

PROPOSED SITE PLAN FOR

2A TACTICAL, LLC

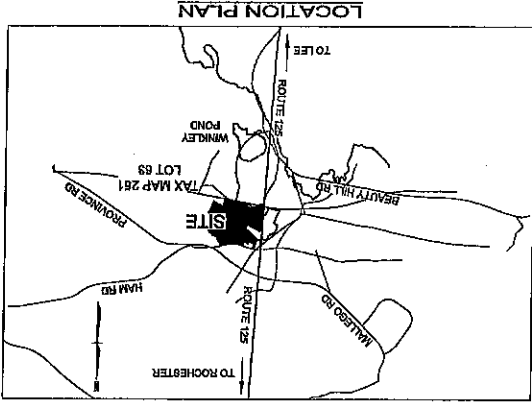
TAX MAP 251, LOT 63

PROJECT LOCATION:

ROUTE 125 & BUMFORD ROAD, BARRINGTON, NH 03825



STRAFFORD CO.



PROFESSIONAL CONSULTANTS LIST

ROLE	CONSULTANT	CONTACT INFORMATION
SURVEYOR:	NEW HAMPSHIRE LAND CONSULTANTS, PLLC.	683C FIRST NH TURNPIKE (R14) NORTHWOOD, NH 03261 PH: (603) 942-9220
WETLAND SCIENTIST:	FRAGILE ROCK ENVIRONMENTAL, DANNON E. BURT, CHS, CPESC.	38 GARLAND ROAD, STRAFFORD, NH 03884 PH: (603) 988-9574
BUILDER:	UNIFIED BUILDERS, INC.	688 CALF HIGHWAY, BARRINGTON, NH 03825
STRUCTURAL ENGINEERS:	NANCY NICHOLS, PE	82 PALMING LANE, SUITE 503 BEDFORD NH, 03110, PH: (603)-497-3137
TRAFFIC:	STEPHEN PERNAW & COMPANY, INC.	P.O. BOX 7 GILMINGTON IRON WORKS, NH 03837 PH: (603) 630-1008
DEVELOPER:	2A TACTICAL, LLC	99 TOLAND ROAD, BARRINGTON, NH 03825
GEOTECH:	S.W. COLE ENGINEERING, INC.	10 CENTRE ROAD, SOMERSWORTH NH 03878 PH: (603) 682-0088

PLANNING BOARD APPROVAL BLOCK

OWNER'S SIGNATURE: _____ DATE: _____

OWNER:
STEVEN & PAMELA LENZI
TRS REV. TRUST
304 YOUNG ROAD
BARRINGTON NH, 03825
BK 4502 PG 1000

APPLICANT:
2A TACTICAL, LLC
99 TOLAND ROAD
BARRINGTON NH, 03825

INITIAL PLAN SET SUBMISSION DATE
JULY 13, 2021
Latest revision date:
SEPTEMBER 14, 2021

RECEIVED
Sept 14 2021
LAND USE OFFICE

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. NEW HAMPSHIRE LAND CONSULTANTS, PLLC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233).



SHEET INDEX	DWG	SHEET NO.	DESCRIPTION
CVR	1 OF 16	1	COVER SHEET
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PGP	5 OF 16	5	GRADING, DRAINAGE & EROSION CONTROL PLAN
PUTP	6 OF 16	6	UTILITY PLAN
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PLTP	8 OF 16	8	LIGHTING PLAN
VAP	9 OF 16	9	VEHICLE PEDESTRIAN ACCESS (SIGHTLINE PLAN)
DET-1	10 OF 16	10	SITE DETAILS - 1
DET-2	11 OF 16	11	SITE DETAILS - 2
DET-3	12 OF 16	12	LANDSCAPE & LIGHTING DETAILS
DET-4	13 OF 16	13	DRAINAGE DETAILS - 1
DET-5	14 OF 16	14	DRAINAGE POND DETAILS
DET-6	15 OF 16	15	EROSION CONTROL NOTES & DETAILS - 1
DET-7	16 OF 16	16	EROSION CONTROL NOTES & DETAILS - 2

NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED COMMERCIAL RETAIL, MANUFACTURING AND EDUCATIONAL BUILDING FOR 2A TACTICAL, LLC.
- THE PROPERTY IS DESIGNATED AS TAX MAP 251, LOT 63.
- THE AREA OF THE EXISTING LOT 63 IS 8.60 ACRES (374,448 SQ.FT.).
- THE ZONING DESIGNATION FOR THE PROPERTY IS REGIONAL COMMERCIAL DISTRICT (RC).
- DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (RC) DISTRICT:

 - MIN. ROAD FRONTAGE = 200'
 - MIN. LOT SIZE = 40,000 SF (0.92 ACRES)
 - MIN. ROAD SETBACK = 75'
 - MIN. SIDE/REAR SETBACK = 30'
 - MIN. FRONT SETBACK = 50'
 - PRIME WETLANDS SETBACK = 100'
 - MAXIMUM STRUCTURE HEIGHT = 40'
 - SEPTIC SETBACK (MCO, SDO, GDO) = 50'/75' HYDRIC SOILS

- THE EXISTING USE OF TM 251 LOT 63 IS VACANT LAND. PROPOSED USE IS A PROPOSED COMMERCIAL RETAIL, MANUFACTURING AND EDUCATIONAL BUILDING FOR 2A TACTICAL, LLC.
- NO ON-STREET PARKING. SEE SITE PLAN FOR SPECIFIC REQUIREMENTS.
- EXISTING COVERAGE: 43,042 SF IMPERVIOUS, (11.5%).
- SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
- WATER TO BE PROVIDED BY ON-SITE WELLS.
- NO REQUESTED ZONING VARIANCES.
- THE FEMA MAP NUMBER FOR THIS SITE IS 330720309E. EFFECTIVE DATE: SEPTEMBER 30, 2015. FEMA IS MAIN ZONE X AREA TO BE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN.
- LIST OF REQUIRED PERMITS AND PERMIT APPROVAL NUMBERS.
- NHDES SEPTIC APPROVAL NO. _____ PENDING
- NHDOT DRIVEWAY APPROVAL _____ PENDING
- REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	8/17/2021	TDB	REVISED PER TOWN DESIGN REVIEW
2	9/14/2021	TDB	SITE PLAN SUBMITTAL

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	8/17/2021	TDB	REVISED PER TOWN DESIGN REVIEW
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COVER SHEET
TAX MAP 251 LOT 63
2A TACTICAL, LLC
99 TOLAND ROAD, BARRINGTON, NH 03825
OWNED BY
STEVEN & PAMELA LENZI
TRS REV TRUST
304 YOUNG ROAD, BARRINGTON, NH 03825
BOOK 4502 PAGE 1000

N.H. LAND CONSULTANTS
SURVEYING • LAND PLANNING • REAL ESTATE
A VETERAN OWNED COMPANY
983C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220
WEBSITE: NH.LANDCONSULTANTS.COM

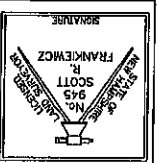
NEW HAMPSHIRE
DESIGNER OF
SUBSURFACE DISPOSAL SYSTEMS
Scott R. Frankiewicz
No. 1348
945 FRANKIEWICZ

STRAFFORD CO.
JOB NO.: 400.00
DATE: JULY 13, 2021
CVR

SHT. 1 of 16

RECEIVED
AUG 14 2021
LAND USE OFFICE

DATE: JULY 13, 2021
JOB NO: 400.00
STAFFORD CO.
SCOTT R. FRANKEMCZ, LLS
DATE: _____

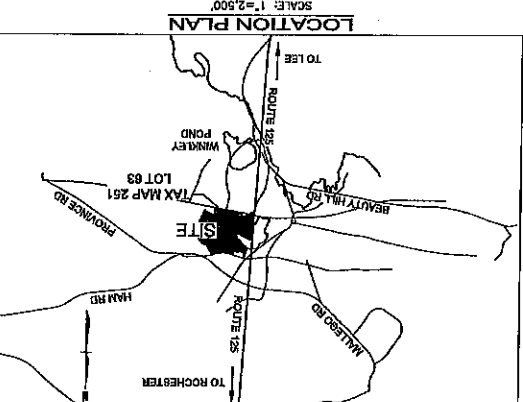


1. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED COMMERCIAL RETAIL MANUFACTURING AND EDUCATIONAL BUILDING FOR 2A TACTICAL, LLC.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 261, LOT 63.
3. THE AREA OF THE EXISTING LOT 63 IS 8.60 ACRES (374,448 SQ FT).
4. THE ZONING DESIGNATION FOR THE PROPERTY IS REGIONAL COMMERCIAL DISTRICT (RC).
5. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (RC) DISTRICT:
MIN. ROAD FRONTAGE = 200'
MIN. LOT SIZE = 40,000 SF (0.92 ACRES)
MIN. SIDE/REAR YARD SETBACK = 50'
MIN. SIDE/REAR SETBACK = 50'
MAXIMUM STRUCTURE HEIGHT = 40'
SERVICED DISTRICTS: (WCO, SDO, GDO.) = 50'/75' HYDRIC SOILS

6. THE EXISTING USE OF THE 154 LOT 63 IS VACANT LAND. PROPOSED USE IS A PROPOSED COMMERCIAL RETAIL MANUFACTURING AND EDUCATIONAL BUILDING FOR 2A TACTICAL, LLC.
7. PARKING REQUIREMENTS: STANDARD PARKING SIZE IS 18' x 9' & THERE WILL BE NO ON-STREET PARKING. SEE SITE PLAN FOR SPECIFIC REQUIREMENTS.
8. IMPERVIOUS COVERAGE: 43.0% ST. IMPERVIOUS, (11.5%).
9. SEWER TO BE PROVIDED BY ON-SITE SEWER SYSTEMS.
10. WATER TO BE PROVIDED BY ON-SITE WELLS.
11. NO REQUESTED ZONING VARIANCES.
12. THE FEMA MAP NUMBER FOR THIS SITE IS 1301020305E. EFFECTIVE DATE: SEPTEMBER 30, 2015. AREA IS WITHIN ZONE A AND TO BE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN.
13. LIST OF REQUIRED PERMITS AND PERMIT APPROVAL NUMBERS:
INDICES SEPTIC APPROVAL NO. _____ PENDING
INDOT DRAINAGE APPROVAL _____ PENDING
14. REQUESTED PLANNING BOARD WATERS:
ARTICLE 3 (SITE PLAN SPECIFICATIONS & DOCUMENTS) SECTION 2.2.7, 2. ARTICLE 4 (DESIGN AND CONSTRUCTION STANDARDS) SECTION 4.14.1 (SEE SITE PLAN FOR COMPLETE WATER REQUESTS).
15. CONSTRUCTION SCHEDULE: FROM SPRING TO FALL OF 2022.
16. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST, IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS. THE GRADIENT LEAK REVIEW TRAP SHALL BE INSTALLED PRIOR TO ANY DRAINAGE OF THE SITE SURFACE AND BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE PROPERTY. THE OWNER SHALL BE RESPONSIBLE FOR THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
17. REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF THE PROJECT AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
18. IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 678:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE COMPLETED AND INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON (AND/OR THE TOWN OF BARRINGTON) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
19. IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 678:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE COMPLETED AND INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON (AND/OR THE TOWN OF BARRINGTON) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
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21. RIGHT OF WAY WITH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
22. THE CURRENT OWNER FOR LOT 63, STEVEN & PAMELA LENZI, TRS REV. TRUST, 34 YOUNG ROAD, BARRINGTON, NH 03825, BK 4502, PG 1000.
23. ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NOS OPUS ON MARCH 30, 2021 FROM DATA COLLECTED BY THIS OFFICE ON APRIL 1, 2021. THIS OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAD 83.
24. NOTES DATE:
HOB-HINKLEY TOWN, 3 TO 8 PERCENT SLOPES
HOB-HINKLEY TOWN, 9 TO 15 PERCENT SLOPES
HOB-HINKLEY TOWN, 16 TO 25 PERCENT SLOPES
HOB-HINKLEY TOWN, 26 TO 35 PERCENT SLOPES
HOB-HINKLEY TOWN, 36 TO 45 PERCENT SLOPES
HOB-HINKLEY TOWN, 46 TO 55 PERCENT SLOPES
HOB-HINKLEY TOWN, 56 TO 65 PERCENT SLOPES
HOB-HINKLEY TOWN, 66 TO 75 PERCENT SLOPES
HOB-HINKLEY TOWN, 76 TO 85 PERCENT SLOPES
HOB-HINKLEY TOWN, 86 TO 95 PERCENT SLOPES
HOB-HINKLEY TOWN, 96 TO 100 PERCENT SLOPES

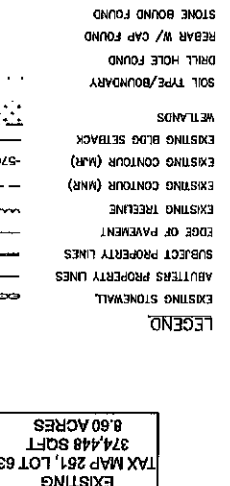
1. S.C.R.D. PLAN #22A-160 (SUBJECT LOT), RECORDED SEPT. 13, 1982, TITLE: "PLAN OF LAND, VERNON T. SWANN, BARRINGTON, NH.", DATED: JUNE 1982. SCALE: 1"=100'. PREPARED BY: FREDERICK E. DREW ASSOCIATES.
2. S.C.R.D. PLAN #00417, RECORDED APRIL 23, 1989, TITLE: "BARRINGTON COMMERCIAL LIGHT INDUSTRIAL & COMMERCIAL SUBDIVISION", PREPARED FOR: SAUVEL OIEN & CHRISTOPHER SHERMAN, BARRINGTON, NH 03825. SCALE: 1"=100'. DATED: JUNE 1984. PREPARED BY: FREDERICK E. DREW ASSOCIATES, BARRINGTON, NH.
3. S.C.R.D. PLAN #00417, RECORDED JAN 10, 1994, TITLE: "PLAN OF LAND, EVANGELINE O. ROTHWELL, BARRINGTON, NH.", DATED: 1994. SCALE: 1"=50'. PREPARED BY: FREDERICK E. DREW ASSOCIATES, BARRINGTON, NH.
4. S.C.R.D. PLAN #01193, RECORDED JULY, 1999, TITLE: "SUBDIVISION PLAN FOR DOUGLAS N. & PATRICIA A. CALL, BARRINGTON, NH. PREPARED BY: GREG DREW LLC, SCALE: 1"=50'. DATED: APRIL 1999. APPROVED BY BARRINGTON PLANNING BOARD ON 7/7/99.
5. S.C.R.D. PLAN #03109, RECORDED SEPTEMBER 9, 2003, TITLE: "LOT LINE ADJUSTMENT PLAN PREPARED FOR: ANTHONY E. MOUTOURAKIS & PAULINE S. SWANN, PREPARED BY: DAVID W. VINCENT, LLS, BARRINGTON, NH. DATED: MAY 21, 2003. SCALE: 1"=50'. APPROVED BY BARRINGTON PLANNING BOARD ON 8/3/2003.

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2. THE PROPERTY IS DESIGNATED AS TAX MAP 261, LOT 63.
3. THE AREA OF THE EXISTING LOT 63 IS 8.60 ACRES (374,448 SQ FT).
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5. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (RC) DISTRICT:
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MIN. SIDE/REAR SETBACK = 50'
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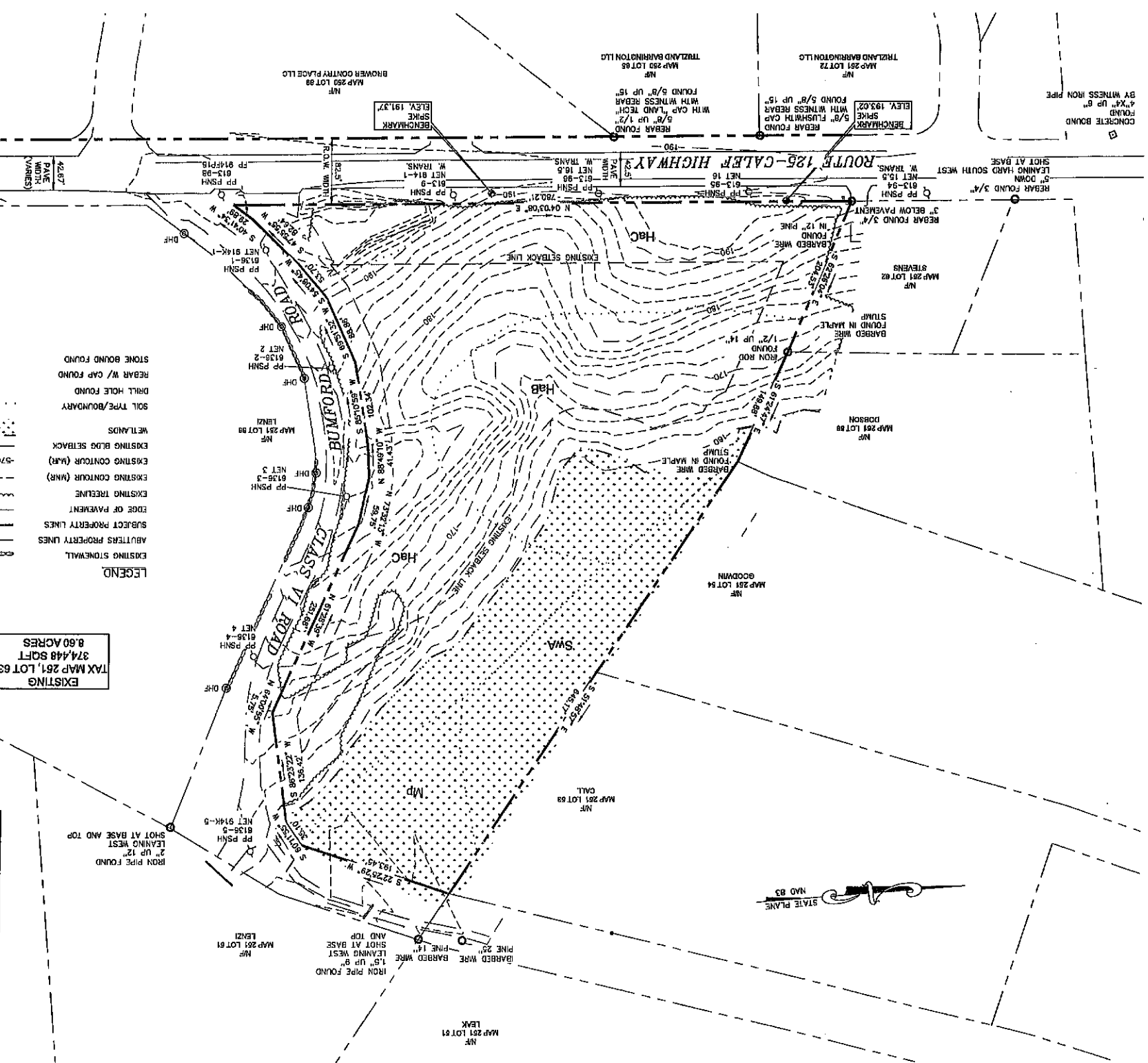


ABUTTERS LIST

MAP 261 LOT 63	TAX MAP 261, LOT 63
MAP 261 LOT 64	ANDREW & DAVID GOODWIN
MAP 261 LOT 65	LEONARD & JOYANN STEVENS
MAP 261 LOT 66	TRIS REV. TRUST
MAP 261 LOT 67	STEVEN & PAMELA LENZI
MAP 261 LOT 68	STEVEN & PAMELA LENZI
MAP 261 LOT 69	STEVEN & PAMELA LENZI
MAP 261 LOT 70	STEVEN & PAMELA LENZI
MAP 261 LOT 71	STEVEN & PAMELA LENZI
MAP 261 LOT 72	STEVEN & PAMELA LENZI
MAP 261 LOT 73	STEVEN & PAMELA LENZI
MAP 261 LOT 74	STEVEN & PAMELA LENZI
MAP 261 LOT 75	STEVEN & PAMELA LENZI
MAP 261 LOT 76	STEVEN & PAMELA LENZI
MAP 261 LOT 77	STEVEN & PAMELA LENZI
MAP 261 LOT 78	STEVEN & PAMELA LENZI
MAP 261 LOT 79	STEVEN & PAMELA LENZI
MAP 261 LOT 80	STEVEN & PAMELA LENZI
MAP 261 LOT 81	STEVEN & PAMELA LENZI
MAP 261 LOT 82	STEVEN & PAMELA LENZI
MAP 261 LOT 83	STEVEN & PAMELA LENZI
MAP 261 LOT 84	STEVEN & PAMELA LENZI
MAP 261 LOT 85	STEVEN & PAMELA LENZI
MAP 261 LOT 86	STEVEN & PAMELA LENZI
MAP 261 LOT 87	STEVEN & PAMELA LENZI
MAP 261 LOT 88	STEVEN & PAMELA LENZI
MAP 261 LOT 89	STEVEN & PAMELA LENZI
MAP 261 LOT 90	STEVEN & PAMELA LENZI
MAP 261 LOT 91	STEVEN & PAMELA LENZI
MAP 261 LOT 92	STEVEN & PAMELA LENZI
MAP 261 LOT 93	STEVEN & PAMELA LENZI
MAP 261 LOT 94	STEVEN & PAMELA LENZI
MAP 261 LOT 95	STEVEN & PAMELA LENZI
MAP 261 LOT 96	STEVEN & PAMELA LENZI
MAP 261 LOT 97	STEVEN & PAMELA LENZI
MAP 261 LOT 98	STEVEN & PAMELA LENZI
MAP 261 LOT 99	STEVEN & PAMELA LENZI
MAP 261 LOT 100	STEVEN & PAMELA LENZI



EXISTING
374,448 SQ FT
8.60 ACRES



ROUTE 125-CALF-HIGHWAY
ROUTE 83
ROUTE 103
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EXISTING CONDITIONS PLAN
TAX MAP 261, LOT 63
2A TACTICAL, LLC
99 TOLAND ROAD, BARRINGTON, NH 03825
OWNED BY
STEVEN & PAMELA LENZI
TRRS REV TRUST
304 YOUNG ROAD, BARRINGTON, NH 03825
BOOK 4502 PAGE 1000

N.H. LAND Consultants
A Veteran Owned Company

SCALE: 1"=80'

NO.	DATE	DESCRIPTION	BY
1	8/17/2021	REMOVED FROM TOWN DESIGN REVIEW	TDS
2	9/14/2021	SITE PLAN SUBMITTAL	TDS

REVISIONS

SHIT 2 OF 19
FCP

RECEIVED
Sept 14 2021

SITE PLAN WAYER(S) REQUEST
1. Add a (Site Plan Specifications & Documents) Section 4.2.7.
LEGEND ON SHEETS 0-10, SHEETS 0-11 AND VARIOUS DETAIL SHEETS.
ALSO THE PROPOSED PROJECT MEETS EXCEEDS THE 1000 SQ FT.
DOES NOT MEET OR EXCEED THE 1,000 AVERAGE DAILY PEAK HOUR TRIPS.
TO WATER THE REQUIREMENT OF A FULL TRAFFIC IMPACT ANALYSIS AND
ALL OF THE PROJECT TO PROVIDE A SHORT TRAFFIC IMPACT ANALYSIS.

- LEGEND**
- EXISTING STONEWALL
 - ADJUTERS PROPERTY LINES
 - SUBJECT PROPERTY LINES
 - EDGE OF PAVEMENT
 - EXISTING TREELINE
 - EXISTING BLDG SETBACK
 - WETLANDS
 - DRILL HOLE FOUND
 - REBAR W/ CAP FOUND
 - STONE BOUND FOUND
 - PROPOSED SIGN

OWNER'S SIGNATURE _____
DATE _____

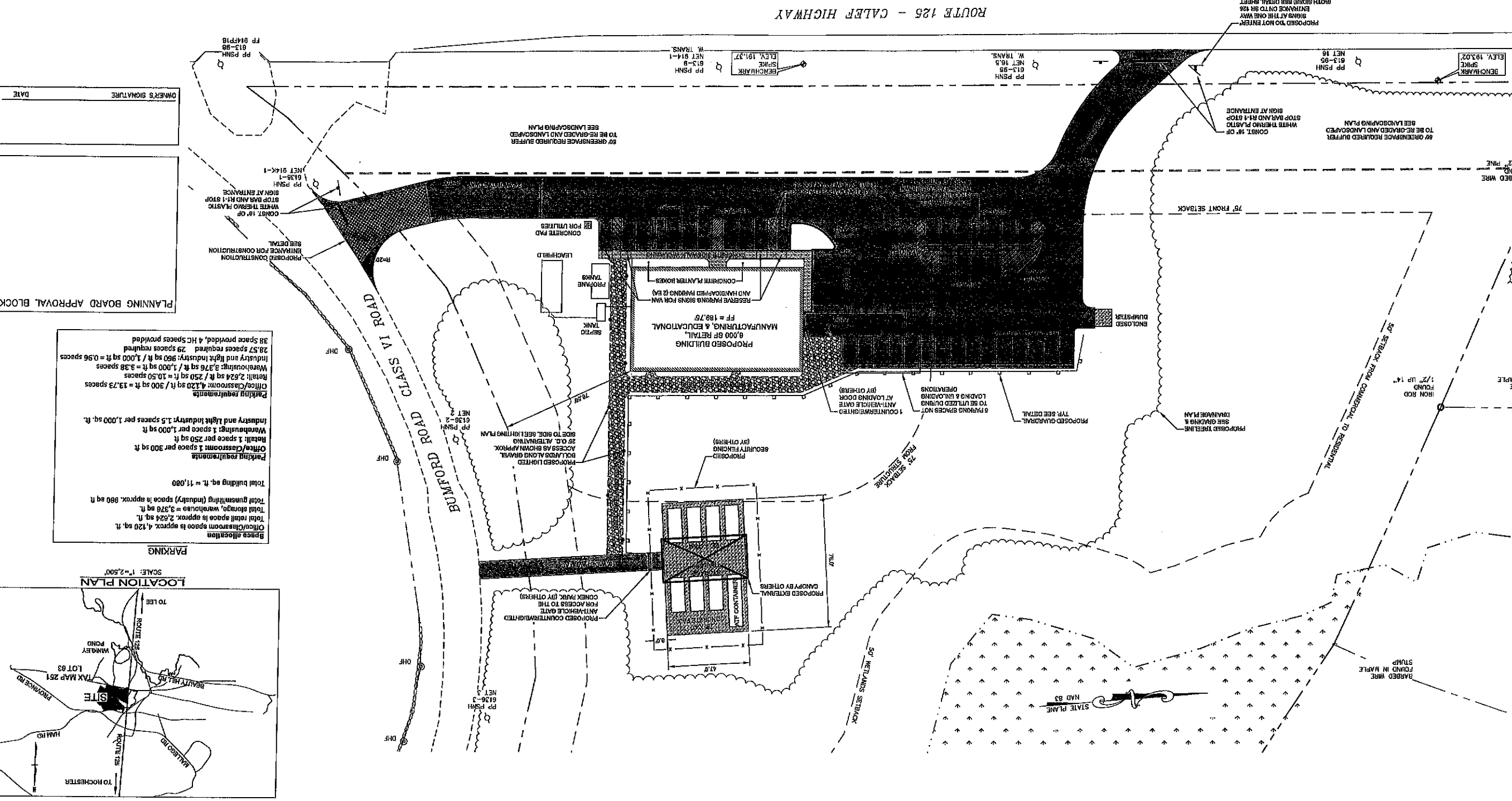
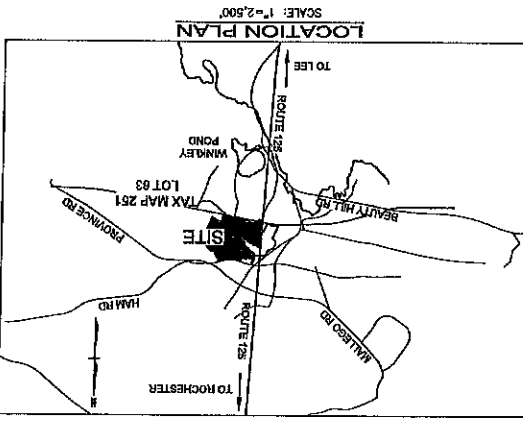
PLANNING BOARD APPROVAL BLOCK

PARKING

Space allocation
Office/classroom space is approx. 4,120 sq. ft.
Total retail space is approx. 2,624 sq. ft.
Total storage, warehouse = 3,376 sq. ft.
Total gunsmithing (Industry) space is approx. 980 sq. ft.

Office/classroom 1 space per 300 sq ft
Retail 1 space per 250 sq ft
Warehouse 1 space per 1,000 sq ft
Industry and Light Industry 1.5 spaces per 1,000 sq. ft.

Parking requirements
Office/classroom 4,120 sq ft / 300 sq ft = 13.73 spaces
Retail 2,624 sq ft / 250 sq ft = 10.50 spaces
Warehouse 3,376 sq ft / 1,000 sq ft = 3.38 spaces
Industry and light industry: 980 sq ft / 1,000 sq ft = 0.96 spaces
28.57 spaces required, 29 spaces provided
38 Space provided, 4 HC Spaces provided



SHT. 3 of 16
PSP
JOB NO: 400.00
DATE: JULY 13, 2021
STRAFFORD CO.

SITE LAYOUT PLAN
TAX MAP 251 LOT 63
2A TACTICAL, LLC
99 TOLAND ROAD, BARRINGTON, NH 03825
OWNED BY
STEVEN & PAMELA LENZI
TRS REV TRUST
504 YOUNG ROAD, BARRINGTON, NH 03825
BOOK 4502 PAGE 1000

N.H. LAND Consultants
SURRENDER-LAND PLANNING-REAL ESTATE
A Veteran Owned Company

WEBSITE: NHLANDCONSULTANTS.COM
PHONE: 603-442-5200
FAX: 603-442-5201
SPEC FIRST NH TURNING, DUNBROOK, NH 03201

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	8/17/2021	REVIEWED PER TOWN DESIGN REVIEW	TDS
2	9/14/2021	SITE PLAN SUBMITTAL	TDS

SCALE: 1"=30'

GRAPHIC SCALE

0 15 30

DESIGNED BY: Scott R. Frohman, PE
Subsurface Disposal Systems

Hampshire Environmental Services

RECEIVED
 JUL 19 2021
 LAND USE OFFICE

STRAFFORD CO
 JOB NO: 400.00
 DATE: JULY 19, 2021
 PCP
 SHT. 4 of 19

PARKING & CIRCULATION PLAN
 TAX MAP 251 LOT 6.3
 2A TACTICAL, LLC
 99 TOLAND ROAD, BARRINGTON, NH 03825
 OWNED BY
 STEVEN & PAMELA LENZI
 TRS REV TRUST
 304 YOUNG ROAD, BARRINGTON, NH 03825
 BOOK 4502 PAGE 1000

N.H. LAND
 Consultants
 SURVEYING-LAND PLANNING-REAL ESTATE
 A Veteran Owned Company

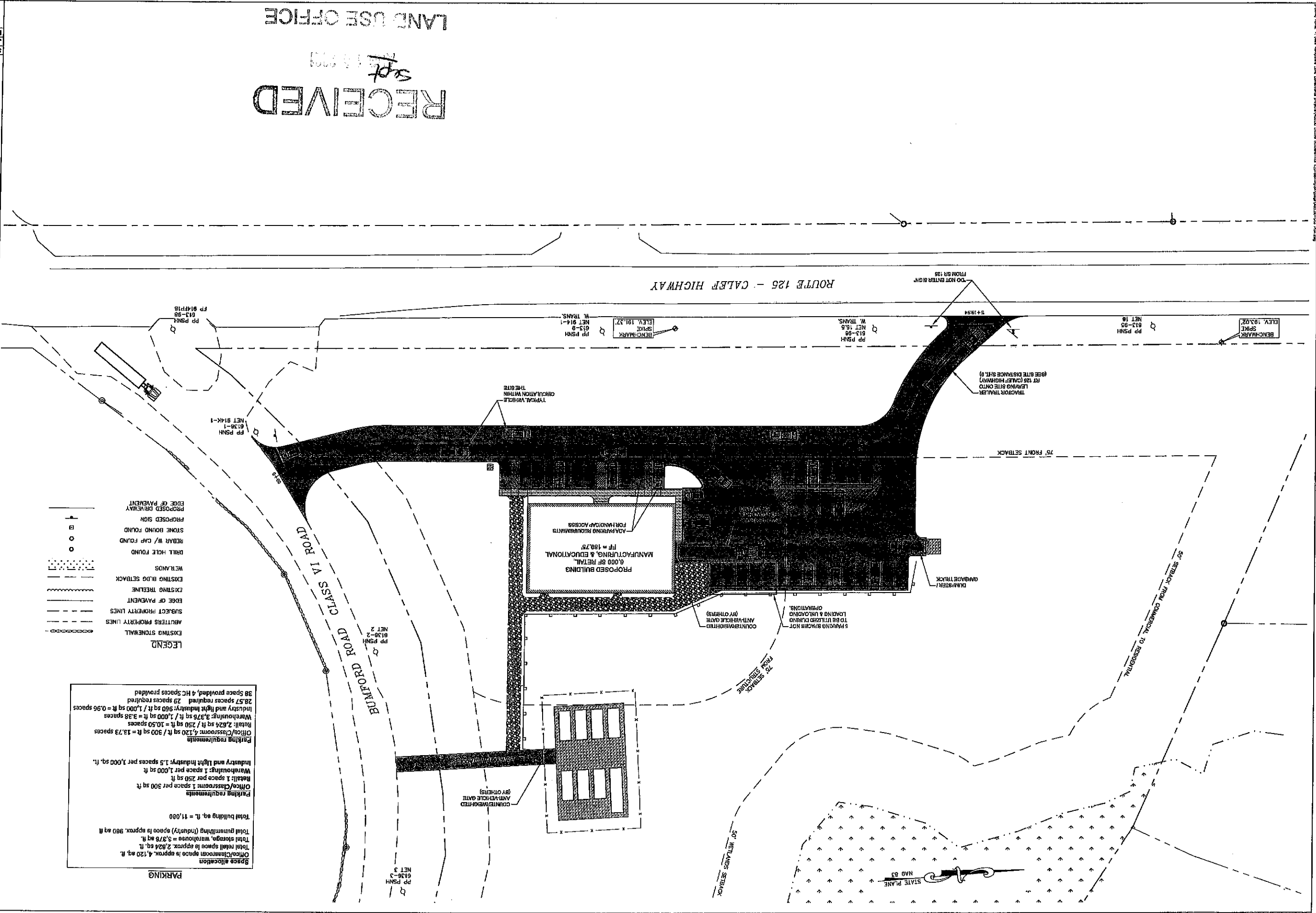
8500 FIRST NH THORNDIKE, NORTHWOOD, NH 03251 Ph: 603-430-0920
 WEBSITE: NH.LANDCONSULTANTS.COM

SCALE: 1"=30'

GRAPHIC SCALE

NO.	DATE	DESCRIPTION	BY
1	8/17/2021	REVISED PER TOWN DESIGN REVIEW	TDS
2	9/14/2021	SITE PLAN SUBMITTAL	TDS

REVISIONS



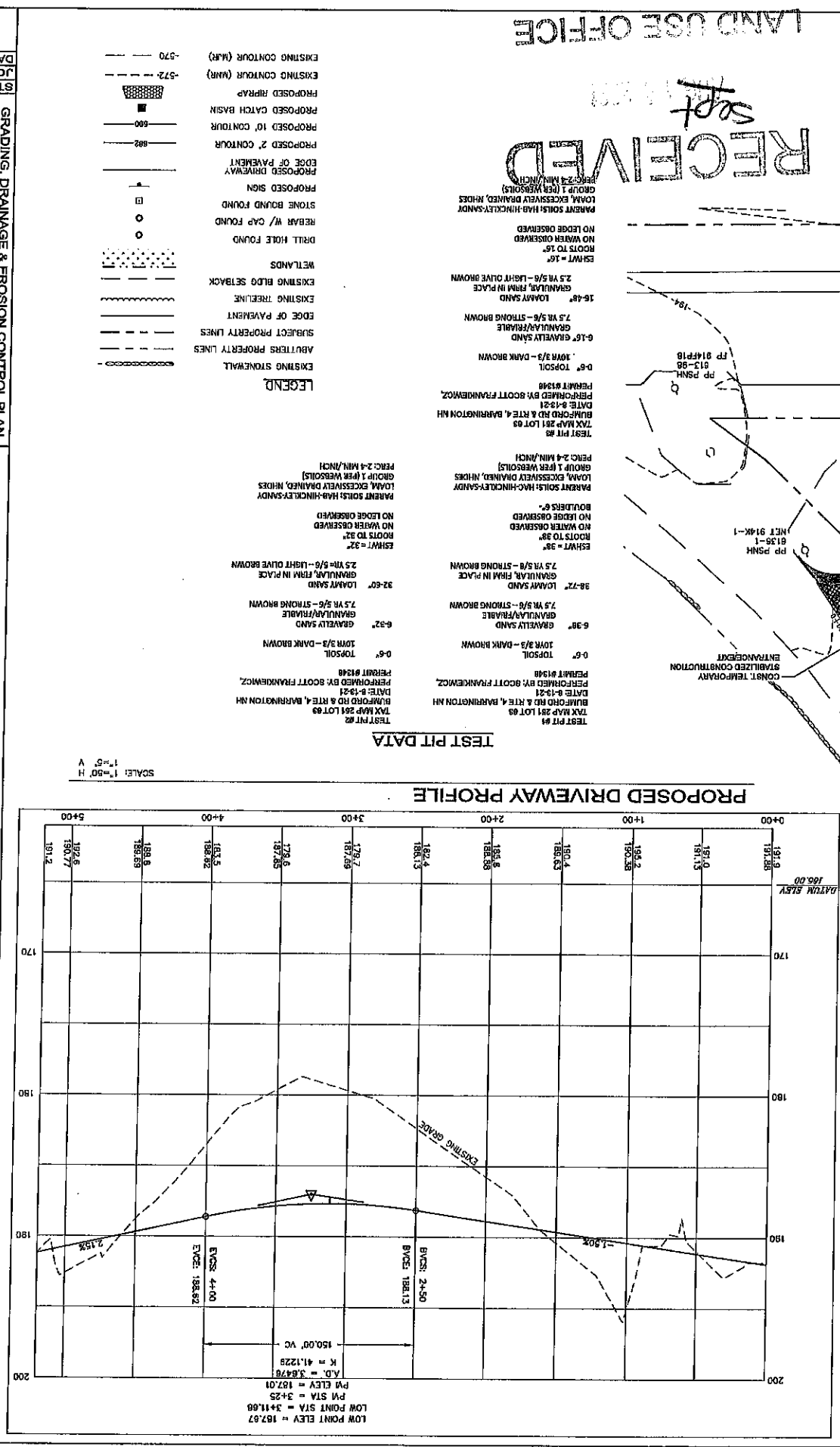
SH1. 6 of 16
PGP
 DATE: JULY 19, 2021
 JOB NO.: 400.00
 STRAFFORD CO.
 GRADING, DRAINAGE & EROSION CONTROL PLAN
 TAX MAP 251 LOT 63
2A TACTICAL, LLC
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 304 YOUNG ROAD, BARRINGTON, NH 03825
 BOOK 4502 PAGE 1000

SCALE: 1"=30'
N.H. LAND Consultants
 SURREY-LAND PLANNING-REALESTATE
 A Veteran Owned Company
 100 WINDY HILL ROAD, BARRINGTON, NH 03825
 TEL: 603-425-2220
 FAX: 603-425-2220
 WEBSITE: NH.LANDCONSULTANTS.COM

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	8/7/2021	REVISED PER TOWN DESIGN REVIEW	TDS
2	9/14/2021	SITE PLAN SUBMITTAL	TDS

DESIGNED BY: Scott R. Fritzsche, No. 1348
 SUBMITTED TO: Suburbs of Environmental Services
 HAMP SHIRLEY

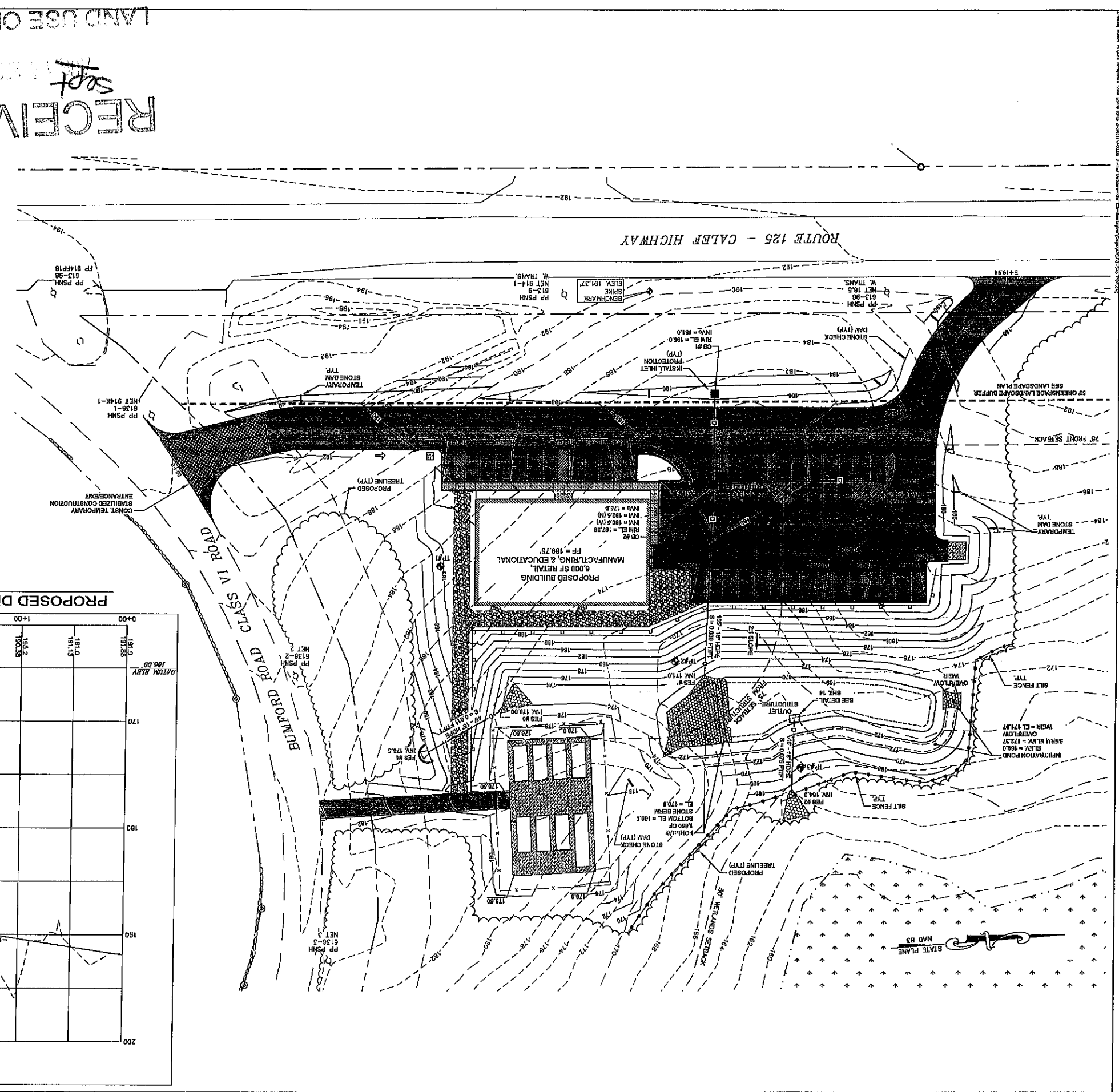


TEST PIT DATA

TEST PIT #	TEST PIT #
TEST PIT #1 TAX MAP 251 LOT 63 BARRINGTON RD & RTE 4, BARRINGTON NH PERFORMED BY: SCOTT FRANKEMOZ PERMIT #1348	TEST PIT #2 TAX MAP 251 LOT 63 BARRINGTON RD & RTE 4, BARRINGTON NH PERFORMED BY: SCOTT FRANKEMOZ PERMIT #1348
0-6" TOPSOIL 10M 3/3 - DARK BROWN	0-6" TOPSOIL 10M 3/3 - DARK BROWN
6-36" GRAVELLY SAND GRAVELLY/FINEABLE	6-36" GRAVELLY SAND GRAVELLY/FINEABLE
36-72" LOAMY SAND GRAVELLY/FINEABLE	36-72" LOAMY SAND GRAVELLY/FINEABLE
72-96" LOAMY SAND GRAVELLY/FINEABLE	72-96" LOAMY SAND GRAVELLY/FINEABLE
ESHW - 32" ROOTS TO 32" NO WATER OBSERVED NO LEDGE OBSERVED	ESHW - 32" ROOTS TO 32" NO WATER OBSERVED NO LEDGE OBSERVED
ESHW - 32" ROOTS TO 32" NO WATER OBSERVED NO LEDGE OBSERVED	ESHW - 32" ROOTS TO 32" NO WATER OBSERVED NO LEDGE OBSERVED

LEGEND

- EXISTING STONEWALL
- ADJUTERS PROPERTY LINES
- SUBJECT PROPERTY LINES
- EDGE OF PAVEMENT
- EXISTING TREE LINE
- EXISTING RIDG SETBACK
- WETLANDS
- DRILL HOLE FOUND
- REBAR W/ CAP FOUND
- STONE BOUND FOUND
- PROPOSED SIGN
- PROPOSED DRIVEWAY
- EDGE OF PAVEMENT
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED CATCH BASIN
- PROPOSED RIPRAP
- EXISTING CONTOUR (MNR)
- EXISTING CONTOUR (MNR)



ROUTE 125 - CALEF HIGHWAY

BURFORD ROAD STATE VI ROAD

PROPOSED DRIVEWAY PROFILE

PROPOSED BUILDING

EXISTING GRADE

WETLANDS

STONE DAM

STONE CHECK DAM

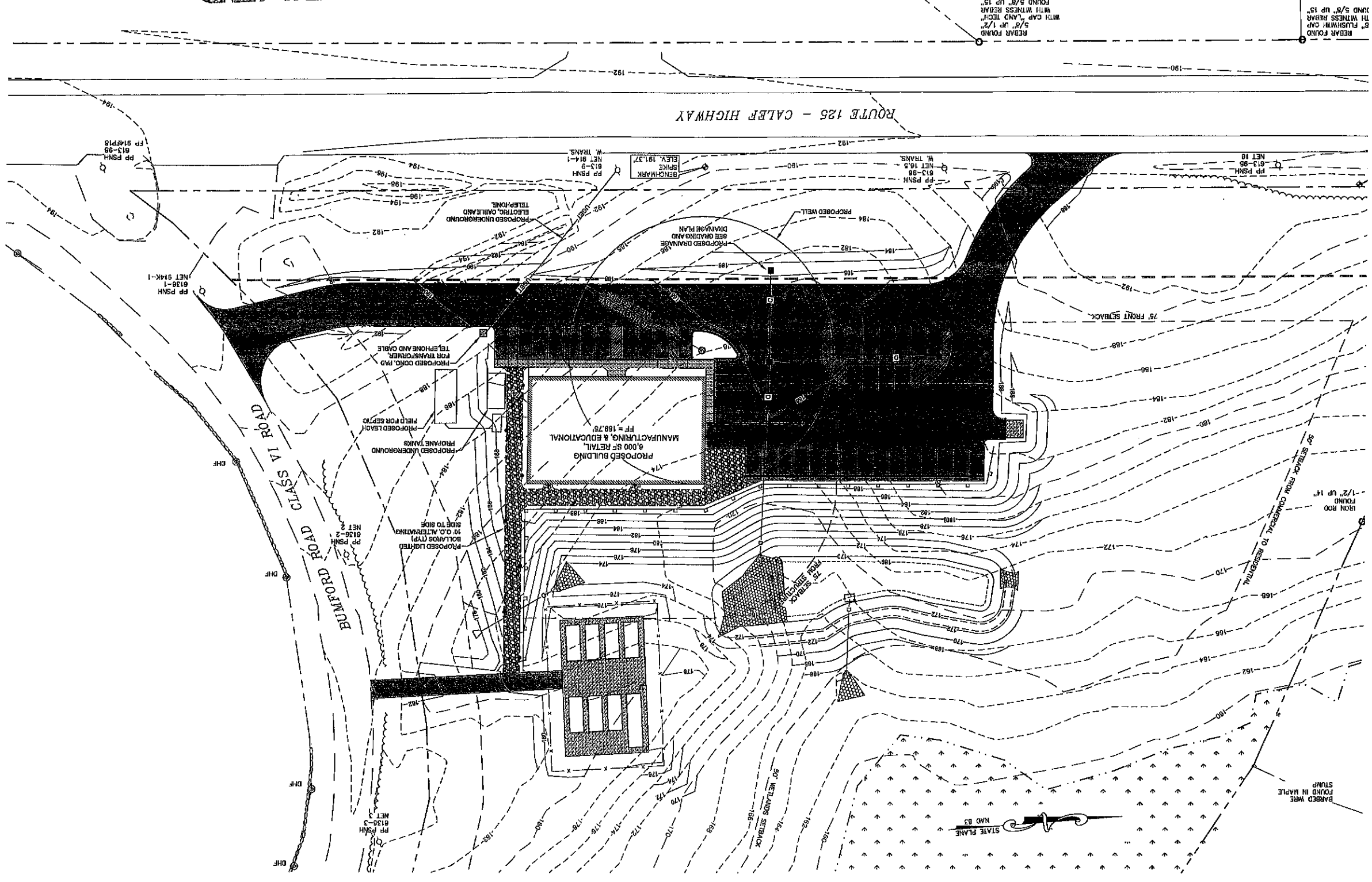
STONE CHECK DAM

STATE PLANE

SCALE: 1"=30'

- LEGEND**
- EXISTING STONEMALL
 - ADUTTERS PROPERTY LINES
 - SUBJECT PROPERTY LINES
 - EDGE OF PAVEMENT
 - EXISTING TREELINE
 - EXISTING BLDG SETBACK
 - WETLANDS
 - DRILL HOLE FOUND
 - REBAR W/ CAP FOUND
 - STONE BOUND FOUND
 - PROPOSED SIGN
 - PROPOSED DRIVEWAY
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED CATCH BASIN
 - PROPOSED RIPRAP
 - EXISTING CONTOUR (MNR)
 - EXISTING CONTOUR (MUR)
 - PROPOSED UNDERGROUND ELECTRIC, TELEPHONE, CABLE
 - UGET

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UTILITY PLAN
TAX MAP 251 LOT 63
2A TACTICAL, LLC
99 TOLLAND ROAD, BARRINGTON, NH 03825
OWNED BY
STEVEN & PAMELA LENZI
TRS REV TRUST
304 YOUNG ROAD, BARRINGTON, NH 03825
BOOK 4502 PAGE 1000

N.H. LAND Consultants
A Veteran Owned Company
SURVEYING-LAND PLANNING-REAL ESTATE

18 7.5 0
SCALE: 1"=30'

REVISIONS

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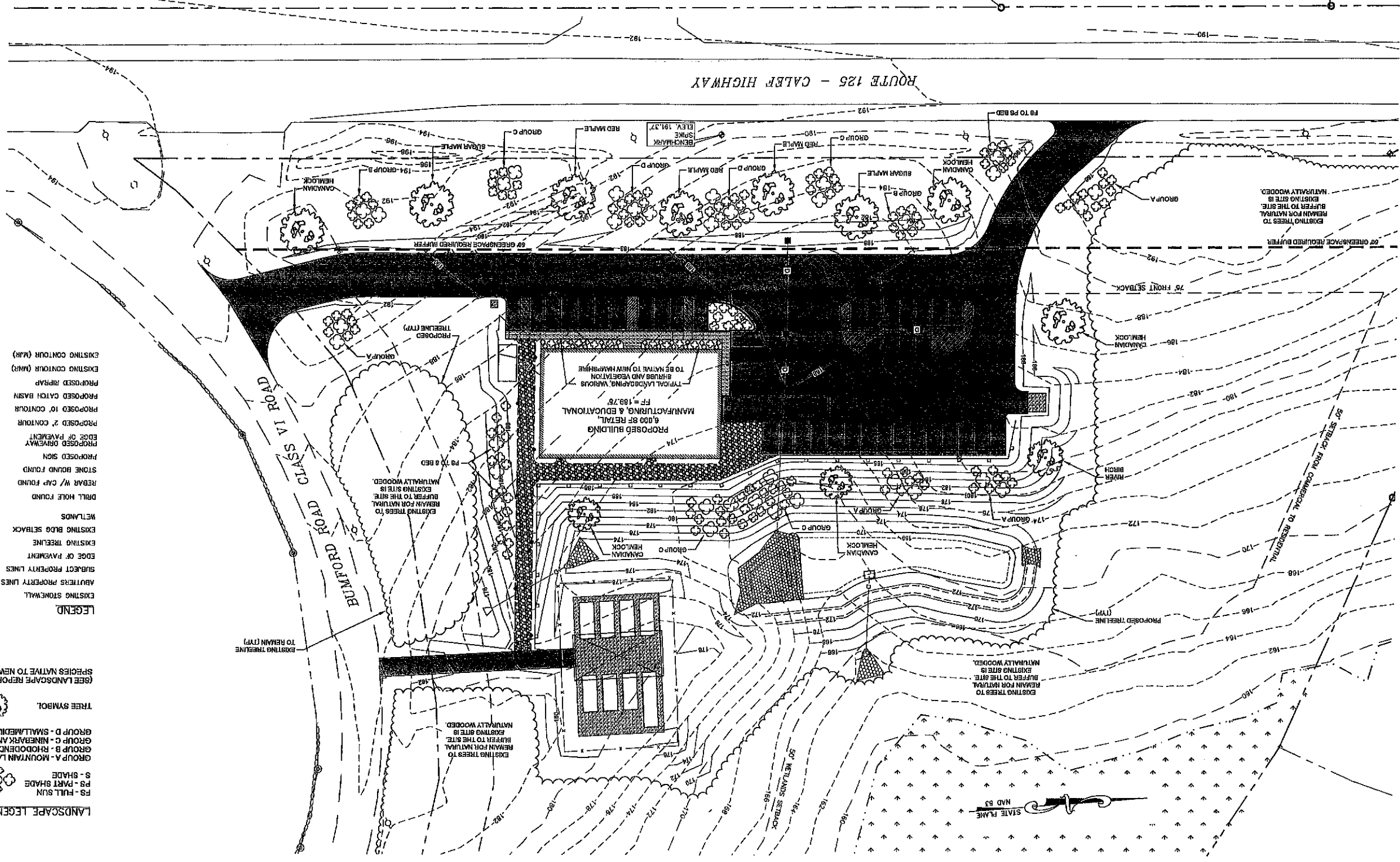
DATE: JULY 19, 2021
JOB NO: 400.00
STRAFFORD CO.

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 LAND USE OFFICE

MAINTENANCE
 ALL LANDSCAPE SHALL RECEIVE REGULAR MAINTENANCE AND WATER, SEVERELY DAMAGED, DISEASED, OR DEAD PLANT MATERIALS MUST BE REPLACED IN KIND IN PERPETUITY (AVOID REPLACING LANDSCAPE MATERIALS IN THE PERIOD FROM NOVEMBER TO MARCH). BEST MANAGEMENT PRACTICES TO MINIMIZE ENVIRONMENTAL IMPACTS, INCLUDING THE USE OF LOW PHOSPHORUS FERTILIZER AND SLOW RELEASE NITROGEN, IF THE OWNERSHIP OF THE SITE IS CONVEYED TO A NEW PROPERTY OWNER, THE NEW OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING WITH THE APPROVED FINAL LANDSCAPING PLAN.

OWNER'S SIGNATURE _____
 DATE _____

PLANNING BOARD APPROVAL BLOCK



- LEGEND**
- EXISTING STONEWALL
 - - - - - ADJUTERS PROPERTY LINES
 - - - - - SUBJECT PROPERTY LINES
 - - - - - EDGE OF PAVEMENT
 - - - - - EXISTING TREELINE
 - - - - - EXISTING BLDG SETBACK
 - - - - - WETLANDS
 - DRILL HOLE FOUND
 - REBAR W/ CAP FOUND
 - STONE BOUND FOUND
 - PROPOSED SIGN
 - PROPOSED DRIVEWAY
 - EDGE OF PAVEMENT
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED CATCH BASIN
 - PROPOSED RIPRAP
 - EXISTING CONTOUR (MNF)
 - EXISTING CONTOUR (MNF)

- LANDSCAPE LEGEND**
- FS - FULL SUN
 - PS - PART SHADE
 - S - SHADE
 - GROUP A - MOUNTAIN LAUREL AND NINEBARK
 - GROUP B - RHODODENDRON (LARGE) AND BAYBERRY
 - GROUP C - NINEBARK AND REDOSIER
 - GROUP D - SMALL/MEDIUM RHODOENDRON MIX
 - TREE SYMBOL
- (SEE LANDSCAPE REPORT FOR VARIOUS TREE, PLANT SPECIES NATIVE TO NEW HAMPSHIRE)

STRAFFORD CO.
 JOB NO: 400.00
 DATE: JULY 13, 2021
 PLSC
 SHT. 7 of 10

LANDSCAPE PLAN
 TAX MAP 251 LOT 63
 2A TACTICAL, LLC
 99 TOLLAND ROAD, BARRINGTON, NH 03825
 OWNED BY
 STEVEN & PAMELA LENZI
 TRS REV TRUST
 304 YOUNG ROAD, BARRINGTON, NH 03825
 EBOOK 4502 PAGE 1000

N.H. LAND Consultants
 SURVEYING-LAND PLANNING-REAL ESTATE
 A Veteran Owned Company

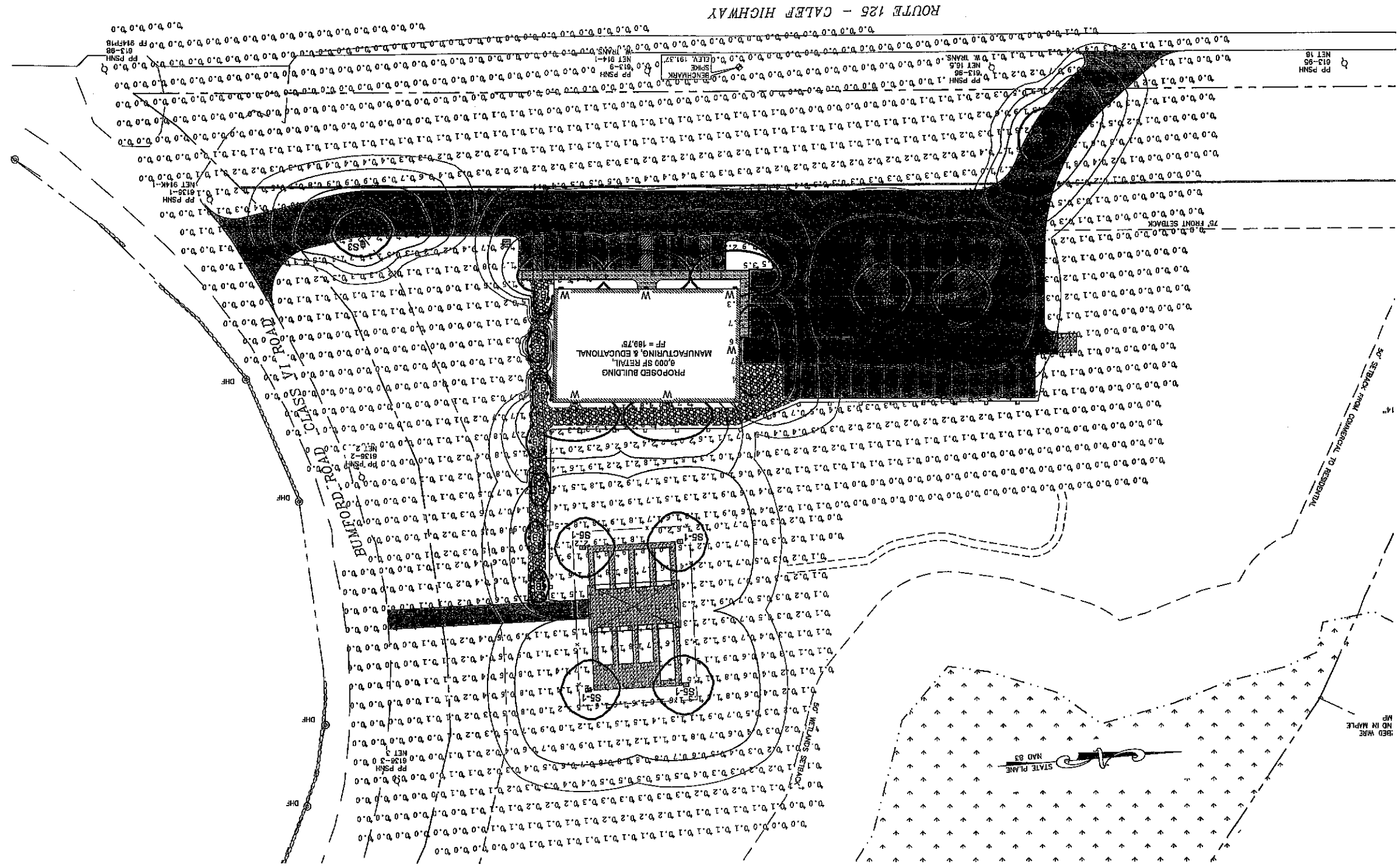
15 25 0
 GRAPHIC SCALE
 SCALE: 1"=30'

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	9/17/2021	REVISED PER TOWN DESIGN REVIEW	TDB
2	9/14/2021	SITE PLAN SUBMITTAL	TDB

Symbol	Qty	Label	Arrangement	Description
⊕	7	S3	Single	BRT6-A2-740-U-13-42-BK
⊕	2	S3	Single	GILSON-SALIC-740-U-13/
⊕	6	S5-1	Single	SSS4A2OSINI (20' AEG)
⊕	6	S5-1	Single	GILSON-SALIC-740-U-5M/
⊕	6	M	Single	GMC-SALIC-740-U-S14 / WALT MTD
⊕	6	M	Single	15' AEG

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Sept 14 2021
LAND USE OFFICE



- LEGEND**
- EXISTING STONEMALL
 - AUTUMNS PROPERTY LINES
 - SUBJECT PROPERTY LINES
 - EDGE OF PAVEMENT
 - EXISTING REELINE
 - EXISTING BLDG SETBACK
 - WETLANDS
 - DRILL HOLE FOUND
 - REBAR W/ CAP FOUND
 - STONE BOUND FOUND
 - PROPOSED SIGN
 - PROPOSED DRIVEWAY
 - SMALLER POLE FIXTURES
 - POLE MOUNTED FIXTURES

LIGHTING PLAN
 TAX MAP 251 LOT 63
2A TACTICAL, LLC
 99 TOLAND ROAD, BARRINGTON, NH 03825
 OWNED BY
STEVEN & PAMELA LENZI
 TRS REV TRUST
 304 YOUNG ROAD, BARRINGTON, NH 03825
 BOOK 4502 PAGE 1000

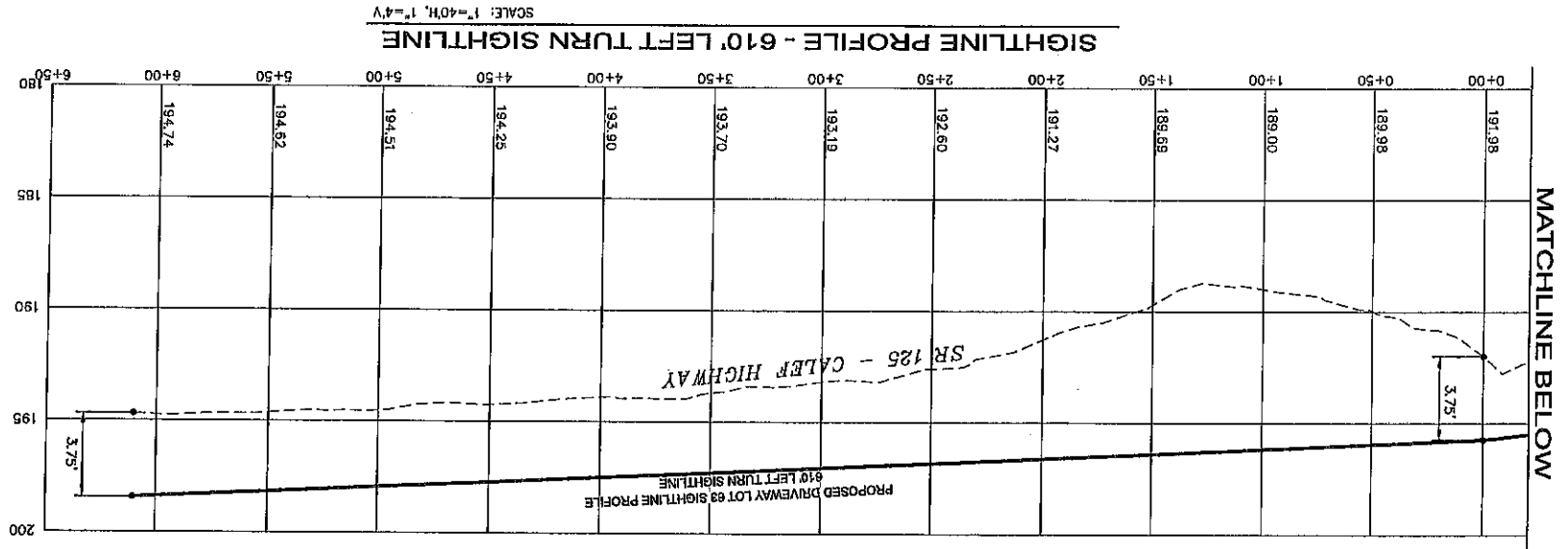
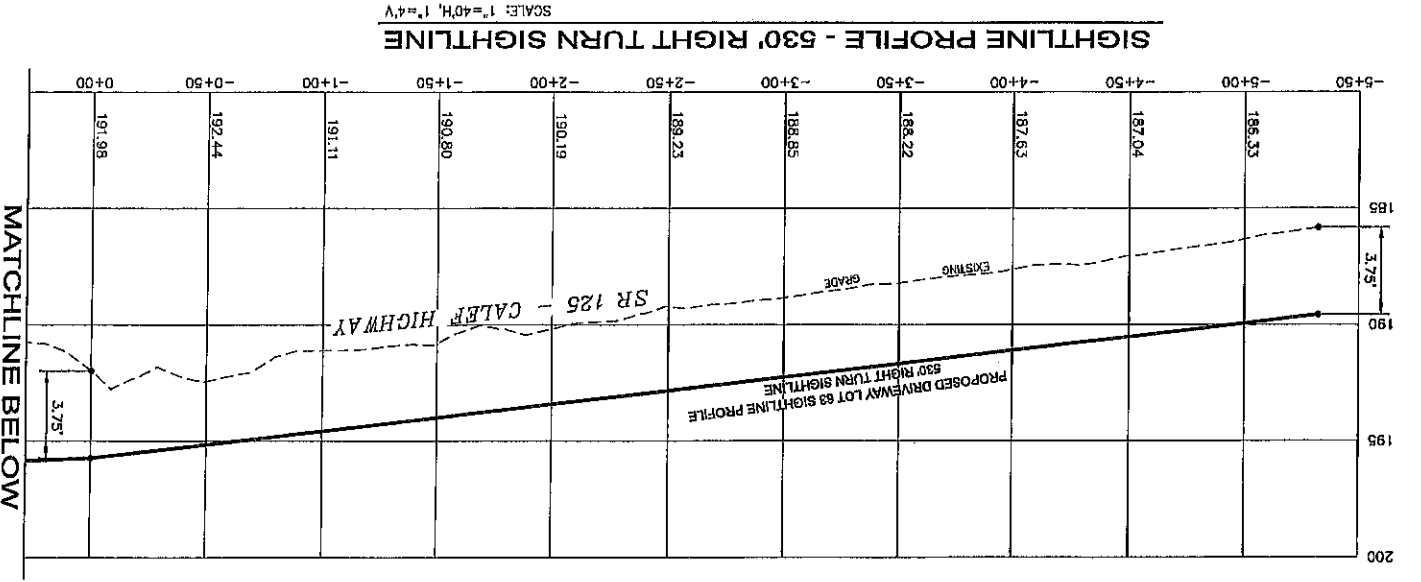
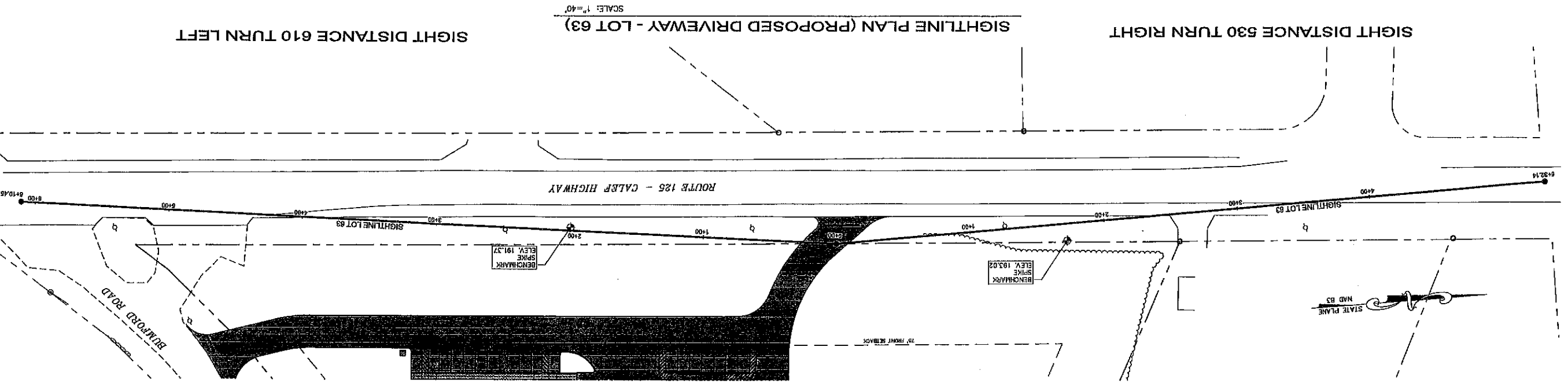
N.H. LAND Consultants
 SURETY-LAND PLANNING-REAL ESTATE
 A Veteran Owned Company
 1000 WASHINGTON ST., SUITE 200, BARRINGTON, NH 03825
 PH: 603-442-8220
 WWW.NHCONSULTANTS.COM

SCALE: 1"=30'

GRAPHIC SCALE	
0	30
15	0

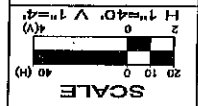
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	8/17/2021	REVISED PER TOWN DESIGN REVIEW	TDB
2	9/14/2021	SITE PLAN SUBMITTAL	TDB

DATE: JULY 13, 2021
 JOB NO: 400.00
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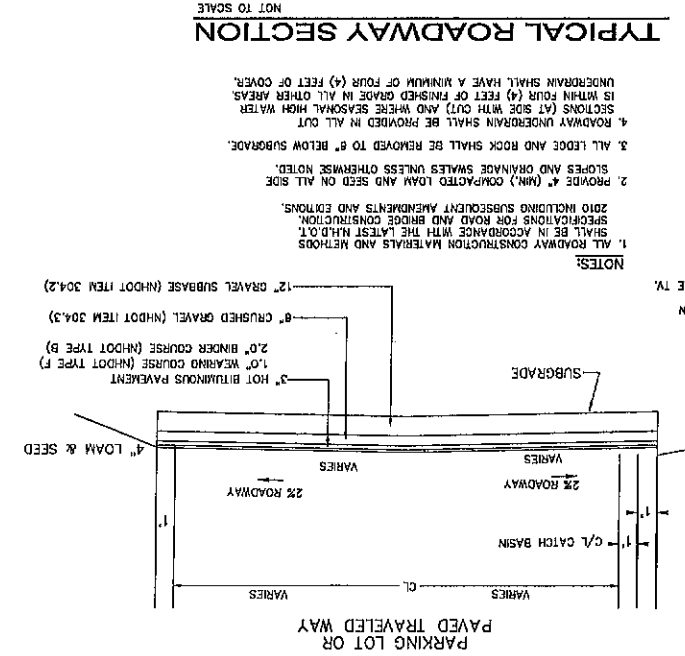
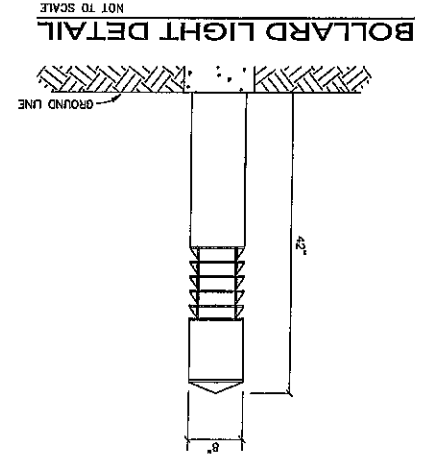
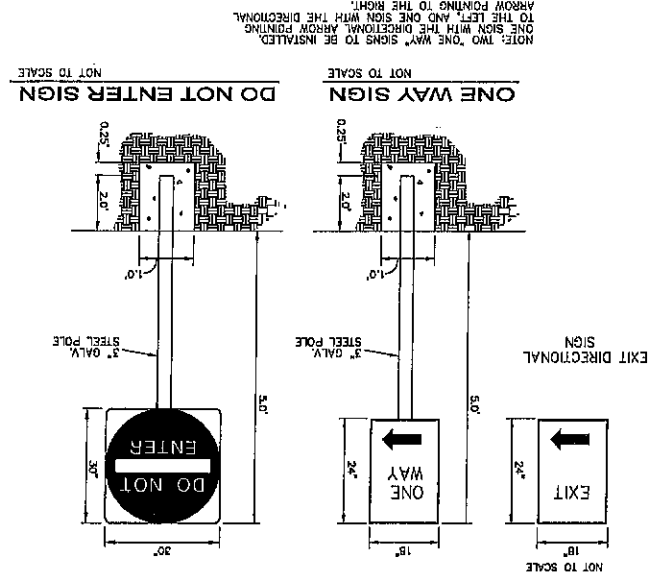
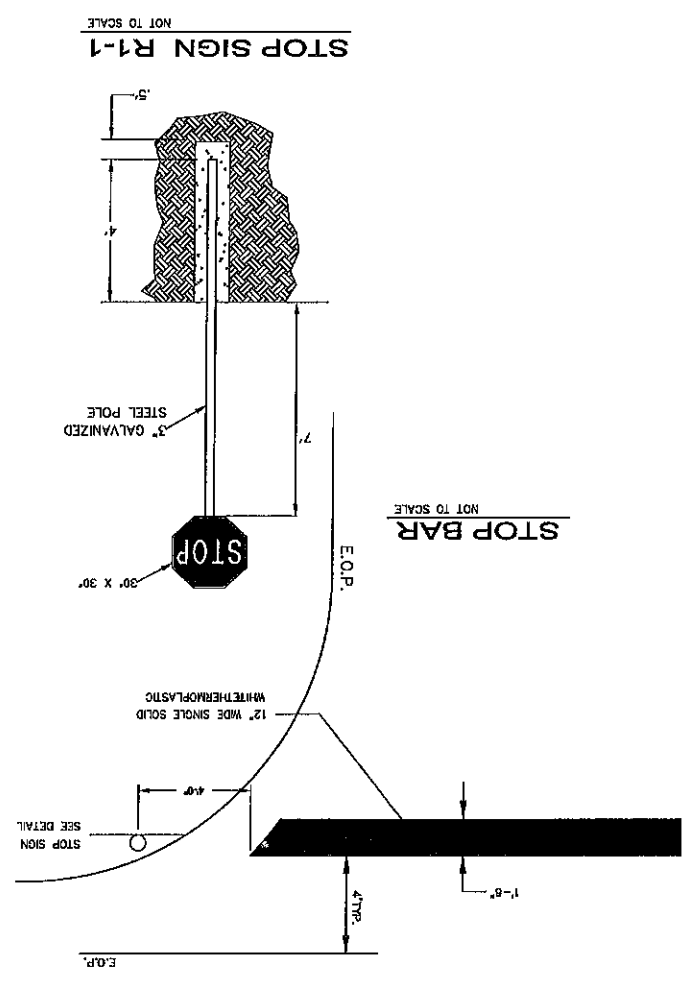


N.H. LAND Consultants
 SURVING-LAND PLANNING-REAL ESTATE
 A Veteran Owned Company
 1000 WASHINGTON ST. SUITE 200
 PORTSMOUTH, NH 03801
 TEL: 603-426-9290
 WWW.NHCONSULTANTS.COM

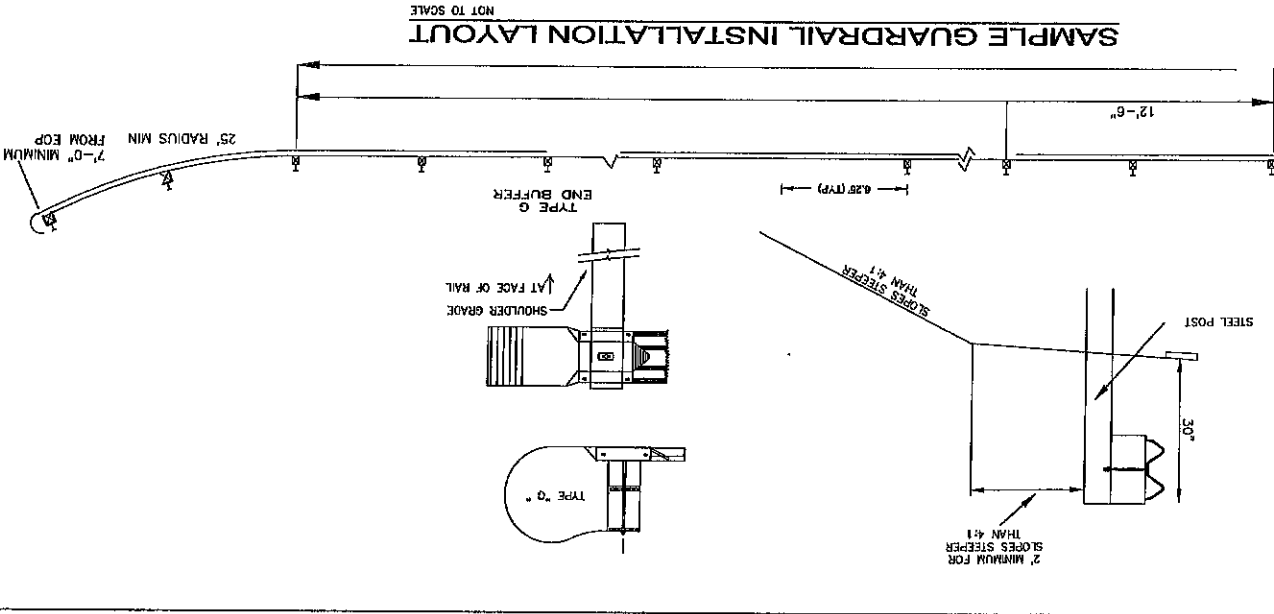
VEHICLE PEDESTRIAN ACCESS (SIGHTLINE) PLAN
 TAX MAP 251 LOT 63
2A TACTICAL, LLC
 99 TOLAND ROAD, BARRINGTON, NH 03825
 OWNED BY
STEVEN & PAMELA LENZI
 TRS REV TRUST
 304 YOUNG ROAD, BARRINGTON, NH 03825
 BOOK 4502 PAGE 1000

STRAFORD CO
 JOB NO: 400 00
 DATE: JULY 13, 2021
 VPAD
 SH. 9 of 16

- GENERAL NOTES**
1. MANUAL ACCEPTANCE STANDARDS FOR ALL CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, (AND ALL SUBSEQUENT AMENDMENTS) AS APPLICABLE TO THE TOWN OF BARRINGTON. REGULATION, DRAINAGE DESIGN IS BASED ON THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK VOLUME II".
 2. ALL ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND DRAINAGE STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO UTILIZATION OF DESIGN ELEVATIONS ON THIS PLAN.
 3. BACKFILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH NH DOT STANDARD SPECIFICATIONS SECTION 304.
 4. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES AND SHALL PROVIDE ALL PRESENT ACCESS TO ALL OPEN EXCAVATIONS AT THE COMPLETION OF EACH DAY'S WORK. NECESSARY CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE AND STRENGTH TO MAINTAIN ACCESS TO ALL OPEN EXCAVATIONS AT THE COMPLETION OF EACH DAY'S WORK.
 5. ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
 6. THE CONTRACTOR SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG SAFE" AT 111 SO. BEDFORD STREET, BARRINGTON, MA (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
 7. SHOWING AND STABILIZING OF TRENCH SLOPES DURING EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 8. ALL WORK ADJACENT TO EXISTING ELWOOD AND WEST ROAD SHALL BE PERFORMED IN WITH THE STREET OPENING REQUIREMENTS OF THE TOWN OF BARRINGTON AND NH DOT STANDARD SPECIFICATIONS.
 9. ALL UTILITIES, DRAINAGE STRUCTURES AND ROAD CONSTRUCTION SHALL BE SUBJECT TO PARTIAL AND FINAL INSPECTION PRIOR TO ACCEPTANCE BY THE TOWN OF BARRINGTON. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING INSPECTION BY THE TOWN ENGINEER.
 10. UTILITY PLANS SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 11. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" TOPSOIL AND SEED OVER ALL DISTURBED UNPAVED AREAS UNLESS OTHERWISE SPECIFIED.
 12. CORROGATED PLASTIC PIPE (C/P) WITH SMOOTH INTERIOR - ADS N-12 OR APPROVED EQUAL MAY BE SUBSTITUTED FOR REINFORCED CONCRETE DRAINAGE PIPE (RCP) WITH APPROVAL OF THE BARRINGTON DEPARTMENT OF PUBLIC WORKS AND TOWN ENGINEER.
 13. CONCRETE END SECTIONS (FLARED ENDS) SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS, HIGHWAY DESIGN MANUAL, PLATES 5 & 6, OF STANDARD 11 DATED 1978 AND ALL SUBSEQUENT AMENDMENTS.
 14. ALL DRAINWAY GRADING IS SUBJECT TO DEPARTMENT OF PUBLIC WORKS REVIEW PRIOR TO DRIVEWAY CONSTRUCTION ON INDIVIDUAL LOTS. DRIVEWAY CURBETS, LOCATED OUTSIDE OF THE TOWNS RIGHT OF WAY, MAY BE NECESSARY DEPENDING ON THE ACTUAL PROPOSED LOT DEVELOPMENT.
 15. ALL PAVEMENT MARKERS SHOWN CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION.



- NOTES:**
1. ALL ROADWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.
 2. PROVIDE 4" (MIN.) COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND ORNAMENT SWALES UNLESS OTHERWISE NOTED.
 3. ALL LEDGE AND ROCK SHALL BE REMOVED TO 6" BELOW SUBGRADE.
 4. ROADWAY UNDERDRAIN SHALL BE PROVIDED IN ALL OUTSECTIONS (AT 50' WITH CUT) AND WHERE SEASONAL HIGH WATER IS WITHIN FOUR (4) FEET OF FINISHED GRADE IN ALL OTHER AREAS. UNDERDRAIN SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.



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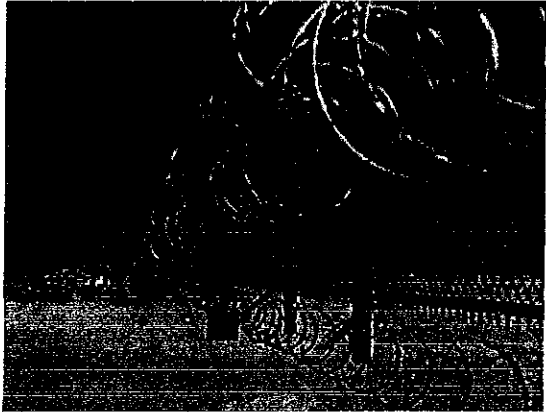
DEF-1
SHT. 10 of 16
DATE: JULY 13, 2021
JOB NO.: 400.00
STRAFFORD CO.
TAX MAP 251 LOT 63
2A TACTICAL, LLC
99 TOLAND ROAD, BARRINGTON, NH 03825
OWNED BY
STEVEN & PAMELA LENZI
TRUSTEES
504 YOUNG ROAD, BARRINGTON, NH 03825
PAGE 1000

N.H. LAND Consultants
A Veteran Owned Company
SITING-PLANNING-REALESTATE
PH: 603-446-9250
WEBSITE: NHLANDCONSULTANTS.COM

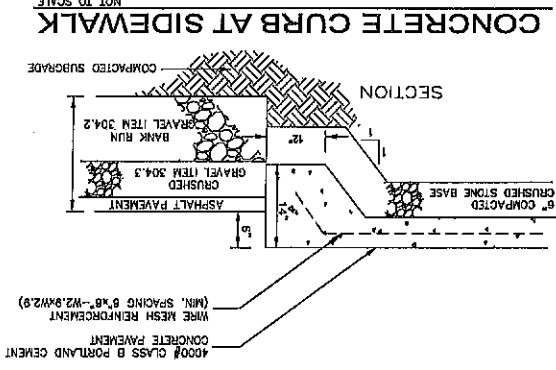
REVISIONS

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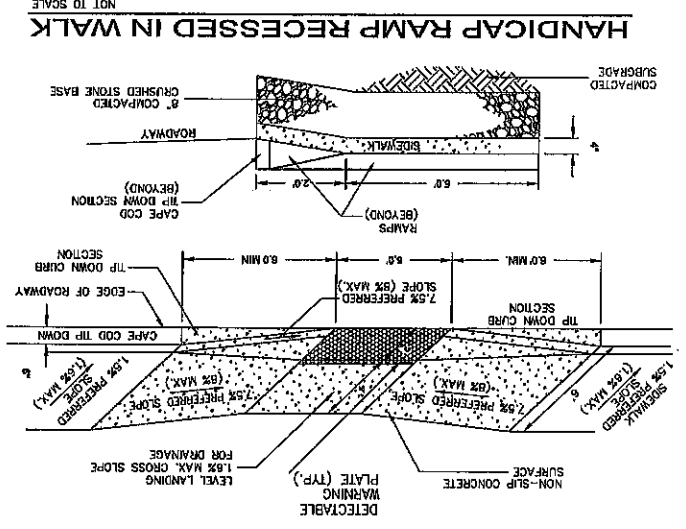
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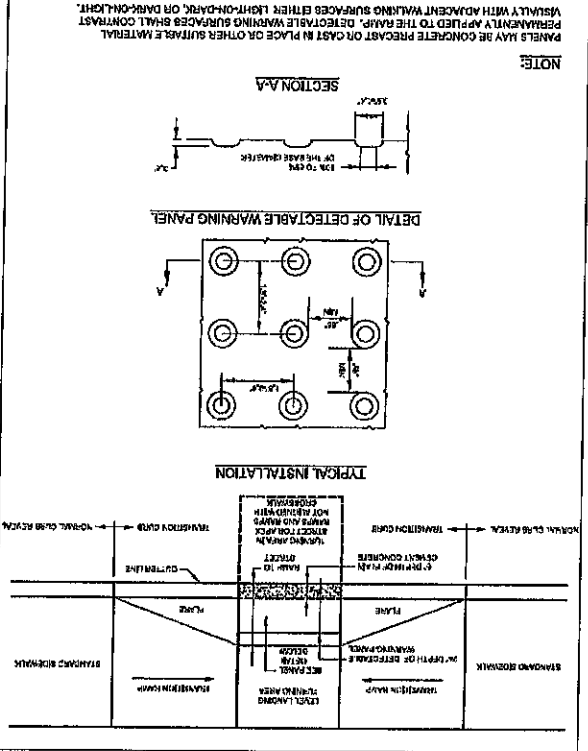
POTENTIAL SECURITY FENCE APPROXIMATE 8' FROM CONEX BY OTHERS OR APPROVED EQUAL.
SECURITY FENCING
 NOT TO SCALE



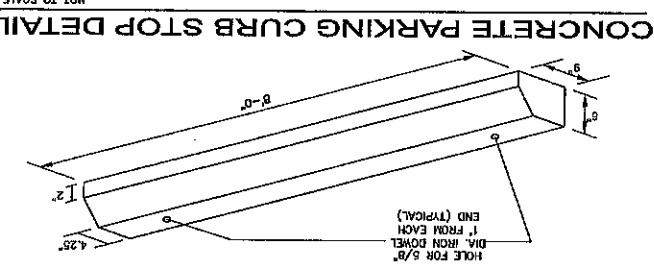
CONCRETE CURB AT SIDEWALK
 NOT TO SCALE



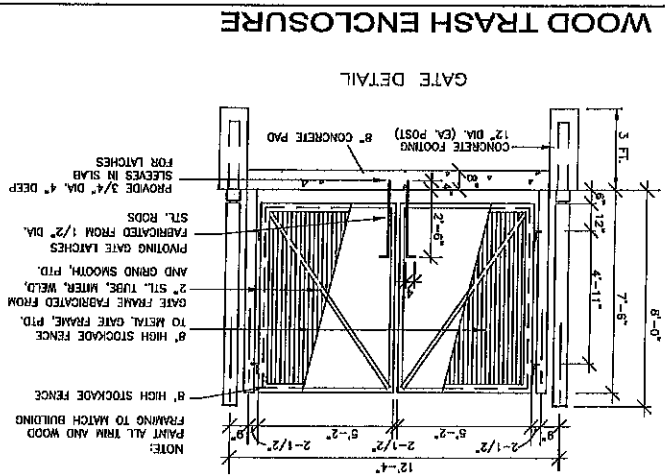
HANDICAP RAMP RECESSED IN WALK
 NOT TO SCALE



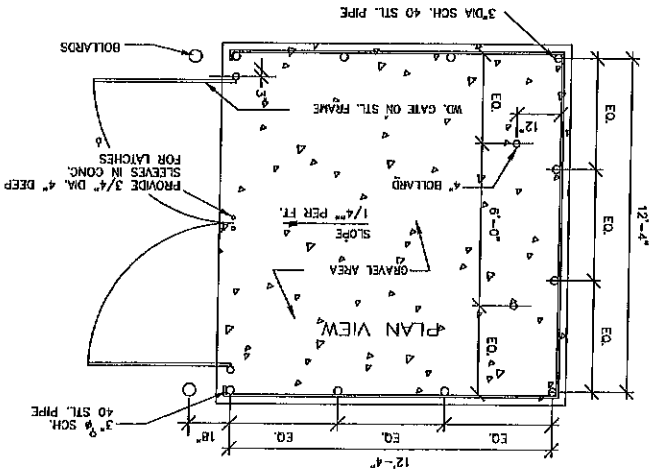
DETECTABLE WARNING PANEL
 NOT TO SCALE



CONCRETE PARKING CURB STOP DETAIL
 NOT TO SCALE



WOOD TRASH ENCLOSURE
 GATE DETAIL
 NOT TO SCALE



PLAN VIEW
 NOT TO SCALE

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SITE DETAILS - 2
 TAX MAP 251 LOT 6.3
2A TACTICAL, LLC
 99 TOLAND ROAD, BARRINGTON, NH 03825
 OWNED BY
STEVEN & PAMELA LENZI
 TRS REV TRUST
 304 YOUNG ROAD, BARRINGTON, NH 03825
 BOOK 4502 PAGE 1000

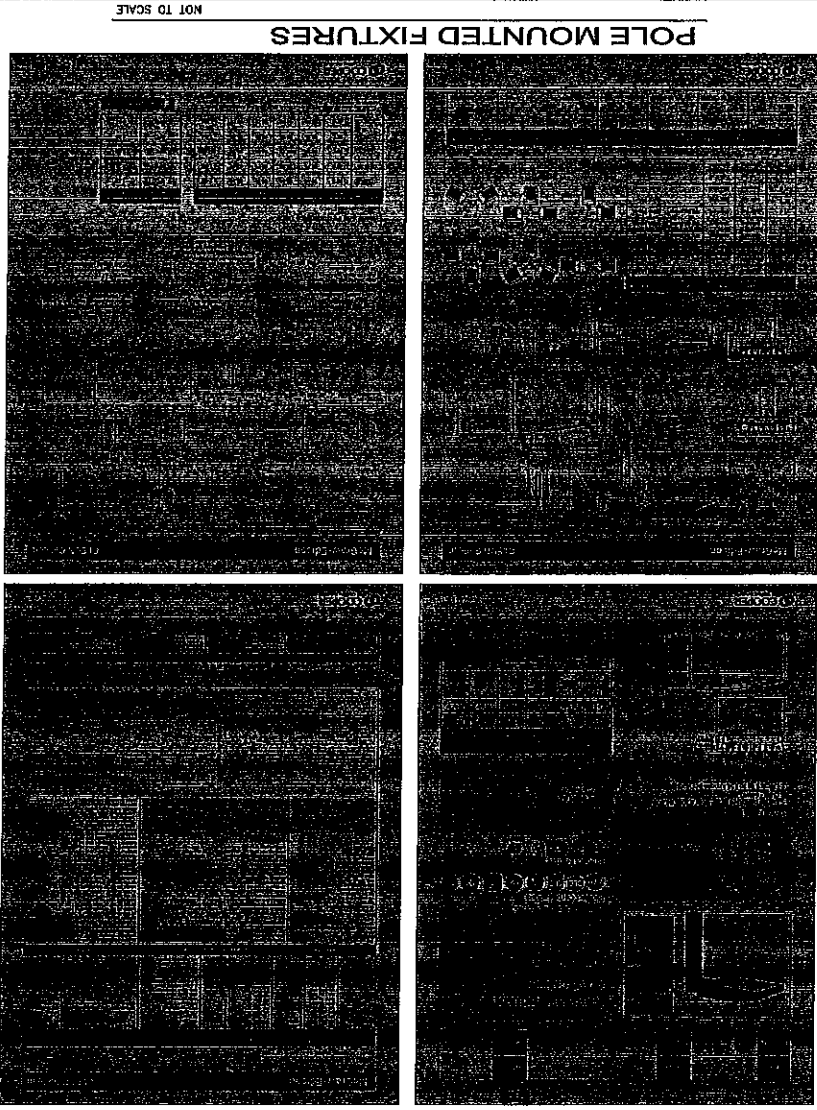
N.H. LAND
Consultants
 SURVEYING-LAND PLANNING-REAL ESTATE
 A Veteran Owned Company
 1000 WASHINGTON ST., SUITE 200, BARRINGTON, NH 03825
 PH: 603-442-2200
 WEBSITE: NH.LANDCONSULTANTS.COM

AS SHOWN SCALE

NO.	DATE	DESCRIPTION	BY
1	9/17/2021	REVIEWED PER TOWN DESIGN REVIEW	TDB
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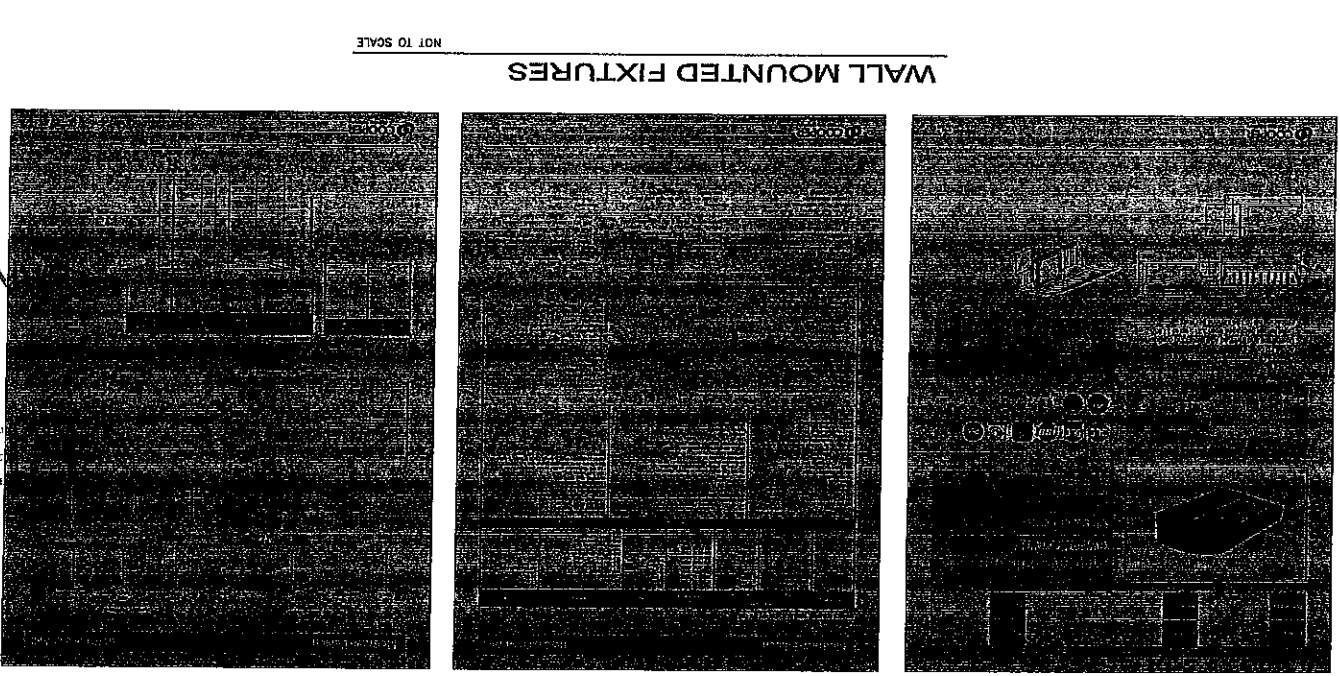
REVISIONS

NO.	DATE	DESCRIPTION	BY
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2	9/14/2021	SITE PLAN SUBMITTAL	TDB



POLE MOUNTED FIXTURES

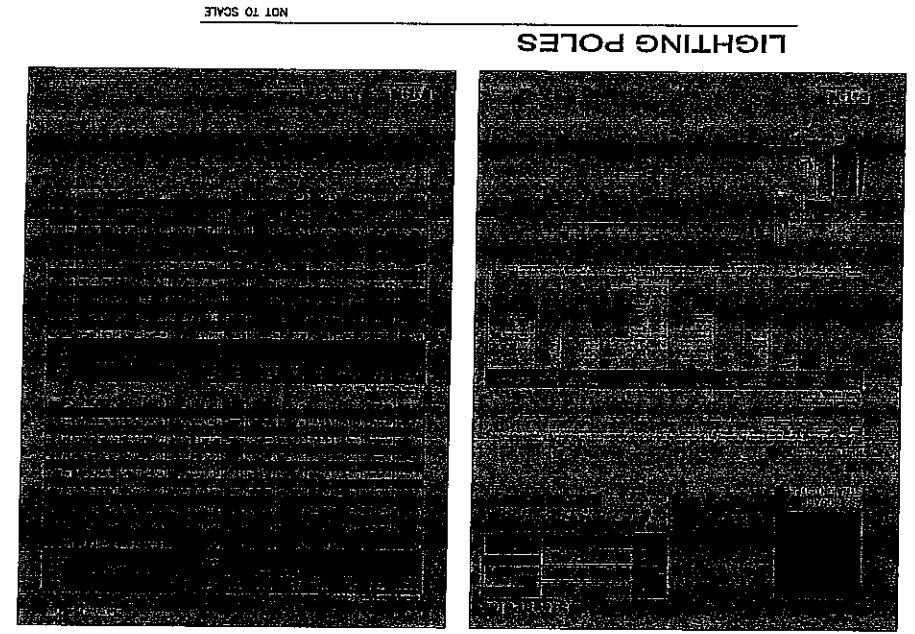
NOT TO SCALE



WALL MOUNTED FIXTURES

NOT TO SCALE

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SEPT 10 2021
AND USE OF



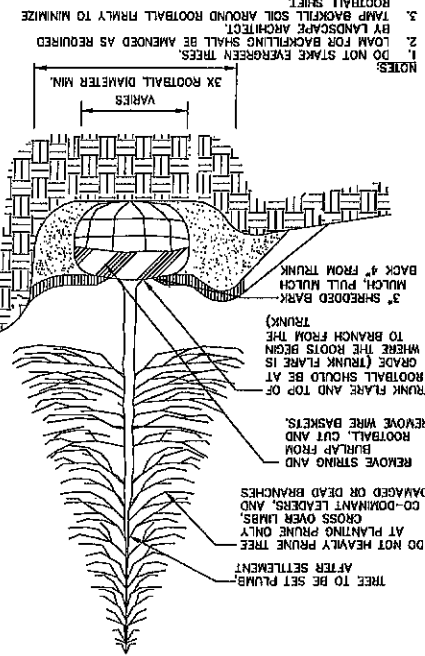
LIGHTING POLES

NOT TO SCALE

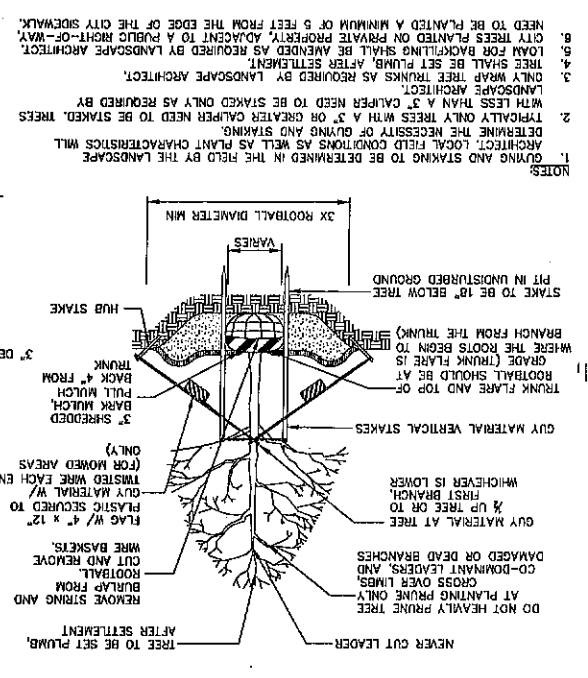
LANDSCAPING NOTES:

1. GUNNING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUNNING AND STAKING.
2. TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
3. ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
4. TREES SHALL BE SET PLUMB, AFTER SETTLEMENT.
5. TRAMP BACKFILL SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
6. CITY TREES PLANTED ON PRIVATE PROPERTY ADJACENT TO A PUBLIC RIGHT-OF-WAY NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

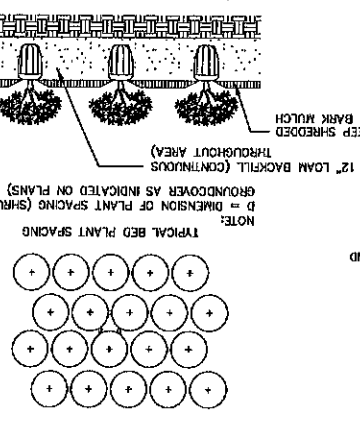
EVERGREEN TREE PLANTING



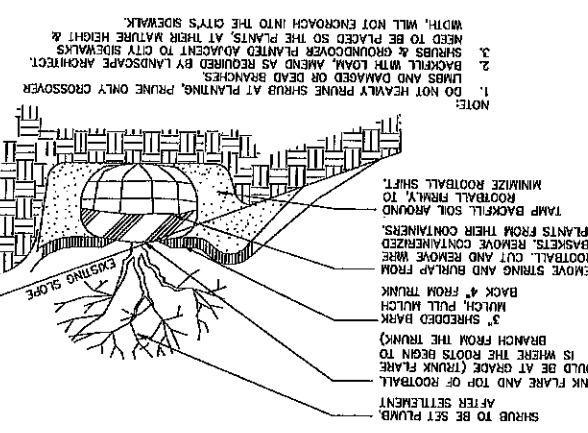
DECIDUOUS TREE PLANTING DETAIL



TYPICAL PERENNIAL DETAIL



TYPICAL SHRUB PLANTING DETAIL



LANDSCAPE & LIGHTING DETAILS
TAX MAP 251 LOT 63
2A TAOTICAL, LLC
99 TOLAND ROAD BARRINGTON, NH 03825
OWNED BY
STEVEN & PAMELA LENZI
TRS REV TRUST
304 YOUNG ROAD, BARRINGTON, NH 03825
BOOK 4502 PAGE 1000

N.H. LAND Consultants
SURVEYING-LAND PLANNING-REAL ESTATE
A Veteran Owned Company
888 FIRST NH TURNPIKE, NORTHWOOD, NH 03291 PH: 603-442-5200
WEST: NH.LANDCONSULTANTS.COM

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	8/17/2021	REVISED PER TOWN DESIGN REVIEW	TDB
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SCALE AS SHOWN

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UNDERGROUND UTILITIES TRENCH
 NOT TO SCALE

NOTES:
 1. UTILITIES SHALL BE INSTALLED ACCORDING TO THE RESPECTIVE UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
 2. ALL ABOVE GRADE UTILITY STRUCTURES OR TRANSFORMERS CANNOT CONFLICT WITH THE INSTALLATION OF R.O.W. AND PROPERTY CORNER MONUMENTS.
 3. ALL ABOVE GRADE UTILITY STRUCTURES OR TRANSFORMERS CANNOT CONFLICT WITH THE ROADWAY DRAINAGE SYSTEM.

IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE DESCRIBED AS ABOVE, EXCEPT THAT THE TOWN ENGINEERS MAY PERMIT THE USE OF TOP SOIL, LOAM, OR PEAT, IF SAVED TO COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT THE EASY ACCESS TO THE STRUCTURES FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED. SUITABLE MATERIAL SHALL BE PLACED IN 12" LIFTS AND THOROUGHLY COMPACTED.

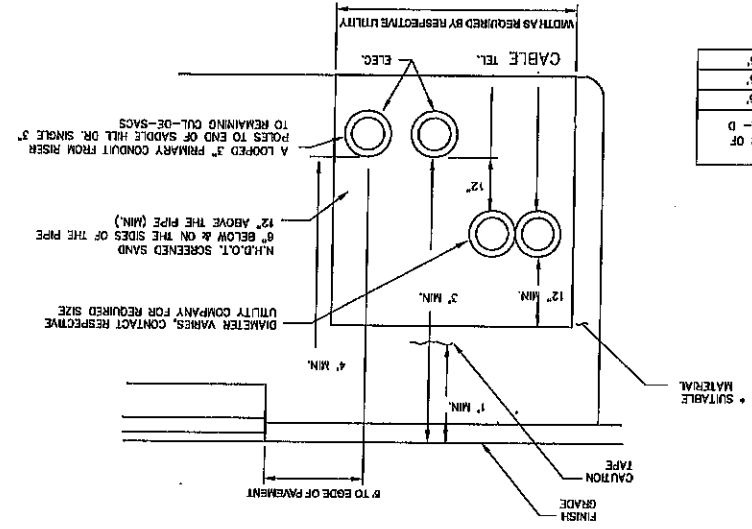
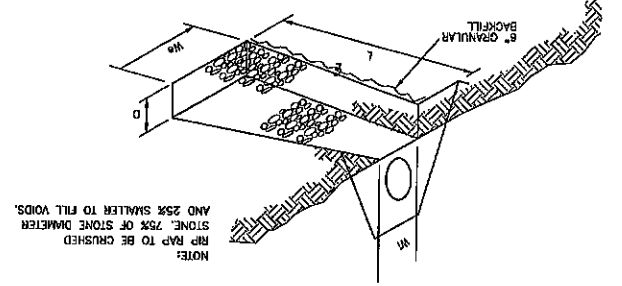
IN GROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED.

CONSTRUCTION IN A STABLE CONDITION, SUITABLE MATERIAL SHALL BE PLACED IN 6" LIFTS AND THE TOWN ENGINEERS WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED ROCKS OVER SIX INCHES IN THE LARGEST DIMENSION, OR ANY MATERIAL, WHICH, AS DETERMINED BY TOP SOIL, ALL, BET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEAVE MATERIAL AND ALL COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVED MATERIAL, MATERIAL FOR FRESH BACK FILL SHALL BE THE MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION.

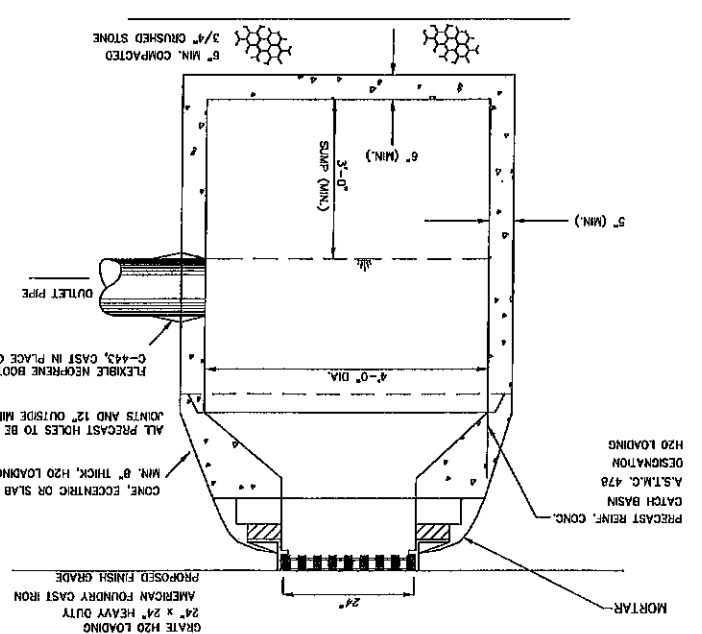
* SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR FRESH BACK FILL SHALL BE THE MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVED MATERIAL, TOP SOIL, ALL, BET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEAVE MATERIAL AND ALL ROCKS OVER SIX INCHES IN THE LARGEST DIMENSION, OR ANY MATERIAL, WHICH, AS DETERMINED BY THE TOWN ENGINEERS WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. SUITABLE MATERIAL SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED.

RIP-RAP SPECIFICATIONS
 NOT TO SCALE

DESCRIPTION	LENGTH	INVERT WIDTH	END WIDTH	STONE DIA	DEPTH OF STONE-D
FES 1 FOREBAY	15'	4'	17'	6"	1.5'
FES 2	12'	4'	13'	6"	1.5'
FES 3	10'	4'	11'	6"	1.5'

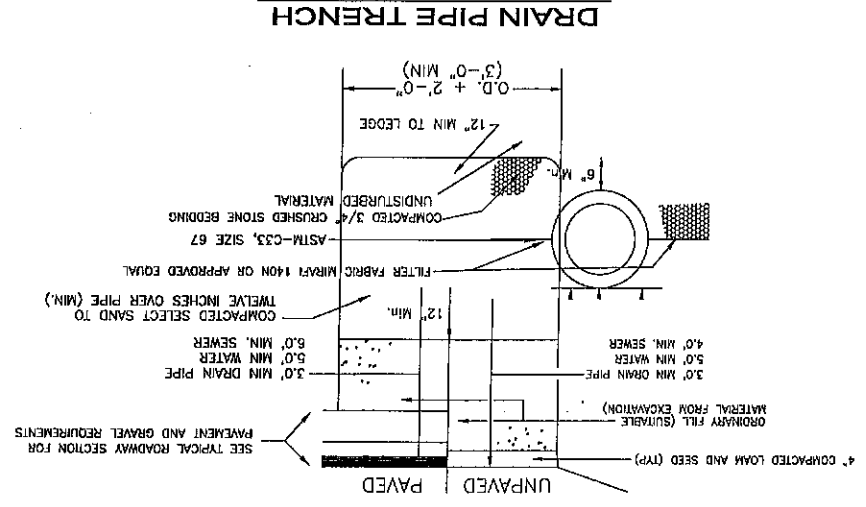


TYPICAL PRECAST OUTLET STRUCTURE & CATCH BASIN DETAIL
 NOT TO SCALE

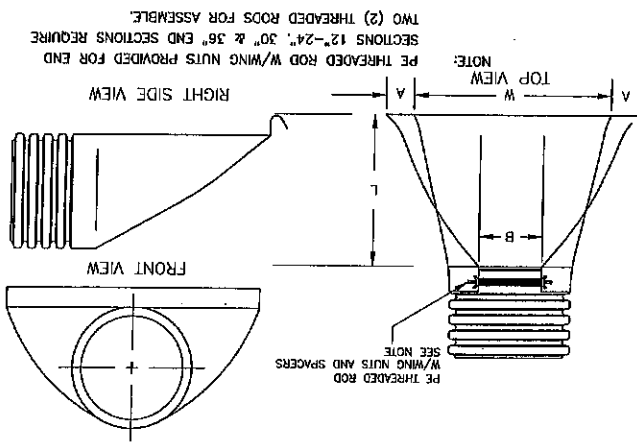


DRAIN PIPE TRENCH
 NOTES:

1. ALL DRAIN PIPE SHALL BE ADS-N-12 CORRUGATED PLASTIC PIPE (CPP), UNLESS OTHERWISE NOTED IN THE DRAWINGS.
2. SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS:
 A. 100% PASSING A 1/2" INCH SIEVE
 B. 15% (MAX) PASSING A NO. 200 SIEVE
 C. FREE FROM ORGANIC MATERIALS
3. ALL WATER PIPE TO BE CLASS 52 DUCTILE IRON.
4. ALL SEWER TO BE SDR 35 PVC.



PART #	PIPE SIZE	A	B (MAX)	H	L
120NPP	12 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN
150NPP	15 IN	8.50 IN	10.00 IN	6.50 IN	25.00 IN
180NPP	18 IN	7.50 IN	18.00 IN	6.50 IN	32.00 IN
240NPP	24 IN	7.50 IN	18.00 IN	6.50 IN	36.00 IN
300NPP	30 IN	7.50 IN	12.00 IN	6.60 IN	58.00 IN
360NPP	36 IN	7.50 IN	28.00 IN	6.60 IN	58.00 IN



DEF-4
 SHT. 13 OF 16

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DRAINAGE DETAILS-1
 TAX MAP 251 LOT 63
2A TACTICAL, LLC
 99 TOLLAND ROAD, BARRINGTON, NH 03825
 OWNED BY
STEVEN & PAMELA LENZI
 TRS REV TRUST
 304 YOUNG ROAD, BARRINGTON, NH 03825
 BOOK 4502 PAGE 1000

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 603-851-8110 TOLLFREE: 1-877-333-3333
 1000 WASHINGTON ST. SUITE 200
 BARRINGTON, NH 03825

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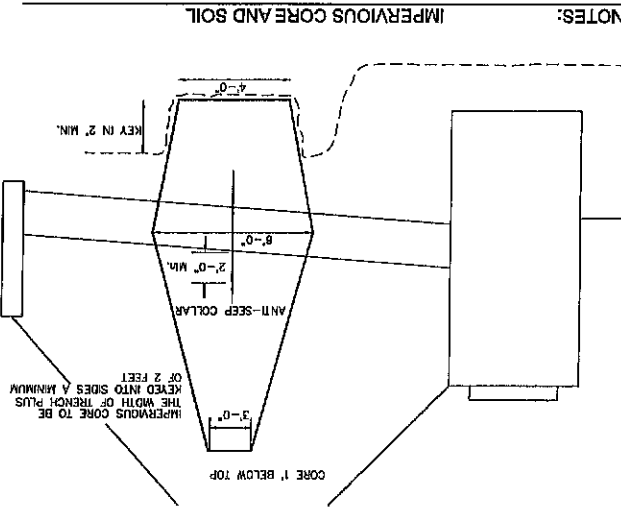
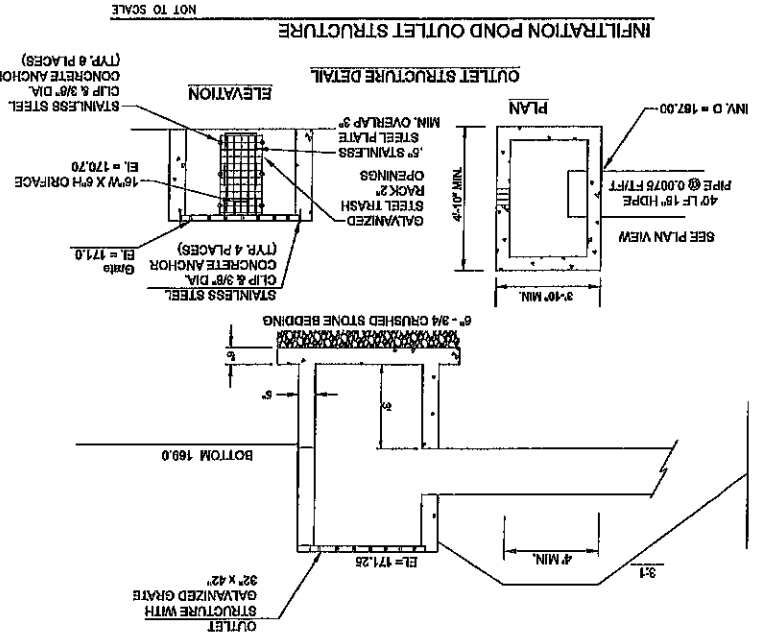
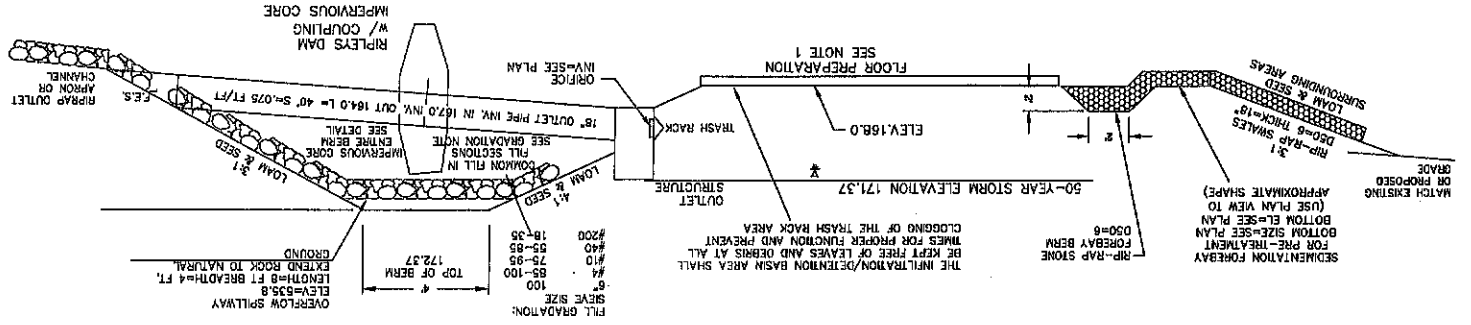
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NO.	DATE	DESCRIPTION	BY
1	9/17/2021	REVISED PER TOWN DESIGN REVIEW	TDB
2	9/14/2021	SITE PLAN SUBMITTAL	TDB

SECTION
INFILTRATION BASIN DETAIL

- INFILTRATION BASIN NOTES:
1. BASIN FLOOR CONSTRUCTION - THE BASIN FLOOR SHALL NOT BE TRAFFICED WITH CONSTRUCTION EQUIPMENT. THE FLOOR SHALL RECEIVE A 6" LAYER OF VERY CLEAN COARSE SAND OR 3/8" PEA GRAVEL. THE SAND SHALL BE PLACED IN THE BASIN TO THE FULL DEPTH OF THE FLOOR. THE SAND SHALL BE PLACED IN THE BASIN TO THE FULL DEPTH OF THE FLOOR. THE SAND SHALL BE PLACED IN THE BASIN TO THE FULL DEPTH OF THE FLOOR.
 2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER SYSTEM).
 3. AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE BOTTOM OF THE FILTER MEDIA, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES. FOLLOWED BY A PASS WITH A LEAVING DRAG, THEN APPLY THE FILTER MEDIA.
 4. VEGETATION WITHIN THE BASIN 18 INCHES ABOVE THE FILTER MEDIA ELEVATION ON THE SIDE SLOPES SHOULD BE ESTABLISHED IMMEDIATELY.
 5. FULLY STABILIZED.
 6. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

- NOTES:
1. THE INFILTRATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, BRUSH, BOLLERS, AND RUBBER. SCARIFY SURFACE BEFORE PLACING FILL. THE AREA SHALL BE MOST FOR GOOD BONDING OF THE NEW FILL. KEEP STANDING WATER FROM FORMING ON OR NEAR THE FILL AREA.
 2. THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOO, HOOT, FROZEN SOIL, STONES LARGER THAN 6 INCHES AND OTHER OBSCURABLE MATERIAL. CRUSHED GRAVEL (3/4") SHALL BE PLACED AROUND PIPES AND SPREADING OF FILL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION.
 3. THE PLACEMENT AND SPREADING OF FILL SHALL BE STARTED AT THE LOWEST POINT IN THE BASIN AREA AND BROUGHT UP IN HORIZONTAL LAYERS (LIFTS) OF ABOUT 12" SO THAT REQUIRED COMPACTION CAN BE OBTAINED. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO GRAVITY POCKETS, STRAGGLES OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR COMPACTION. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO GRAVITY POCKETS, STRAGGLES OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR COMPACTION.
 4. CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER AREAS OR EACH LAYER OF FILL TO INSURE REQUIRED COMPACTION. USE SPECIAL EQUIPMENT IF NECESSARY. FILL ADJACENT TO PIPES AND STRUCTURES SHALL BE COMPACTED BY HAND TAMING OR PLATE VIBRATION. FILL ADJACENT TO STRUCTURES SHALL BE COMPACTED BY HAND TAMING OR PLATE VIBRATION. FILL ADJACENT TO STRUCTURES SHALL BE COMPACTED BY HAND TAMING OR PLATE VIBRATION.
 5. FOR PROTECTION ALL EXPOSED AND DISTURBED SURFACES (OTHER THAN THE FILTER MEDIA) SHALL HAVE A COVER OF GRAVEL, PEAS, OR SAND. FOLLOW SECTION SPECIFICATIONS.
 6. AND GENERAL NOTES IN THE EROSION CONTROL DETAILS SECTION IN THIS PLANSET.



- NOTES:
1. IMPERVIOUS CORE AND POND LINER SOIL SAMPLES AND SEVE ANALYSIS TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION. IMPERVIOUS SOILS TO MEET THE FOLLOWING CRITERIA: SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LEFT SIDE STONES AROUND ANY STRUCTURES AND/OR CONDUITS SHALL NOT EXCEED 3 INCHES. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:
 2. THE CONTRACTOR SHALL USE CARE NOT TO OVER EXCAVATE AND DISTURB THE EXISTING SOIL AT THE BERM AND OUTLET PIPE AREAS.
 3. IMPERVIOUS SOIL SHALL BE INSTALLED WITHIN THE LIMITS SHOWN ALONG THE BERM AREA. THE SOIL SHALL BE KEYED 12" INTO THE BOTTOM OF THE POND AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" AND COMPACTED TO A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MOODED TESTING (ASTM 1557).
 4. AT THE IMPERVIOUS DAM AREA, THE DAM SHALL BE KEYED INTO TO BOTTOM AND SIDES OF THE TRENCH A MINIMUM OF 2' THE IMPERVIOUS SOIL SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" AND COMPACTED TO A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MOODED TESTING (ASTM 1557).

SAFETY

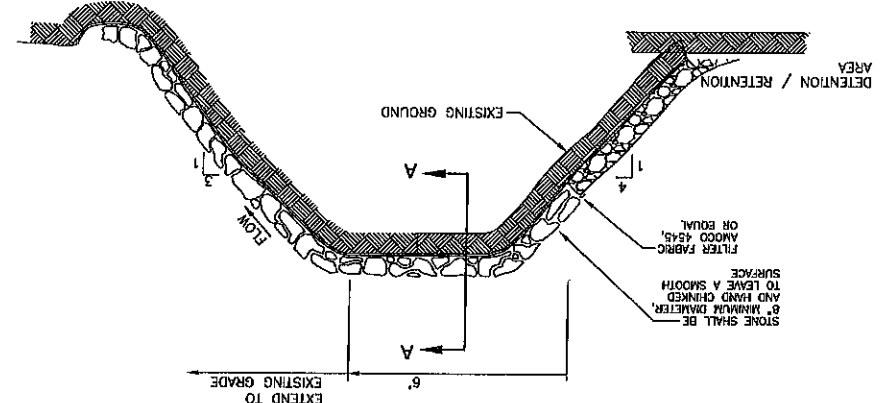
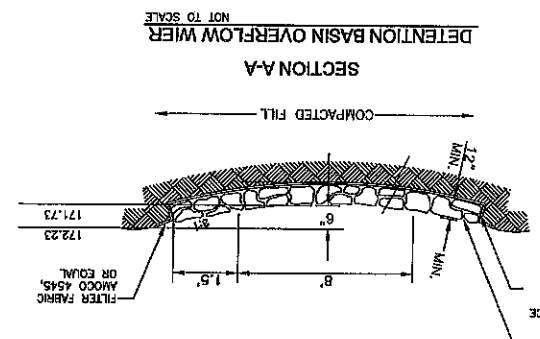
1. PONDS THAT ARE EARLY ACCESSIBLE IN POPULATED AREAS SHOULD INCORPORATE ALL POSSIBLE SAFETY PRECAUTIONS. DUE TO ONLY TEMPORARY WATER LEVELS IN THESE BASINS, FENCING IS NOT NECESSARY.

MAINTENANCE

1. MAINTENANCE IS NECESSARY IF THE BASIN IS TO CONTINUE TO FUNCTION AS DESIGNED. THE LANDOWNER MUST BE AWARE OF THE REQUIREMENTS FOR A PROPERLY OPERATIONAL BASIN AND A PLAN BE DEVELOPED FOR REGULAR SCHEDULED MAINTENANCE.
2. THE EMBANKMENT SHOULD BE INSPECTED TO DETERMINE IF ROBERT BURROWS, WET AREAS OR EROSION OF THE FILL IS TAKING PLACE.
3. THE VEGETATION SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC AND DENSE GROWTH. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SWILWAY STUMP, ACCUMULATED DEBRIS AND SEWERAGE SHOULD BE REMOVED, IF PIPES ARE COVERED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
4. PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEWERAGE SHOULD BE REMOVED, IF PIPES ARE COVERED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
5. PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTICED AND REPAIRS MADE AS NECESSARY. IF REPAIRS ARE MADE IN PLACE, THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
6. SEGMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN, WHEN SEGMENT ACCUMULATIONS REACHED THE PREDETERMINED DESIGN ELEVATION, THEN THE SEGMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.

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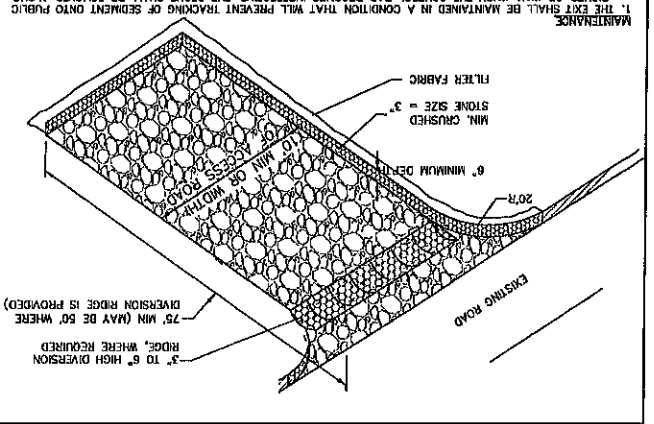
DRAINAGE DETAILS-2
TAX MAP 251 LOT 63
2A TACTICAL, LLC
99 TOLLAND ROAD, BARRINGTON, NH 03825
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BOOK 4502 PAGE 1000

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2	9/14/2021	SITE PLAN SUBMITTAL	TJB



- TEMPORARY CONSTRUCTION EXIT**
- NOT TO SCALE
1. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONSTRUCTION EXIT IS IN USE, THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONSTRUCTION EXIT IS IN USE, THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
 2. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONSTRUCTION EXIT IS IN USE, THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE.
 4. ONLY CONSTRUCTION TRAFFIC LEAVING THE SITE IS REQUIRED TO USE THE TEMPORARY STABILIZED EXIT, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.
 5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONSTRUCTION EXIT IS IN USE, THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
 6. STONE FOR A TEMPORARY CONSTRUCTION EXIT SHALL BE 3 INCH STONES, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
 7. THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PRODUCT SITE.
 8. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE EXIT OR 10 FEET, WHICH EVER IS GREATER.
 9. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
 10. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PAVED BY BENEATH THE ENTRANCE. IF PAVING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY GEOTECHNICAL FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
 11. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PAVED BY BENEATH THE ENTRANCE. IF PAVING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY GEOTECHNICAL FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.

TEMPORARY VEGETATION

NOT TO SCALE

SPECIES	(BU) OR POUNDS (LBS)	PER ACRE RECOMMENDATIONS FOR TEMPORARY VEGETATION
WINTER RYE	2 BU, OR 112 LBS.	SEED FOR FULL SEEDING FROM AUGUST 15 TO SEPTEMBER 15
GOATS	2.5 BU, OR 80 LBS.	SEED FOR SPRING SEEDINGS. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYEGRASS	40 LBS.	1 LB.
PERENNIAL RYEGRASS	30 LBS.	0.7 LB.

TABLE 4-1. SEEDING RECOMMENDATIONS FOR TEMPORARY VEGETATION

(BU) OR POUNDS (LBS)

PER ACRE RECOMMENDATIONS FOR TEMPORARY VEGETATION

SEED TO A DEPTH OF APPROXIMATELY 0.5 INCH.

SEEDING THROUGHOUT THE GROWING SEASON.

AND SPRINGS AND/OR BETWEEN.

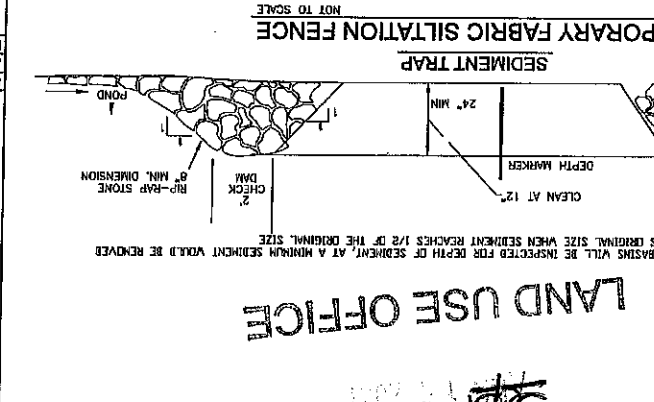
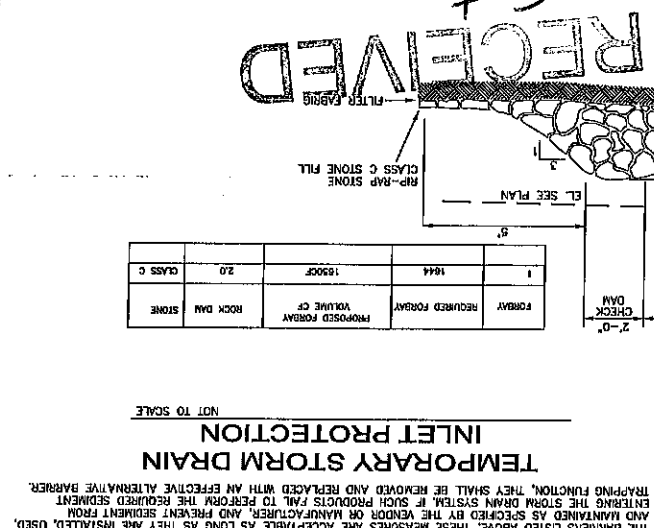
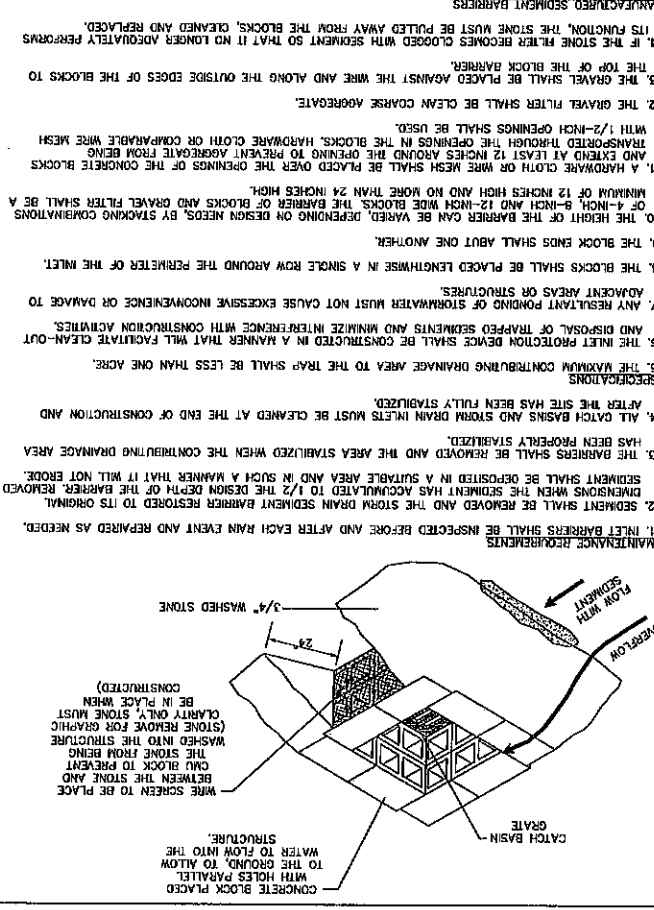
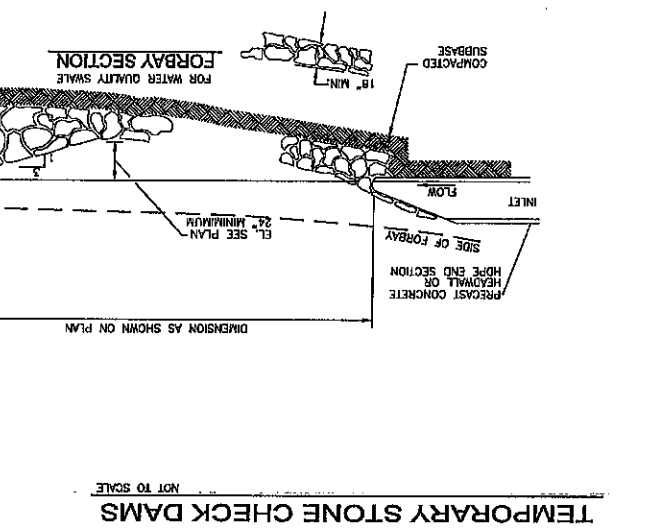
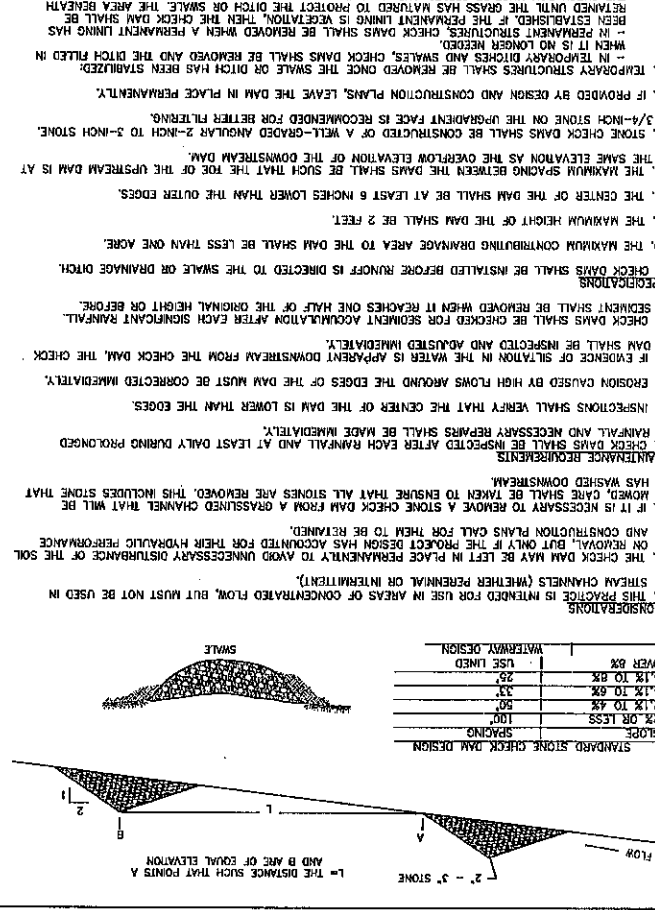
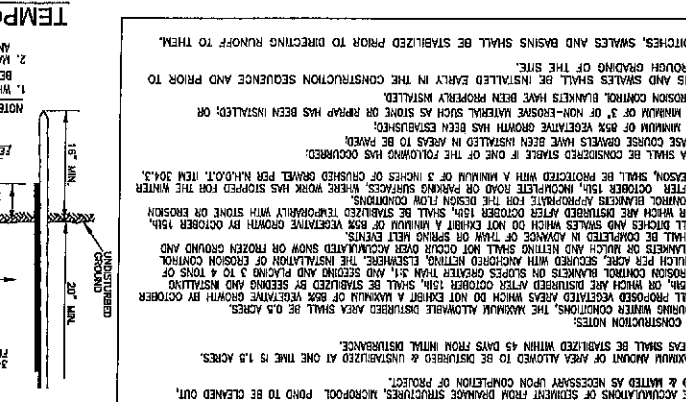
USE WHERE APPEARANCES ARE IMPORTANT.

GROWS QUICKLY, BUT IS OF SHORT DURATION.

SEED FOR FULL SEEDING FROM AUGUST 15 TO SEPTEMBER 15.

SEED FOR FULL SEEDING FROM AUGUST 15 TO SEPTEMBER 15.

- CONSTRUCTION SEQUENCES:**
- NOT TO SCALE
1. PRIOR TO CONSTRUCTION INITIAL STABILIZATION FENCING AS SHOWN ON PLAN.
 2. CUT AND CLEAR ALL VEGETATION AND STUMPES FROM CUT SLOPES, PONDS, AND SWALE AREAS.
 3. COMPLETE TEMPORARY SEDIMENT BASINS AT FOUND LOCATIONS. BASIN AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO BASIN. SEDIMENT BASINS LOCATED WITHIN PROPOSED INFILTRATION BASIN ARE TO BE STABILIZED TO PREVENT FLOWING OF SEDIMENT INTO INFILTRATION BASIN.
 4. AN AREA IS CONSIDERED STABLE IF:
 - (A) BASE COURSE GRADIENT HAS BEEN INSTALLED IN AREAS TO BE PAVED.
 - (B) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED ON ALL DISBURSED AREAS.
 - (C) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED ON ALL DISBURSED AREAS.
 5. CUT AND CLEAR ALL VEGETATION AND STUMPES FROM AREAS TO BE DISBURSED FOR THE CONSTRUCTION OF THE PROPOSED ROADWAY.
 6. REMOVE TOPSOIL AND OTHER ORGANIC MATERIALS FROM AREAS TO BE DISBURSED. ALL SUCH TOPSOIL, REMOVED TO BE STOCKPILED FOR LATER USE. ALL STOCKPILES SHALL BE SEEDING AND MULCHED TO PREVENT LOSS DUE TO EROSION. STOCKPILES SHALL BE SEEDING AND MULCHED TO PREVENT LOSS DUE TO EROSION. STOCKPILES SHALL BE SEEDING AND MULCHED TO PREVENT LOSS DUE TO EROSION.
 7. CONSTRUCTION CUT AND FILL SLOPES SHALL BE SEEDING AND MULCHED TO PREVENT LOSS DUE TO EROSION. SLOPES SHALL BE SEEDING AND MULCHED TO PREVENT LOSS DUE TO EROSION. SLOPES SHALL BE SEEDING AND MULCHED TO PREVENT LOSS DUE TO EROSION.
 8. CONSTRUCTION STUMPES AND OTHER UNDESIRABLE MATERIALS SHALL BE REMOVED FROM ALL DISBURSED AREAS TO BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF EROSION CONTROL MEASURES. CONSTRUCTION STUMPES AND OTHER UNDESIRABLE MATERIALS SHALL BE REMOVED FROM ALL DISBURSED AREAS TO BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF EROSION CONTROL MEASURES.
 9. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 10. ALL PAVED AREAS TO BE COMPLETED BY OCTOBER 15. ALL UNPAVED AREAS TO BE COMPLETED BY OCTOBER 15. ALL UNPAVED AREAS TO BE COMPLETED BY OCTOBER 15.
 11. ALL PAVED AREAS TO BE COMPLETED BY OCTOBER 15. ALL UNPAVED AREAS TO BE COMPLETED BY OCTOBER 15. ALL UNPAVED AREAS TO BE COMPLETED BY OCTOBER 15.
 12. COMPLETE PERMANENT SEEDING AND MULCHING OF ALL DISBURSED AREAS. COMPLETE PERMANENT SEEDING AND MULCHING OF ALL DISBURSED AREAS.
 13. MEASURES TO REMAIN IN PLACE UNTIL A FULL VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL DISBURSED AREAS. MEASURES TO REMAIN IN PLACE UNTIL A FULL VEGETATIVE COVER HAS BEEN ESTABLISHED ON ALL DISBURSED AREAS.
 14. ALL DITCHES, SWALES AND BAY BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 15. ALL DITCHES, SWALES AND BAY BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 16. ALL DITCHES, SWALES AND BAY BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 17. ALL DITCHES, SWALES AND BAY BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 18. ALL DITCHES, SWALES AND BAY BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 19. ALL DITCHES, SWALES AND BAY BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.



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SCALE	AS SHOWN
1" = 10'	AS SHOWN

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EROSION CONTROL NOTE & DETAILS-1

TAX MAP 251 LOT 63

2A TACTICAL, LLC

99 TOLLAND ROAD, BARRINGTON, NH 03825

OWNED BY

STEVEN & PAMELA LENZI

TRUSTEES

304 YOUNG ROAD, BARRINGTON, NH 03825

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DATE: JULY 13, 2021

JOB NO: 400-00

STRAFFORD CO

SHT. 15 OF 16

DET-6

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