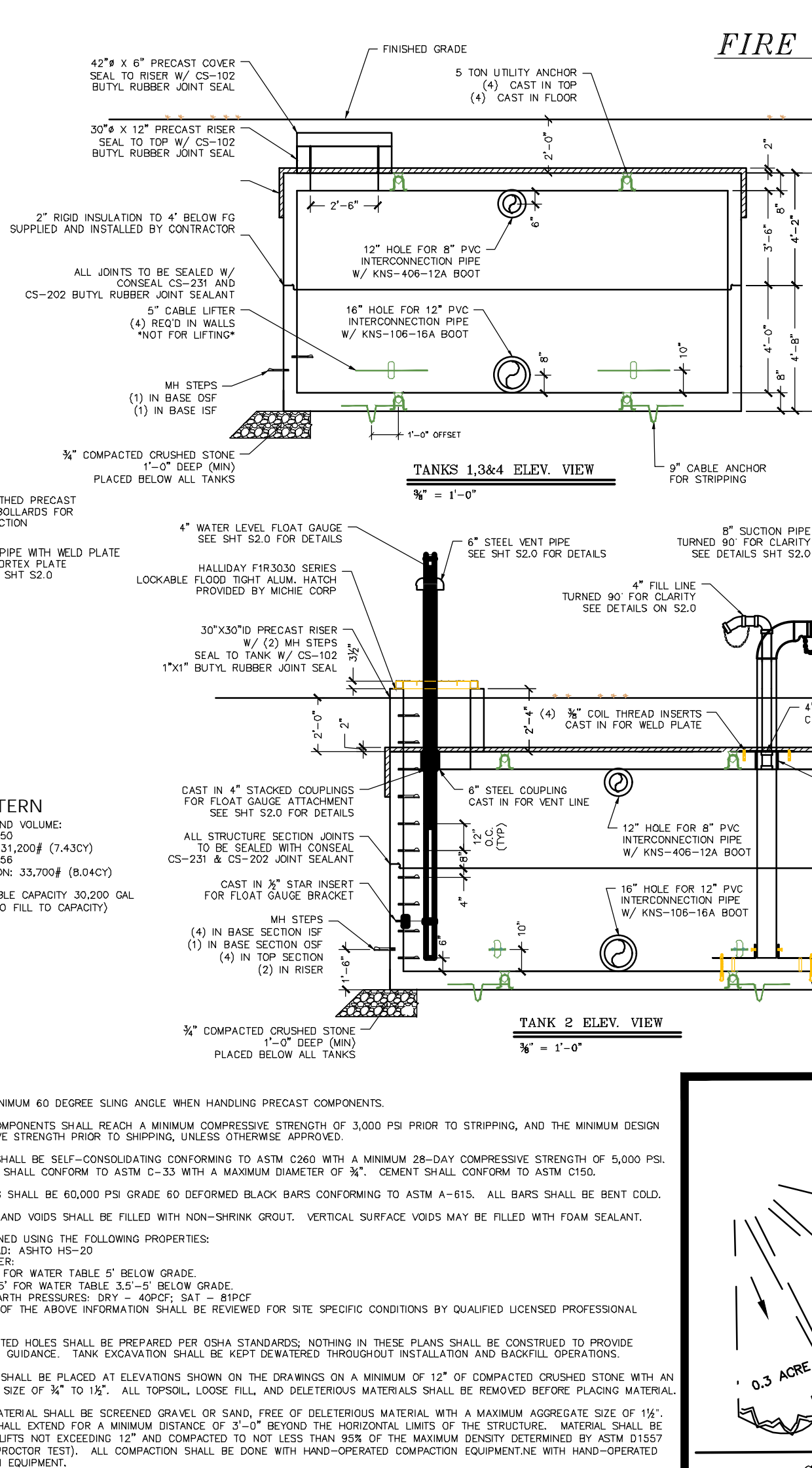
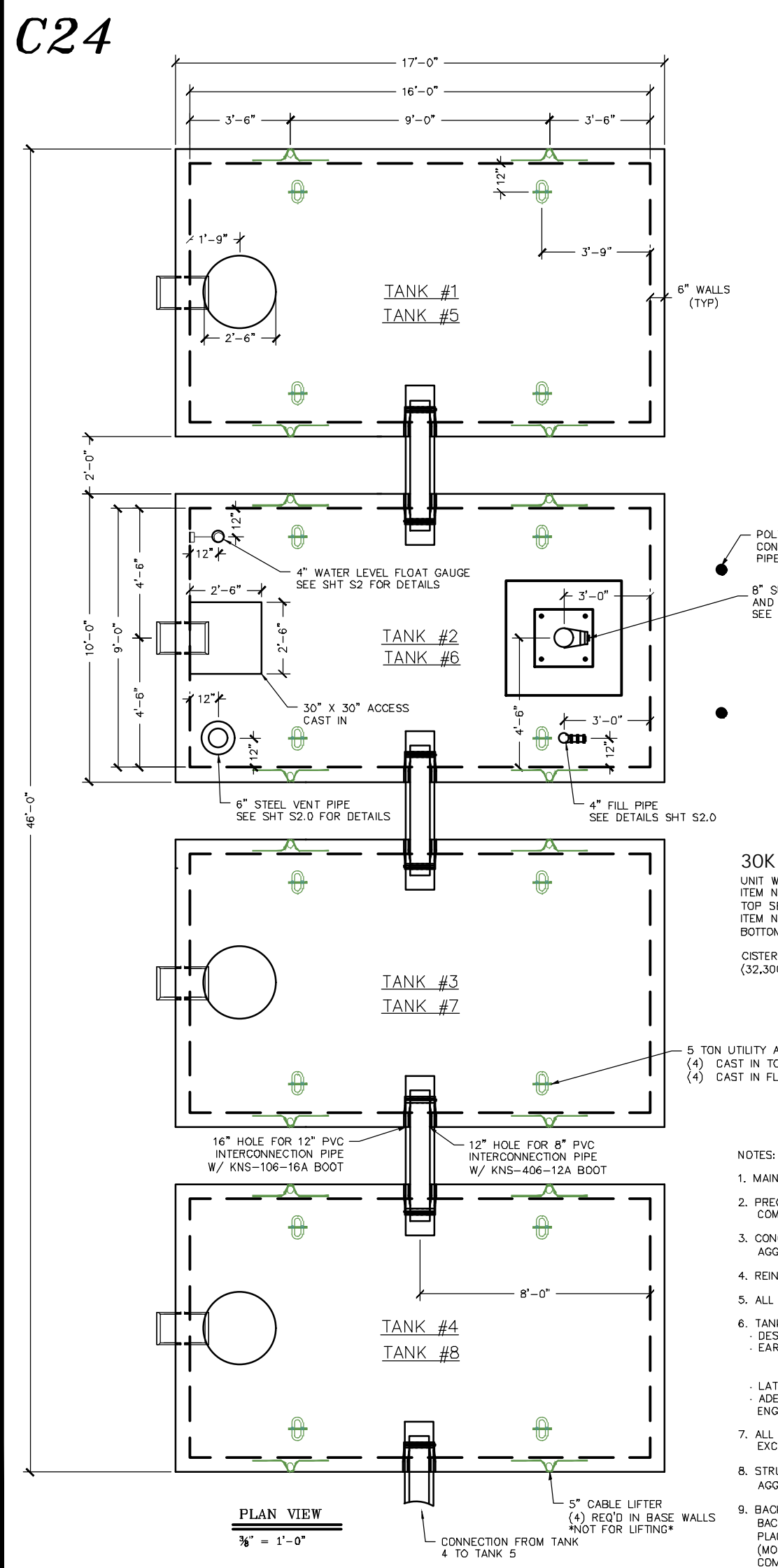
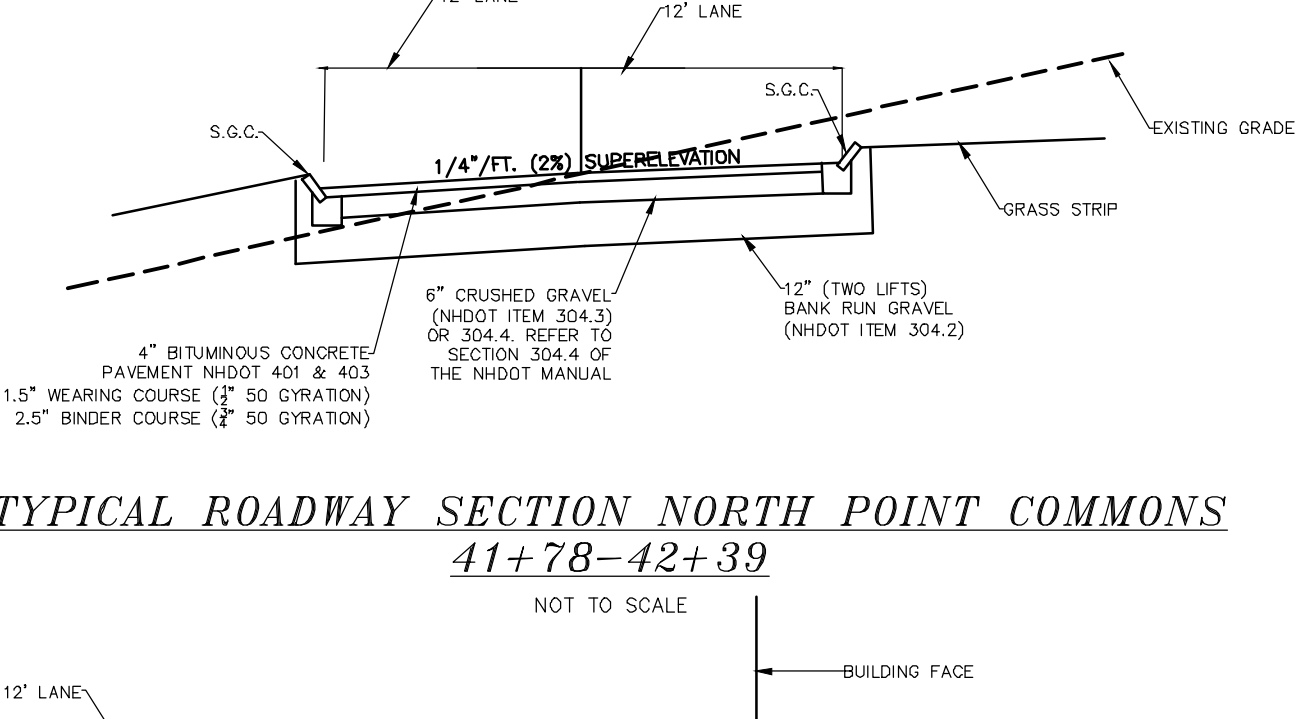
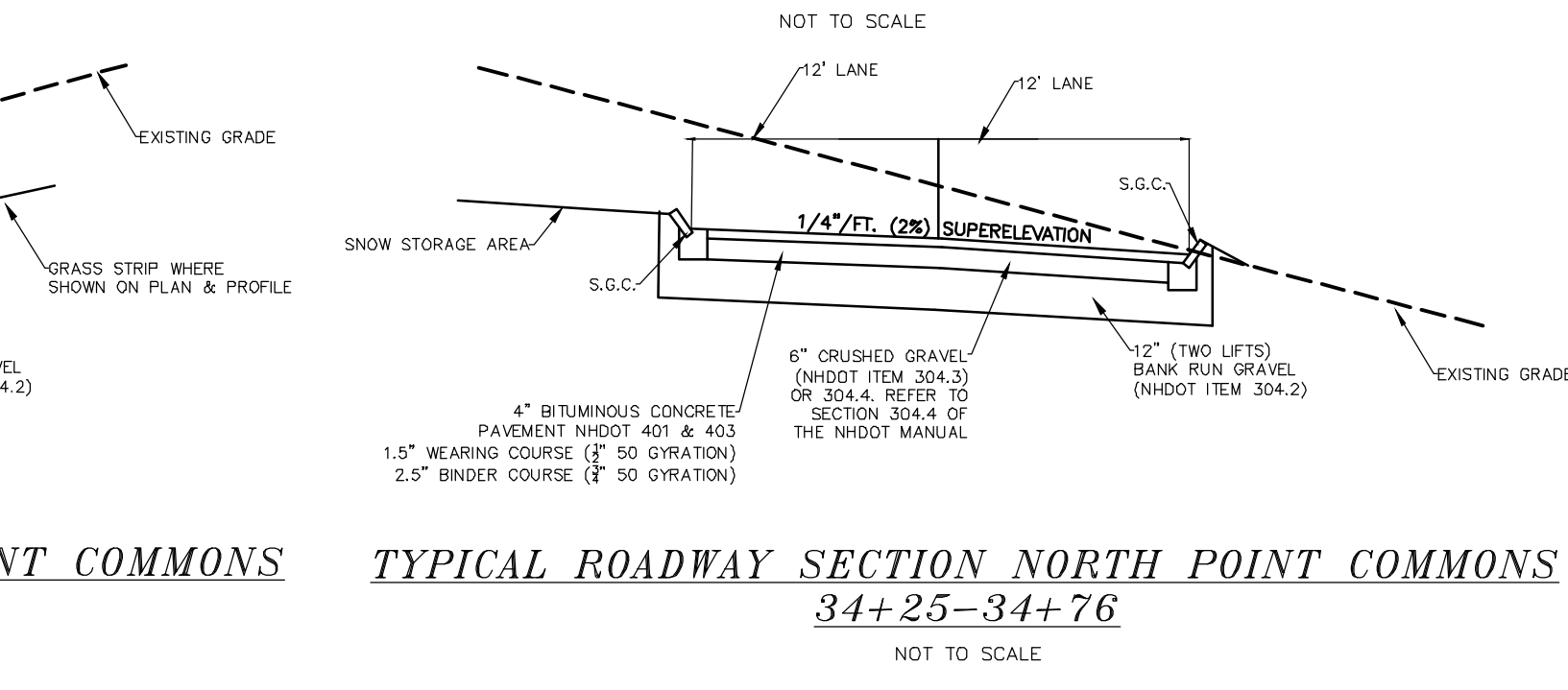
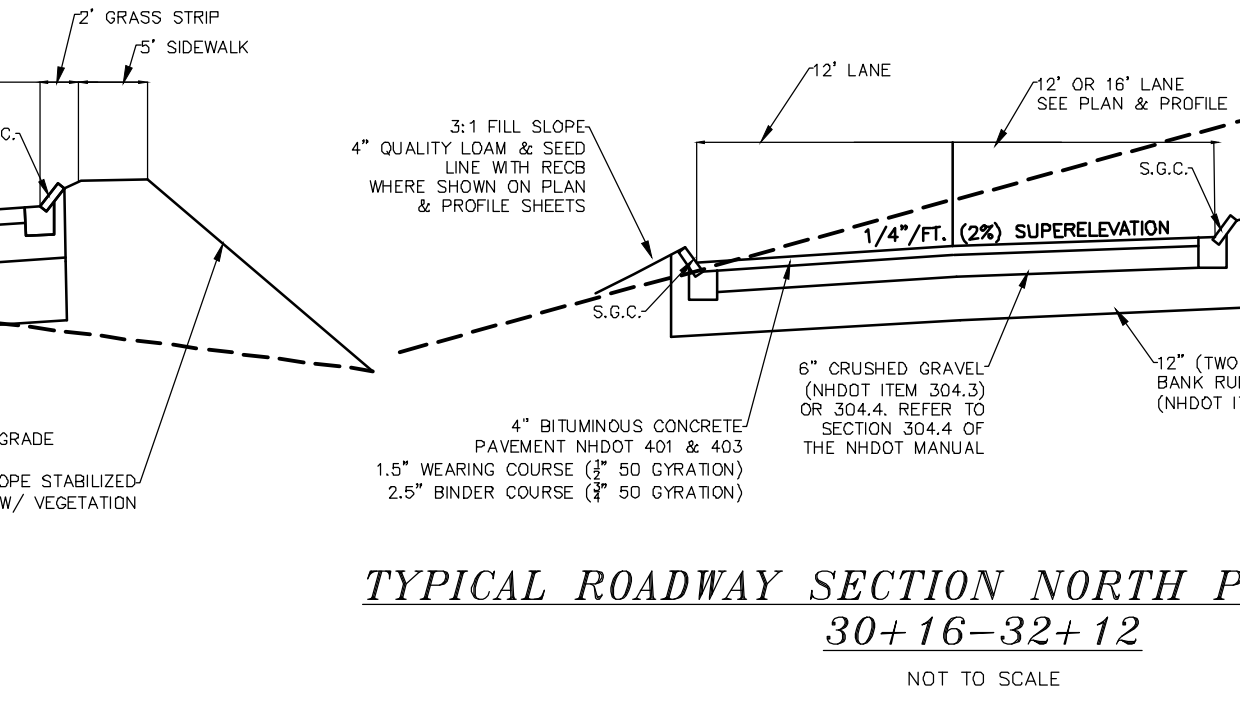
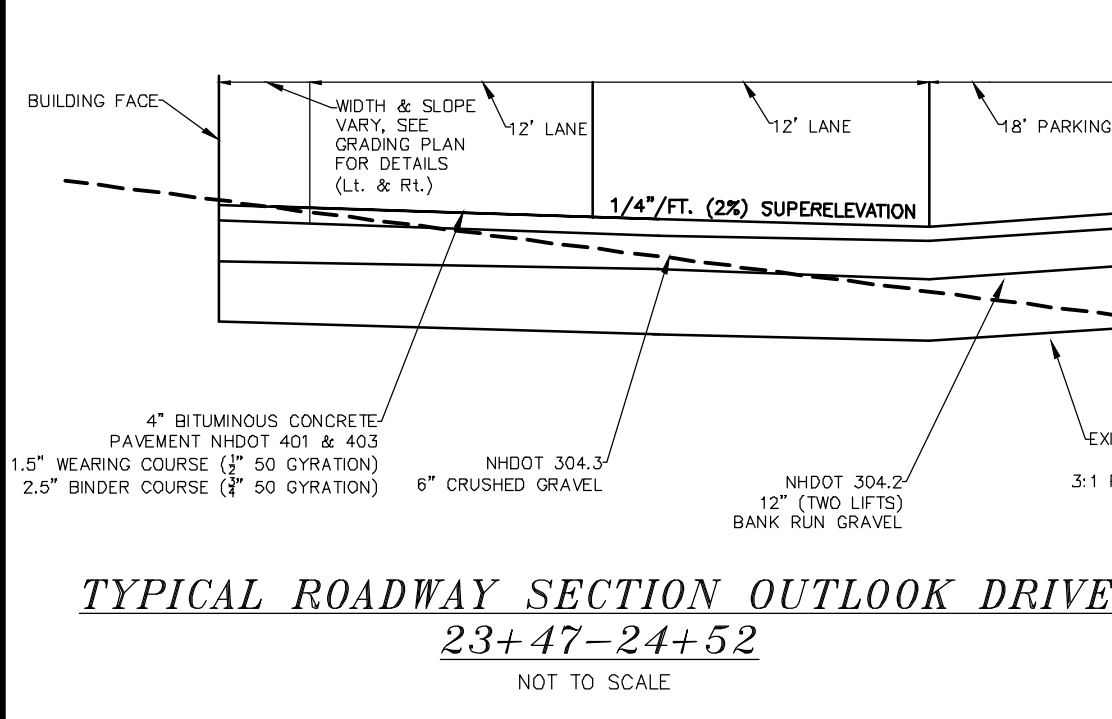
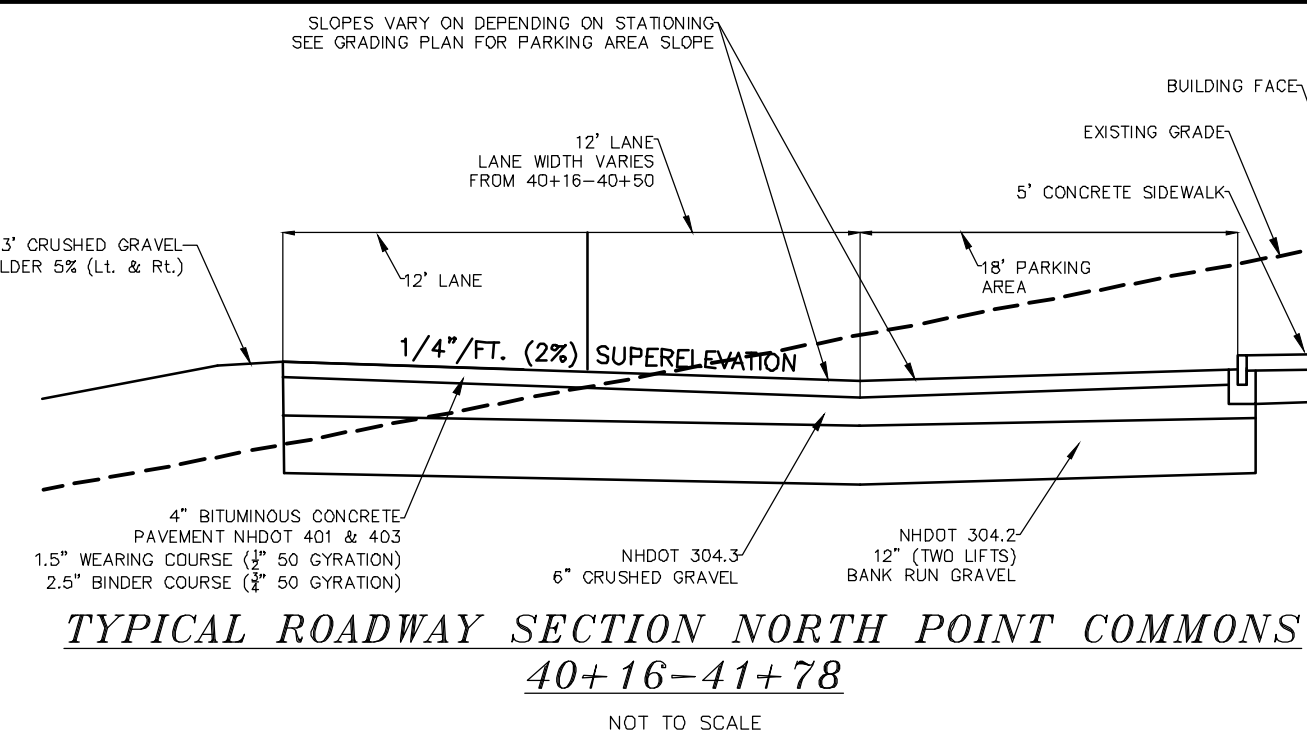
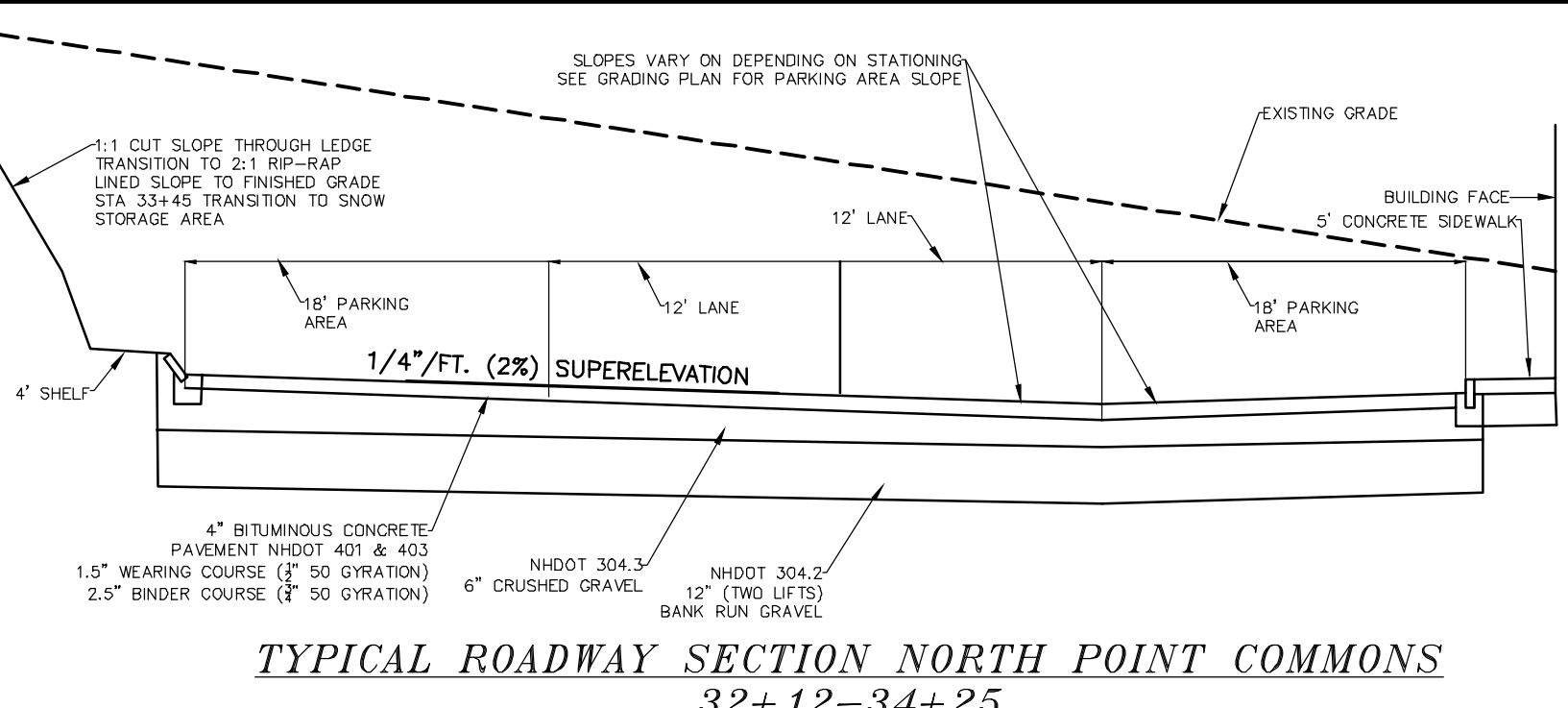
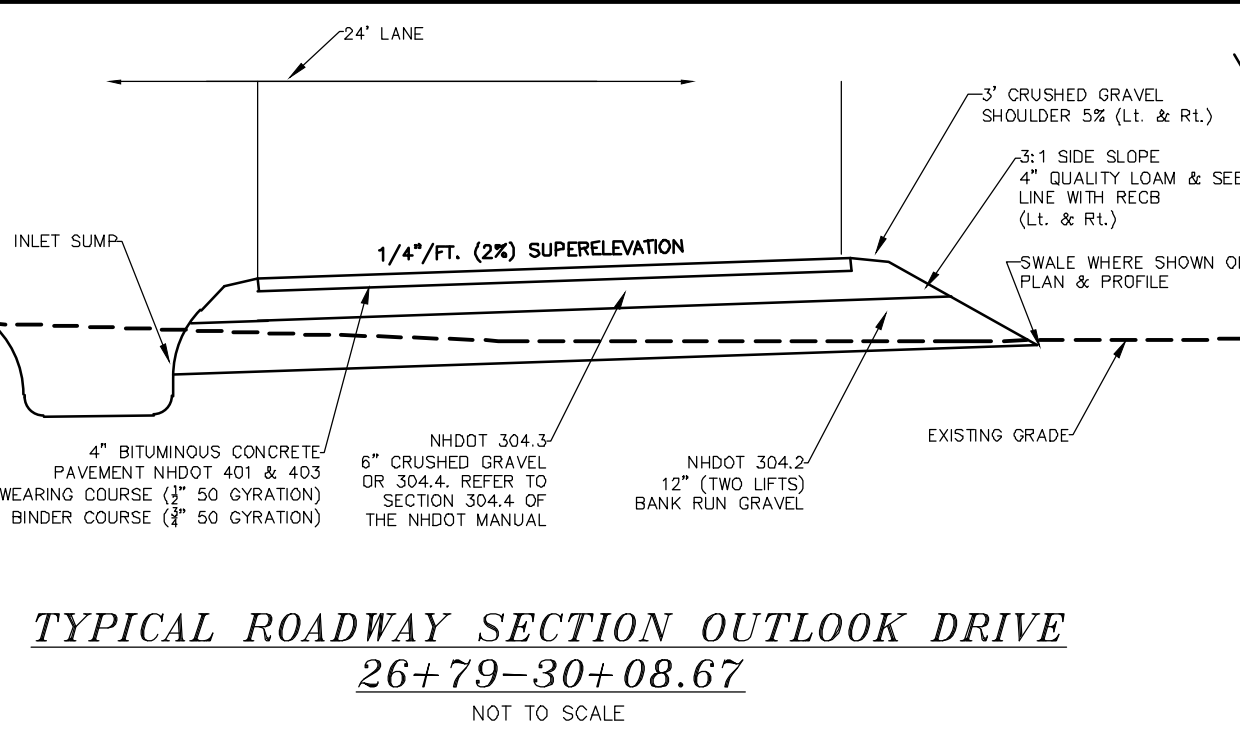
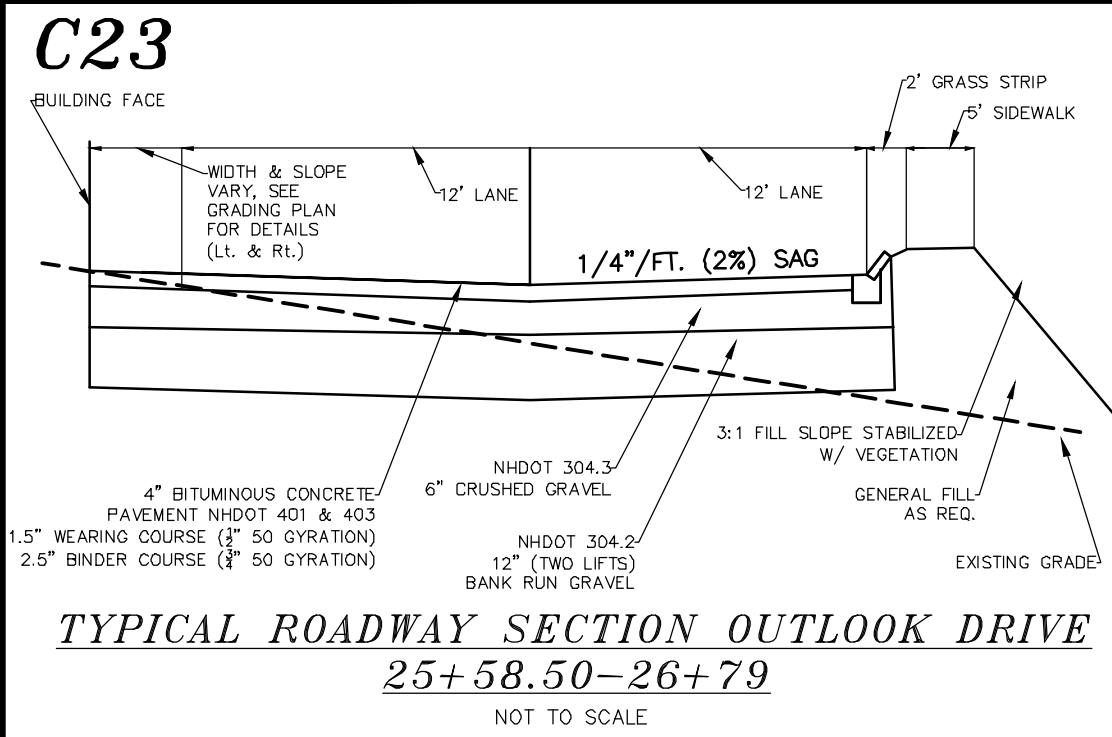
REVISION PER CMA ENGINEERS & NHDES AOT COMMENT  
10-12-2021

CONSTRUCTION DETAILS  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
AS NOTED

DATE: JUNE 14, 2021  
FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 1422  
LICENSED ENGINEER

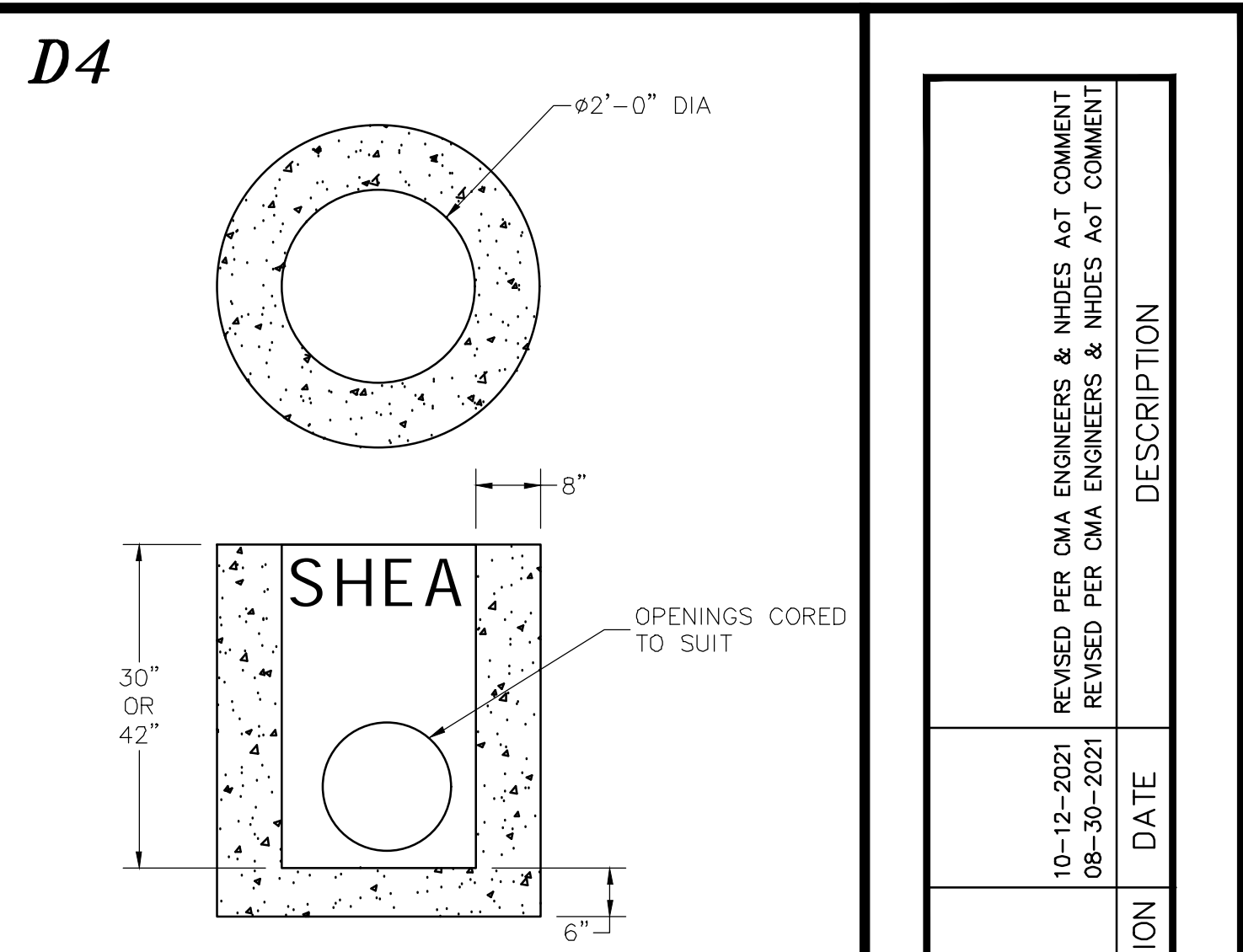
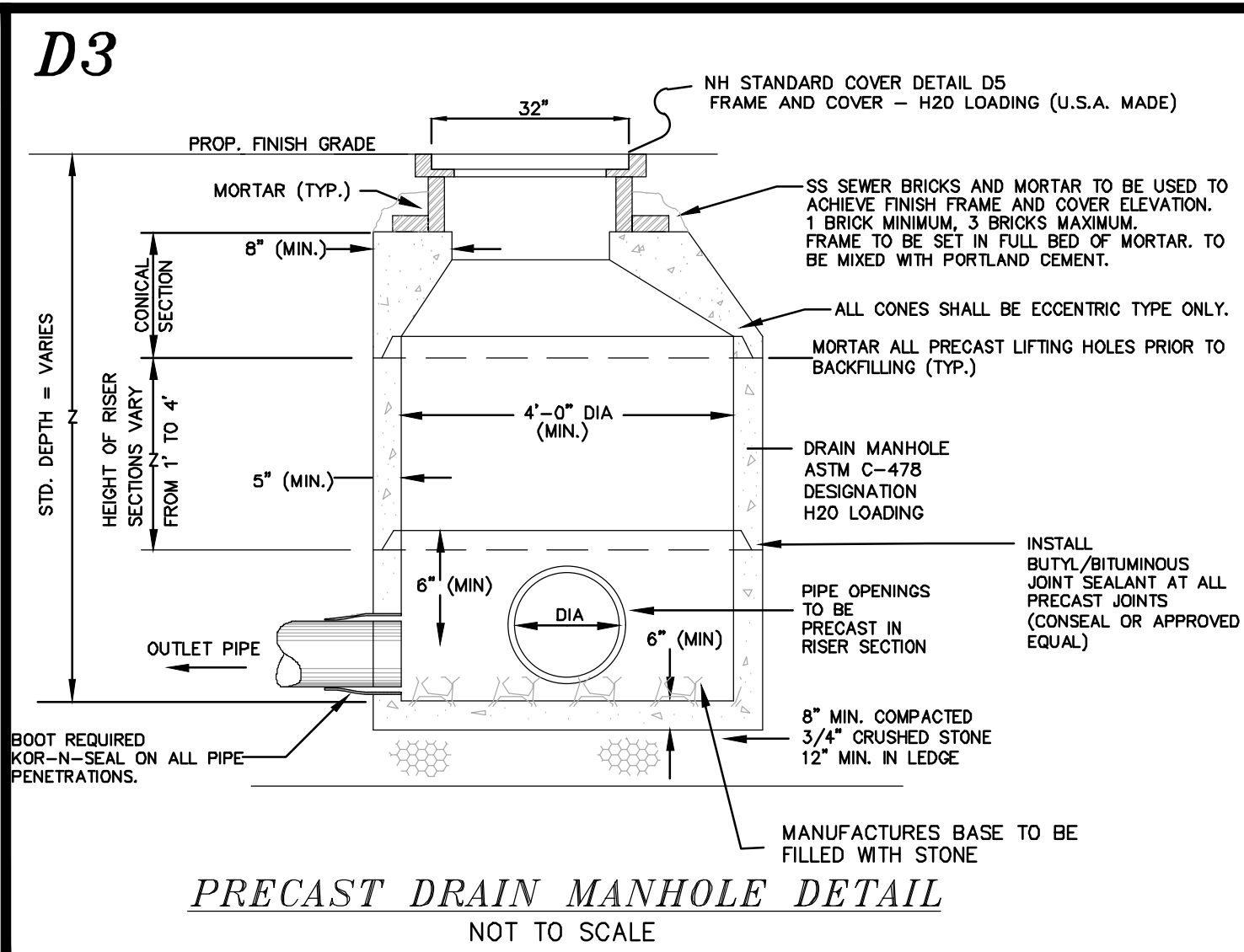
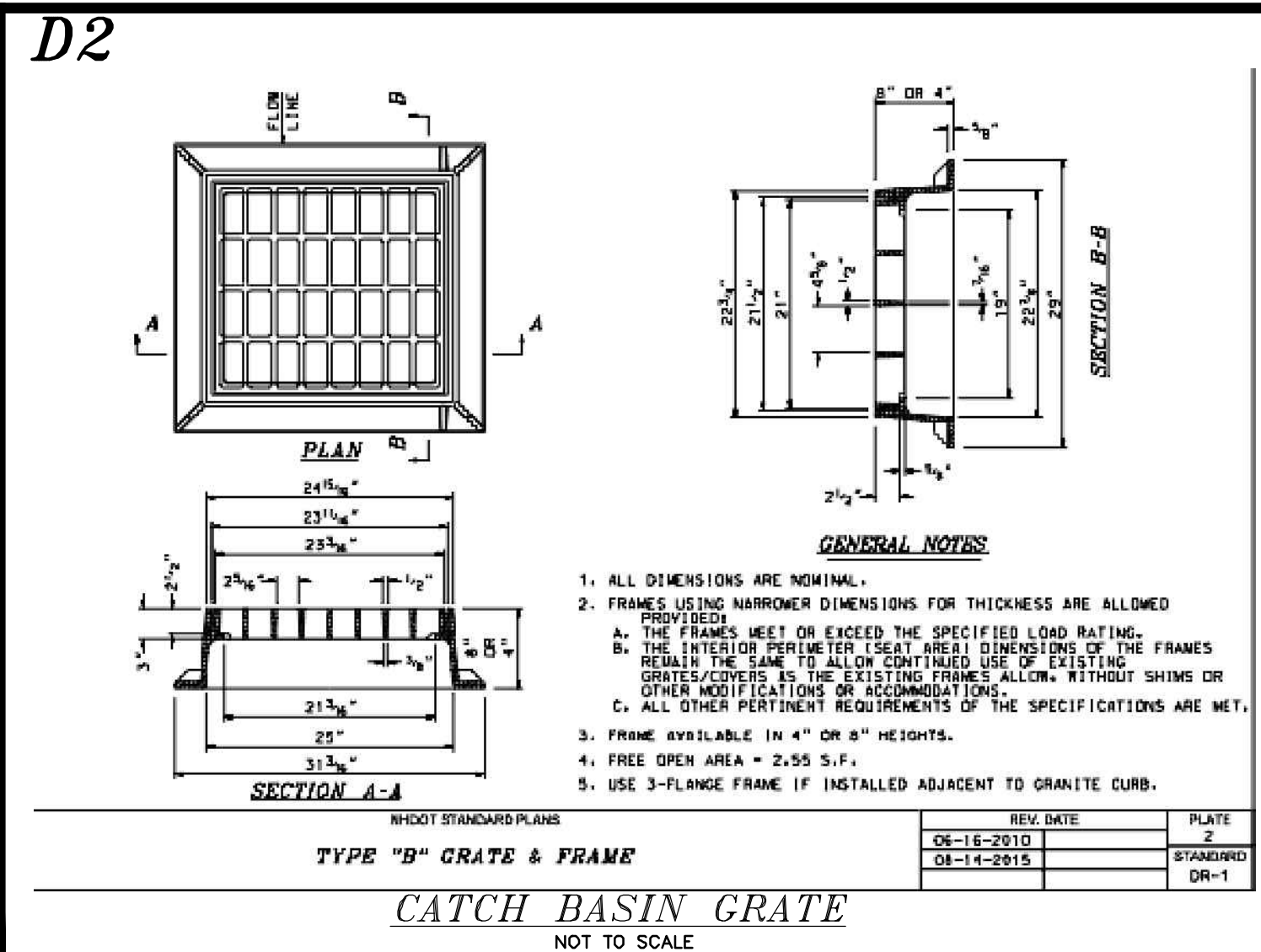
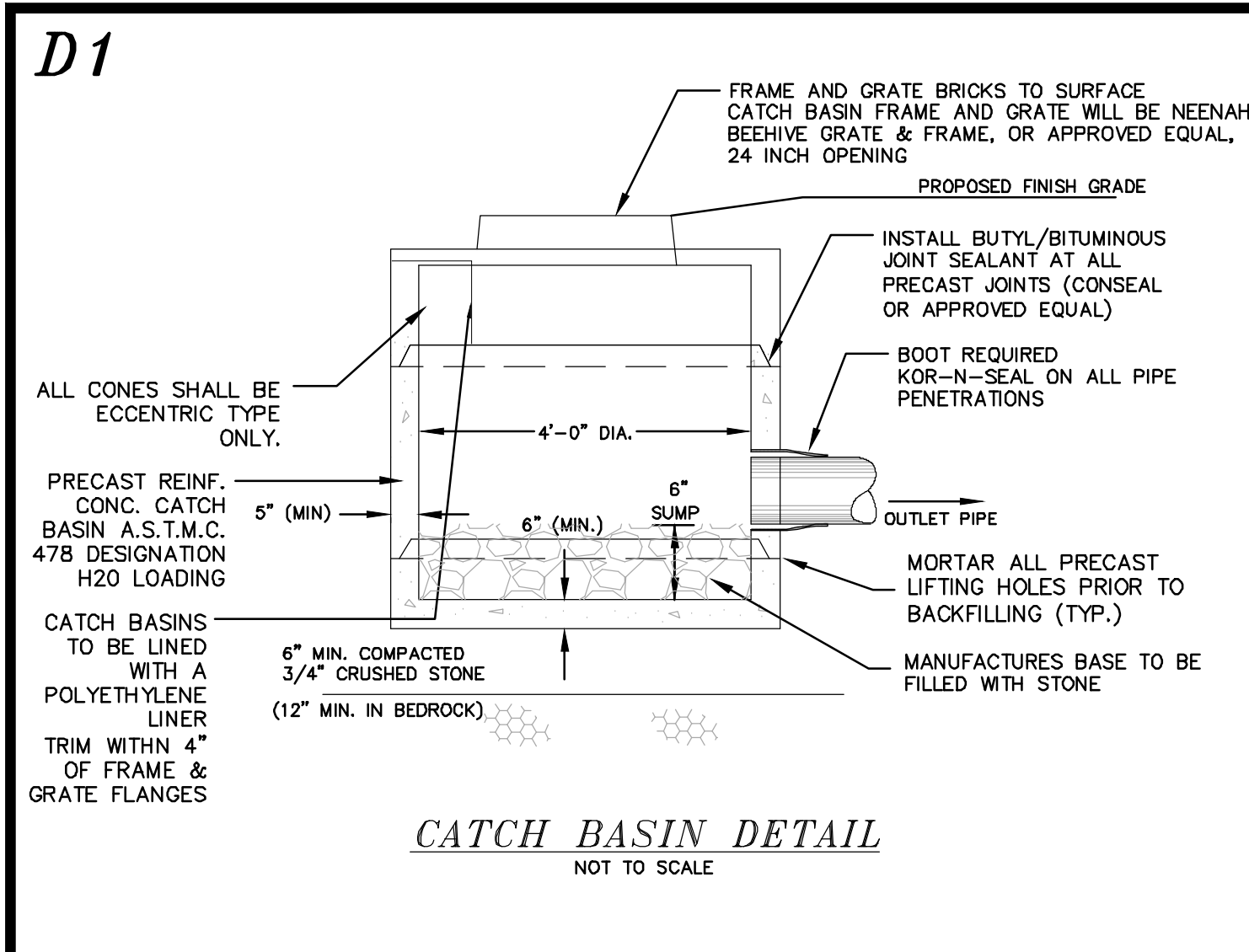


| #          | REVISION                                      | DATE | DESCRIPTION |
|------------|---|------|-------------|
| 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |      |             |
| 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |      |             |

CONSTRUCTION DETAILS  
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 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE: AS NOTED  
 DATE: JUNE 14, 2021  
 FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE  
 KENNETH A. BERRY  
 No. 74122  
 LICENSED PROFESSIONAL ENGINEER



### D5 Manhole Castings L-6

#### New Hampshire Standard

32" Manhole Frame & Cover

Features:

- Cast iron or ductile iron
- Cast iron or ductile iron
- Cast iron or ductile iron
- Cast iron or ductile iron

Specifications:

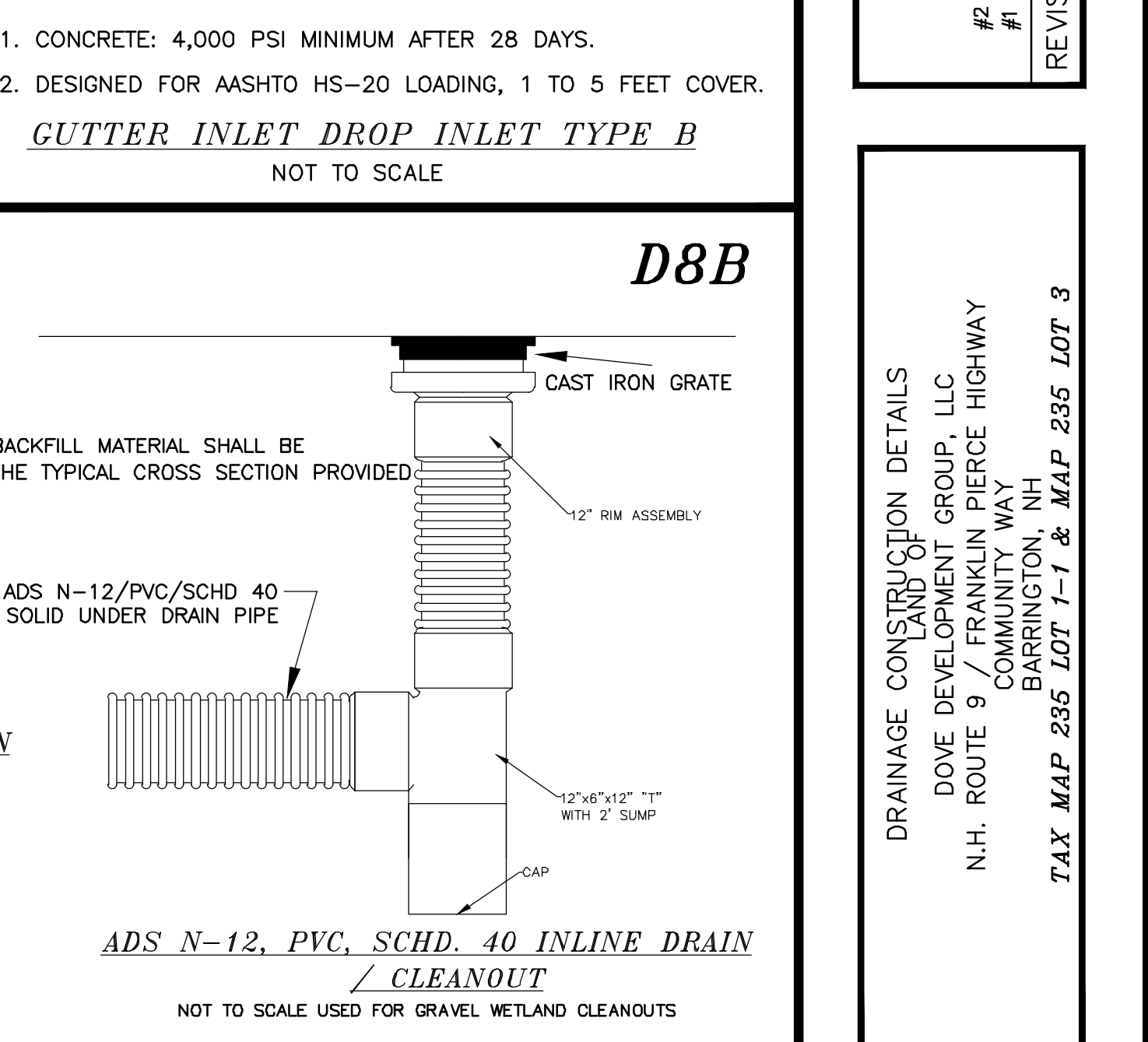
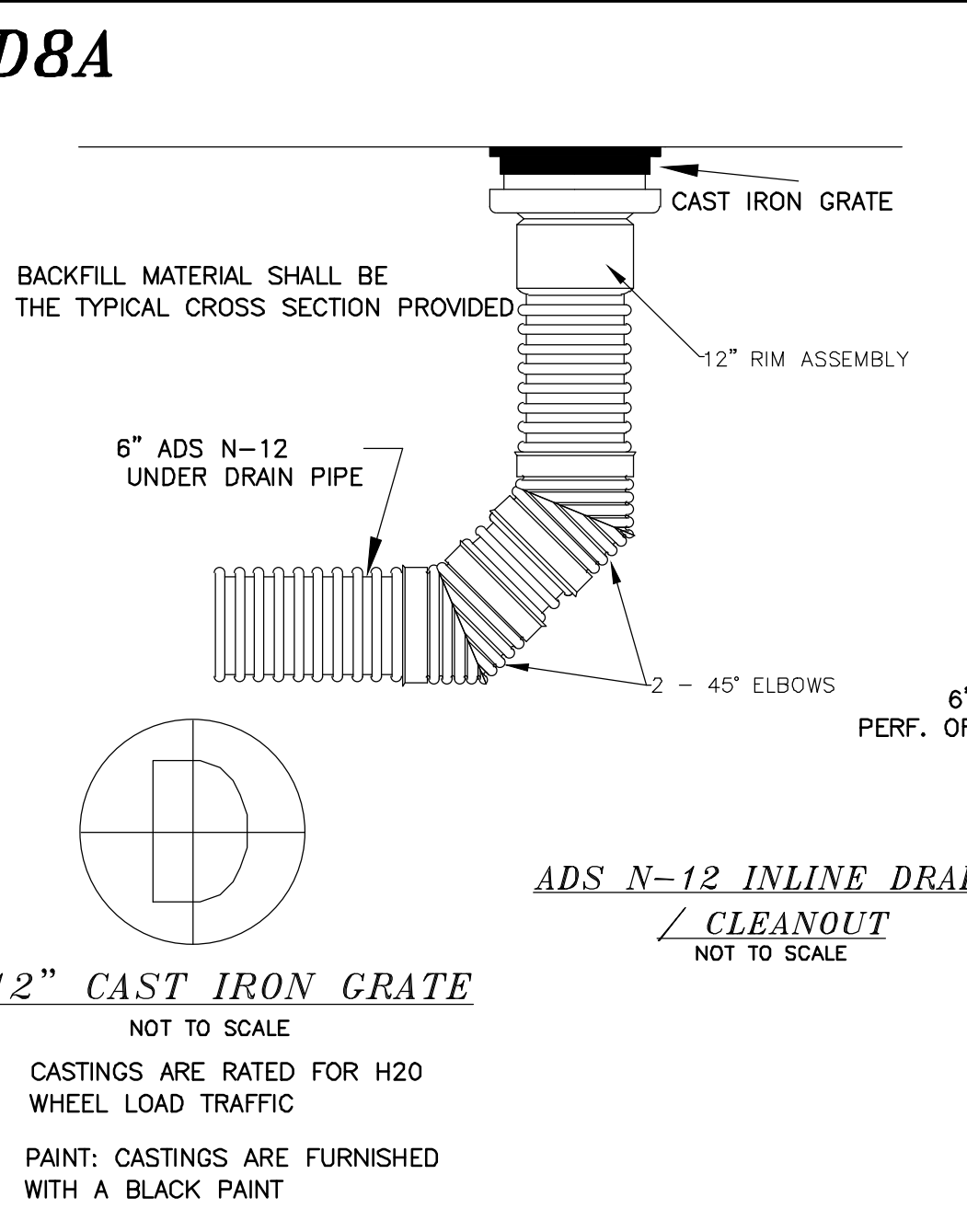
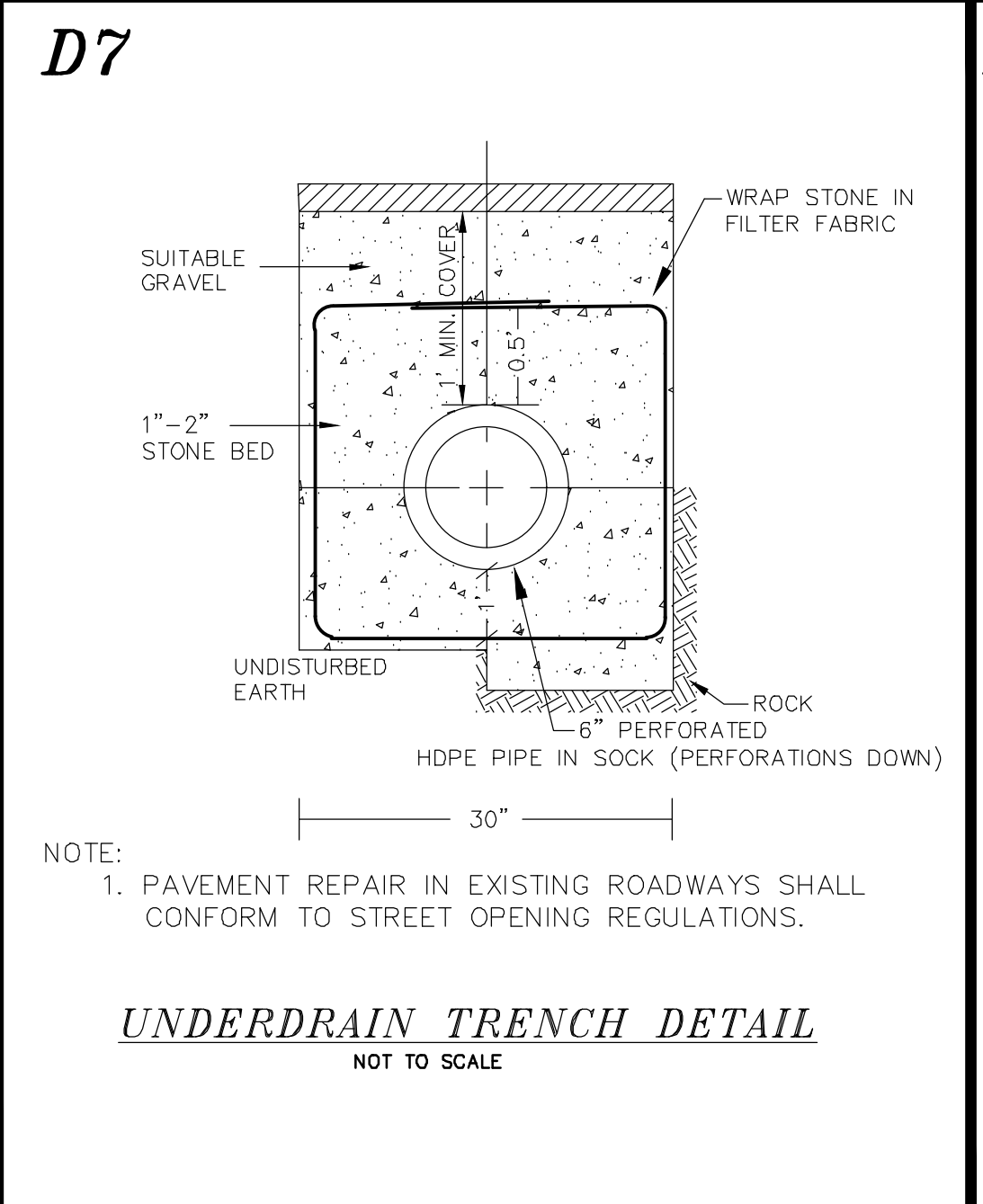
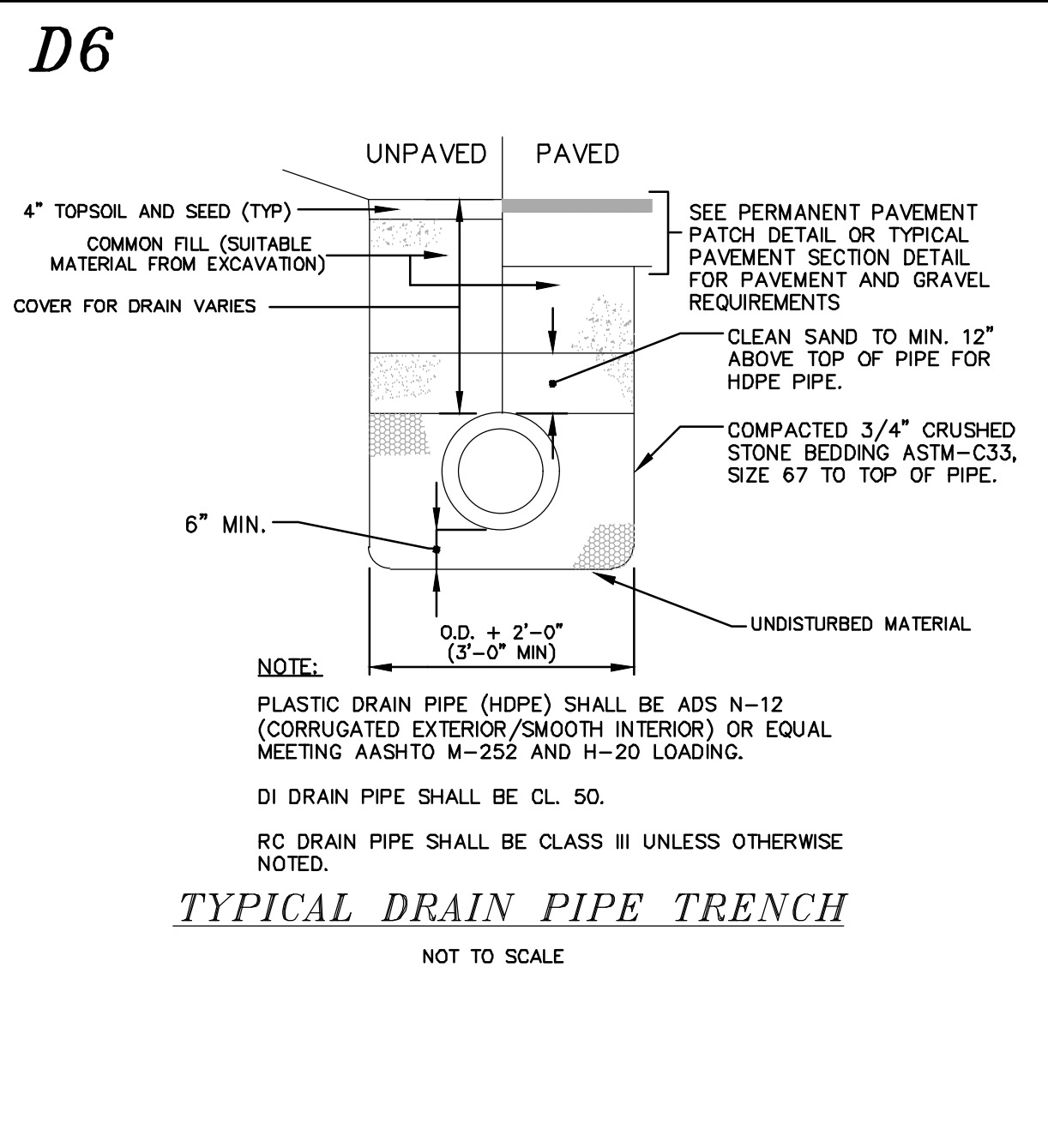
- Fully finished bases and covers
- Cast iron or ductile iron
- Cast iron or ductile iron
- Cast iron or ductile iron

| Weight       | Volume     | Approx. Weight |
|--------------|------------|----------------|
| Cast Iron    | 1.25 cu ft | 125 lbs        |
| Ductile Iron | 1.25 cu ft | 125 lbs        |

DRAIN MANHOLE FRAME AND GRATE WILL BE NEW HAMPSHIRE STANDARD, OR APPROVED EQUAL, 32 INCH OPENING, CAST IRON, H20 LOADING.

### DRAIN MANHOLE COVER DETAIL

NOT TO SCALE



### D9 ADS N-12 FLARED END SECTIONS

NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

| PART No. | PIPE SIZE | A     | B(MAX) | H    | L   | W   |
|----------|-----------|-------|--------|------|-----|-----|
| 1510-NP  | 15"       | 6.5"  | 10"    | 6.5" | 25" | 29" |
| 1810-NP  | 18"       | 7.5"  | 15"    | 6.5" | 32" | 35" |
| 2410-NP  | 24"       | 7.5"  | 18"    | 6.5" | 36" | 45" |
| 3010-NP  | 30"       | 10.5" | N/A    | 7.0" | 53" | 68" |
| 3610-NP  | 36"       | 10.5" | N/A    | 7.0" | 53" | 68" |

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

RIGHT SIDE VIEW

FRONT VIEW

PE THREADED ROD W/ WING NUTS (SEE NOTE)

F.L.S. ANCHOR

### D10 HEADWALL (CONCRETE)

NOT TO SCALE

PLAN VIEW

ELEVATION

| PIPE DIA | A   | B   | C   | D   | E   | F   | G    | APPROX. WGT# |
|----------|-----|-----|-----|-----|-----|-----|------|--------------|
| 12"      | 36" | 30" | 54" | 40" | 36" | 22" | 78"  | 5445 LBS.    |
| 15"      | 48" | 30" | 60" | 45" | 36" | 22" | 92"  | 6400 LBS.    |
| 18"      | 48" | 30" | 60" | 45" | 36" | 22" | 92"  | 6400 LBS.    |
| 24"      | 60" | 36" | 64" | 48" | 42" | 26" | 112" | 7250 LBS.    |
| 30"      | 72" | 36" | 72" | 54" | 42" | 28" | 124" | 9276 LBS.    |
| 36"      | 78" | 48" | 78" | 60" | 48" | 30" | 144" | 11623 LBS.   |
| 48"      | 84" | 48" | 90" | 66" | 54" | 35" | 150" | 12402 LBS.   |

SPECIAL SIZES NOT LISTED CAN BE MFG. UPON REQUEST

ALL HEADWALLS WILL BE PRE-CAST WITH STRUCTURAL CALCULATIONS AVAILABLE FOR REVIEW

Notes:

- ALL EXPOSED EDGES TO HAVE 1" BEVELED CORNERS
- APPROV BY CONTRACTOR IN FIELD
- REINFORCING - NO. 4 BARS AT 12" O.C.E.W.
- CONCRETE TO TEST 4000 PSI @ 28 DAYS

Pre-cast Concrete Sales Co.  
123 Route 303 Valley Cottage, N.Y. 10989  
Tel. (845) 268-4949 - Fax (845) 268-4376

WINGWALL WITH FOOTING

DATE: 1/7/16 DRAWN BY: CLASSIC DESIGN DRAWING NO.: 9-3

### D11 STONE LINED SEDIMENT TRAP

NOT TO SCALE

TO DIRECT FLOW TO TRAP / SUMP

ROCK LINED

3:1 (MAX)

CUT SECTION WITH DIVERSION BERM

3:1 (MAX)

STABLE OUTLET

CROSS SECTION

WIDTH AND LENGTH DEPENDANT ON CONTRIBUTING AREA EXCAVATION SECTION IS PERFORMED OVER A BERMED SECTION

ISOMETRIC VIEW

FLOW PATH

DIVERSION BERM

FLOW PATH TO ENTER BASIN

DIVERSION BERM

CREST / RIP LENGTH (FT) = 6" x DRAINAGE AREA (ACRES)

FOR TOWN APPROVAL PURPOSES:

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| SIEVE DESIGNATION | SIZE OF STONE (INCHES) |
|-------------------|------------------------|
| 100%              | 12                     |
| 84-100%           | 6                      |
| 68-83%            | 3                      |
| 42-55%            | 1                      |
| 8-12%             | NO. 4                  |

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| #2         | REVISION                                      | DATE | DESCRIPTION |
|------------|---|------|-------------|
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DRAINAGE CONSTRUCTION DETAILS

DOVE DEVELOPMENT GROUP, LLC

N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY COMMUNITY WAY BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED

DATE: JUNE 14, 2021

FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

REGISTERED PROFESSIONAL ENGINEER

D-101

SHEET 98 OF 109

### D12 ANGLE GRATE

NOT TO SCALE

NOTE:  
MUST BE HAALA INDUSTRIES INC.  
OR EQUAL.

#### Angle Grates For Manholes



AG0808-58  
Part No. AG0808-58

Save Trees

Angle Grates are designed to cover inlet orifices and prevent small to medium debris from passing through. The top angled design helps to minimize the amount of debris that settles on top after the water recedes. All grates are made from plate for a clean and smooth contact surface.

- Plate design for a clean appearance
- Standard 2" openings (other sizes can be made)
- Angled top/front plate to maximize debris deflection
- Mounting flanges on 3 sides allows grate to be mounted at floor level inverts
- Galvanized steel construction. Can be made from aluminum or stainless steel.

### D13 CONE GRATE

NOT TO SCALE

NOTE:  
MUST BE HAALA INDUSTRIES INC.  
OR EQUAL.

#### Cone Grates Top Mount



CG12TM  
Part No. CG12TM

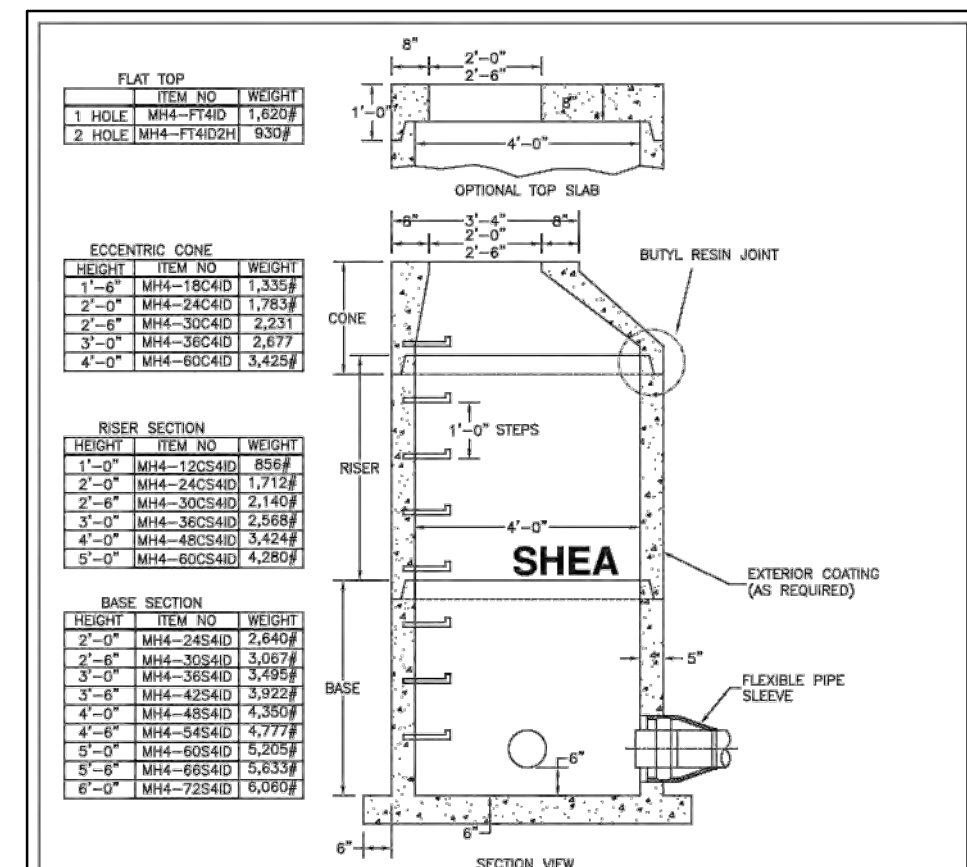
Save Trees

Top Mount Cone Grates are designed to mount on the top of round manhole inlet or outlet structures to keep debris from entering the storm water system. Top mount cone grates are easy to install and allow for at grade manhole installations but can be used in a variety of applications. Grates 96" and larger are made as a two piece, bolt together design.

- Plate and bar hybrid design is both clean and cost effective
- Made from 1/2" plate with 3/4" or 1" round bars depending on grate size
- Anti vortex plate can be added upon request
- Hinged and lockable access doors can be added upon request
- Galvanized steel construction. Can be made from aluminum or stainless steel.

### D14 48" MANHOLE ROUND EXTENDED BASE

NOT TO SCALE



NOTES:  
1. CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.  
2. REINFORCED STEEL CONFORMS TO LATEST ASTM A188 (SEE 0.15 SQ. IN. LINEAL FT. AND 0.12 SQ. IN. PER SQ. YD. BASE BOTTOM).  
3. H-20 DESIGN LOADING PER ASDH TO HS-20-44. ASTM A439 SPEC. FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.  
4. BUTYL RUBBER SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.  
5. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC SIPP CONFORMS TO LATEST ASTM C987 SPEC.

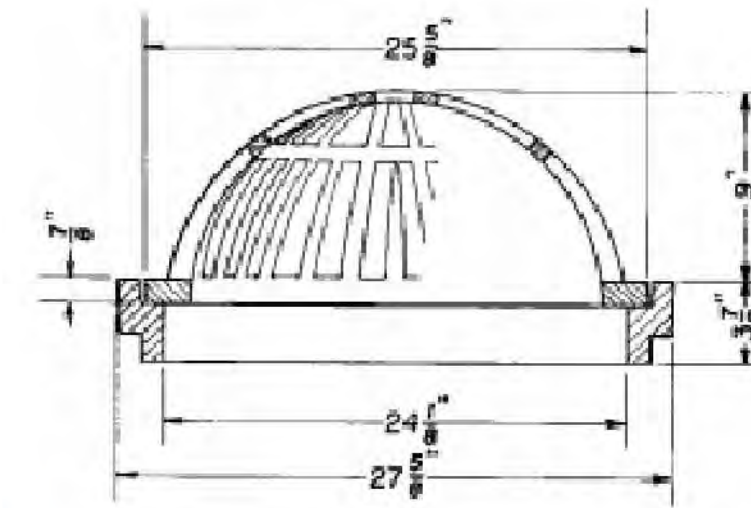
**SHEA**  
New England's Premier Precaster  
800-686-7432 (SHEA)  
www.sheaconcrete.com  
773 Solem Street - Wilmington, MA 01897  
177 Newell Road - Westbury, MA 01581  
Tel: 978-339-1100 Fax: 978-339-1101  
Mobile: PO Box 520 - Wilmington, MA 01887

MANHOLE 48" DIA  
EXTENDED BASE  
Page: 02.1.2  
Date: 01/2016

### D15 R-4353 Beehive Grate, Frame

Light Duty

| CATALOG NUMBER | GRATE TYPE | SQ. FT. OPEN | WEIR PERIMETER LINEAL FEET |
|----------------|------------|--------------|----------------------------|
| R-4353         | Beehive    | 9.8          | 6.7                        |

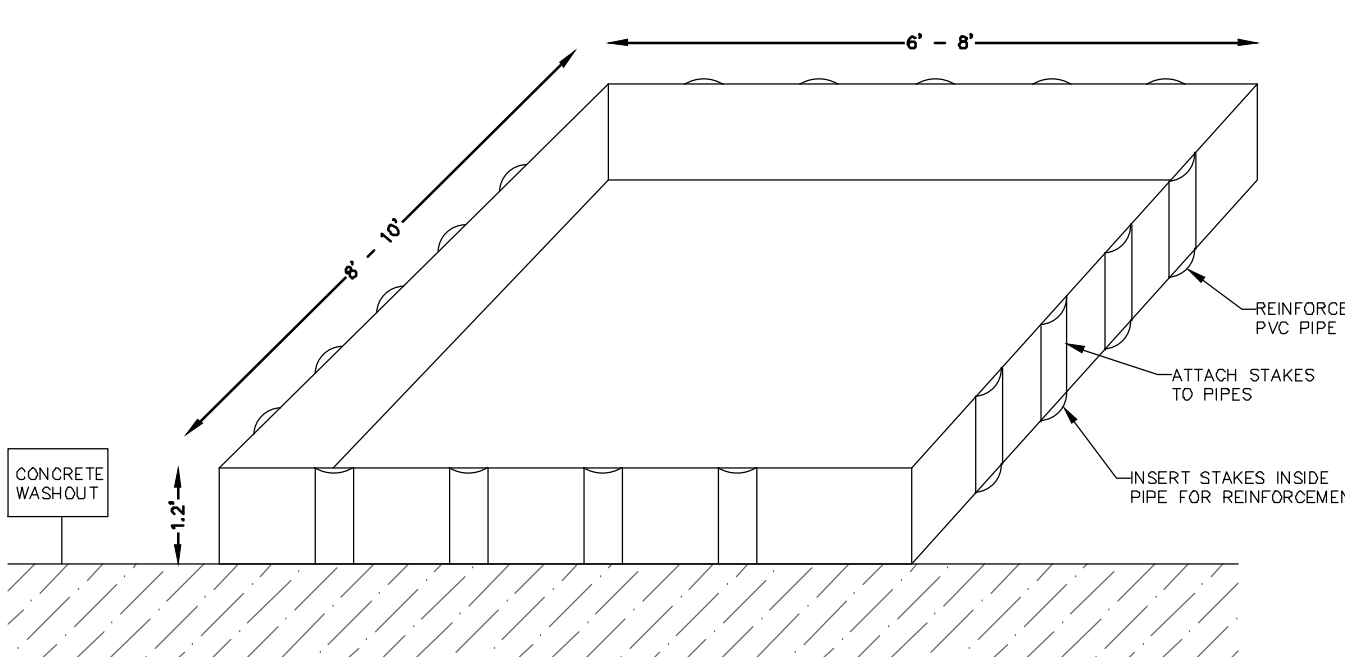


Also available with 2 - 7/8" tall frame, if requested.

#### CATCH BASIN IN GRASSED AREA FRAME & GRATE DETAIL

NOT TO SCALE

### D16

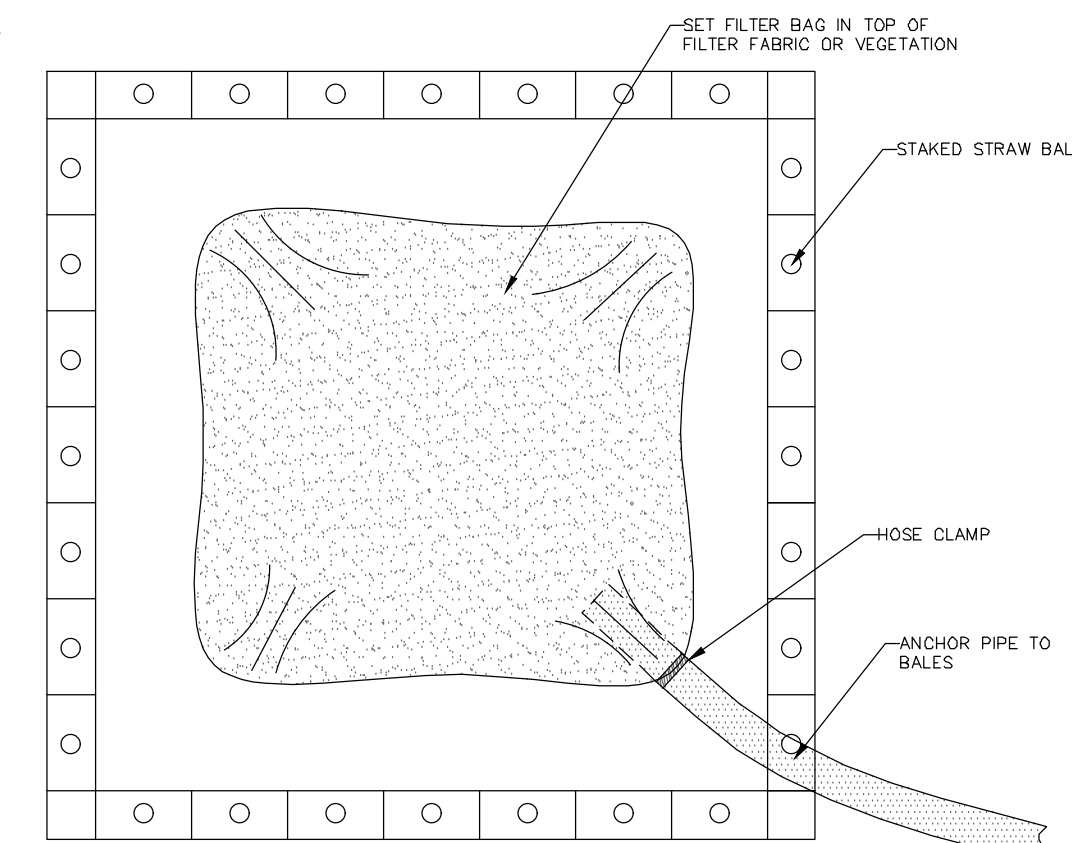


- NOTES:
- 1.) CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO ANY CONCRETE POURS.
  - 2.) SIGNS SHALL BE INSTALLED TO CLEARLY INDICATE WHERE THE LOCATION OF THE WASHOUT AREA IS.
  - 3.) CONTRACTOR IS IRRESPONSIBLE TO MAINTAIN AND REPLACE WASHOUT AREA AS NEEDED.
  - 4.) RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
  - 5.) DO NOT WASH CONCRETE TRUCKS OUT INTO DRAINAGE AREAS, SWALES, STREETS OR UNDISTURBED AREAS.
  - 6.) WASHOUT AREA SHALL BE PLACED AWAY FROM DRAINAGE FEATURES AND OUTSIDE AND WETLAND BUFFERS.

#### CONCRETE WASHOUT

NOT TO SCALE

### D17

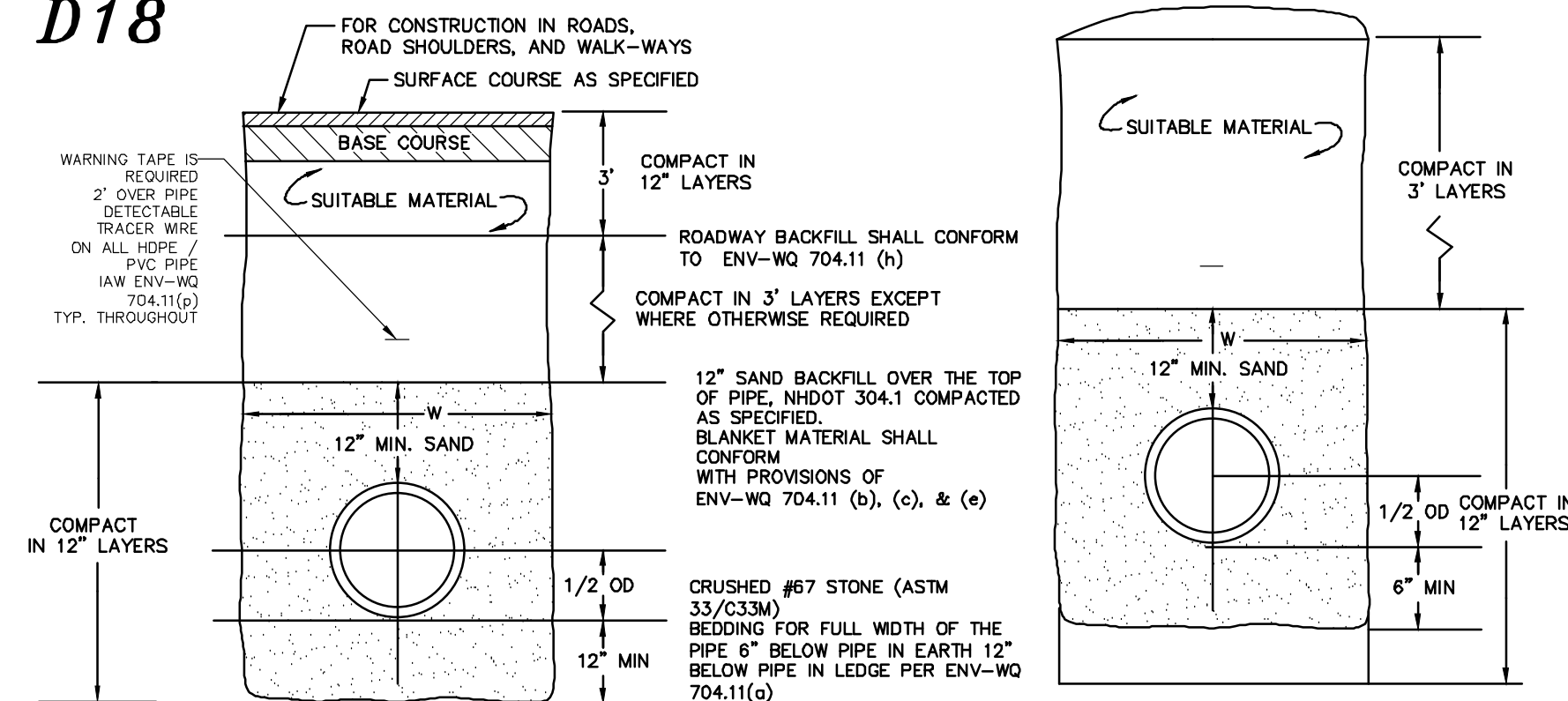


- NOTES:
- 1.) ENSURE DISCHARGE POINT IS STABILIZED WITH VEGETATION OR PROPER EROSION AND SEDIMENT CONTROL PRACTICES.
  - 2.) USE DIFFUSER NOZZLE OR LOW DISCHARGE RATE TO PREVENT SCOURING.
  - 3.) TO BE PLACED AT AN UPLAND LOCATION THAT WILL ALLOW WATER TO DRAIN INTO THE GROUND.
  - 4.) SIZE OF DE-WATERING AREA TO BE 10' X 10', ADJUST SIZE DEPENDING ON VOLUME AND USE.
  - 5.) ADDITIONAL BALES MAY BE USED TO INCREASE RETENTION AND FILTERING.

#### DE-WATERING BASIN

NOT TO SCALE

### D18

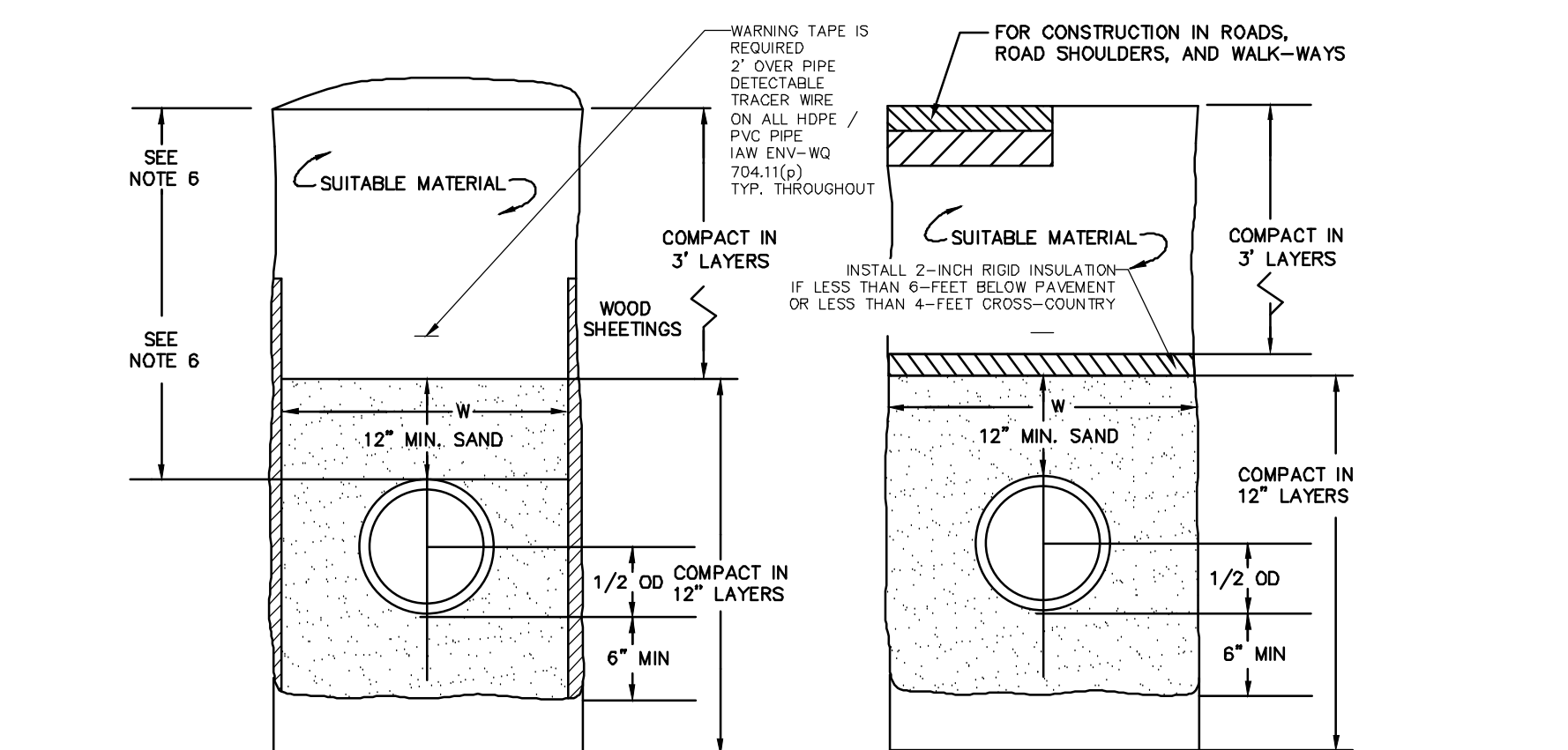


#### LEDGE CONSTRUCTION

NOT TO SCALE

#### EARTH CONSTRUCTION

NOT TO SCALE



#### EARTH CONSTRUCTION WITH SHEETING

NOT TO SCALE

#### TRENCH INSULATION

NOT TO SCALE

### D19

#### BEST MANAGEMENT PRACTICES FOR BLASTING

ENV-WQ 1510.03 LOADING PRACTICES, THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:

- (A) THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
  - (1) THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
  - (2) GROUNDWATER CONDITIONS;
- (B) THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
- (C) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
  - (1) USED IN THE BOREHOLE; OR
  - (2) RETURNED TO THE DELIVERY VEHICLE; OR
  - (3) PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
- (D) SPILLAGE AROUND THE BOREHOLE SHALL BE:
  - (1) PLACED IN THE BOREHOLE; OR
  - (2) CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
- (E) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
- (F) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
- (G) EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, BEDDING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.

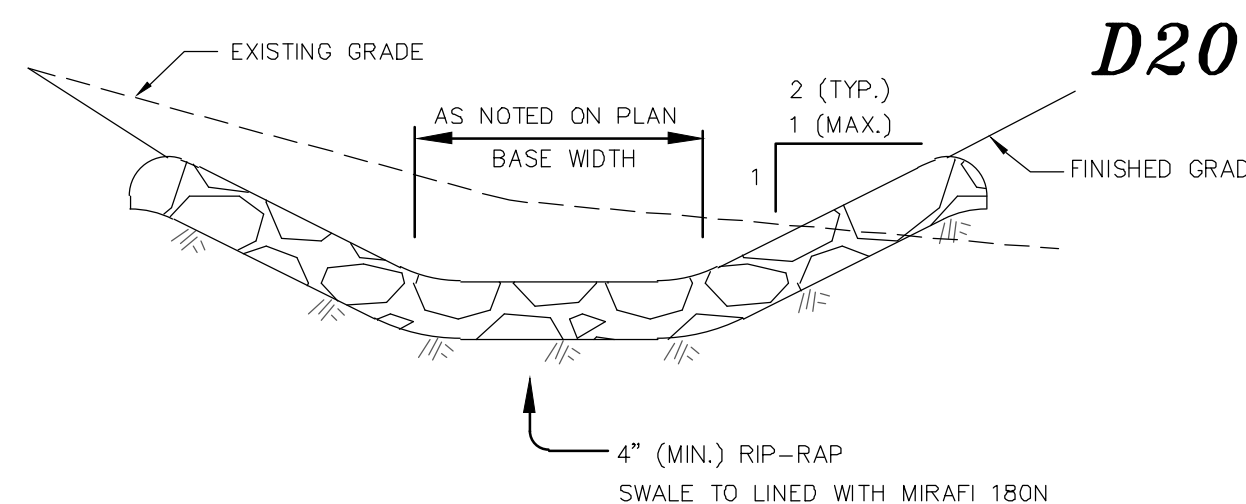
PRE-BLAST SURVEY WILL INCLUDE ALL ADJUTING PROPERTIES AND FOLLOW STATE AND LOCAL REQUIREMENTS.

- NOTES:
- 1.) INSTALL CHECK TEMPORARY SILT SOXX CHECK DAM UNTIL SWALES ARE STABILIZED
  - 2.) SEE GRADING PLAN FOR DEGRADATION AND THICKNESS

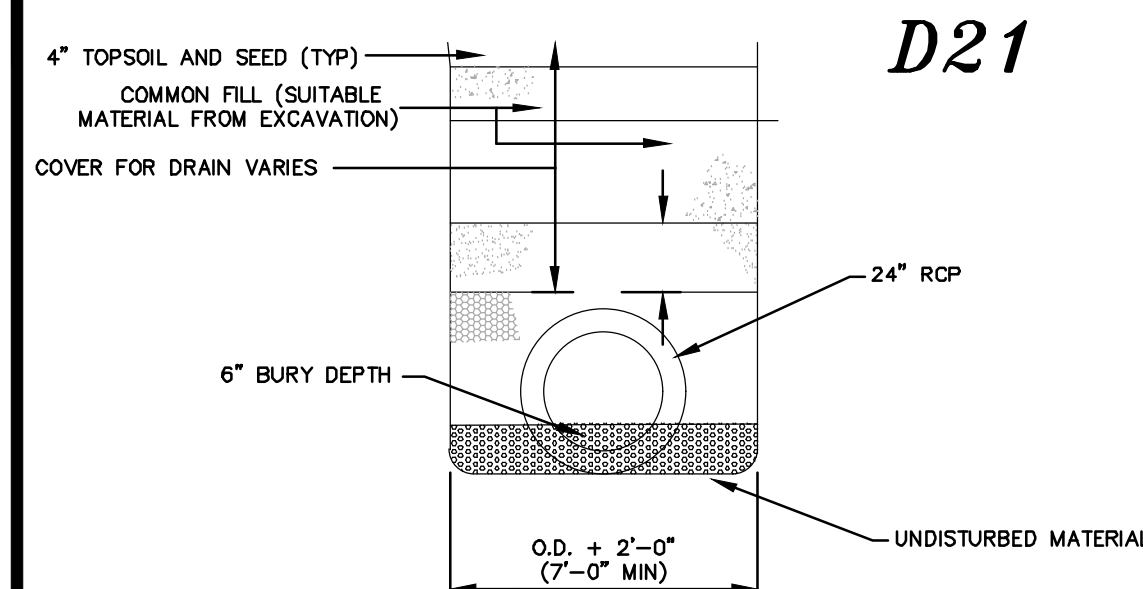
#### RIP-RAP LINED SWALE

NOT TO SCALE

### D20



### D21



#### WETLAND CROSSING CULVERT DETAIL

NOT TO SCALE

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D-102

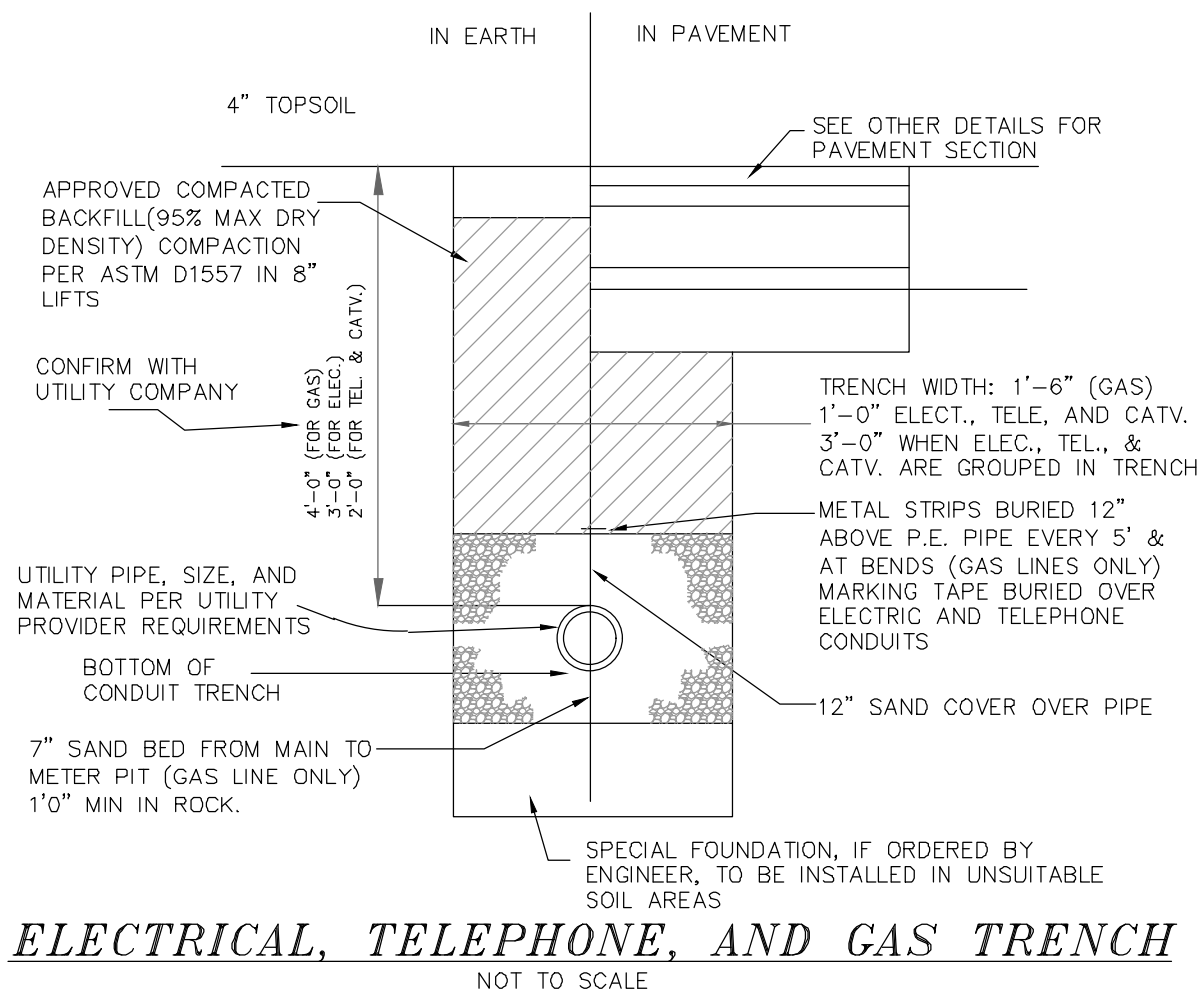
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DRAINAGE CONSTRUCTION DETAILS  
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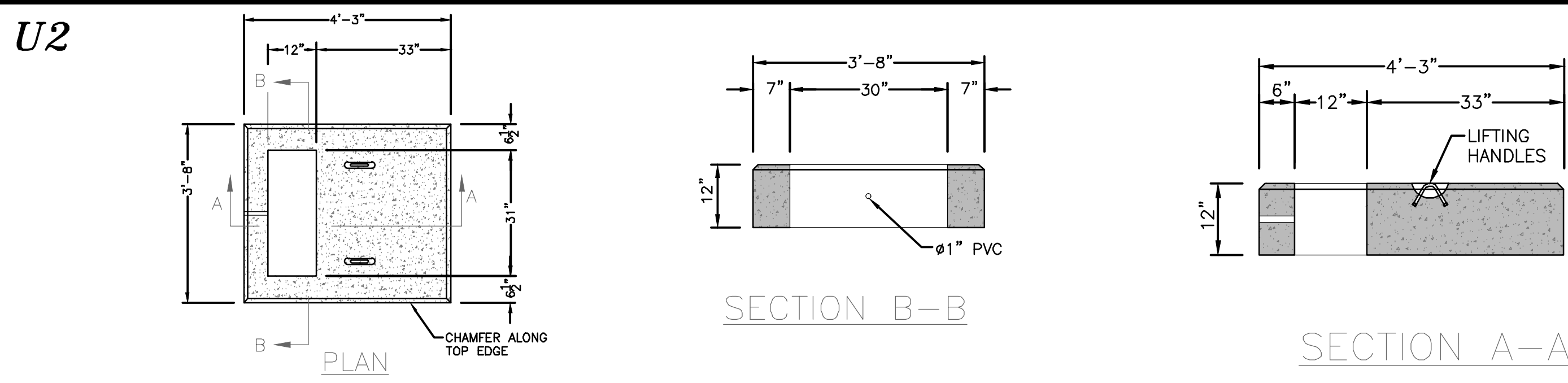
STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 1422  
LICENSED PROFESSIONAL ENGINEER

U1



**ELECTRICAL, TELEPHONE, AND GAS TRENCH**  
NOT TO SCALE

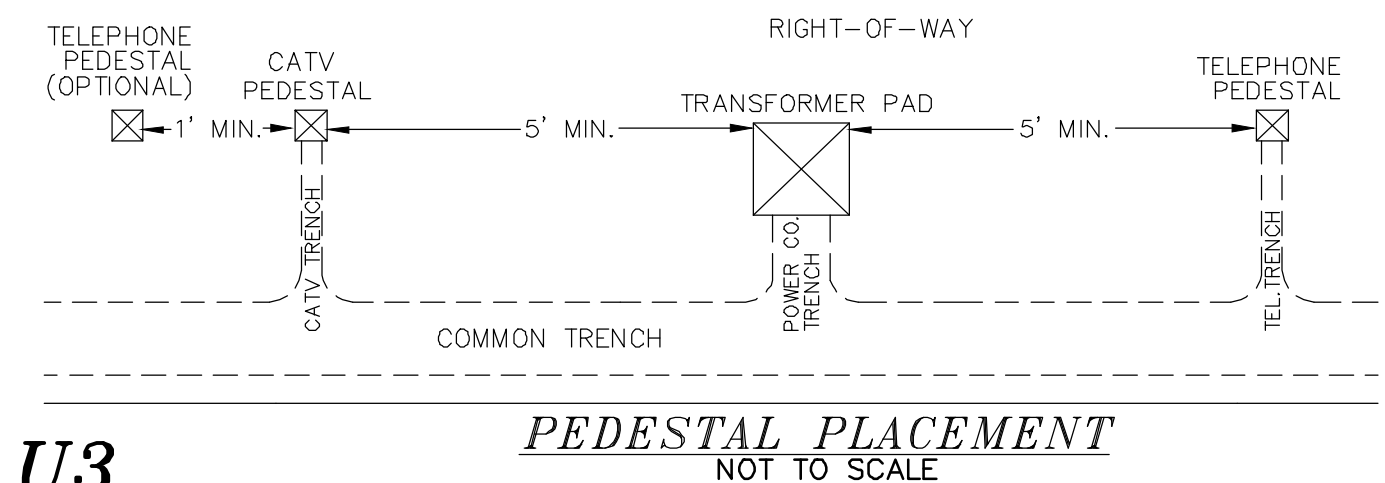
U2



- NOTES:  
 1. CONCRETE MINIMUM STRENGTH 4,000 PSI AFTER 28 DAYS  
 2. REINFORCEMENT STEEL CONFORMS TO ASTM A615 GRADE 60 #6 REBAR.  
 3. MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS.  
 4. MUST BE A SHEA CONCRETE PRODUCT OR EQUAL.

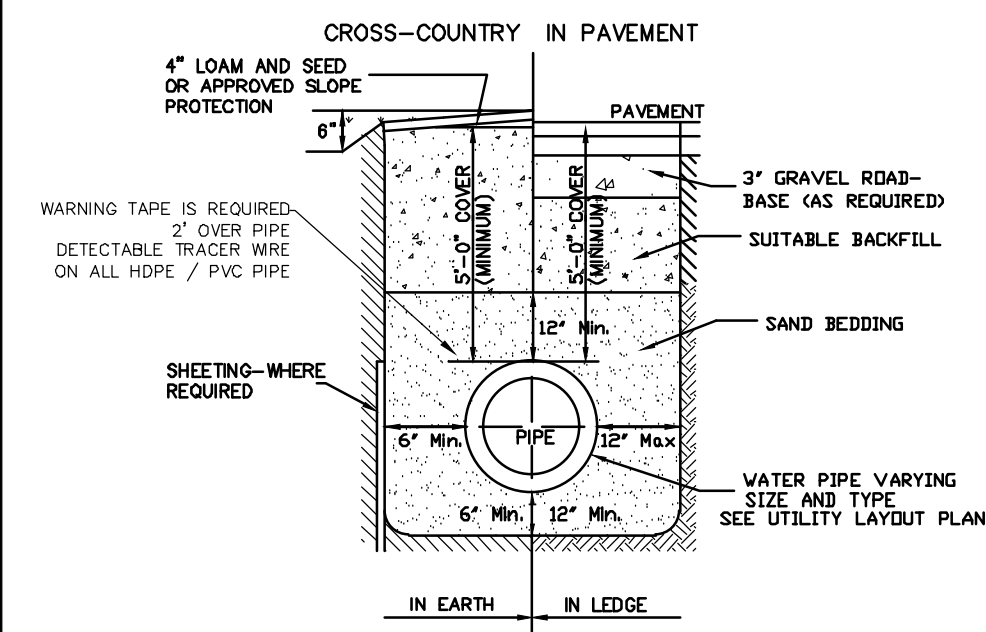
**TRANSFORMER AND PAD DETAIL**  
NOT TO SCALE

U3



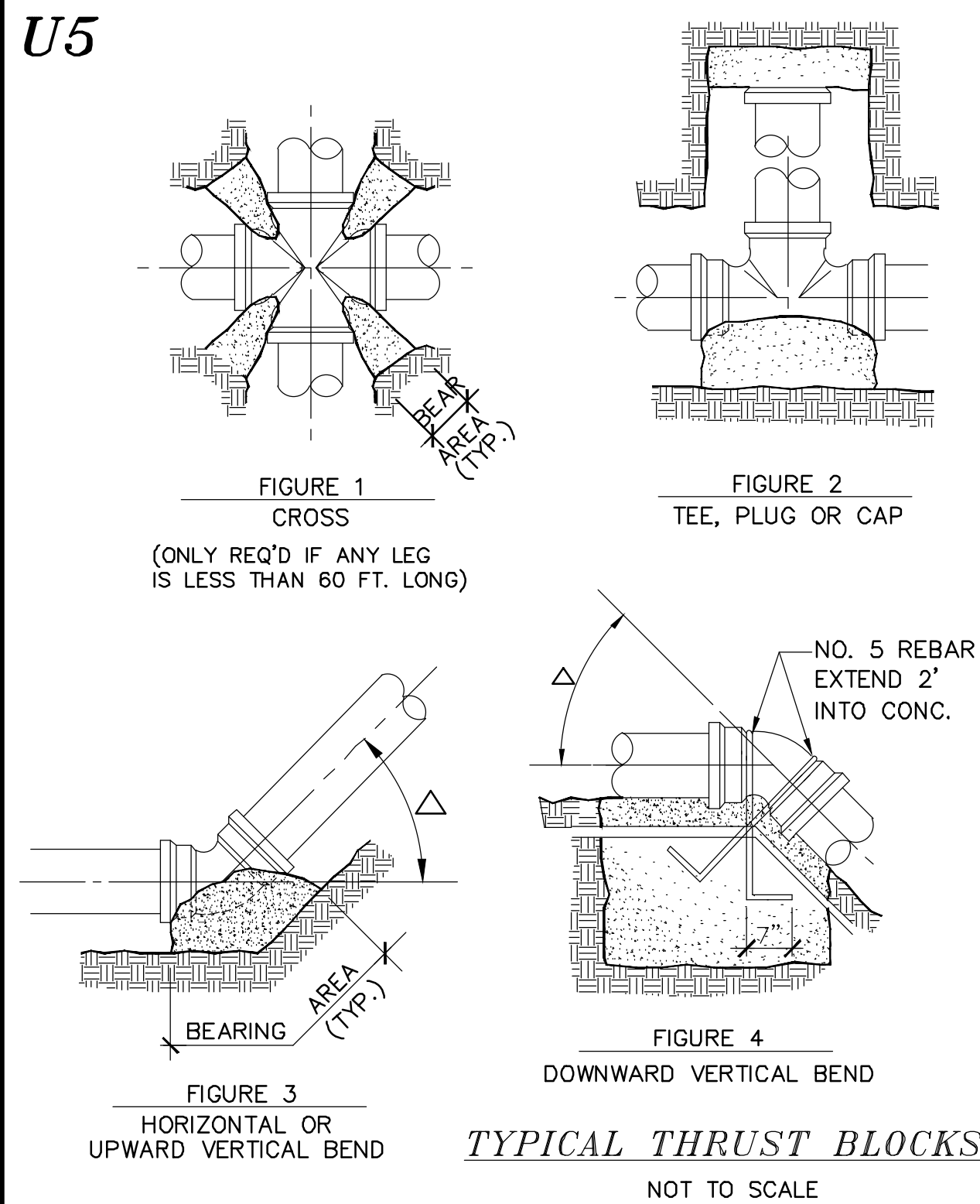
**PEDESTAL PLACEMENT**  
NOT TO SCALE

U4



**TYPICAL TRENCH DETAIL FOR WATER SYSTEM**  
NOT TO SCALE

U5

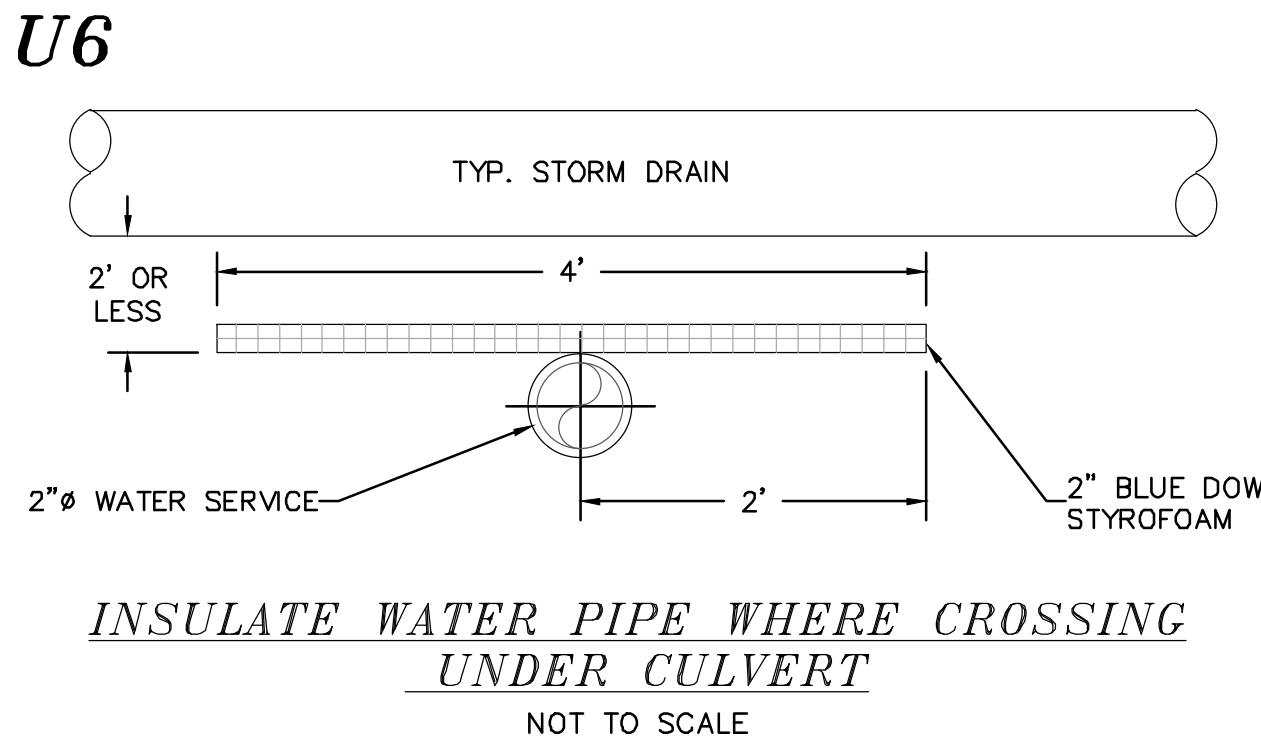


**TYPICAL THRUST BLOCKS**  
NOT TO SCALE

| PIPE I.D. | BEARING AREA, SQUARE FEET |          |             |             | VOLUME OF CONC. CU.YD |             |
|-----------|---------------------------|----------|-------------|-------------|-----------------------|-------------|
|           | FIGURE 1                  | FIGURE 2 | FIGURE 3, Δ | FIGURE 4, Δ | FIGURE 3, Δ           | FIGURE 4, Δ |
| 4"        | 2                         | 2        | 2           | 1           | 1                     | 1.0         |
| 6"        | 2                         | 3        | 2           | 1           | 1                     | 1.5         |
| 8"        | 2                         | 5        | 3           | 2           | 1                     | 2.0         |
| 10"       | 3                         | 7        | 5           | 3           | 1                     | 4.0         |
| 12"       | 3                         | 10       | 8           | 4           | 2                     |             |
| 14"       | 4                         | 14       | 10          | 5           | 3                     |             |
| 16"       | 4                         | 20       | 12          | 7           | 4                     |             |
| 18"       | 5                         | 24       | 16          | 10          | 5                     |             |
| 20"       | 5                         | 28       | 20          | 12          | 6                     |             |

- GENERAL NOTES:  
 1. ALL FITTINGS & EXPOSED REBAR TO BE RAPPED W/ TWO LAYERS OF 6 MIL. POLYETHYLENE WHERE COVERED WITH CONCRETE.  
 2. ALL CONCRETE SHALL BE CLASS C 3000 P.S.I. MINIMUM 28 DAYS COMPRESSIVE STRENGTH.  
 3. PLACE CONCRETE AGAINST UNDISTURBED EARTH.  
 4. TABLE DENOTES MINIMUM BEARING AREA OR VOLUME OF THRUST BLOCK. SPECIAL DESIGN FOR EACH INSTALLATION IS REQUIRED IF ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN 3000 P.S.F.  
 5. VERTICAL SURFACES NOT BEARING AGAINST UNDISTURBED EARTH SHALL BE FORMED.  
 6. KEEP CONCRETE AWAY FROM FLANGE BOLTS AND FITTINGS.  
 7. MECHANICAL JOINTS AT ALL FITTINGS IE: BENDS, TEES, CROSSES, AND VALVES SHALL BE THRUST RESTRAINT. (MEGA-LUG OR APPROVED EQUAL.

U6



**INSULATE WATER PIPE WHERE CROSSING UNDER CULVERT**  
NOT TO SCALE

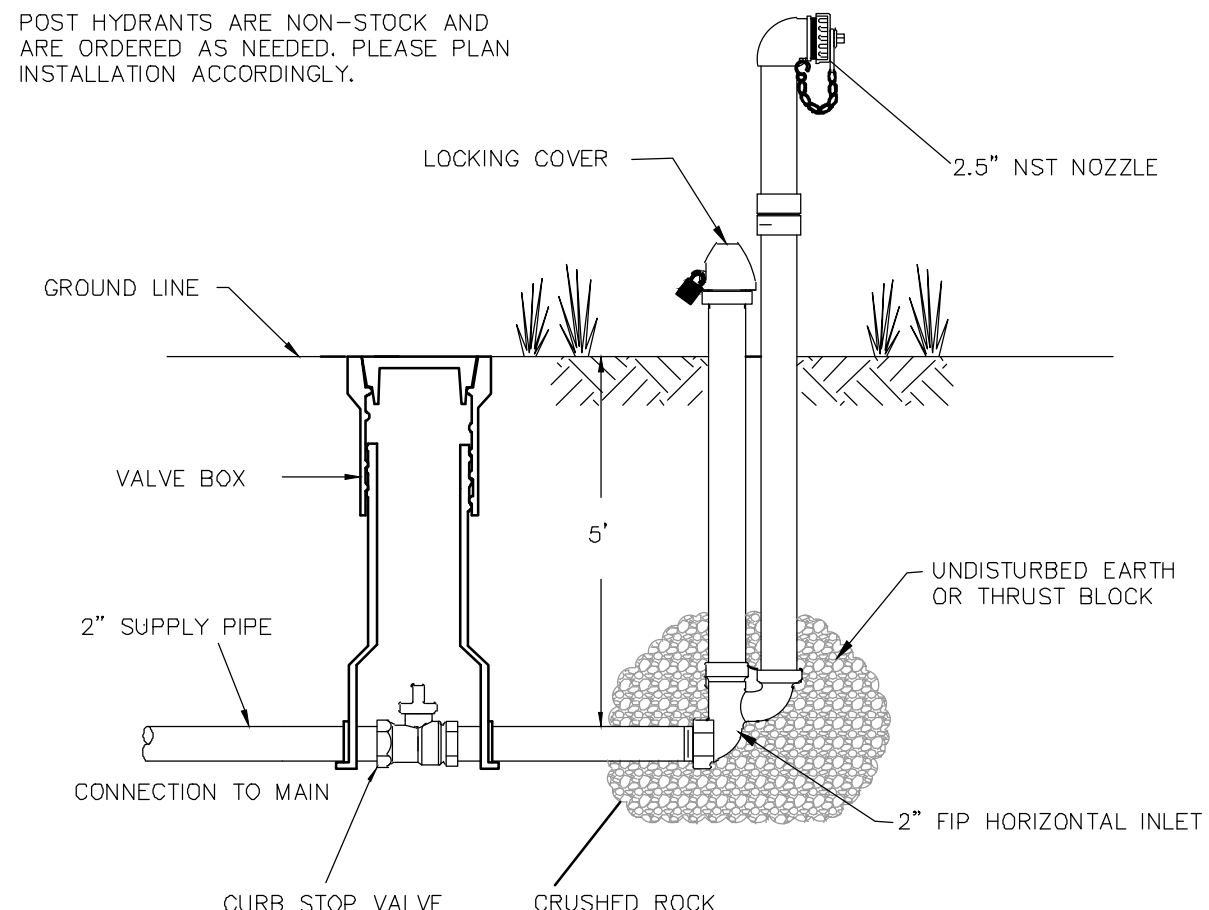
NOTES:

HYDRANTS SHALL BE SELF-DRAINING, NON-FREEZING, COMPRESSION TYPE WITH 2-3/16" MAIN VALVE OPENING. INLET CONNECTION SHALL BE 4" M.J. OUTLET SHALL BE 2" IP.

HYDRANTS SHALL HAVE A 4" DUCTILE IRON PIPE RISER WITH A CAST IRON TOP STOCK, AND NON-TURNING OPERATING ROD. PRINCIPAL INTERIOR OPERATING PARTS SHALL BE BRASS AND REMOVABLE FROM THE HYDRANT FOR SERVICING WITHOUT EXCAVATING THE HYDRANT.

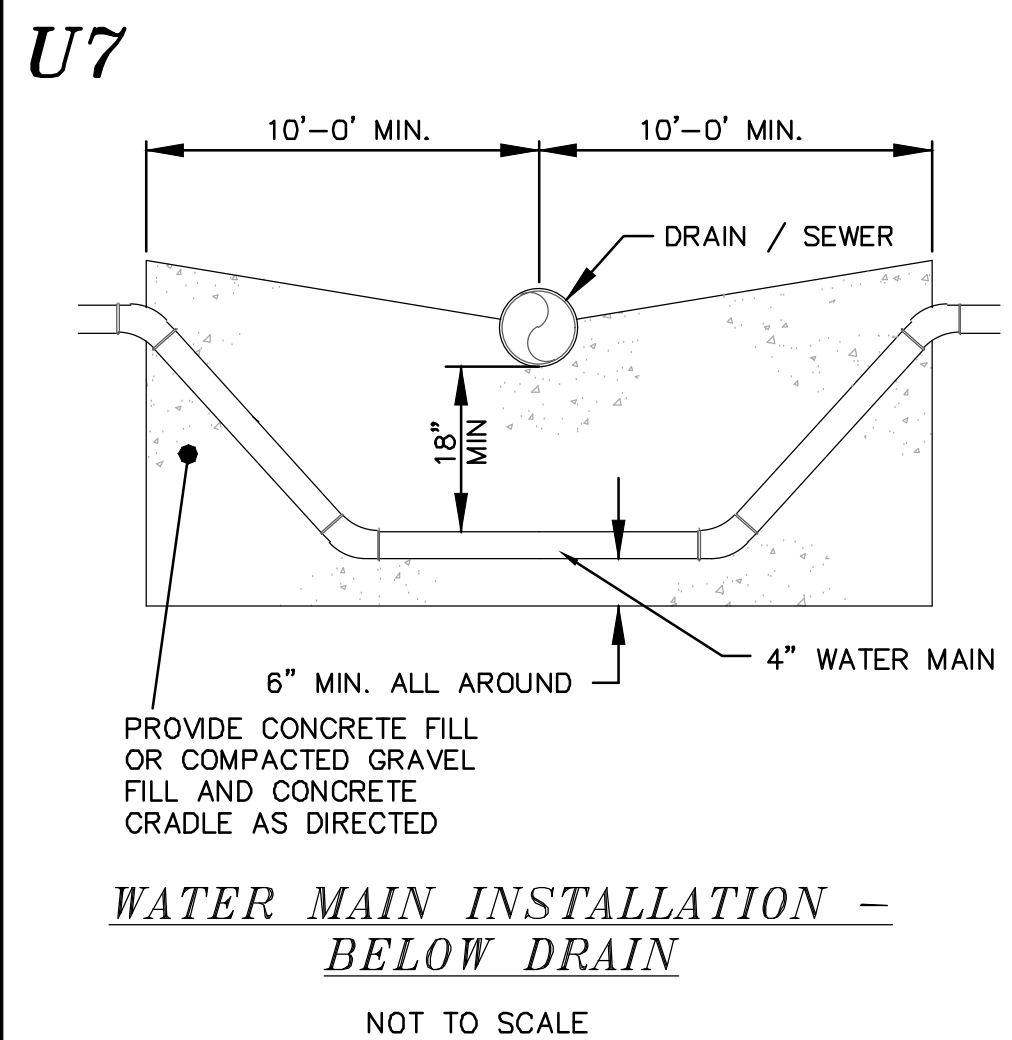
POST HYDRANTS SHALL BE ECLIPSE NO. 2 POST HYDRANTS, 3-INCH MECHANICAL JOINT, AS MANUFACTURED BY JOHN C. KUPFERLE FOUNDRY COMPANY, ST. LOUIS, MISSOURI.

POST HYDRANTS ARE NON-STOCK AND ARE ORDERED AS NEEDED. PLEASE PLAN INSTALLATION ACCORDINGLY.



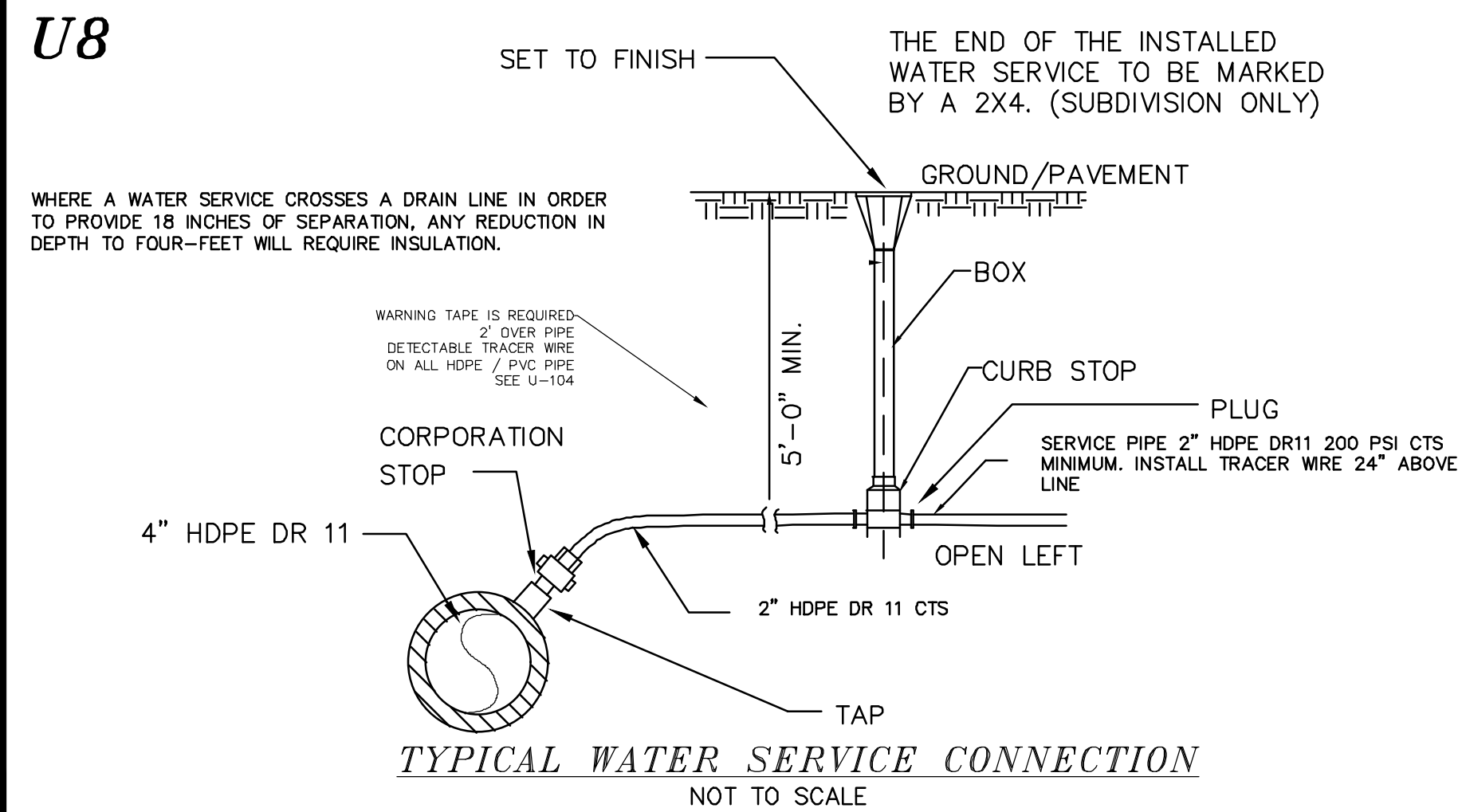
**POST HYDRANT DETAIL**  
NOT TO SCALE

U7



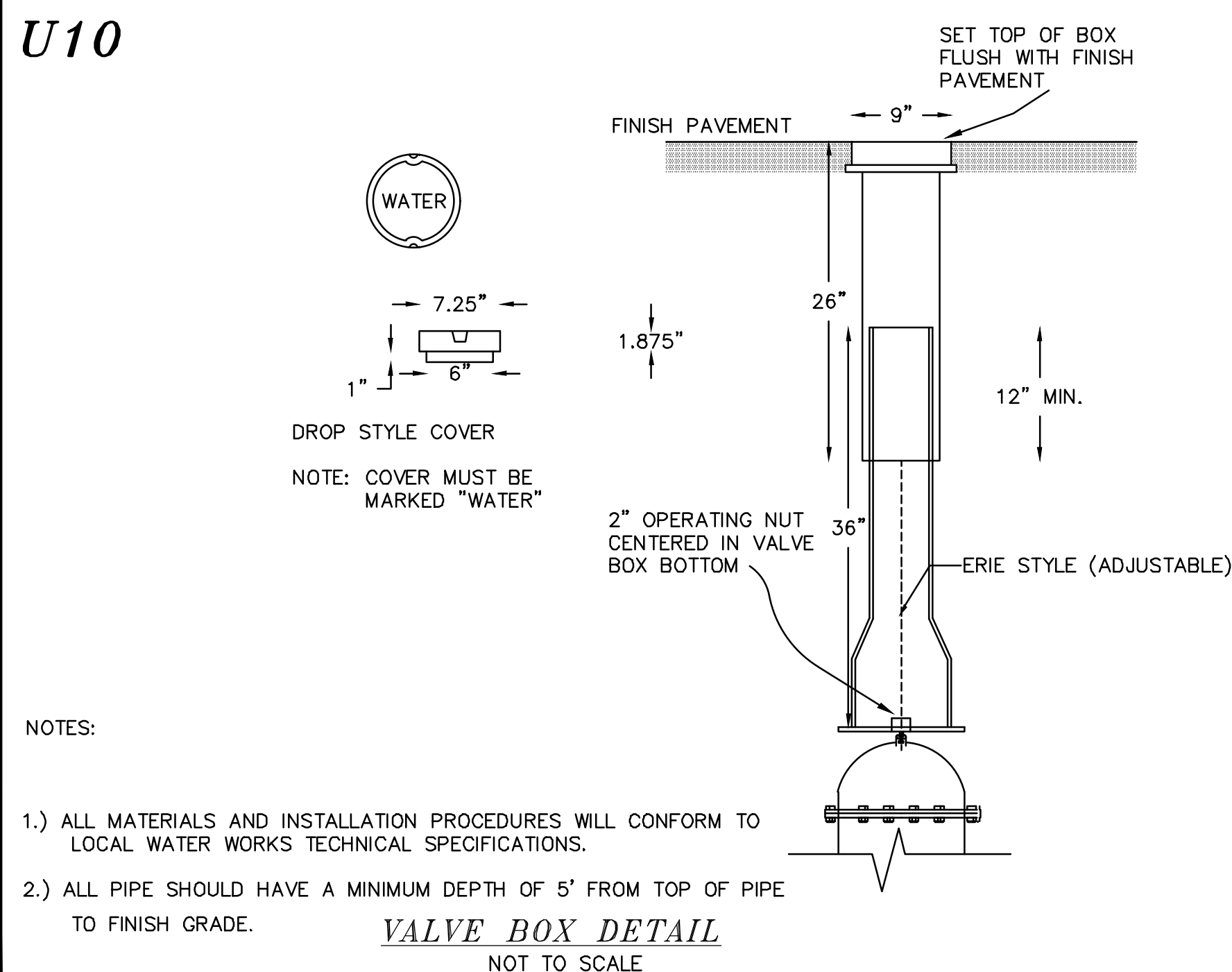
**WATER MAIN INSTALLATION - BELOW DRAIN**  
NOT TO SCALE

U8



**TYPICAL WATER SERVICE CONNECTION**  
NOT TO SCALE

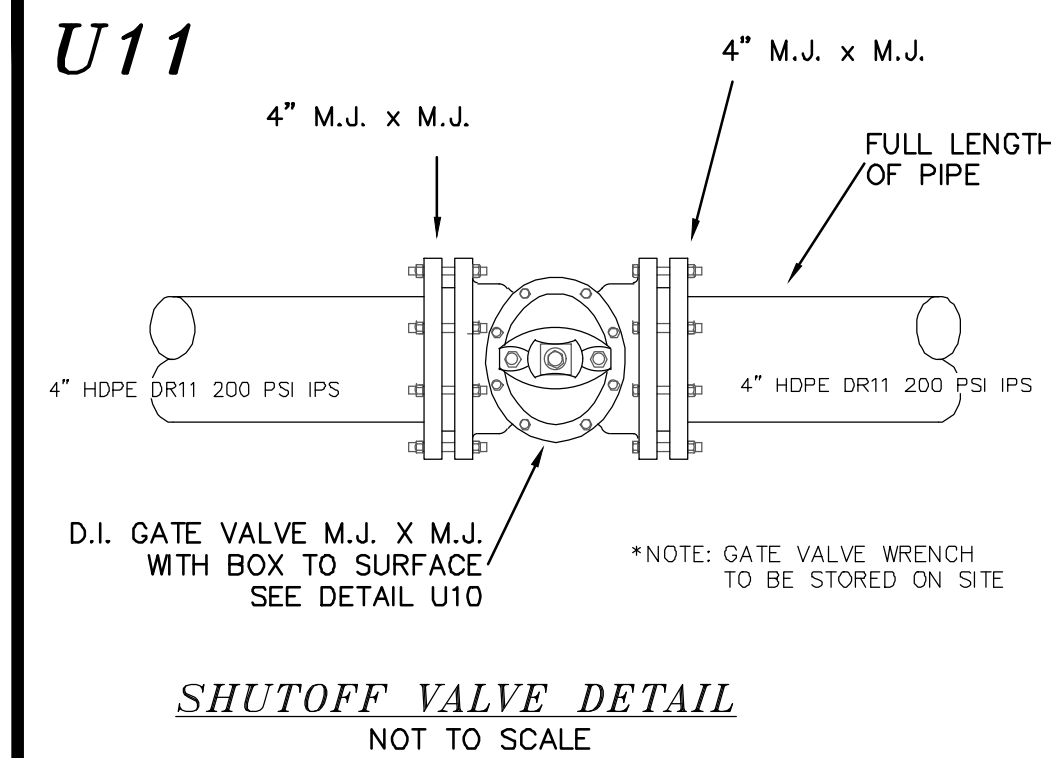
U10



- NOTES:  
 1.) ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO LOCAL WATER WORKS TECHNICAL SPECIFICATIONS.  
 2.) ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

**VALVE BOX DETAIL**  
NOT TO SCALE

U11



**SHUTOFF VALVE DETAIL**  
NOT TO SCALE

FOR TOWN APPROVAL PURPOSES:

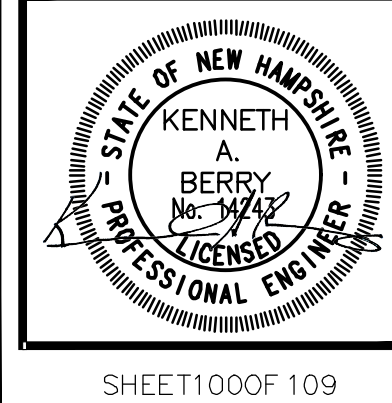
THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

**U-101**

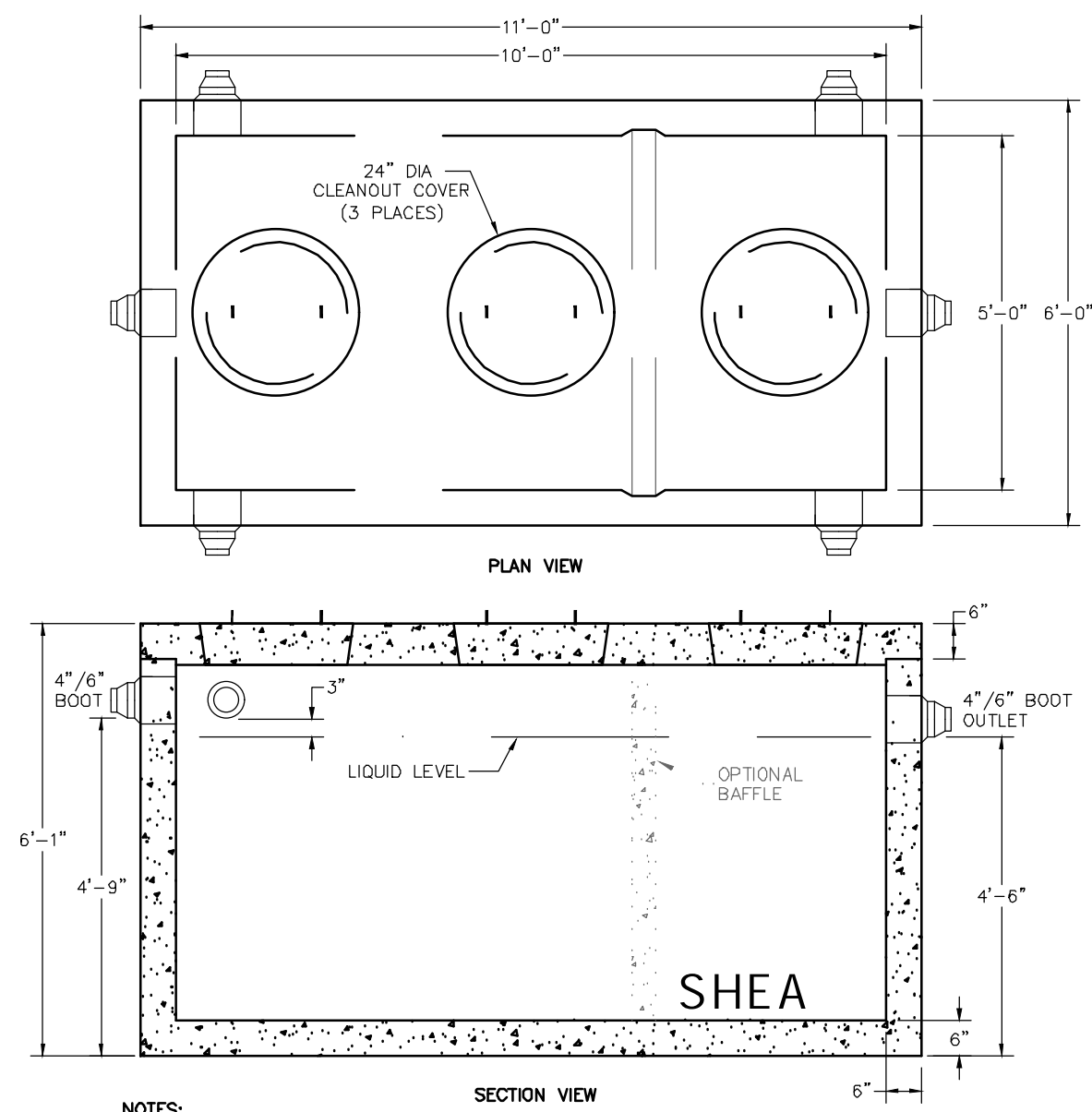
| #          | REVISION | DATE | DESCRIPTION                                   |
|------------|----------|------|---|
| 10-12-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

UTILITY CONSTRUCTION DETAILS  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 COMMUNITY WAY  
 BARRINGTON, NH  
**TAX MAP 235 LOT 1-1 & MAP 235 LOT 3**

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE: AS NOTED  
 DATE: JUNE 14, 2021  
 FILE NO.: DB 2020 - 097



**U12**



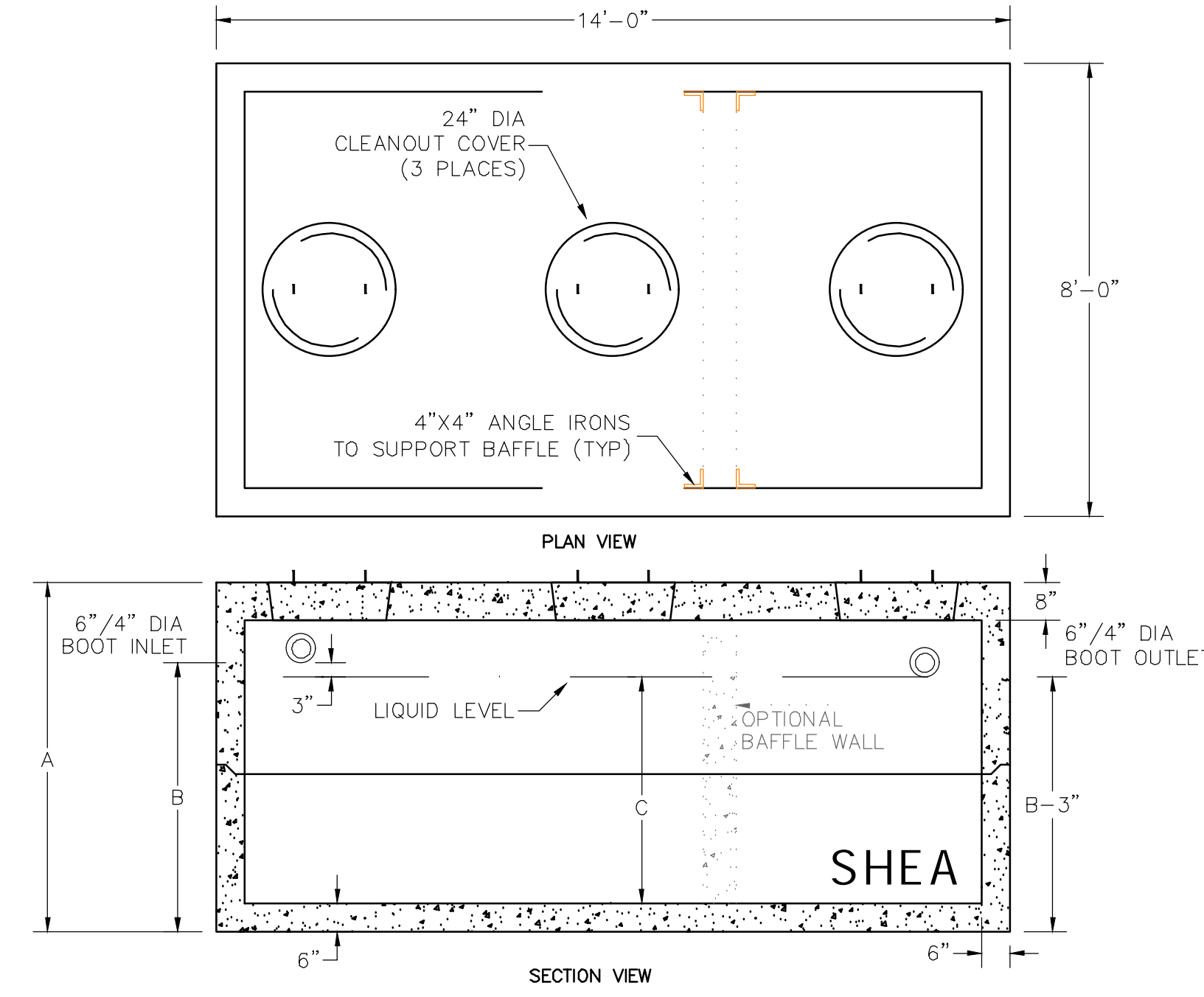
**NOTES:**  
 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS.  
 3. ALL REINFORCEMENT PER ASTM C1227.  
 4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.  
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN  
 6. TEES AND BAFFLES SOLD SEPARATELY  
 7. OPTIONAL BAFFLE WALL SEALED IN GROOVE

| ITEM NO. | TK-M1500C   | WEIGHT  | TOP    | BOTTOM  |
|----------|-------------|---------|--------|---------|
|          |             | 22,600# | 5,400# | 17,200# |
|          | TK-M1500C2C | 24,400# | 5,400# | 19,000# |

**1,500 GALLON SEPTIC TANK**  
NOT TO SCALE

NOTE: 30" RISER TO SURFACE WITH SMH FRAME AND GRATE REQUIRED

**U13**



**NOTES:**  
 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS  
 3. ALL REINFORCEMENT PER ASTM C1227.  
 4. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.  
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN  
 6. TEES AND BAFFLES SOLD SEPARATELY  
 7. OPTIONAL BAFFLE WALL HELD IN PLACE WITH ANGLE BRACKETS

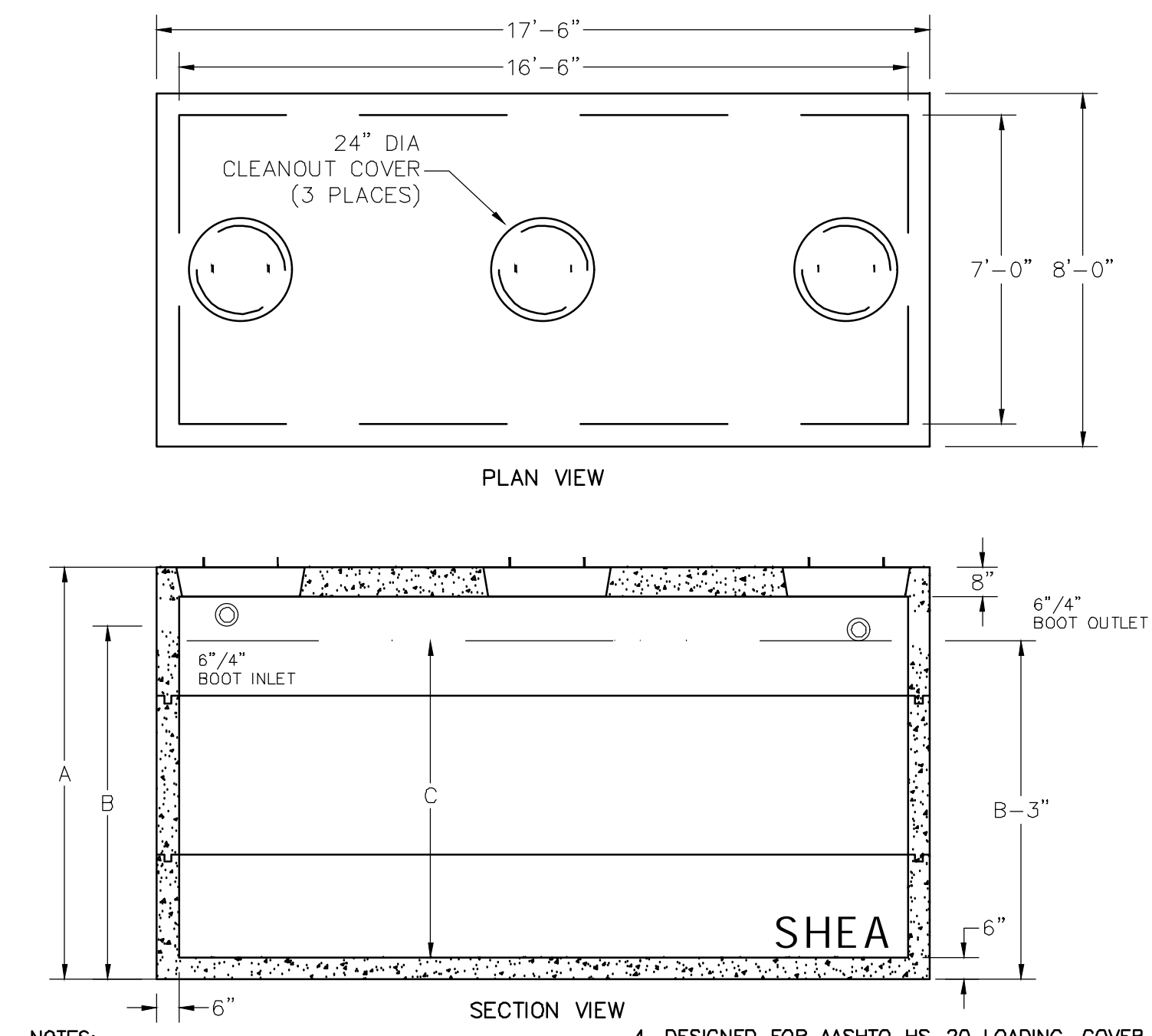
| SINGLE COMPARTMENT TANK |            |                   |            |              |          |          |               |
|-------------------------|------------|-------------------|------------|--------------|----------|----------|---------------|
| GALLONS                 | A (HEIGHT) | B (INLET) 6" BOOT | C (LIQUID) | WEIGHT (LBS) | ITEM NO. | SIZE TOP | WEIGHT BOTTOM |
| 3,000                   | 83"        | 66"               | 67"        | 36,710       | 8X14-30  | 42"      | 19,455        |
| 3,500                   | 93"        | 77"               | 68"        | 39,250       | 8X14-35  | 42"      | 19,795        |
| 4,000                   | 103"       | 86"               | 77"        | 41,535       | 8X14-40  | 52"      | 19,795        |

| TWO COMPARTMENT TANK |            |                   |            |              |           |          |               |
|----------------------|------------|-------------------|------------|--------------|-----------|----------|---------------|
| GALLONS              | A (HEIGHT) | B (INLET) 6" BOOT | C (LIQUID) | WEIGHT (LBS) | ITEM NO.  | SIZE TOP | WEIGHT BOTTOM |
| 3,000                | 83"        | 66"               | 67"        | 39,670       | 8X14-302C | 42"      | 20,890        |
| 3,500                | 93"        | 77"               | 68"        | 42,630       | 8X14-352C | 42"      | 21,740        |
| 4,000                | 103"       | 86"               | 77"        | 45,295       | 8X14-402C | 52"      | 21,740        |

NOTE: 30" RISER TO SURFACE WITH SMH FRAME AND GRATE REQUIRED

**3,000 & 4,000 GALLON SEPTIC TANK**  
NOT TO SCALE

**U14**



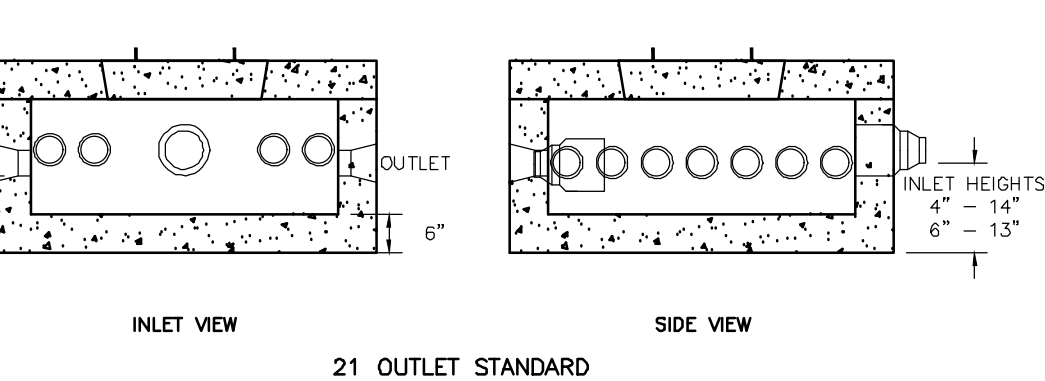
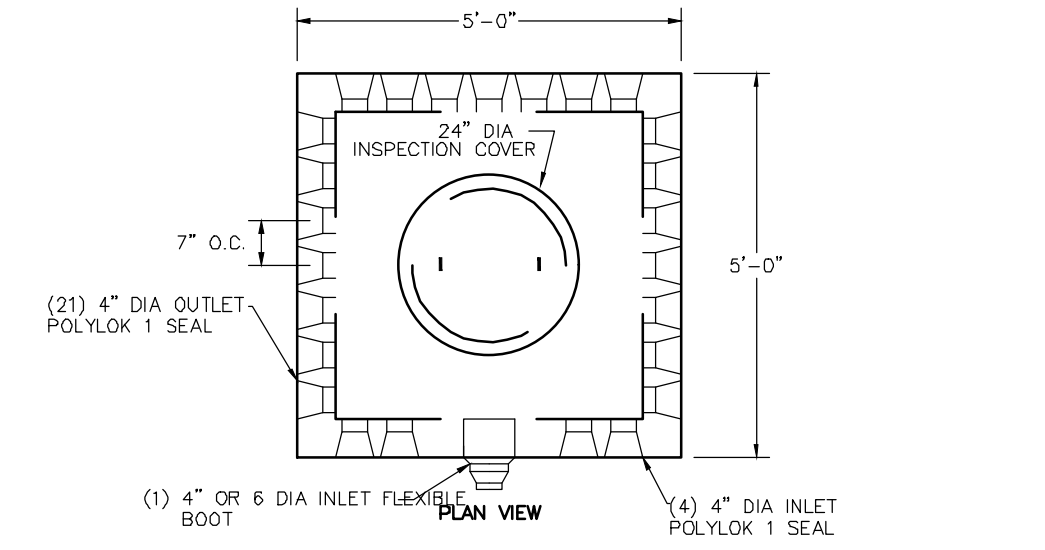
**NOTES:**  
 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS FOR SEPTIC TANKS.  
 3. ALL REINFORCEMENT PER ASTM C1227  
 4. DESIGNED FOR AASHTO HS-20 LOADING, COVER 1-5 FT.  
 5. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN, INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED.  
 6. TEES AND BAFFLES SOLD SEPARATELY.

| SECTION | WEIGHT  | GALLONS | ITEM NO. | A (HEIGHT) | B* (INLET) 6" BOOT | B* (INLET) 4" BOOT | C (LIQUID) | WEIGHT (LBS) | TOP (HEIGHT) | BOTTOM (HEIGHT) | RISER 1 (HEIGHT) | RISER 2 (HEIGHT) |
|---------|---------|---------|----------|------------|--------------------|--------------------|------------|--------------|--------------|-----------------|------------------|------------------|
| 28" TOP | 20,720# | 3,500   | 8X17-35  | 77"        | 61"                | 62"                | 52"        | 45,929       | 28"          | 49"             | 0"               | 0"               |
| 35" TOP | 23,137# | 4,000   | 8X17-40  | 84"        | 68"                | 69"                | 60"        | 48,346       | 35"          | 49"             | 0"               | 0"               |
| 34" BOT | 20,029# | 4,500   | 8X17-45  | 91"        | 75"                | 76"                | 66"        | 50,763       | 28"          | 34"             | 30"              | 0"               |
| 49" BOT | 25,209# | 5,000   | 8X17-50  | 98"        | 82"                | 83"                | 73"        | 53,180       | 35"          | 34"             | 30"              | 0"               |
| 30" RIS | 10,014# | 5,500   | 8X17-55  | 105"       | 89"                | 90"                | 80"        | 55,598       | 28"          | 34"             | 43"              | 0"               |
| 43" RIS | 14,849# | 6,000   | 8X17-60  | 112"       | 96"                | 97"                | 88"        | 58,015       | 35"          | 34"             | 43"              | 0"               |
|         |         | 6,500   | 8X17-65  | 120"       | 104"               | 105"               | 95"        | 60,778       | 28"          | 49"             | 43"              | 0"               |
|         |         | 7,000   | 8X17-70  | 127"       | 111"               | 112"               | 102"       | 63,195       | 35"          | 49"             | 43"              | 0"               |
|         |         | 7,500   | 8X17-75  | 134"       | 118"               | 119"               | 109"       | 65,612       | 28"          | 34"             | 43"              | 30"              |
|         |         | 8,000   | 8X17-80  | 141"       | 125"               | 126"               | 116"       | 68,029       | 35"          | 34"             | 43"              | 30"              |

NOTE: 30" RISER TO SURFACE WITH SMH FRAME AND GRATE REQUIRED

**3,500 - 8,000 GALLON SEPTIC TANK**  
NOT TO SCALE

**U15**



**NOTES:**  
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR DISTRIBUTION BOXES.  
 3. DESIGNED FOR AASHTO HS-20 LOADING, COVER 1 TO 5 FEET.  
 4. COVER WEIGHT 1,850#

**U16**

**PUMP CHART**

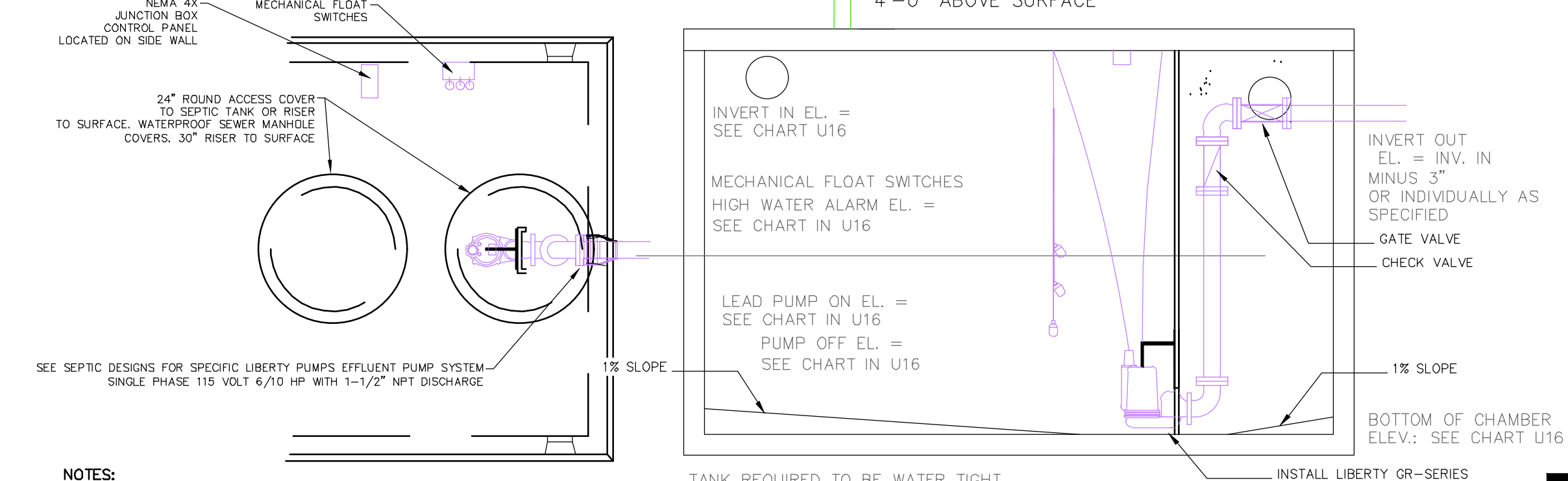
| EDA # | PUMP RATE | F.M. LENGTH      | PUMP CHAMBER BOTTOM | PUMP CHAMBER INVERT IN | PUMP OFF ELEVATION | PUMP ON ELEVATION | ALARM ON ELEVATION | FLOW (GPD)  |
|-------|-----------|------------------|---------------------|------------------------|--------------------|-------------------|--------------------|-------------|
| 1     | 41.0 GPM  | 191.5'           | 212.10'             | 216.35'                | 213.47'            | 214.27'           | 214.37'            | UP TO 2,200 |
| 2     | 22.3 GPM  | 23.5'            | 221.17'             | 225.42'                | 222.67'            | 222.94'           | 223.04'            | 1,200       |
| 3     | 46.0 GPM  | 40.0'            | 223.75'             | 228.00'                | 224.85'            | 226.19'           | 226.29'            | 2,100       |
| 4     | 51.9 GPM  | 411.0'<br>403.0' | 210.11'             | 218.35'                | 211.61'            | 211.89'           | 211.99'            | 6,000       |
| 5     | 38.0 GPM  | 594.0'           | 229.76'             | 234.30'                | 230.86'            | 230.86'           | 231.59'            | 2,100       |
| 6     | 37.0 GPM  | 305'             | 228.96'             | 233.50'                | 230.06'            | 230.69'           | 230.79'            | 2,100       |

DESIGNERS NOTE: SEE THE FORCE MAIN PROFILE ON THE UTILITIES PLAN. ALL UNITS WILL UTILIZE A LIBERTY PUMPS SUBMERSIBLE EFFLUENT PUMP, OR APPROVED EQUAL. SEE EDA PLANS FOR CONTROL PANEL SPECIFICATIONS. ALL PANELS MUST BE EQUIPPED WITH ALARM BELL AND FLASHER. IT IS HIGHLY RECOMMENDED THAT A GENERATOR HOOKUP BE AVAILABLE FOR EMERGENCY POWER SUPPLY.

**DISTRIBUTION BOXES**  
NOT TO SCALE

**NOTES:**  
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR DISTRIBUTION BOXES.  
 3. DESIGNED FOR AASHTO HS-20 LOADING, COVER TO 5 FEET.  
 4. COVER WEIGHT 463#

**U17**



**NOTES:**  
 1. THE BOTTOM OF THE PUMP CHAMBER WILL BE SLOPED AT A 1% SLOPE IN ALL DIRECTIONS CREATING A SUMP AROUND THE BASE OF THE PUMP. THE LIFT STATION WILL BE EQUIPPED WITH A GR20 GUIDE RAIL BASE AND RAIL SYSTEM AND LIFT CHAIN. THE PUMP DISCHARGE WILL BE EQUIPPED WITH A CHECK VALVE AND A GATE VALVE BETWEEN THE PUMP AND THE TANK WALL, IN THAT ORDER. THE DISCHARGE WILL LEAVE THE TANK AT A POINT FOUR-FOOT BELOW GRADE, INSULATED OR SIX-FOOT IF UNDER PAVEMENT, AND THE FORCE MAIN WILL BE DESIGNED UP-HILL TO THE IN-LINE RELIEF VALVE.  
 2. WET WELL/SEPTIC TANK SHALL BE LEAK TESTED USING METHOD ACI 350.1 METHOD HST-NML.  
 3. SUBMERSIBLE PUMPS AND ALL OTHER ELECTRICAL SYSTEMS/COMPONENTS IN THE WET WELL/SEPTIC TANK SHALL MEET NEC REQUIREMENTS FOR CLASS I, DIVISION I ENVIRONMENT.  
 4. POWER SOURCE FOR ALARM SYSTEM SHALL BE AN INDEPENDENT BATTERY WITH CONTINUOUS CHARGE, OR MAIN LINE POWER WITH BACK UP BATTERY SYSTEM.

**PUMP CHAMBER & PUMP DETAILS**  
NOT TO SCALE

FOR TOWN APPROVAL PURPOSES:  
 THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

UTILITY CONSTRUCTION DETAILS  
 LAND OF  
 DOVE DEVELOPMENT GROUP, LLC  
 N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
 BARRINGTON, NH  
 TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

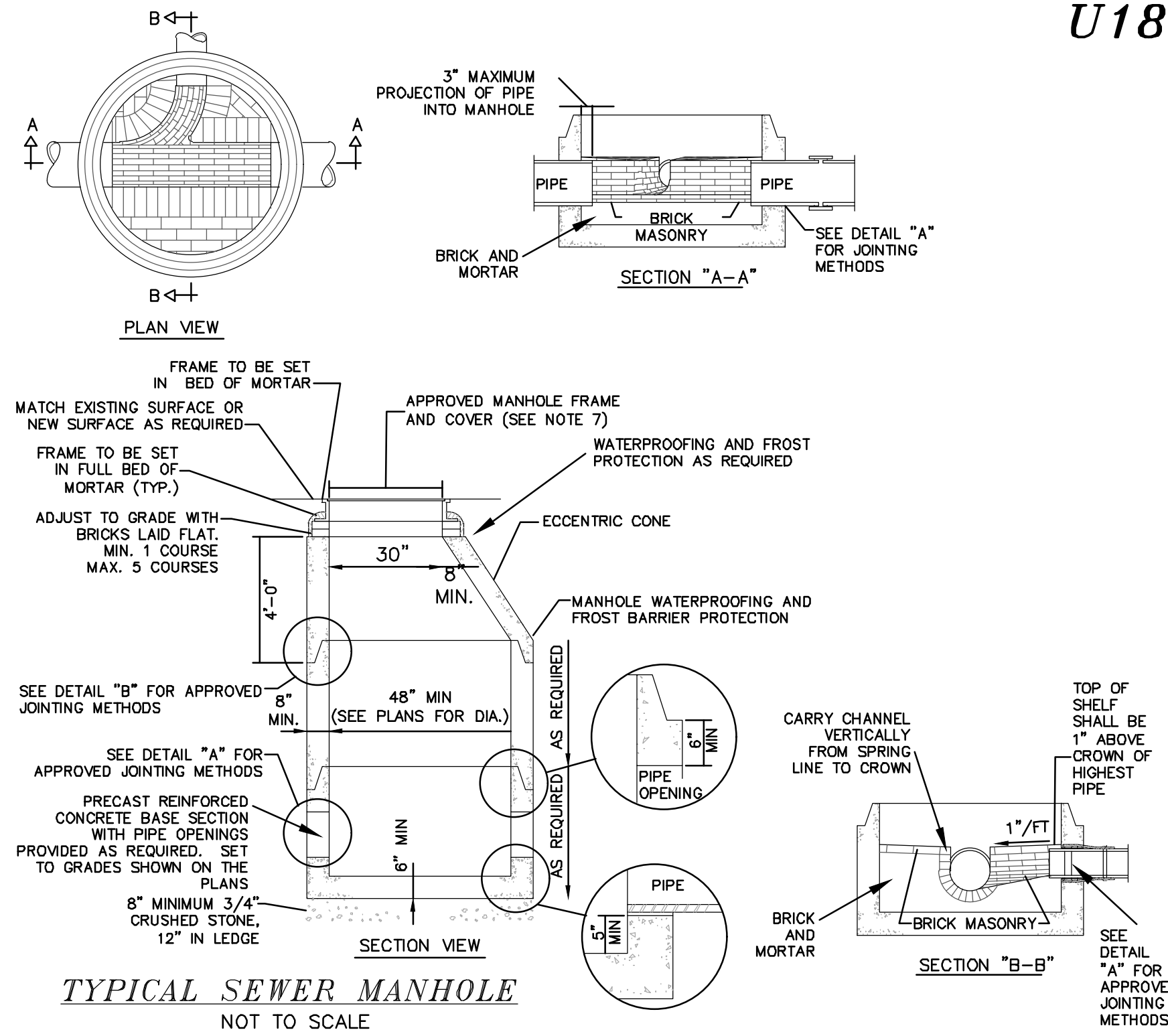
| #2 | #1 | REVISION | DATE       | DESCRIPTION                                    |
|----|----|----------|------------|--|
|    |    |          | 10-12-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |
|    |    |          | 08-30-2021 | REVISED PER CMA ENGINEERS & INHDES AOT COMMENT |

**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE: AS NOTED  
 DATE: JUNE 14, 2021  
 FILE NO.: DB 2020 - 097

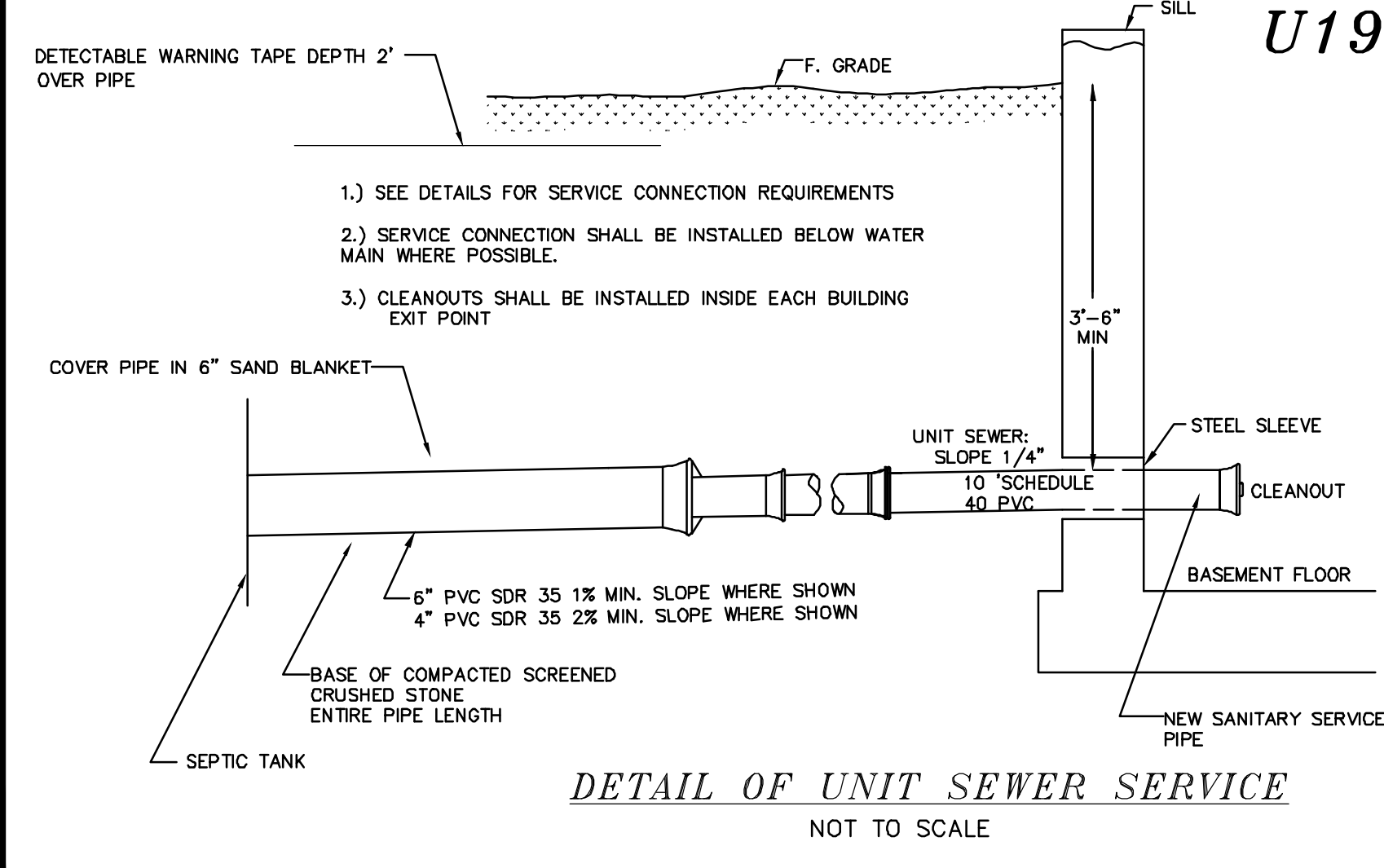
STATE OF NEW HAMPSHIRE  
 KENNETH A. BERRY  
 No. 7422  
 LICENSED PROFESSIONAL ENGINEER

**NOTES ON MANHOLE AND SEWER CONSTRUCTION:**

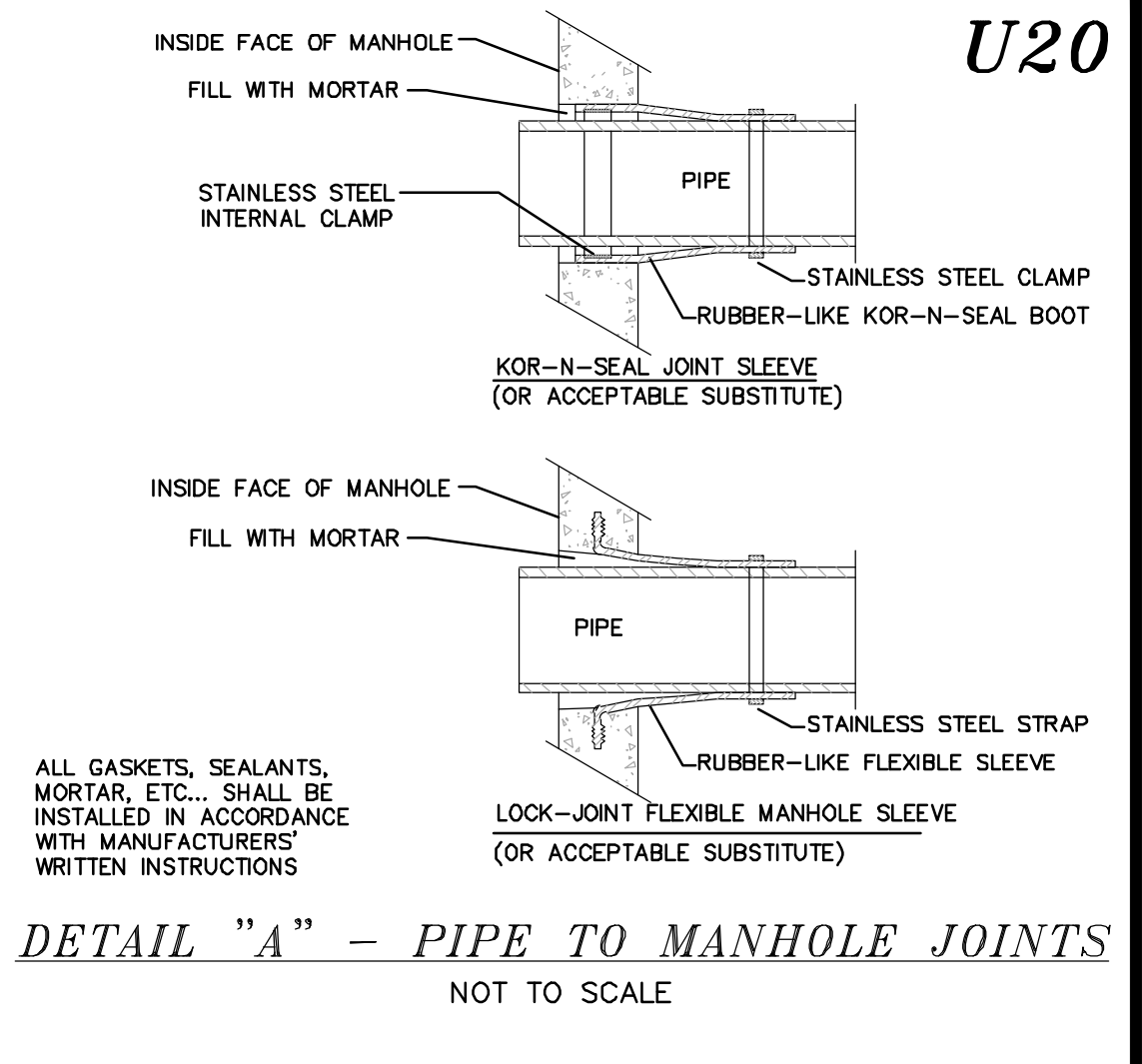
- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT AND ADEQUATE JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND HS-20-44 LOADING, INCLUDING THE COVER. ALL SMH CONSTRUCTION AND MATERIALS WILL BE IAW ENV-WQ 704.13 (c)(3) ADOPTED OCTOBER 15, 2014.
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE. (IAW ENV-WQ 704.12 (d))
- SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
- GRAVITY SEWER PIPE TESTING WILL BE IN ACCORDANCE WITH ENV-WQ 704.06 AND MAN HOLE TESTING IAW ENV-WQ 704.17 DATED OCTOBER 15, 2014.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. INVERT BRICKS SHALL BE LAID ON EDGE AND THE BASE SECTION SHALL BE FULL. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. CARE SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. BASE SECTION SHALL BE MONOLITHIC TO A POINT AT LEAST 6" ABOVE THE CROWN OF THE INCOMING PIPE PER ENV-WQ 704.12(a). CASTINGS SHALL CONFORM WITH ASTM A48/A48M PER ENV-WQ 704.13 (c)(8). UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. (IAW ENV-WQ 704.13 (c) (9)). MORTAR SHALL CONFORM WITH REQUIREMENTS OF IAW ENV-WQ 704.13 (c).
- FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH (MINIMUM HEIGHT) LETTERS WITH THE WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH MANHOLE COVER. (IAW ENV-WQ 704.13 (c) (4-6)) SEWER MAN HOLE COVERS ARE TO NH STANDARD.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE BARRINGTON DPW, WHICH SHALL, IN GENERAL, DEPEND FOR WATER-TIGHTNESS UPON A DOUBLE ROW OF AN OVERLAPPING TYPE ELASTOMERIC OR MASTIC-LIKE GASKET. APPROVED ELASTOMERIC SEALANTS ARE: RAM-NEK, KENT SEAL NO. 2, EZ, OR EQUAL.
- ALL FRAMES AND GRATES ARE TO BE U.S.A. MADE. MANHOLE STEPS ARE REQUIRED IN THIS MUNICIPALITY AND MUST CONFORM TO THE REQUIREMENTS OF ENV-WQ 704.14.
- ANY WORK INVOLVING THE CUTTING INTO A.C. PIPE SHALL MEET THE REQUIREMENTS OF ENV-A 1800.
- THE CONTRACTOR IS TO REVIEW THE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE DESIGN DATED JULY 2018 FOR FURTHER DEFINED. SEE CHAPTER II-7.



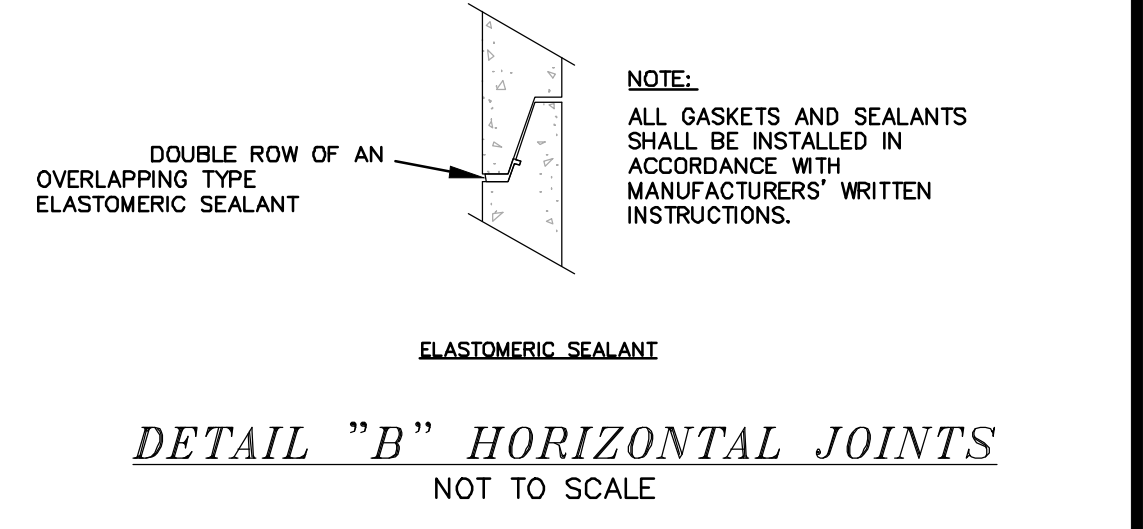
**U18**



**U19**



**U20**



**U21**

**Manhole Castings L-6**  
**New Hampshire Standard**

**32" Manhole Frame & Cover**  
New Hampshire Standard for manhole frames and covers. Manufactured in the USA.

**Features:**

- 2" landing
- Castable in place or modified SEWER, DRAIN or
- Non-slip cover
- Diamond plate design
- Round gage available

**Specifications:**

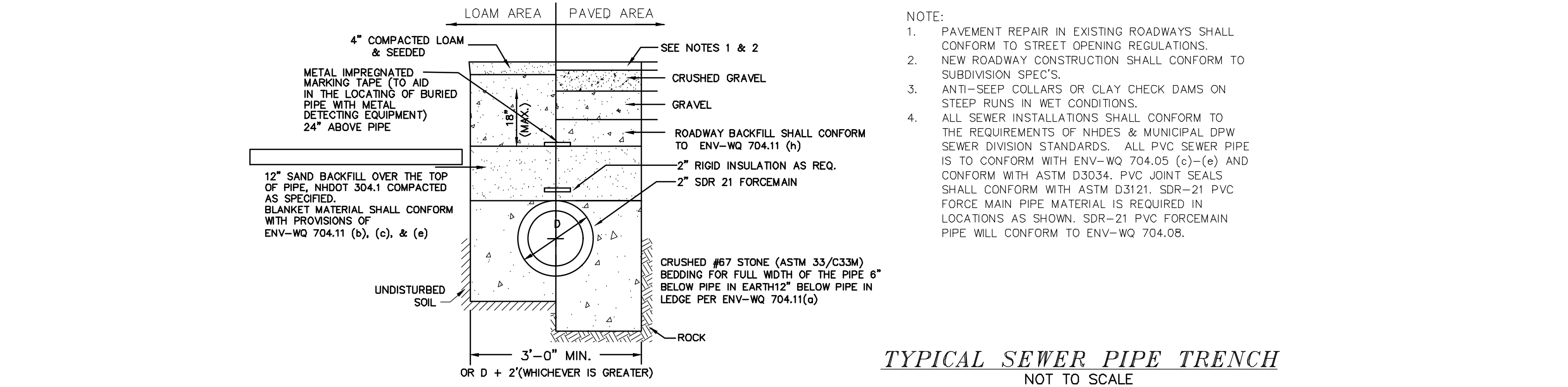
- Fully finished frame and cover
- R-30 load rated
- Ring and base meet ASTM A88 Class III
- CRP coating is water base asphalt paint coated
- Weight:
  - Frame: 250 lbs.
  - Cover: 250 lbs.
  - Total: 500 lbs.

| DESCRIPTION         | UNIT | QUANTITY |
|---------------------|------|----------|
| 32" Manhole Frame   | EA   | 1        |
| 32" Manhole Cover   | EA   | 1        |
| 32" Manhole Ring    | EA   | 1        |
| 32" Manhole Base    | EA   | 1        |
| 32" Manhole Gasket  | EA   | 1        |
| 32" Manhole Sealant | EA   | 1        |
| 32" Manhole Steps   | EA   | 1        |
| 32" Manhole Grate   | EA   | 1        |

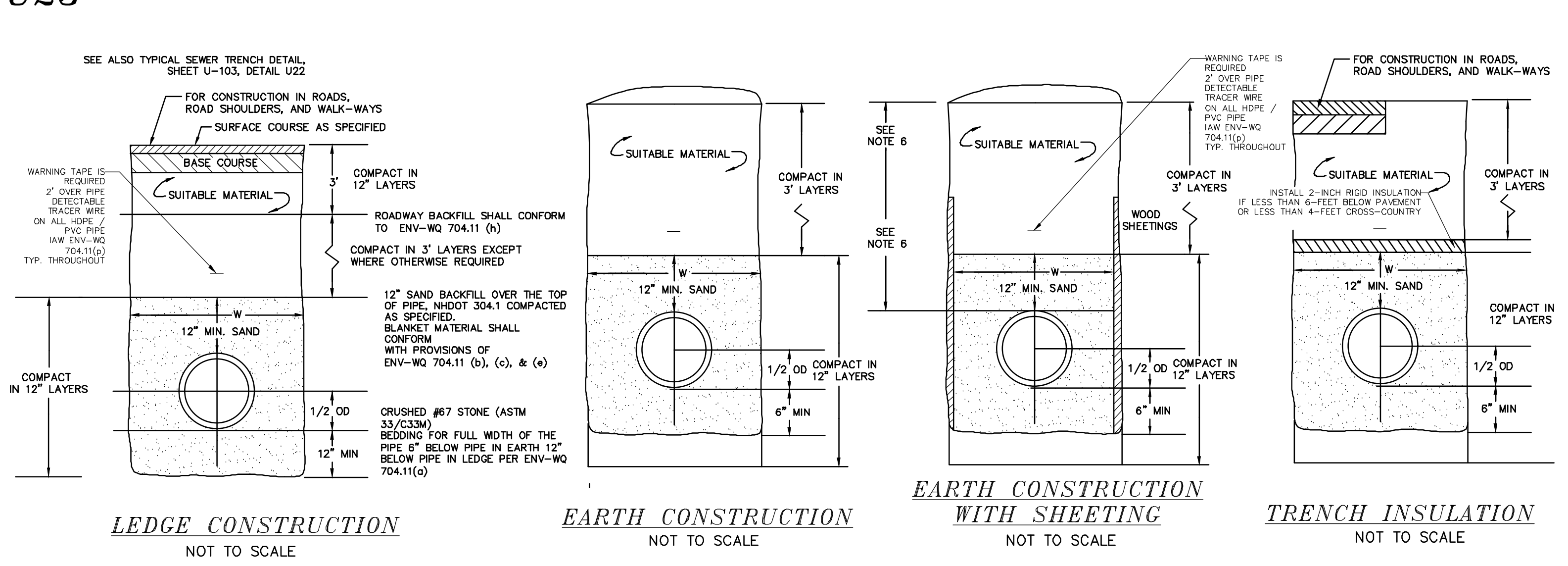
**SEWER MANHOLE FRAME AND GRATE WILL BE NEW HAMPSHIRE STANDARD, OR APPROVED EQUAL, 32 INCH OPENING, CAST IRON, H20 LOADING.**

**SEWER MANHOLE COVER DETAIL**  
NOT TO SCALE

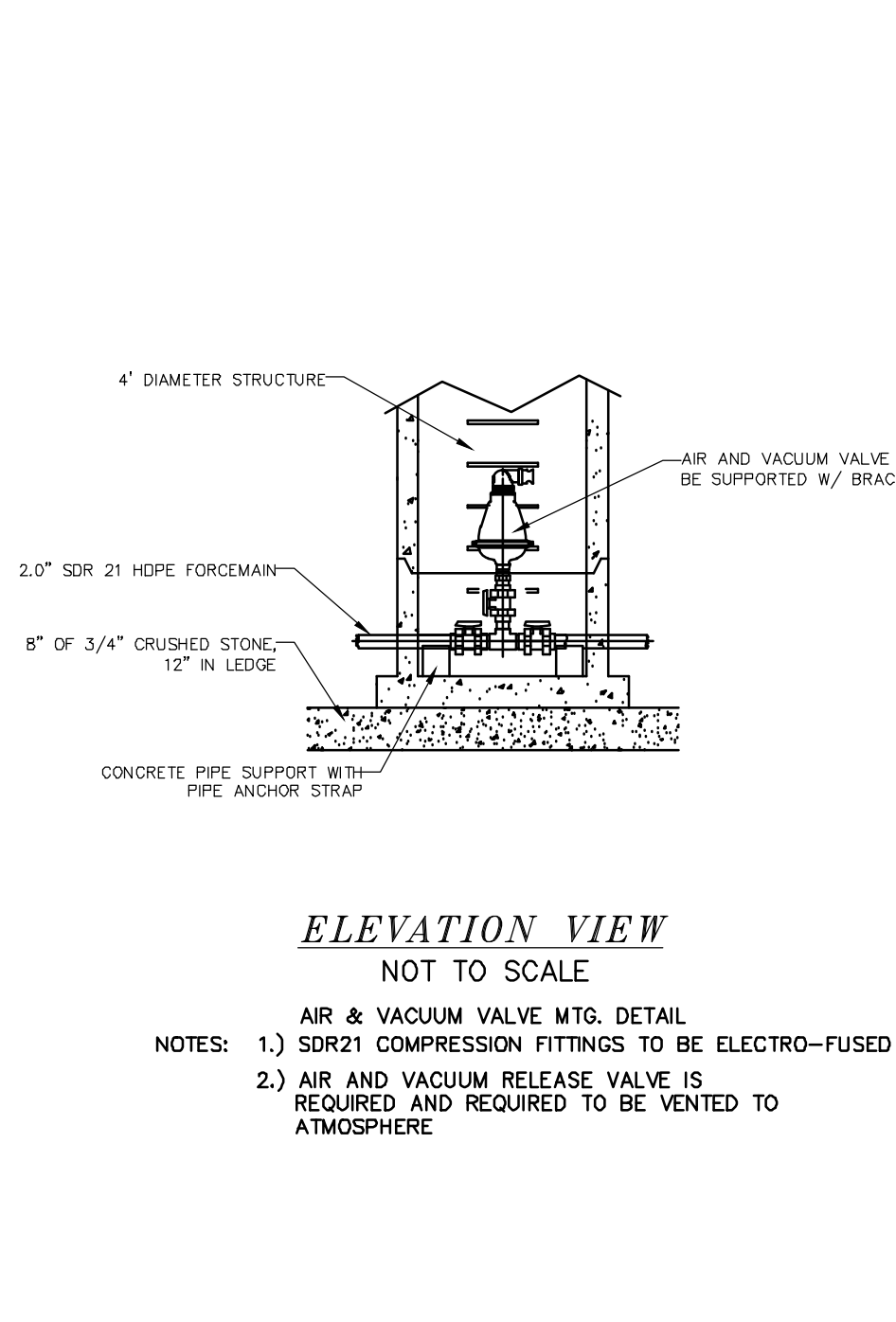
**U22**



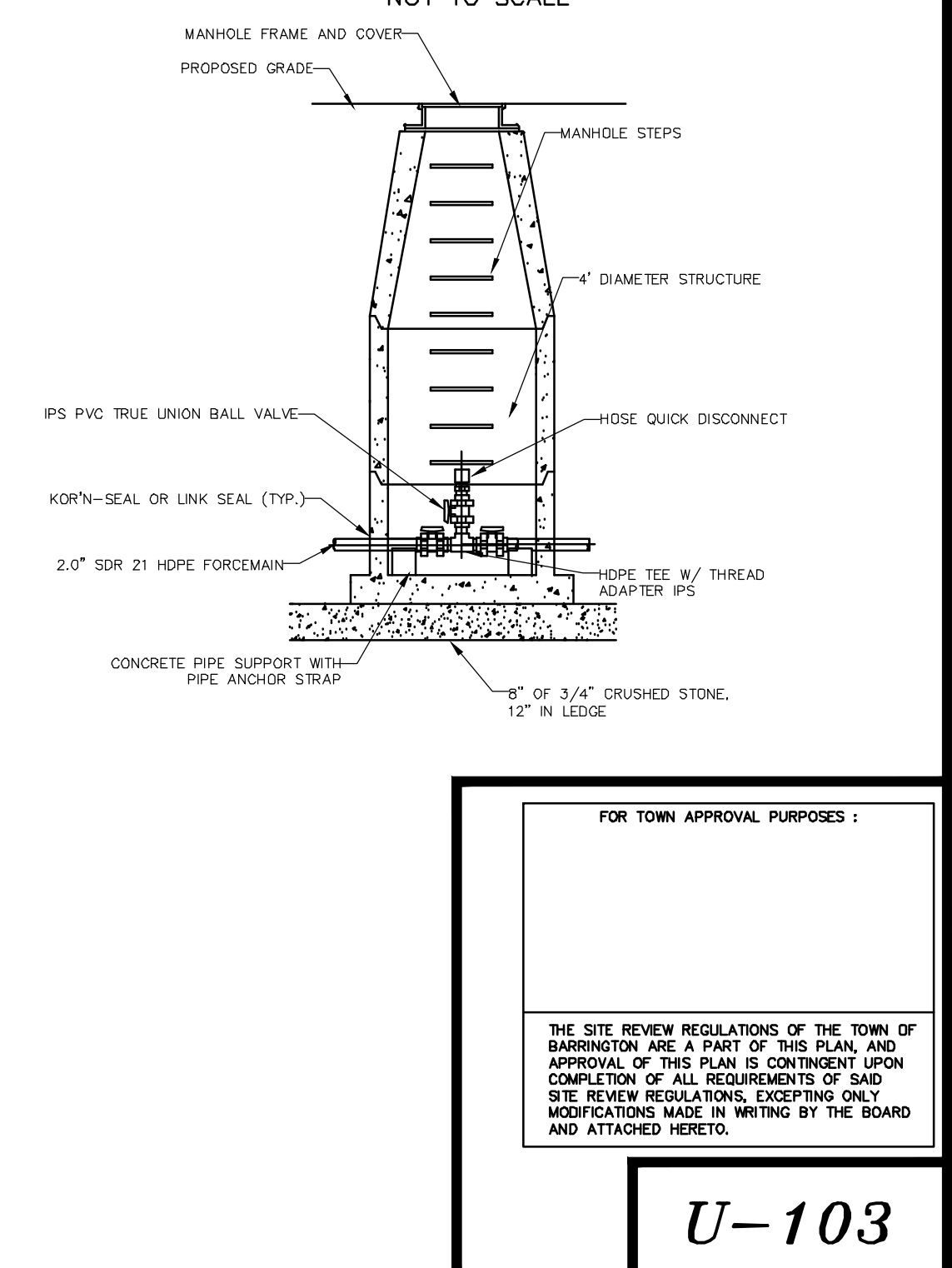
**U23**



**U24**



**INLINE FLUSHING MANHOLE DETAIL**  
NOT TO SCALE



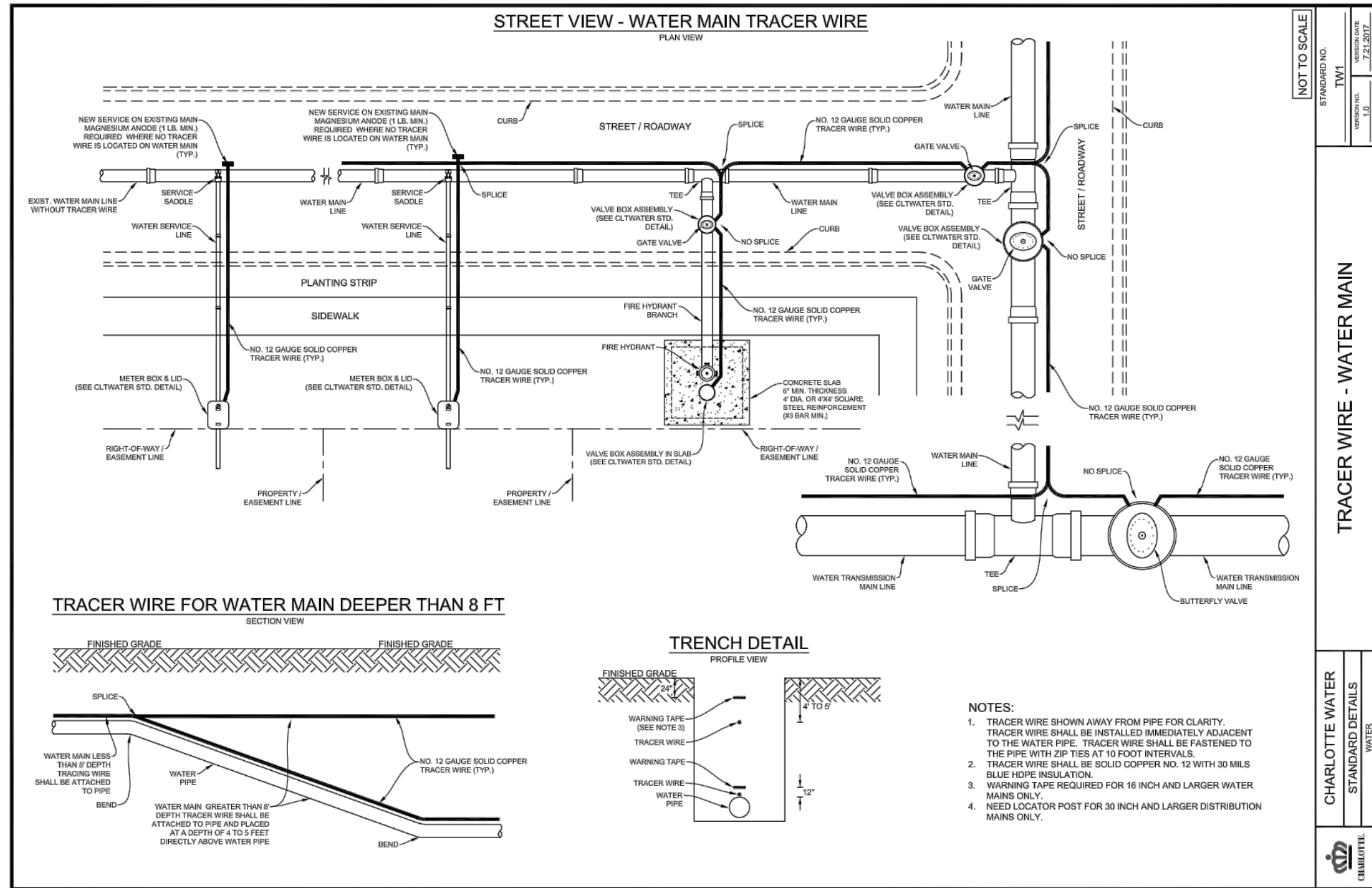
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| #2       | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #1       | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED  
DATE: JUNE 14, 2021  
FILE NO.: DB 2020 - 097

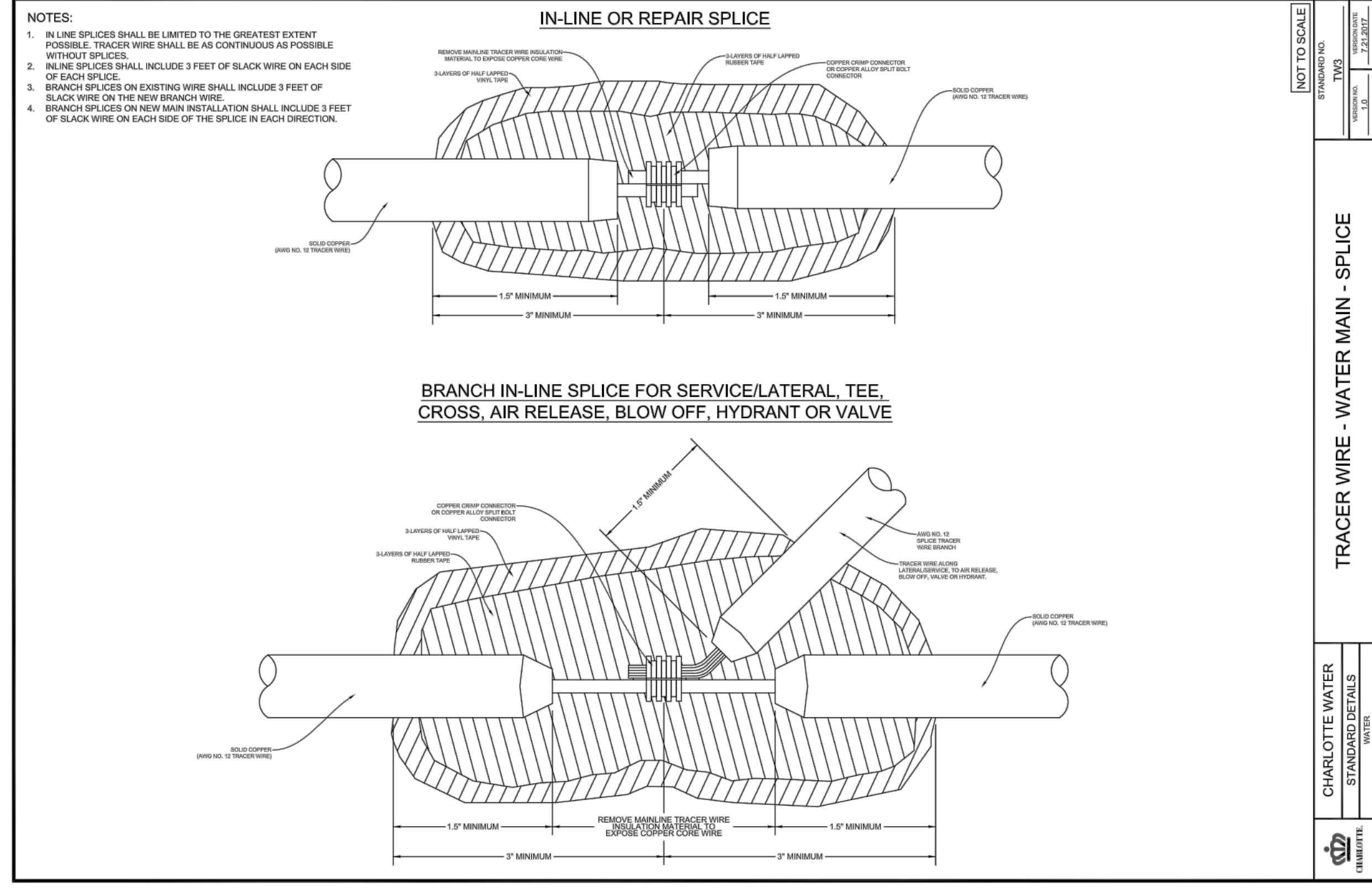
STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
LICENSED PROFESSIONAL ENGINEER

SHEET T102OF 109



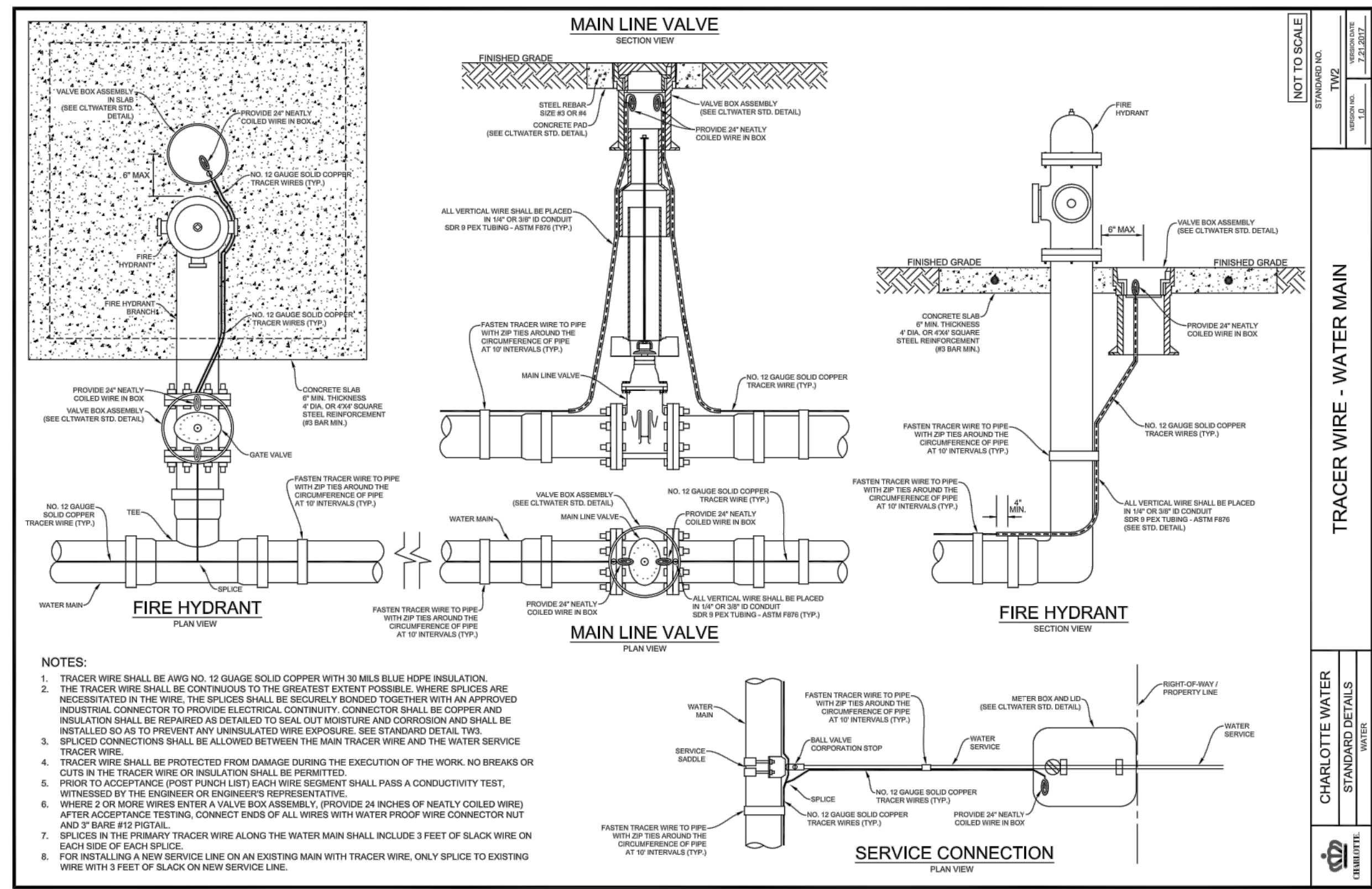
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STANDARD NO. TWT  
DATE: 7.2.2017

CHARLOTTE WATER  
STANDARD DETAILS  
WATER



NOT TO SCALE  
STANDARD NO. TWT  
DATE: 7.2.2017

CHARLOTTE WATER  
STANDARD DETAILS  
WATER



NOT TO SCALE  
STANDARD NO. TWT  
DATE: 7.2.2017

CHARLOTTE WATER  
STANDARD DETAILS  
WATER

|   |            |    |          |      |
|---|------------|----|----------|------|
| REVISED PER CMA ENGINEERS & NHDES AOT COMMENT | 10-12-2021 | #2 | REVISION | DATE |
| REVISED PER CMA ENGINEERS & NHDES AOT COMMENT | 08-30-2021 | #1 | REVISION | DATE |

UTILITY CONSTRUCTION DETAILS  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE: AS NOTED  
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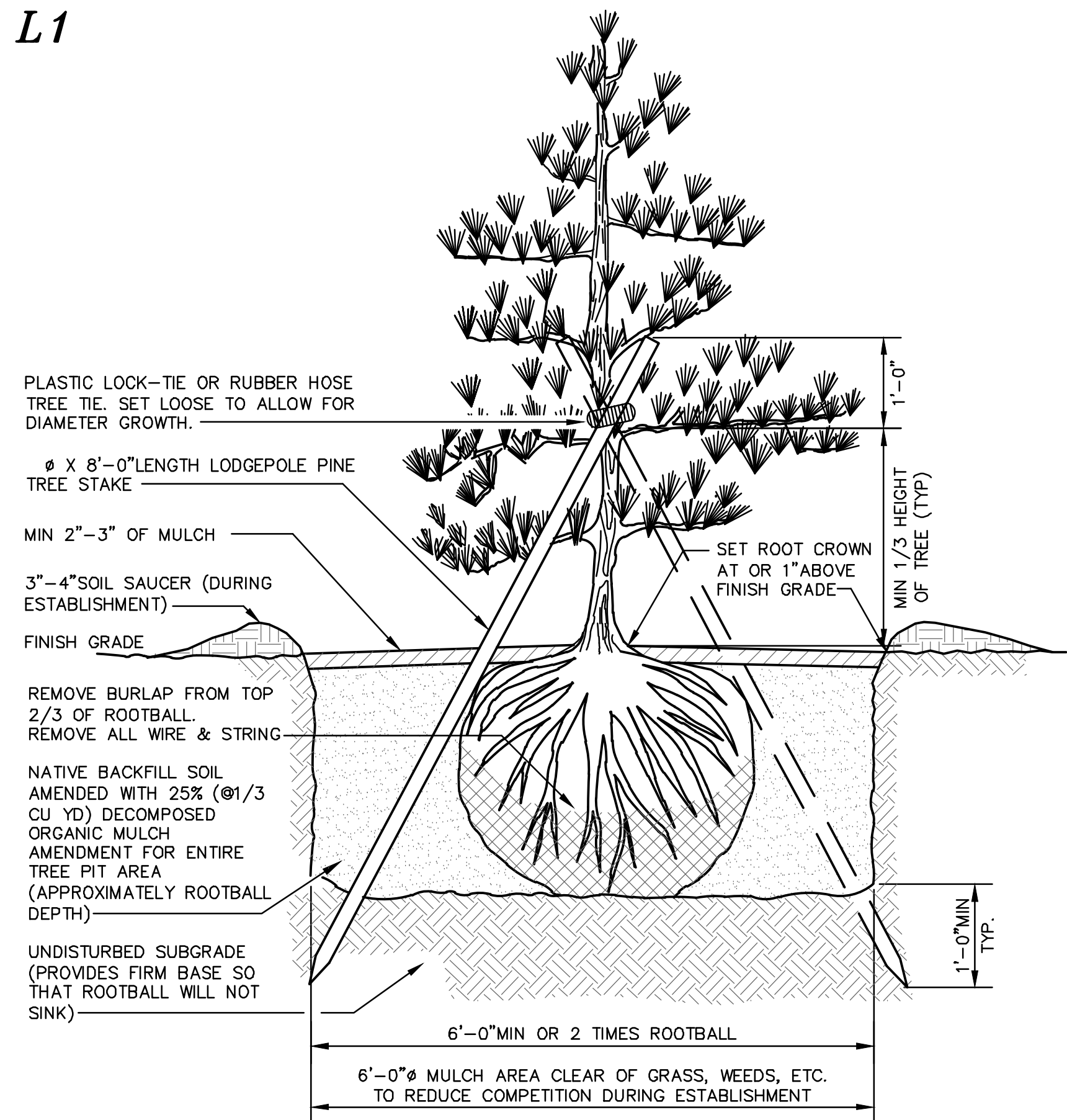
STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 14122  
LICENSED PROFESSIONAL ENGINEER

FOR TOWN APPROVAL PURPOSES:

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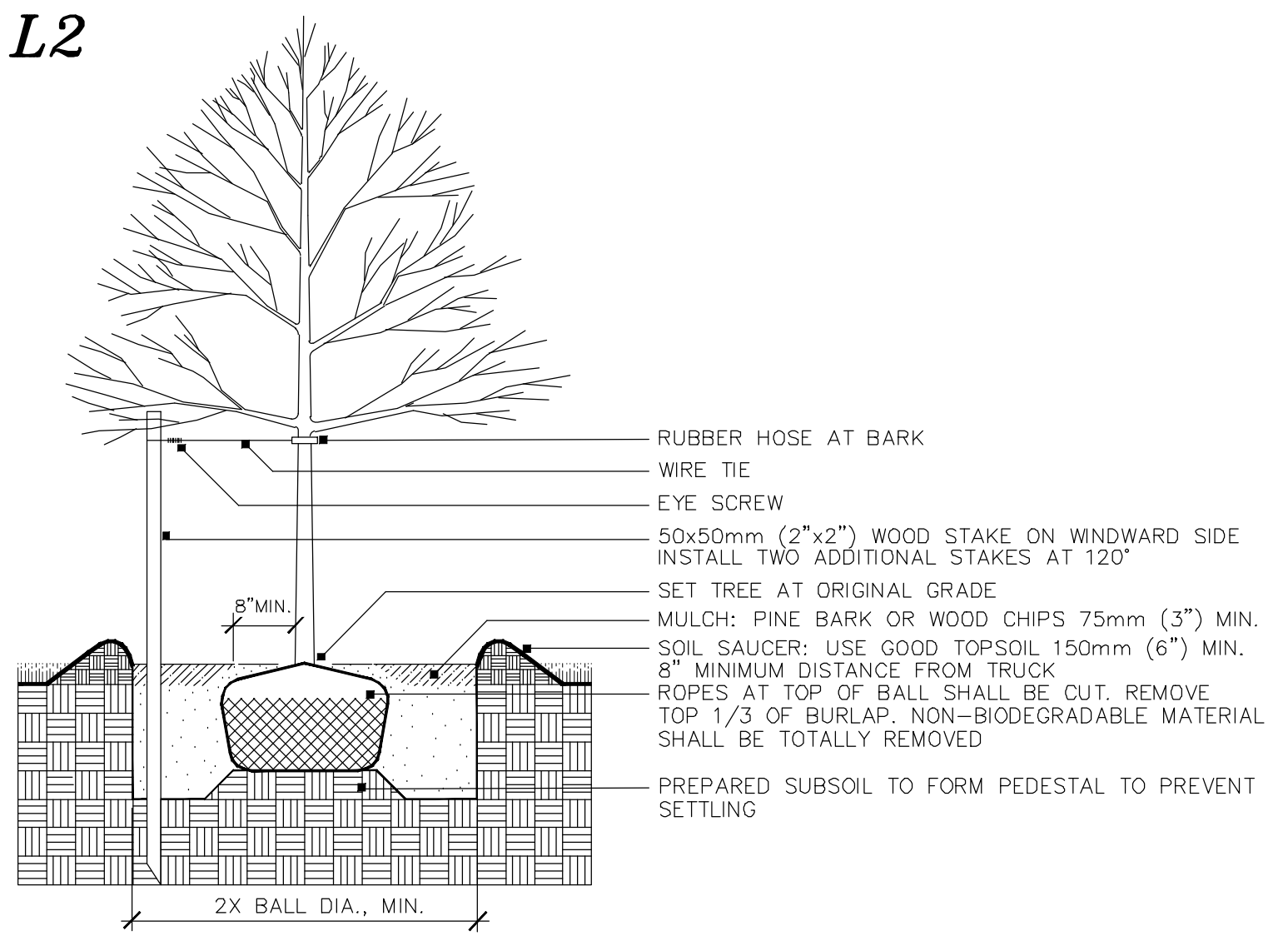


L1



CONIFEROUS TREE PLANTING

L2

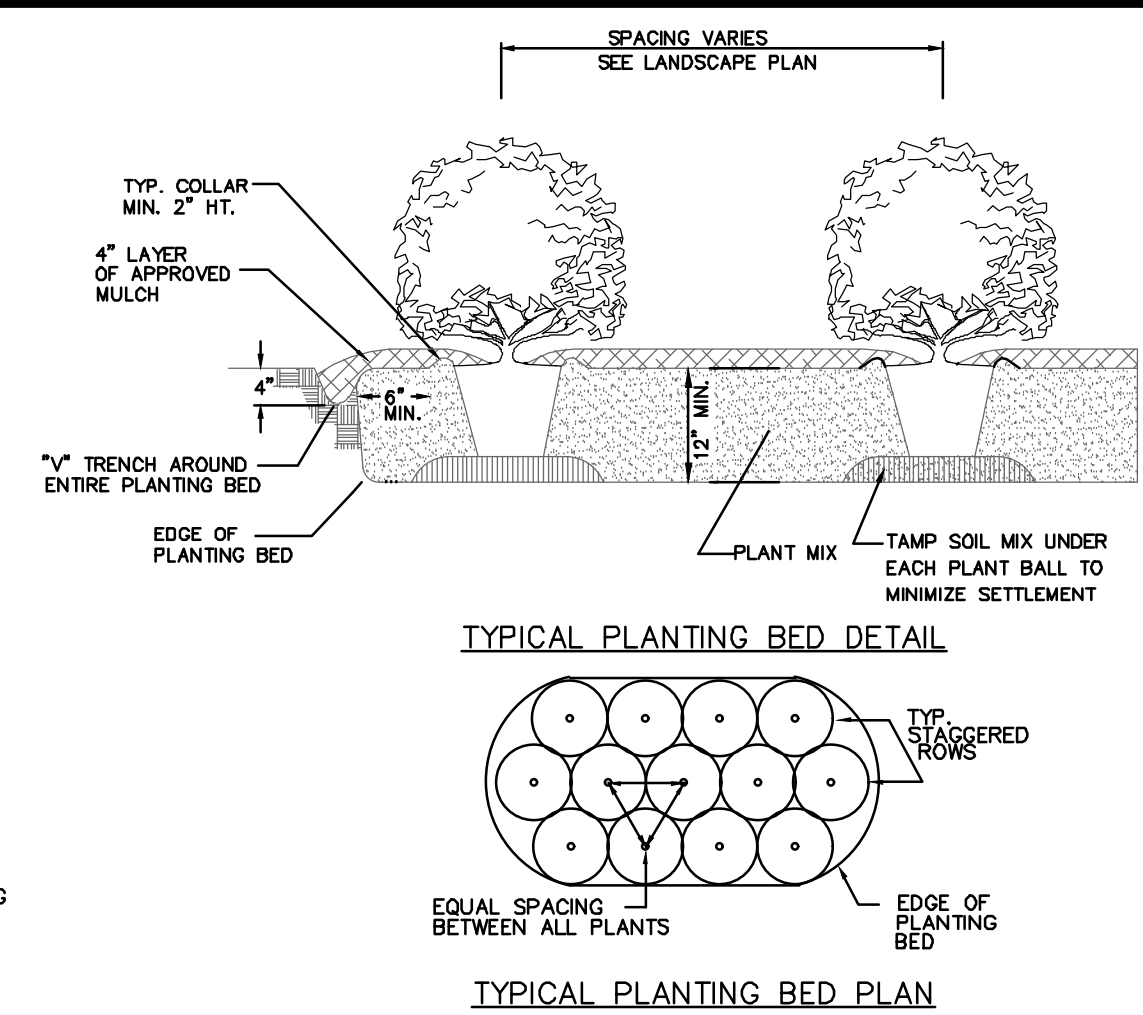


DECIDUOUS TREE PLANTING

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

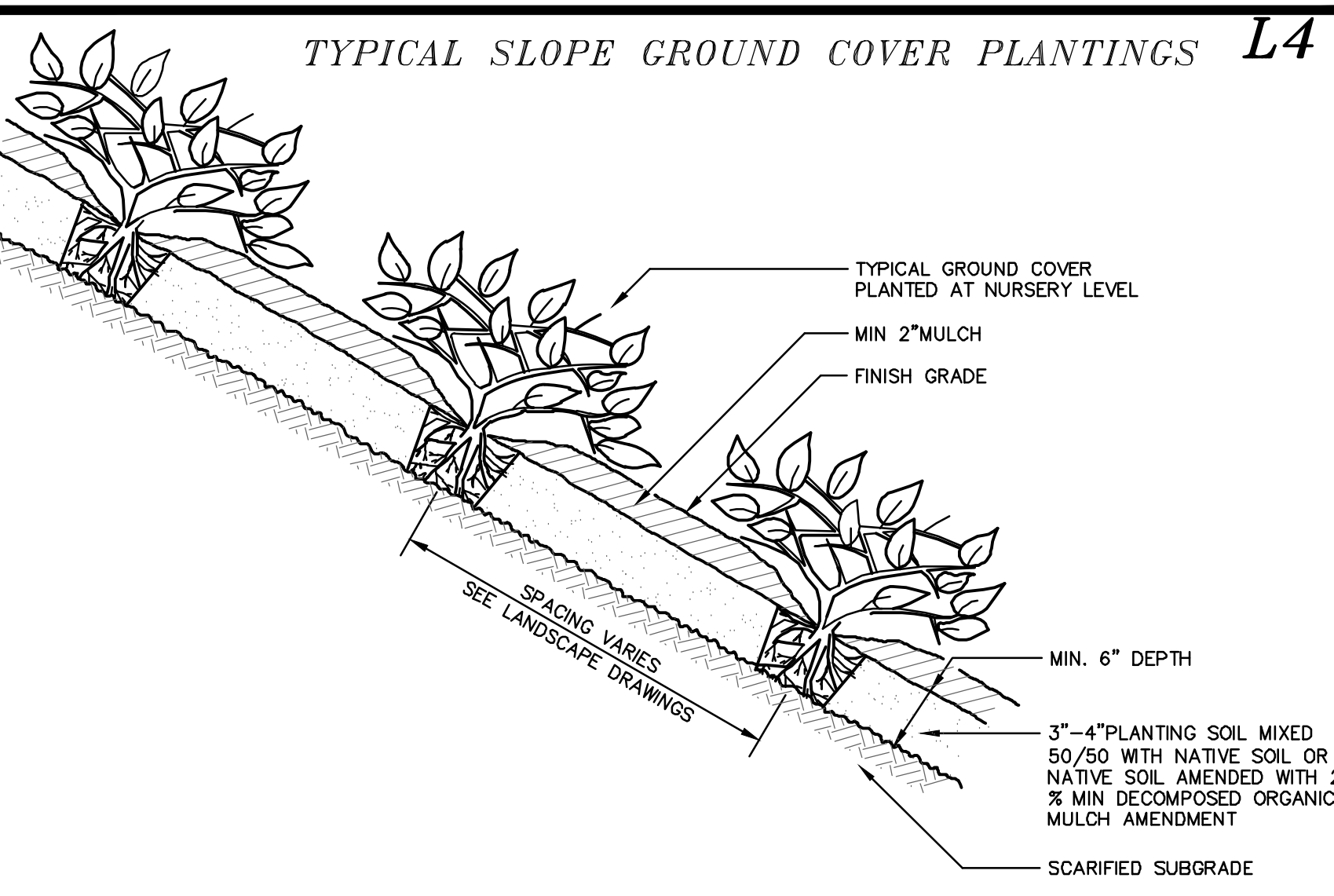
L3

- NOTES:
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
  2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
  3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
  4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
  5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.

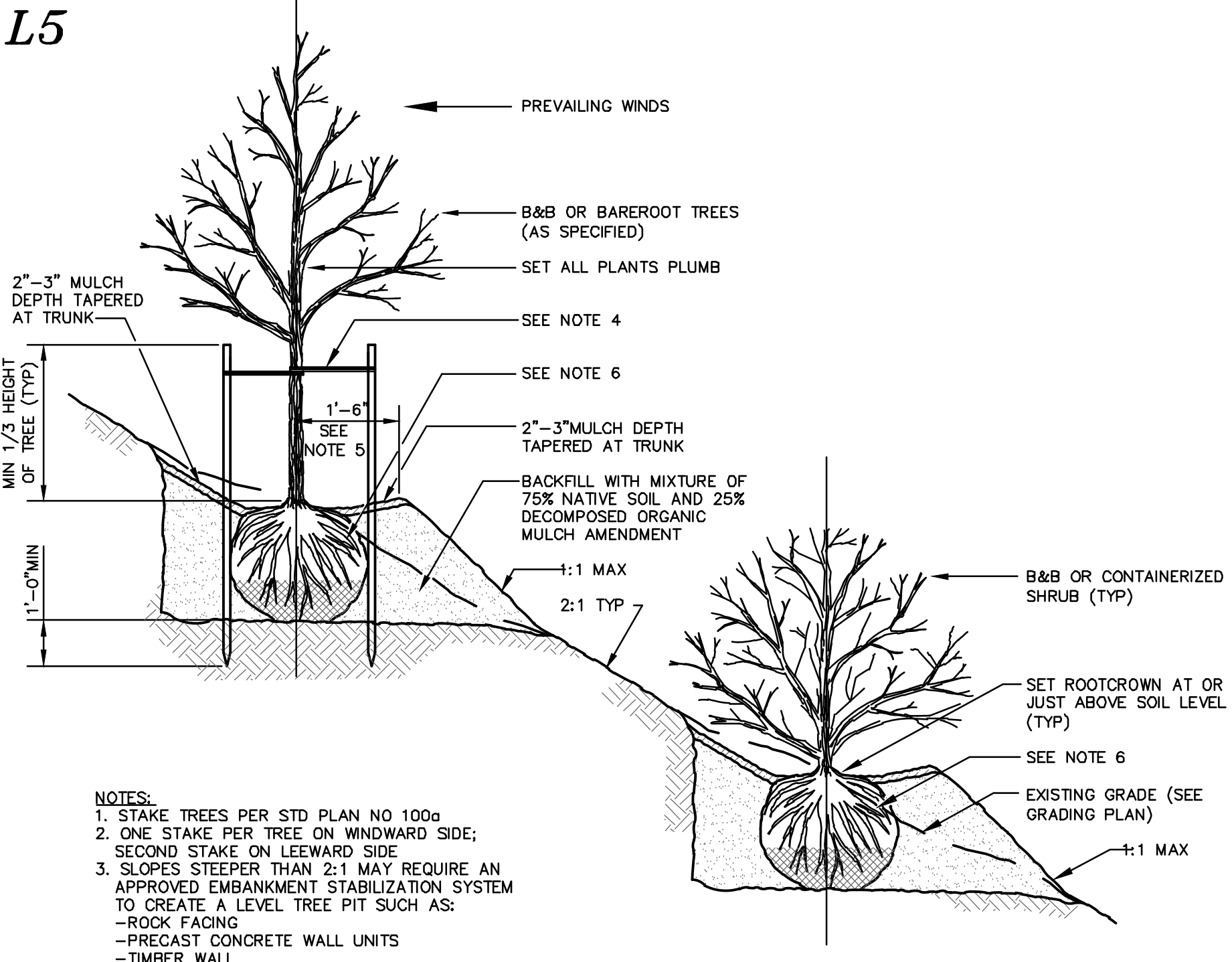


SHRUB & HEDGE PLANTING

TYPICAL SLOPE GROUND COVER PLANTINGS L4



L5



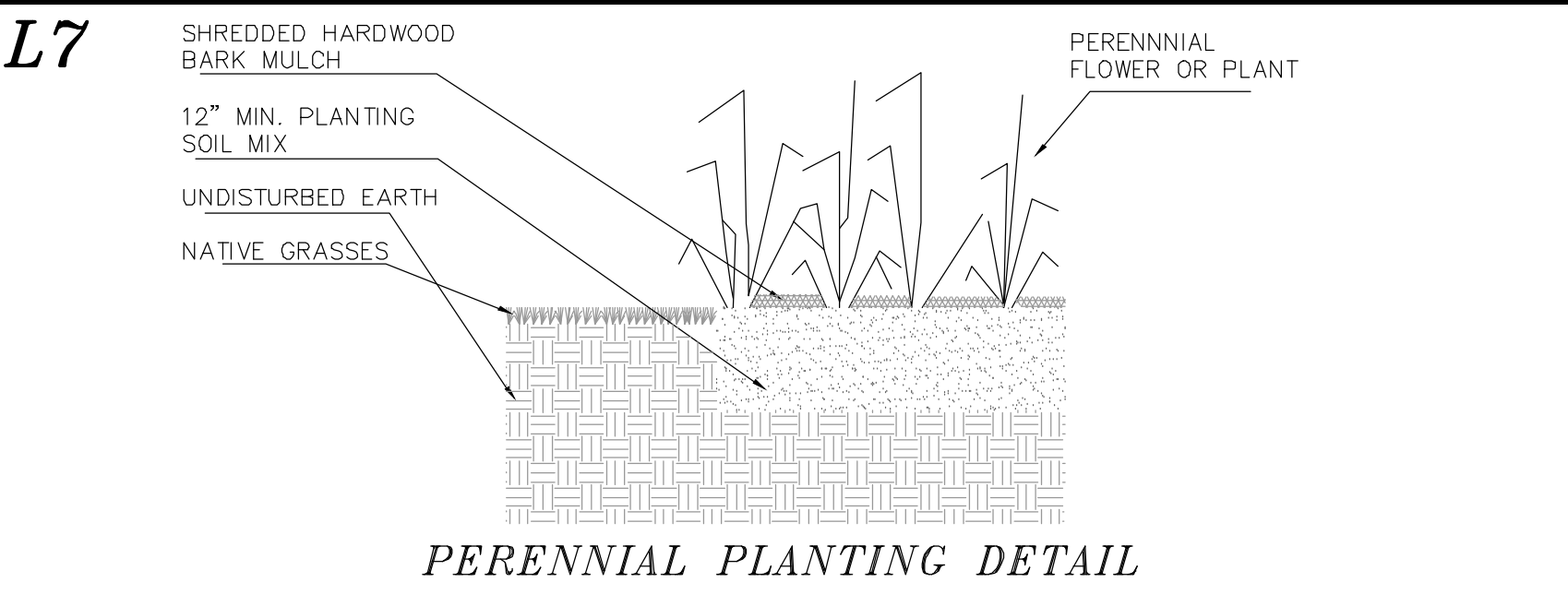
TREE PLANTING ON SLOPES

- NOTES:
1. STAKE TREES PER STD PLAN NO 100a
  2. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEEWARD SIDE
  3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
    - ROCK FACING
    - PRECAST CONCRETE WALL UNITS
    - TIMBER WALL
    - MANUFACTURED SLOPE RETENTION UNITS
  4. CHAINLOCK TREE TIE. LOOP EACH TIE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
  5. SHAPE SOIL TO PROVIDE 3' DIAMETER OR ROOTBALL DIAMETER, WHICHEVER IS GREATER, WATERING RING.
  6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

L6

- NOTES:
- 1.) CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
  - 2.) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
  - 3.) PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
  - 4.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - 5.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
  - 6.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
  - 7.) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
  - 8.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
  - 9.) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
  - 10.) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
  - 11.) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
  - 12.) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
  - 13.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
  - 14.) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
  - 15.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
  - 16.) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
  - 17.) SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
  - 18.) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
  - 19.) TREES ARE TO BE 2-2.5" CALIPER 6" OFF THE ROOT BALL.
  - 20.) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
  - 21.) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
  - 22.) PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
  - 23.) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.

L7



PERENNIAL PLANTING DETAIL

FOR TOWN APPROVAL PURPOSES:

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| 08-30-2021 |          |      | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2         |          |      |   |
| #1         |          |      |   |

LANDSCAPING CONSTRUCTION DETAILS

LAND OF DOVE DEVELOPMENT GROUP, LLC

DOVE DEVELOPMENT GROUP, LLC

N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY COMMUNITY WAY BARRINGTON, NH

TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED

DATE: JUNE 14, 2021

FILE NO.: DB 2020 - 097

STATE OF NEW HAMPSHIRE  
KENNETH A. BERRY  
No. 1994  
LICENSED PROFESSIONAL ENGINEER

SHEET 11040F 109



**AMERICAN BUMBLE BEE**

IDENTIFICATION/DESCRIPTION:

BOMBUS PENNSYLVANICUS IS A LARGE BUMBLE BEE WITH THE QUEEN MEASURING 1 IN, THE WORKER FROM 0.5 IN, AND THE MALE FROM 0.75 IN IN LENGTH. THE QUEEN IS MOSTLY BLACK, INCLUDING THE LEGS, SPURS AND TEGULAE (BASE OF WING). TERGITE 1, OR THE MOST ANTERIOR BACK PORTION OF THE QUEEN IS OFTEN YELLOW ESPECIALLY IN THE MIDDLE. WORKER BEES' MIDDLE TERGITES ARE YELLOW. THE TAIL BLACK, AND FACE LONG. THEIR CHEEKS ARE SLIGHTLY LONGER THAN BROAD, AND THE CLYPEUS (NOSE) HAS LARGE PUNCTURES EXCEPT ON THE MID LINE. THE HAIR ON THE TOP OF THE HEAD IS BLACK, SHORT AND EVEN. MALES HAVE A YELLOW ABDOMEN WITH A BLACK HEAD AND BLACK STRIPING IN THE LOWER THORAX.



**BLANDINGS TURTLE**

IDENTIFICATION/DESCRIPTION:

A 7- TO 9-INCH TURTLE WITH YELLOW SPECKLES THAT OFTEN RUN TOGETHER TO FORM STREAKS ON THE CARAPACE. EASILY IDENTIFIED WHEN BASKING FROM ITS CHARACTERISTIC YELLOW THROAT AND CHIN.



**NORTHERN BLACK RACER**

IDENTIFICATION/DESCRIPTION:

A SLENDER BLACK SNAKE MEASURING 36-60 INCHES. BLACK RACERS ARE GLOSSY BLACK ON THE TOP AND BOTTOM WITH A WHITE THROAT AND CHIN. YOUNG RACERS ARE PATTERNED WITH BROWN OR REDDISH PATCHES ON A LIGHTER BASE OF GRAY.



**SMOOTH GREEN SNAKE**

IDENTIFICATION/DESCRIPTION:

A THIN, SLENDER BRIGHT-GREEN SNAKE MEASURING 10-20 INCHES. THE UNDERSIDE IS WHITE OR A PALE YELLOW.



**LITTLE BROWN BAT**

IDENTIFICATION/DESCRIPTION:

THE LITTLE BROWN BAT IS A SMALL MAMMAL WITH A BODY LENGTH OF 2 1/2 - 4" AND WEIGHING APPROXIMATELY 1/8 TO 1/2 AN OUNCE. THE WINGSPAN OF LITTLE BROWN BATS RANGE FROM 9 - 11". BATS ARE THE ONLY MAMMALS THAT ENGAGE IN TRULY ACTIVE FLIGHT. AS THEIR NAME SUGGESTS THEY ARE GLOSSY BROWN ABOVE WITH A LIGHTER GRAY COLOR BELOW. THESE BATS CAN LIVE 20 TO 30 YEARS.



**NORTHERN LONG-EARED BAT**

IDENTIFICATION/DESCRIPTION:

THE NORTHERN LONG-EARED BAT IS A MEDIUM-SIZED BAT WITH A BODY LENGTH OF 3 TO 3.7 INCHES BUT A WINGSPAN OF 9 TO 10 INCHES. THEIR FUR COLOR CAN BE MEDIUM TO DARK BROWN ON THE BACK AND TANNY TO PALE-BROWN ON THE UNDERSIDE. AS ITS NAME SUGGESTS, THIS BAT IS DISTINGUISHED BY ITS LONG EARS, PARTICULARLY AS COMPARED TO OTHER BATS IN ITS GENUS, MYOTIS.



**EASTERN SMALL-FOOTED BAT**

IDENTIFICATION/DESCRIPTION:

THE EASTERN SMALL-FOOTED BAT HAS BROWNISH FUR, OFTEN WITH A GOLDEN SHEEN, THAT CONTRASTS WITH ITS BLACKISH FACE AND EARS, AND BLACKISH-BROWN WINGS AND TAIL MEMBRANE. IT CAN BE DISTINGUISHED FROM OTHER MYOTIS SPECIES BY ITS BLACK MASK AND SMALL SIZE. THE BODY IS LITTLE MORE THAN 3/2 INCHES LONG, INCLUDING A 1 1/2-INCH TAIL. ITS SMALL FEET, WHICH PROVIDE THE COMMON NAME, ARE LESS THAN A HALF-INCH AND ITS WINGSPAN RANGES FROM 8 1/4 TO 9 3/4 INCHES. THIS SPECIES FLIES SLOWLY AND ERRATICALLY, USUALLY ABOUT ONE TO THREE YARDS ABOVE THE GROUND.



**SILVER HAIRIED BAT**

IDENTIFICATION/DESCRIPTION:

THE SILVER-HAIRED BAT IS A MEDIUM-SIZED BAT WITH VERY DARK FUR TIPPED WITH SILVER OR WHITE. THE WINGS AND TAIL MEMBRANE ARE BLACK. EARS ARE SHORT AND ROUND WITH A SHORT, BLUNT-TIPPED TRAGUS. THE DORSAL SURFACE OF THE TAIL MEMBRANE IS PARTIALLY FURRED AND THE CALCAR LACKS A KEEL.



**TRI-COLORED BAT**

IDENTIFICATION/DESCRIPTION:

THE TRICOLORED BAT, FORMERLY KNOWN AS THE EASTERN PIPISTRELLE (PIPISTRELLUS SUBFLAVUS), IS A SMALL BAT WEIGHING 0.2 TO 0.3 OUNCES (5 TO 8 GR) AND HAS A WINGSPAN OF 8 TO 10 INCHES. THE TERM "TRICOLORED" REFERS TO THE BATS YELLOWISH-BROWN COAT THAT IS DARK AT THE BASE, YELLOWISH-BROWN IN THE MIDDLE, AND DARK AT THE TIPS. THE WING MEMBRANES ARE BLACKISH, BUT THE FACE AND EARS HAVE A PINKISH COLOR. AN OBVIOUS IDENTIFYING CHARACTERISTIC OF THIS SPECIES IS THE PINK COLOR OF THE SKIN ON THE RADIUS BONE. THE FEET ARE ALSO RELATIVELY LARGE COMPARED TO ITS BODY SIZE.



**SPOTTED TURTLE**

IDENTIFICATION/DESCRIPTION:

A SMALL 3-5 INCH TURTLE RECOGNIZED BY NUMEROUS YELLOW SPOTS COVERING A DARK CARAPACE. THE NUMBER OF SPOTS IS VARIABLE. SPOTS CAN ALSO BE FOUND ON THE HEAD AND LIMBS.



**WOOD TURTLE**

IDENTIFICATION/DESCRIPTION:

A 5-8 INCH TURTLE CHARACTERIZED BY ITS HIGHLY SCULPTED SHELL WHERE EACH LARGE SCUTE TAKES AN IRREGULAR PYRAMIDAL SHAPE. THE NECK AND FORELIMBS ARE ORANGE.

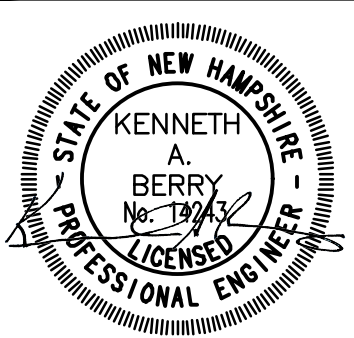
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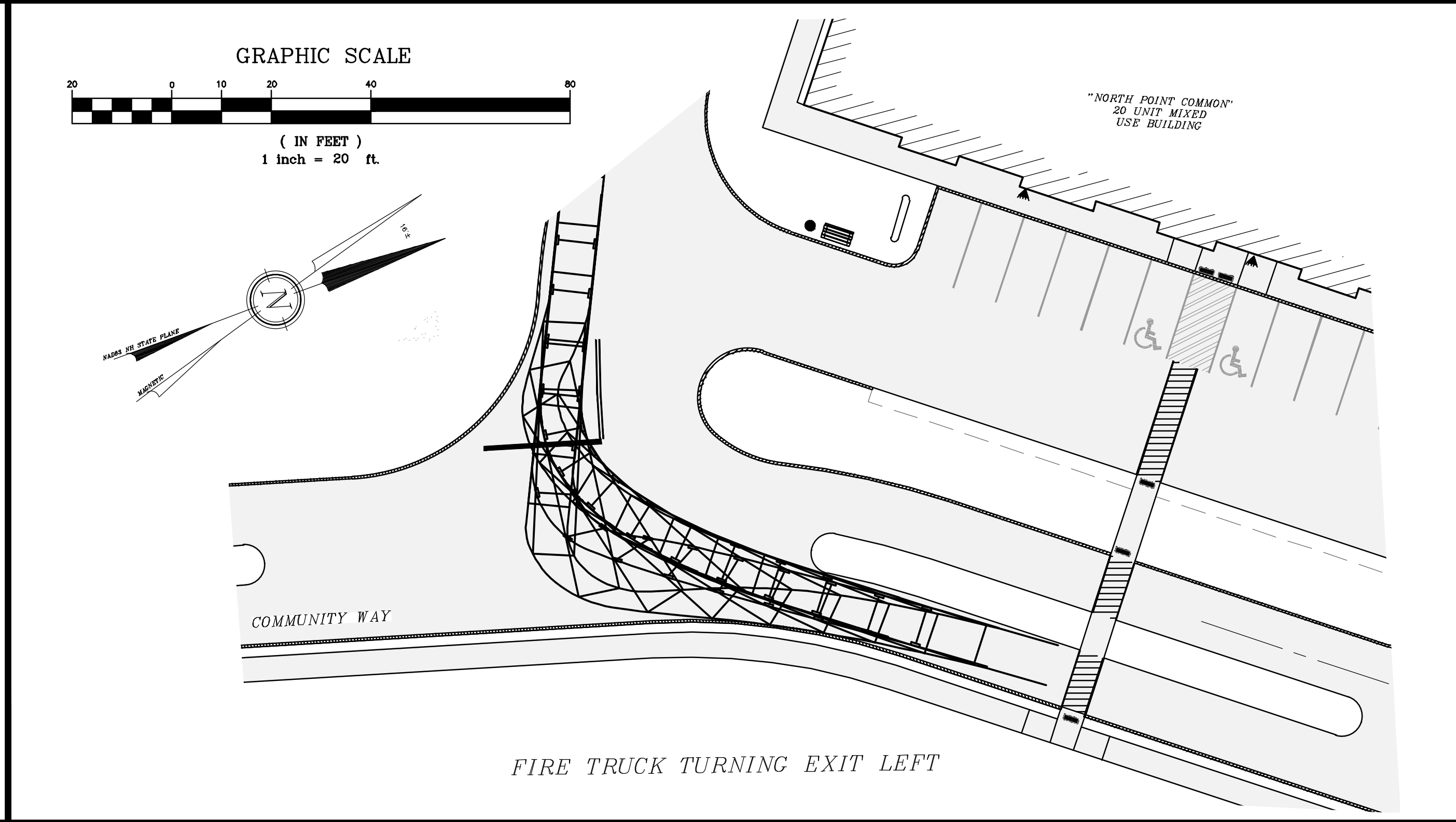
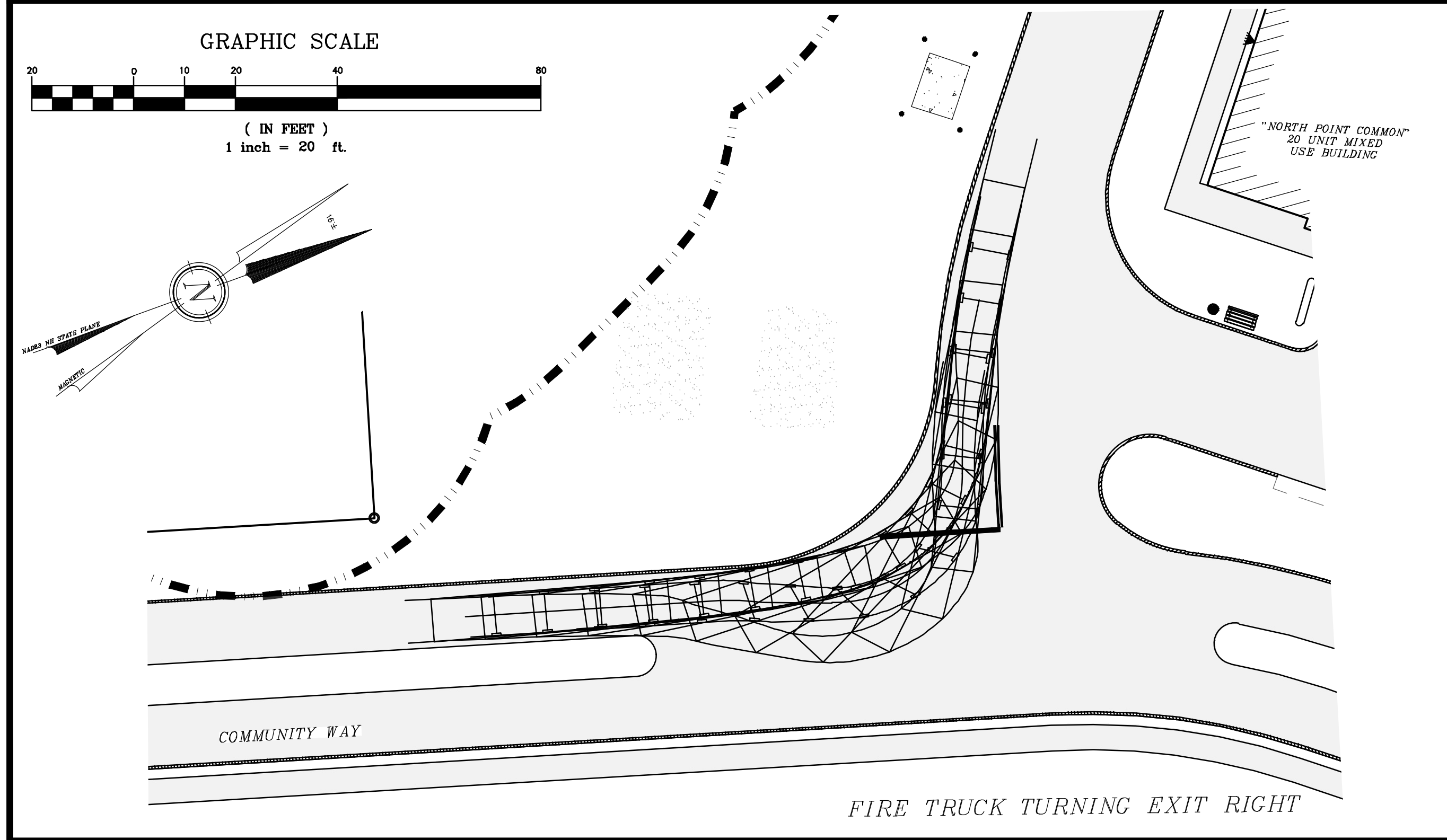
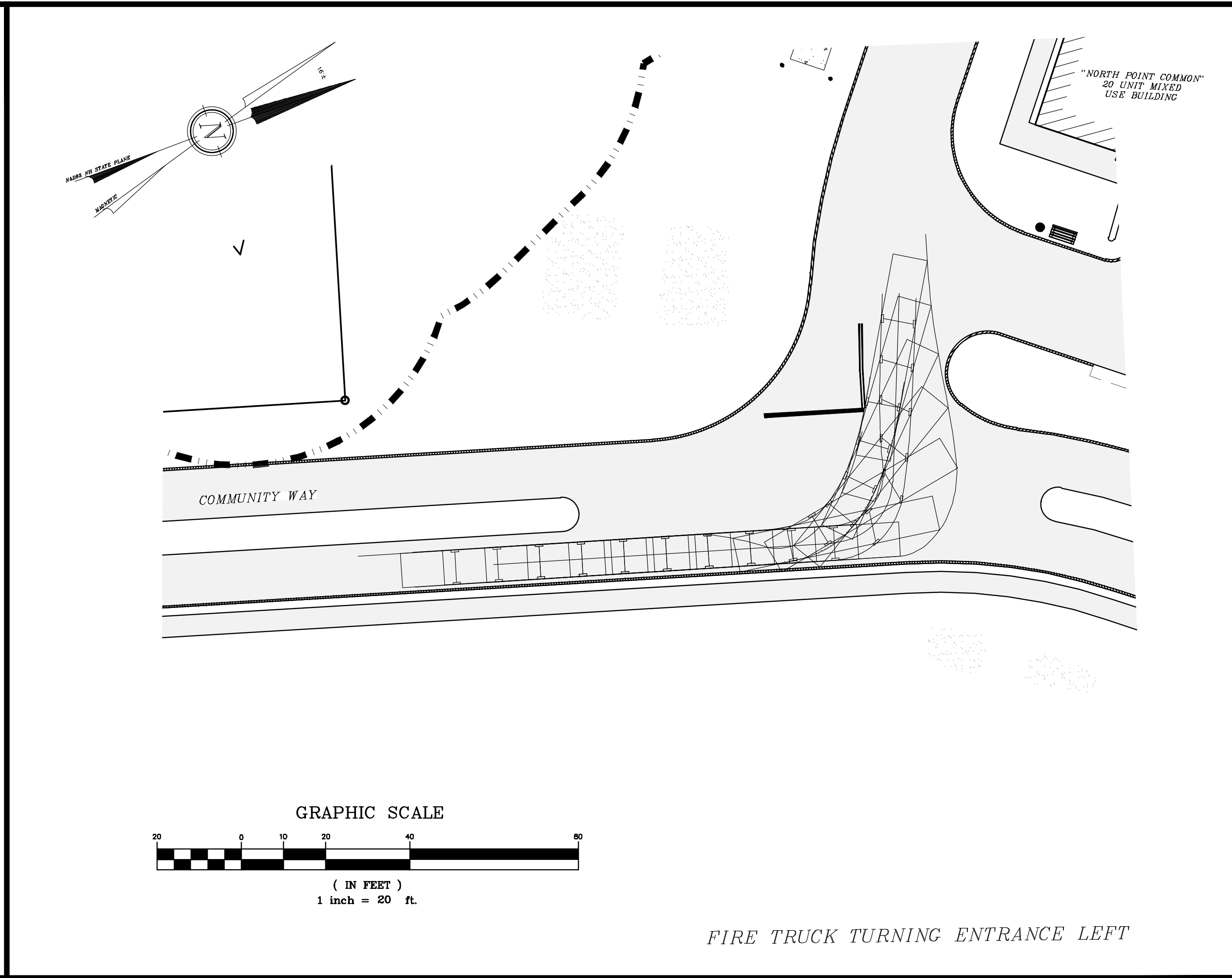
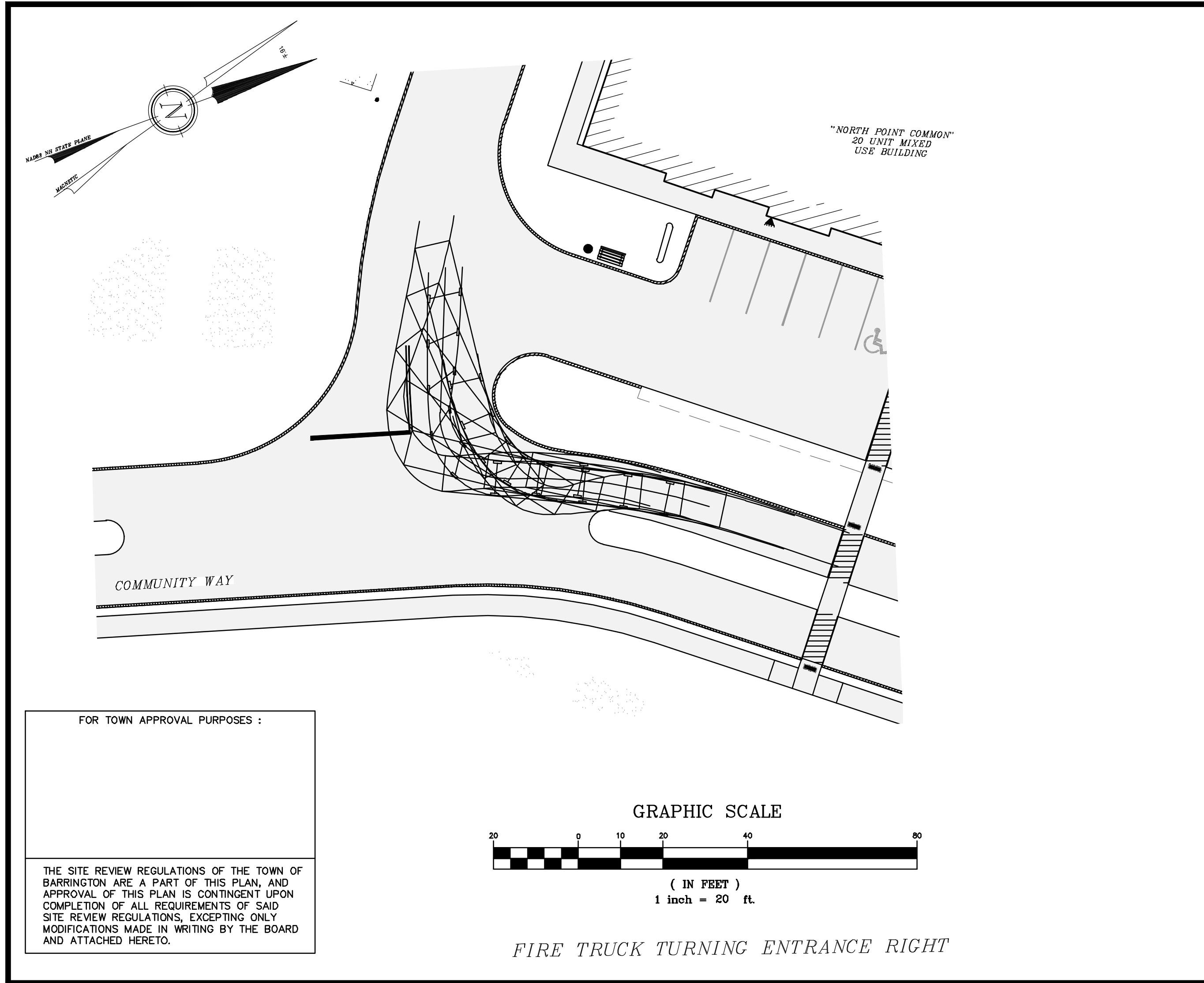
WILDLIFE IDENTIFICATION PLAN  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : N/A  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097

FOR TOWN APPROVAL PURPOSES :

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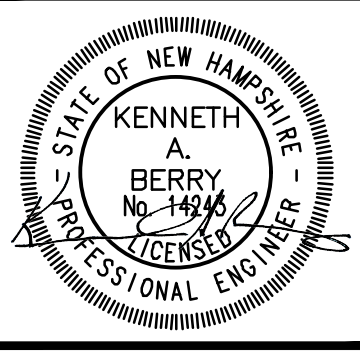


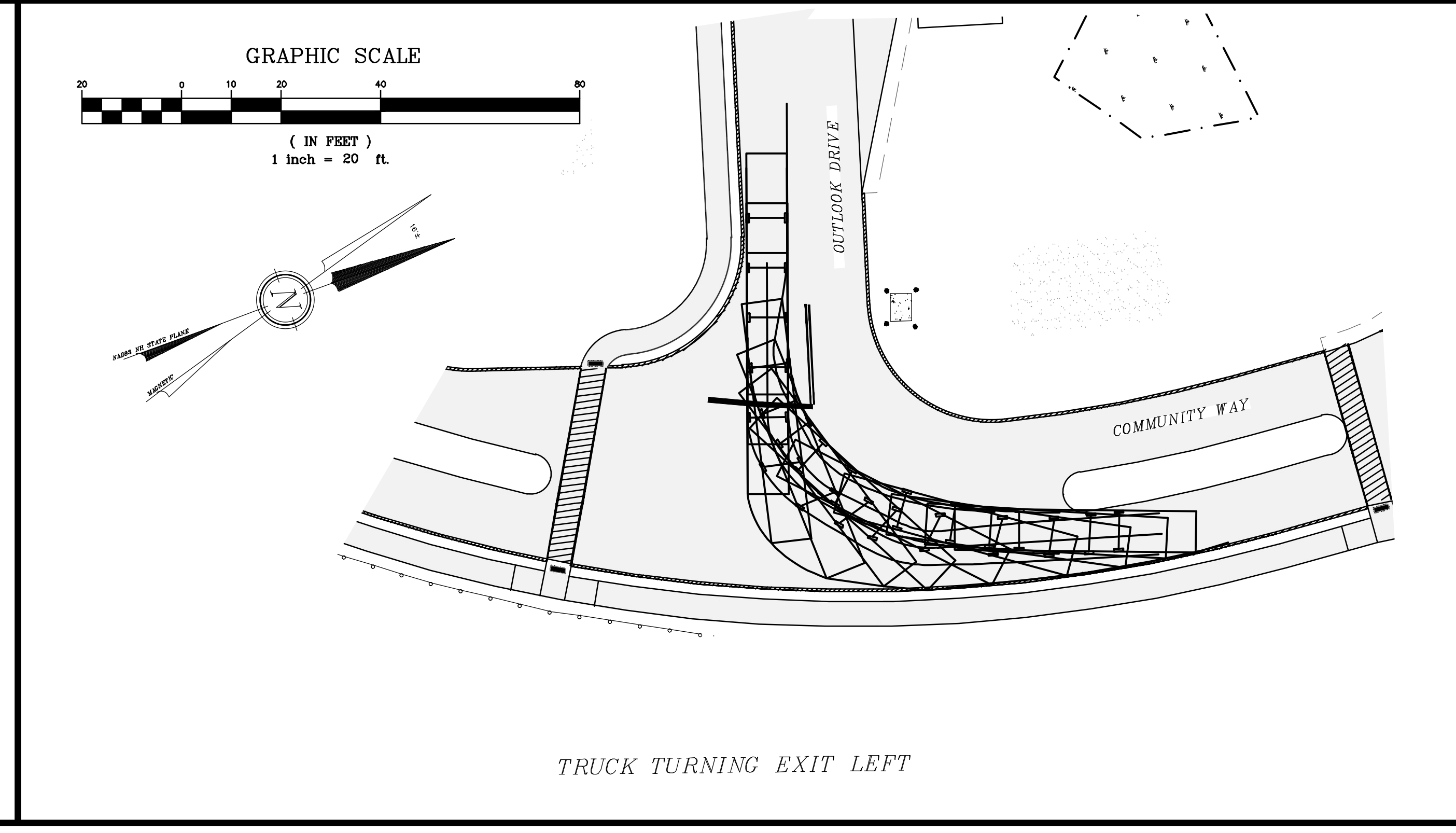
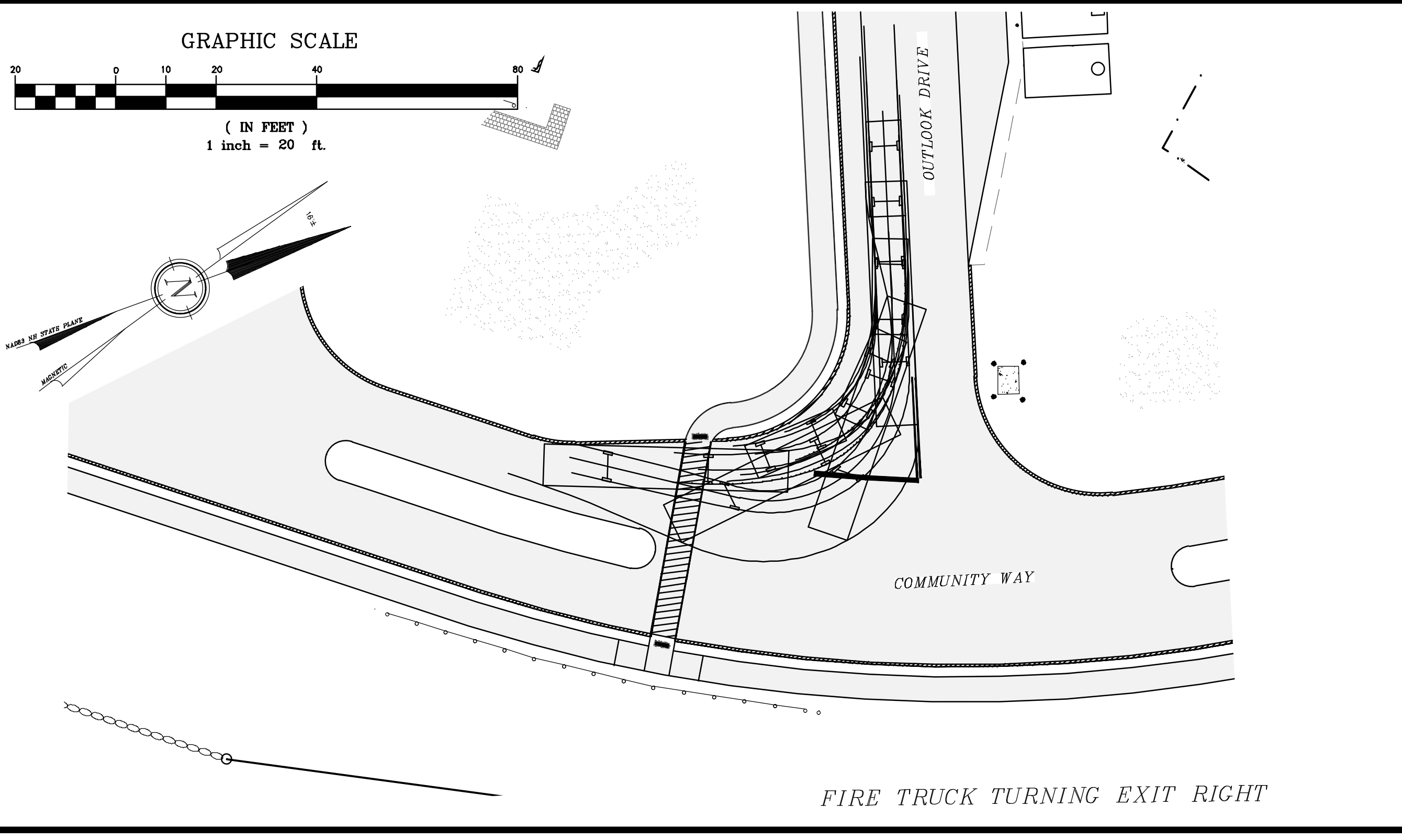
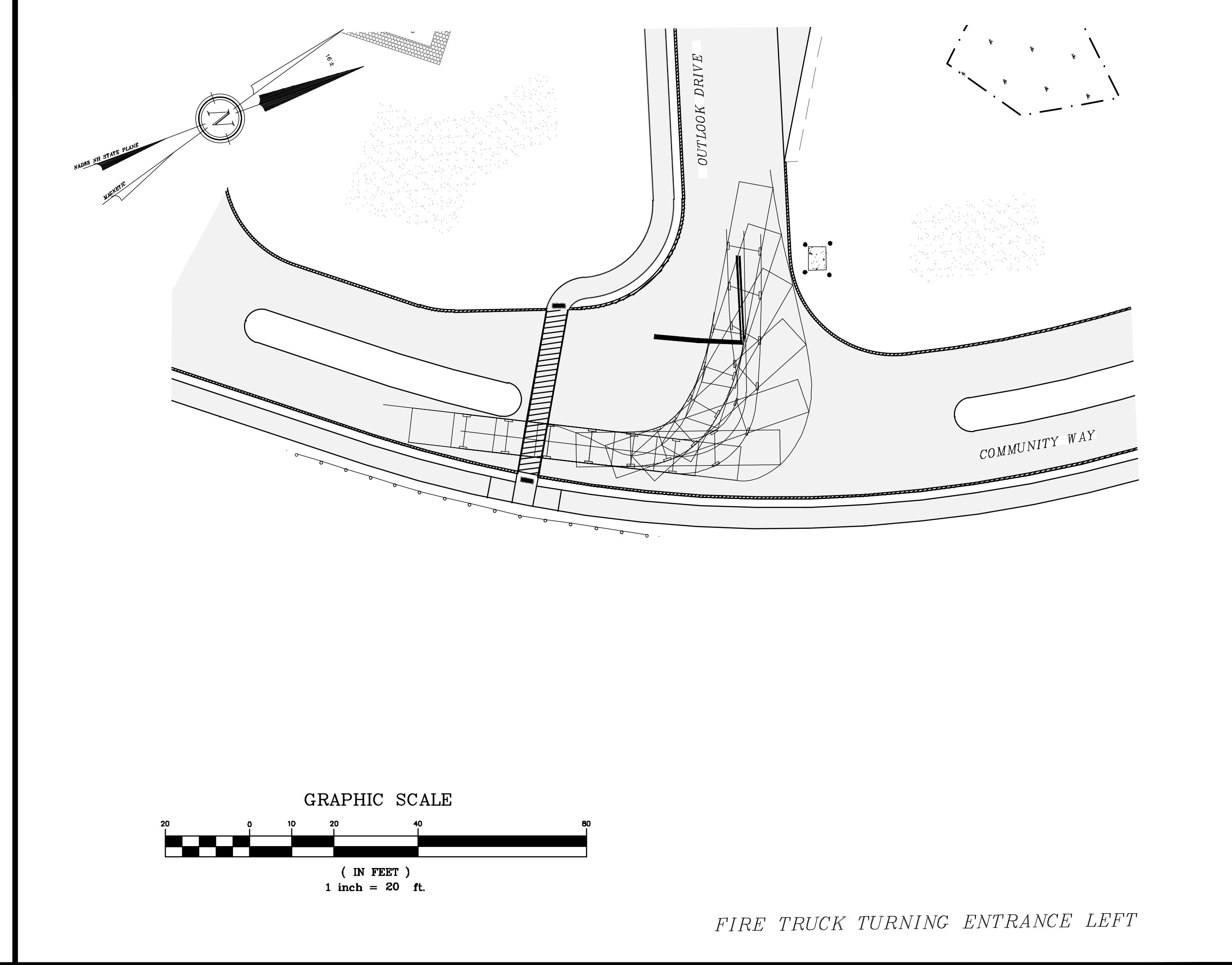
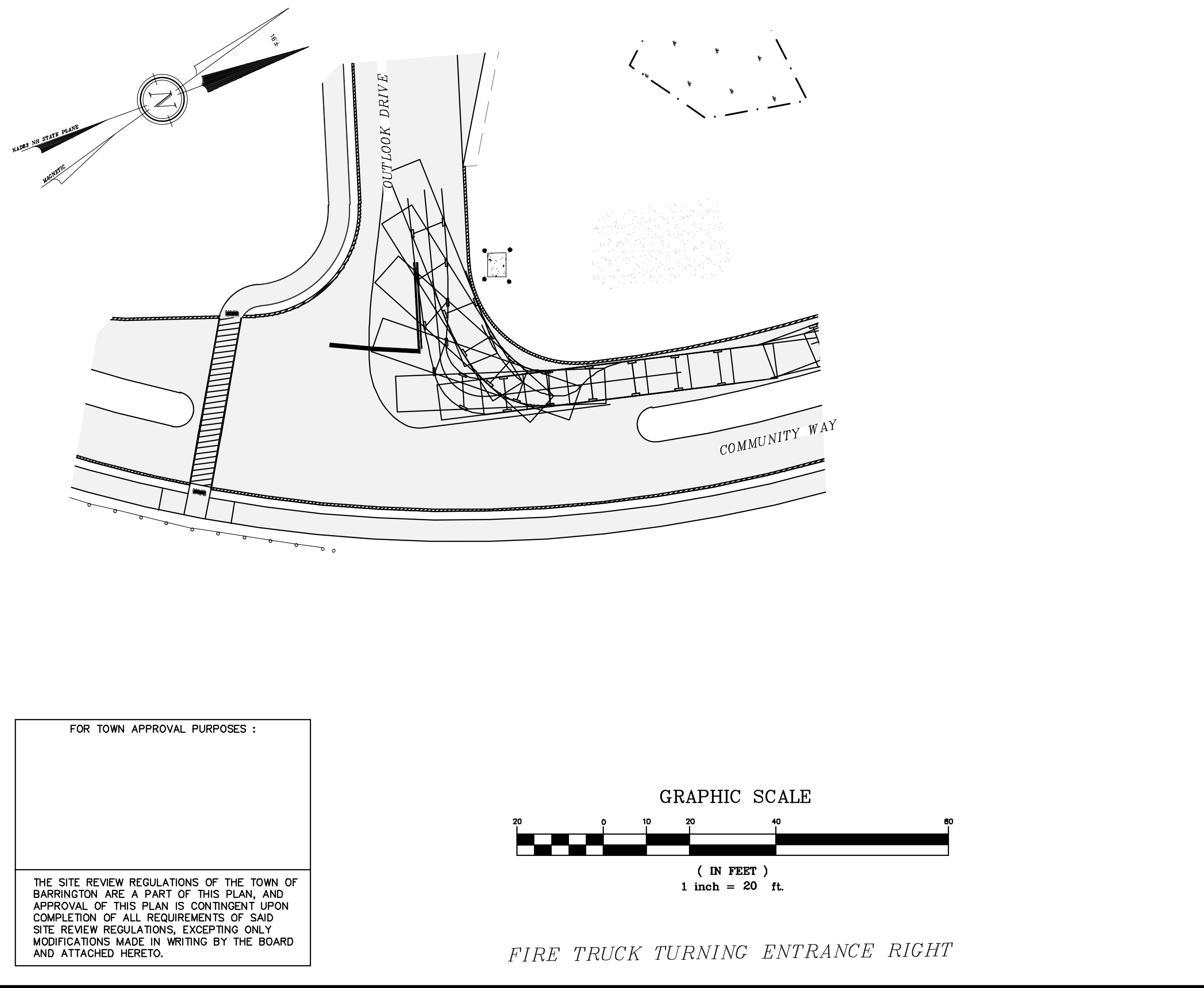


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FIRE TRUCK TURNING ENTRANCE NORTH POINT COMMONS  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
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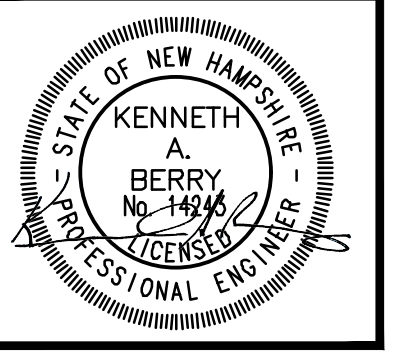


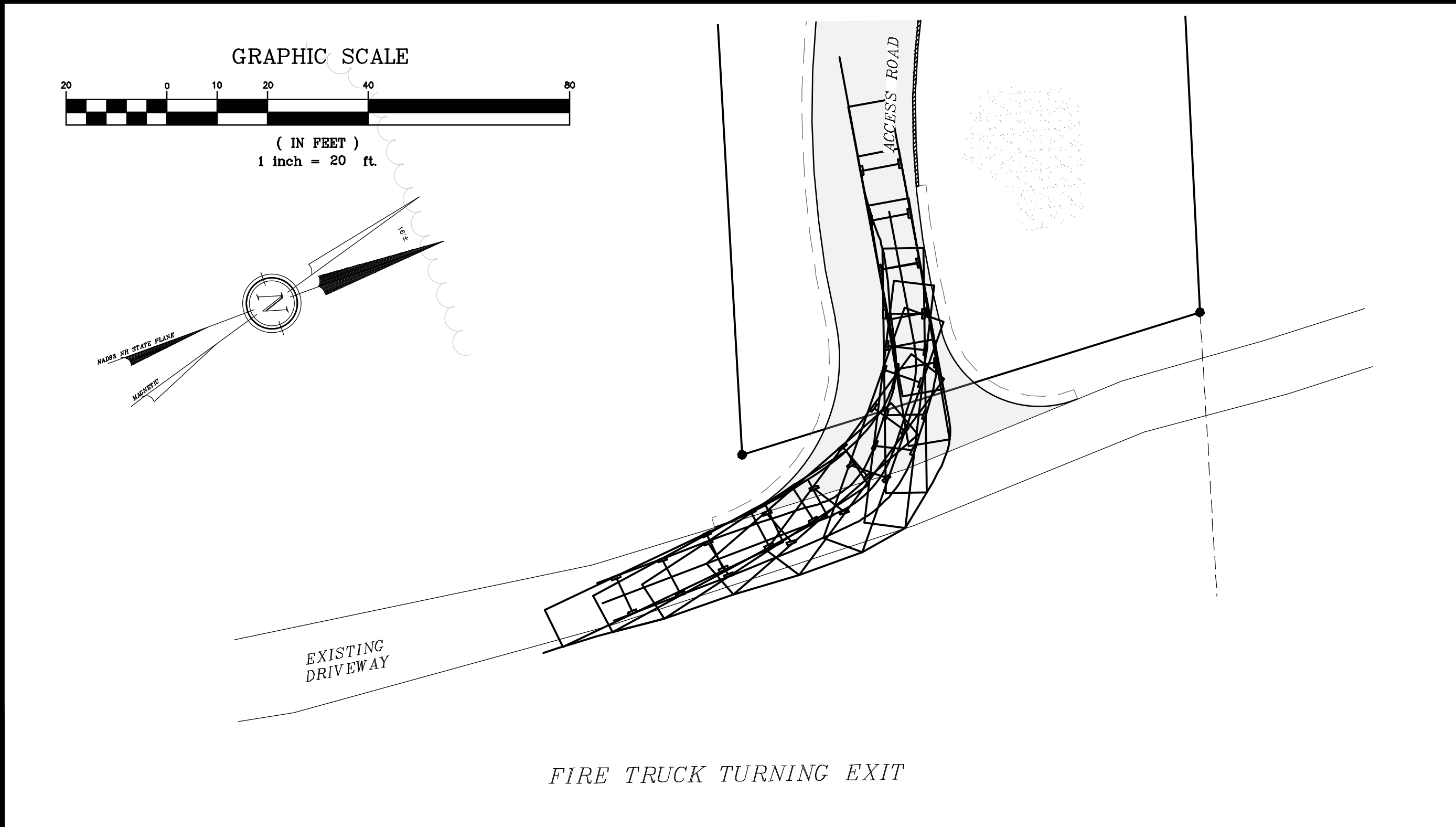
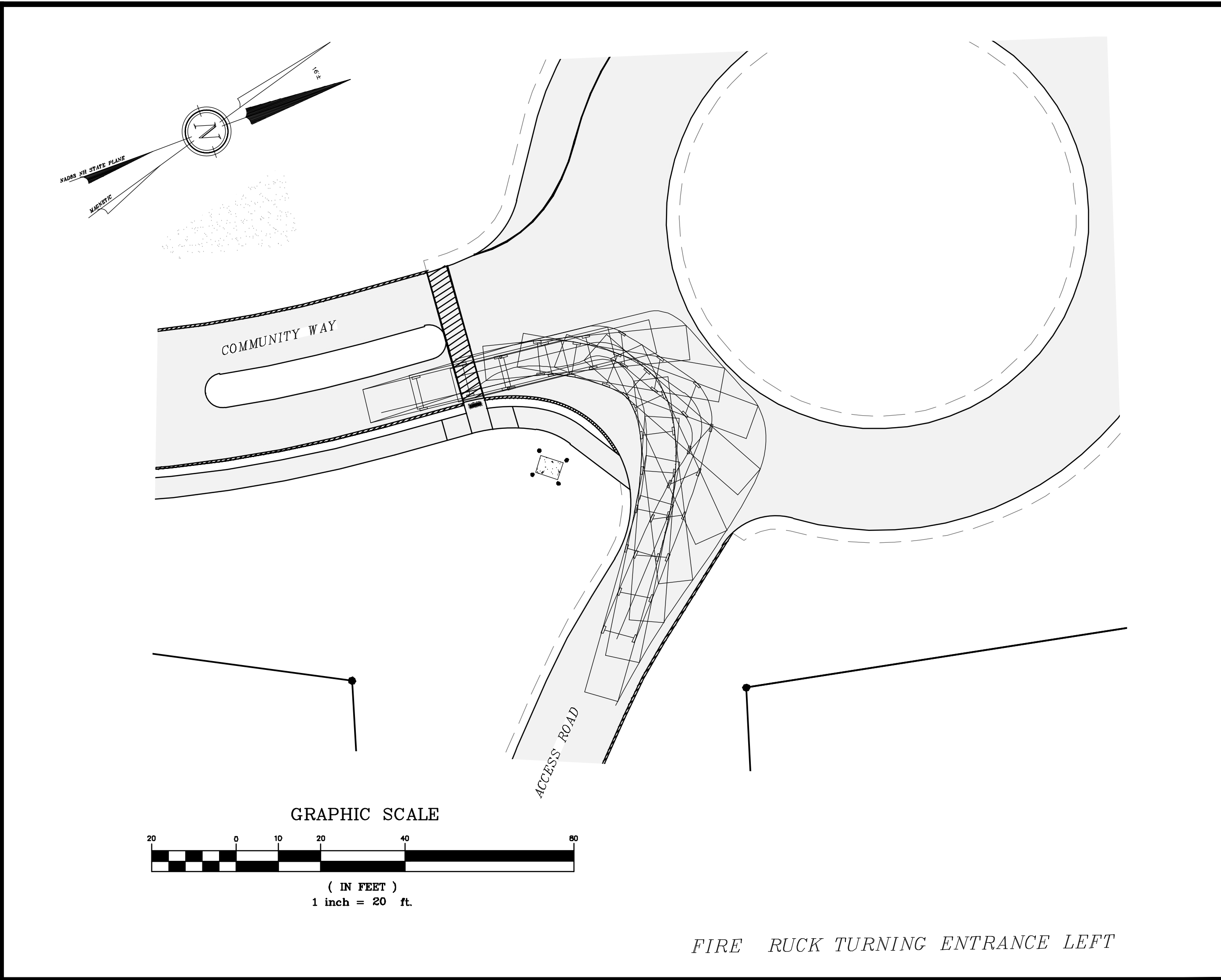
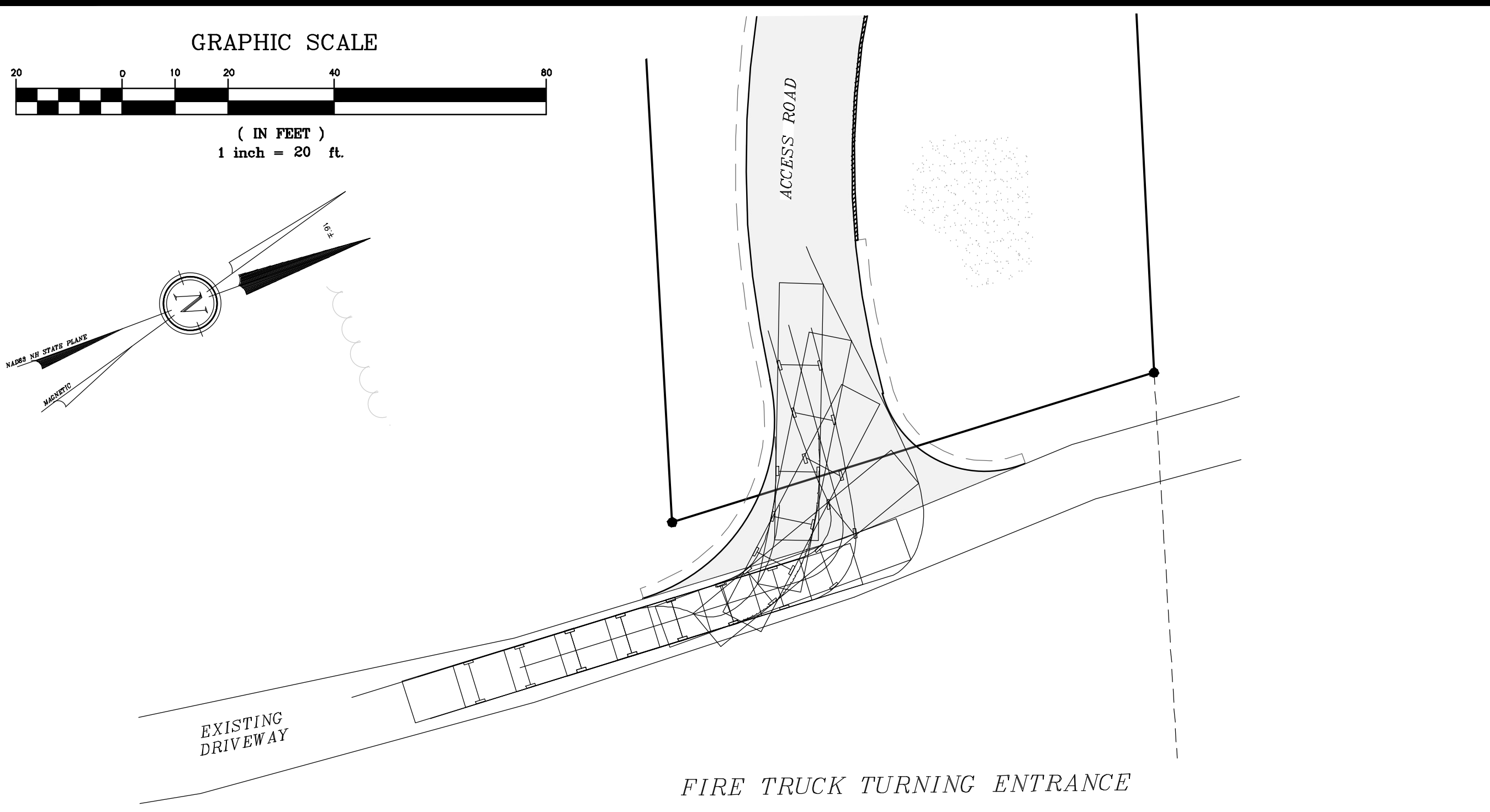
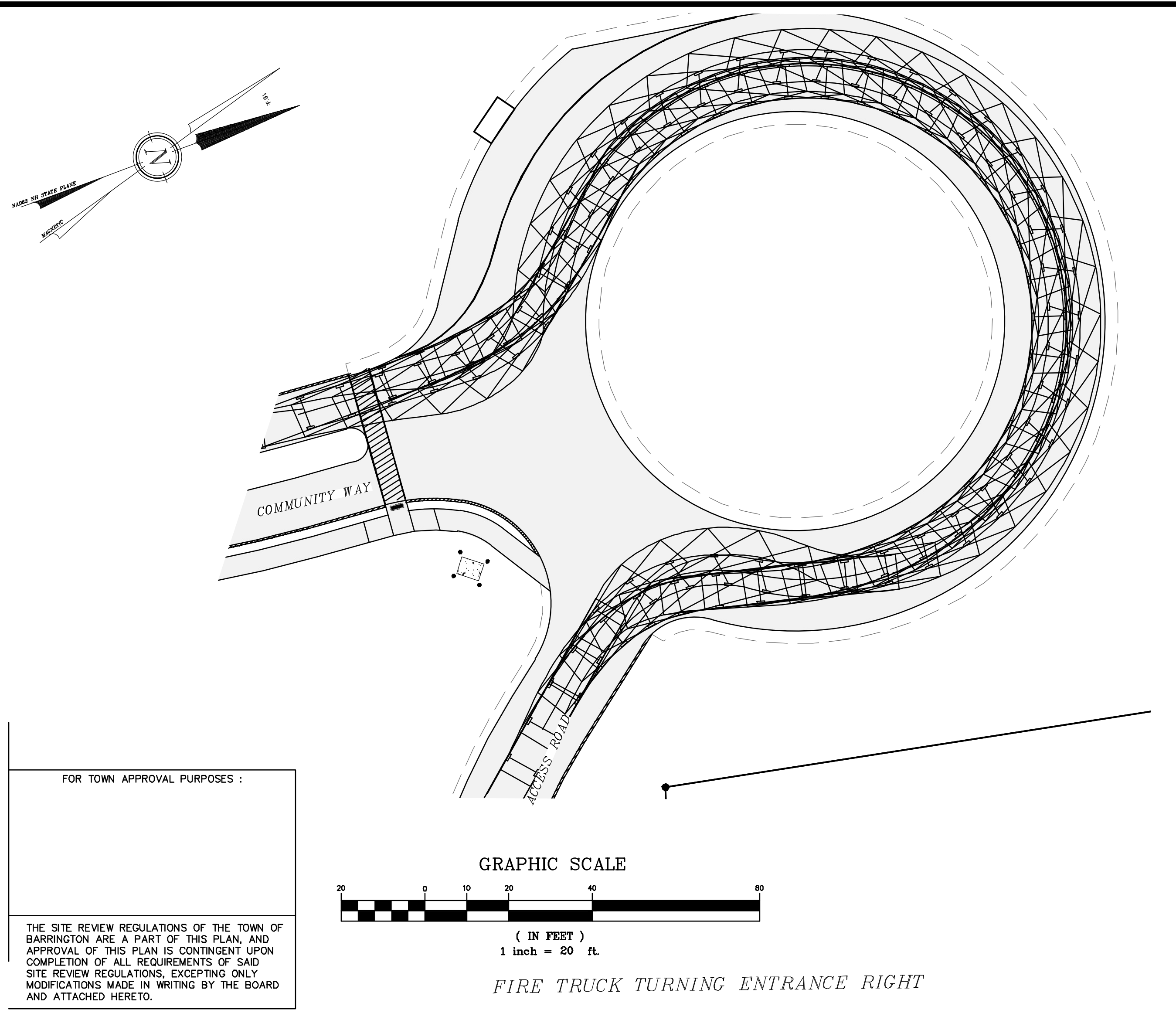


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FIRE TRUCK TURNING OUTLOOK DRIVE  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
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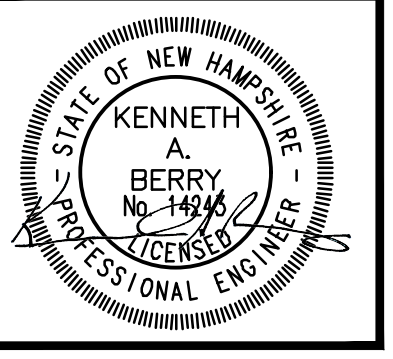


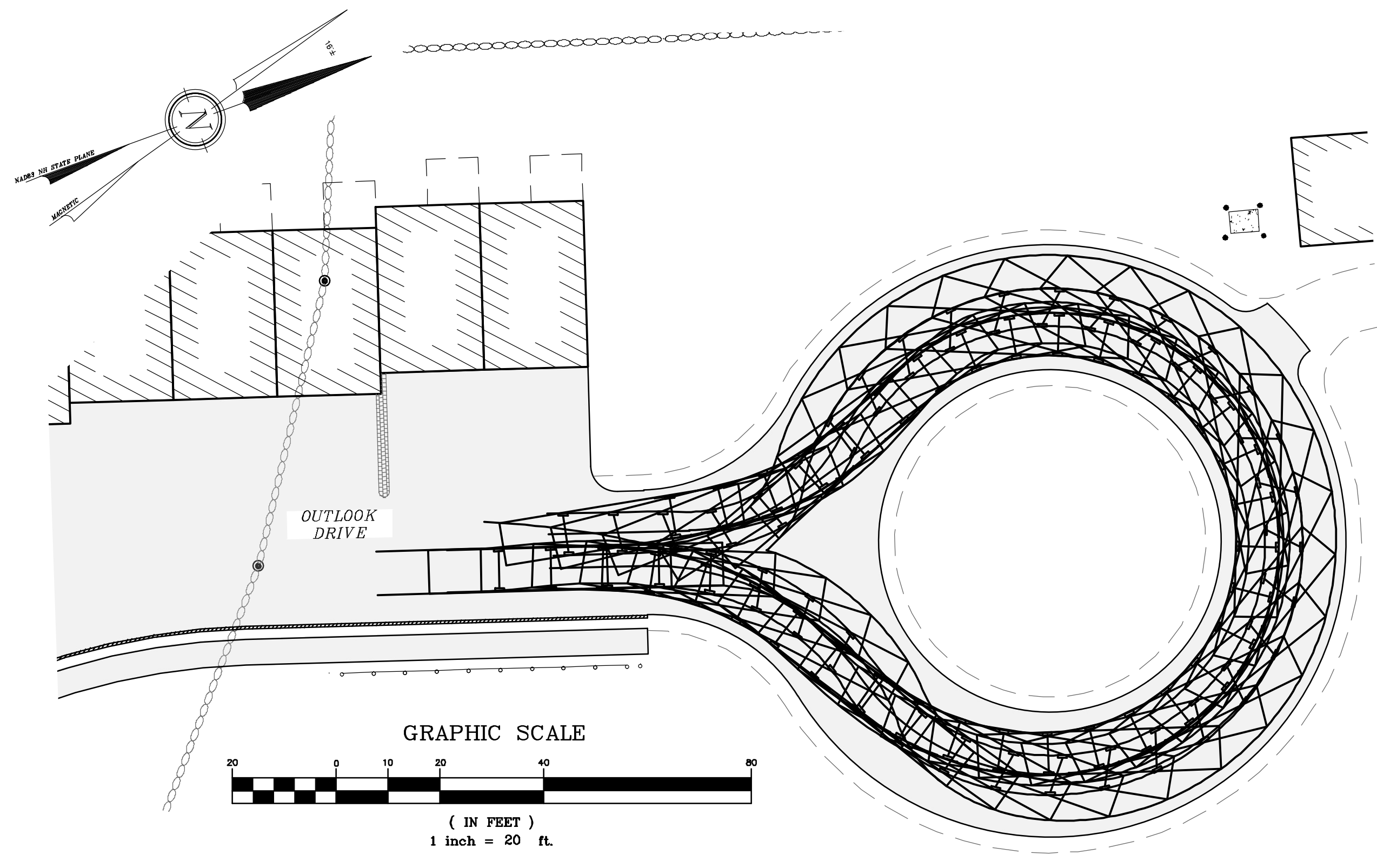


| REVISION # | DATE       | DESCRIPTION                                   |
|------------|------------|---|
| #1         | 08-30-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |
| #2         | 10-12-2021 | REVISED PER CMA ENGINEERS & NHDES AOT COMMENT |

FIRE TRUCK TURNING ACCESS ROAD  
LAND OF  
DOVE DEVELOPMENT GROUP, LLC  
N.H. ROUTE 9 / FRANKLIN PIERCE HIGHWAY  
COMMUNITY WAY  
BARRINGTON, NH  
TAX MAP 235 LOT 1-1 & MAP 235 LOT 3

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JUNE 14, 2021  
FILE NO. : DB 2020 - 097





FIRE TRUCK TURNING OUTLOOK DRIVE CUL-DE-SAC

FOR TOWN APPROVAL PURPOSES :

THE SITE REVIEW REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SITE REVIEW REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

| #  | REVISION | DATE       | DESCRIPTION                                   |
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