

THE RIDGE AT GREENHILL SUBDIVISION OLD GREEN HILL ROAD/ROUTE 125

RECEIVED

OCT 13 2020

LAND USE OFFICE


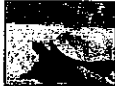


NOT FOR CONSTRUCTION

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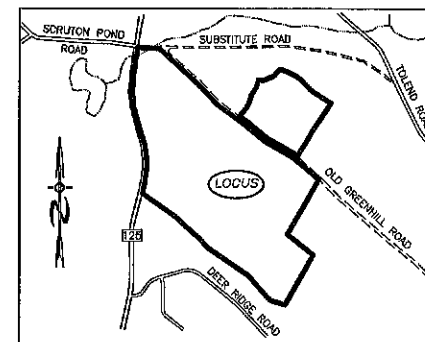
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ROUTE 125 CONSTRUCTION PLANS
ROUTE 125 IMPROVEMENT PLANS BY OTHERS

SEEKING REPORTS OF RARE TURTLES
The NH Fish & Game Department is collecting observations of four turtle species:

	Blanding's turtle (<i>Testudo flaviventris</i>) • Large, dark, black above shell with lighter spots • Distinct yellow throat • Aquatic but often moves on land
	Wood turtle (<i>Testudo s. floridana</i>) • Sculpted, pyramidal bony shell • Orange, yellow, red, and black • Many turtles are found on roads
	Eastern box turtle (<i>Testudo s. carolina</i>) • Small, rounded body with high domed shell • Irregular yellow to orange • Darker spots on black base
	Spotted turtle (<i>Testudo s. macgillivrayi</i>) • Small, mostly aquatic, with black or dark brown with yellow spots • Flat, flat shell compared to Blanding's turtle

Report sightings to 603-271-2467 or 603-271-2468. Do not report sightings to the public. NH Fish & Game Department

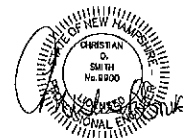


LOCATION MAP
1"=1500'

BLANDINGS & SPOTTED TURTLES HAVE BEEN REPORTED IN THE AREA. IF SPOTTED OR BLANDING'S TURTLES ARE FOUND LAYING EGGS IN THE WORK AREA, PLEASE CONTACT MELISSA DOPERAISKI AT 271-1738 or JOSH MEGYESY AT 271-1125 FOR FURTHER INSTRUCTIONS

Vanasse & Associates inc
Transportation Engineers & Planners

35 N.E. BUSINESS CENTER DRIVE
ANDOVER, MA 01810-1071
TEL: (978) 474-8800
www.rdvo.com



WETLAND/SOIL CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

LAND SURVEYORS:

DOUCET SURVEY INC
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857-0163
Voice (603) 659-8560, Data (603) 659-4118

CIVIL ENGINEERS:

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE,
STRATHAM, NEW HAMPSHIRE
PHN. 603-583-4860, FAX. 603-583-4863

DEVELOPER:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

SIGNATURE _____ DATE _____

REQUIRED PERMITS:

NHDES SUBDIVISION APPROVAL NUMBER: (PENDING)
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: (PENDING)
NHDES WETLANDS PERMIT APPROVAL NUMBER: (PENDING)
NH DOT DRIVEWAY ACCESS PERMIT (PENDING)

REVISIONS:	DATE:
REVISED ROAD GRADES PER PB COMMENTS	6-5-19
REVISED PER ENG. REVIEW COMMENTS	6-20-19
REVISED PER REVIEW COMMENTS	7-24-19
REVISED ACCESS DESIGN	10-8-20

NH-1144 THE RIDGE AT GREENHILL
ISSUED MAY, 2019

SUBDIVISION PLAN NOTES:

- REFERENCE: TAX MAP 223, LOTS 24 & 26
D.S.I. PROJECT NO. 6750
- TOTAL PARCEL AREA: LOT 24-1,403,900 SQ. FT. OR 32.23 AC.
LOT 26-7,820,498 SQ. FT. OR 179.53 AC.
- OWNER OF RECORD: RINA MYHRE, PAUL G. HELFGOTT & CAROL H. LEDOUX
4216 ALTA VISTA COURT
OCEANSIDE, CA 92057
S.C.R.D. BOOK 4082, PAGE 843
- ZONE: REGIONAL COMMERCIAL
DIMENSIONAL REQUIREMENTS:

	REGIONAL COMMERCIAL	CONSERVATION SUBDIVISION
MIN. LOT AREA	40,000 sq. ft.	20,000 sq. ft.
MIN. FRONTAGE	200 ft.	100 ft.
MIN. FRONT SETBACK	75 ft.	25 ft.
MIN. SIDE/REAR SETBACK	30 ft.	20 ft.
MAX. BUILDING HEIGHT	40 ft.	35 ft.
MAX. LOT COVERAGE	50 %	
WETLAND SETBACKS	50 ft. (PRIME WETLANDS) 100 ft. (OTHER WETLANDS)	50 ft.

ADDITIONAL CONSERVATION SUBDIVISION REQUIREMENTS:
-MIN. PARENT PARCEL SIZE: 20.0 AC.
-MIN. PERIMETER BUFFER: 100 ft.
-LEACH FIELD SETBACK: 50 ft. (POORLY DRAINED SOILS)
75 ft. (VERY POORLY DRAINED SOILS)

ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF BARRINGTON ZONING ORDINANCE DATED MARCH 13, 2018 AS AVAILABLE ON THE TOWN WEBSITE ON DECEMBER 10, 2018. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.

- FIELD SURVEY PERFORMED BY G.A.N. & S.M.F. DURING OCTOBER, NOVEMBER & DECEMBER 2018 USING A TRIMBLE S8 TOTAL STATION AND A TRIMBLE R8 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA S21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2018 IN ACCORDANCE TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
- FLOOD HAZARD ZONE "X", PER FIRM MAP 3301700305E, DATED 09/30/2016.
- HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2000) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(GEOD12A) (+2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, DELIBERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF ROUTE 125 & OLD GREEN HILL ROAD AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE TOWN OF BARRINGTON, STRAFFORD COUNTY REGISTRY OF DEEDS AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- ROUTE 125/CALEF HIGHWAY IS A 4 CLASS "A" ROAD (60' WIDE) RIGHT OF WAY PER REFERENCE PLAN #1. OLD GREEN HILL ROAD IS A CLASS "A" ROAD CLOSED SUBJECT TO GATES AND BARS, SEE 1989 WARRANT ARTICLE 20A.

EDGE OF ROUTE 125 RIGHT OF WAY ESTABLISHED BY HOLDING THE HIGHWAY BOUND AS NOTED NEAR OLD GREEN HILL ROAD (STA. 307+44) AND ROTATING THE REFERENCE PLAN 1 ALIGNMENT TO THE HIGHWAY BOUND AS NOTED AT THE INTERSECTION OF THE SOUTHERLY LOT LINE AND THE ROUTE 125 RIGHT OF WAY (STA. 273+39). PER REFERENCE PLAN 1 AND NHDOT FIELD NOTES, THE HIGHWAY BOUND AT STATION 273+39 IS THE REPLACEMENT TO AN ORIGINAL GRANITE BOUND IN THE SAME LOCATION THAT WAS OFFSET 3' FROM THE CENTERLINE OF THE ALIGNMENT. DOUCET SURVEY HELD 3' OFF THE CENTERLINE OF THE ALIGNMENT TO THE BOUND LOCATION AND THUS THE LOCATION OF THE LOT CORNER IS 53°44'42", 2.16' FROM THE BOUND LOCATION AND 33' FROM THE CENTERLINE OF THE ALIGNMENT. DOUCET SURVEY MEET WITH THE NHDOT RIGHT OF WAY DEPARTMENT ON FEBRUARY 4, 2020 TO VERIFY THE ABOVE MENTIONED RIGHT OF WAY APPROACH.

FULL BOUNDARY RESEARCH WAS NOT COMPLETED FOR THE PARCELS ON THE WESTERLY SIDE OF ROUTE 125. EDGE OF RIGHT OF WAY IS BASED ENTIRELY ON REFERENCE PLAN 1. NO TAKING WAS FOUND FOR THE HATCHED AREA ALONG TAX MAP 223, LOTS 2 & 3 BUT SHOULD BE VERIFIED WITH NHDOT PRIOR TO DESIGN. REFERENCE PLANS 7 & 8 APPEAR TO HOLD THE SAME EDGE OF RIGHT OF WAY AS SHOWN.

13. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY, INC. FOR CLARIFICATION OF MONUMENTS SET. (A RECORDED PLAN WILL BE PRODUCED AT THE DISCRETION OF DOUCET SURVEY, INC.)

14. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

15. AERIAL TOPOGRAPHY WAS CONDUCTED BY EASTERN TOPOGRAPHS FROM IMAGES TAKEN DURING MAY 2003 WITH A PHOTO SCALE OF 1"=425'. CONTOURS AND OBJECTS SHOWN WITHIN OBSCURED AREAS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE USE FOR DESIGN OR CONSTRUCTION PURPOSES.

16. TAX MAP 223, LOT 26 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 780, PAGE 171, ACTUAL LOCATION UNKNOWN.
B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 729, PAGE 218, ACTUAL LOCATION UNKNOWN.

17. CEMETERY SUBJECT TO N.H.R.S.A. 289:3, IN NEW CONSTRUCTION, EXCAVATION, OR BUILDING IN THE AREA OF A KNOWN BURIAL SITE SHALL COMPLY WITH LOCAL ZONING, IN ABSENCE OF SUCH REGULATIONS NO NEW CONSTRUCTION, EXCAVATION, OR BUILDING SHALL BE CONDUCTED WITHIN 25' OF THE BOUNDARY OF THE BURIAL GROUND.

18. NHDES STATE SUBDIVISION APPROVAL PENDING.

19. NHDES ALTERATION OF TERRAIN APPROVAL PENDING.

20. NHDES WETLAND PERMIT APPROVAL #2019-03960, DATED 6/2/2020.

21. NHDOT ACCESS PERMIT PENDING.

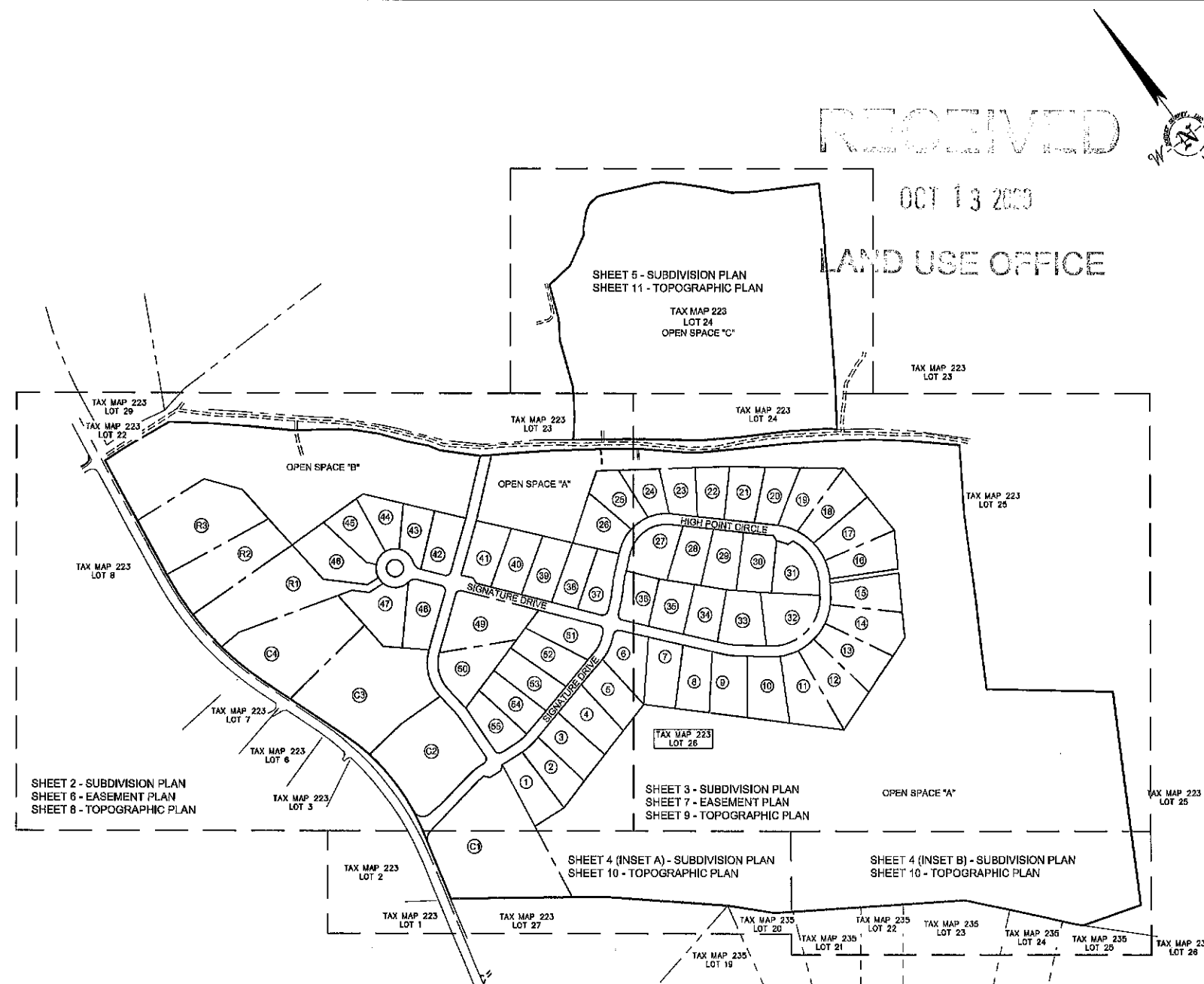
APPROVED DATE: BARRINGTON, NH PLANNING BOARD

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S. #989
DATE: 10/14/20

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

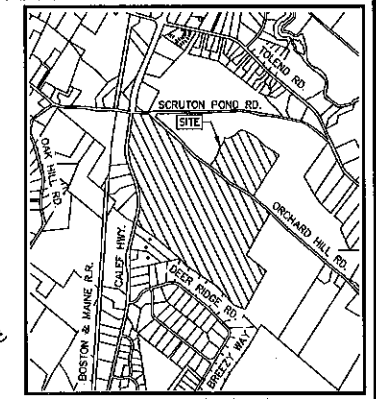


REFERENCE PLANS:

- "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED UPGRADING PROJECT (CONTRACT BETTERMENT) B-2172, N.H. PROJECT NO. S-2095, CALEF RD. (NH. 125), DATED 7-22-76, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- "BOUNDARY PLAN OF LAND IN BARRINGTON, NEW HAMPSHIRE BELONGING TO M.D. & G.D. HELFGOTT", BY GLE & SINGER LAND SURVEYS, DATED SEPTEMBER 14, 1971, S.C.R.D. POCKET #9, FOLDER #1, PLAN #33, 33A, 33B, 33C & 33D.
- "SUBDIVISION PLAN PREPARED FOR WCV INC., OF LAND IN THE NAME OF ANTONIO G. RIZZO AND CHERYL M. RIZZO OF MAP 12, LOT 96, LOCATED AT ROUTE 125, COUNTY OF STRAFFORD, BARRINGTON, NH", BY DAVID W. VINCENT LAND SURVEYING SERVICES, DATED MAY 16, 2002, S.C.R.D. PLAN #97-17.
- "WEDGEWOOD ESTATES PLAN OF LAND IN BARRINGTON, N.H. PREPARED FOR MILDRED G. ALLEN", BY ROBERT G. COLBATH SURVEYOR, DATED JULY 2, 1984, S.C.R.D. PLAN #24A-132 & 24A-133.
- "SUBDIVISION OF LAND PREPARED FOR JM AND SUSANNE JAGIELSKI, 17 DEER RIDGE DRIVE, BARRINGTON, NH", BY MCNEANEY SURVEY ASSOCIATES, INC., DATED SEPTEMBER 12, 1997, S.C.R.D. PLAN #51-100.
- "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 019-1(10), N.H. PROJECT NO. S-2095-A, N.H. ROUTE 125-CALEF ROAD", DATED 8-28-77, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- "SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR VAN E. HERTIEL", BY NORTH COUNTRY SURVEYORS, DATED MAY 16, 1990, S.C.R.D. PLAN #38-131.
- "SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR KEITH WESTON & THOMAS DELONG", BY NORTH COUNTRY SURVEYORS, DATED JUNE 30, 1992, S.C.R.D. PLAN #41-70.
- "SUBDIVISION OF LAND FOR BRUCE WILLIAMS ASSOCIATES, INC.", BY WHITE MOUNTAIN SURVEY COMPANY, DATED APRIL 26, 1983, S.C.R.D. PLAN #24-21 & 22.

ABUTTERS LIST:

TAX MAP 223 LOT 57 TOWN OF BARRINGTON PO BOX 650 BARRINGTON, NH 03825 S.C.R.D. BOOK 4384 PAGE 439	TAX MAP 223 LOT 7 246 REAL ESTATE HOLDINGS LLC 24 SERENITY WAY BARRINGTON, NH 03825 S.C.R.D. BOOK 3926 PAGE 760	TAX MAP 223 LOT 24 RINA MYHRE & PAUL G. HELFGOTT & CAROL H. LEDOUX (1/3 EA) 4216 ALTA VISTA COURT OCEANSIDE, CA 92057 S.C.R.D. BOOK 4082 PAGE 843	TAX MAP 235 LOT 19 BASIL & DONNA PROFOLOS 47 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 2109 PAGE 597	TAX MAP 235 LOT 24 RINA MYHRE & SAMANTHA JAMES 95 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 4310 PAGE 127
TAX MAP 223 LOT 8 LOREN & BARRY WRIGHT BARTON 35 CALIFORNIA ST #3 WATERTOWN, MA 02472 S.C.R.D. BOOK 3896 PAGE 128	TAX MAP 223 LOT 25 RAYMOND LAFRANCE 1030 LUCAS WAY PALMER, AK 09845	TAX MAP 235 LOT 20 DAVID J & KATHLEEN M SARTORIS 83 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 4576 PAGE 982	TAX MAP 235 LOT 25 JM & SUSANNE JAGIELSKI 103 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1538 PAGE 282	TAX MAP 235 LOT 26 TYSON WEHRMAN & ALLISON ROBERTS 111 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 2634 PAGE 445
TAX MAP 223 LOT 2 SBA TOWERS II LLC 8051 CONGRESS AVE BOCA RATON, FL 33487 S.C.R.D. BOOK 3898 PAGE 505	TAX MAP 223 LOT 12 ATLANTIC TRADE PARK LLC PO BOX 451 NEW CASTLE, NH 03854 S.C.R.D. BOOK 3743 PAGE 145	TAX MAP 223 LOT 27 NOT PARCEL INFORMATION AVAILABLE PER THE TOWN OF BARRINGTON	TAX MAP 235 LOT 21 DAVID J & KATHLEEN M SARTORIS 83 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 4505 PAGE 261	TAX MAP 235 LOT 22 KIP & KAREN LACHAPPELLE 87 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1802 PAGE 63
TAX MAP 223 LOT 3 ANTHONY SMITH 282 CALEF HWY BARRINGTON, NH 03825 S.C.R.D. BOOK 3928 PAGE 1	TAX MAP 223 LOT 22 TOWN OF BARRINGTON PO BOX 650 BARRINGTON, NH 03825 S.C.R.D. BOOK 3928 PAGE 1	TAX MAP 223 LOT 28 BOSTON & MAINE RR & GUILFORD TRANSPORT IND & IRON HORSE PK NORTH BILLERICA, MA 01882	TAX MAP 235 LOT 22 KIP & KAREN LACHAPPELLE 87 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1802 PAGE 63	TAX MAP 235 LOT 23 DAVID BISSON & MARY DOTY 81 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1444 PAGE 117
TAX MAP 223 LOT 6 248 CALEF HIGHWAY LLC 678 FIRST NH TPK NORTHWOOD, NH 03261 S.C.R.D. BOOK 4462 PAGE 990	TAX MAP 223 LOT 23 JAMES E & STEVEN E & KIMBERLY D CONNICK 324 DEN QUARRY RD LYNN, MA 01904 S.C.R.D. BOOK 4307 PAGE 531	TAX MAP 223 LOT 29 CHESTNUT WOODS LLC 7B EMERY LN STRATHAM, NH 03880	TAX MAP 235 LOT 23 DAVID BISSON & MARY DOTY 81 DEER RIDGE DR BARRINGTON, NH 03825 S.C.R.D. BOOK 1444 PAGE 117	

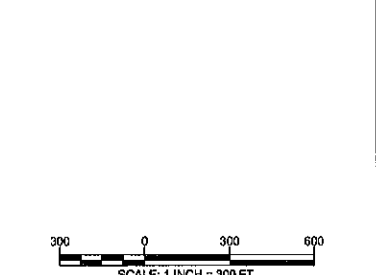


LEGEND:

- LOT LINE
- PROPOSED LOT LINE
- BUILDING SETBACK LINE
- WETLAND SETBACK LINE
- ZONE LINE
- APPROXIMATE ABUTTERS LOT LINE
- STONE WALL
- REINFORCED CONCRETE WALL
- EDGE OF WETLAND
- STREAM
- BOUND FOUND
- DRILL HOLE FOUND
- IRON PIPE/ROD FOUND
- 4"x4" GRANITE BOUND TO BE SET
- 5/8" REBAR W/40 CAP TO BE SET
- BOUND FOUND
- DRILL HOLE SET
- D.I.S.
- D.H.F.
- B.W.
- CONC.
- GRAN.
- D.H.
- WETLAND SYMBOL

LEGEND (EASTERN TOPOGRAPHS):

- BUILDING
- PAVED ROAD
- GRAVEL ROAD
- BRIDGE
- PAVEMENT OBSCURED
- DRIVEWAY
- DRIVEWAY UNPAVED
- DRIVEWAY OBSCURED
- WALL OBSCURED
- WALL
- STONEWALL
- BROOK/STREAM
- SWAMP LIMIT



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 26)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

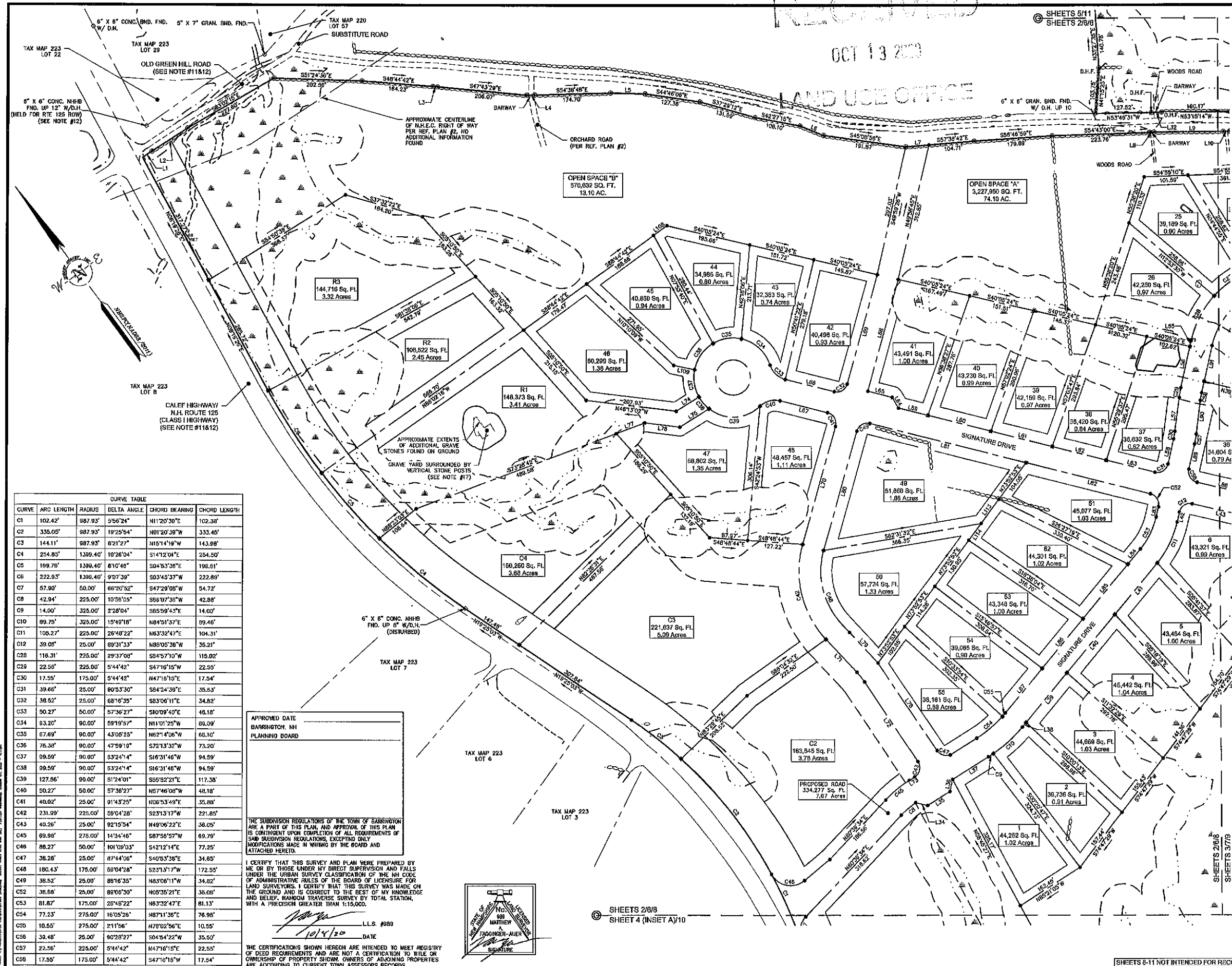
NO.	DATE	DESCRIPTION	BY
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/18	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY: E.D.P. DATE: MAY 6, 2019
CHECKED BY: M.W.F. DRAWING NO.: 5760C
JOB NO.: 5760 SHEET 1 OF 11

DOUCET SURVEY
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Rowanmarket, NH 03867 (603) 659-8956
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4800
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http://www.doucetsurvey.com

SHEETS B-11 NOT INTENDED FOR RECORDING

RECEIVED
OCT 13 2019
LAND USE OFFICE



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	102.42'	987.93'	5°56'24"	N11°20'30"E	102.38'
C2	335.05'	987.93'	19°25'54"	N01°20'39"W	333.45'
C3	144.11'	987.93'	8°21'27"	N15°14'19"W	143.99'
C4	254.85'	1399.40'	10°26'04"	S14°12'04"E	254.50'
C5	199.78'	1399.40'	8°10'48"	S04°53'36"E	199.61'
C6	222.93'	1399.40'	9°07'39"	S03°45'37"W	222.89'
C7	57.90'	60.00'	66°20'52"	S47°28'08"W	54.72'
C8	42.94'	225.00'	10°58'05"	S68°07'36"W	42.88'
C9	14.00'	325.00'	2°28'04"	S85°09'43"E	14.00'
C10	89.75'	325.00'	15°49'18"	N84°51'37"E	89.46'
C11	105.27'	225.00'	26°48'22"	N63°32'47"E	104.31'
C12	39.05'	25.00'	89°31'33"	N85°05'36"W	35.21'
C28	116.31'	225.00'	29°37'08"	S54°57'10"W	115.02'
C29	22.55'	225.00'	5°44'42"	S47°16'15"W	22.55'
C30	17.55'	175.00'	5°44'42"	N47°16'15"E	17.54'
C31	39.66'	25.00'	80°33'30"	S84°24'39"E	35.63'
C32	38.52'	25.00'	68°16'35"	S83°06'11"E	34.62'
C33	50.27'	50.00'	57°36'27"	S10°09'40"E	46.18'
C34	93.20'	90.00'	59°19'57"	N11°01'25"W	89.09'
C35	67.69'	90.00'	43°05'25"	N82°14'06"W	65.10'
C36	76.38'	90.00'	47°59'19"	S72°13'32"W	73.20'
C37	99.59'	90.00'	53°24'4"	S16°31'46"W	94.59'
C38	99.59'	90.00'	53°24'4"	S16°31'46"W	94.59'
C39	127.56'	90.00'	81°24'01"	S55°52'21"E	117.38'
C40	50.27'	50.00'	57°36'27"	N67°46'08"W	48.18'
C41	40.02'	25.00'	91°43'25"	N06°53'49"E	35.88'
C42	231.99'	225.00'	59°04'28"	S23°13'17"W	221.85'
C43	40.26'	25.00'	82°15'54"	N49°06'22"E	36.05'
C45	89.99'	275.00'	14°34'46"	S87°56'57"W	69.79'
C46	86.27'	50.00'	101°09'03"	S42°12'14"E	77.25'
C47	38.26'	25.00'	87°44'06"	S40°53'38"E	34.65'
C48	180.43'	175.00'	59°04'28"	S23°13'17"W	172.55'
C49	38.52'	25.00'	89°16'35"	N43°08'11"W	34.82'
C52	38.88'	25.00'	89°06'30"	N05°35'21"E	36.08'
C53	81.87'	175.00'	26°48'22"	N63°32'47"E	81.13'
C54	77.23'	275.00'	16°05'26"	N87°11'36"E	76.95'
C55	10.55'	275.00'	2°11'56"	N78°02'56"E	10.55'
C56	38.48'	25.00'	90°28'27"	S04°54'22"W	35.50'
C57	22.56'	225.00'	5°44'42"	N47°16'15"E	22.55'
C58	17.55'	175.00'	5°44'42"	S47°16'15"W	17.54'

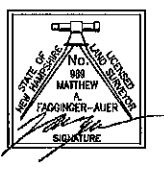
APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:10,000.

DATE 10/12/20 L.L.S. #899

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S85°38'58"E	25.34'	L74	S84°57'33"E	61.23'
L2	S85°38'58"E	97.05'	L75	N84°57'33"W	79.07'
L3	S49°28'32"E	10.61'	L76	N48°00'12"W	81.15'
L4	S54°09'18"E	18.07'	L77	N73°28'42"W	70.04'
L5	S51°30'38"E	79.80'	L78	N02°58'25"E	240.22'
L6	S31°29'03"E	57.95'	L79	N06°18'57"W	120.93'
L7	S67°38'42"E	52.47'	L80	N52°45'31"E	281.52'
L8	S57°55'20"E	11.15'	L81	S38°57'54"E	369.43'
L9	S53°28'02"E	160.28'	L82	S38°57'54"E	294.04'
L10	S55°25'34"E	15.41'	L83	S60°08'36"W	23.17'
L32	N55°32'10"W	24.15'	L84	S76°58'58"W	45.00'
L34	S39°45'41"E	27.64'	L85	S76°58'58"W	161.55'
L35	S84°45'41"E	60.00'	L86	S76°58'58"W	146.87'
L36	N50°14'19"E	28.28'	L87	S76°58'58"W	131.37'
L37	S84°45'40"E	96.89'	L88	N40°19'51"W	124.80'
L38	N76°56'58"E	13.20'	L89	N50°08'36"E	58.91'
L39	N76°56'58"E	147.14'	L90	N44°23'54"E	77.22'
L40	N76°56'58"E	172.54'	L91	S50°08'36"W	83.23'
L41	N76°56'58"E	161.92'	L108	S80°44'42"E	37.82'
L42	N50°08'36"E	22.81'	L109	N41°30'50"W	48.85'
L43	S40°19'51"E	136.53'	L113	N73°52'53"E	68.71'
L45	S50°08'36"W	13.74'	L114	N73°52'53"E	47.23'
L56	S50°08'36"W	95.97'			
L57	S44°23'54"W	77.22'			
L58	S50°08'36"W	58.54'			
L59	N38°57'54"W	68.98'			
L60	N38°57'54"W	148.16'			
L61	N38°57'54"W	144.92'			
L62	N38°57'54"W	128.18'			
L63	N38°57'54"W	114.54'			
L64	N50°02'06"E	28.28'			
L65	N38°57'54"W	58.29'			
L66	N38°57'54"W	115.41'			
L67	N38°57'54"E	112.40'			
L68	N52°45'31"E	263.22'			
L69	S52°45'31"W	257.98'			
L70	S52°45'31"W	278.52'			
L71	S06°18'57"E	102.65'			
L72	S02°58'26"W	217.99'			
L73	N84°45'41"W	14.75'			



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 26)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 8, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5760C
JOB NO.:	5760	SHEET	2 OF 11



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SHEETS 2/6/8
SHEET 4 (INSET A)/10

SHEETS 8-11 NOT INTENDED FOR RECORDING

RECEIVED

OCT 13 2019

LAND USE OFFICE

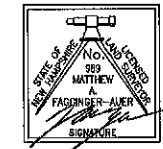
APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

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LL.S. #99
10/4/20
DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C13	83.04'	425.00'	11°11'43"	S45°55'43"E	82.91'
C14	43.88'	275.00'	9°09'46"	S56°06'27"E	43.93'
C15	90.41'	275.00'	18°50'10"	S70°06'25"E	90.00'
C16	90.41'	275.00'	18°50'10"	S88°56'35"E	90.00'
C17	90.41'	275.00'	18°50'10"	N72°13'15"E	90.00'
C18	90.41'	275.00'	18°50'10"	N53°23'05"E	90.00'
C19	47.32'	275.00'	9°51'33"	N39°02'14"E	47.26'
C20	11.09'	275.00'	2°18'40"	N32°57'07"E	11.09'
C21	88.55'	275.00'	18°27'00"	N22°34'17"E	88.17'
C22	97.40'	275.00'	20°17'38"	N03°11'58"E	98.90'
C23	94.90'	275.00'	19°47'05"	N16°50'23"W	94.49'
C24	96.92'	275.00'	20°11'32"	N36°40'42"W	96.41'
C25	10.52'	225.00'	2°40'48"	N48°18'51"W	10.52'
C28	102.58'	225.00'	28°07'14"	N82°38'53"W	101.69'
C27	98.26'	225.00'	24°30'48"	N87°58'53"W	95.53'
C84	253.30'	175.00'	82°55'57"	N88°23'26"W	231.76'
C85	238.18'	225.00'	59°52'58"	N04°09'58"E	224.80'
C86	370.59'	225.00'	94°21'58"	N81°17'27"E	330.09'
C87	73.27'	375.00'	11°11'43"	S45°55'43"E	73.16'

LINE TABLE		
LINE	BEARING	DISTANCE
L10	S55°25'34"E	15.41'
L11	S53°31'39"E	59.19'
L31	N50°46'00"W	58.53'
L43	S40°19'51"E	138.53'
L44	S40°19'51"E	188.00'
L45	S40°19'51"E	140.46'
L46	S40°19'51"E	43.15'
L47	S51°31'34"E	38.89'
L48	S51°31'34"E	110.75'
L49	N34°08'27"E	53.60'
L50	N34°08'27"E	5.98'
L51	N46°55'27"W	123.39'
L52	N46°55'27"W	126.05'
L53	N46°55'27"W	140.05'
L54	N46°55'27"W	111.61'
L88	N40°19'51"W	124.80'
L91	S50°08'36"W	83.23'
L92	S46°55'27"E	60.01'
L93	S46°55'27"E	143.98'
L94	S46°55'27"E	142.77'
L95	S46°55'27"E	137.85'
L96	S08°17'24"W	28.39'
L97	S38°42'36"E	60.00'
L98	S83°42'36"E	26.97'
L99	N51°31'34"W	22.47'
L100	N51°31'34"W	127.17'
L101	N40°19'51"W	29.70'
L102	N40°19'51"W	163.51'
L103	N40°19'51"W	168.81'
L104	N50°15'23"W	51.08'
L105	N48°37'09"W	45.62'
L106	N44°05'57"W	160.31'
L107	N44°05'57"W	37.41'
L110	S34°08'27"W	62.58'
L111	S81°16'28"E	326.00'
L112	S81°16'28"E	325.27'

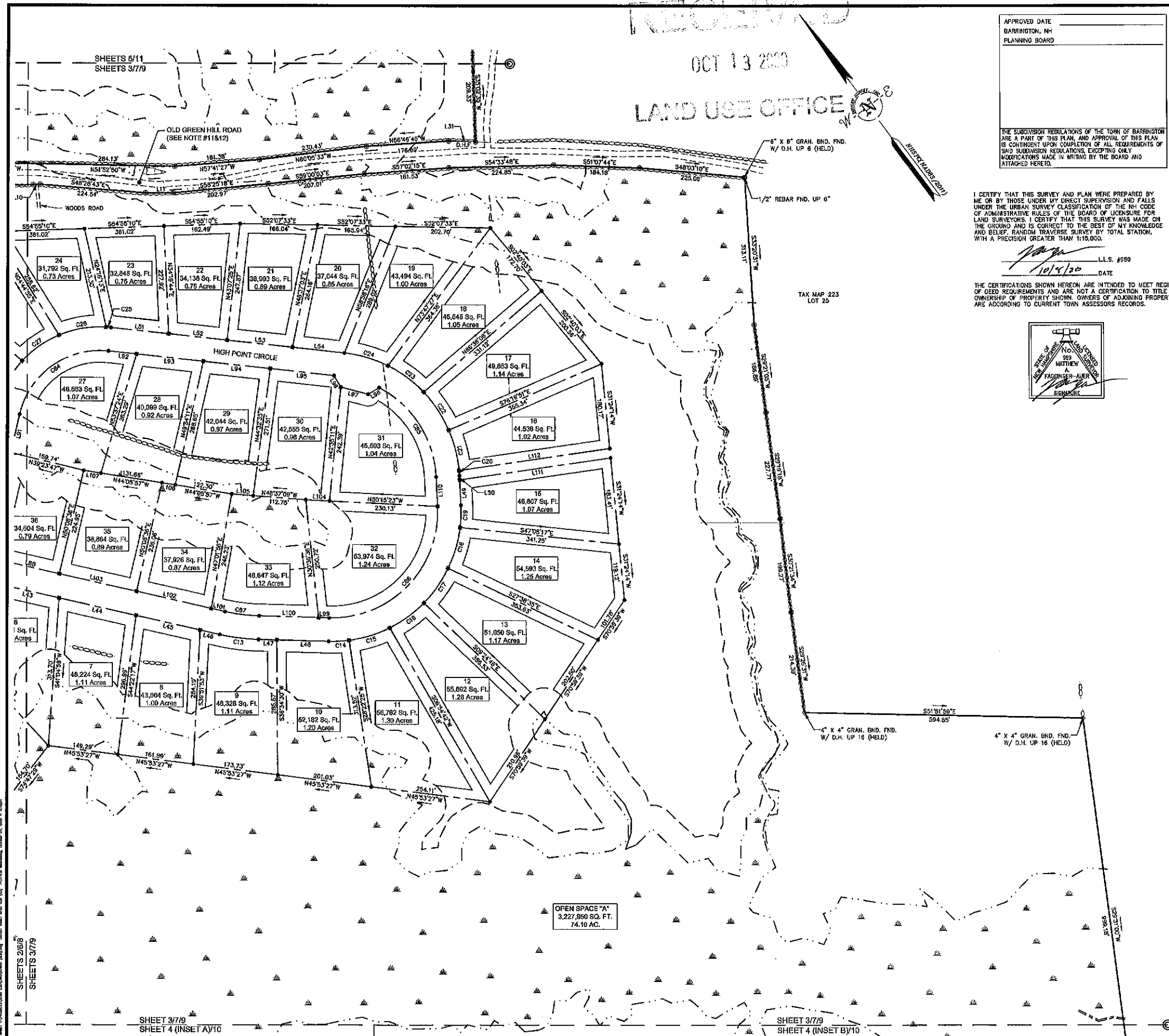


SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
4	10/1/20	REVISED LAYOUT	MMF
3	4/9/20	REVISE EASEMENTS	MMF
2	2/19/20	REVISED ROAD LAYOUT	MMF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MMF

DRAWN BY: E.D.P. DATE: MAY 6, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 5760C
 JOB NO.: 5760 SHEET 3 OF 11

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SHEETS 2/6/8
SHEETS 3/7/9

SHEET 3/7/9
SHEET 4 (INSET A)/10

SHEET 3/7/9
SHEET 4 (INSET B)/10

SHEETS 6-11 NOT INTENDED FOR RECORDING

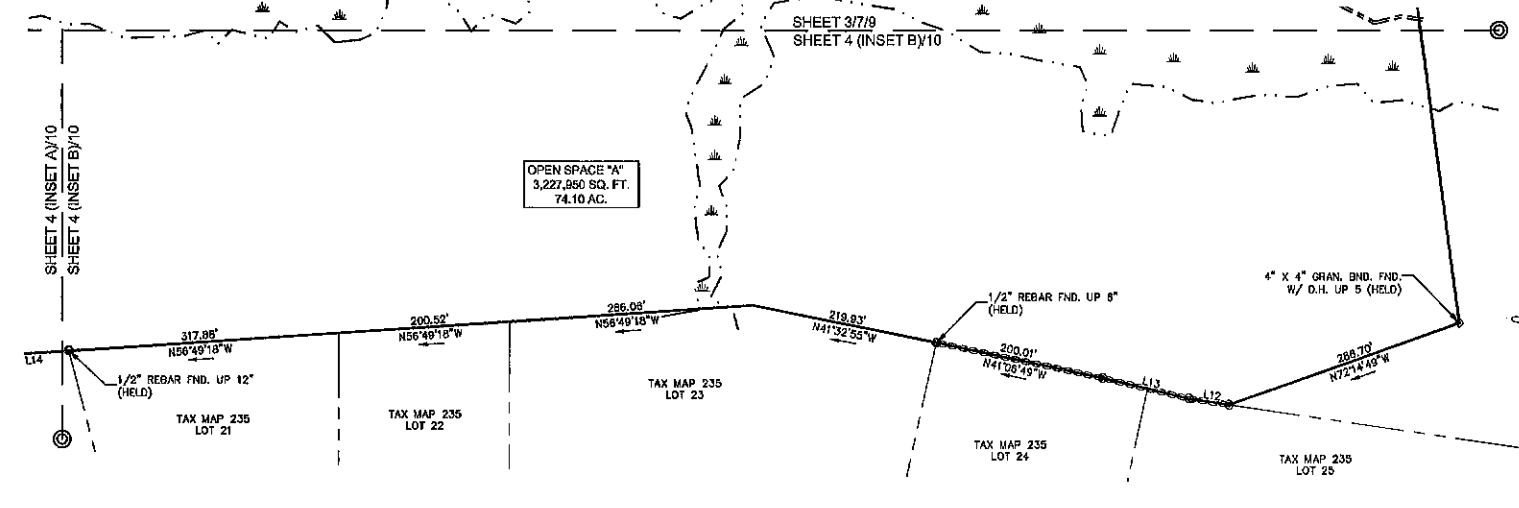
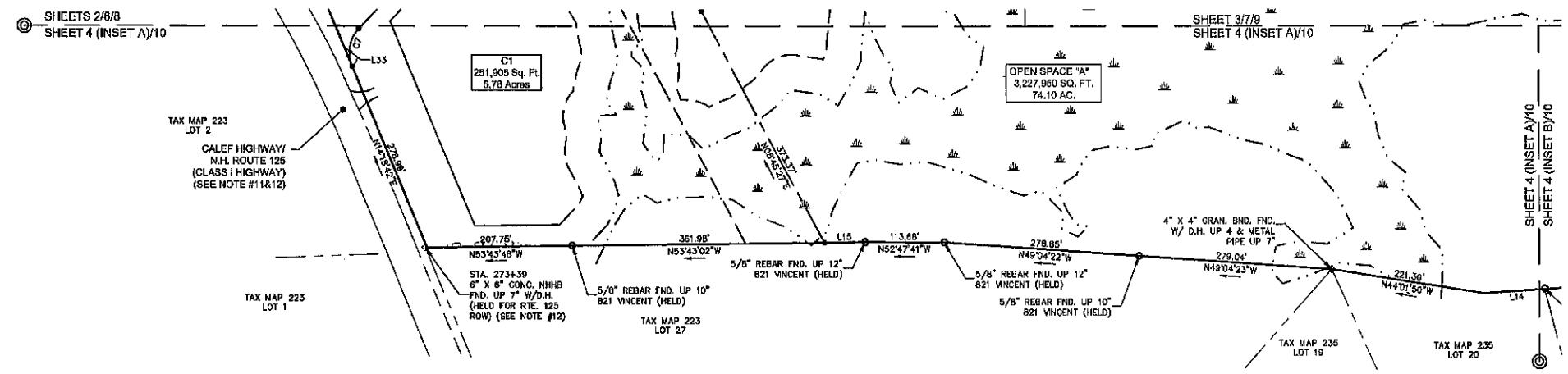
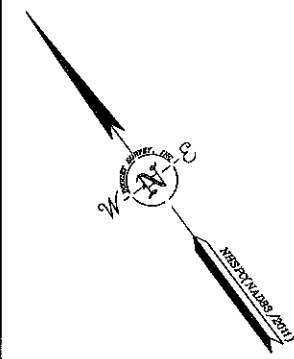
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OCT 13 2019

LAND USE OFFICE

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C7	57.90'	50.00'	86°20'52"	S47°29'08"W	54.72'

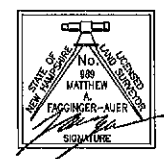
LINE TABLE		
LINE	BEARING	DISTANCE
L12	N44°31'27"W	48.68'
L13	N30°35'08"W	104.00'
L14	N56°49'18"W	87.94'
L15	N53°43'02"W	58.00'
L33	N14°18'42"E	62.91'



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	BY
4	10/7/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19		

APPROVED DATE: BARRINGTON, NH PLANNING BOARD
 DRAWN BY: E.D.P. DATE: MAY 6, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 5750C
 JOB NO.: 5750 SHEET 4 OF 11



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

DATE: 10/13/20 L.L.S. #989

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APPROVED DATE: BARRINGTON, NH PLANNING BOARD

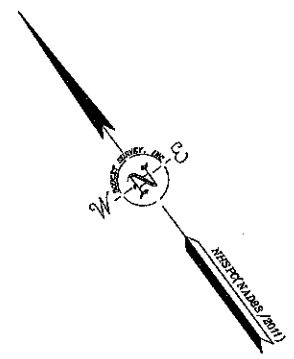
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SHEETS 8-11 NOT INTENDED FOR RECORDING



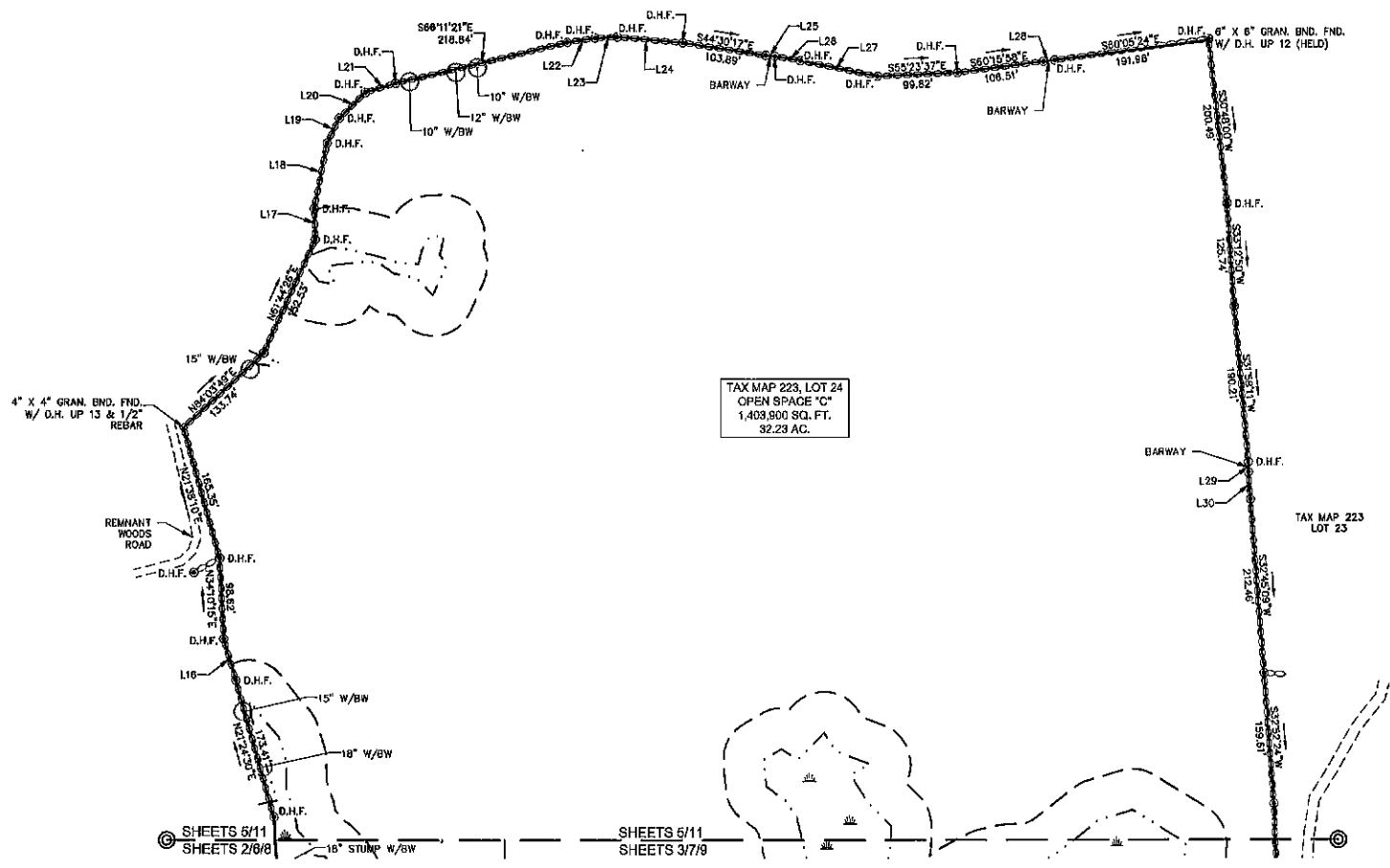
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FILE NAME: N:\Projects\2019\20190501\20190501.dwg USER: MWF DATE: 10/13/2019 10:41:17 AM



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LAND USE OFFICE

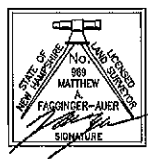
LINE	BEARING	DISTANCE
L16	N20°16'44"E	52.77'
L17	N34°37'03"E	37.69'
L18	N46°16'42"E	81.18'
L19	N63°13'54"E	34.02'
L20	N82°45'19"E	44.89'
L21	S70°01'07"E	38.87'
L22	S81°27'24"E	35.09'
L23	S55°44'34"E	27.06'
L24	S49°01'15"E	81.30'
L25	S47°03'41"E	11.30'
L26	S43°07'52"E	31.54'
L27	S41°38'46"E	96.76'
L28	S59°41'00"E	14.23'
L29	S35°38'49"W	12.88'
L30	S32°51'04"W	33.14'
L31	N50°45'00"W	56.83'
L32	N55°32'10"W	24.15'



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
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HARBOR STREET LIMITED PARTNERSHIP
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PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 26)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
4	10/1/20	REVISED LAYOUT	MWF
3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

APPROVED DATE	BARRINGTON, NH	PLANNING BOARD
DRAWN BY:	E.D.P.	DATE: MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.: 5750C
JOB NO.: 6760	SHEET 5	OF 11



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

M.A. L.L.S. #989
10/4/20 DATE

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APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

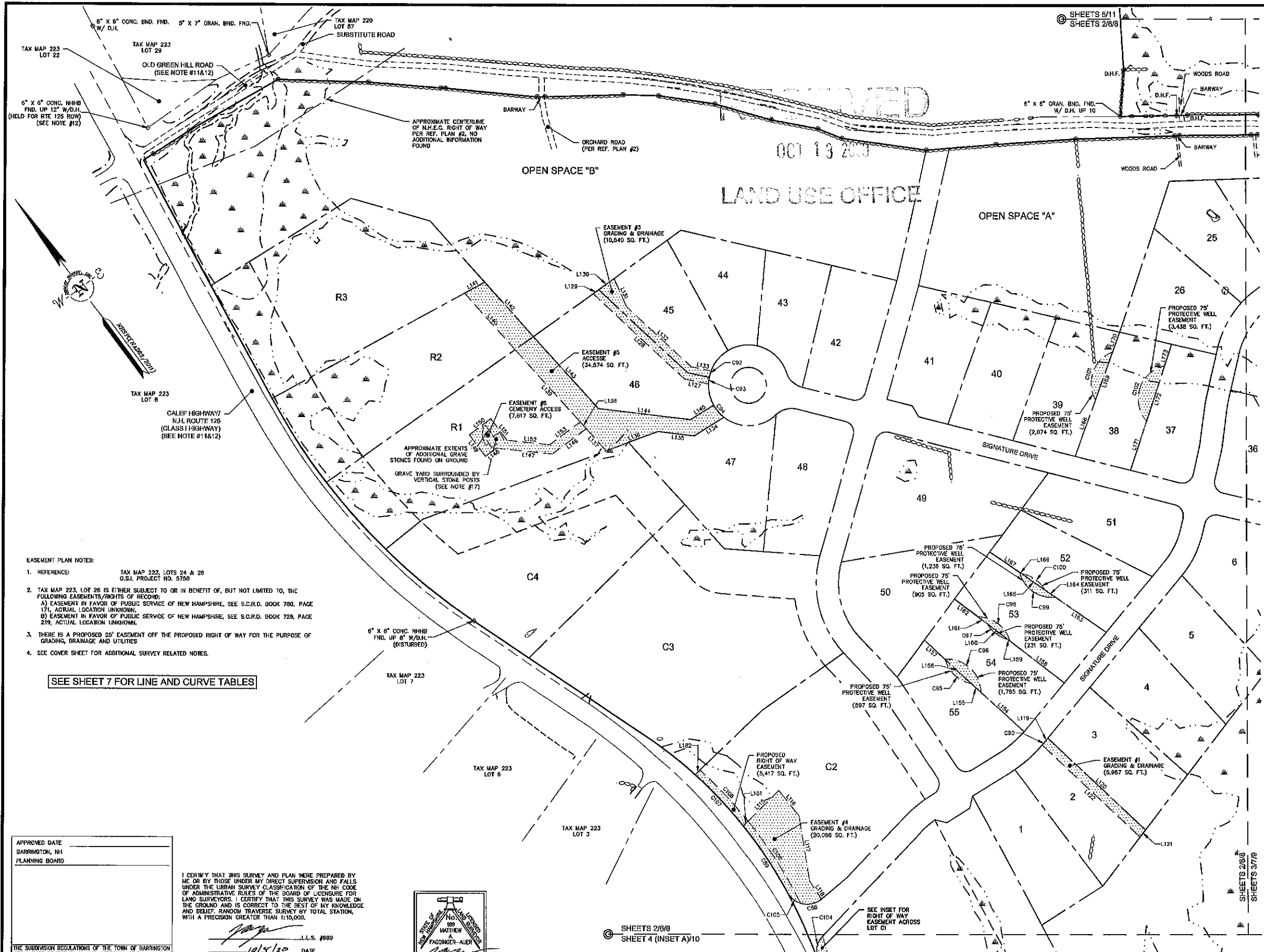
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DOUCET SURVEY INC.

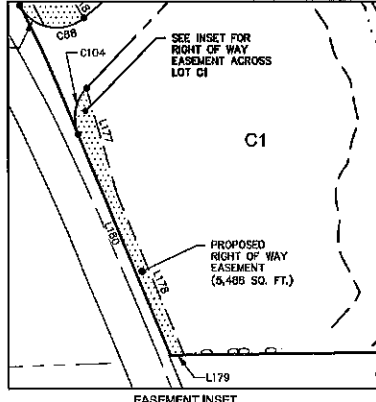
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SHEETS 8-11 NOT INTENDED FOR RECORDING

PLANNING BOARD OF BARRINGTON, NH



- LEGEND**
- LOT LINE
 - - - PROPOSED LOT LINE
 - - - PROPOSED EASEMENT LINE
 - ZONE LINE
 - - - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - EDGE OF WELAND
 - STREAM
 - BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - PROPOSED 75' PROTECTIVE WELL RADIUS
 - LOT #
- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - GRASS
 - PAVEMENT OBSCURED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSCURED
 - FENCE OBSCURED
 - WALL OBSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT



EASEMENT PLAN
"THE RIDGE AT GREEN HILL"
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
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3	4/8/20	REVISE EASEMENTS	MWF
2	2/19/20	REVISED ROAD LAYOUT	MWF
1	7/10/19	REVISION'S PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5760C
DWG NO.:	5760	SHEET	6 OF 11

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 10 Star Street (RiverView Station) Kennebunk, ME (207) 532-7005
<http://www.doucetsurvey.com>

- EASEMENT PLAN NOTES:**
- REFERENCE: TAX MAP 223, LOTS 24 & 26, O.S.I. PROJECT NO. 5750
 - TAX MAP 223, LOT 26 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
 - A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 780, PAGE 171, ACTUAL LOCATION UNKNOWN.
 - B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 729, PAGE 219, ACTUAL LOCATION UNKNOWN.
 - THERE IS A PROPOSED 25' EASEMENT OFF THE PROPOSED RIGHT OF WAY FOR THE PURPOSE OF GRADING, DRAINAGE AND UTILITIES
 - SEE COVER SHEET FOR ADDITIONAL SURVEY RELATED NOTES.

SEE SHEET 7 FOR LINE AND CURVE TABLES

APPROVED DATE
 BARRINGTON, NH
 PLANNING BOARD

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

Matthew Faginner-Auer
 L.L.S. #989
 DATE 10/14/20

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

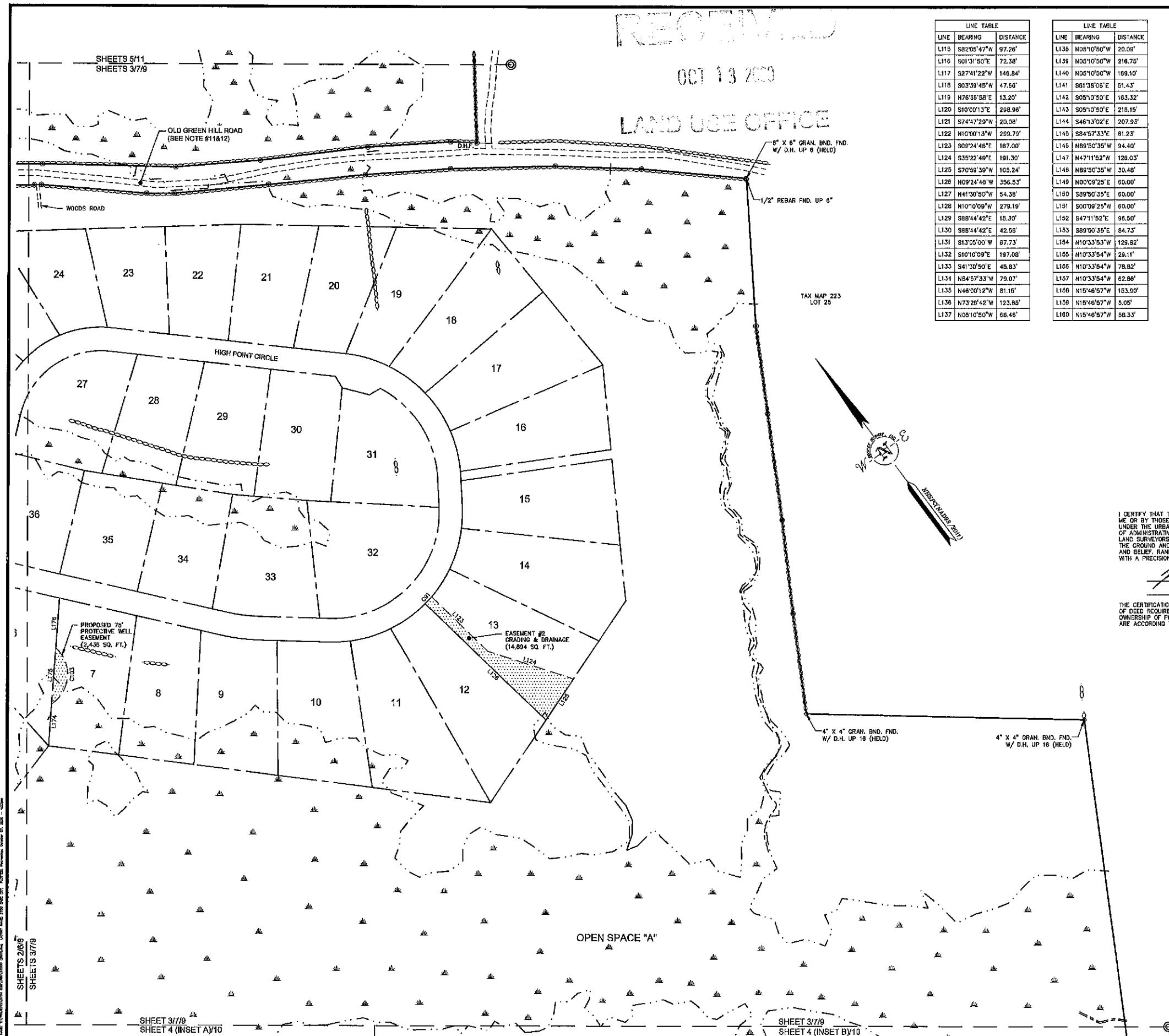
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN, OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



SHEETS 2/6/8
 SHEET 4 (INSET A)/10

SHEETS 6-11 NOT INTENDED FOR RECORDING

RECEIVED
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LINE	BEARING	DISTANCE
L115	S82°05'47"W	97.28'
L116	S01°31'50"E	72.38'
L117	S27°41'22"W	146.84'
L118	S03°39'45"W	47.66'
L119	N76°35'58"E	13.20'
L120	S10°00'13"E	298.99'
L121	S74°47'29"W	20.08'
L122	N10°00'13"W	299.79'
L123	S09°24'46"E	167.00'
L124	S35°22'49"E	191.30'
L125	S70°39'39"W	105.24'
L126	N09°24'46"W	356.53'
L127	N41°30'50"W	54.38'
L128	N10°10'09"W	279.19'
L129	S88°44'42"E	15.30'
L130	S88°44'42"E	42.58'
L131	S13°05'00"W	87.73'
L132	S10°10'09"E	197.08'
L133	S41°30'50"E	45.83'
L134	N84°57'33"W	78.07'
L135	N46°00'12"W	81.16'
L136	N73°26'42"W	123.88'
L137	N05°10'50"W	66.43'

LINE	BEARING	DISTANCE
L138	N05°10'50"W	20.09'
L139	N05°10'50"W	216.75'
L140	N05°10'50"W	189.10'
L141	S61°38'06"E	51.43'
L142	S05°10'30"E	163.32'
L143	S05°10'30"E	215.15'
L144	S46°13'02"E	207.93'
L145	S84°57'33"E	81.23'
L146	N69°50'35"W	94.40'
L147	N47°11'52"W	128.03'
L148	N69°50'35"W	30.48'
L149	N00°09'25"E	60.00'
L150	S89°50'35"E	60.00'
L151	S00°09'25"W	60.00'
L152	S47°11'52"E	95.50'
L153	S89°50'35"E	84.73'
L154	N10°33'53"W	129.82'
L155	N10°33'54"W	26.11'
L156	N10°33'54"W	78.82'
L157	N10°33'54"W	62.88'
L158	N15°46'57"W	153.50'
L159	N15°46'57"W	5.05'
L160	N15°46'57"W	58.33'

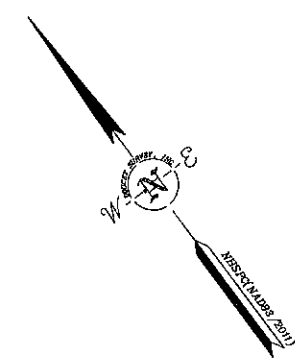
LINE	BEARING	DISTANCE
L161	N15°46'57"W	26.17'
L162	N15°46'57"W	85.08'
L163	N18°38'04"W	138.20'
L164	N18°38'04"W	28.48'
L165	N18°38'04"W	84.12'
L166	N18°38'04"W	5.70'
L167	N18°38'04"W	60.19'
L168	N57°03'47"E	133.54'
L169	N57°03'47"E	113.85'
L170	N57°03'47"E	46.35'
L171	N55°29'37"E	115.37'
L172	S55°29'37"W	129.75'
L173	N55°29'37"E	50.30'
L174	S41°04'59"W	89.01'
L175	N41°04'59"E	119.01'
L176	N41°04'59"E	105.69'
L177	S20°59'16"W	128.51'
L178	S14°18'42"W	203.21'
L179	N53°43'48"W	16.17'
L180	N14°18'42"E	278.09'
L181	S82°08'47"W	15.08'
L182	N83°28'45"E	15.05'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C88	49.37'	50.00'	56°34'19"	S64°29'36"E	47.39'
C89	177.78'	987.93'	1°01'48"	N03°12'59"E	177.54'
C90	6.83'	325.00'	1°12'13"	N77°33'04"E	6.83'
C91	20.01'	275.00'	4°10'07"	N79°33'17"E	20.00'
C92	15.06'	90.00'	9°35'28"	S53°01'36"W	15.05'
C93	15.06'	90.00'	9°35'52"	S43°25'57"W	15.05'
C94	35.86'	90.00'	22°41'57"	S03°49'22"E	35.42'
C95	82.99'	75.00'	63°23'53"	S10°33'54"E	78.82'
C96	122.71'	75.00'	93°44'49"	N10°33'55"W	109.48'
C97	59.61'	75.00'	45°45'52"	S15°46'57"E	58.33'
C98	95.96'	75.00'	73°18'31"	N15°46'57"W	89.55'
C99	107.20'	75.00'	81°53'37"	S18°38'04"E	98.30'
C100	66.25'	75.00'	59°38'40"	N18°38'04"W	54.12'
C101	128.42'	75.00'	98°22'17"	S57°03'47"W	113.95'
C102	155.77'	75.00'	119°46'00"	S59°29'37"W	129.75'
C103	137.45'	75.00'	105°00'09"	N41°04'59"E	119.01'
C104	57.90'	50.00'	86°20'52"	S47°29'08"W	54.72'
C105	38.90'	50.00'	44°34'44"	S13°55'04"E	37.93'
C106	217.15'	1002.93'	122°41'18"	N04°10'27"E	216.73'
C107	197.27'	987.93'	9°07'16"	N06°29'56"W	157.10'
C108	156.90'	1002.93'	6°57'48"	N06°30'36"W	156.74'

TAX MAP 223 LOT 25

4" X 4" GRAN. BND. FND. W/ D.H. UP 18 (HELD)

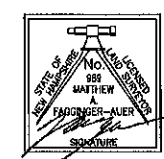
4" X 4" GRAN. BND. FND. W/ D.H. UP 16 (HELD)



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

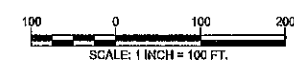
Matthew Ledoux L.L.S. #989
10/4/20 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



APPROVED DATE _____
BARRINGTON, NH
PLANNING BOARD

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EASEMENT PLAN
"THE RIDGE AT GREEN HILL"
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 26)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DESCRIPTION	BY
4	10/1/20	REVISED LAYOUT		MMF
3	4/8/20	REVISE EASEMENTS		MMF
2	2/19/20	REVISED ROAD LAYOUT		MMF
1	7/10/19	REVISIONS PER PLANNERS COMMENTS		MMF

DRAWN BY: E.D.P. DATE: MAY 6, 2019
CHECKED BY: M.W.F. DRAWING NO.: 5760C
JOB NO.: 5750 SHEET 7 OF 11

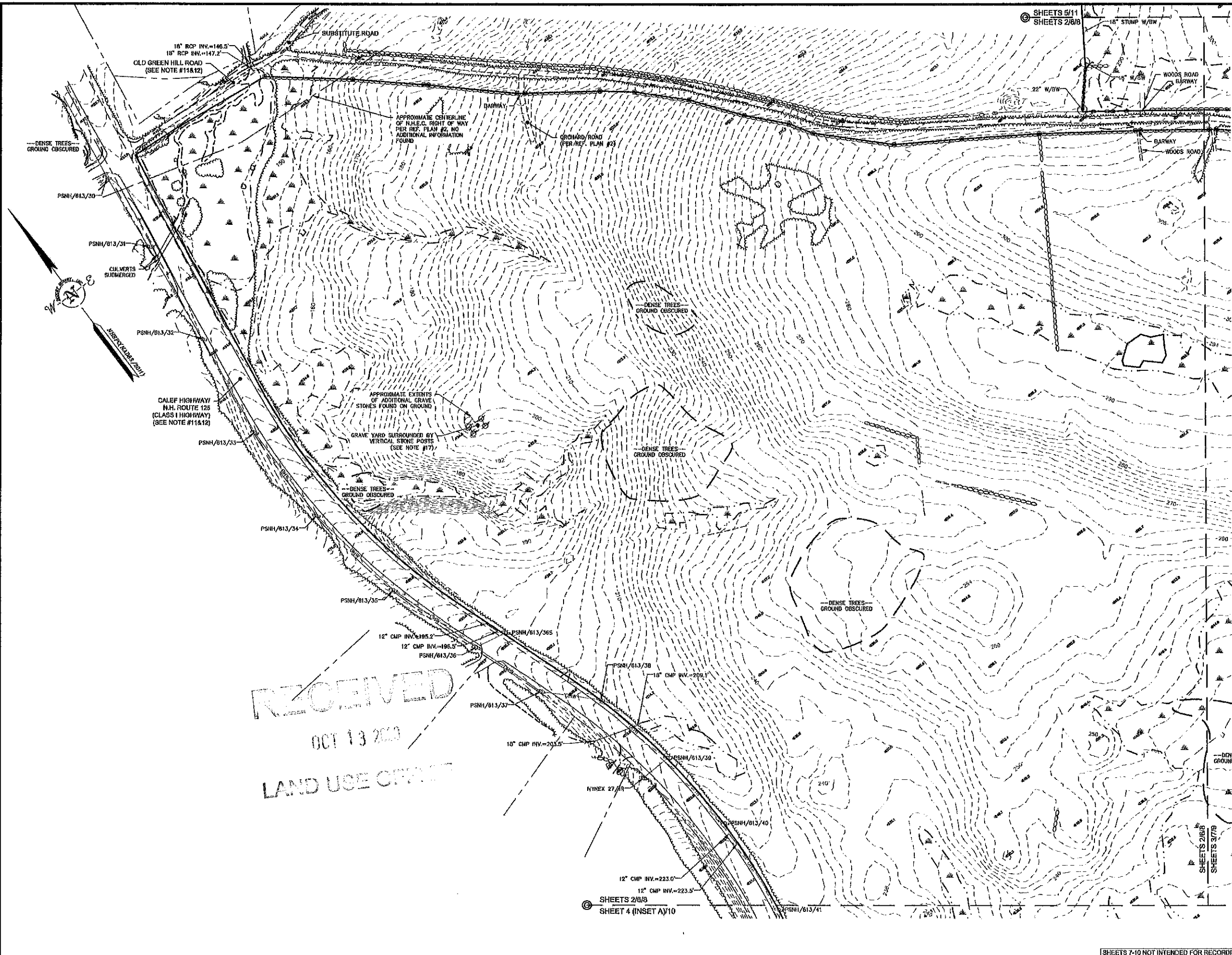
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2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 814-0900
10 Saxon Street (Riverview Suites) Portsmouth, NH (207) 862-7066
http://www.doucetsurvey.com

SHEETS 8-11 NOT INTENDED FOR RECORDING

SHEETS 2/6/8 SHEETS 3/7/9

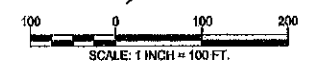
SHEET 3/7/9 SHEET 4 (INSET A)/10

SHEET 3/7/9 SHEET 4 (INSET B)/10



- LEGEND**
- LOT LINE
 - - - - - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - - - - - EDGE OF WETLAND
 - STREAM
 - TREE STUMP
 - DECIDUOUS TREE
 - CATCH BASIN
 - BARBED WIRE
 - CONCRETE
 - GRANITE
 - WETLAND SYMBOL

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - GUARDRAIL
 - BRIDGE
 - PAVEMENT OBSCURED
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSCURED
 - PAINTED LINE
 - FENCE OBSCURED
 - WALL OBSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT
 - CULVERT HEADWALL
 - DITCH
 - WATER OBSCURED
 - TREE LINE
 - BRUSH
 - DENSE WOOD LIMIT
 - ROCK OUTLINE
 - ROCK OUTCROP
 - GUARDRAIL OBSCURED
 - CULVERT OBSCURED
 - UTILITY POLE
 - OBSCURED UPPOLE
 - SWAMP GRASS
 - MEDIUM LONG TREE
 - SPOT ELEVATION



TOPOGRAPHIC PLAN
"THE RIDGE AT GREEN HILL"
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DESCRIPTION	MMF	BY
1	7/10/19				

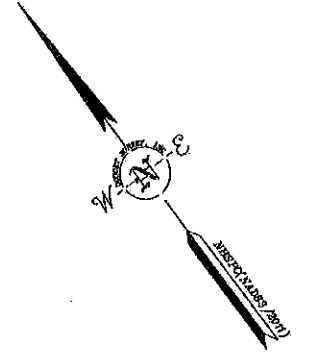
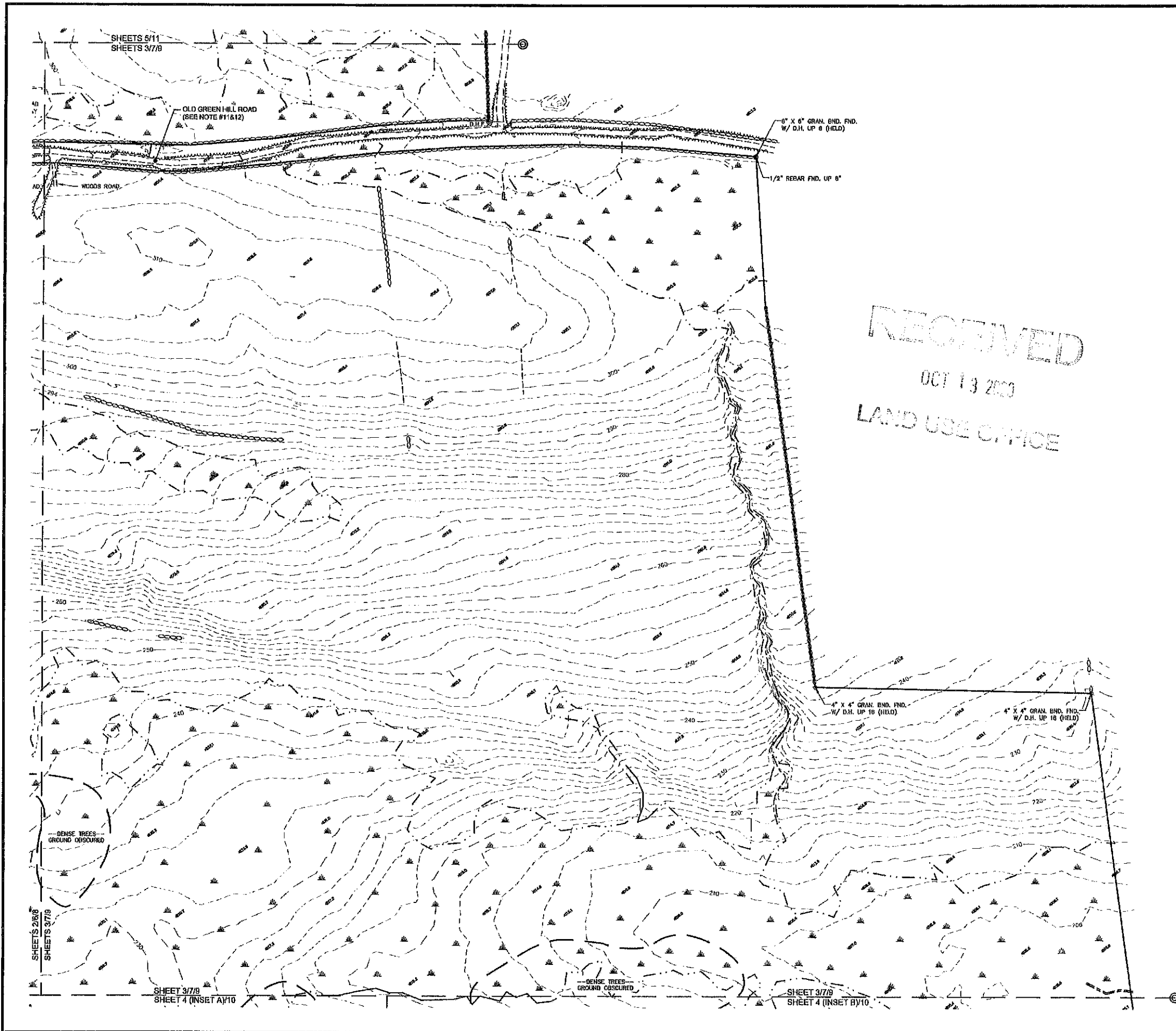
DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5760B
JOB NO.:	5760	SHEET	8 OF 11

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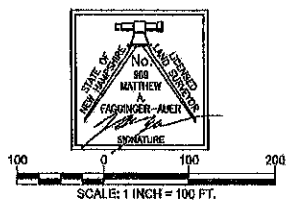
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© SHEETS 2/6/8
 SHEET 4 (INSET A)10

SHEETS 7-10 NOT INTENDED FOR RECORDING



RECEIVED
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 LAND USE OFFICE



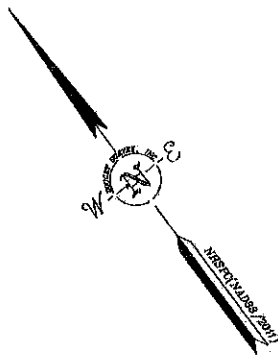
TOPOGRAPHIC PLAN
 "THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DESCRIPTION	BY
1	7/10/19			

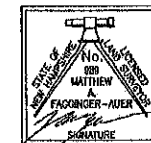
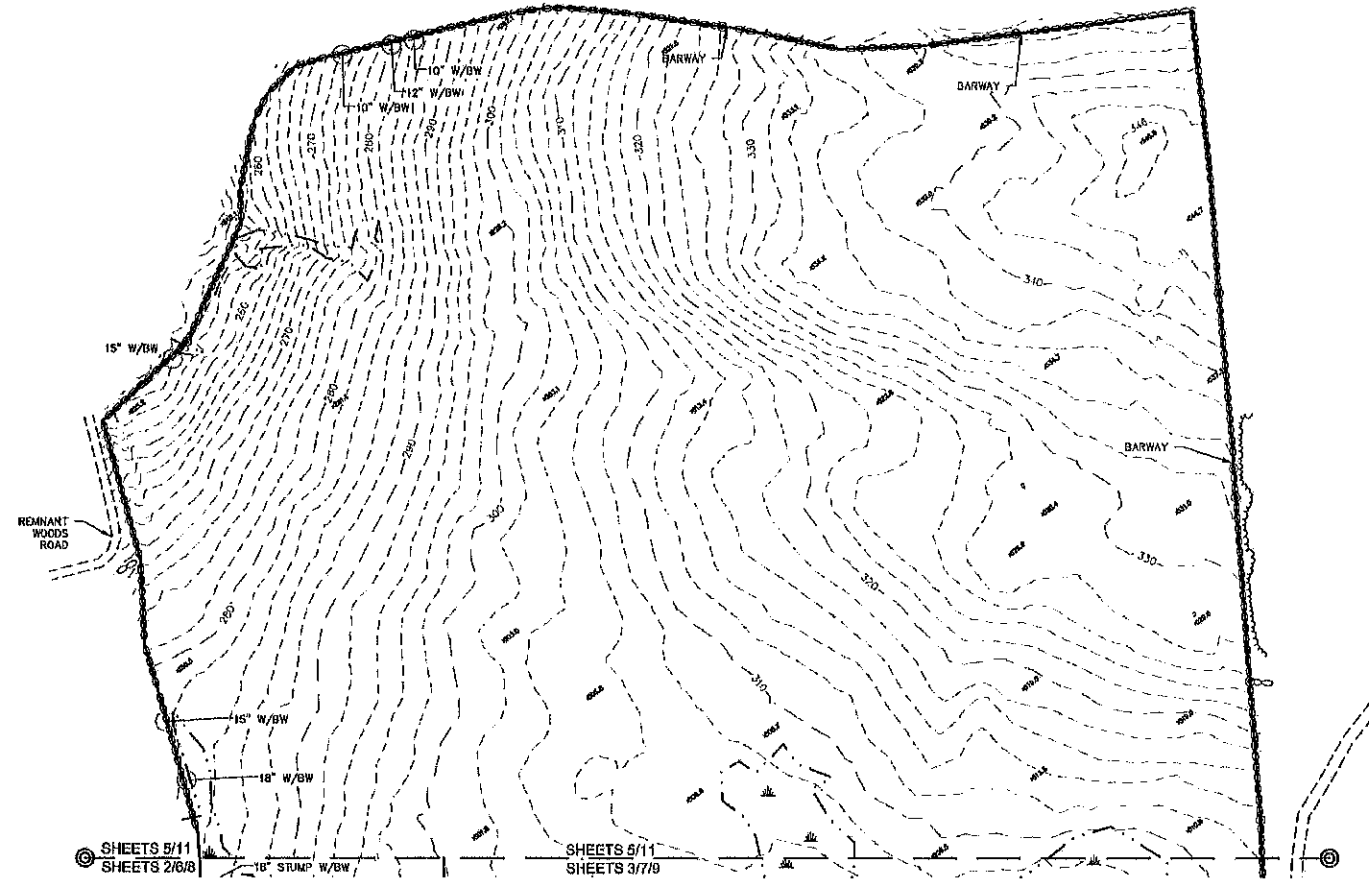
DRAWN BY:	E.D.P.	DATE:	MAY 8, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750B
JOB NO.:	5750	SHEET	8 OF 11

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THE STATE OF NEW HAMPSHIRE, COUNTY OF ROCKINGHAM, MAP NO. 223, LOTS 24 & 26, 10/13/2020



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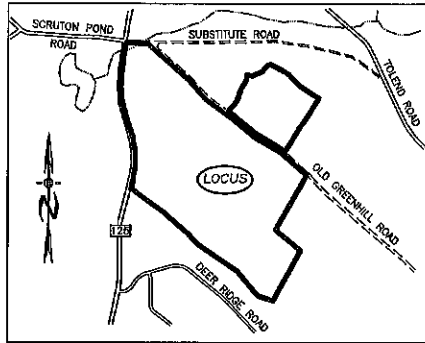
TOPOGRAPHIC PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
1	7/10/19	REVISIONS PER PLANNERS COMMENTS	MWF

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5760B
JOB NO.:	5750	SHEET	11 OF 11

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<http://www.doucetsurvey.com>

10/20/2019 10:00 AM 10/20/2019 10:00 AM 10/20/2019 10:00 AM 10/20/2019 10:00 AM 10/20/2019 10:00 AM



LOCATION MAP
1"=1500'

ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

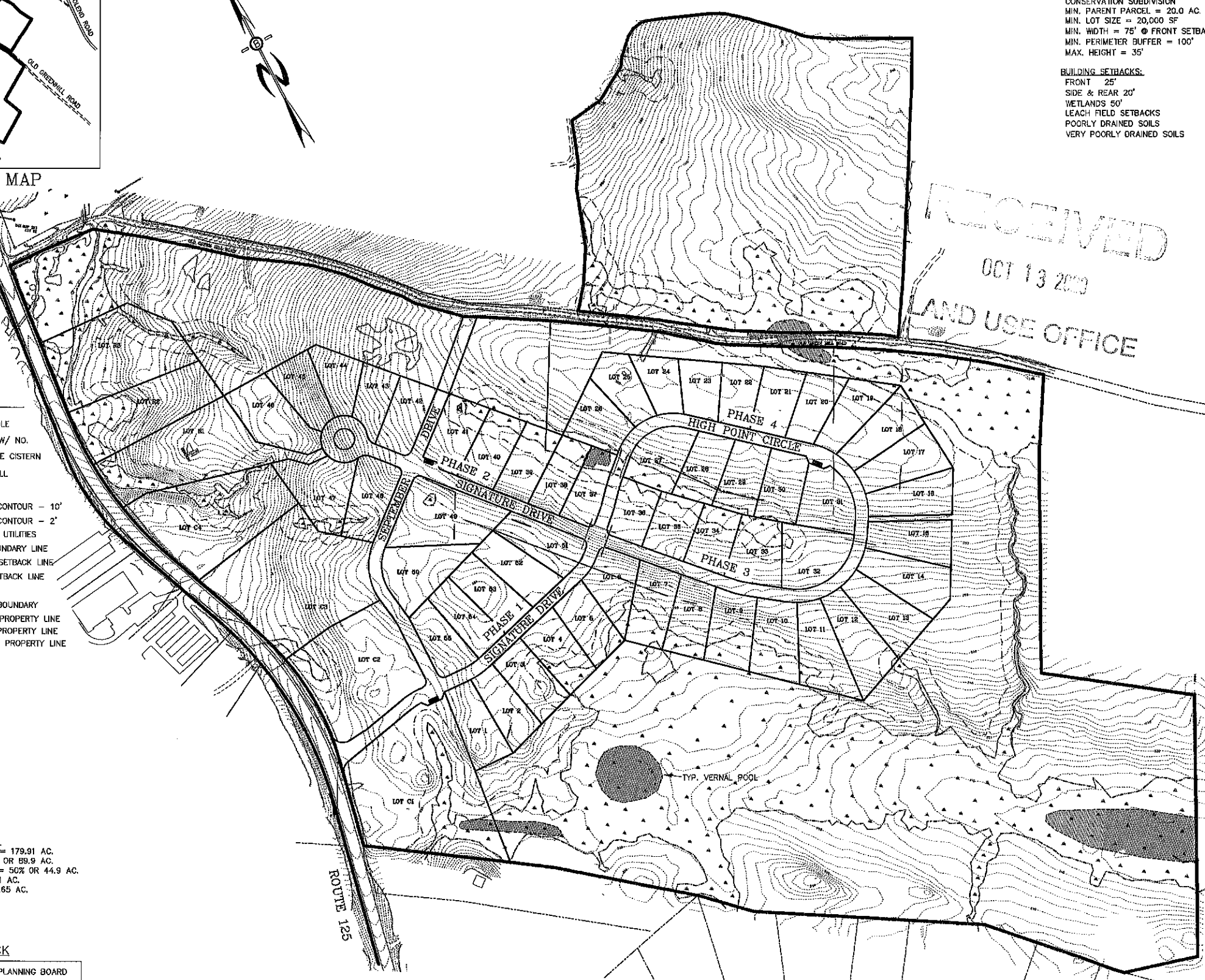
- NOTES**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
 - THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
 - ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
 - PROJECT IS BASED ON USGS DATUM NAVD 1988. REFERENCE BENCHMARK:
 - THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 - DISTURBANCE IS OVER 100,000 SQ. FT. ALTERATION OF TERRAIN PERMIT RSA 485-A-17 IS REQUIRED.
 - ALL FERTILIZER SHALL BE NO-PHOSPHATE, SLOW RELEASE NITROGEN AND SHALL NOT INCREASE ANY FERTILIZER LOADING OF THE PRIME WETLAND.

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 LAND USE OFFICE

- LEGEND**
- UTILITY POLE
 - TEST PIT W/ NO.
 - PROP. FIRE CISTERN
 - STONE WALL
 - TREE LINE
 - EXISTING CONTOUR - 10'
 - EXISTING CONTOUR - 2'
 - OVERHEAD UTILITIES
 - SOILS BOUNDARY LINE
 - BUILDING SETBACK LINE
 - SEPTIC SETBACK LINE
 - STREAM
 - WETLAND BOUNDARY
 - ABUTTING PROPERTY LINE
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE

OPEN SPACE CALCS:
 TOTAL RESIDENTIAL LOT AREA = 179.91 AC.
 REQUIRED OPEN SPACE = 50% OR 89.9 AC.
 MIN. REQUIRED UPLAND AREA = 50% OR 44.9 AC.
 OPEN SPACE PROVIDED = 117.1 AC.
 UPLAND AREA PROVIDED = 85.65 AC.

APPROVAL BLOCK
 APPROVED TOWN OF BARRINGTON PLANNING BOARD
 CHAIRPERSON _____ DATE _____



TOWN NOTES
 IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE AND SHALL BE MAINTAINED THROUGHOUT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SUBDIVISION REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

REVISED ACCESS DESIGN	10-8-20
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

OPEN SPACE SUBDIVISION

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

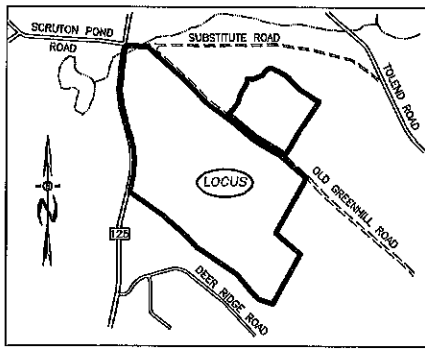
DATE: MAY 2019 SCALE: 1"=150'
 PROJ. NO: NH-1144 SHEET NO. 12 OF 37

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'



LOCATION MAP
 1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4000 SF SEPTIC RESERVE AREA
- PROP. WELL W/ 75' PROTECTIVE RAD.
- PROP. FIRE CISTERN

HISS STANDARDS:
 THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.
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SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	96	(223)	C
WOODBRIDGE	29	(323)	C
RIDGEBURY	656	(423)	C
WET RIDGEBURY	656/P	(523)	C
WHITNUM	49/VP	(623)	D

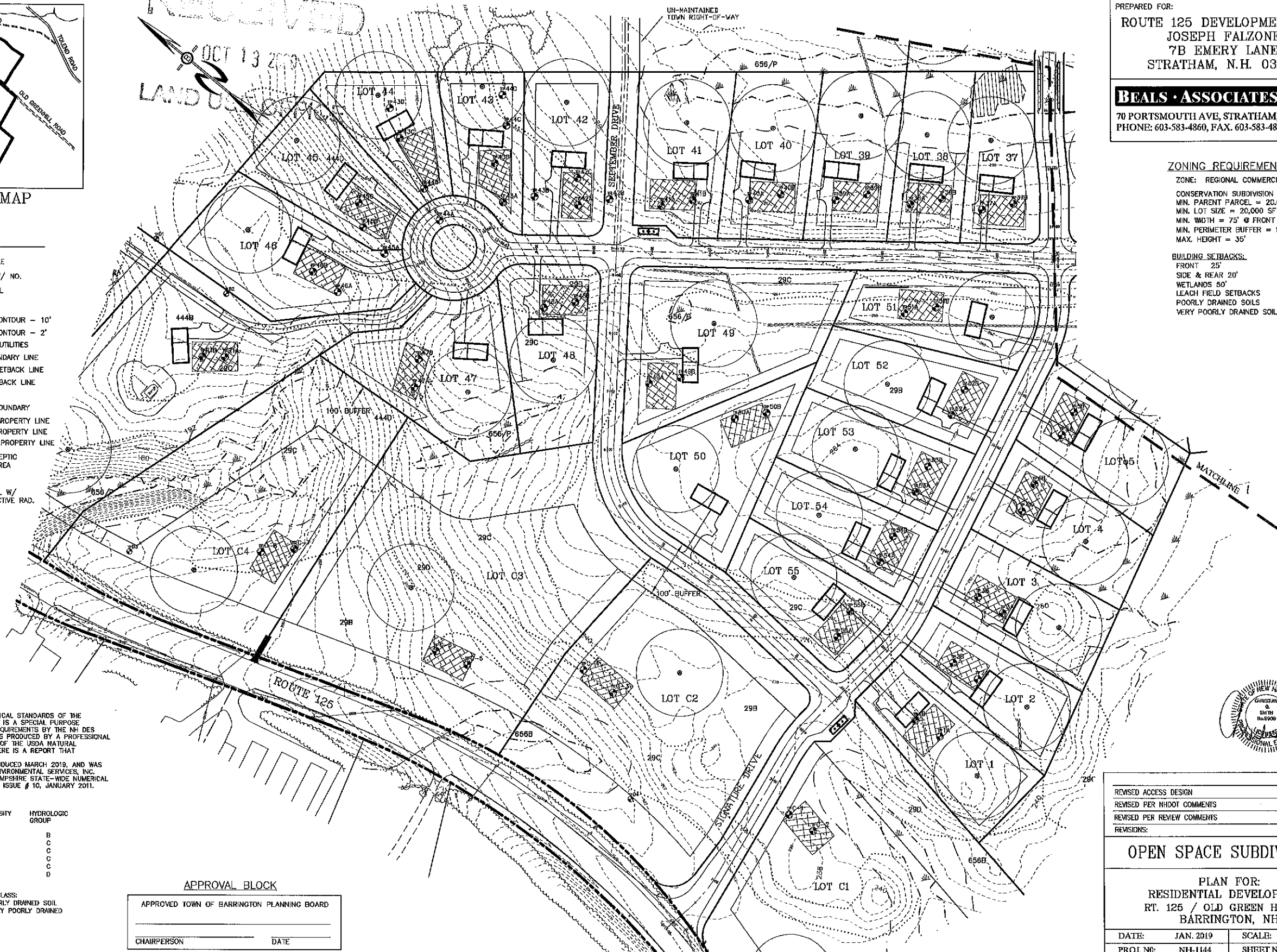
SLOPE CLASS:

0-2%	= B
2-15%	= C
15-25%	= D
25-50%	= E
>50%	= F

DRAINAGE CLASS:

/P	= POORLY DRAINED SOIL
/VP	= VERY POORLY DRAINED

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 LAND USE



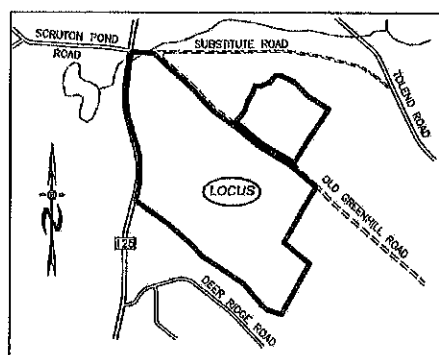
APPROVAL BLOCK
 APPROVED TOWN OF BARRINGTON PLANNING BOARD
 CHAIRPERSON _____ DATE _____



REVISED ACCESS DESIGN	10-8-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

OPEN SPACE SUBDIVISION
 PLAN FOR:
RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE:	JAN. 2019	SCALE:	1"=80'
PROJ. NO:	NH-1144	SHEET NO.	13 OF 37



LOCATION MAP
1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4000 SF SEPTIC RESERVE AREA
- PROP. WELL W/
75' PROTECTIVE RAD.

HISS STANDARDS:

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SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	66	(223)	C
WOODBIDGE	29	(323)	C
RIDGEBURY	658	(463)	C
WET RIDGEBURY	658/P	(463)	C
WHITHUM	49/VP	(821)	D

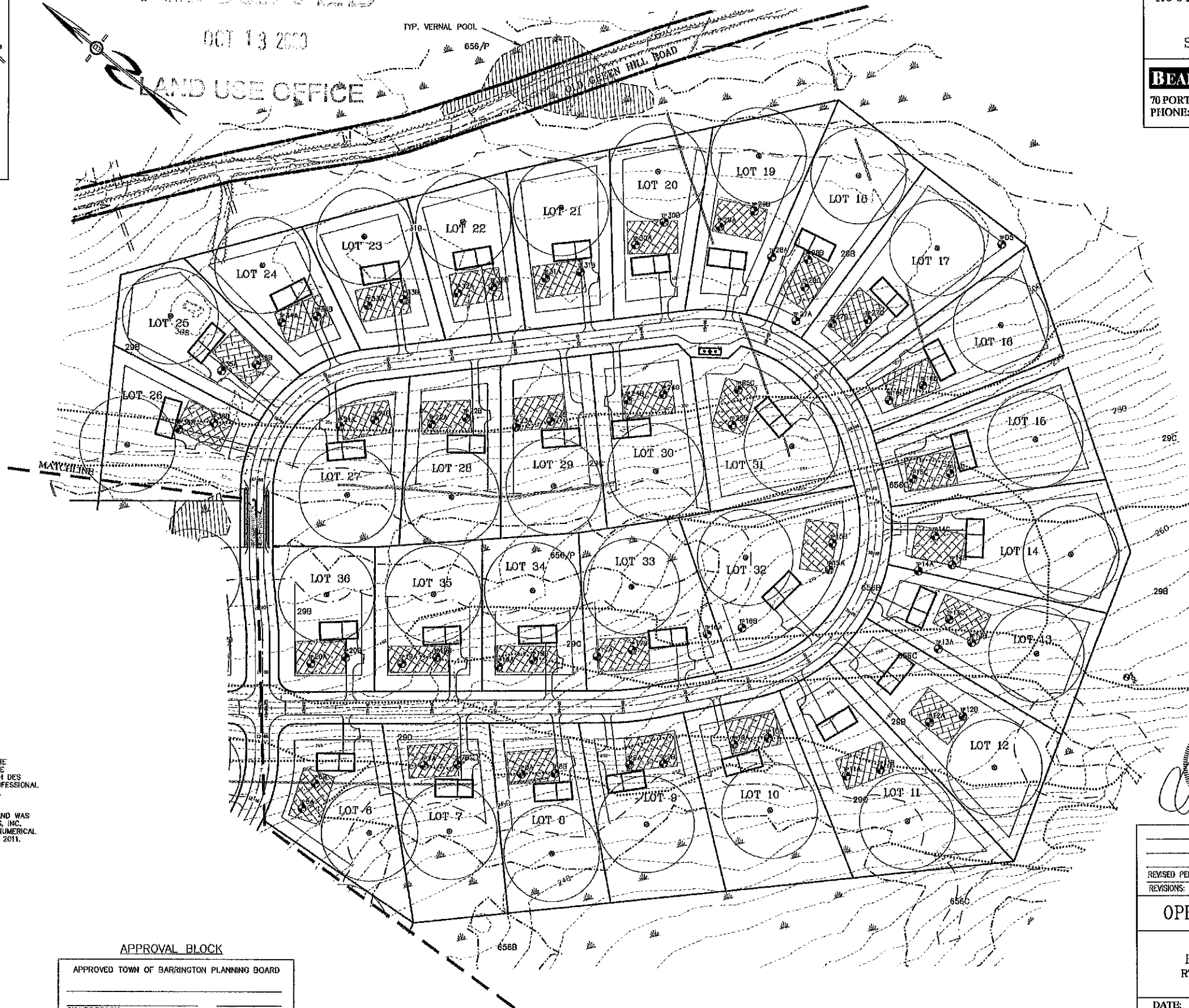
SLOPE CLASS:
0-8% = B
8-15% = C
15-25% = D
25-50% = E
>50% = F

DRAINAGE CLASS:
/P = POORLY DRAINED SOIL
/VP = VERY POORLY DRAINED

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OCT 13 2020

LAND USE OFFICE



APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC

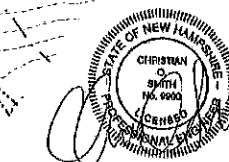
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

ZONE: REGIONAL COMMERCIAL
CONSERVATION SUBDIVISION
MIN. PARENT PARCEL = 20.0 AC.
MIN. LOT SIZE = 20,000 SF
MIN. WIDTH = 75' @ FRONT SETBACK
MIN. PERIMETER BUFFER = 100'
MAX. HEIGHT = 35'

BUILDING SETBACKS:

FRONT 25'
SIDE & REAR 20'
WETLANDS 50'
LEACH FIELD SETBACKS
POORLY DRAINED SOILS 50'
VERY POORLY DRAINED SOILS 75'

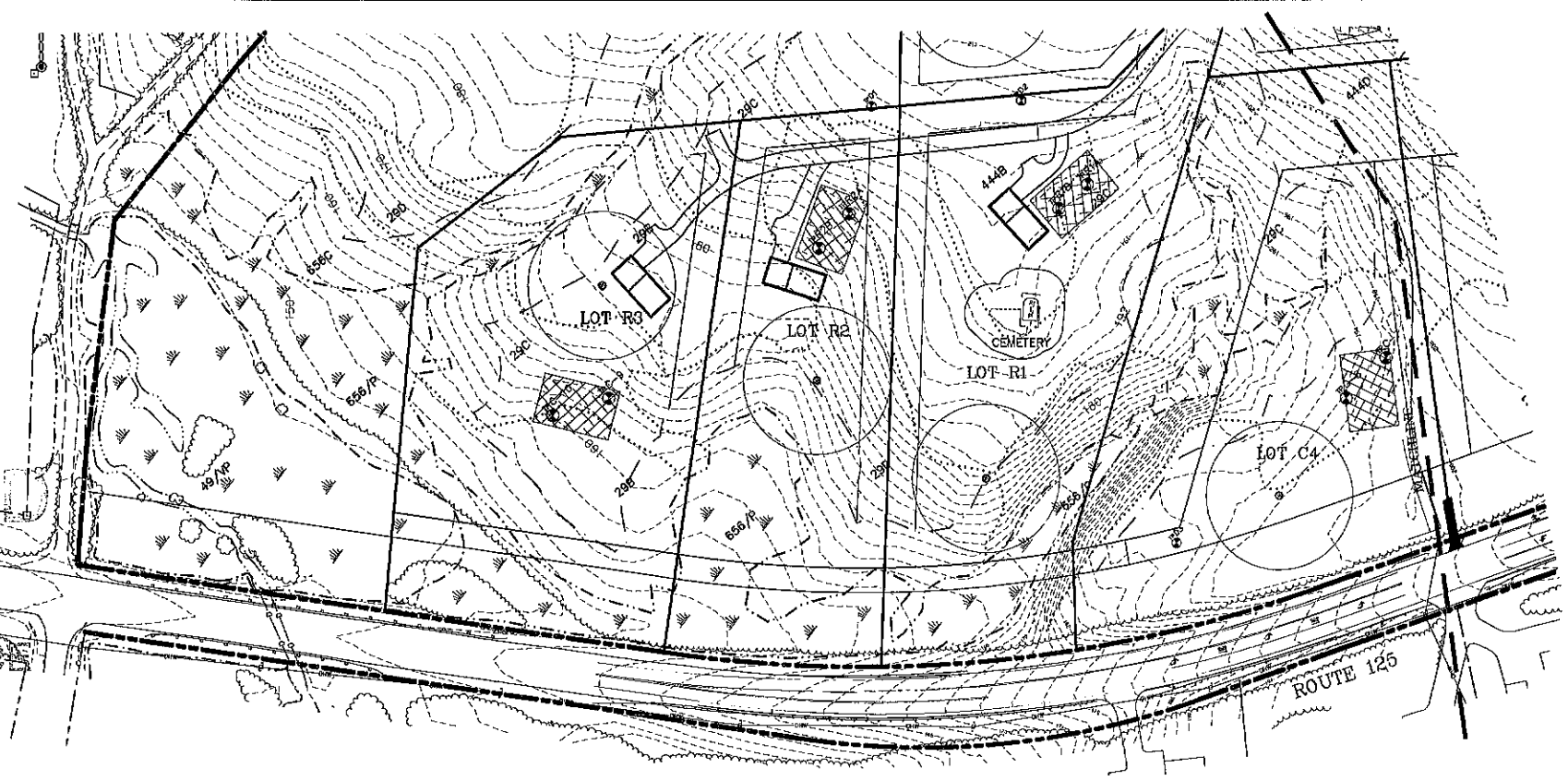


REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

OPEN SPACE SUBDIVISION

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE:	JAN. 2019	SCALE:	1"=80'
PROJ. NO:	NH-1144	SHEET NO.	14 OF 37



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LAND USE OFFICE

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC

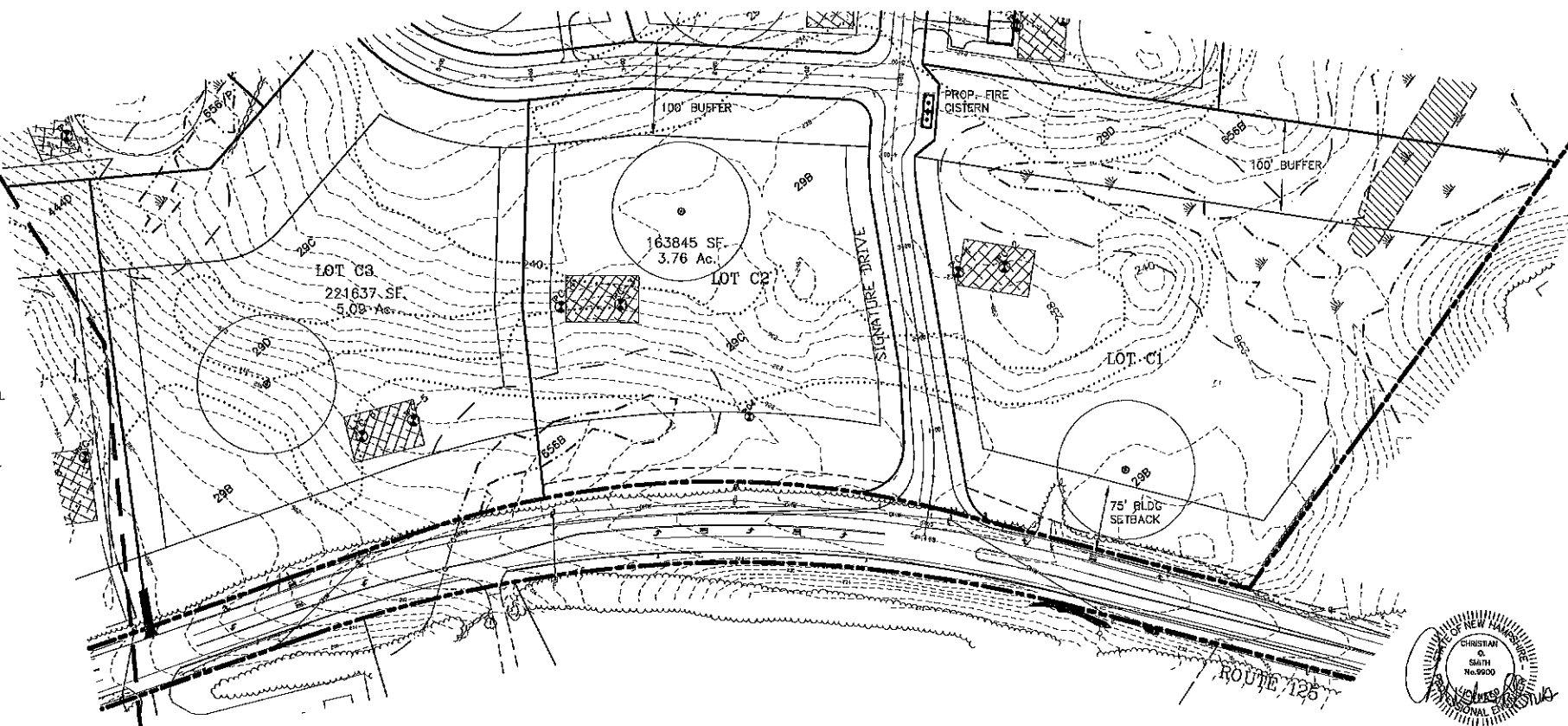
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

ZONE: REGIONAL COMMERCIAL		
USE:	RESIDENTIAL	COMMERCIAL
MIN. LOT SIZE =	80,000 SF	40,000 SF
MIN. FRONTAGE =	200'	200'
MAX. HEIGHT =	35'	40'
BUILDING SETBACKS:		
FRONT	40'	75'
SIDE & REAR	30'	30'
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		100'
LEACH FIELD SETBACKS		
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		100'



MATCHLINE



HSS STANDARDS:

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RIDGEBURY	656	(423)	C
WET RIDGEBURY	656/P	(523)	C
WHITNUM	49/VP	(623)	D

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 /VP = VERY POORLY DRAINED

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

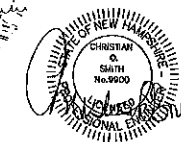
CHAIRPERSON _____ DATE _____

REVISED ACCESS DESIGN	10-8-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

COMMERCIAL LOTS SITE PLAN

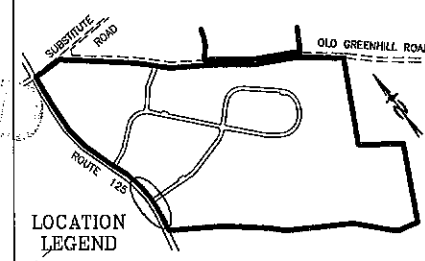
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE:	JAN. 2019	SCALE:	1"=80'
PROJ. NO.:	NH-1144	SHEET NO.:	15 OF 37

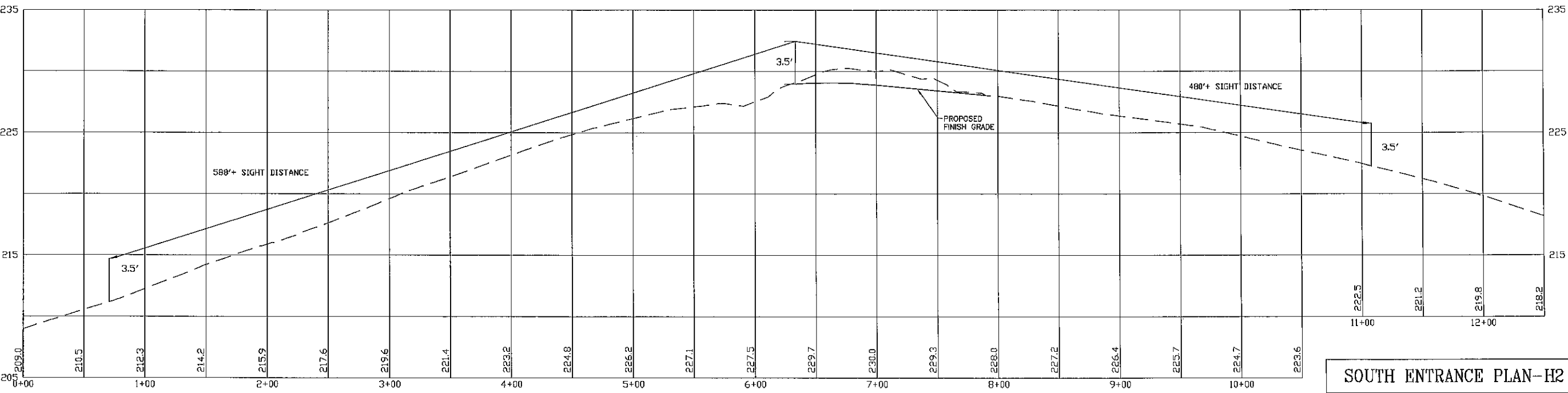
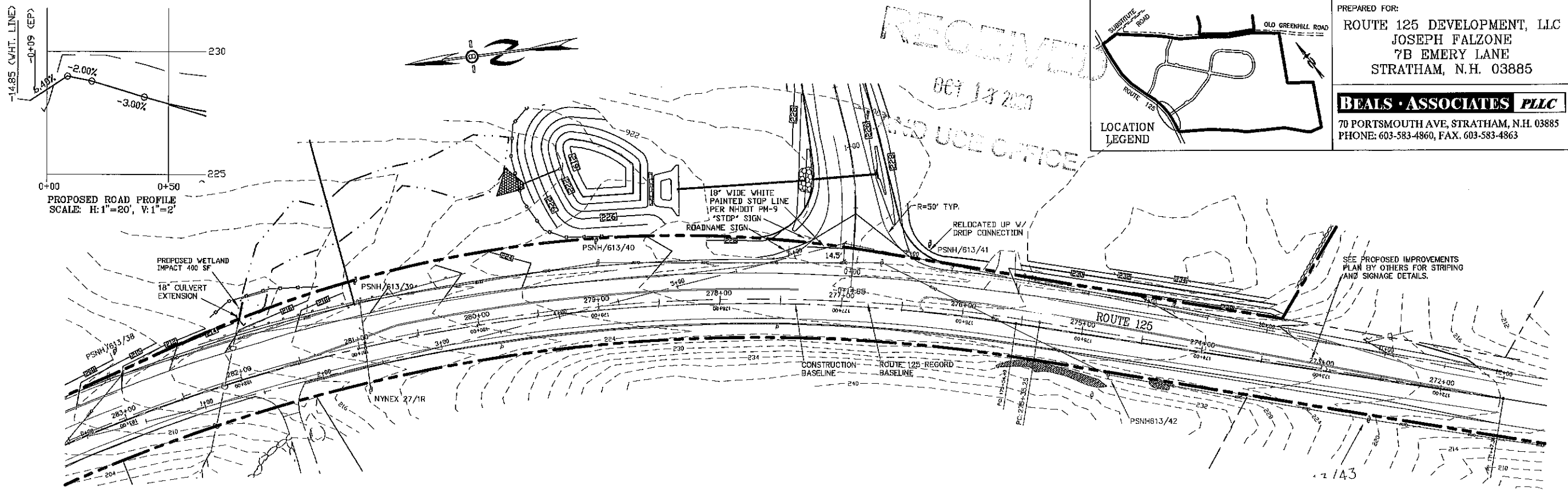


PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



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SOUTH ENTRANCE PLAN-H2

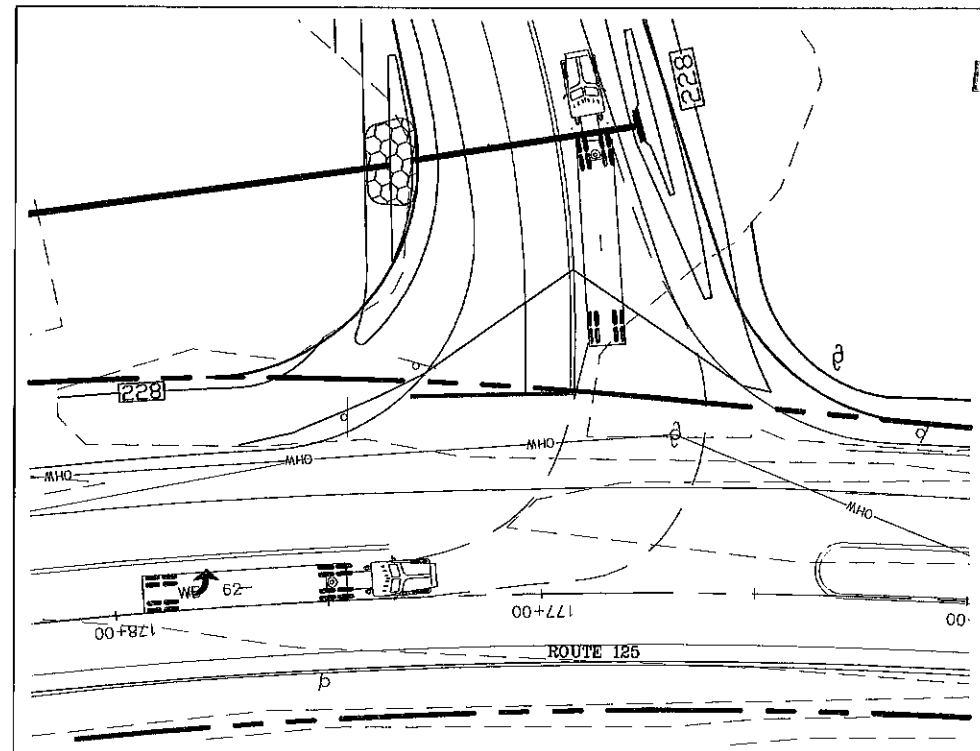
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: NOV. 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 16 OF 37

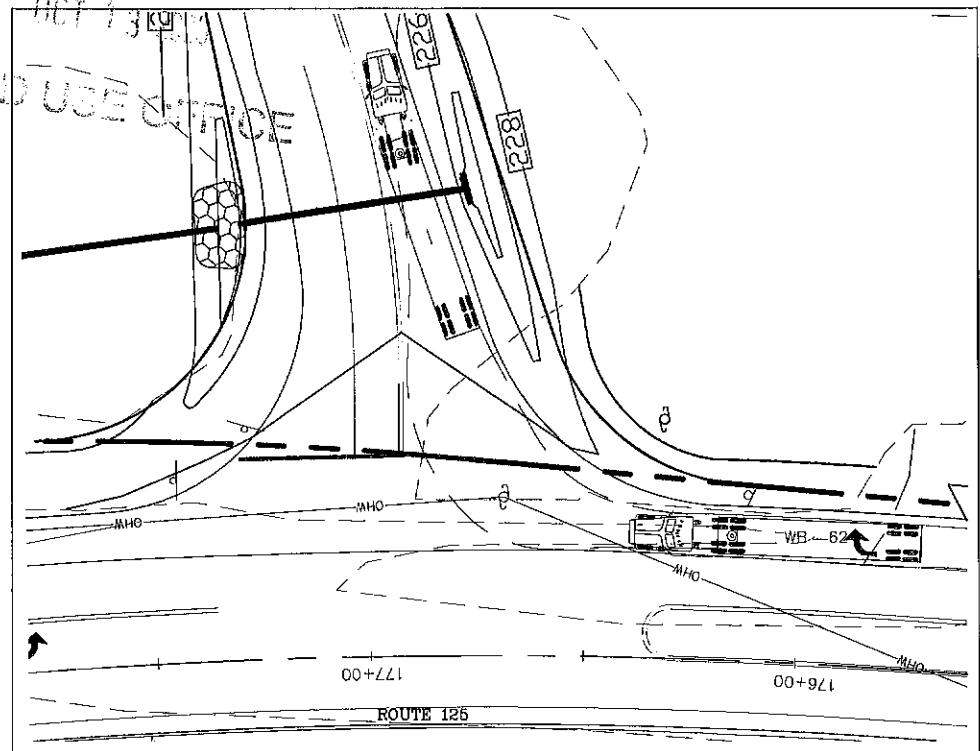
PROFILE SCALES:
 HORIZONTAL: 1" = 40' VERTICAL: 1" = 4'

REVISED PER NHDOT COMMENTS: 2-18-20
 REVISIONS: DATE:

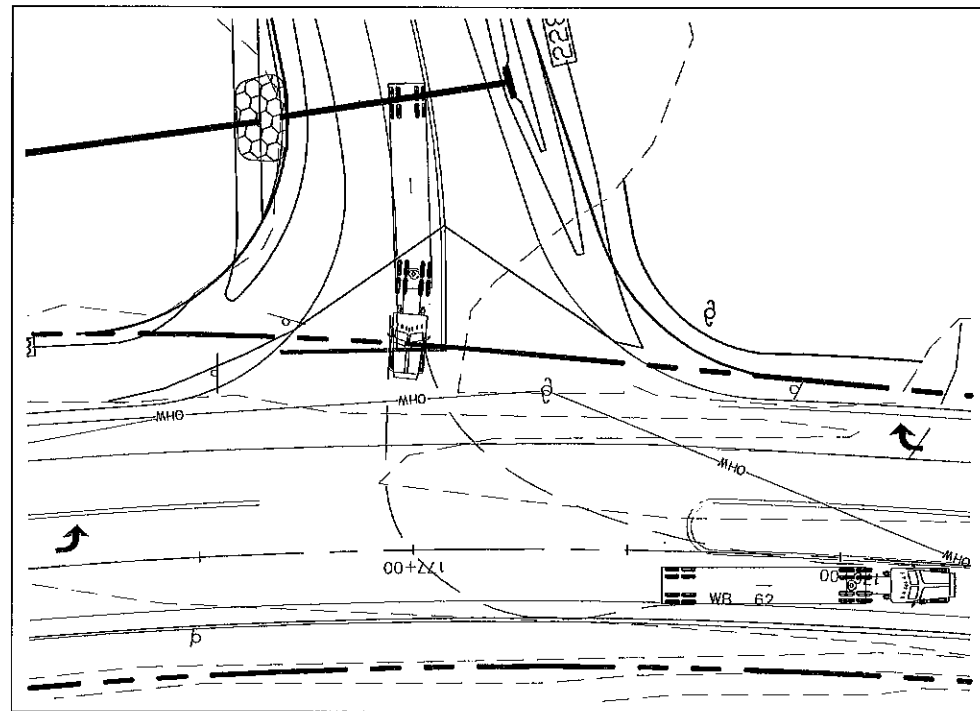
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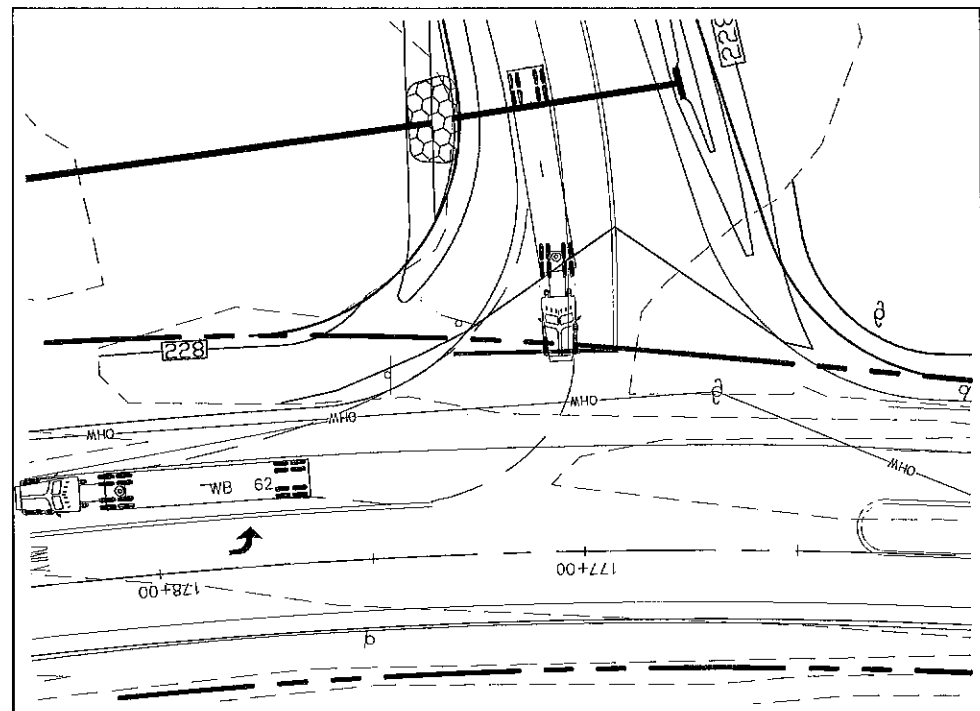
WB-62 TRUCK ENTERING SOUTHBOUND DETAIL
SCALE: 1"=20'



WB-62 TRUCK ENTERING NORTHBOUND DETAIL
SCALE: 1"=20'



WB-62 TRUCK EXITING SOUTHBOUND DETAIL
SCALE: 1"=20'



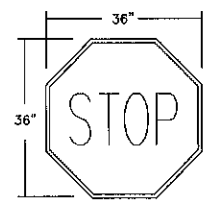
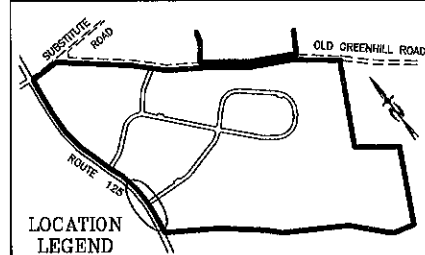
WB-62 TRUCK EXITING NORTHBOUND DETAIL
SCALE: 1"=20'



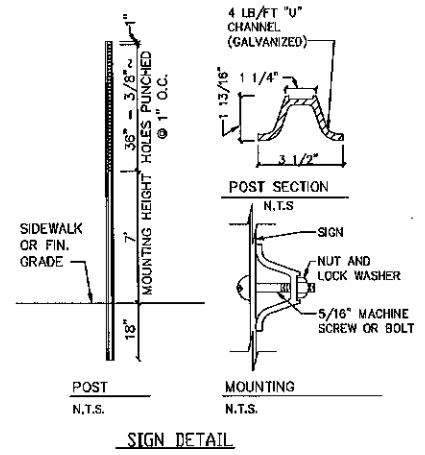
PREPARED FOR:
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



R1-1
WHITE LETTERING
ON RED



REVISIONS:	DATE:
REVISED PER NHDOT COMMENTS	2-18-20

SOUTH ENTRANCE TURNING

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

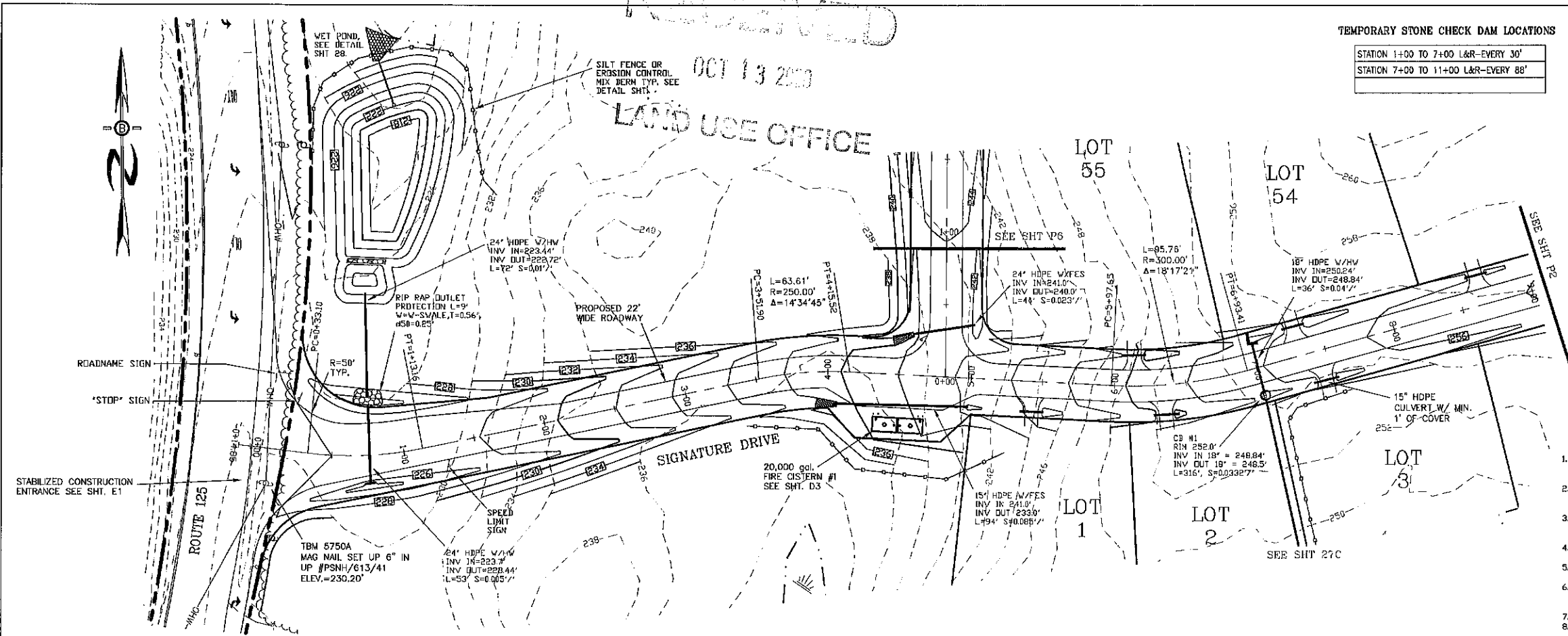
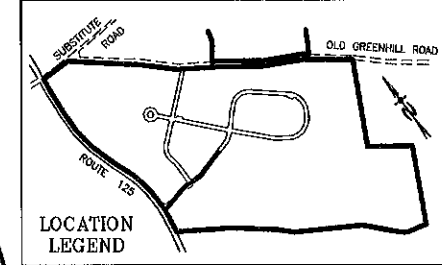
DATE: NOV. 2019	SCALE: 1"=20'
PROJ. NO: NH-1130	SHEET NO. 17 OF 30

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TEMPORARY STONE CHECK DAM LOCATIONS
STATION 1+00 TO 7+00 L&R-EVERY 30'
STATION 7+00 TO 11+00 L&R-EVERY 88'

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
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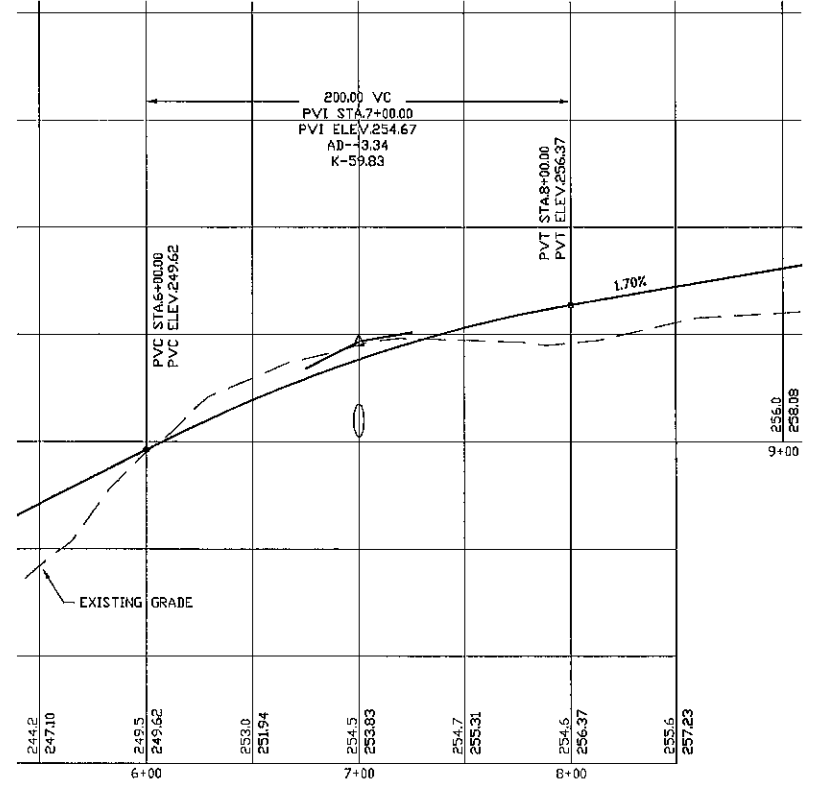
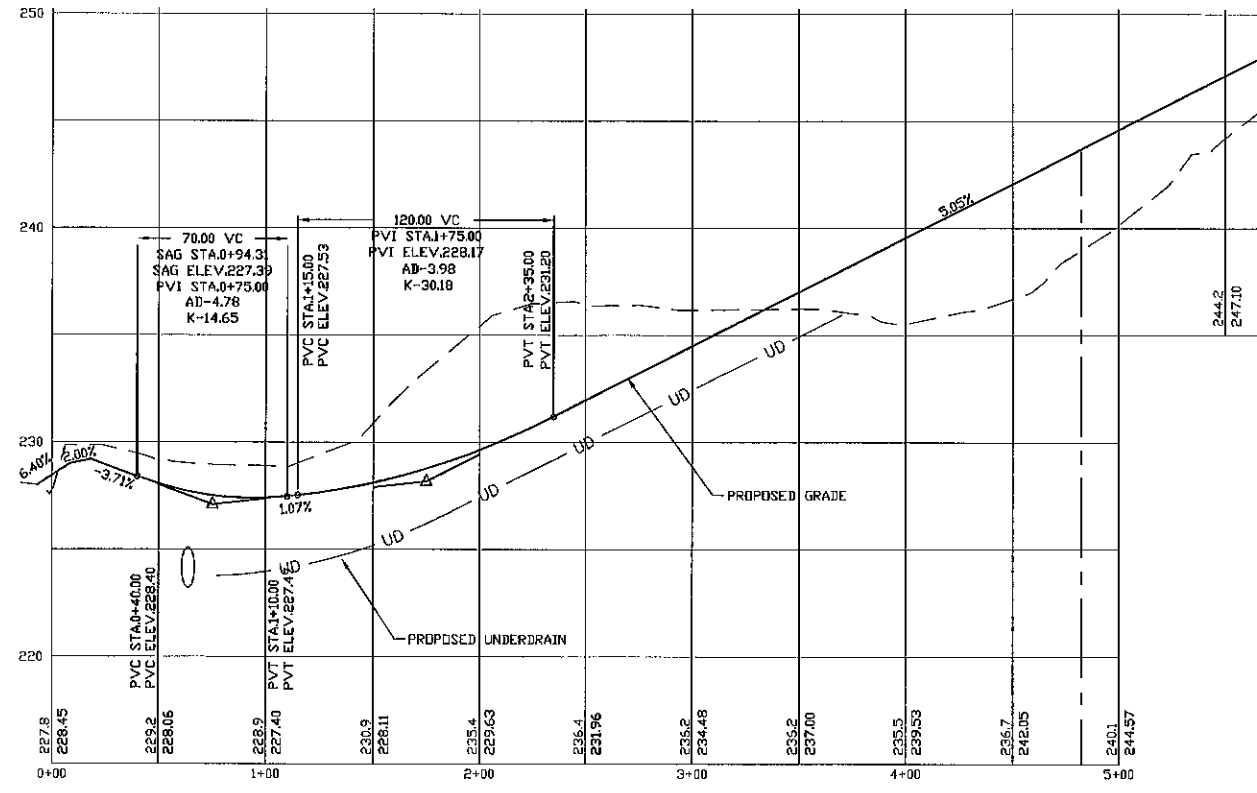


ROADNAME SIGN
"STOP" SIGN
STABILIZED CONSTRUCTION ENTRANCE SEE SHT. E1

- NOTES**
- ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
 - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
 - ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO NHDOT STANDARDS AND REGULATIONS.
 - ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
 - SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 - ALL GROSS CULVERTS & DRIVEWAY CULVERTS TO BE MIN. 15" ADS N-12 AND TO HAVE MASONRY HEADWALLS UNLESS FLARED END SECTIONS ARE SPECIFIED ON THE PLANS.
 - NATURAL VEGETATED FILTER STRIPS ARE TO REMAIN WOODED.
 - ALL SIDE SLOPES STEEPER THAN 3:1 (WETLAND CROSSINGS) TO BE LINED WITH JUTE MATTING.
 - ALL SWALE MATTING WILL EXTEND TO THE LIP OF THE LEVEL SPREADER AT LIP OF THE LEVEL SPREADER AT THE END OF EACH SWALE.
 - ALL PERMANENT EROSION CONTROL SWALE LINING MATERIAL SHALL BE MAG C250 OR EQUIVALENT. ALL OTHER SWALES WILL BE PROTECTED WITH TEMPORARY STONE CHECK DAMS (S.C.D.) UNTIL THE VEGETATION HAS FULLY STABILIZED AT THIS TIME THE S.C.D.'S WILL BE REMOVED.



PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'
40 0 20 40 80 160



REVISED PER NHDOT COMMENTS	6-2-20
REVISED PER NHDOT COMMENTS	4-21-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P1

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

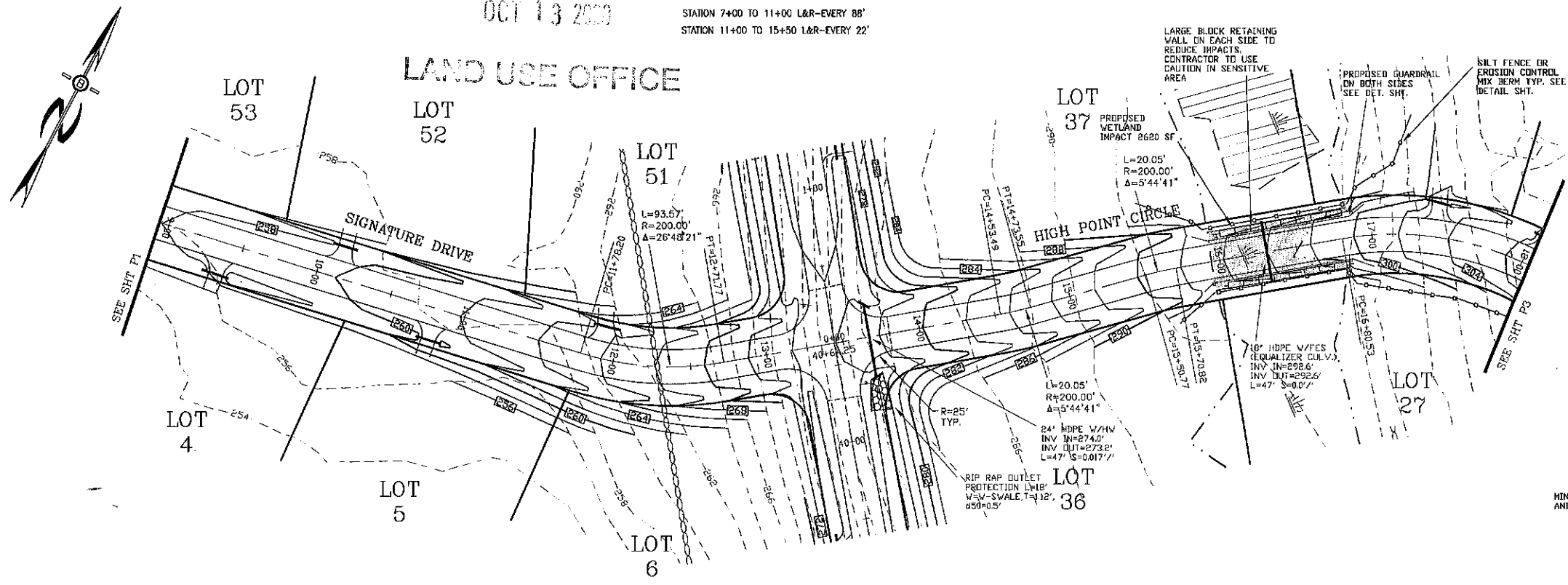
DATE: MAY 2019 SCALE: 1" = 40'
PROJ. NO: NH-1144 SHEET NO. 19 OF 37

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OCT 13 2019

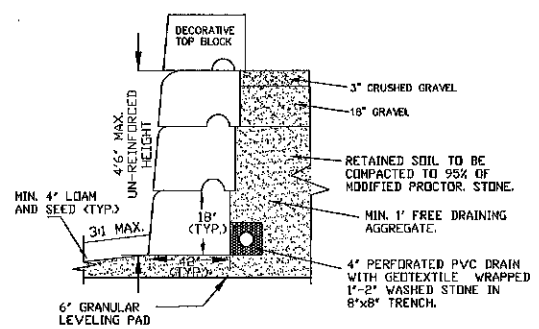
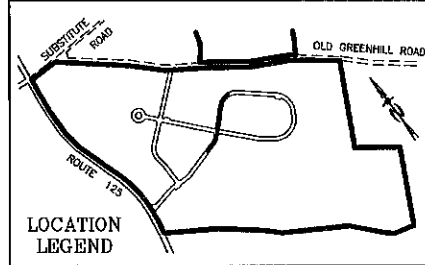
TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 7+00 TO 11+00 L&R-EVERY 86'
 STATION 11+00 TO 15+50 L&R-EVERY 22'

LAND USE OFFICE

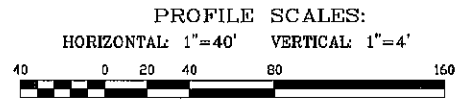
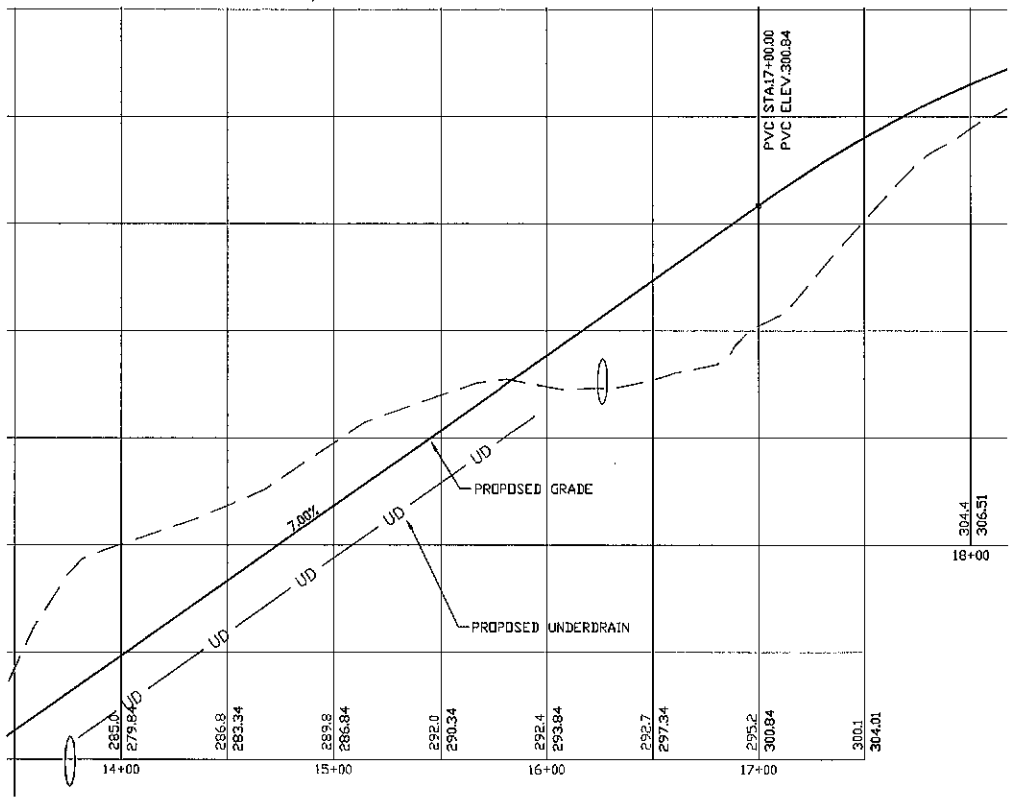
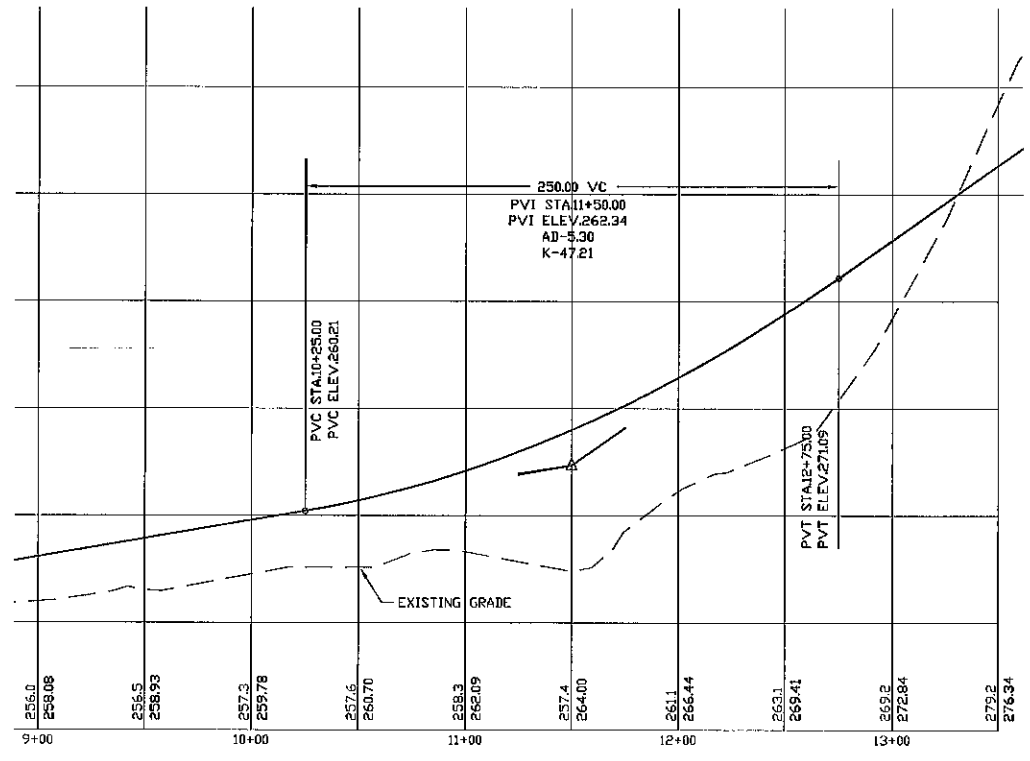


PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



TYPICAL CROSS-SECTION
 "REDI-ROCK" 42" DEEP
 BLOCK RETAINING WALL
 NOT TO SCALE



REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P2

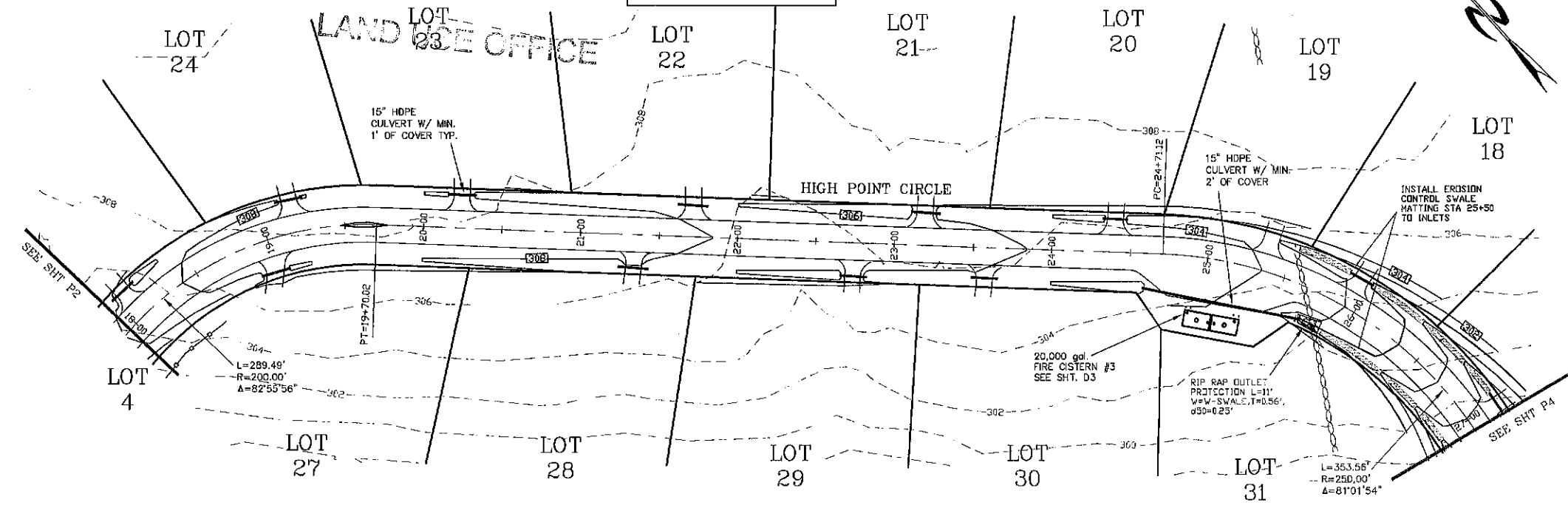
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 20 OF 37

RECEIVED

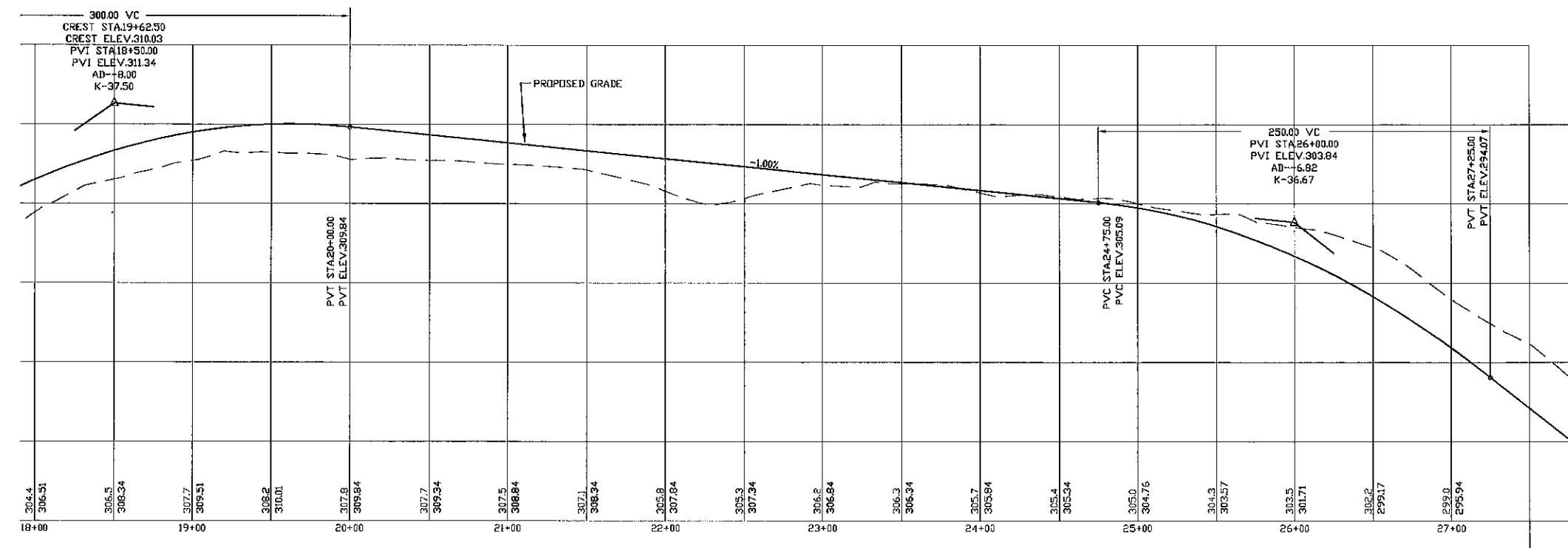
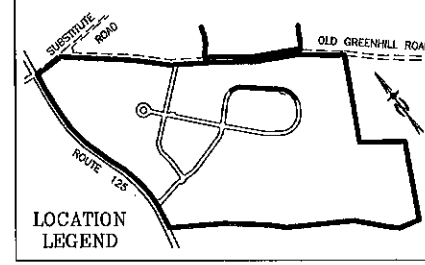
OCT 13 2019

TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 18+00 TO 26+00 L&R - EVERY 150'
 STATION 26+00 TO 32+00 L&R - EVERY 19'



PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

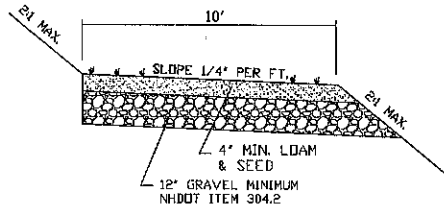
PLAN & PROFILE - P3

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

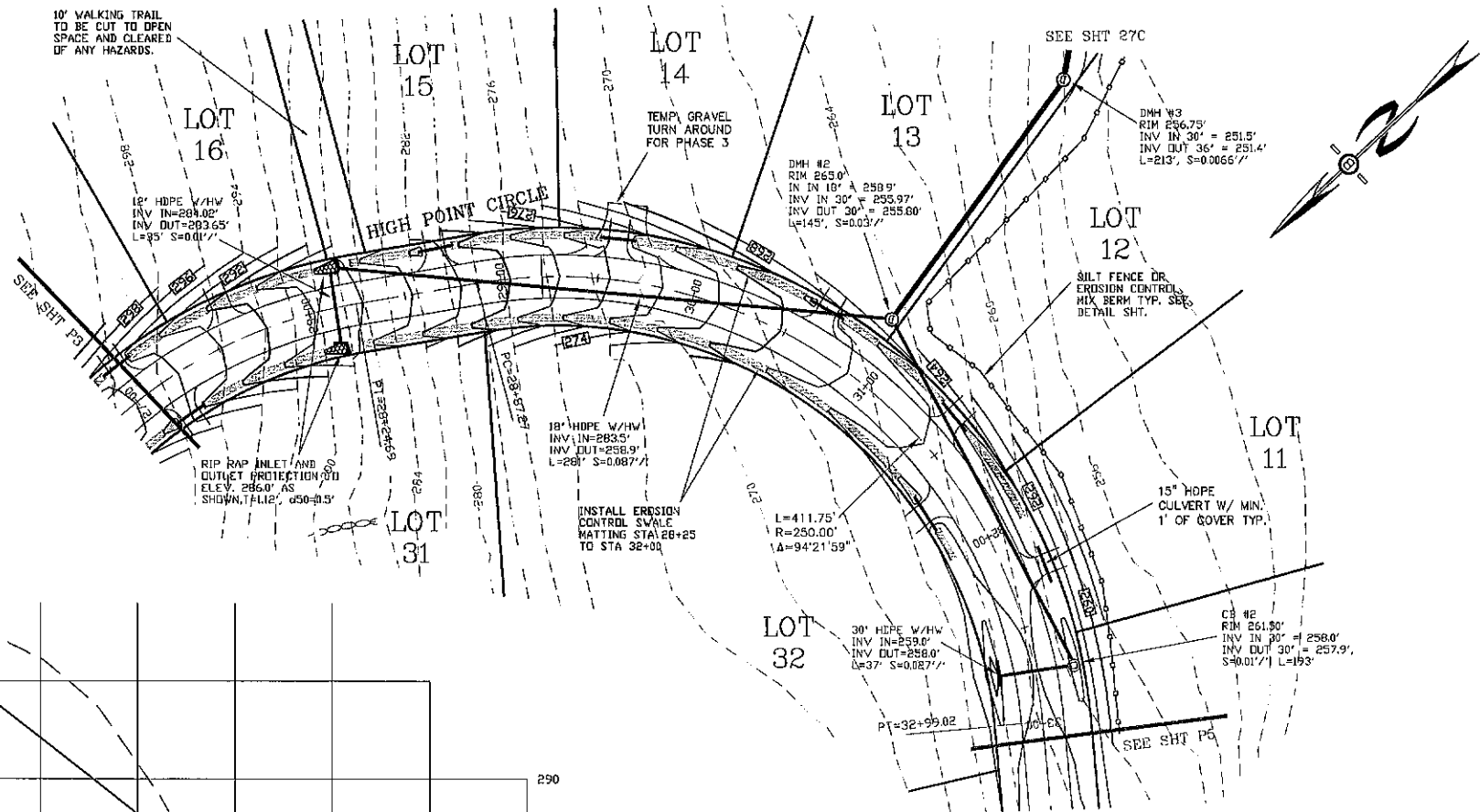
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 21 OF 37

TEMPORARY STONE CHECK DAM LOCATIONS

STATION 26+00 TO 32+00 L&R-EVERY 19'
STATION 32+00 TO 40+00 L&R-EVERY 75'

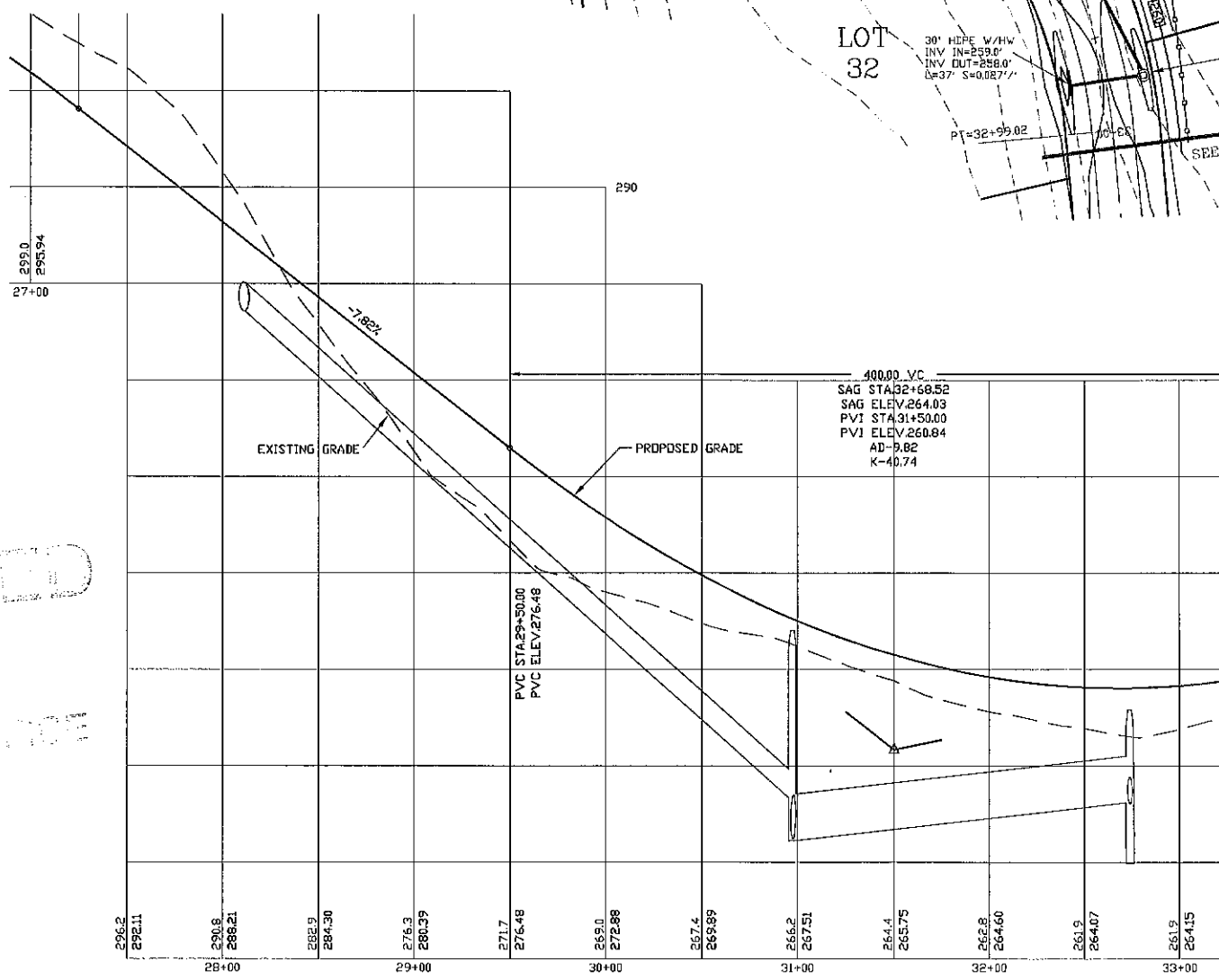
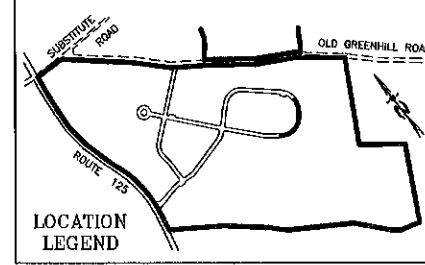


ACCESS TRAIL CROSS SECTION



PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

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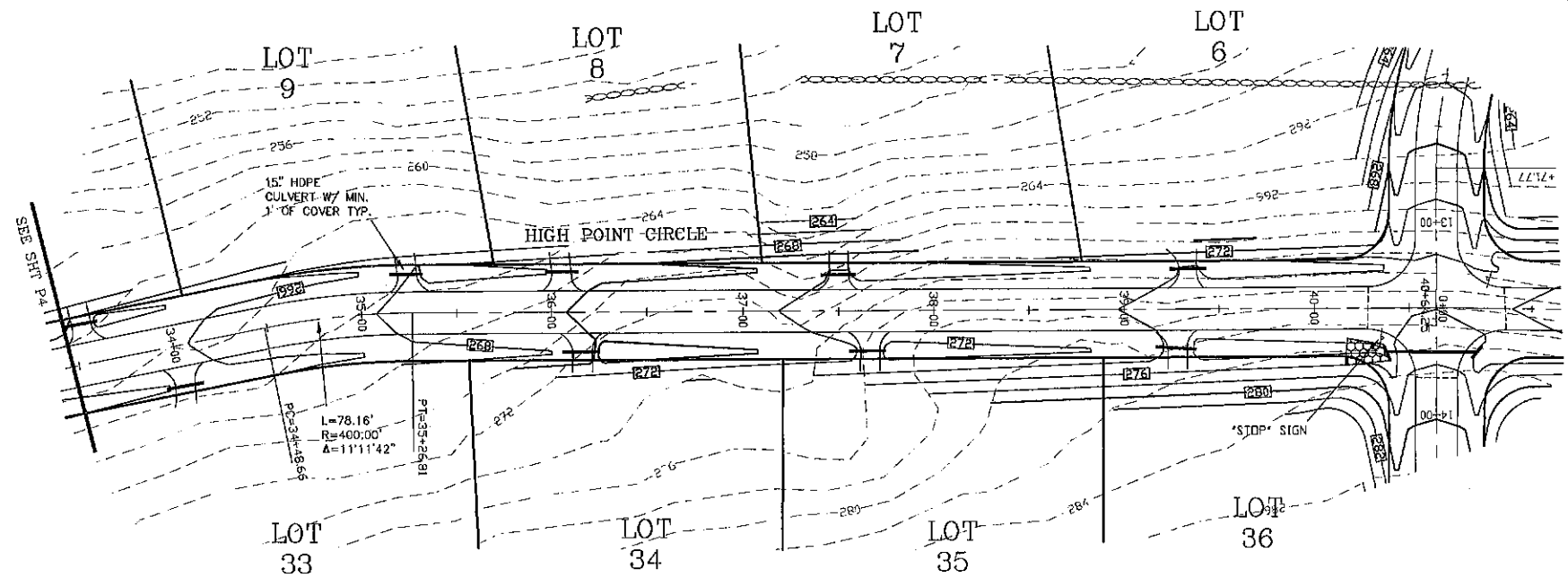
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 OCT 13 2019
 LAND USE OFFICE



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

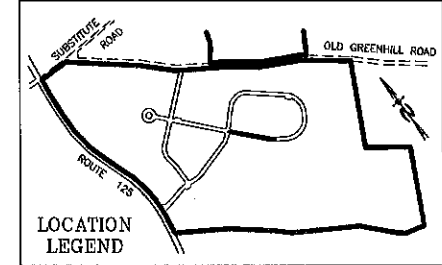
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P4
 PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH
 DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 22 OF 37



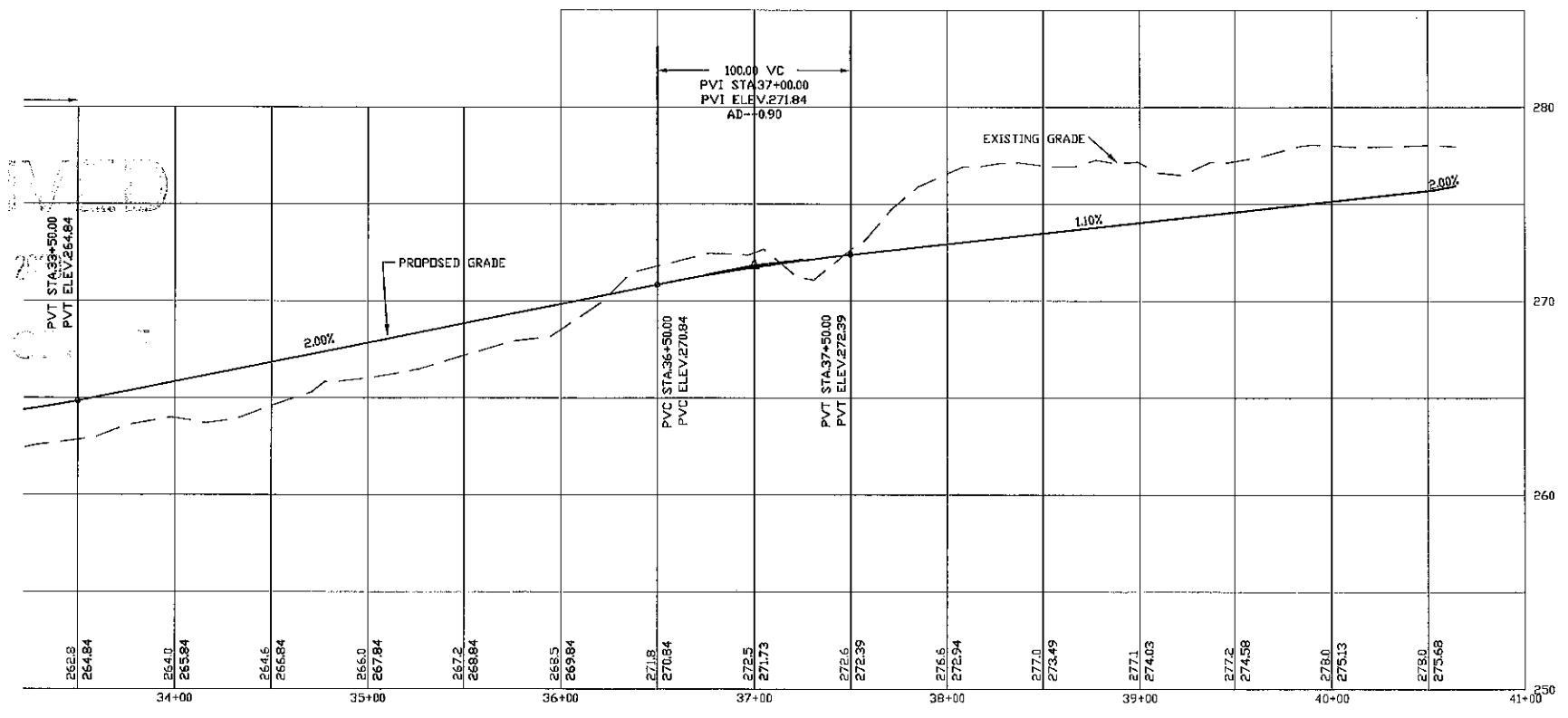
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 73 EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 32+00 TO 40+00 L&R-EVERY 75'

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 OCT 13 2019
 LAND USE COMMISSION



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160

REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19



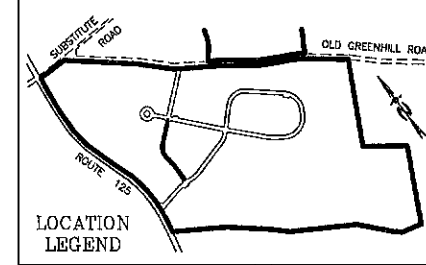
PLAN & PROFILE - P5

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 23 OF 37

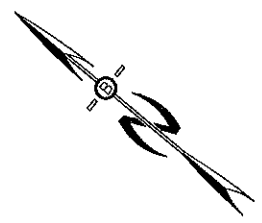
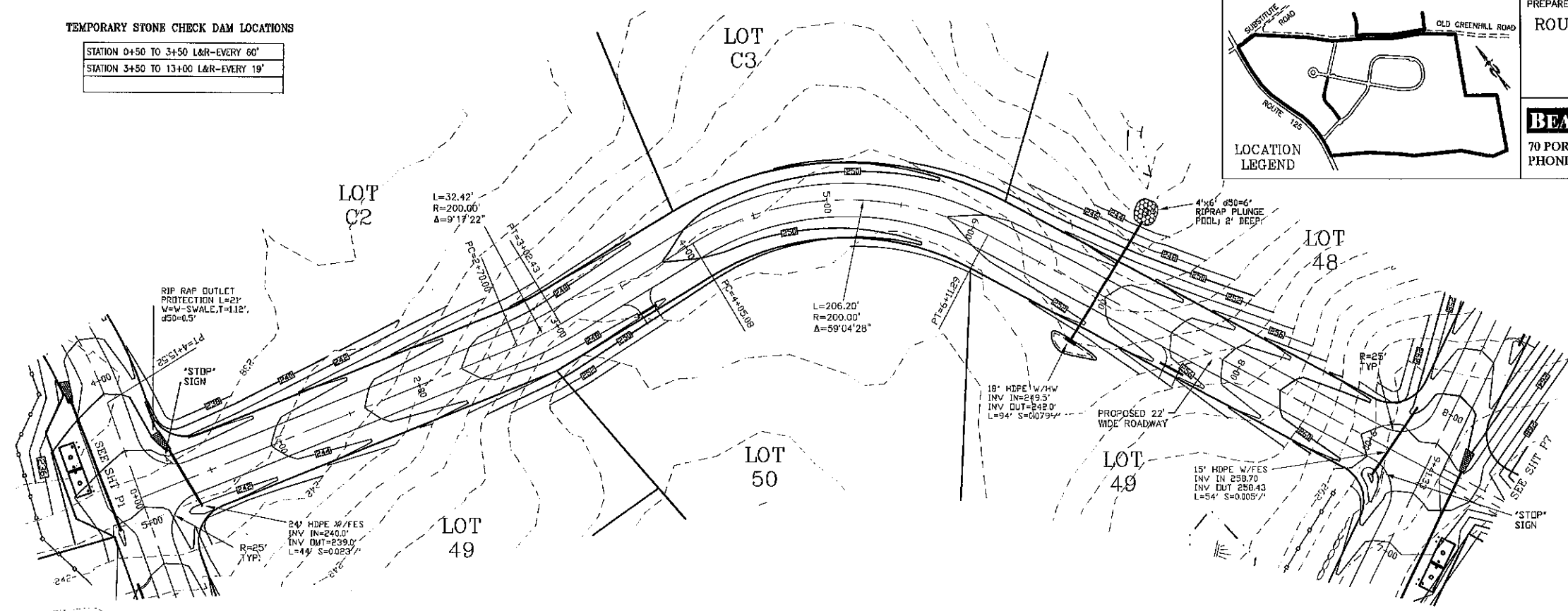
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 0+50 TO 3+50 L&R-EVERY 60'
STATION 3+50 TO 13+00 L&R-EVERY 19'

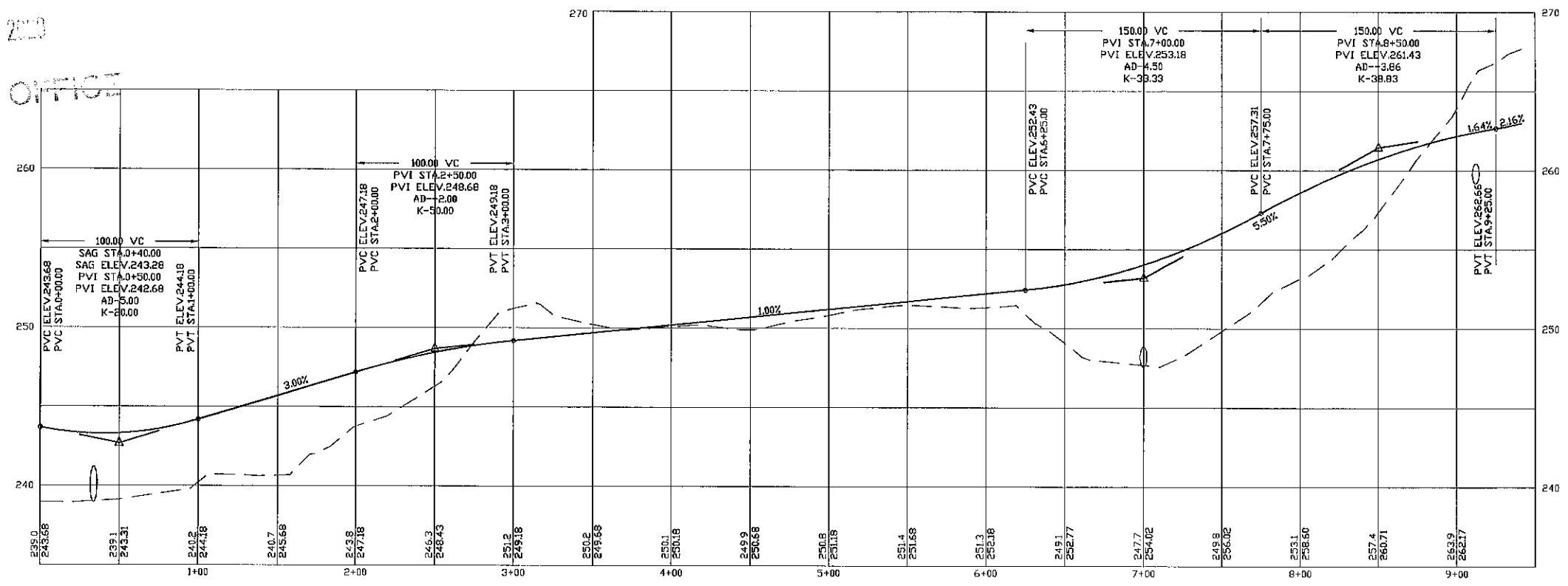


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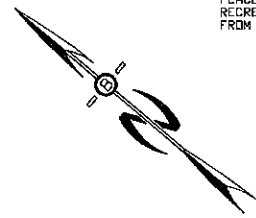


PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

PLAN & PROFILE - P6

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

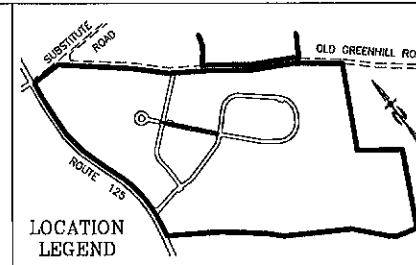
DATE: MARY 2019 SCALE: 1"=40'
 PROJ. NO: NH-1144 SHEET NO. 24 OF 37



LARGE BOULDERS TO BE PLACED TO BLOCK RECREATIONAL VEHICLES FROM ENTERING PROPERTY

TEMPORARY STONE CHECK DAM LOCATIONS

STATION 3+50 TO 13+00 L&R-EVERY 19'
STATION 13+00 TO 18+00 L&R-EVERY 150'



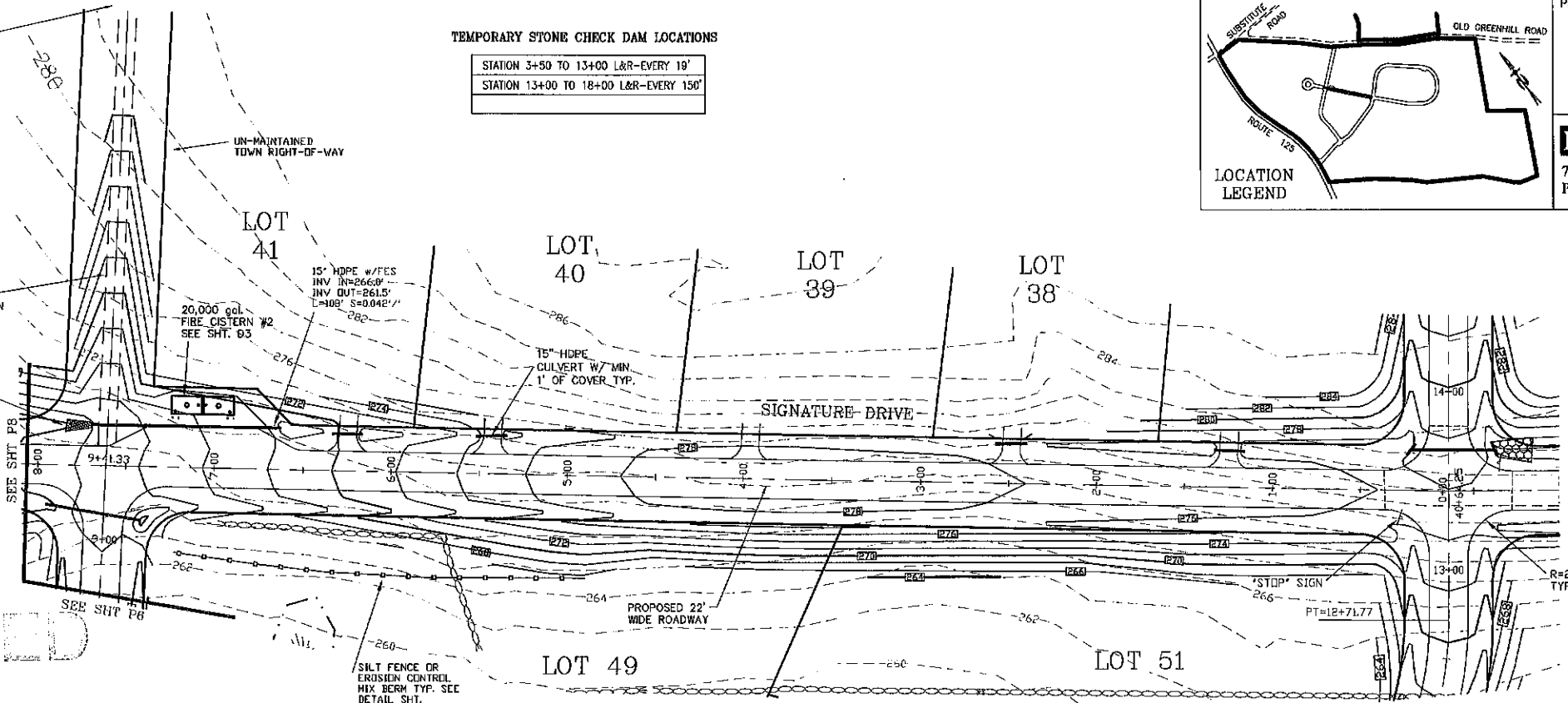
PREPARED FOR:
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STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC

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PROVIDE 6' WIDE GRAVEL WALKING TRAIL TO OLD GREEN HILL ROAD CUT AND CLEARED OF ANY HAZARDS

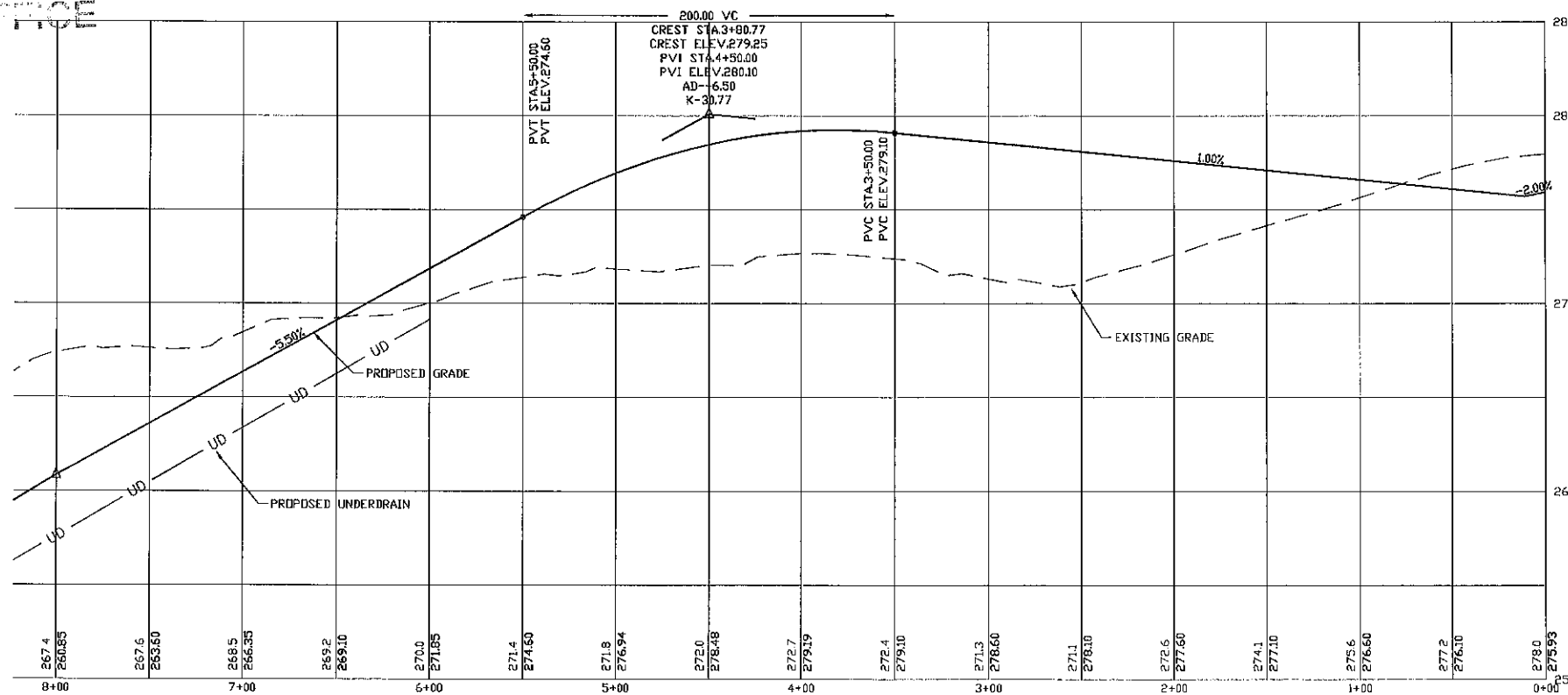
RIP RAP OUTLET PROTECTION L=12', V=W-SWALE, T=0.56', d50=0.25'



RECEIVED

001 13 2019

LAND USE OFFICE



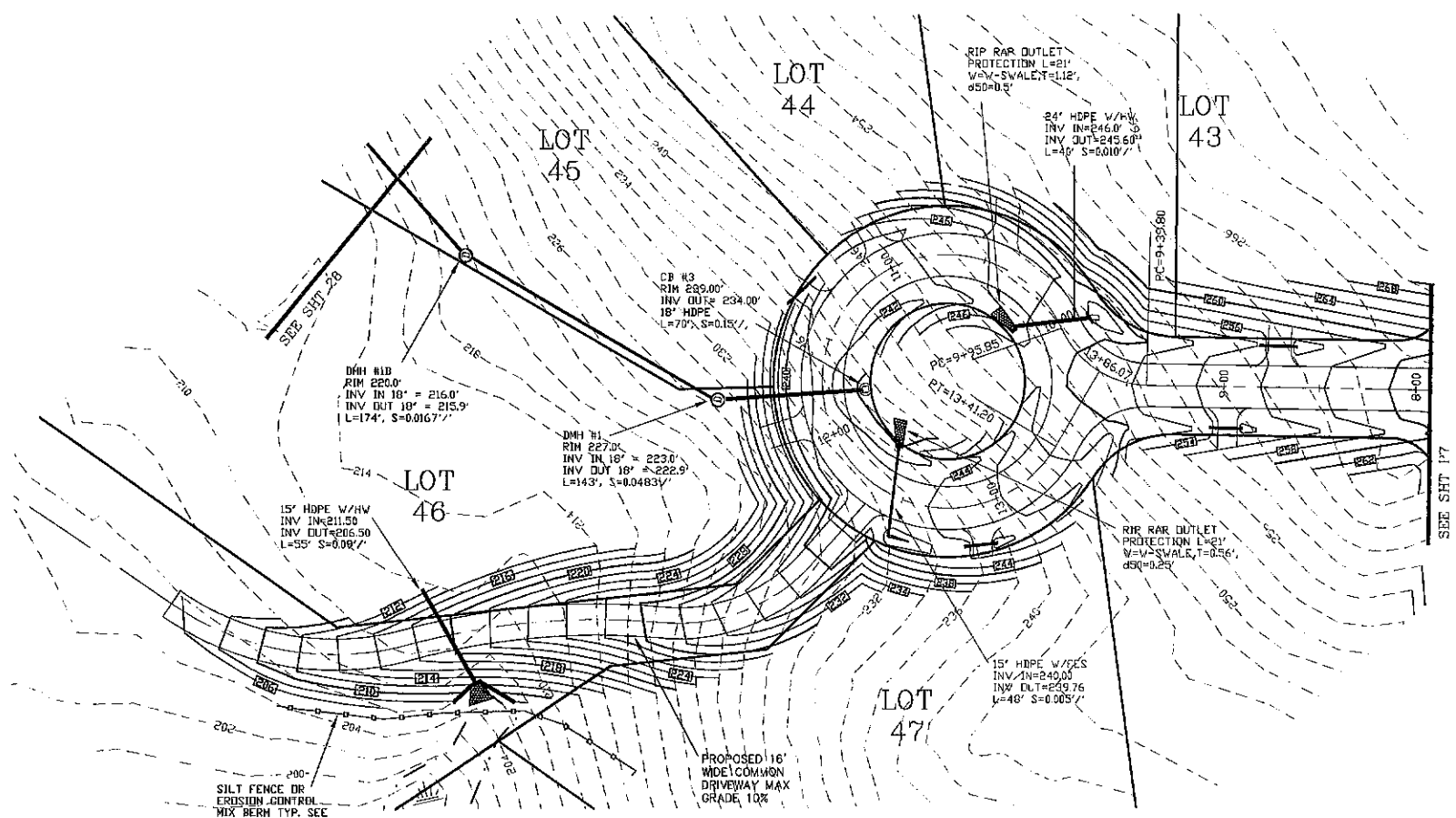
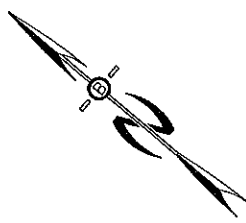
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HORIZONTAL: 1"=40' VERTICAL: 1"=4'
40 0 20 40 80 160

REVISED ACCESS DESIGN	10-8-20
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P7

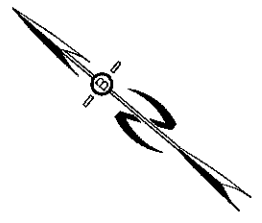
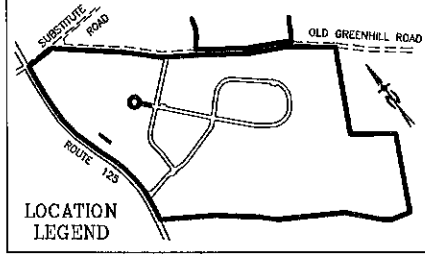
PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 25 OF 37

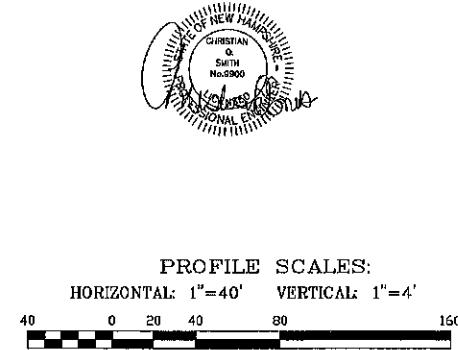
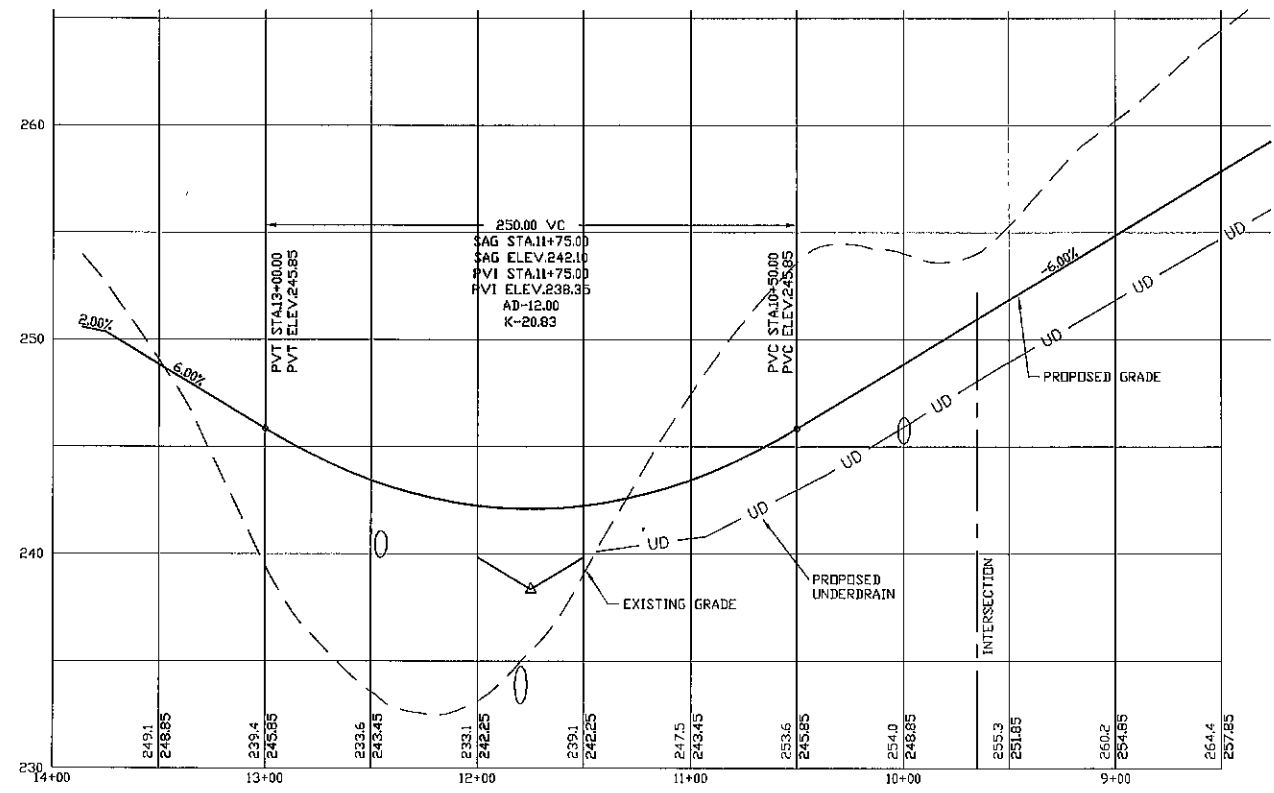


PREPARED FOR:
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 OCT 13 2020
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160

REVISED ACCESS DESIGN	10-5-20
REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	5-20-19
REVISED ROAD GRADES PER PB COMMENTS	5-5-19

PLAN & PROFILE - P8

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

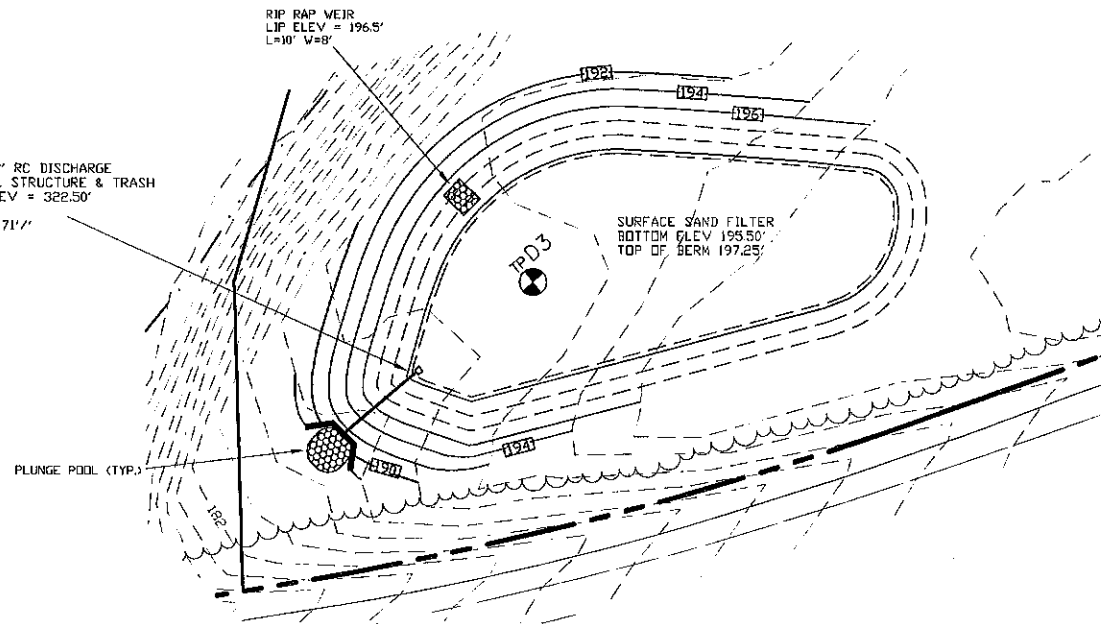
DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 26 OF 37



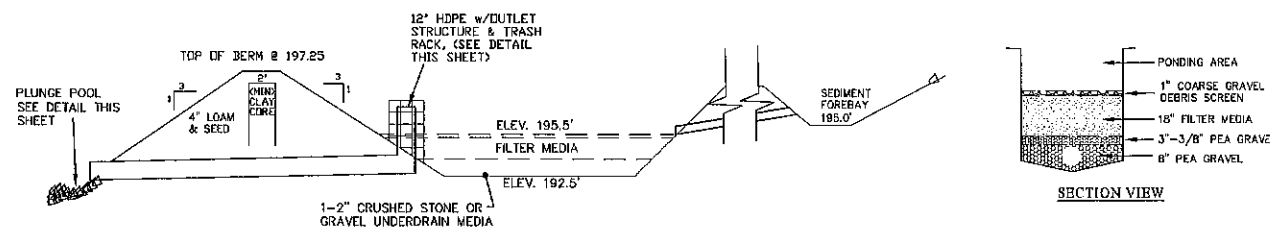
PREPARED FOR:
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 JOSEPH FALZONE
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12" HDPE w/2"x2" RC DISCHARGE
 OUTLET CONTROL STRUCTURE & TRASH
 RACK, GRATE ELEV = 322.50'
 (SEE DETAIL)
 L = 35', S = 0.1711"
 INV IN 192.0'
 INV OUT 186.0'



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 OCT 13 2019
 LAND USE OFFICE



FILL MATERIAL FOR EMBANKMENT SHALL BE TAKEN FROM APPROVED BORROW AREAS. IT SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER (6) INCHES IN DIMENSION, AND NOT MORE THAN FIFTEEN PERCENT (15%) OF THE ROCKS OR LUMPS SHALL BE GREATER THAN 2 1/2 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. FILL MATERIAL SHALL MEET NHDOT ITEM 304.2: 6" PASSING 100%, #4 SIEVE 70-100%, #200 SIEVE 0-12%.

1. THE CORE FOR THE DETENTION BASIN EMBANKMENT SHALL BE CONSTRUCTED OF SILTY CLAY BORROW. THIS MATERIAL SHALL CONTAIN AT LEAST 75% BY WEIGHT PARTICLES PASSING A #200 SIEVE. IT SHALL CONTAIN NO PARTICLES LARGER THAN 3 INCHES. THIS MATERIAL SHALL HAVE A PLASTIC INDEX OF 8 OR GREATER. THE ENTIRE EMBANKMENT AREA SHALL BE STRIPPED OF ALL ORGANIC SOILS PRIOR TO PLACEMENT OF CLAY BORROW. THE CLAY BORROW SHALL BE PLACED IN LIFTS OF 12 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. THE CLAY SHALL BE PLACED AND COMPACTED AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%. NO ORGANIC SOILS OR FROZEN MATERIAL SHALL BE PLACED IN THE CLAY BORROW. MINIMUM CORE THICKNESS SHALL BE (2) FEET.

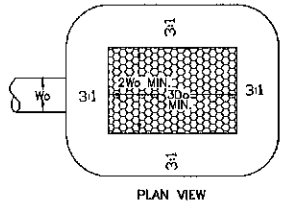
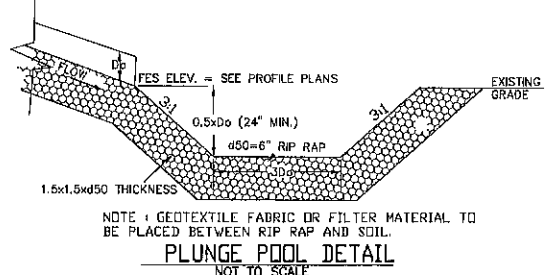
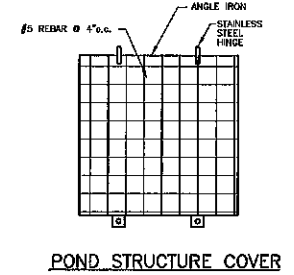
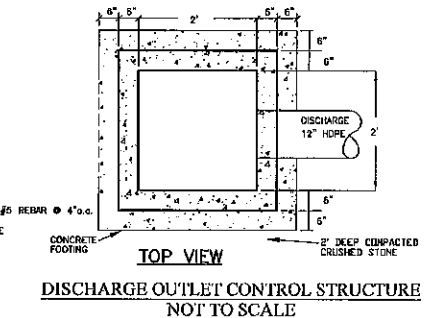
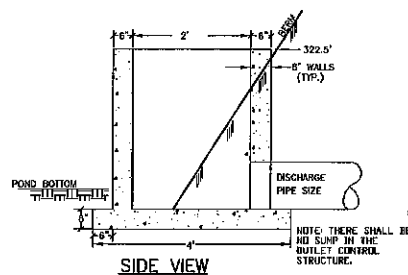
SAND FILTER POND PROFILE
 NTS

NOTES

1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12" O.C.
2. CONCRETE BOX TO BE CONSTRUCTED OR PRE CAST OF EQUAL DIMENSIONS & REINFORCING
3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE, FOR PRE CAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WITH MORTAR BY CONTRACTOR.
5. ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
7. STRUCTURE TO BE PAINTED W/ AN EXTERIOR FOREST GREEN PAINT OR SIMILAR AND SCREENED W/ SHRUBS

LIST OF MATERIALS

1. 5000 PSI CONCRETE
2. ANGLE IRONS @ 2' LENGTH
3. REQUIRED S.S. BOLTS & FASTENERS
4. 1/4" STEEL PLATE W/ DRILLED GRIFICES
5. 1/2 C.Y. - CRUSHED STONE FOR BASE



REVISED ACCESS DESIGN	10-8-20
REVISED PER NHF&G	3-4-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	6-20-19

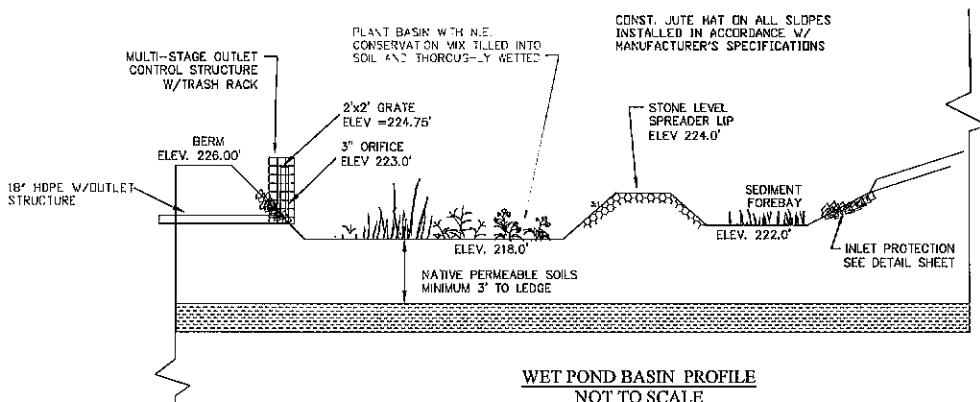
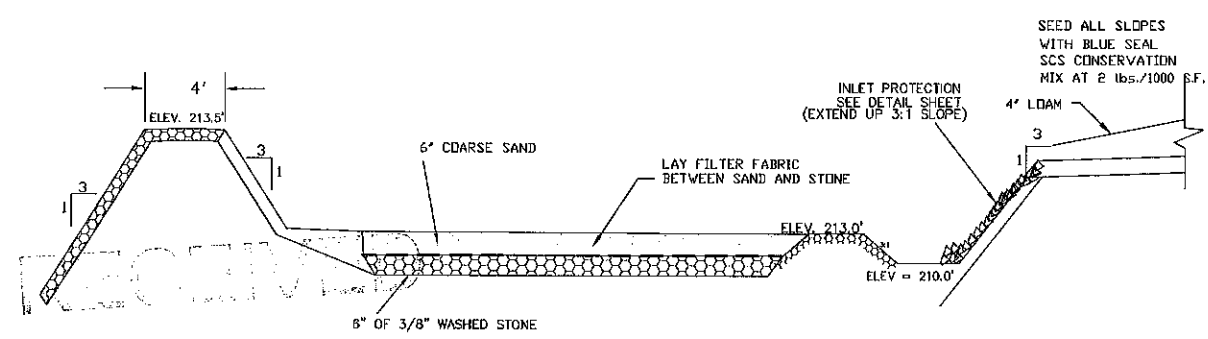
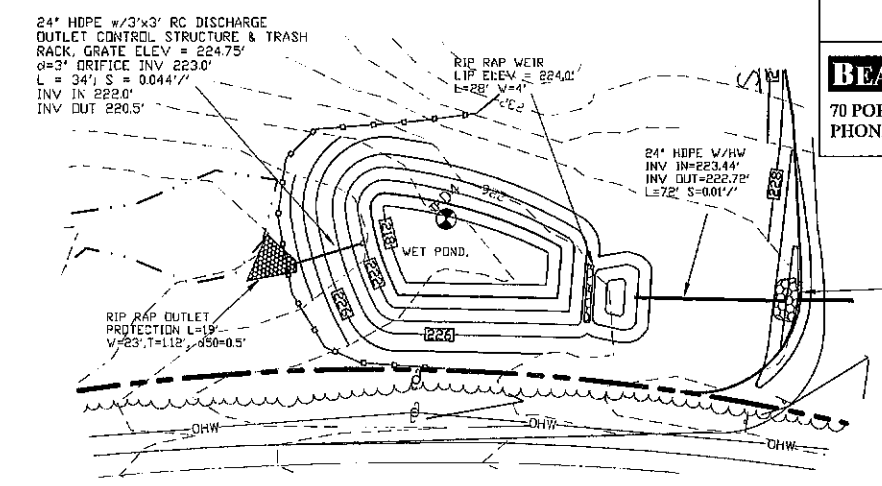
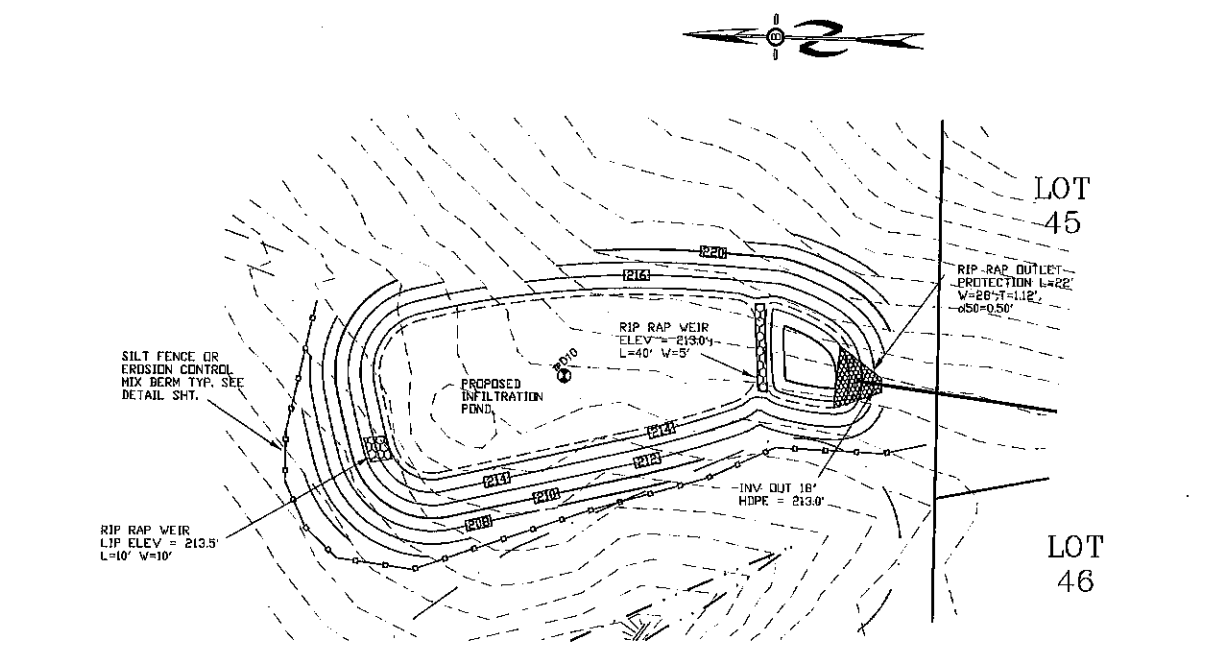
DRAINAGE BASIN PLAN

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 30'
PROJ. NO: NH-1144	SHEET NO. 27 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
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 PHONE: 603-583-4860, FAX: 603-583-4863



CROSS SECTION OF INFILTRATION BASIN

WET POND BASIN PROFILE
 NOT TO SCALE

INFILTRATION BASIN NOTES:

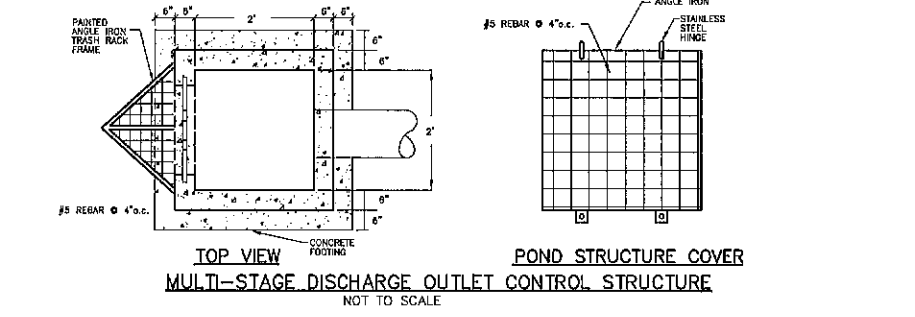
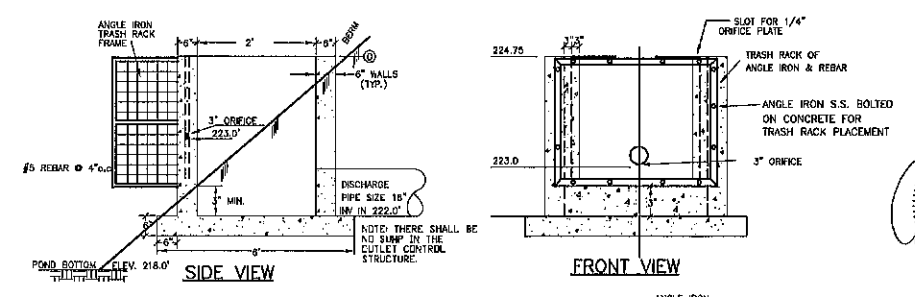
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

- Construction Sequence**
1. Protect Infiltration basin area from compaction prior to installation.
 2. After installation, protect sediment-laden water from entering inlets and pipes.
 3. Install and maintain proper Erosion and Sediment Control Measures during construction.
 4. If necessary, excavate infiltration basin bottom to an uncompacted subgrade free from rocks and debris. Do NOT compact subgrade.
 5. Install Outlet Control Structures.
 6. Seed and stabilize topsoil. (Vegetate if appropriate with native plantings.)
 7. Do not remove Inlet Protection or other Erosion and Sediment Control measures until site is fully stabilized.
 8. Any sediment that enters inlets during construction is to be removed within 24 hours.

- Maintenance and Inspection**
- Catch Basins and Inlets (upgradient of infiltration basin) should be inspected and cleaned on an annual basis.
 - The vegetation along the surface of the infiltration basin should be maintained in good condition, and any bare spots immediately revegetated.
 - Vehicles should not be parked or driven on an infiltration basin, and care should be taken to avoid excessive compaction by mowers.
 - Inspect the completed basin and make sure that runoff drains down within 72 hours.
 - Also inspect for accumulation of sediment, damage to outlet control structures, erosion control measures, signs of water contamination/spills, and slope stability in the berms.
 - Mosquito's should not be a problem if the water drains in 72 hours. Mosquitoes require a considerably long breeding period with relatively static water levels.
 - Mow only as appropriate for vegetative cover species.
 - Remove sediment from basin accumulations. Restore original cross section and infiltration rate. Properly dispose of sediment.

- PLANTING NOTES:**
 WETLAND PLANTINGS SHOULD INCLUDE:
1. GROUND COVER (SEWAGE, LINDRUSH, BLUEBERRY, ETC.)
 2. LOW GROWING SHRUBS (RED OSIER DOGWOOD, WINTERBERRY OR SIMILAR) PLANTED NO CLOSER THAN 10' ON CENTER.

- NOTES**
1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12" O.C.
 2. CONCRETE BOX TO BE CONSTRUCTED OR PRE CAST OF EQUAL DIMENSIONS & REINFORCING
 3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE, FOR PRE CAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WITH MORTAR BY CONTRACTOR.
 5. ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
 6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
 7. STRUCTURE TO BE PAINTED W/ AN EXTERIOR FOREST GREEN PAINT OR SIMILAR AND SCREENED W/ SHRUBS



TOP VIEW
 MULTI-STAGE DISCHARGE OUTLET CONTROL STRUCTURE
 NOT TO SCALE



REVISED ACCESS DESIGN	10-8-20
REVISED PER NH&G	3-4-20
REVISED PER NHDOT COMMENTS	2-18-20
REVISED PER REVIEW COMMENTS	8-20-19

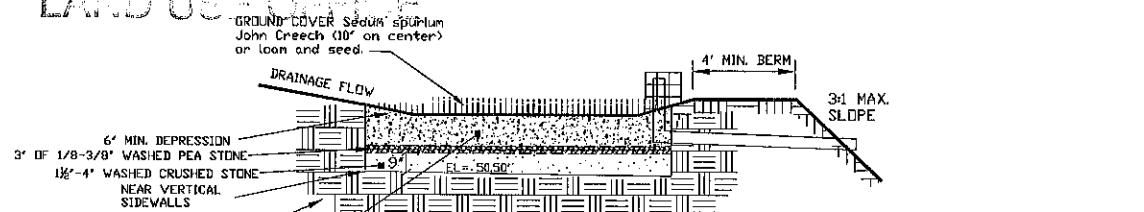
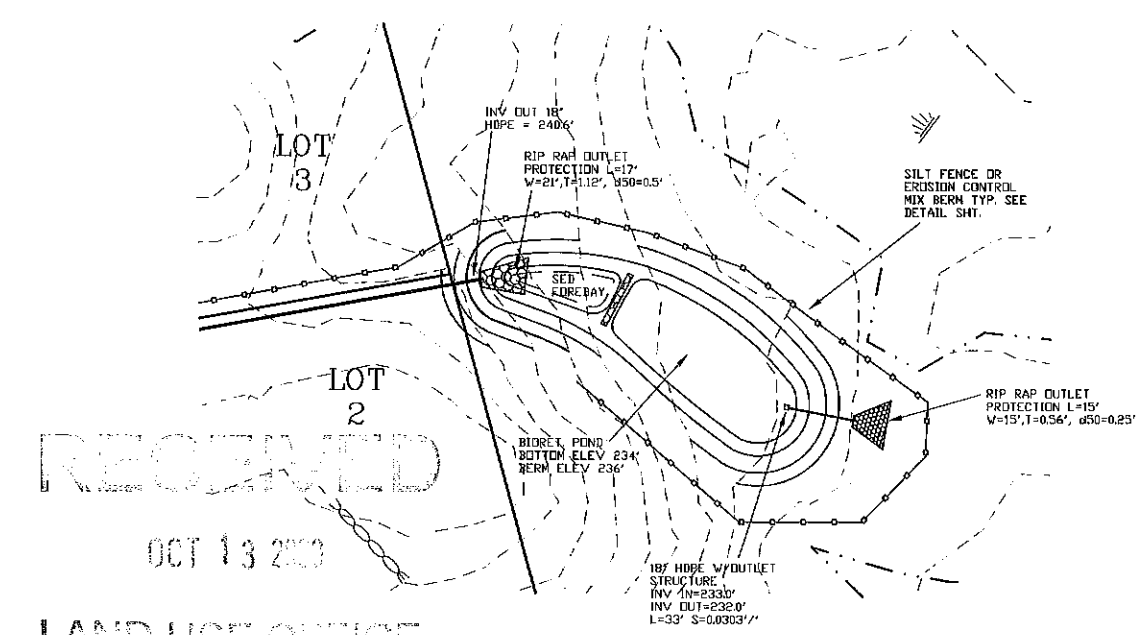
DRAINAGE BASIN PLAN

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 28 OF 37

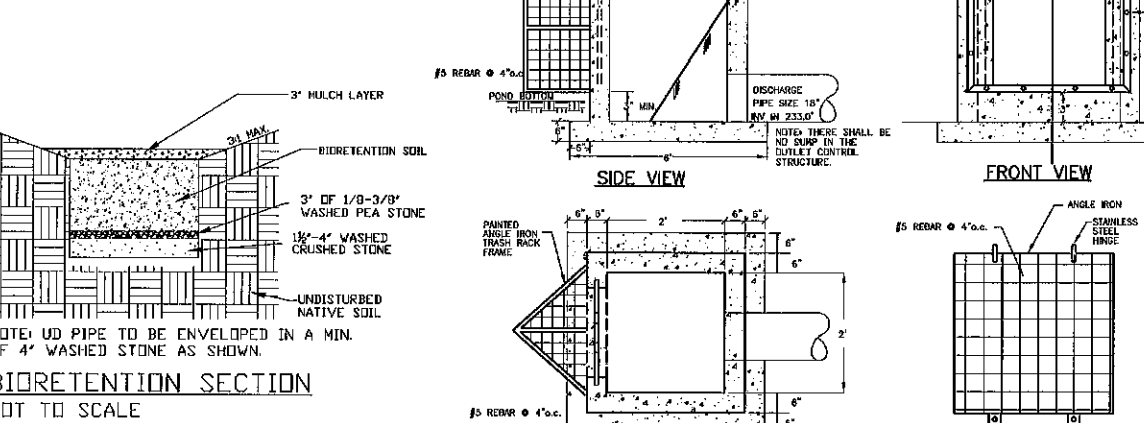
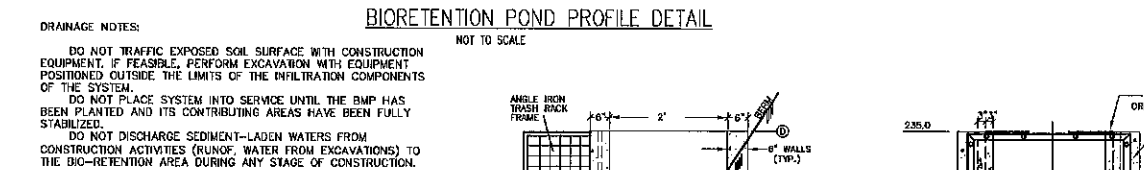
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
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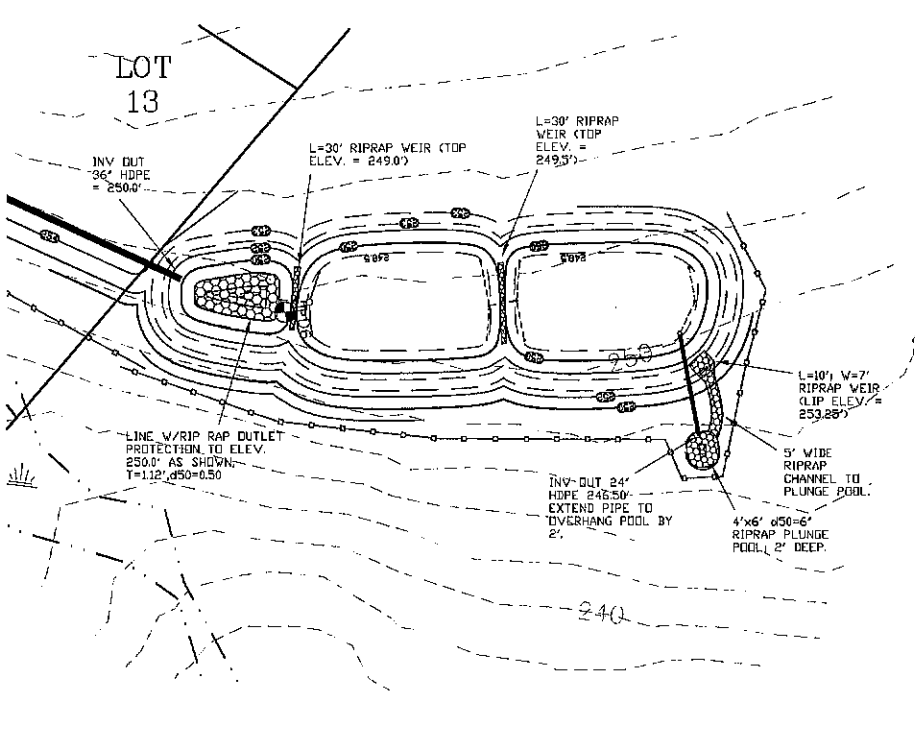


24" FILTER MEDIA MIXTURE 20% COMPOST/FINELY SHREDDED BARK OR WOOD MULCH W/C/SK PASSING THE #200 SEIVE, 30% LOAMY TOPSOIL, 50% SANDY SOIL. SAND FORTION SHALL BE ASTM C33 FINE AGGREGATE.

NOTES:
 1. SCARIFY SIDES AND BOTTOM OF BIORETENTION AREA TO FACILITATE NATURAL INFILTRATION RATES.
 2. POND SURFACE TO BE FINISHED WITH 3" BARK MULCH OR 4" LOAM & SEED

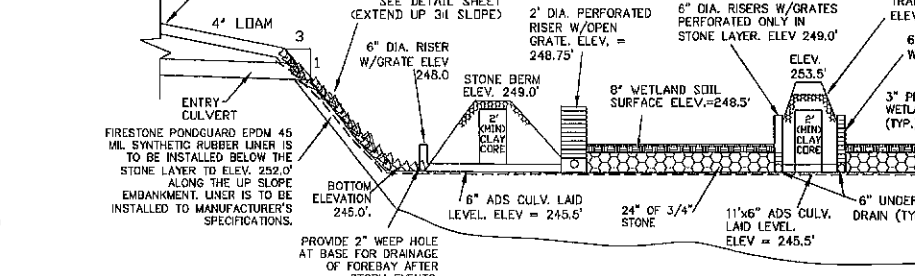


BIORETENTION SECTION
 NOT TO SCALE

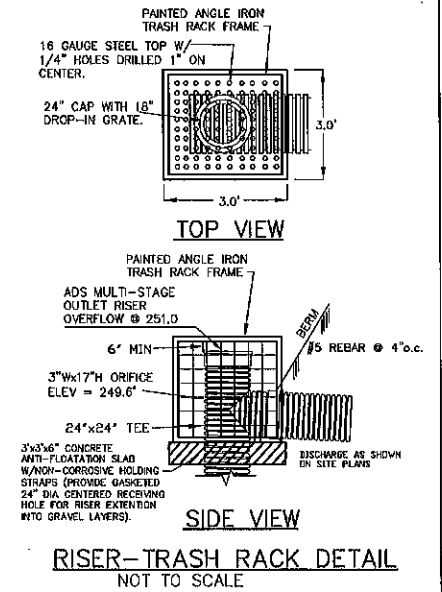
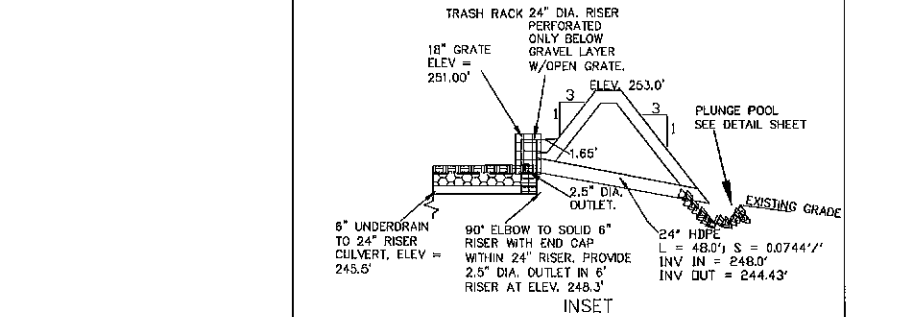


SEED ALL SLOPES WITH BLUE SEAL SCS CONSERVATION MIX AT 2 lbs./1000 SF.

NOTE: BAYS TO BE SEED WITH N.E. CONSERVATION MIX.



NOTE: UP PIPE TO BE ENVELOPED IN A MIN. OF 4" WASHED STONE AS SHOWN.



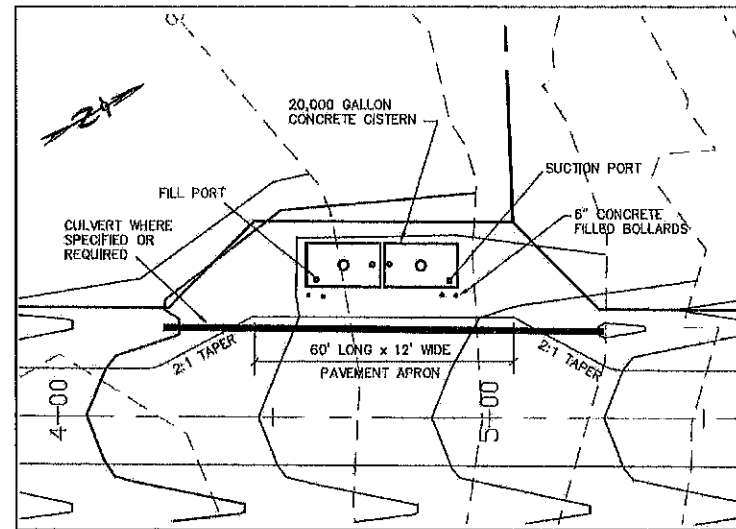
REVISED PER NH&G	3-4-20
REVISED PER REVIEW COMMENTS	6-20-19
DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 29 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
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 7B EMERY LANE
 STRATHAM, N.H. 03885

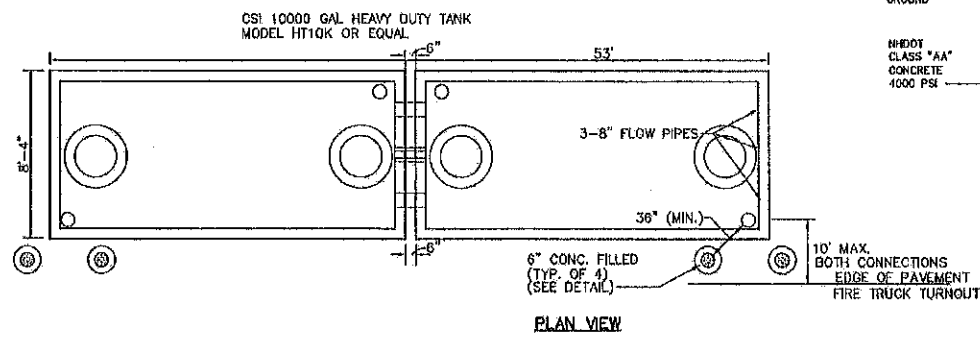
BEALS ASSOCIATES PLLC
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 PHONE: 603-583-4860, FAX: 603-583-4863

CISTERN SPECIFICATIONS

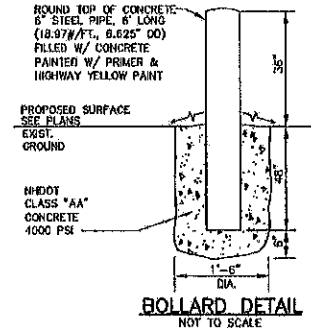
1. THE CISTERN SHALL BE DESIGNED TO BE TROUBLE FREE, AND IT SHALL BE DESIGNED TO LAST 50 YEARS.
2. THE MINIMUM CAPACITY SHALL BE 20,000 GALLONS. DEPENDING ON THE DEVELOPMENT LAYOUT/CONFIGURATION, ADDITIONAL GALLON REQUIREMENTS MAY BE IMPOSED AT THE DISCRETION OF THE FIRE CHIEF. ALL EXCEPTIONS, ADDITIONS, OR DELETIONS WILL BE IN WRITING.
3. THE SUCTION CAPACITY SHALL BE CAPABLE OF DELIVERING 1,000 GALLONS PER MINUTE (GPM) FOR THREE-QUARTERS OF THE CISTERN CAPACITY.
4. THE ENTIRE CISTERN AND APPURTENANCES SHALL BE RATED FOR HS-20 HIGHWAY LOADING.
5. DRAWINGS OF THE DESIGN ARE FOR ESTIMATING GENERAL REQUIREMENT AND DESIGN PURPOSES ONLY AND ARE NOT INTENDED FOR USE AS DESIGN.
6. EACH CISTERN SHALL BE DESIGNED, SITED TO THE PARTICULAR LOCATION, STAMPED BY A REGISTERED ENGINEER, AND APPROVED BY THE FIRE CHIEF.
7. ALL SUCTION AND FILL PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 40 STEEL. ALL VENT PIPING SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LEADING FROM THE TANK TO THE HYDRANT SHALL BE ASTM SCHEDULE 40 STEEL.
8. THE FINAL SUCTION CONNECTION SHALL BE FIVE INCH PUMPER NOZZLE WITH A CAP. THE SUCTION PIPE SHALL BE BRACED TO ENSURE DURABILITY DURING PUMPING OPERATIONS. THE FIRE CHIEF SHALL APPROVE BRACE CONFIGURATION AND INSTALLATION. THE SUCTION PIPE CONNECTION SHALL BE TWENTY-FOUR INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
9. THE FILLER CONNECTION SHALL BE 4" MALE STEEL STORZ FITTING. THIS FITTING SHALL BE 24" ABOVE FINISH GRADE AND FACE THE ROAD. A THIRTY-TWO INCH DIAMETER MANHOLE WITH COVER WILL BE LOCATED ON TOP OF THE CISTERN. THE CONFIGURATION OF THIS MANHOLE SHALL ALLOW THE UNIT TO BE SECURED WITH TWO PADLOCKS AND SHALL BE APPROVED BY THE FIRE CHIEF. THE PADLOCKS WILL BE SUPPLIED BY THE FIRE DEPARTMENT.
10. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE PUMPER CONNECTION SHALL NOT EXCEED FOURTEEN FEET VERTICAL.
11. ALL HORIZONTAL SUCTION PIPING SHALL SLOPE SLIGHTLY UPHILL TOWARD THE PUMPER CONNECTION.
12. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE INCHES OF 3/4" TO 1 1/2" WASHED PEA STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE. OVER EXCAVATION SHALL BE FILLED WITH THE SAME STONE BEDDING MATERIAL.
13. ALL BACKFILL MATERIALS SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN SIX INCHES AND SHALL BE COMPACTED TO 95 PERCENT OF ITS ORIGINAL VOLUME IN ACCORDANCE WITH ASTM D 1557. 16. THE TOP OF CISTERN SHALL BE INSULATED WITH VERMIN RESISTANT FOAM INSULATION AND TWO FEET OF BACKFILL WITH A MINIMUM WEIGHT OF 120 PCF, COMPACTED. FOAM USED FOR THIS INSTALLATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R=5 PER INCH. ALL BACKFILL SHALL EXTEND TEN FEET BEYOND THE EDGE OF THE VEHICLE PAD AND THEN HAVE A MAXIMUM OF 3:1 SLOPE, LOAM AND SEEDED.
14. BEFORE ANY BACKFILLING IS DONE THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BY THE FIRE CHIEF.
15. AFTER BACKFILLING, BOLLARDS OR LARGE STONES SHALL BE PLACED TO PROTECT THE TANK AND APPURTENANCES.
16. THE PITCH OF THE SHOULDER AND VEHICLE PAD FROM THE EDGE OF THE PAVEMENT TO THE PUMPER SUCTION CONNECTION SHALL BE ONE PERCENT TO THREE PERCENT DOWNGRADE.
17. THE SHOULDER AND VEHICLE PAD SHALL BE OF A SUFFICIENT LENGTH TO ALLOW CONVENIENT ACCESS TO THE SUCTION CONNECTION WHEN THE PUMPER IS SET AT 45 DEGREES TO THE ROAD. THE SHOULDER AND VEHICLE PAD SECTION SHALL CONSIST OF 3" BITUMINOUS PAVING, REFER TO SITE PLAN FOR REQUIREMENTS.
18. THE SUCTION FITTING SHALL BE LOCATED BETWEEN 22 AND 24 FEET FROM THE NEAREST RUNNING EDGE OF ROAD PAVEMENT. TWO CONCRETE FILLED STEEL BOLLARDS SHALL BE PLACED IN A MANNER TO PROTECT THE HYDRANT. THE BASE OF THESE BOLLARDS SHALL EXTEND BELOW THE FROST LINE. THE UPPER PORTION OF THE BOLLARDS SHALL EXTEND THIRTY SIX INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
19. ALL CONSTRUCTION, BACKFILL, AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND SHALL BE ACCEPTABLE TO THE FIRE CHIEF.
20. THE FIRE CHIEF (OR REPRESENTATIVE) AND THE ENGINEER'S INSPECTOR WILL BE NOTIFIED BY THE CONTRACTOR TO OBSERVE THE FOLLOWING POINTS OF INSTALLATION:
 - A. EXCAVATION COMPLETE.
 - B. CRUSHED STONE INSTALLED AND COMPACTED.
 - C. BACKFILLING COMPLETE PRIOR TO PLACEMENT OF INSULATION.
 - D. PLACEMENT OF INSULATION.
 - E. START AND FINISH OF LEAKAGE TEST.
 - F. PIPING MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
 - G. ALL BACKFILLING LOAM, SEED, ETC. COMPLETE WITH TURNOUT GRAVEL IN PLACE AND GRADED.
 - H. PAVEMENT COMPLETE, AND ALL OTHER WORK 100% COMPLETE.
21. THE FIRE CHIEF SHALL BE NOTIFIED OF THE DATE THAT SITE WORK IS TO BEGIN.
22. ANY EXCEPTION, ADDITIONS, OR DELETIONS ARE DATED AND NOTED BELOW.
23. CONCRETE MUST HAVE A MINIMUM OF 150 PCF.
24. STONE AND GRAVEL BACKFILL MUST HAVE A MINIMUM OF 120 PCF.



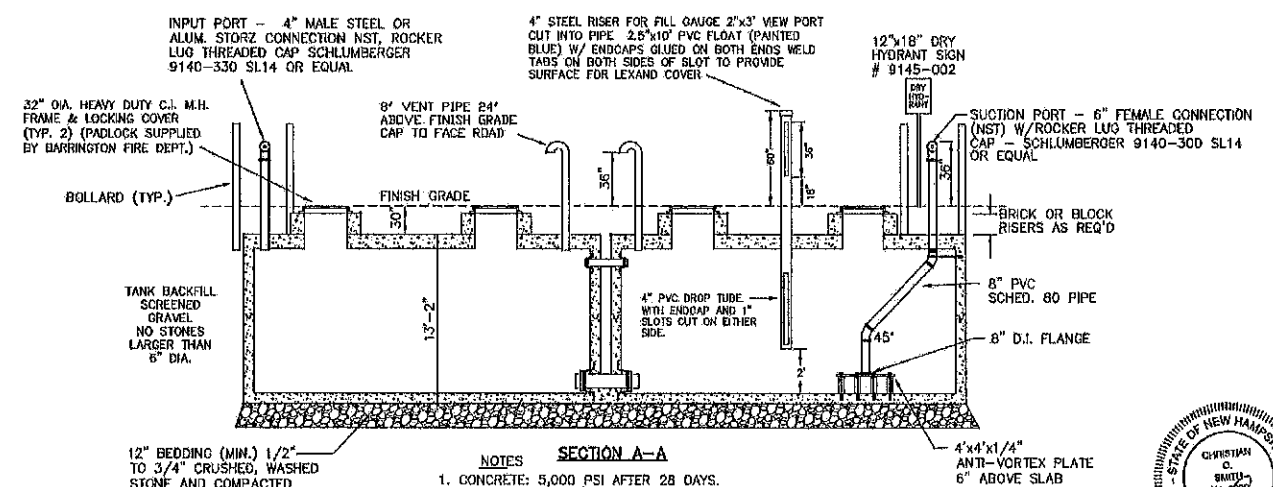
TYPICAL CISTERN PLAN
1" = 20'



PLAN VIEW



BOLLARD DETAIL
NOT TO SCALE

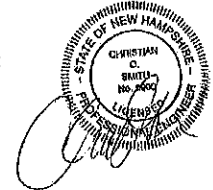


NOTES SECTION A-A

1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
2. REINFORCED FOR H-20 LOADING.
3. JOINTS SEALED WATER TIGHT.
4. ALL BELOW GRADE EXTERIOR SURFACES OF THE TANK SHALL BE COATED WITH KOL-TAR'S BLACK SHIELD ASPHALT COATING, OR APPROVED EQUAL.
5. CISTERN INSTALLATION MUST CONFORM WITH ALL LOCAL FIRE DEPARTMENT REQUIREMENTS.

PROPOSED 20,000 GAL. FIRE CISTERN DETAIL
NOT TO SCALE

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REVISIONS:	DATE:
CISTERN DETAIL SHEET - D3	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: AS NOTED
PROJ. NO: NH-1144	SHEET NO. 30 OF 37

STONE BERM LEVEL SPREADER

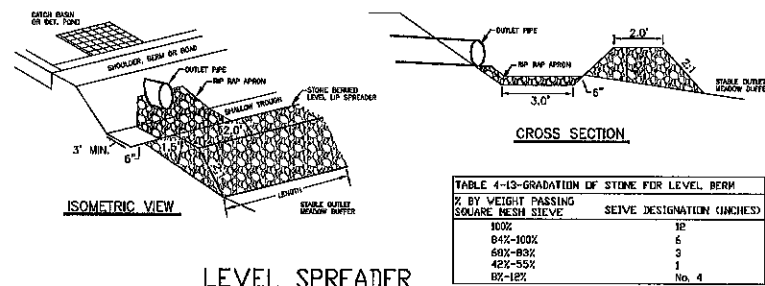
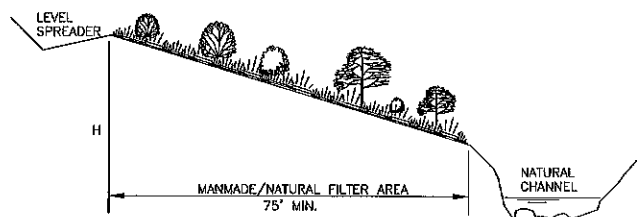


TABLE 4-13-GRADATION OF STONE FOR LEVEL BERM

% BY WEIGHT PASSING SQUARE MESH SIEVE	SIEVE DESIGNATION (INCHES)
100%	12"
84%-100%	6"
60%-83%	3"
42%-55%	1"
8%-12%	No. 4

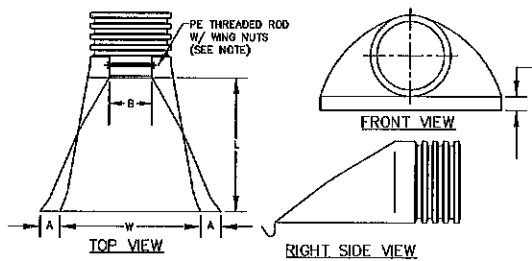
LEVEL SPREADER

1. CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.



- MAINTENANCE**
1. FILTER STRIPS SHOULD BE MAINTAINED AS NATURAL AREAS ONCE THE VEGETATION IS ESTABLISHED. THE FILTER STRIP SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC AND DENSE WEED GROWTH. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO COMPLETE THE ESTABLISHMENT OF THE STRIP SINCE MOST SPECIES TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 2. THE FILTER STRIP SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR RAINSTORM TO DETERMINE IF THE ENTRANCE CONDITIONS ARE STILL UNIFORM AND LEVEL AND TO SEE IF RILLS HAVE FORMED. ANY PROBLEM AREAS SHOULD BE REPAIRED PROMPTLY TO PREVENT FURTHER DETERIORATION.

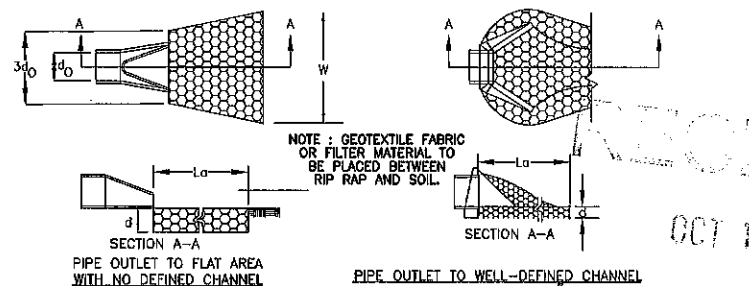
DEVELOPED AREA BUFFER DETAIL



PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.5"	25"	29"
	375 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	36"
	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
	760 mm	265 mm	N/A	178 mm	1345 mm	1725 mm
3610-NP	36"	10.5"	N/A	7.0"	53"	68"
	900 mm	265 mm	N/A	178 mm	1345 mm	1725 mm

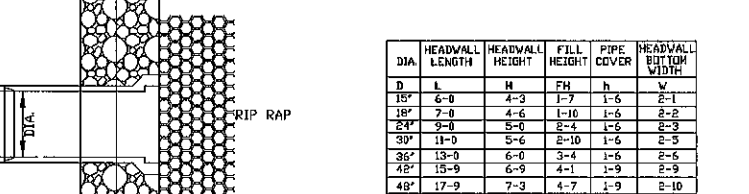
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

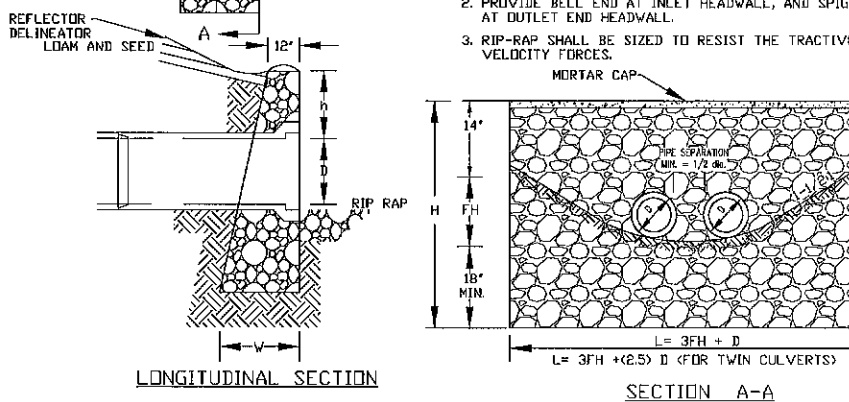


- CONSTRUCTION SPECIFICATIONS**
1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRIC SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. STONE FOR RIP RAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
 6. FLAT ROCKS SHALL NOT BE USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.
- MAINTENANCE**
1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

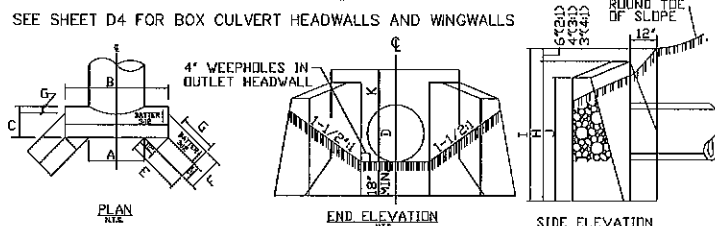
PIPE OUTLET PROTECTION



- NOTE: 1. ALL DIMENSIONS GIVEN IN FEET AND INCHES EXCEPT PIPE DIAMETER.
2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
3. RIP-RAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.



MORTAR RUBBLE, MASONRY HEADWALL DETAIL
NOT TO SCALE



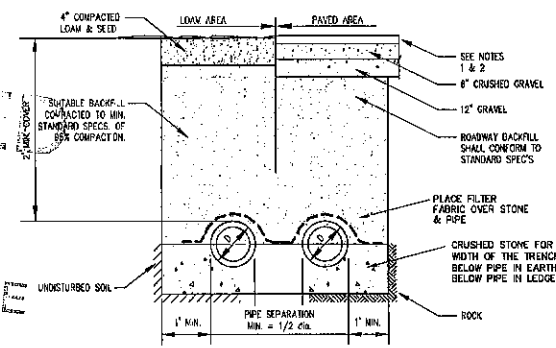
SEE SHEET D4 FOR BOX CULVERT HEADWALLS AND WINGWALLS

DIMENSIONS SHOWN ARE TO PAVEMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAVEMENT LINES ON SLOPING FACES.

B	A	C	E	F	G	H	I	J	K
24"	2-6	3-4	2-3	1-11	0-5	5-0	4-6	3-10	1-6
30"	3-1	3-11	2-3	2-9	0-9	5-0	5-0	4-1	1-6
36"	3-8	6-5	2-6	4-1	2-1	6-0	5-6	4-4	1-6
42"	4-3	7-1	2-9	5-0	2-2	6-9	6-3	4-10	1-9
48"	4-10	7-8	2-10	5-8	2-3	8-2	7-3	6-9	1-9

MORTAR RUBBLE, MASONRY HEADWALL W/ 45° WINGWALLS
NOT TO SCALE

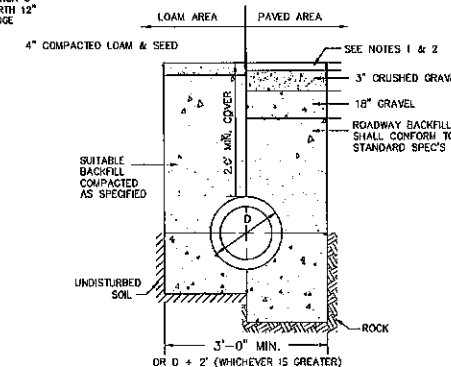
TYPICAL DRAINAGE TRENCH DETAIL



1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

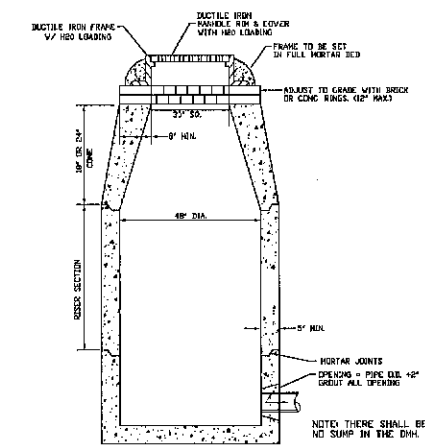
PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

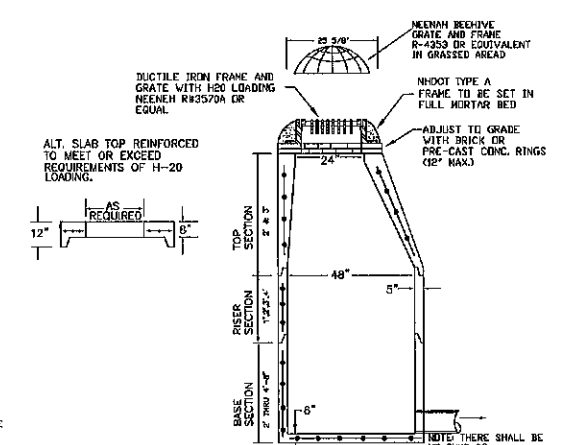


- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.

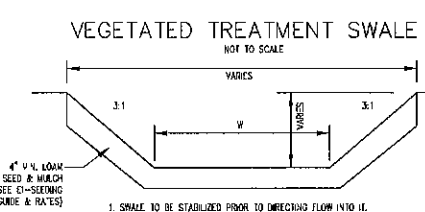
TYPICAL DRAINAGE TRENCH
NOT TO SCALE



PRECAST DRAIN MANHOLE
NOT TO SCALE



PRECAST CATCH BASIN
NOT TO SCALE



VEGETATED TREATMENT SWALE
NOT TO SCALE

- MAINTENANCE**
- VEGETATED CHANNELS DURING THE INITIAL ESTABLISHMENT PERIOD, FLOW SHOULD BE UNDERMINED OUT OF THE CHANNEL IF AT ALL POSSIBLE TO ALLOW FOR A GOOD STAND OF GRASS. IF THIS IS NOT POSSIBLE USE MATTING. IN ANY CASE DURING THE ESTABLISHMENT PERIOD, THE CHANNEL SHOULD BE CHECKED PERIODICALLY TO DETERMINE IF THE GRASS IS STILL IN GOOD CONDITION AND IN PLACE. THE VEGETATION SHOULD BE FERTILIZED ON AN "AS-NEEDED" BASIS. THE CHANNEL SHOULD BE MOWED FREQUENTLY ENOUGH TO KEEP THE VEGETATION VIGOROUS AND TO CONTROL THE ENCROACHMENT OF WEEDS AND WOODY VEGETATION. AFTER THE VEGETATION HAS BECOME ESTABLISHED, THE CHANNEL SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO SEE IF DAMAGE HAS OCCURRED. ANY DAMAGED AREAS SHOULD BE REPAIRED AND RE-VEGETATED IMMEDIATELY.

REVISED PER NH&G	3-4-20
REVISIONS:	DATE:

CONSTRUCTION DETAILS D1

PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1"=10'
PROJ. NO: NH-1144	SHEET NO. 31 OF 37

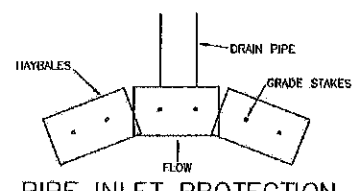
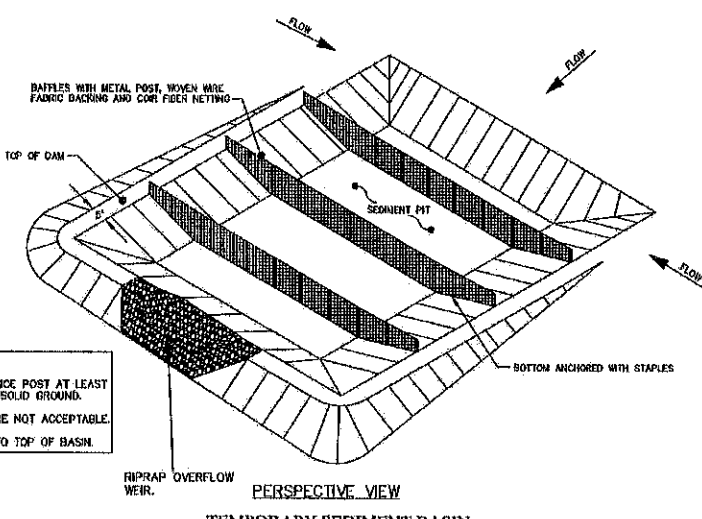
PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03865

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03865
 PHONE: 603-583-4860, FAX: 603-583-4863

TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R2-1	SPEED LIMIT 25	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
W14-2	NO CUTTHRU	24" 24"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
W10-BP	Proposed No. 10	VARIES	8" WHITE ON GREEN	CHANNEL	7'-0"	REFLECTORIZED SIGN
31-0650(D)	NO STOPPING	12" 18"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN (MODIFIED WORDING)

- NOTES:**
1. DRIVE STEEL FENCE POST AT LEAST 18 INCHES INTO SOLID GROUND.
 2. WOOD POSTS ARE NOT ACCEPTABLE.
 3. DIRECT WATER TO TOP OF BASIN.



SPECIFICATIONS

SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTION DRAINAGE AREA ABOVE THEM.

BALES SHOULD BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER. THE ENDS OF THE BARRIER SHOULD BE FLARED UP SLOPE.

BARRIERS SHOULD NOT BE CONSTRUCTED MORE THAN ONE BALE HIGH.

ALL BALES SHOULD BE OTHER SIDE-TOWN OR STUMP-TOWN BALES SHOULD BE INSTALLED SO THAT BARRIERS ARE ORIENTED AROUND THE SIDES, PARALLEL TO THE GROUND SURFACE TO PREVENT DETERIORATION OF THE CONTOUR.

THE BARRIER SHOULD BE ENRICHED AND BACKFILLED. A TRENCH SHOULD BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES.

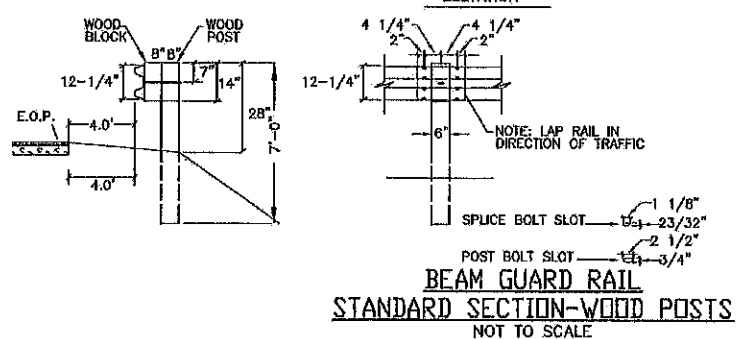
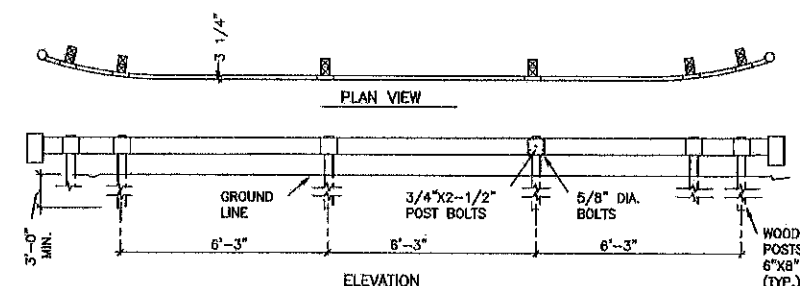
AFTER THE BALES ARE STAKED AND CHAINED, THE EXCAVATED SOIL SHOULD BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHOULD CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHOULD BE BUILT UP 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER. IDEALLY, BALES SHOULD BE PLACED TO FEET AWAY FROM THE TOE OF SLOPE.

AT LEAST TWO STAKES DRIVEN THROUGH THE BALE AND PENETRATING AT LEAST 18 INCHES INTO THE GROUND, SHOULD SECURELY ANCHOR EACH BALE.

THE FIRST STAKE IN EACH BALE SHOULD BE DRIVEN TOWARD THE PREVIOUSLY LAIN BALE TO FORCE THE BALES TOGETHER. STAKES SHOULD BE DRIVEN DEEP THROUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.

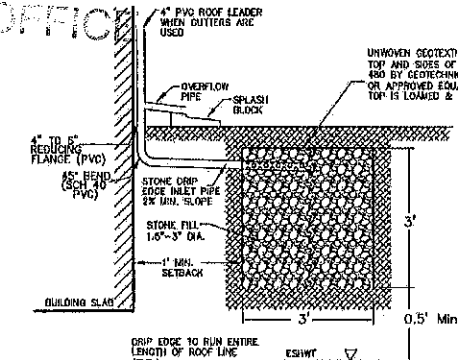
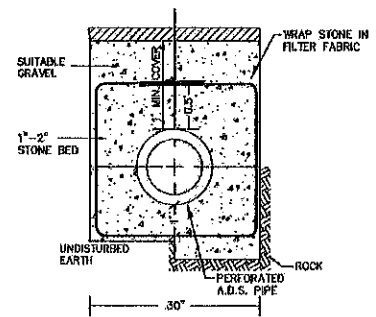
THE GAPS BETWEEN BALES SHOULD BE CHAINED (FILLED) WITH HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES.

INSPECTION SHOULD BE FREQUENT AND REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS HETEROGENEOUS BALE BARRIERS SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.



- NOTES:**
1. USE IN HEAVY TRAFFIC AREAS.
 2. STEEL BRACKET TO BE 10 OR 12 GAGE STEEL.
 3. USE 6'-0" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER.
 4. ALL TIMBER POSTS TO BE TREATED WITH PRESERVATIVE MATERIAL CONFORMING TO AASHTO M133.
 5. POST BOLTS TO BE 18" W/MIN. 2 1/2" THREAD LENGTH.
 6. RAIL SHEET THICKNESS TO BE 12 GA.

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 OCT 13 2019
 LAND USE OFFICE



NOTE:

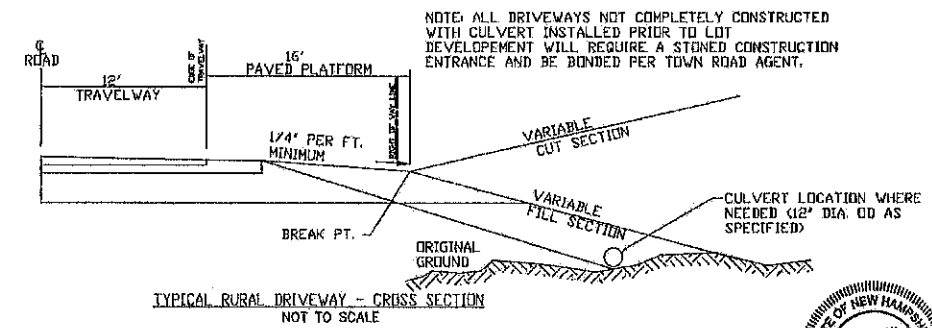
ALL NEW RESIDENTIAL BUILDINGS SHALL HAVE STONE TRENCHES FOR ROOF RUNOFF MITIGATION (SEE DETAIL THIS SHEET). TRENCHES SHALL BE 3" IN WIDTH AND EXCEED THE ENTIRE LENGTH OF THE ROOF LINES (BOTH SIDES OF HOUSE) AS REQUIRED FOR THE INDIES ACT PERMIT.

STONE DRIP EDGE MAINTENANCE:

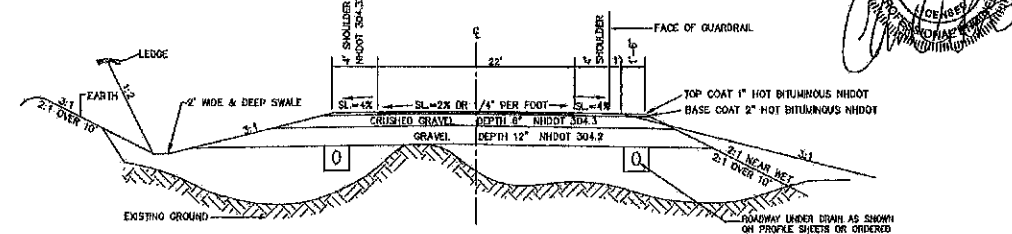
THE DRIP EDGES WILL BE INSPECTED WITHIN THE FIRST THREE MONTHS AFTER CONSTRUCTION. THEREAFTER THE DRIP EDGES WILL BE INSPECTED 2 TIMES PER YEAR TO ENSURE THAT THEY ARE DRAINING WITHIN 72 HOURS OF A RAIN EVENT EQUIVALENT TO 2.0" OR MORE.

REMOVE AND DISPOSE OF SEDIMENTS OR DEBRIS AS NEEDED.

TOTAL REHABILITATION OF A DRIP EDGE SHOULD BE CONDUCTED TO MAINTAIN STORAGE CAPACITY WITHIN 2/3 OF THE DESIGN VOLUME AND 72-HOUR EXFILTRATION RATE LIMIT. TRENCH WALLS SHOULD BE EXCAVATED TO EXPOSE CLEAN SOIL UPON FARMER, AND THE SOIL RECLAIMED PRIOR TO REPLACEMENT OF CLEAN STONE.



NOTE: ALL DRIVEWAYS NOT COMPLETELY CONSTRUCTED WITH CULVERT INSTALLED PRIOR TO LOT DEVELOPMENT WILL REQUIRE A STAINED CONSTRUCTION ENTRANCE AND BE BONDED PER TOWN ROAD AGENT.



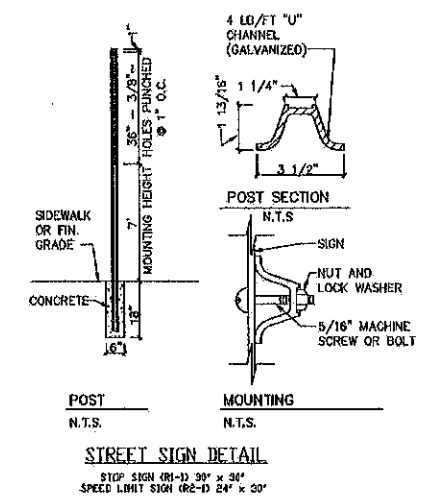
NOTES:

ALL DISTURBED AREAS TO HAVE 4" MIN. LDM & SEED.

GRAVEL DEPTHS MAY NEED TO BE INCREASED IN AREAS OF POOR SOILS.

GRAVEL MAY BE PLACED AT 30' LIFTS. COMPACTION SHALL BE PERFORMED UNTIL 95% OF MAXIMUM DRY DENSITY IS ACHIEVED IN ACCORDANCE W/ AASHTO 193 PER TOWN REGS.

ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE ROADBED PER TOWN REGULATIONS.



**RISER-TRASH RACK DETAIL
 NOT TO SCALE**

CONSTRUCTION CRITERIA

- SUB GRADE PREPARATION: AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROCKS, BRUSH, BOULDERS, SOIL AND RUBBISH. SUB GRADE SURFACE TO BE ROLLED BEFORE PLACEMENT OF FILL MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE SUBGRADE MATERIAL.
- FILL PLACEMENT: FILL SHALL BE FREE OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIA. AND OTHER CELESTRIAL MATERIAL.
- FILL TO BE PLACED EQUALLY AROUND SUBSURFACE STRUCTURES & PIPES TO PREVENT DAMAGE FROM UNEQUAL LOADING.
- PLACING AND SPREADING OF FILL MATERIAL SHALL BE STAGED AT SURGRADE ELEVATION AND BROUGHT UP IN HORIZONTAL LAYERS OF THICKNESS ALLOWING ADEQUATE COMPACTION.
- DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRAIN FROM SURROUNDING MATERIAL.
- MINIMUM THICKNESS OF GRAVEL LEFT TO 1 FOOT (12 INCHES).
- MOISTURE CONTROL: MOISTURE CONTENT OF THE FILL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. IF THE MATERIAL IS TOO WET IT SHALL BE DRIED TO MEET THIS REQUIREMENT. IF THE MATERIAL IS TOO DRY IT SHALL HAVE WATER ADDED AND MIXED UNTIL REQUIREMENT IS MET.
- COMPACTION: CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED.
- EACH LAYER SHALL BE COMPACTED TO OBTAIN 85% OF THE PROCTOR VALUE (ASTM 1557 OR AASHO 1180).
- FILL ADJACENT TO STRUCTURES, PIPES, ETC. SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY THE MEANS OF HAND TAMPERING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.
- EROSION PROTECTION: A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT (CUT/FILL) SLOPE, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATION MEANS, SUCH AS EROSION BLANKETS OR RIP RAP SLOPE PROTECTION, MAY BE USED.
- SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.

REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:

CONSTRUCTION DETAILS D2

**PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH**

DATE: MAY 2019	SCALE: NONE
PROJ. NO: NH-1144	SHEET NO. 32 OF 37

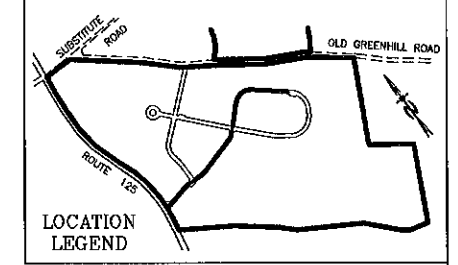
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OCT 13 2020

LAND USE OFFICE

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
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7B EMERY LANE
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- NOTES
- FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS PLEASE REFER TO THE ROADWAY PROFILES.
 - FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE SHEET 32.



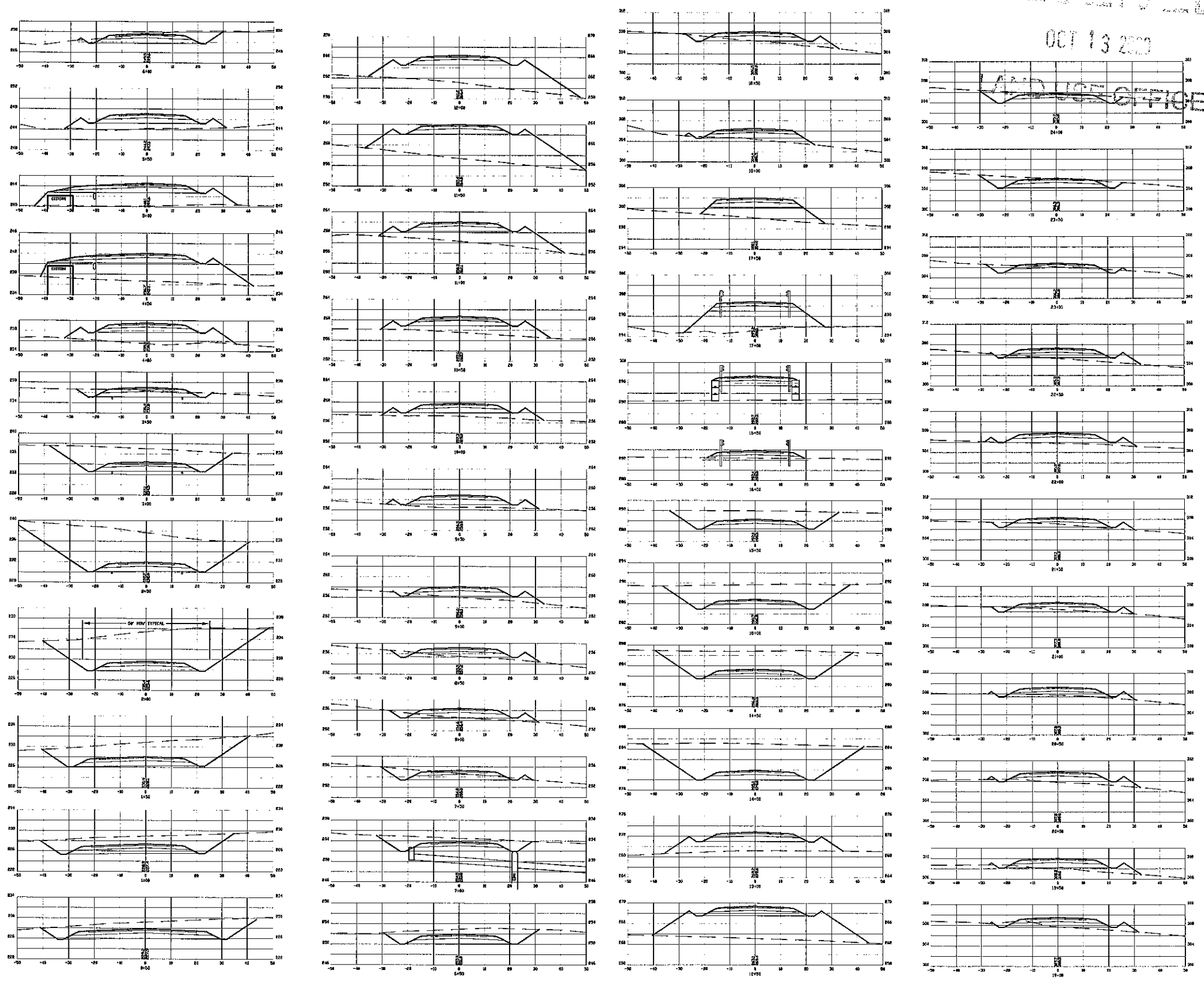
X-SECTION SCALES:
HORIZONTAL: 1"=20' VERTICAL: 1"=10'

REVISED PER NH00T	4-21-20
REVISED PER REVIEW COMMENTS	7-24-19

CROSS-SECTIONS XI

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: JUNE 2019	SCALE: 1"=20'
PROJ. NO: NH-1144	SHEET NO. 34 OF 37



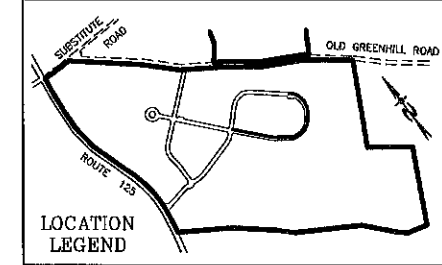
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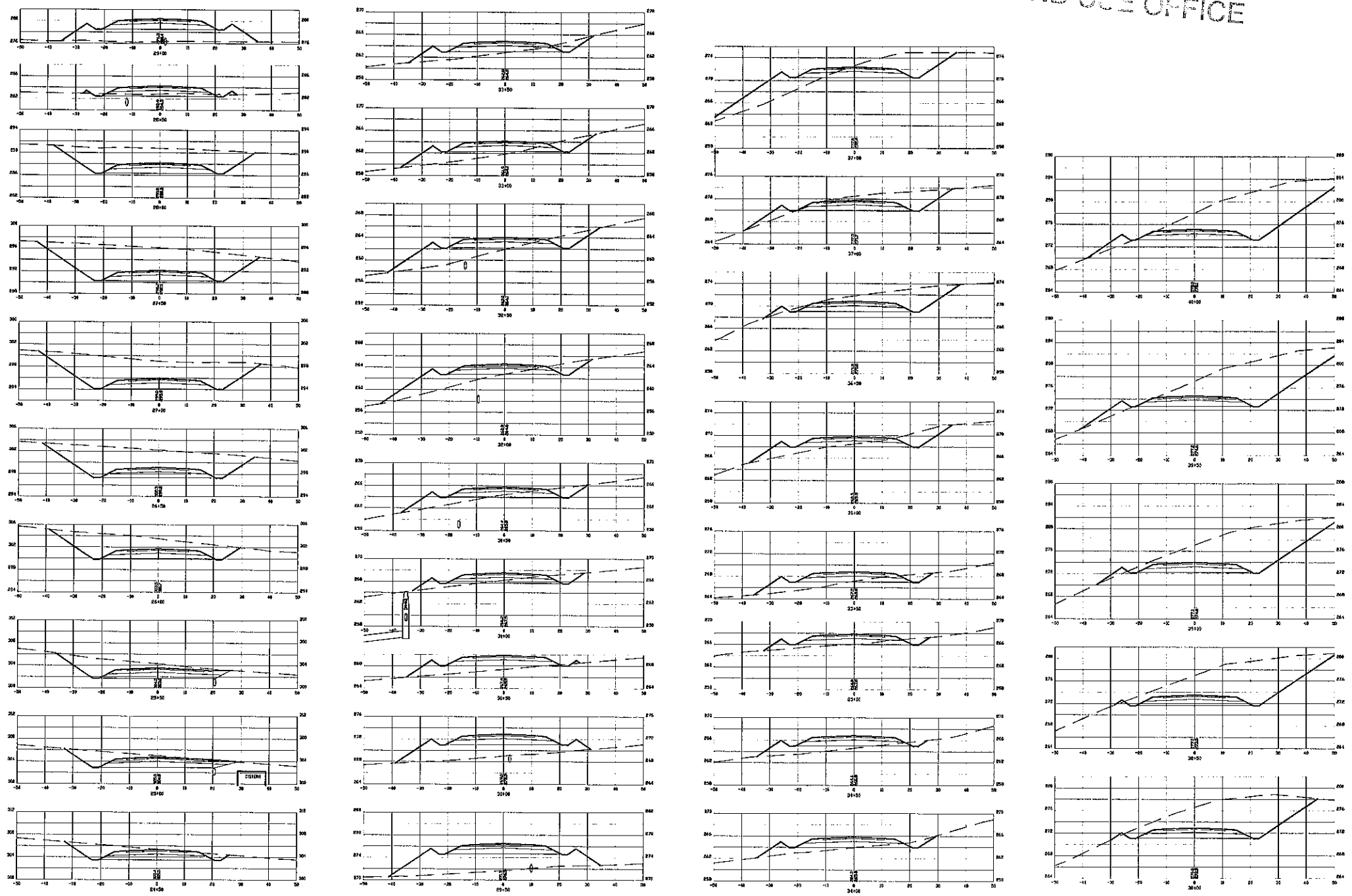
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NOTES
1. FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS
PLEASE REFER TO THE ROADWAY PROFILES.
2. FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE
SHEET 30.



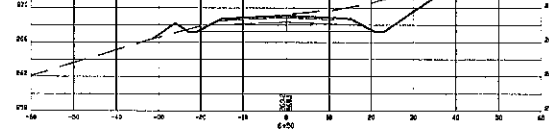
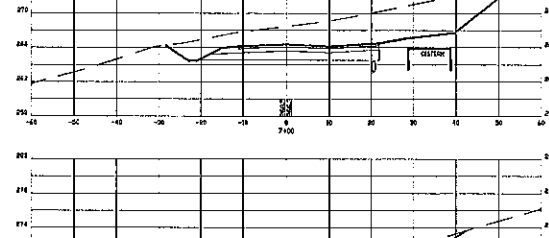
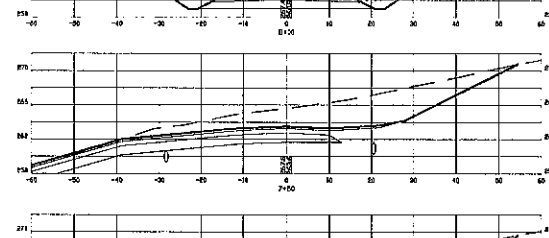
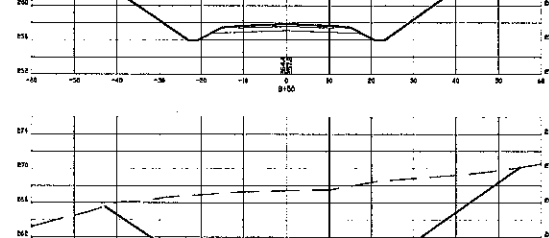
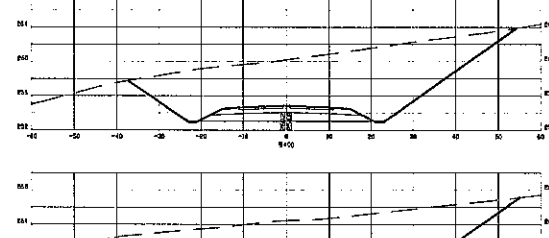
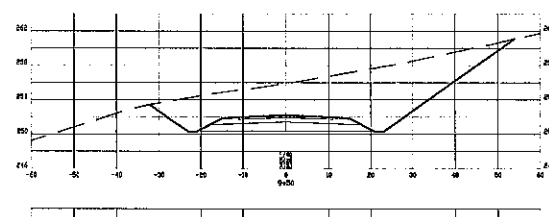
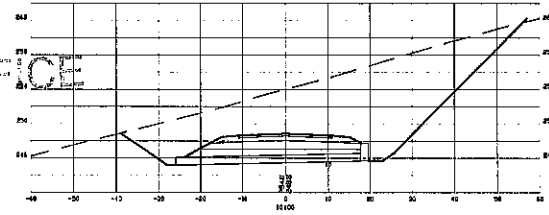
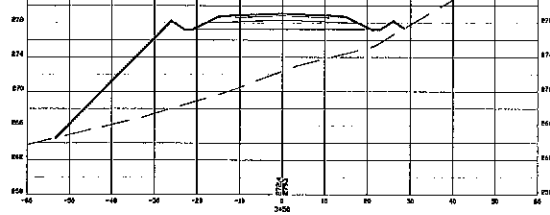
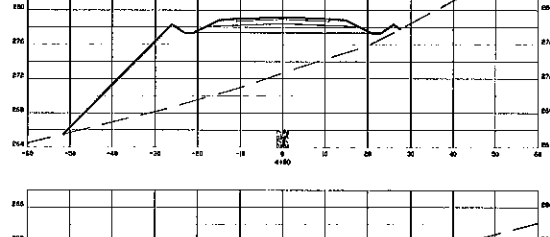
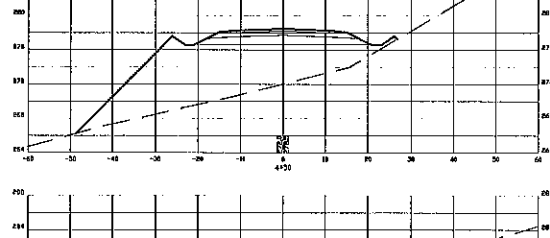
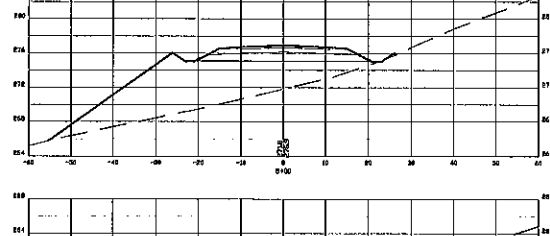
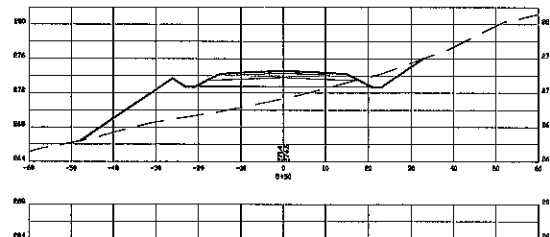
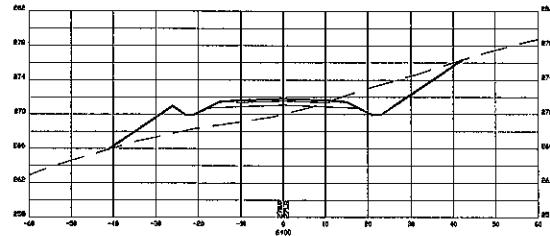
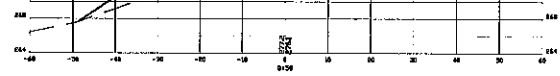
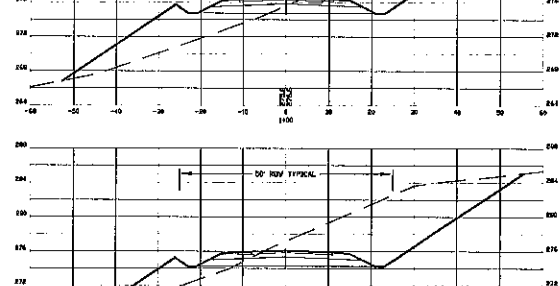
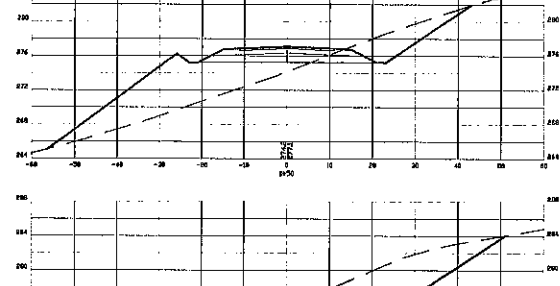
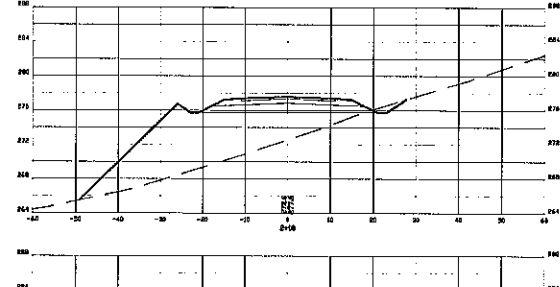
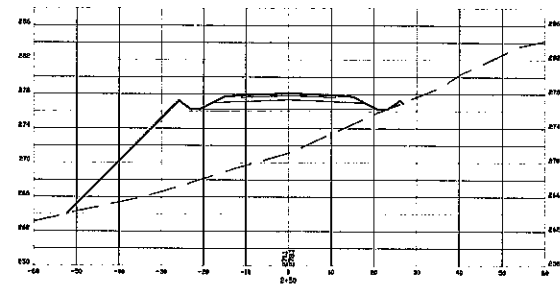
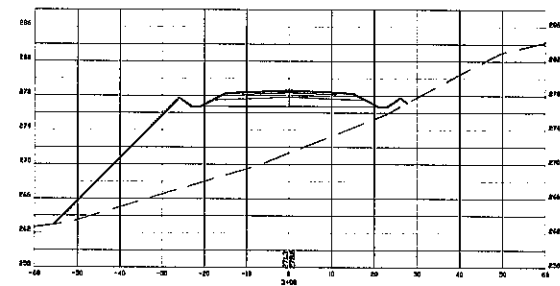
X-SECTION SCALES:
HORIZONTAL: 1"=20' VERTICAL: 1"=10'

CROSS-SECTIONS X2	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 35 OF 37

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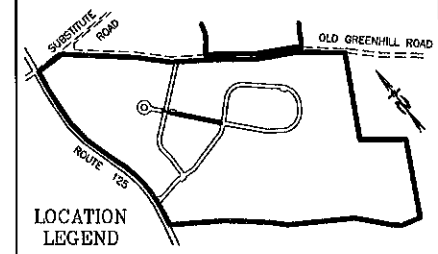
OCT 13 2009

LAND USE OFFICE



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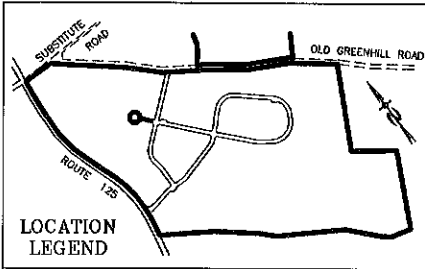
X-SECTION SCALES:
HORIZONTAL: 1"=10' VERTICAL: 1"=5'

REVISED ACCESS	10-8-20
REVISED PER NHDOT	4-21-20

CROSS-SECTIONS X3

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

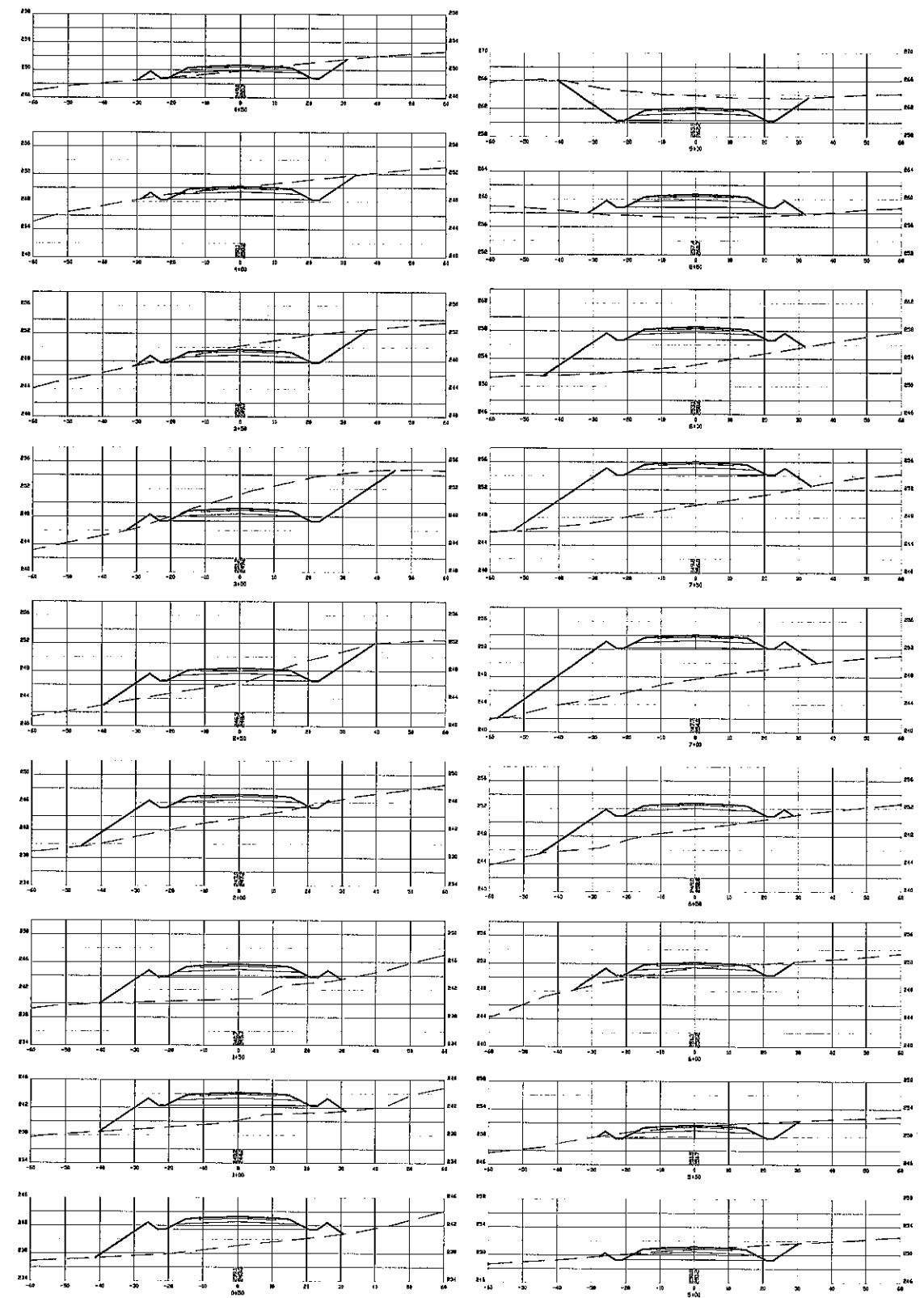
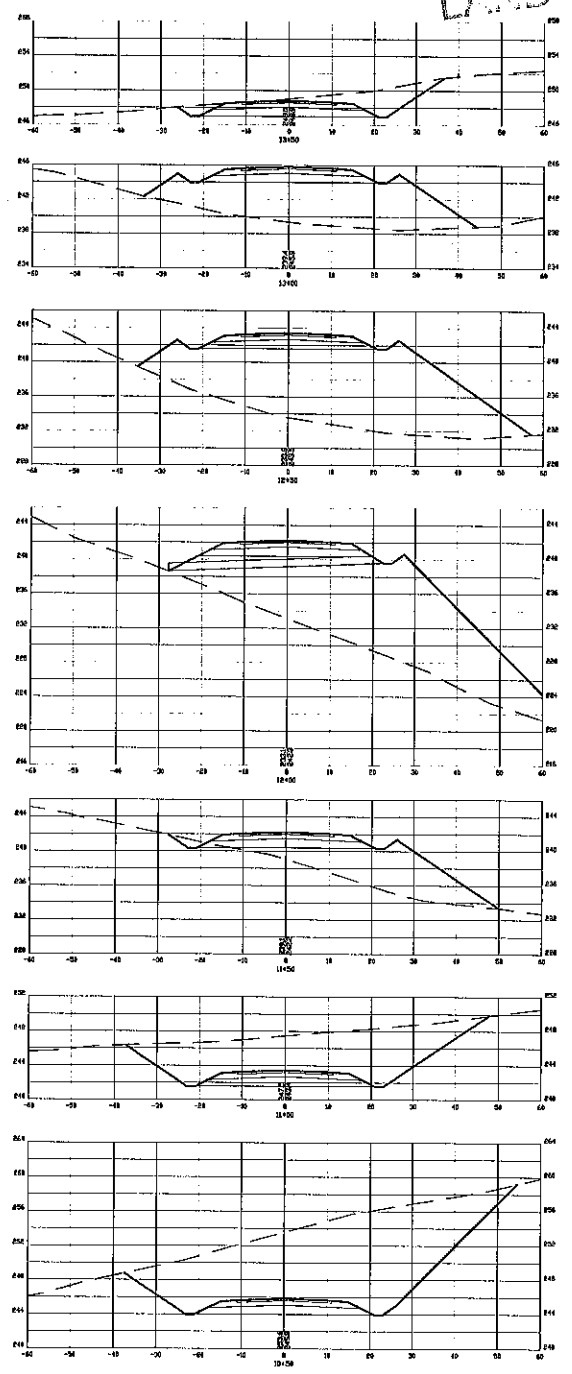
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 36 OF 37



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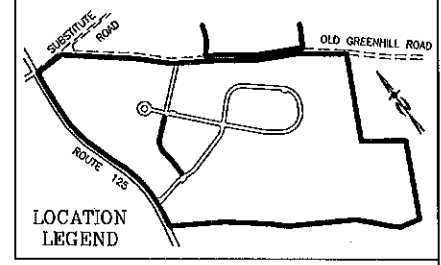
OCT 13 2019

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X-SECTION SCALES:
 HORIZONTAL: 1"=10' VERTICAL: 1"=5'

REVISED ACCESS	10-8-20
CROSS-SECTIONS X4	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 37 OF 37