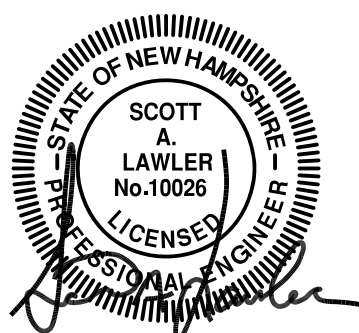
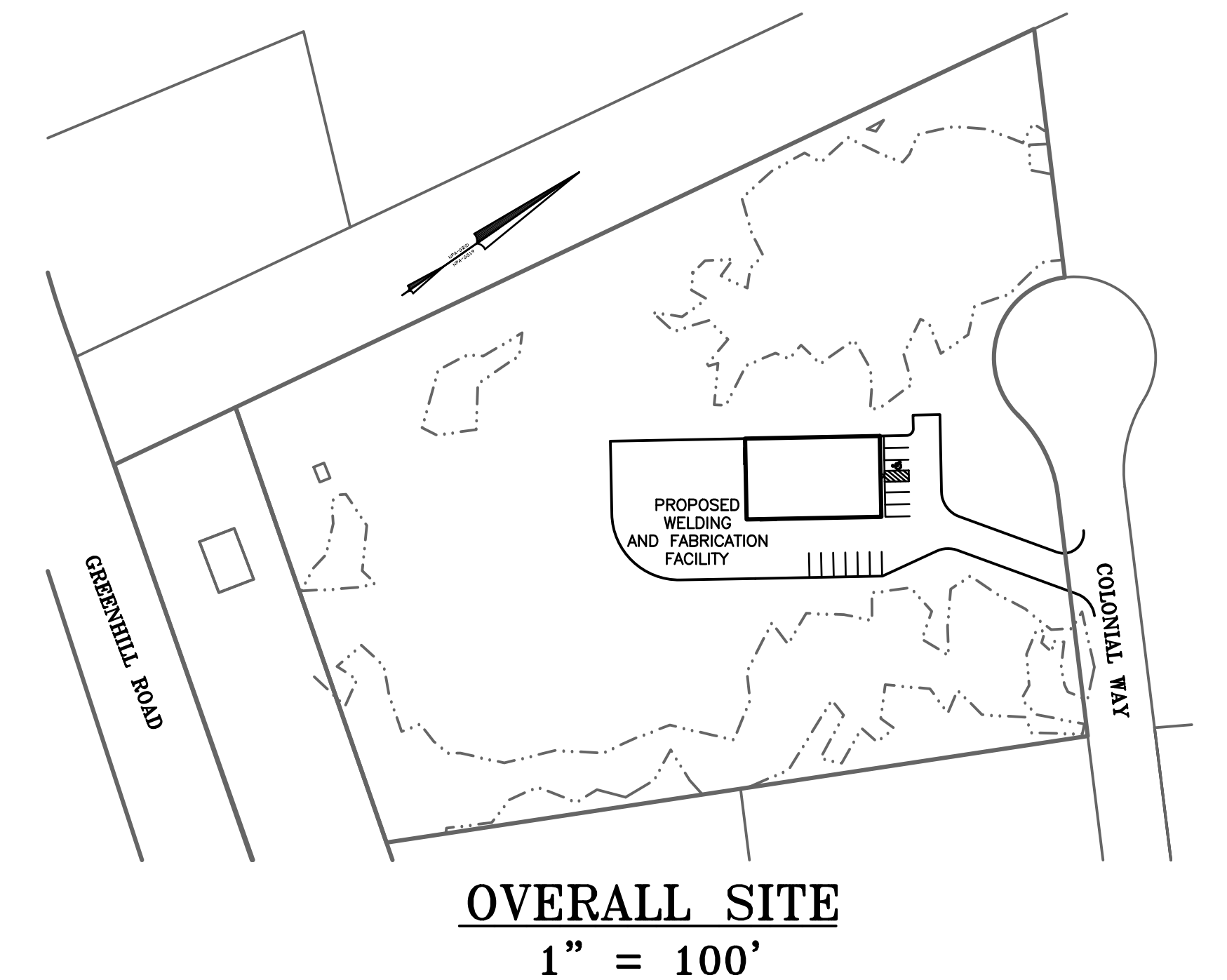
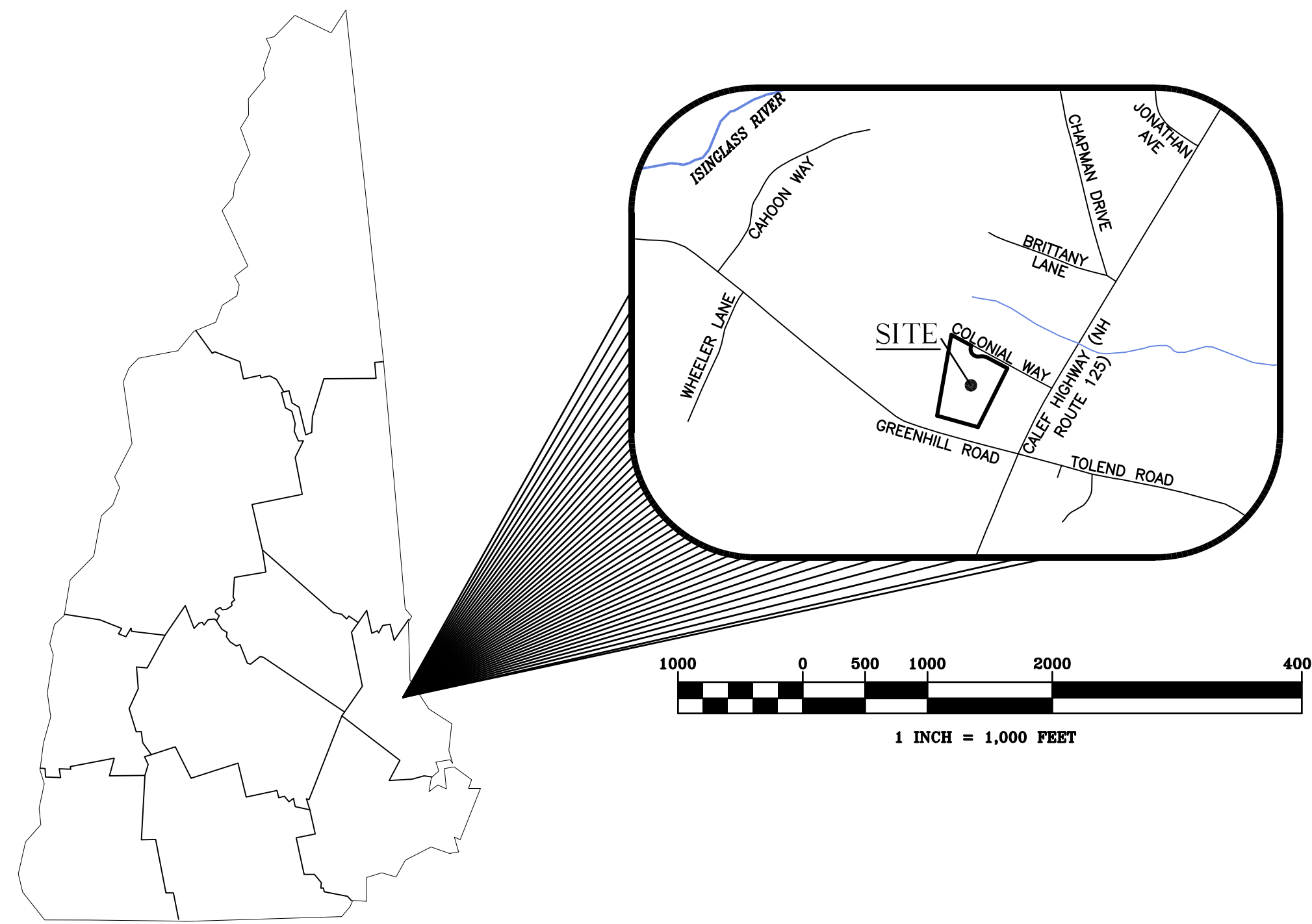


# PROPOSED WELDING AND FABRICATION FACILITY

## COLONIAL WAY, BARRINGTON TAX MAP 220, LOT 29

PREPARED FOR  
**ANDERSON PROPERTIES, LLC**  
MARCH 2020



**CIVIL ENGINEERS**

NORWAY PLAINS ASSOCIATES, INC.  
2 CONTINENTAL BOULEVARD  
ROCHESTER, NEW HAMPSHIRE 03867  
(603) 335-3948

**OWNER OF RECORD**

TAX MAP 220, LOT 29  
WANDA LEE & RICHARD A. WALKER, JR.  
24 GREEN HILL ROAD  
BARRINGTON, NH 03825-4400  
S.C.R.D. BOOK 1962, PAGE 702

**APPLICANT**

ANDERSON PROPERTIES, LLC  
269 1ST NEW HAMPSHIRE TURNPIKE UNIT #6  
NORTHWOOD, NH 03261  
(603) 828-5876

**STATE AND FEDERAL PERMITS:**

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:	
NHDES ALTERATION OF TERRAIN:	NOT REQUIRED
NHDES WETLANDS PERMIT:	NOT REQUIRED
NHDES DAM PERMIT:	NOT REQUIRED
NHDES SUBDIVISION PERMIT:	NOT REQUIRED
NHDES SUBSURFACE SYSTEMS PERMIT:	PENDING
NHDES WASTEWATER PERMIT:	NOT REQUIRED
NHDOT DRIVEWAY/ENTRANCE PERMIT:	NOT REQUIRED

SIGNATURE OF OWNERS: \_\_\_\_\_

SIGNATURE OF DEVELOPER: \_\_\_\_\_

**NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):**

NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: **REQUIRED**

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 14 DAYS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT, CONTACT THE PROJECT GENERAL CONTRACTOR.

PLANNING BOARD APPROVAL BLOCK

**SHEET INDEX**

SHEET E-1	COVER	1" = 40'
SHEET C-1	EXISTING FEATURES	1" = 40'
SHEET C-2	OVERALL SITE PLAN	1" = 40'
SHEET C-3	SITE LAYOUT PLAN	1" = 40'
SHEET C-4	GRADING AND DRAINAGE PLAN	1" = 40'
SHEET C-5	EROSION AND SEDIMENTATION CONTROL PLAN	1" = 40'
SHEET C-6	UTILITY PLAN	1" = 40'
SHEET C-7	CONSTRUCTION DETAILS	AS SHOWN
SHEET C-8	DRAINAGE DETAILS	AS SHOWN
SHEET C-9	TEMPORARY EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET SSD	PERMANENT EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET L-4	SEPTIC SYSTEM DESIGN	1" = 20'
	LIGHTING PLAN AND DETAILS	1" = 40'

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

FILE NO. 194  
PLAN NO. C-3030-SP  
DWG NO. 19216\SP-1

LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- EXISTING TREE LINE
- EXISTING OVERHEAD WIRES
- 234--- EXISTING CONTOUR LINE
- EXISTING DRAIN LINE
- EXISTING UTILITY POLE
- EXISTING MONUMENTS
- EXISTING TEST PIT LOCATION & NUMBER

TEST PIT LOG  
 PERFORM BY ASHLEY F. ROWE,  
 NH SEPTIC DESIGNER #1857 ON MARCH 16, 2020

TEST PIT #1  
 0" - 1" 10YR3/1 LOAM TOPSOIL, COMMON ROOTS.  
 1" - 12" 5YR4/4 LOAMY SAND, GRANULAR, FRIBLE, SOMEWHAT LOOSE.  
 12" - 51" 10YR5/2 FINE SANDY LOAM, GRANULAR, FRIBLE, FIRM IN PLACE,  
 COMMON REDOX CONCENTRATIONS BELOW 16"  
 NO REFUSAL, NO OBSERVED WATER, ESTIMATED SEASONAL HIGH  
 WATER TABLE AT 16"  
 PERC. OF 14 MPI AT 15"

TEST PIT #2, 3 AND 4  
 0" - 3" 5Y2.5/1 LOAM, LOOSE.  
 3" - 7" 2.5Y5/2 LOAMY SAND, WET, FIRM IN PLACE  
 7" - 10" 10YR4/3 LOAMY FINE SAND, WET, FIRM IN PLACE.  
 10" - 36" 5YR4/6 COARSE SAND, SINGLE GRAIN, LOOSE, COMMON  
 REDOXIMORPHIC CONCENTRATIONS. WATER SEEPING AT 30",  
 QUICKLY FILLS TO DEPTH.  
 NO REFUSAL, ESHWT AT 10"  
 PERC 16 MPI @ 8"

TEST PIT #5  
 0" - 3" 5Y2.5/1 LOAM, LOOSE.  
 3" - 6" 2.5Y5/2 LOAMY SAND, MOIST, FIRM IN PLACE (ALBIC HORIZON)  
 6" - 30" 10YR4/4 LOAMY SAND, WET, FIRM IN PLACE, WATER SEEPING INTO  
 HOLE AT 22". REDOXIMORPHIC CONCENTRATIONS AT 7"  
 REFUSAL, SOLID BLUE CLAY, ESHWT AT 7"  
 PERC 14 MPI @ 6"

TAX MAP 220, LOT 26  
 TODD & DEBRA LEPAGE  
 30 GREENHILL ROAD  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 2180, PAGE 219

LIMIT OF JURISDICTIONAL  
 WETLANDS AS DELINEATED BY  
 JOSEPH W. NOEL, CWS #86

TAX MAP 220, LOT 31  
 WCH VENTURES, LLC  
 28 COLONIAL WAY  
 BARRINGTON, NH 03825  
 S.C.R.D. BOOK 4424, PAGE 960

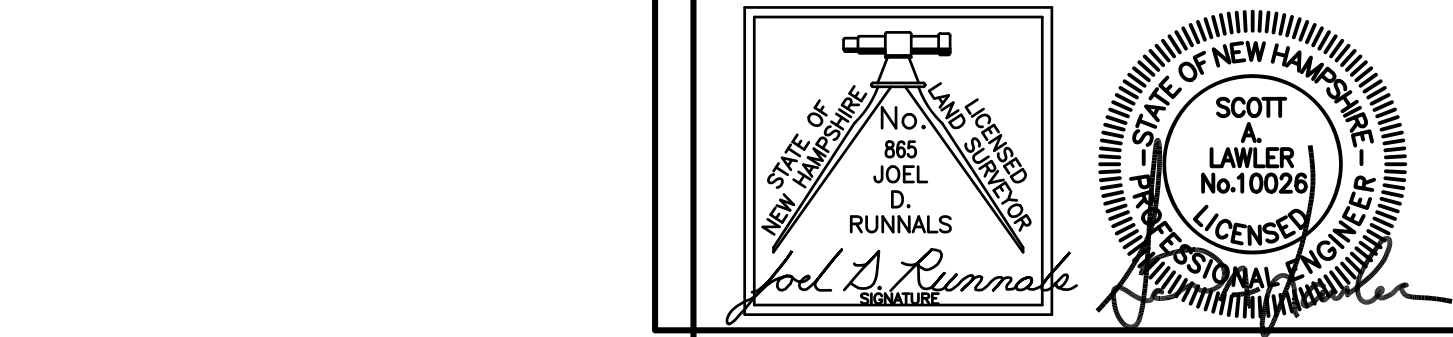
TAX MAP 220, LOT 29  
 AREA: 5.59 ACRES

TAX MAP 220, LOT 27  
 WANDA LEE &  
 RICHARD A. WALKER, JR.  
 24 GREENHILL ROAD  
 BARRINGTON, NH 03825-4400  
 S.C.R.D. BOOK 1653, PAGE 787  
 "SINGLE FAMILY  
 RESIDENCE"

TAX MAP 220, LOT 28  
 TERENCE W. MILTNER, JR.  
 AND SUASA M. MILTNER  
 FAMILY LIVING TRUST  
 600 PICKERING ROAD  
 ROCHESTER, NH 03667  
 S.C.R.D. BOOK 4395, PAGE 510

TAX MAP 220, LOT 28-1  
 FAA INVESTMENT PROPERTIES, LLC  
 SUITE E, 9 COLONIAL WAY  
 BARRINGTON, NH 03825-6404  
 S.C.R.D. BOOK 2918, PAGE 705

TAX MAP 220, LOT 32  
 WOLFGANG & KLAUS BOEHM  
 11 JOALCO ROAD  
 STRAFFORD, NH 03884  
 S.C.R.D. BOOK 1304, PAGE 15

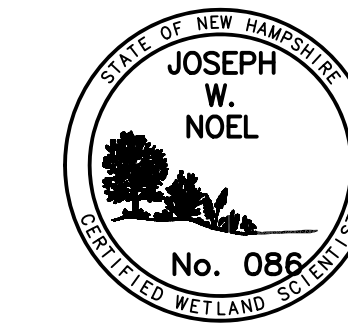


REVISION BLOCK  
 05/22/20 - ADD SHED NOTATION.

- GENERAL SITE PLAN NOTES
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON TAX MAP 220, LOT 29.
  2. THIS PARCEL IS LOCATED IN THE REGIONAL COMMERCIAL (RC) ZONING DISTRICT AND THE STRATIFIED DRIFT AQUIFER OVERLAY DISTRICT.
  3. TOTAL PARCEL AREA:  
 MAP 220, LOT 29: 243,662 SQUARE FEET / 5.59 ACRES.
  4. DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:  
 REGIONAL COMMERCIAL (RM) DISTRICT:  
 MINIMUM LOT SIZE = 40,000 SF  
 MINIMUM LOT FRONTAGE = 200 FEET  
 MINIMUM YARD SETBACKS:  
 FRONT = 75'  
 SIDE = 30'  
 REAR = 30'  
 WETLAND BUFFER = N/A, PARCEL WAS CREATED IN 1985, SEE REFERENCE PLAN 1.  
 MAXIMUM LOT COVERAGE = 50%  
 MAXIMUM BUILDING HEIGHT = 40'
  5. ORIENTATION: HORIZONTAL - NHPSC28 AND VERTICAL - NAVD88.
  6. SOIL SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE, SAUGATUCK LOAMY SAND.
  7. WETLANDS DELINEATION WAS COMPLETE BY JOSEPH W. NOEL, CWS 086 ON SEPTEMBER 09, 2019.
  8. PARCEL IS NOT LOCATED WITHIN ZONE A (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER 33017C0305E DATED SEPTEMBER 30, 2015.
  9. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
  10. REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE'S SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
  11. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SITE REVIEW REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
  12. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE TOWN OF BARRINGTON LAND USE DEPARTMENT, PO BOX 660, 333 CALEF HIGHWAY, BARRINGTON, NH 03825. (603) 664-5187.

- PLAN REFERENCES:
1. "SUBDIVISION PLAN, PAUL R. CHAPMAN, BARRINGTON, N.H." DATED OCTOBER 1985 BY FREDERICK E. DREW ASSOCIATES  
 SORD PLAN 28A-85
  2. "PLAN OF LAND, JAMES W. LANDRY JR., JOAN M. LANDRY, BARRINGTON, N.H." DATED APRIL 1992 BY FREDERICK E. DREW ASSOCIATES  
 SORD PLAN 32A-85
  3. "SUBDIVISION PLAN, PREPARED FAA INVESTMENT PROPERTIES LLC OF LAND IN THE NAME OF DORIS J. PATCH OF MAP 12 / LOT 1350 LOCATED AT NH ROUTE 125, COLONIAL WAY AND GREEN HILL ROAD, COUNTY OF STRAFFORD/BARRINGTON, NH" DATED OCTOBER 15, 2003 BY DAVID W. VINCENT, LLS, LAND SURVEYING SERVICES  
 SORD PLAN 13-85

CERTIFICATION NOTE  
 THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, NH CERTIFIED SOIL SCIENTIST #017 AND NH CERTIFIED WETLAND SCIENTIST #086, ON SEPTEMBER 09 & 10, 2019 and March 04, 2020. THE FLAGS WERE SURVEY LOCATED BY NORWAY PLAINS ASSOCIATES, INC. USING TERRESTRIAL SURVEY METHODS. THE DELINEATION WAS CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2, JANUARY 2012).



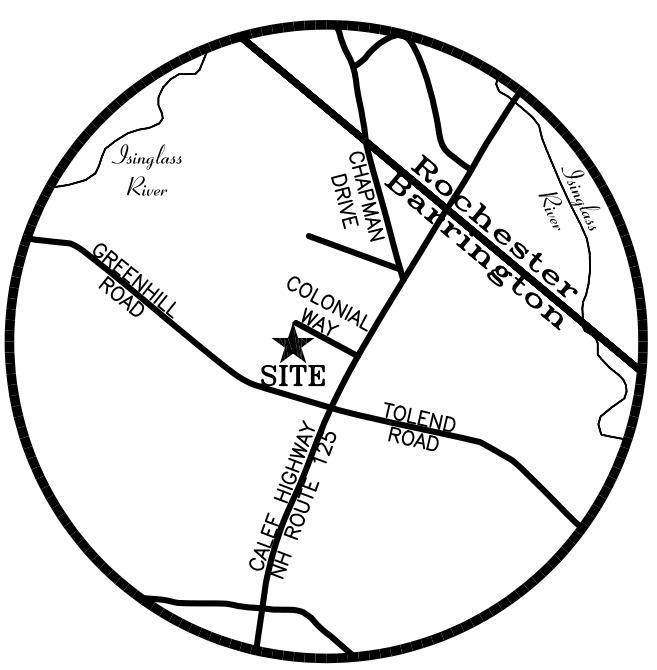
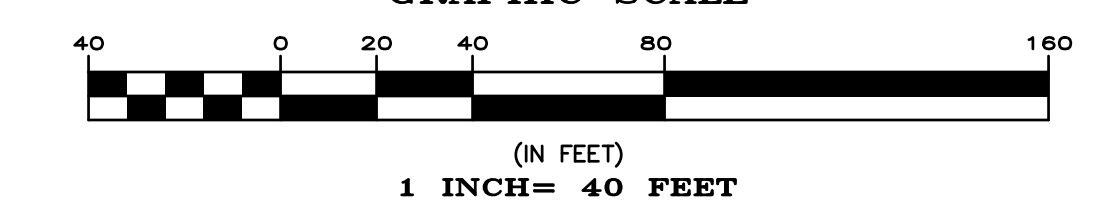
JOSEPH W. NOEL, C.W.S. 086

DATE

OWNER OF RECORD:  
 TAX MAP 220, LOT 29  
 WANDA LEE & RICHARD A. WALKER, JR.  
 24 GREEN HILL ROAD  
 BARRINGTON, NH 03825-4400  
 S.C.R.D. BOOK 1962, PAGE 702

EXISTING FEATURES PLAN  
 TAX MAP 220, LOT 29  
 COLONIAL WAY  
 BARRINGTON, NH  
 PREPARED FOR:  
 ANDERSON PROPERTIES, LLC

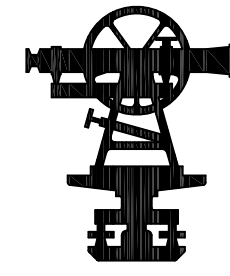
SCALE: 1" = 40' MARCH 2020  
 GRAPHIC SCALE



LOCUS MAP  
 N.T.S.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

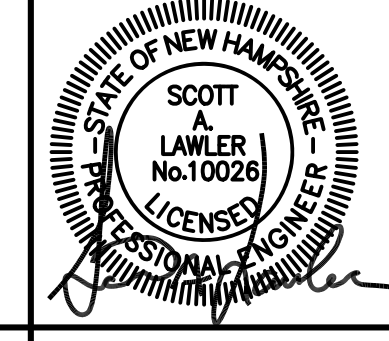
FILE NO. 194  
 PLAN NO. C-3030-SP  
 DWG NO. 19216-SP-1



LEGEND

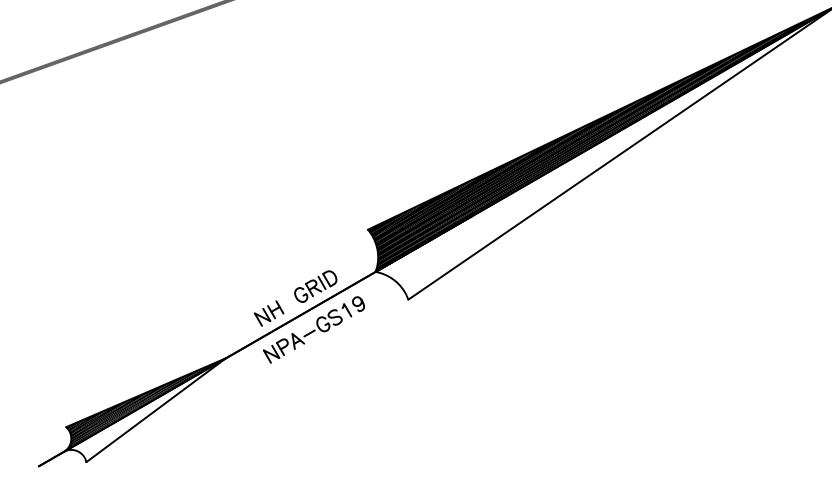
- PROPERTY LINE
- BUILDING SETBACK
- - - JURISDICTIONAL WETLANDS
- ~ ~ ~ EXISTING TREE LINE
- EXISTING OVERHEAD WIRES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT WITH CURBING
- ~ ~ ~ PROPOSED TREE LINE

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



REVISION BLOCK	
05/22/20	- ADD STOP SIGN, ADD 8'X8' CONCRETE PAD.

TAX MAP 220, LOT 26  
TODD & DEBRA LEPAGE  
30 GREENHILL ROAD  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 2180, PAGE 219

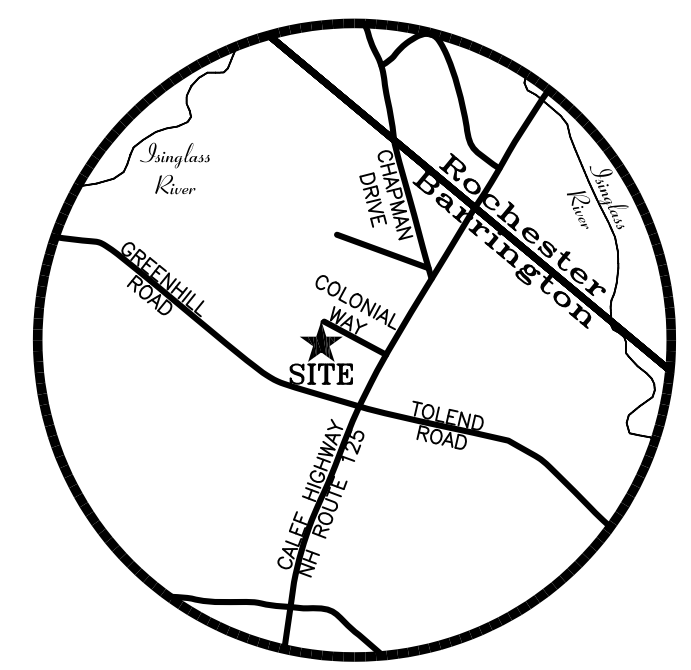
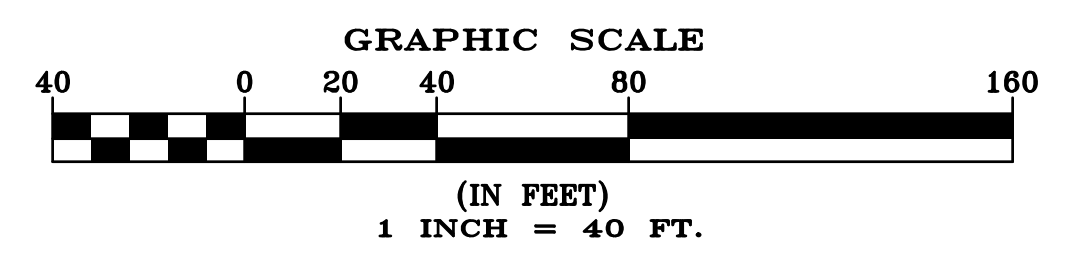


- GENERAL SITE PLAN NOTES
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED WELDING MANUFACTURE BUILDING AND ASSOCIATED PARKING.
  - THIS PARCEL IS LOCATED IN THE REGIONAL COMMERCIAL (RC) ZONING DISTRICT AND THE STRATIFIED DRIFT AQUIFER OVERLAY DISTRICT.
  - TOTAL PARCEL AREA:  
MAP 220, LOT 29: 243,662 SQUARE FEET / 5.59 ACRES.
  - DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:  
REGIONAL COMMERCIAL (RM) DISTRICT:  
MINIMUM LOT SIZE = 40,000 SF  
MINIMUM LOT FRONTAGE = 200 FEET  
MINIMUM YARD SETBACKS:  
FRONT = 75'  
SIDE = 30'  
REAR = 30'  
WETLAND BUFFER = N/A, PARCEL WAS CREATED IN 1985, SEE REFERENCE PLAN 1.  
MAXIMUM LOT COVERAGE = 50%  
MAXIMUM BUILDING HEIGHT = 40'
  - ORIENTATION: HORIZONTAL - NHSPC28 AND VERTICAL - NAVD88.
  - SOIL SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE, SAUGATUCK LOAMY SAND.
  - WETLANDS DELINEATION WAS COMPLETED BY JOSEPH W. NOEL, CWS 086 ON SEPTEMBER 09, 2019.
  - PARCEL IS NOT LOCATED WITHIN ZONE A (100' FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER 3301703036 DATED SEPTEMBER 30, 2015.
  - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
  - REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE'S SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SITE REVIEW REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
  - FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE TOWN OF BARRINGTON LAND USE DEPARTMENT, PO BOX 660, 333 CALEF HIGHWAY, BARRINGTON, NH 03825. (603) 664-5187.
  - PARKING REQUIREMENTS:  
INDUSTRY AND LIGHT INDUSTRY: 1.5 SPACES / 1,000 SF OF GROSS FLOOR AREA  
REQUIRED: 1.5 SPACES / 1,000 SF \* 6,000 SF = 9 SPACES  
PROVIDED: 12 SPACES  
ACCESSIBLE SPACES: 1 REQUIRED, 1 PROVIDED
  - THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE TOWN OF BARRINGTON SITE PLAN REGULATIONS - UNLESS OTHERWISE WAIVED.
  - ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 603-664-2241 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
  - SNOW SHALL NOT BE FILED IN SUCH A MANNER TO BLOCK THE VISIBILITY OF VEHICLES ON COLONIAL WAY AND ALL EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
  - ALL OUTSIDE CONSTRUCTION ACTIVITIES RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7 AM TO 6 PM MONDAY THROUGH FRIDAY AND 8 AM TO 6 PM SATURDAY.
  - THIS PROJECT PROPOSED TO DISTURB OVER ONE ACRE OF EXISTING GROUND COVER AND MEETS OTHER SPECIFIC REQUIREMENTS RELATED TO PERMIT CRITERIA FOR EPA NPDES COMPLIANCE. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPMENT AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), SUBMISSION OF A NOTICE OF INTENT (NOI) TO EPA, INSPECTIONS AND MAINTENANCE OF SEDIMENT CONTROL MEASURES, DOCUMENTATION OF MAINTENANCE ACTIVITIES, AND SUBMISSION OF A NOTICE OF TERMINATION (NOT) TO EPA. THE CONTRACTOR IS ALSO RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF THE CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATIONS OR REQUIREMENTS.
  - THE PROPOSED SITE DEVELOPMENT WILL INCLUDE 27,332 SQUARE FEET OF IMPERVIOUS COVER WHICH IS 11.2% OF THE ENTIRE SITE.
  - THE SITE WILL BE SERVICED BY AN ON-SITE WELL AND AN INDIVIDUAL SEPTIC SYSTEM.
  - IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETE, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - IN ACCORDANCE WITH BARRINGTON SITE PLAN REVIEW REGULATIONS AND RSA 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETE, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- PLAN REFERENCES:
- "SUBDIVISION PLAN, PAUL R. CHAPMAN, BARRINGTON, N.H." DATED OCTOBER 1985 BY FREDERICK E. DREW ASSOCIATES. SORD PLAN 28A-85
  - "PLAN OF LAND, JAMES W. LANDRY JR., JOAN M. LANDRY, BARRINGTON, N.H." DATED APRIL 1992 BY FREDERICK E. DREW ASSOCIATES. SORD PLAN 32A-85
  - "SUBDIVISION PLAN, PREPARED FAA INVESTMENT PROPERTIES LLC OF LAND IN THE NAME OF DORIS J. PATCH OF MAP 12 / LOT 135D LOCATED AT NH ROUTE 125, COLONIAL WAY AND GREEN HILL ROAD, COUNTY OF STRAFFORD, BARRINGTON, NH" DATED OCTOBER 15, 2003 BY DAVID W. VINCENT, LLS, LAND SURVEYING SERVICES. SORD PLAN 73-85

OWNER OF RECORD:  
TAX MAP 220, LOT 29  
WANDA LEE & RICHARD A. WALKER, JR.  
24 GREENHILL ROAD  
BARRINGTON, NH 03825-4400  
S.C.R.D. BOOK 1962, PAGE 702

OVERALL SITE PLAN  
TAX MAP 220, LOT 29  
COLONIAL WAY  
BARRINGTON, NH  
PREPARED FOR:  
ANDERSON PROPERTIES, LLC  
MARCH 2020



LOCUS MAP N.T.S.

FILE NO. 194  
PLAN NO. C-3030-SP  
DWG NO. 19216\SP-1

TAX MAP 220, LOT 28  
TERRENCE W. MILNER, JR.  
AND SUSAN M. MILNER  
FAMILY LIVING TRUST  
600 PICKERING ROAD  
ROCHESTER, NH 03867  
S.C.R.D. BOOK 4395, PAGE 510

TAX MAP 220, LOT 28-1  
FAA INVESTMENT PROPERTIES, LLC  
SUITE E, 9 COLONIAL WAY  
BARRINGTON, NH 03825-6404  
S.C.R.D. BOOK 2918, PAGE 705

TAX MAP 220, LOT 32  
WOLFGANG & KLAUS BOEHM  
11 JOALCO ROAD  
STRAFFORD, NH 03884  
S.C.R.D. BOOK 1304, PAGE 15

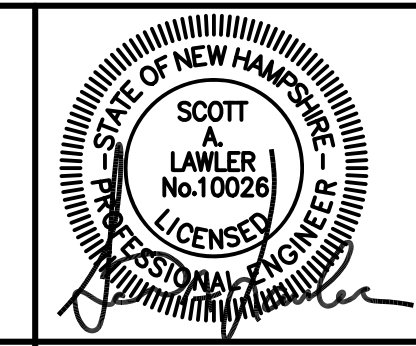
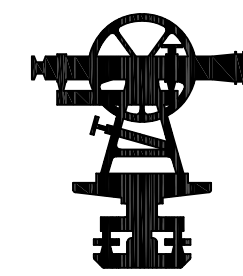
PLANNING BOARD APPROVAL BLOCK

SIGNATURE OF OWNERS: \_\_\_\_\_  
SIGNATURE OF DEVELOPER: \_\_\_\_\_

LEGEND

- PROPERTY LINE
- - - JURISDICTIONAL WETLANDS
- - - - - EXISTING TREE LINE
- - - - - EXISTING OVERHEAD WIRES
- ⊕ EXISTING HYDRANT
- ⊕ EXISTING WATER GATE OR SHUT-OFF VALVE
- ⊕ EXISTING UTILITY POLE
- ▭ PROPOSED BUILDING
- ▭ PROPOSED PAVEMENT
- ▭ BC PROPOSED PAVEMENT WITH CURBING
- - - - - PROPOSED TREE LINE
- PROPOSED PAVEMENT
- PROPOSED SIGN
- R20' PAVEMENT RADIUS (20')
- ▭ PROPOSED STANDARD PARKING SPACES (9' x 18')
- ▭ PROPOSED VAN ACCESSIBLE PARKING SPACES (8' x 18' WITH 8' x 18' ACCESS ISLE)

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



REVISION BLOCK

05/17/20	- REVISE FINISH FLOOR ELEVATION.
05/22/20	- ADD STOP SIGN; ADD 8'x8' CONCRETE PAD.

TAX MAP 220, LOT 26  
TODD & DEBRA LEPAGE  
30 GREENHILL ROAD  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 2180, PAGE 219

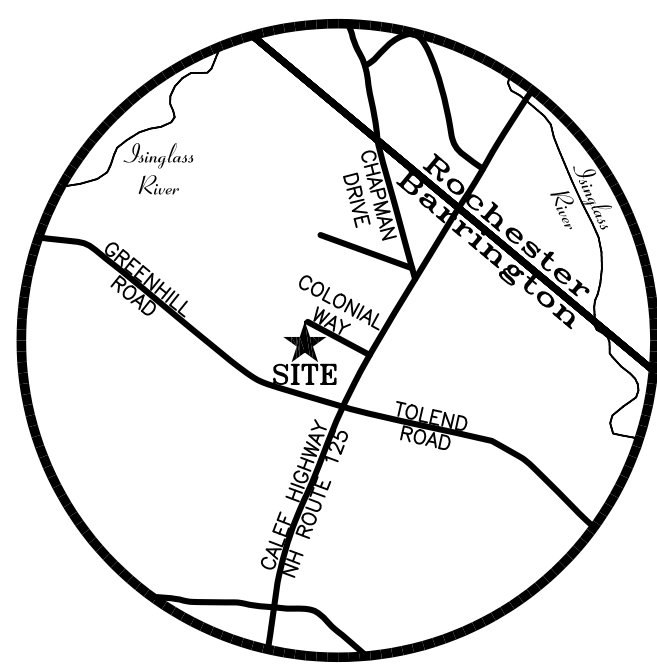
TAX MAP 220, LOT 31  
WCH VENTURES, LLC  
26 COLONIAL WAY  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4424, PAGE 960

TAX MAP 220, LOT 27  
WANDA LEE & RICHARD A. WALKER, JR.  
24 GREENHILL ROAD  
BARRINGTON, NH 03825-4400  
S.C.R.D. BOOK 1853, PAGE 787  
"SINGLE FAMILY RESIDENCE"

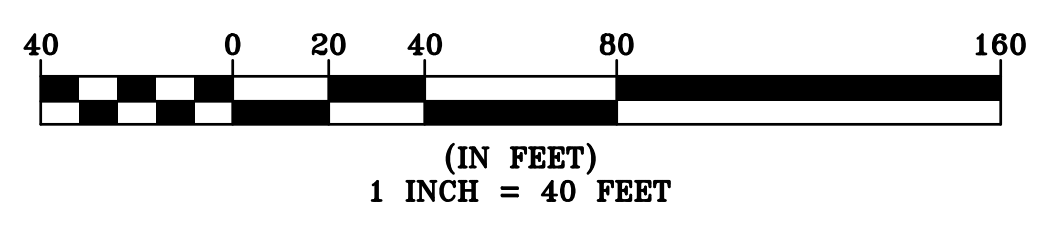
TAX MAP 220, LOT 28  
TERRENCE W. MILNER, JR.  
AND SUASA M. MILNER  
FAMILY LIVING TRUST  
600 PICKERING ROAD  
ROCHESTER, NH 03867  
S.C.R.D. BOOK 4395, PAGE 510

TAX MAP 220, LOT 28-1  
FAA INVESTMENT PROPERTIES, LLC  
SUITE E, 9 COLONIAL WAY  
BARRINGTON, NH 03825-6404  
S.C.R.D. BOOK 2918, PAGE 705

TAX MAP 220, LOT 32  
WOLFGANG & KLAUS BOEHM  
11 JOALCO ROAD  
STRAFFORD, NH 03884  
S.C.R.D. BOOK 1304, PAGE 15

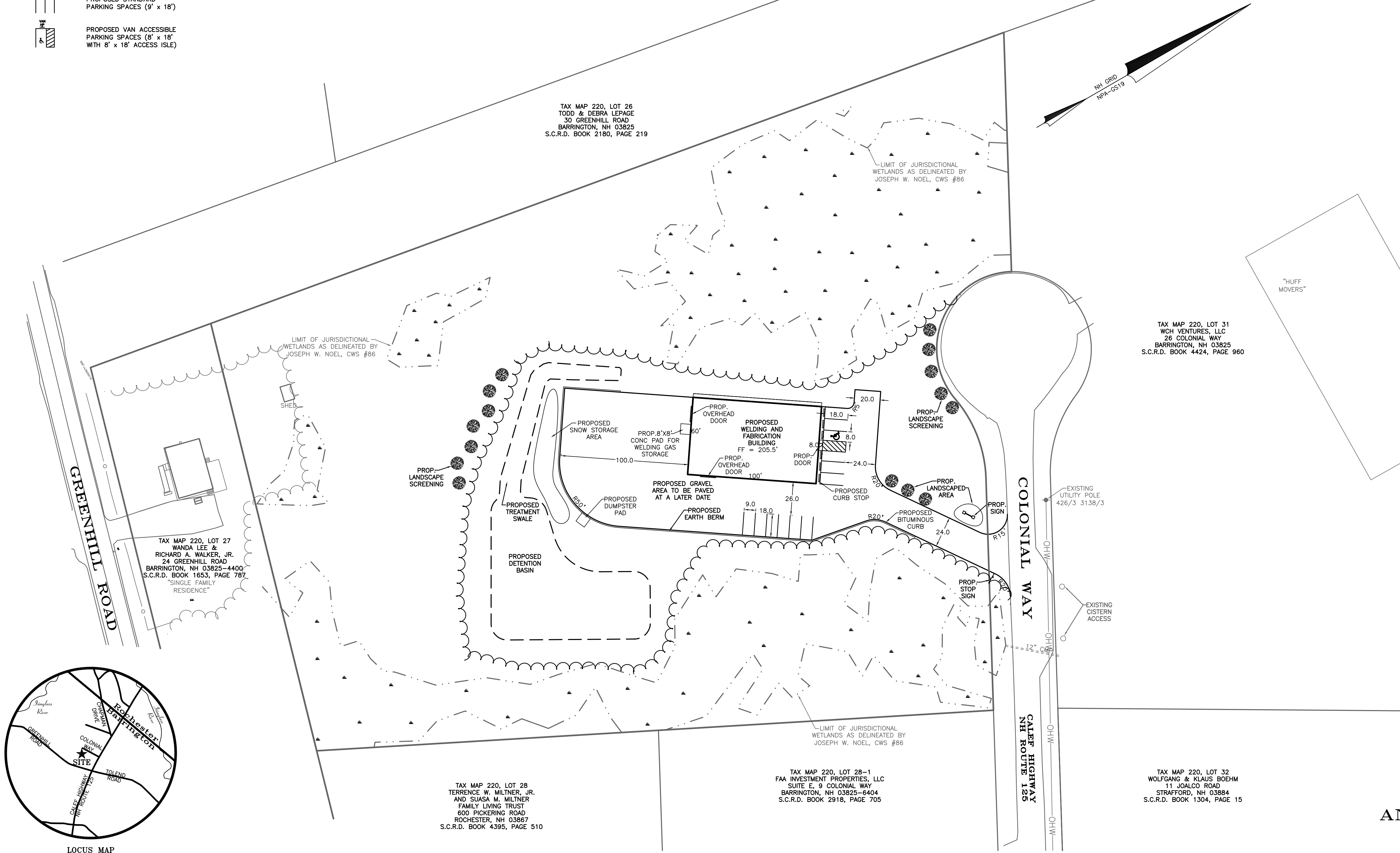


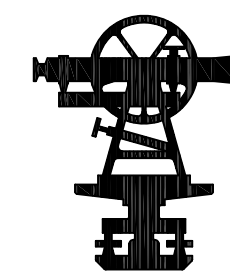
FILE NO. 194  
PLAN NO. C-3030-SP  
DWG NO. 19216\SP-1



**SITE LAYOUT PLAN**  
TAX MAP 220, LOT 29  
COLONIAL WAY  
BARRINGTON, NH  
PREPARED FOR:  
**ANDERSON PROPERTIES, LLC**  
MARCH 2020

OWNER OF RECORD:  
TAX MAP 220, LOT 29  
WANDA LEE & RICHARD A. WALKER, JR.  
24 GREENHILL ROAD  
BARRINGTON, NH 03825-4400  
S.C.R.D. BOOK 1982, PAGE 702

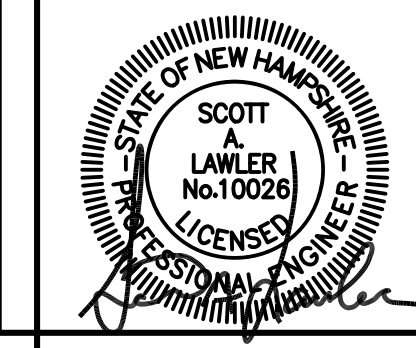




LEGEND

- PROPERTY LINE
- - - JURISDICTIONAL WETLANDS
- - - EXISTING TREE LINE
- - - EXISTING DRAIN LINE
- - - 232 EXISTING CONTOUR LINE
- E234.1' EXISTING TEST PIT
- E234.1' EXISTING SPOT GRADE
- P234.25' PROPOSED SPOT GRADE
- - - PROPOSED TREE LINE
- - - PROPOSED DRAIN LINE
- - - 232 PROPOSED CONTOUR LINE
- ▲ PROPOSED FLARED END SECTION (FES)
- ▴ CPP CORRUGATED POLYETHYLENE PIPE
- ▲ PROPOSED OUTLET PROTECTION

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



**REVISION BLOCK**

05/17/20 - REVISE FINISH FLOOR ELEVATION AND SPOT GRADES AROUND THE BUILDING.

05/22/20 - ADD EMERGENCY SPILLWAY; REVISE DETENTION BASIN AND OUTLET STRUCTURE.

TAX MAP 220, LOT 26  
TODD & DEBRA LEPAGE  
30 GREENHILL ROAD  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 2180, PAGE 219

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY JOSEPH W. NOEL, CWS #86

TAX MAP 220, LOT 31  
WCH VENTURES, LLC  
26 COLONIAL WAY  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4424, PAGE 960

TAX MAP 220, LOT 27  
WANDA LEE & RICHARD A. WALKER, JR.  
24 GREENHILL ROAD  
BARRINGTON, NH 03825-4400  
S.C.R.D. BOOK 1653, PAGE 787  
"SINGLE FAMILY RESIDENCE"

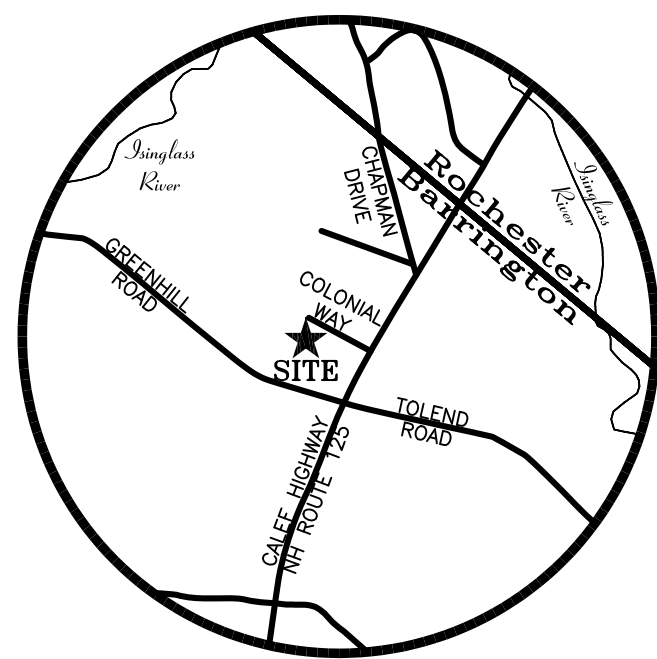
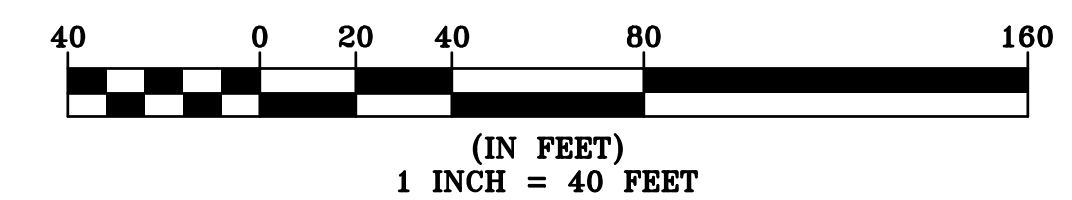
TAX MAP 220, LOT 28  
TERRENCE W. MILTNER, JR.  
AND SUASA M. MILTNER  
FAMILY LIVING TRUST  
600 PICKERING ROAD  
ROCHESTER, NH 03867  
S.C.R.D. BOOK 4395, PAGE 510

TAX MAP 220, LOT 28-1  
FAA INVESTMENT PROPERTIES, LLC  
SUITE E, 9 COLONIAL WAY  
BARRINGTON, NH 03825-6404  
S.C.R.D. BOOK 2918, PAGE 705

TAX MAP 220, LOT 32  
WOLFGANG & KLAUS BOEHM  
11 JOALGO ROAD  
STRAFFORD, NH 03884  
S.C.R.D. BOOK 1304, PAGE 15

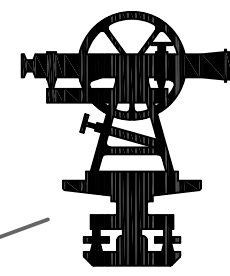
OWNER OF RECORD:  
TAX MAP 220, LOT 29  
WANDA LEE & RICHARD A. WALKER, JR.  
24 GREENHILL ROAD  
BARRINGTON, NH 03825-4400  
S.C.R.D. BOOK 1962, PAGE 702

**GRADING & DRAINAGE PLAN**  
TAX MAP 220, LOT 29  
COLONIAL WAY  
BARRINGTON, NH  
PREPARED FOR:  
**ANDERSON PROPERTIES, LLC**  
MARCH 2020  
GRAPHIC SCALE



LOCUS MAP N.T.S.

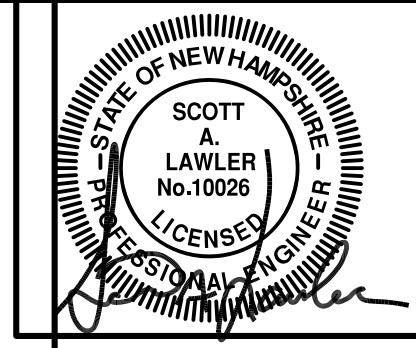
FILE NO. 194  
PLAN NO. C-3030-SP  
DWG NO. 19216\SP-1



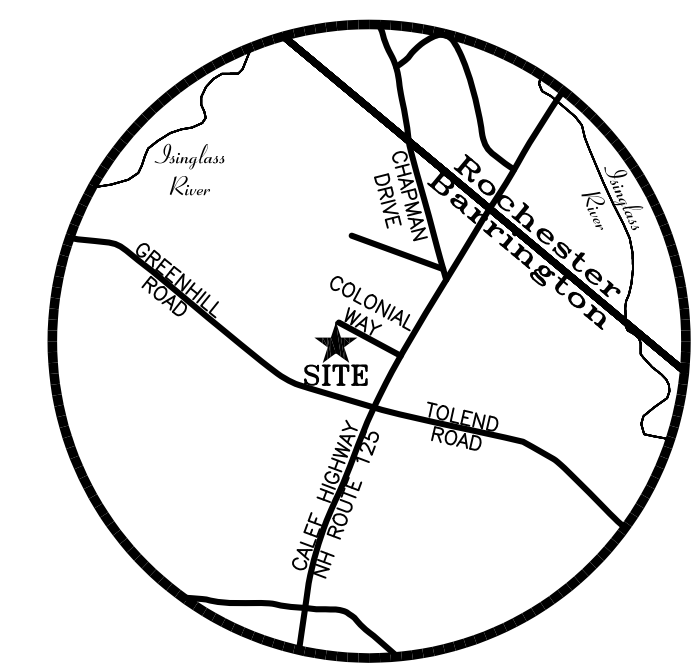
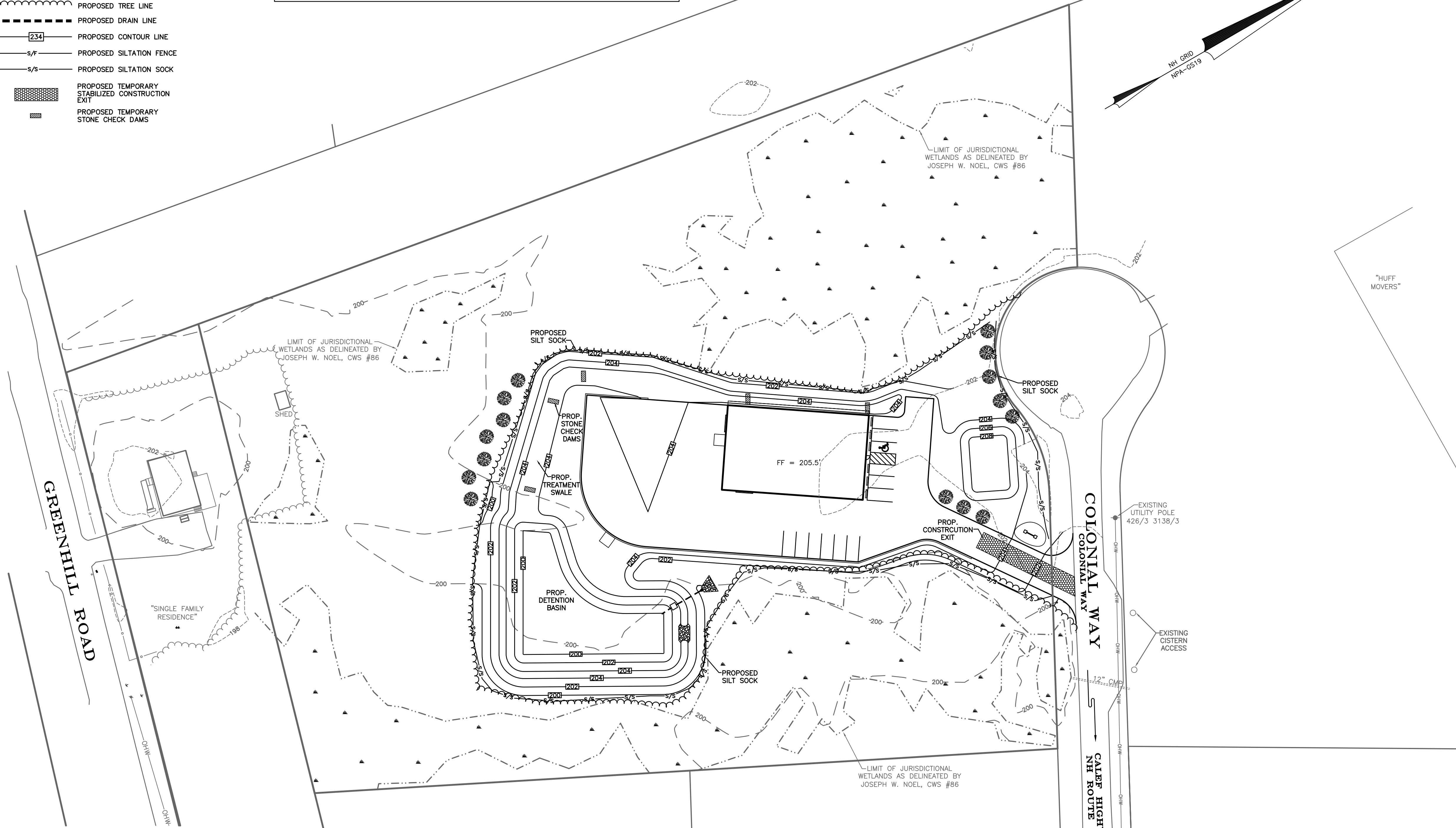
LEGEND

- PROPERTY LINE
- - - JURISDICTIONAL WETLANDS
- ~ ~ ~ EXISTING TREE LINE
- EXISTING DRAIN LINE
- EXISTING CONTOUR LINE
- EXISTING CATCH BASIN
- PROPOSED TREE LINE
- PROPOSED DRAIN LINE
- PROPOSED CONTOUR LINE
- PROPOSED SILTATION FENCE
- PROPOSED SILTATION SOCK
- PROPOSED TEMPORARY STABILIZED CONSTRUCTION EXIT
- PROPOSED TEMPORARY STONE CHECK DAMS

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



REVISION BLOCK  
 05/22/20 - ADD SILT SOCK TO NORTHERN LIMITS OF GRADING.

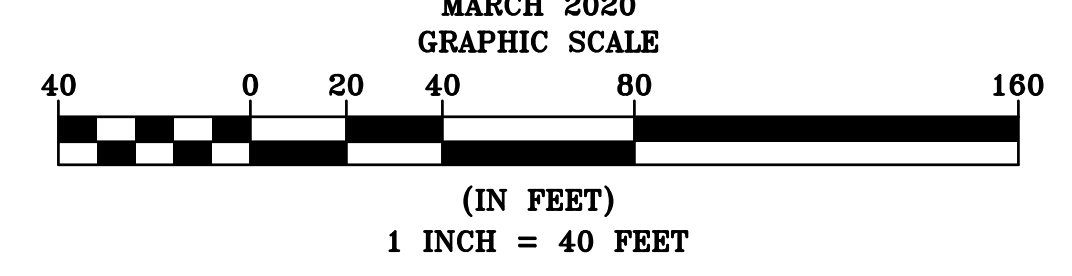


LOCUS MAP N.T.S.

FILE NO. 194  
 PLAN NO. C-3030-SP  
 DWG NO. 19216\SP-1

OWNER OF RECORD:  
 TAX MAP 220, LOT 29  
 WANDA LEE & RICHARD A. WALKER, JR.  
 24 GREENHILL ROAD  
 BARRINGTON, NH 03825-4400  
 S.C.R.D. BOOK 1962, PAGE 702

**EROSION & SEDIMENTATION CONTROL PLAN**  
 TAX MAP 220, LOT 29  
 COLONIAL WAY  
 BARRINGTON, NH  
 PREPARED FOR:  
**ANDERSON PROPERTIES, LLC**



LEGEND

- PROPERTY LINE
- - - JURISDICTIONAL WETLANDS
- - - - - EXISTING TREE LINE
- - - - - EXISTING DRAIN LINE
- - - - - EXISTING CONTOUR LINE
- - - - - PROPOSED TREE LINE
- - - - - PROPOSED DRAIN LINE
- - - - - PROPOSED CONTOUR LINE
- OHW — PROPOSED OVERHEAD WIRES
- UGU — PROPOSED UNDERGROUND ELECTRIC
- PW — PROPOSED WATER LINE
- ⊙ PROPOSED WELL
- ⊕ PROPOSED UTILITY POLE
- PROPOSED LIGHT POLES
- ◀ PROPOSED BUILDING LIGHT FIXTURES

Luminaire Schedule				
Symbol	Label	Qty	Arrangement	Description
□	P3	1	SINGLE	GLEON-AP-01-LED-E1-SL3-600-HSS/ SSS4A20SFN1 (20' AFG)
□	P4	3	SINGLE	GLEON-AP-01-LED-E1-SL4-600/ SSS4A20SFN1 (20' AFG)
◀	W	3	SINGLE	1ST-AP-350-LED-E1-T4FT/ WALL MTD 20' AFG

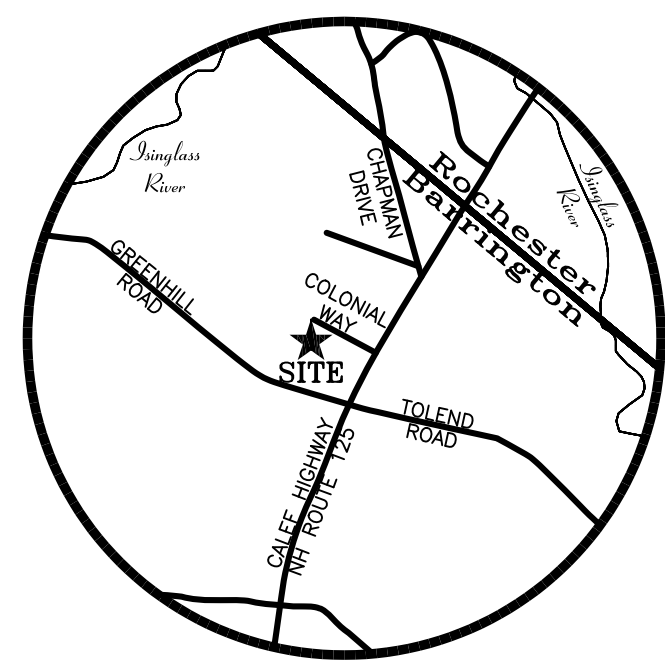
TAX MAP 220, LOT 26  
TODD & DEBRA LEPAGE  
30 GREENHILL ROAD  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 2180, PAGE 219

TAX MAP 220, LOT 31  
WCH VENTURES, LLC  
26 COLONIAL WAY  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 4424, PAGE 960

TAX MAP 220, LOT 28  
TERRENCE W. MILTNER, JR.  
AND SUASA W. MILTNER  
FAMILY LIVING TRUST  
600 PICKERING ROAD  
ROCHESTER, NH 03687  
S.C.R.D. BOOK 4395, PAGE 510

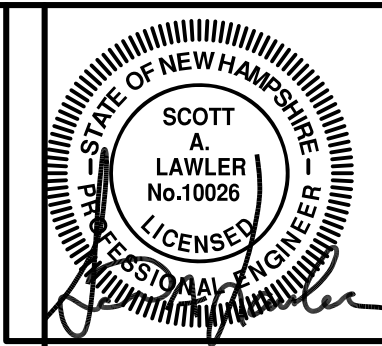
TAX MAP 220, LOT 28-1  
FAA INVESTMENT PROPERTIES, LLC  
SUITE E, 9 COLONIAL WAY  
BARRINGTON, NH 03825-6404  
S.C.R.D. BOOK 2918, PAGE 705

TAX MAP 220, LOT 32  
WOLFGANG & KLAUS BOEHM  
11 JOALCO ROAD  
STRAFFORD, NH 03884  
S.C.R.D. BOOK 1304, PAGE 15



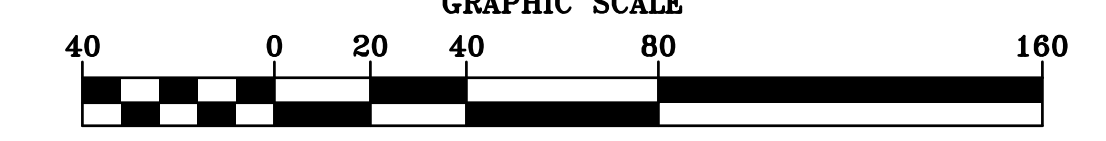
LOCUS MAP N.T.S.

FILE NO. 194  
PLAN NO. C-3030-SP  
DWC NO. 19216\SP-1



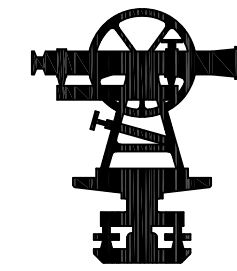
REVISION BLOCK  
05/22/20 - REVISE LIGHT POLE LOCATIONS.

UTILITY PLAN  
TAX MAP 220, LOT 29  
COLONIAL WAY  
BARRINGTON, NH  
PREPARED FOR:  
**ANDERSON PROPERTIES, LLC**  
MARCH 2020  
GRAPHIC SCALE

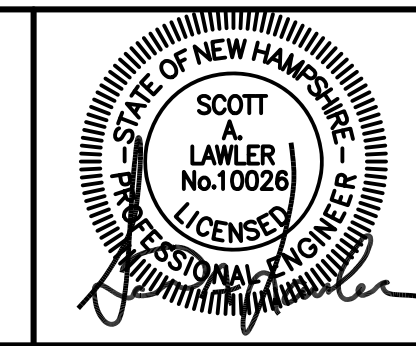


(IN FEET)  
1 INCH = 40 FEET

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

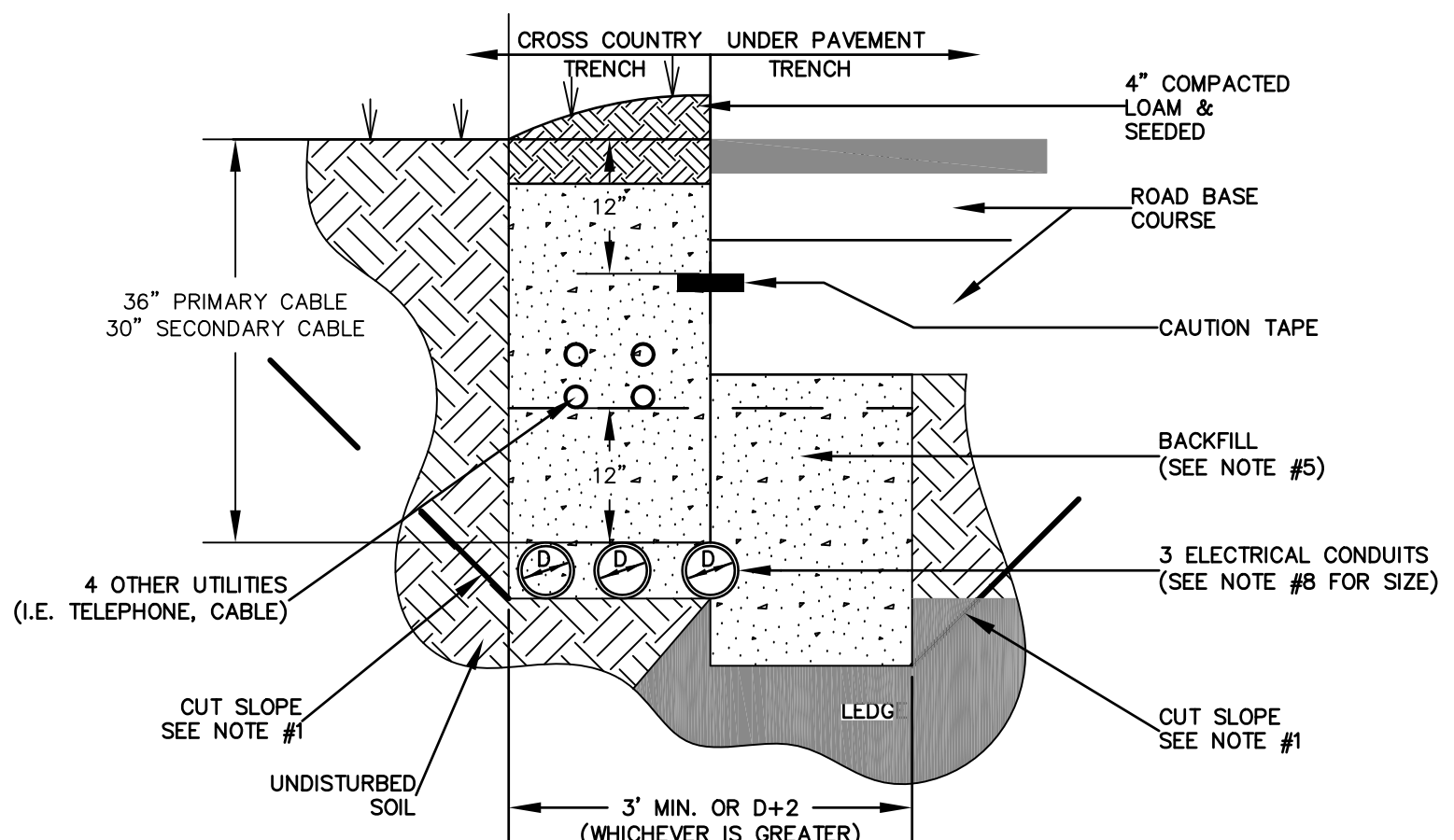


CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENT IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



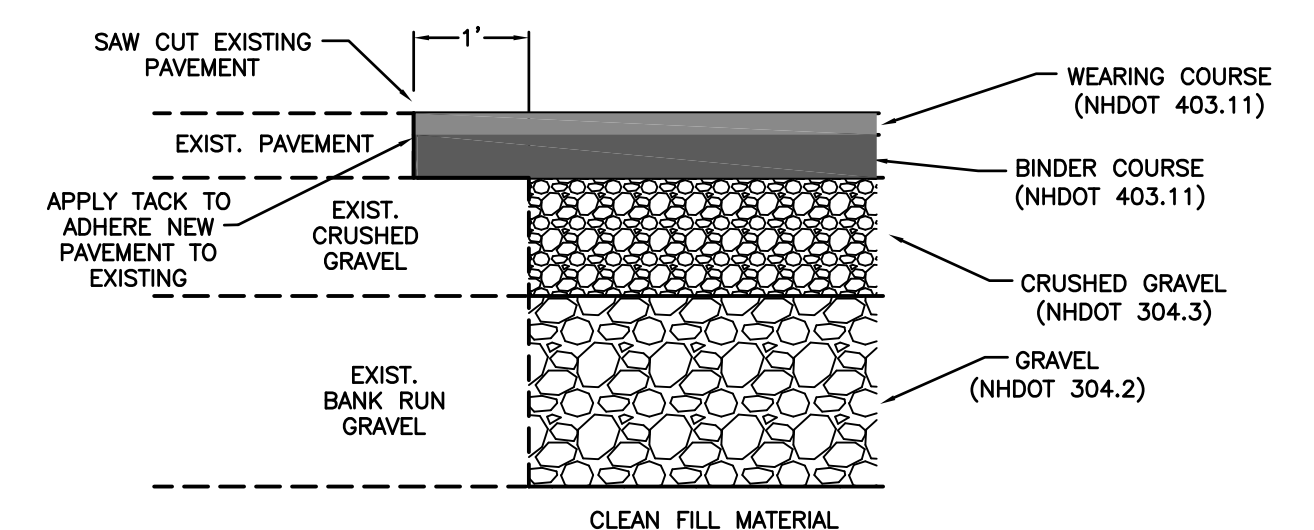
REVISION BLOCK

05/22/20 - ADD STOP SIGN TO SIGN SCHEDULE; ADD STOP SIGN DETAIL

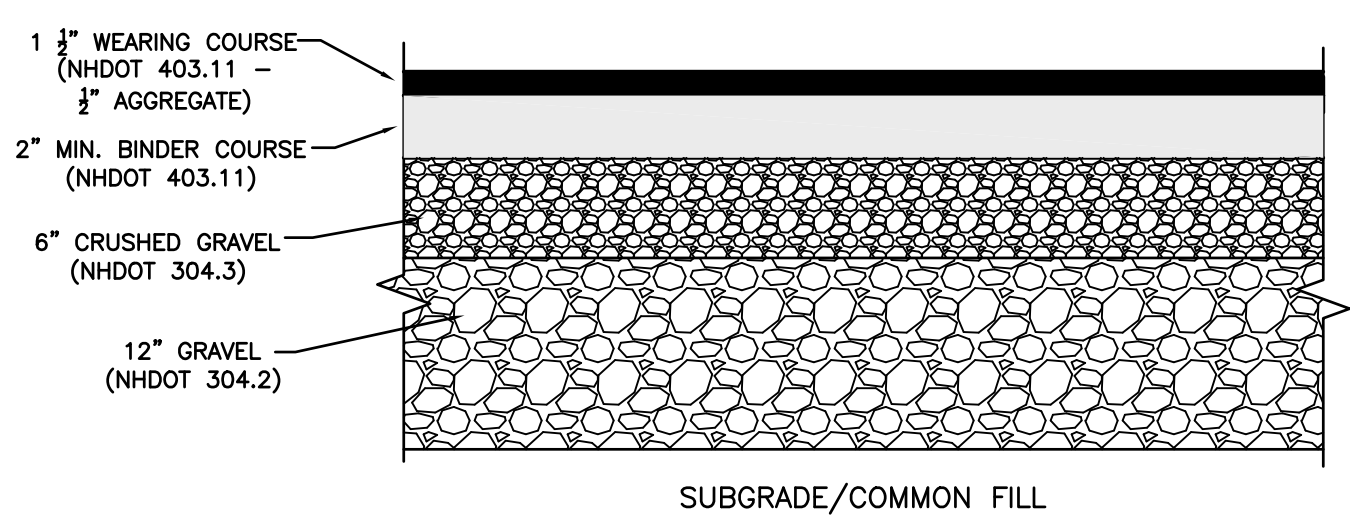


- NOTES:
- ALL NON-METALLIC CONDUIT AND FITTINGS SHALL BE ELECTRICAL GRADE, SCHEDULE 40 PVC, AND SHALL CONFORM TO THE APPLICABLE SECTIONS OF NEMA TC2-1990 AND BE UL LISTED. ONLY GRAY-COLORED CONDUIT WILL BE ACCEPTED. ANY PVC CONDUIT NOT HAVING THE PROPER NEMA AND UL MARKINGS WILL NOT BE ACCEPTED. ALL STEEL CONDUITS SHALL CONFORM TO ASTM A120 AND BE RIGID GALVANIZED STEEL. ALL PVC JOINTS MUST BE CEMENTED. STEEL FITTINGS SHALL BE SEALED WITH COMPOUND.
  - ALL 90 DEGREE SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL WITH A MINIMUM RADIUS OF 36 INCHES FOR PRIMARY CABLES AND 24 INCHES FOR SECONDARY CABLES. ALL STEEL SWEEPS WITHIN 18" OF THE SURFACE SHALL BE PROPERLY GROUNDED.
  - A 10-FOOT HORIZONTAL SECTION OF RIGID GALVANIZED STEEL CONDUIT WILL BE REQUIRED AT EACH SWEEP, UNLESS IN THE OPINION OF THE PSNH DESIGNER, THE SWEEP-PVC JOINT IS NOT SUBJECT TO FAILURE DURING CABLE PULLING.
  - THE CONDUIT SHALL CROSS PAVED AREAS AT APPROXIMATELY 90 DEGREES.
  - BACKFILL MAY BE MADE WITH EXCAVATED MATERIAL OR COMPARABLE, UNLESS MATERIAL IS DEEMED UNSUITABLE BY PSNH. BACKFILL SHALL BE FREE OF FROZEN LUMPS, ROCKS, DEBRIS, AND RUBBISH. ORGANIC MATERIAL SHALL NOT BE USED AS BACKFILL. BACKFILL SHALL BE THOROUGHLY COMPACTED IN 6-INCH LAYERS.
  - A SUITABLE PULL STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE PSNH IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
  - ROUTING OF THE CONDUIT AND INSPECTION PRIOR TO BACKFILL WILL BE PROVIDED BY PSNH. INSTALLATION OF THE CONDUIT WILL BE DONE BY THE CONTRACTOR. THE PSNH SUPERVISOR MUST BE NOTIFIED 2 BUSINESS DAYS PRIOR TO BACKFILLING THE TRENCH. IN THE EVENT THAT A CABLE CANNOT BE SUCCESSFULLY PULLED THROUGH THE COMPLETED CONDUIT SYSTEM DUE TO A CONSTRUCTION ERROR, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REPAIR THE INVOLVED CONDUIT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RESULTING EXPENSES.
  - NORMAL CONDUIT SIZES FOR PSNH ARE 3-INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4-INCH FOR THREE PHASE SECONDARY, AND 5-INCH FOR THREE PHASE PRIMARY.
  - ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE THE NATIONAL ELECTRIC CODE.
  - CONDUIT MAY BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4-FT. INSTALLATIONS DEEPER THAN 4-FT REQUIRE THE USE OF A TRENCH BOX.

**ELECTRICAL & UNDERGROUND UTILITY TRENCH INSTALLATION DETAIL**  
NOT TO SCALE

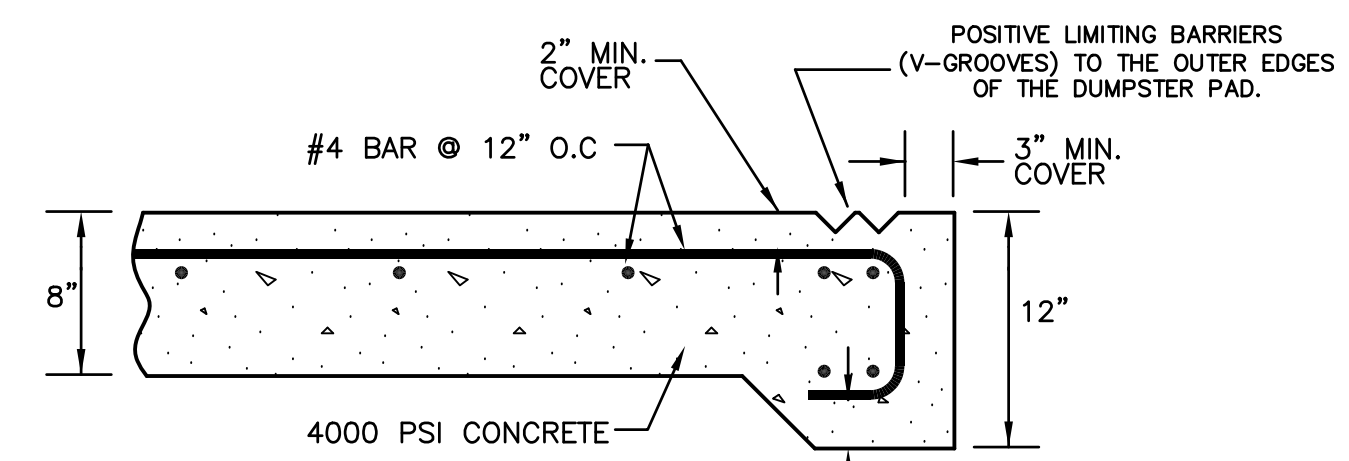


**TYPICAL PAVEMENT MATCHING DETAIL**  
NOT TO SCALE

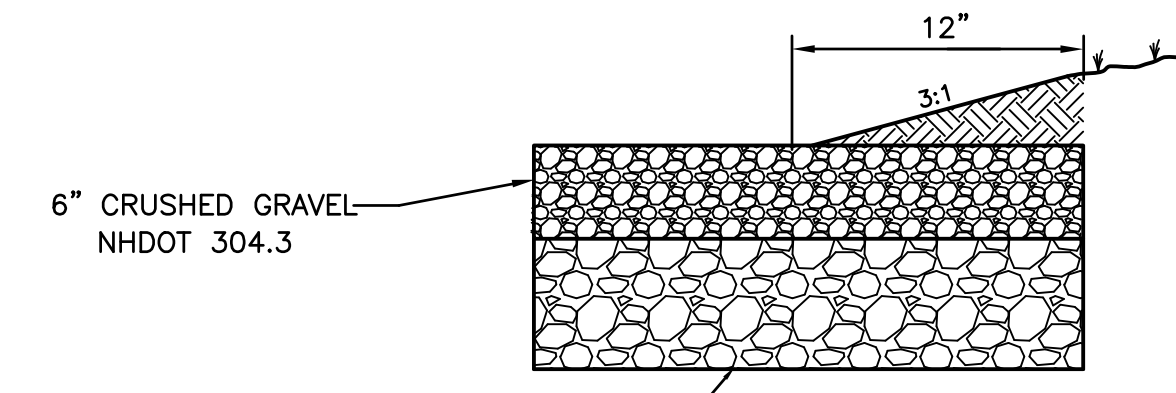


**PARKING LOT CROSS-SECTIONS**  
NOT TO SCALE

- PAVEMENT NOTES:
- PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
  - PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
  - PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
  - PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.

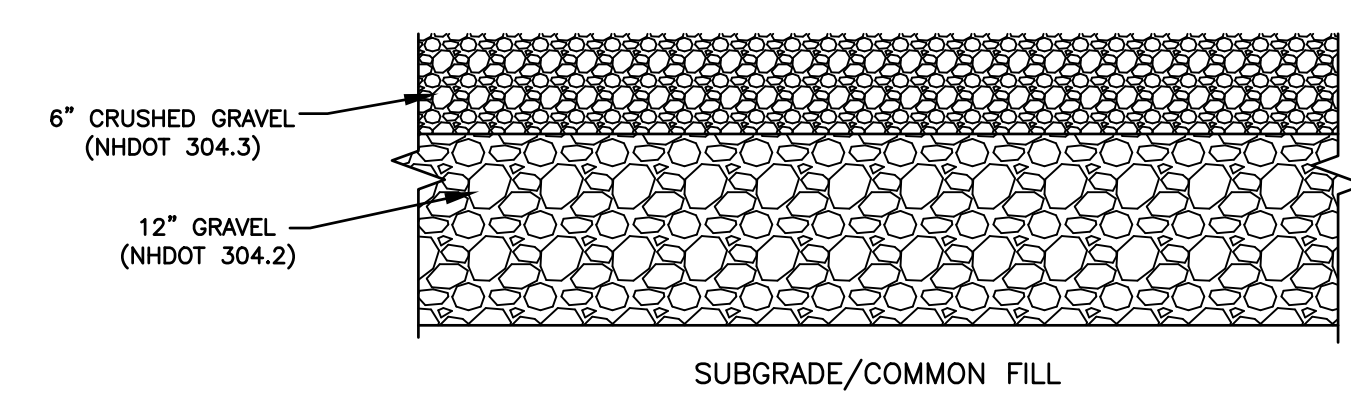


**DUMPSTER PAD DETAIL**  
NOT TO SCALE



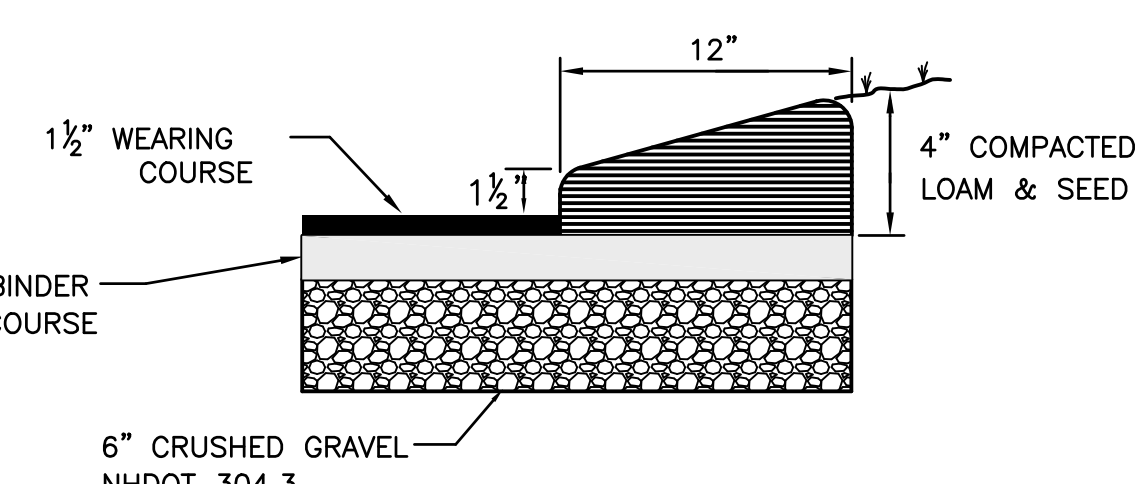
**EARTH BERM DETAIL**  
NOT TO SCALE

- NOTES:
- BERM SHALL BE INSTALLED ON TOP OF 6" LAYER OF CRUSHED GRAVEL.



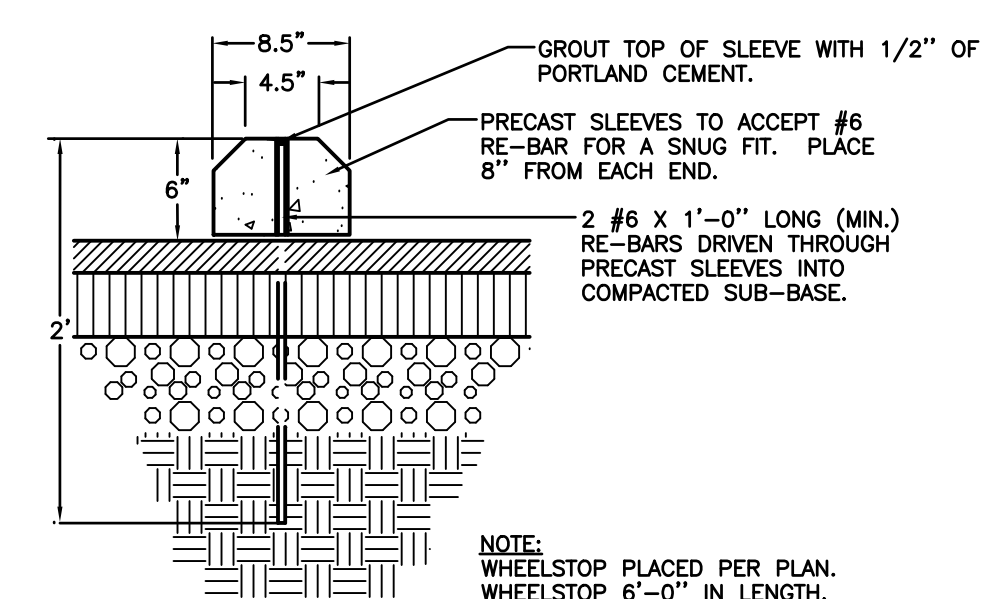
**GRAVEL PARKING LOT CROSS-SECTIONS**  
NOT TO SCALE

- PAVEMENT NOTES:
- PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
  - PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
  - PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.

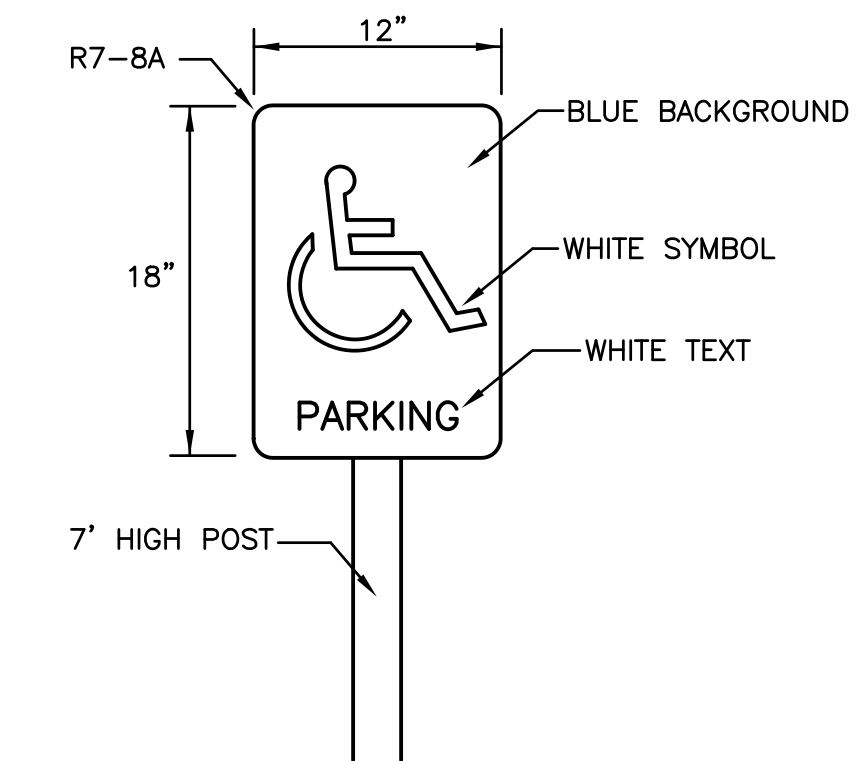


**BITUMINOUS CAPE COD BERM DETAIL**  
NOT TO SCALE

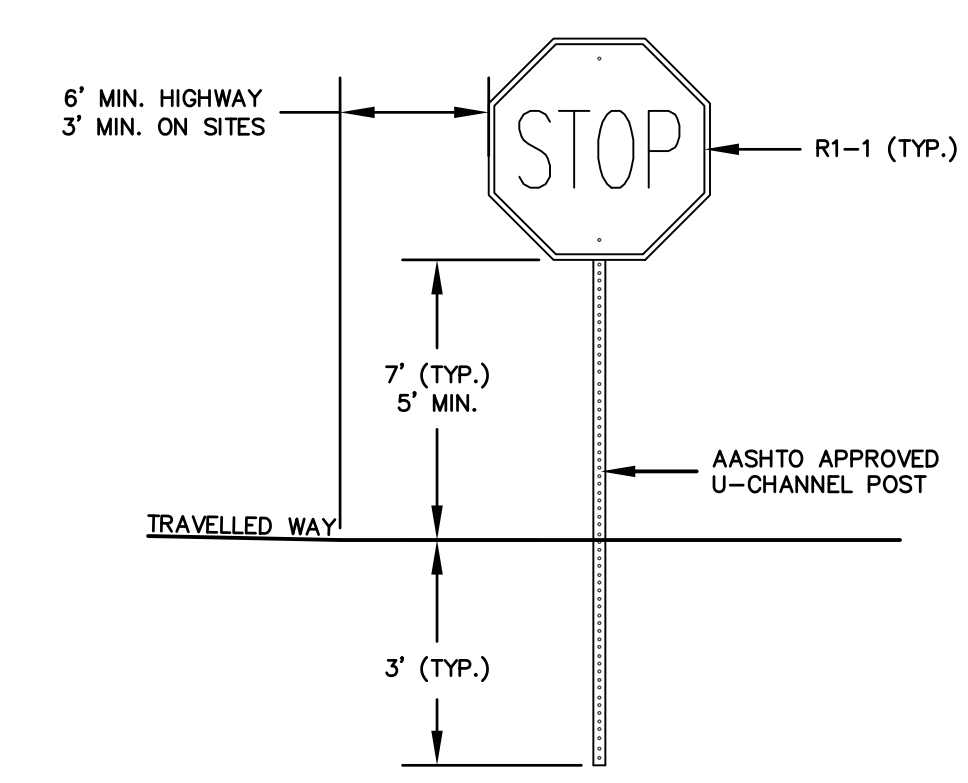
- NOTES:
- BITUMINOUS CAPE COD BERM SHALL BE INSTALLED ON TOP OF BINDER COURSE.



**CONCRETE WHEELSTOP DETAIL**  
NOT TO SCALE

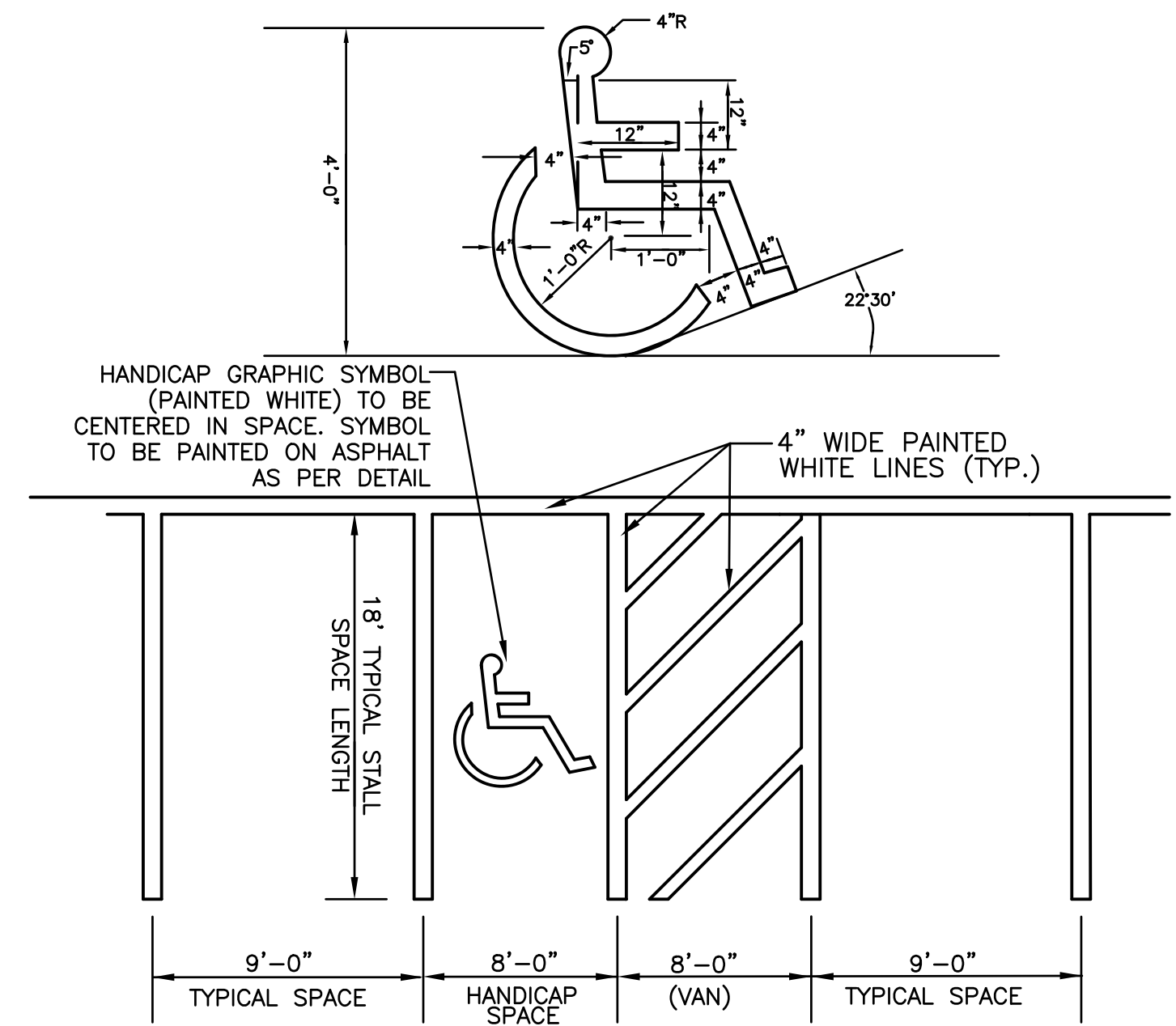


**SIGN DETAIL**  
NOT TO SCALE



- NOTES:
- SIGN POST SHALL BE AASHTO APPROVED U-CHANNEL OR OTHER PER AASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORT OF HIGHWAY SIGNS, LUMINAIRES AND SIGNALS", LATEST EDITION.
  - SIGNS SHALL BE MOUNTED 7 FT FROM GROUND TO BOTTOM EDGE WHERE PARKING AND PARKING LOT MOVEMENTS TAKE PLACE.
  - SIGNS SHALL BE PLACED SO THAT NEAREST EDGE IS 6 FT. FROM TRAVELED WAY.

**TYPICAL TRAFFIC SIGN**  
NOT TO SCALE



**STALL STRIPING DETAIL**  
NOT TO SCALE

CONSTRUCTION SEQUENCE

- CUT ALL TREES AND REMOVE ALL STUMPS.
- INSTALL SILT SOCKS AS SHOWN. MAINTAIN SILT SOCKS AS CONSTRUCTION PROGRESSES AND UNTIL ALL DISTURBED AREAS ARE STABLE.
- CONSTRUCT THE TREATMENT SWALE AND DETENTION BASIN AS SHOWN ON THE PLAN. LOAM, SEED, AND MULCH IMMEDIATELY AFTER CONSTRUCTION.
- THE TREATMENT SWALE AND DETENTION BASIN MUST BE STABILIZED BEFORE DIRECTING RUNOFF TO THEM. EROSION CONTROL BLANKETS (CURLX EXCELSIOR BY AMERICAN EXCELSIOR COMPANY, OR EQUAL) SHALL BE USED WHERE SOD IS NOT PLACED AND VEGETATION IS NOT ESTABLISHED.
- REMOVE THE LOAM AND VEGETATION FROM THE BUILDING, PARKING LOT AND BACKSLOPE AREAS. THE LOAM WILL NEED TO BE STORED FOR USE LATER IN STABILIZING THE SWALES AND SIDESLOPES. THE LOAM PILE SHALL BE SEED FOR TEMPORARY PROTECTION SHOULD IT REMAIN INACTIVE FOR MORE THAN 30 DAYS.
- CUT THE PARKING LOT, BACKSLOPE AREAS, AND BUILDING AREAS TO SUB-GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDDED AND MULCHED OR COVERED WITH AN EROSION CONTROL BLANKET IMMEDIATELY AFTER THEIR CONSTRUCTION.
- CONSTRUCT THE CLOSED DRAINAGE SYSTEM AS SHOWN ON THE PLAN.
- INSTALL ALL UNDERGROUND UTILITIES AS DEPICTED ON THE UTILITY PLAN.
- INSTALL THE GRAVEL BASE IN ALL AREAS TO BE PAVED.
- INSTALL ALL NEW PAVEMENT.
- ALL DISTURBED AREAS EXCLUDING BUILDINGS AND PARKING SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT IN NO CASE SHALL BE LEFT UNSTABILIZED FOR MORE THAN 30 DAYS. BUILDINGS, PARKING LOTS, AND DRIVEWAYS SHALL BE CONSTRUCTED AS PRACTICABLE, BUT IN NO CASE SHALL BE LEFT UNPROTECTED OVER THE WINTER MONTHS.
- REMOVE TEMPORARY EROSION CONTROL (SILT FENCES AND SILT SOCKS) TO ELIMINATE FLOW IMPEDIMENTS ONCE SEEDING IS FIRMLY ESTABLISHED.

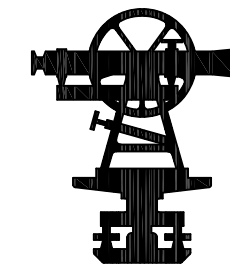
**CONSTRUCTION DETAILS**  
TAX MAP 220, LOT 29  
COLONIAL WAY  
BARRINGTON, NH  
PREPARED FOR:  
**ANDERSON PROPERTIES, LLC**  
MARCH 2020

FILE NO. 194  
PLAN NO. C-3030-SP  
DWG NO. 19216\SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

2 Continental Blvd., Rochester, N.H. 603-335-3948

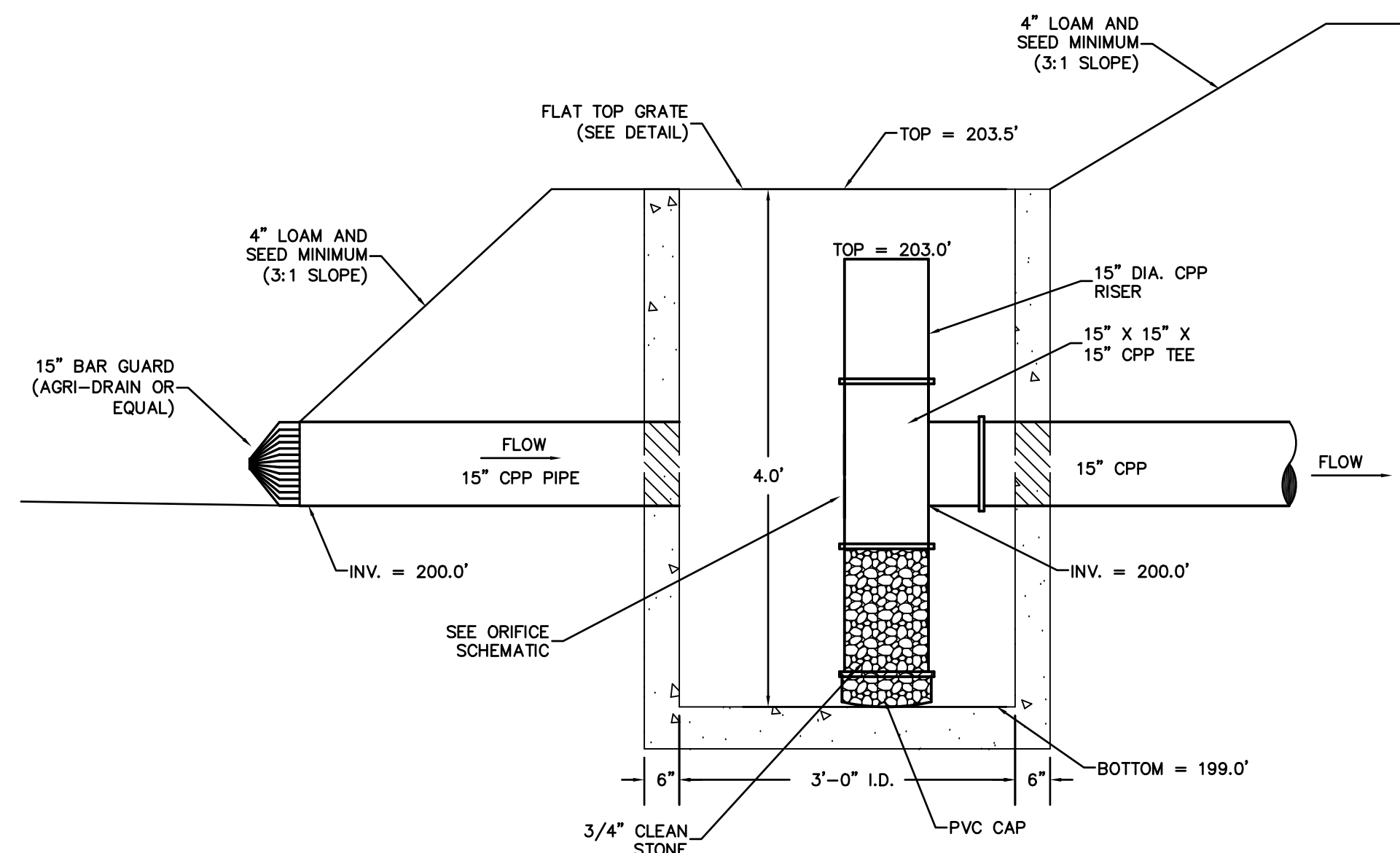




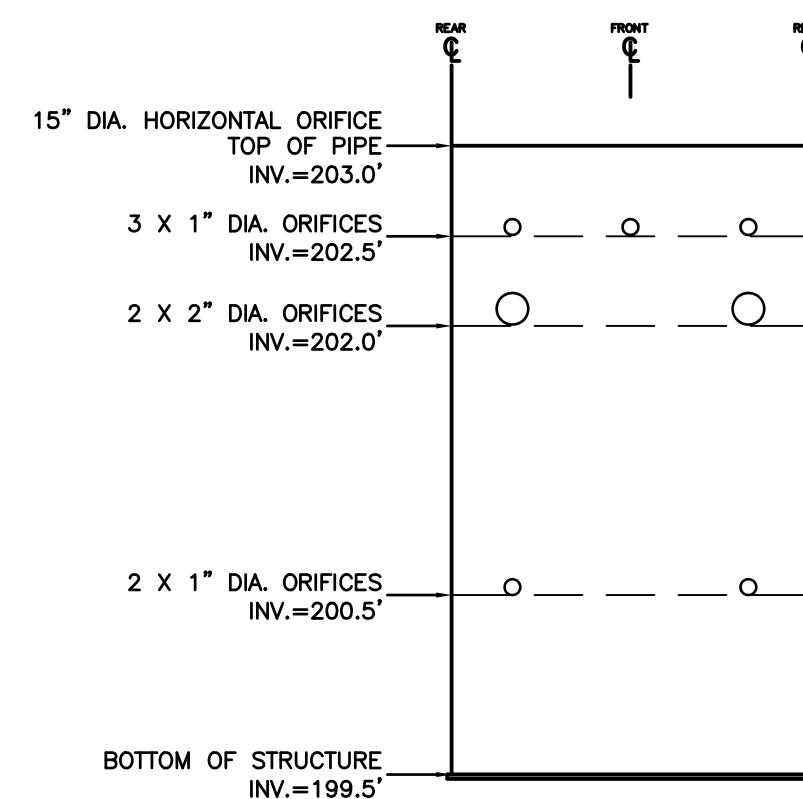
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



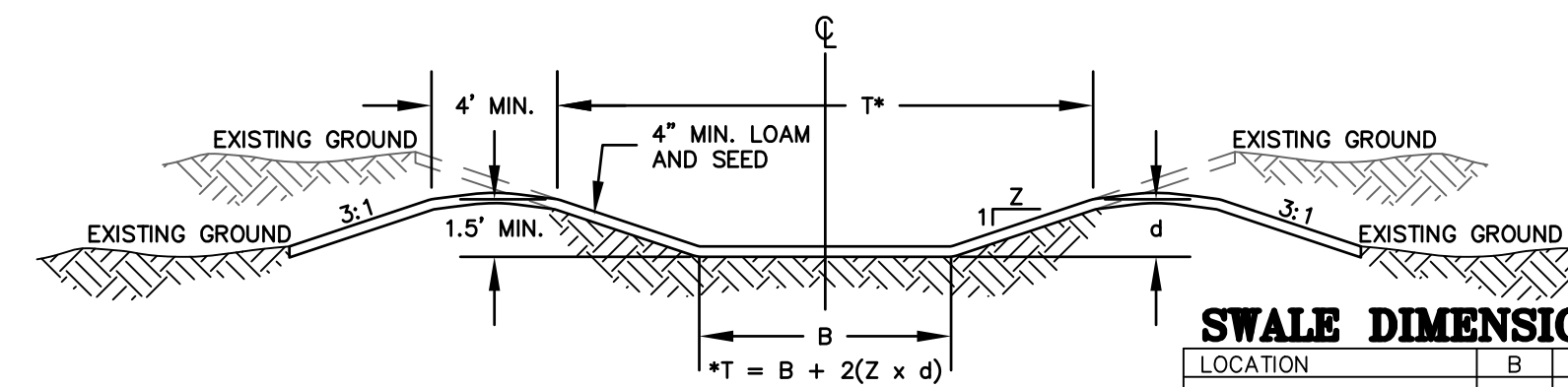
**REVISION BLOCK**  
05/22/20 - ADD DRAINAGE PIPE TRENCH INSTALLATION DETAIL; REVISE OUTLET STRUCTURE DETAIL; REVISE ORIFICE SCHEMATIC DETAIL; REVISE DETENTION BASIN CROSS SECTION; ADD SPILLWAY DETAIL



**OUTLET STRUCTURE DETAIL**  
NOT TO SCALE



**ORIFICE SCHEMATIC DETAIL**  
NOT TO SCALE

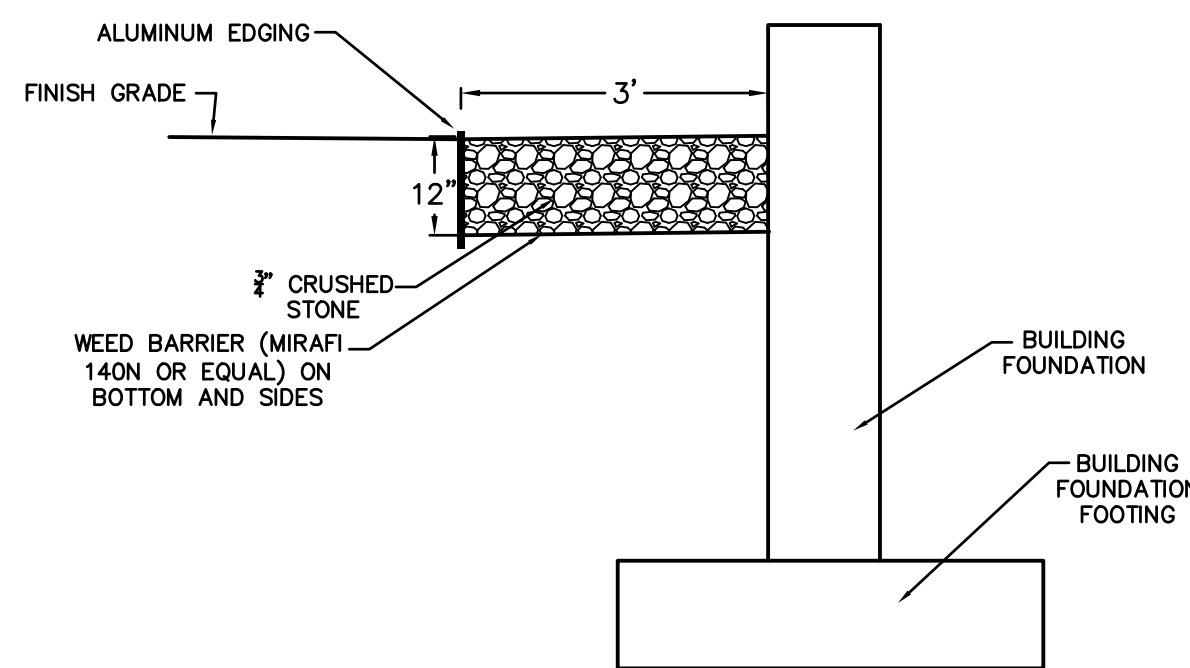


- MAINTENANCE NOTES:**
1. THE SWALE(S) SHALL BE MOWED WITH THE REST OF THE SITE'S LAWN AREAS TO PROMOTE HEALTHY GROWTH AND PREVENT THE ENROACHMENT OF WEEDS AND WOODY VEGETATION. DO NOT MOW GRASS IN SWALE(S) TOO SHORT. THIS WILL REDUCE THE SWALES FILTERING ABILITY.
  2. THE SWALE(S) SHOULD BE FERTILIZED ON AN AS NECESSARY BASIS, TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION COULD RESULT IN THE SWALE(S) BECOMING A SOURCE OF POLLUTION TO THE SURROUNDING WETLAND AREAS.
  3. THE SWALE(S) SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

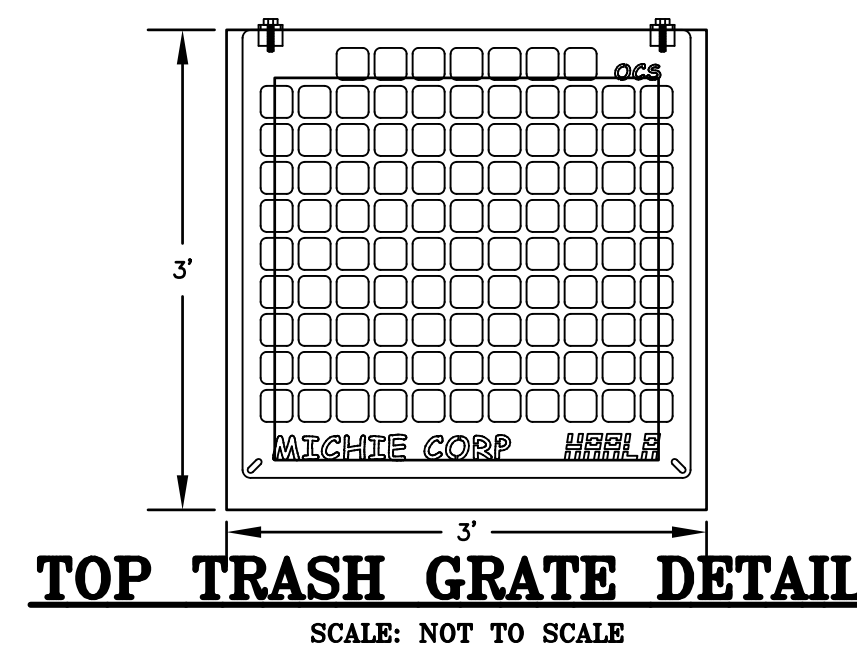
**VEGETATED TREATMENT SWALE DETAIL**  
NOT TO SCALE

**SWALE DIMENSION TABLE**

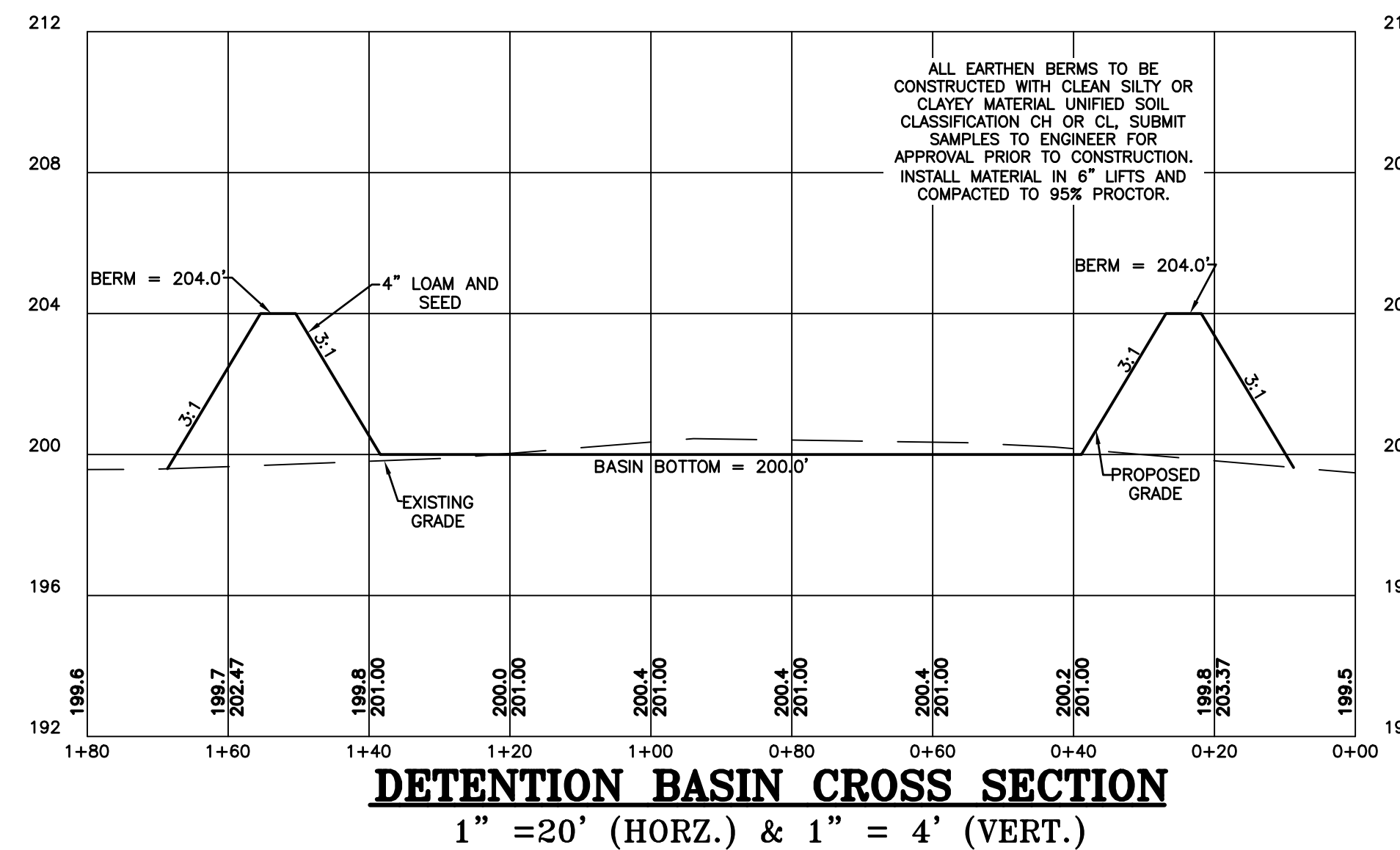
LOCATION	B	d	Z	T
TREATMENT SWALE 1 SOUTHERN EDGE OF PAVEMENT	6'	1'	3	12'



**FOUNDATION AND DRIP EDGE DRAIN DETAIL**  
NOT TO SCALE



**TOP TRASH GRATE DETAIL**  
SCALE: NOT TO SCALE



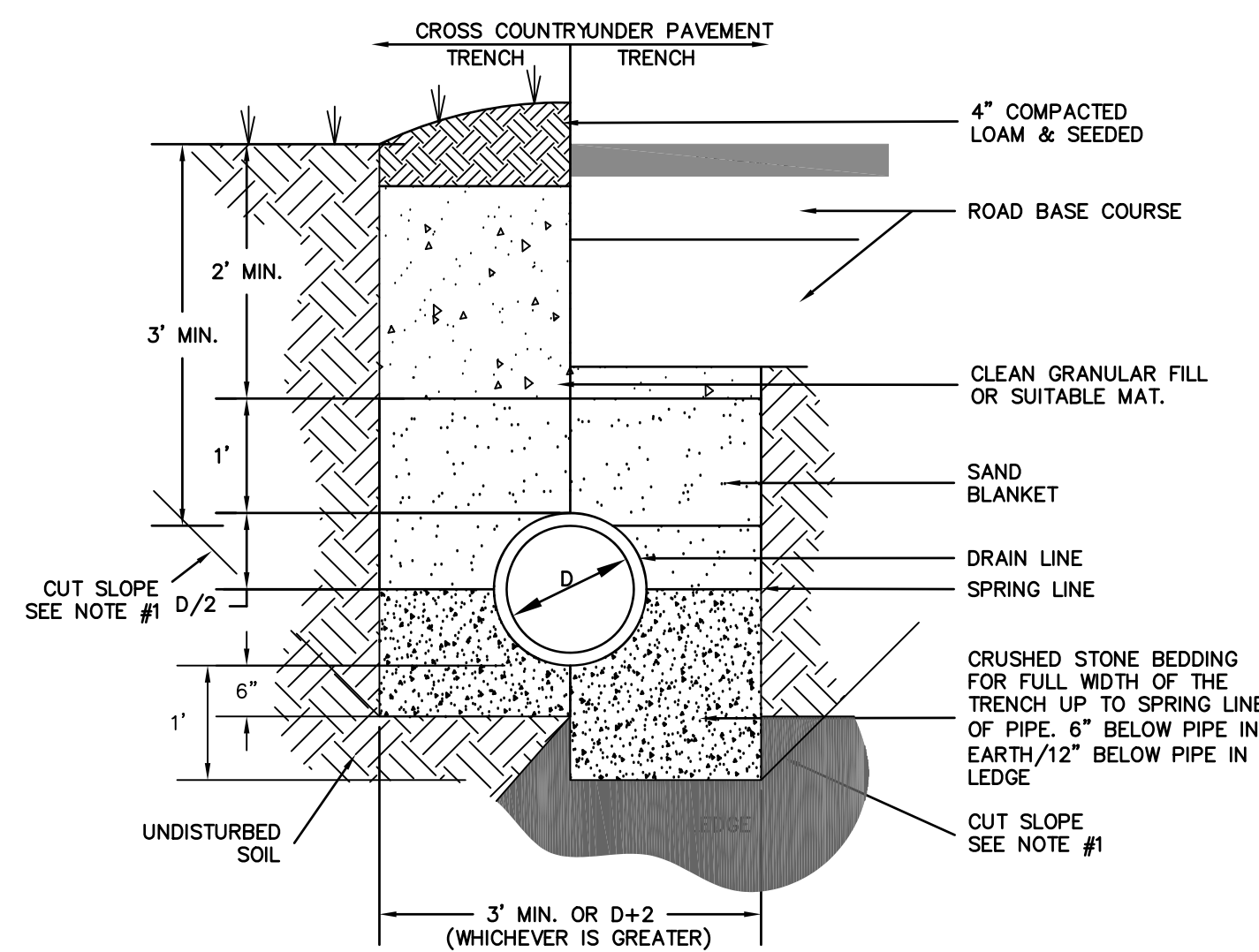
**DETENTION BASIN CROSS SECTION**  
1" = 20' (HORZ.) & 1" = 4' (VERT.)

**DETENTION BASIN:**

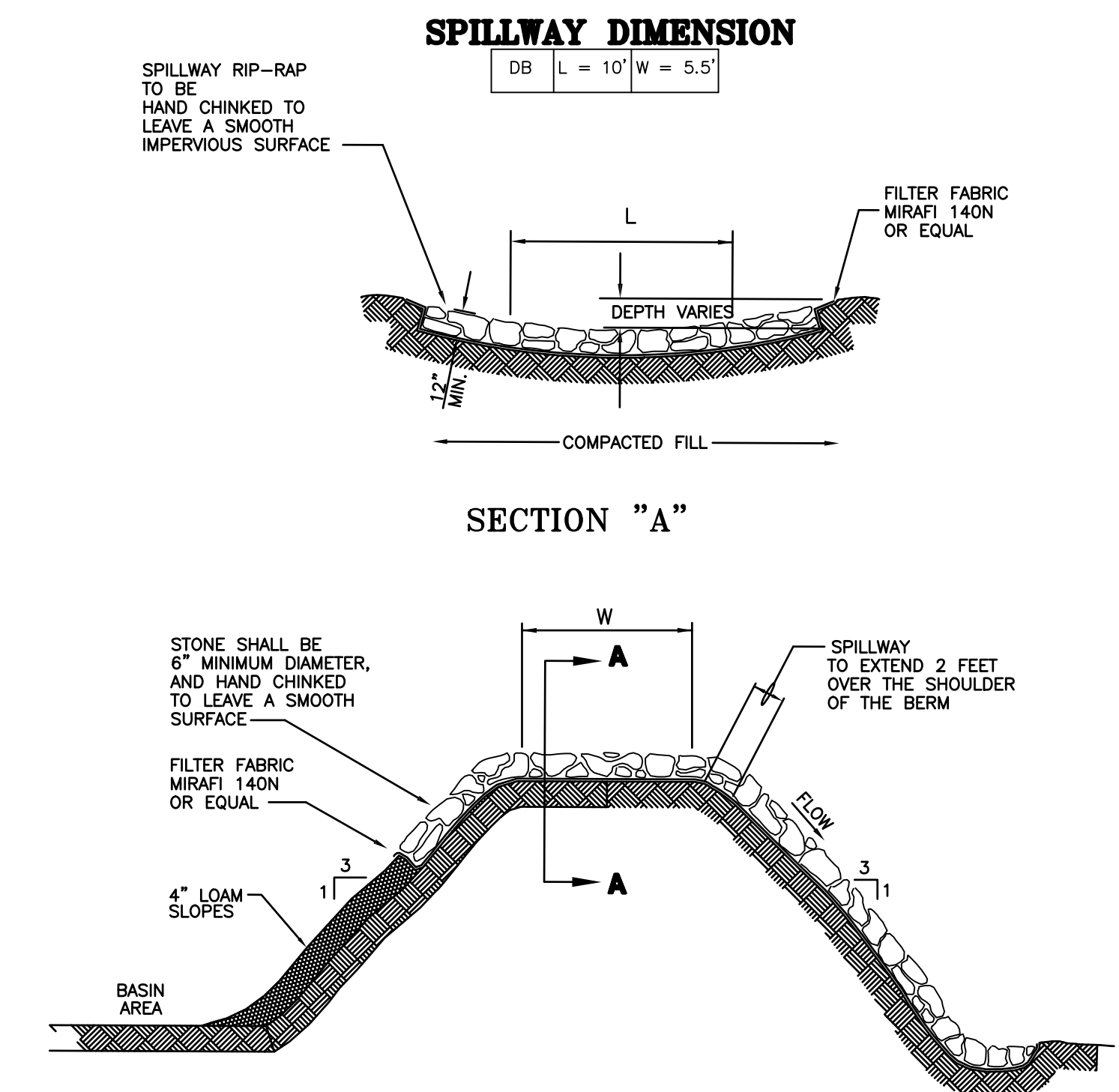
- SPECIFICATIONS:**
1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE DETENTION BASIN.
  2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE DETENTION BASIN.
  3. VEGETATION SHALL BE ESTABLISHED IMMEDIATELY AFTER FINAL GRADING IS COMPLETED.
  4. CONSTRUCT THE DETENTION BASIN TO THE GRADES DEPICTED ON THE PLAN AND CROSS-SECTION.
  5. LOAM AND SEED ONLY THE SLOPES OF THE DETENTION BASIN AS PRESCRIBED IN THE "PERMANENT VEGETATION" NOTES FOUND ON SHEET C-9. SEED MIXTURE = A
  6. DO NOT PLACE STORMWATER SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

**MAINTENANCE REQUIREMENTS:**

1. INSPECT TREATMENT MEASURES (I.E. TREATMENT SWALE) AT LEAST TWICE A YEAR AND AFTER EVERY STORM GREATER THAN 2.5 INCHES OF RAIN OVER A 24-HOUR PERIOD.
2. INSPECT THE BASIN AFTER EVERY STORM OF 2.5 INCHES OR GREATER OVER A 24-HOUR PERIOD.
3. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION. REPAIR AREA OF REMOVAL AS NECESSARY TO RESTORE LOAM AND GRASS.
4. PERFORM MAINTENANCE AND REHABILITATION BASED ON INSPECTION.
5. REMOVE DEBRIS (IF ANY) FROM BASIN INLET BASED ON INSPECTION.
6. CONDUCT PERIODIC MOWING OF THE DETENTION BASIN SLOPES AND EMBANKMENTS (MINIMUM TWICE A YEAR) TO ELIMINATE WOODY GROWTH FROM THE EMBANKMENTS AND BOTTOM. MOWING THE BASIN EMBANKMENTS WHEN MOWING THE REST OF THE SITE IS RECOMMENDED.
7. IF THE DETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN THE OUTLET STRUCTURE SHALL BE EXAMINED TO DETERMINE IF THERE ARE ANY CLOGS TO THE ORIFICES. IF NECESSARY, HAVE A PROFESSIONAL ENGINEER EXAMINE THE STRUCTURE.



**DRAINAGE PIPE TRENCH INSTALLATION DETAIL**  
NOT TO SCALE

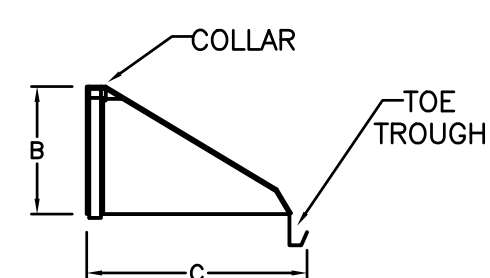


**SPILLWAY DETAIL**  
NOT TO SCALE

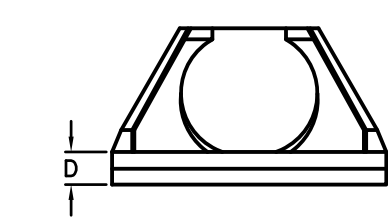
**DIMENSIONS (INCHES)**

PIPE DIAMETERS	A	B	C	D
10" / 12"	42	14.5	33	6
15"	41	19	34	6
18"	49	22	43	6
24"	59.5	28	48	6
30"	88	36	63.5	6
36"	88	43	66.5	6

TOP VIEW



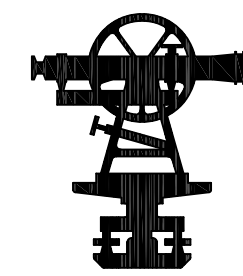
SIDE VIEW



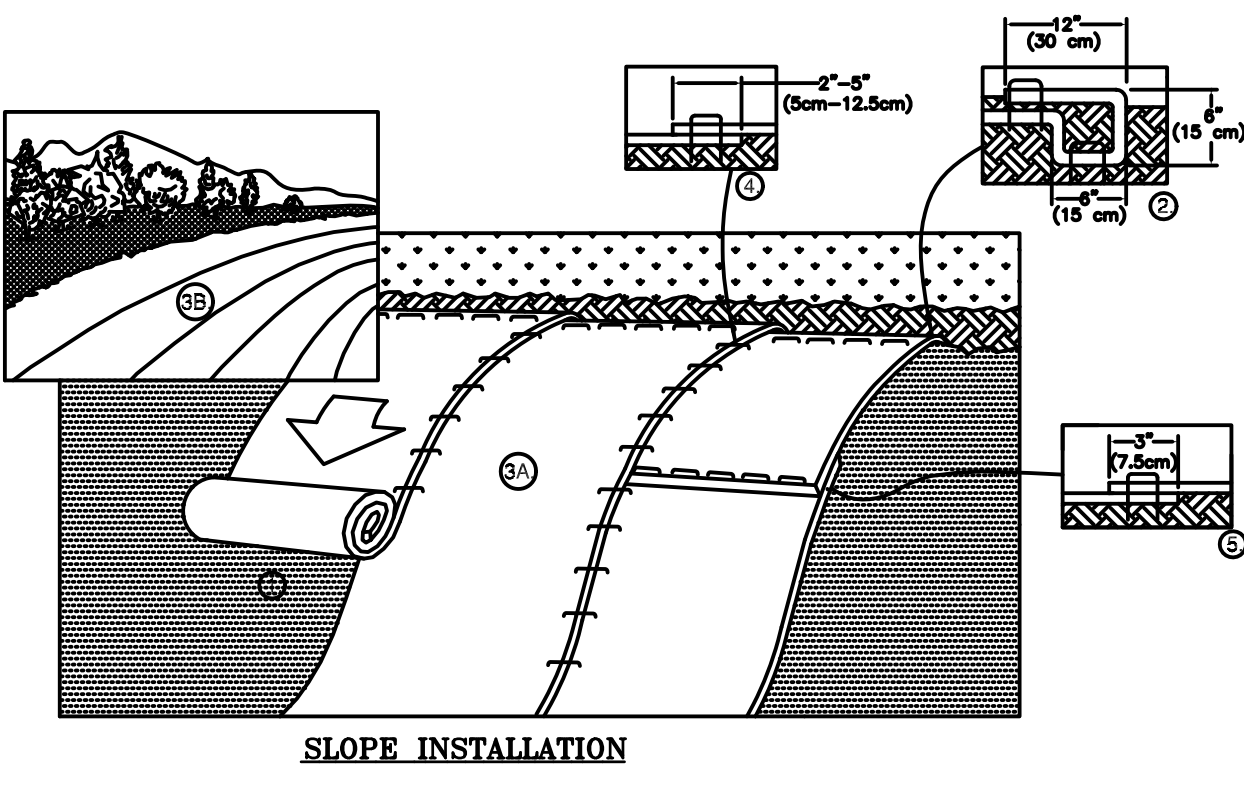
FRONT VIEW

**FLARED END SECTION DETAIL**  
NOT TO SCALE

FILE NO. 194  
PLAN NO. C-3030-SP  
DWG NO. 19216\SP-1



**NORTH AMERICAN GREEN**  
EROSION CONTROL PRODUCTS  
Guaranteed SOLUTIONS  
14649 HIGHWAY 41 NORTH  
EVANSVILLE, IN 47725  
800-772-2040  
www.nogreen.com



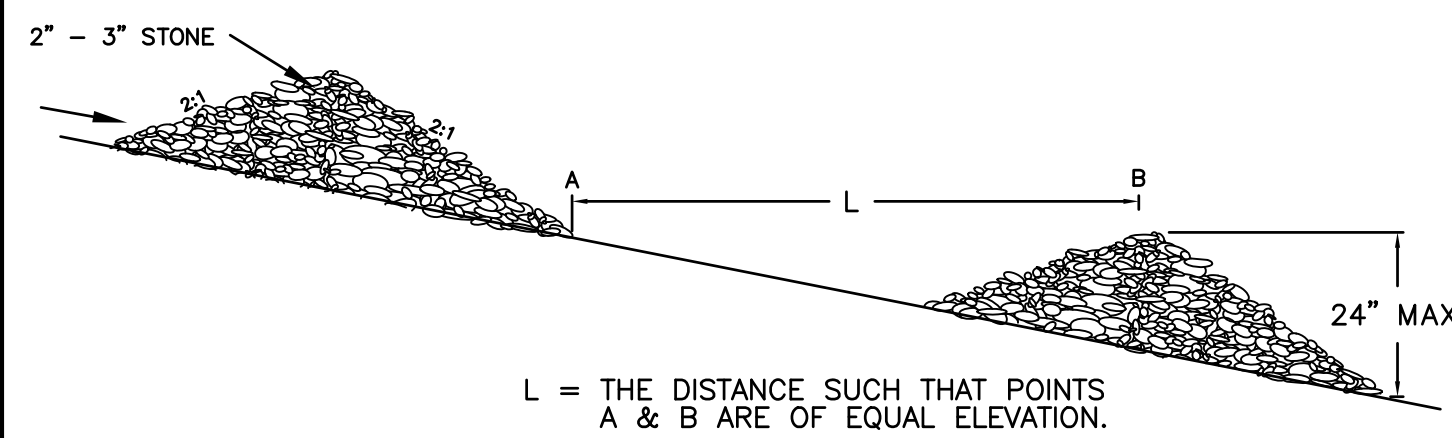
SLOPE INSTALLATION

- MAINTENANCE REQUIREMENTS:**
- ALL BLANKET AND MATS SHALL BE INSPECTED WEEKLY DURING THE CONSTRUCTION PERIOD, AND AFTER ANY RAINFALL EVENT EXCEEDING 1/2 INCH IN A 24-HOUR PERIOD.
  - ANY FAILURE SHALL BE REPAIRED IMMEDIATELY. IF WASHOUT OF THE SLOPE, DISPLACEMENT OF THE MAT, OR DAMAGE TO THE MAT OCCURS, THE AFFECTED SLOPE SHALL BE REPAIRED AND RESEEDED, AND THE AFFECTED AREA OF MAT SHALL BE RE-INSTALLED.
- CONSTRUCTION SPECIFICATIONS:**
- MANUFACTURER'S INSTALLATION INSTRUCTIONS:
    - PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPS), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
    - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPS IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECPS BACK OVER SEED AND COMPACTED SOIL. SECURE RECPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECPS.
    - ROLL THE RECPS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHALL BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
    - THE EDGES OF PARALLEL RECPS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECPS TYPE.
    - CONSECUTIVE RECPS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECPS WIDTH.  
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPS.
  - SITE PREPARATION:
    - PROPER SITE PREPARATION IS ESSENTIAL TO ENSURE COMPLETE CONTACT OF THE PROTECTION MATTING WITH THE SOIL.
    - GRADE AND SHAPE AREA IF INSTALLATION.
    - REMOVE ALL ROCKS, CLODS, TRASH, VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS WILL HAVE DIRECT CONTACT WITH THE SOIL.
    - PREPARE SEEDED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE.
    - INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SEEDING PLAN.
  - SEEDING:
    - SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND REVEGETATION. SEEDING AFTER MAT INSTALLATION IS OFTEN SPECIFIED FOR TURF REINFORCEMENT APPLICATIONS. WHEN SEEDING PRIOR TO BLANKET INSTALLATION, ALL CHECK SLOTS AND OTHER AREAS DISTURBED DURING INSTALLATION MUST BE RESEDED.
    - WHEN SOIL FILLING IS SPECIFIED, SEED THE MATTING AND THE ENTIRE DISTURBED AREA AFTER INSTALLATION AND PRIOR TO FILLING THE MAT WITH SOIL.

**TEMPORARY EROSION CONTROL BLANKET DETAIL**  
NOT TO SCALE

SPACING BETWEEN CHECK DAMS	
SLOPE (FT/FT)	LENGTH (FT)
0.020	75
0.030	50
0.040	37
0.050	30
0.060	19
0.100	15
0.120	13
0.150	10

DRAINAGE WAY CROSS-SECTION

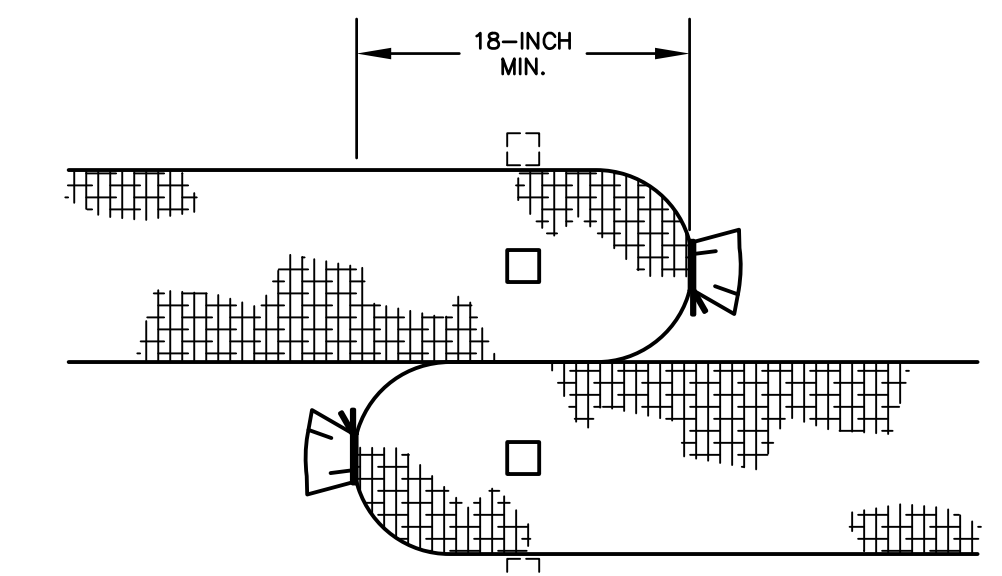


SPACING BETWEEN STONE CHECK DAMS

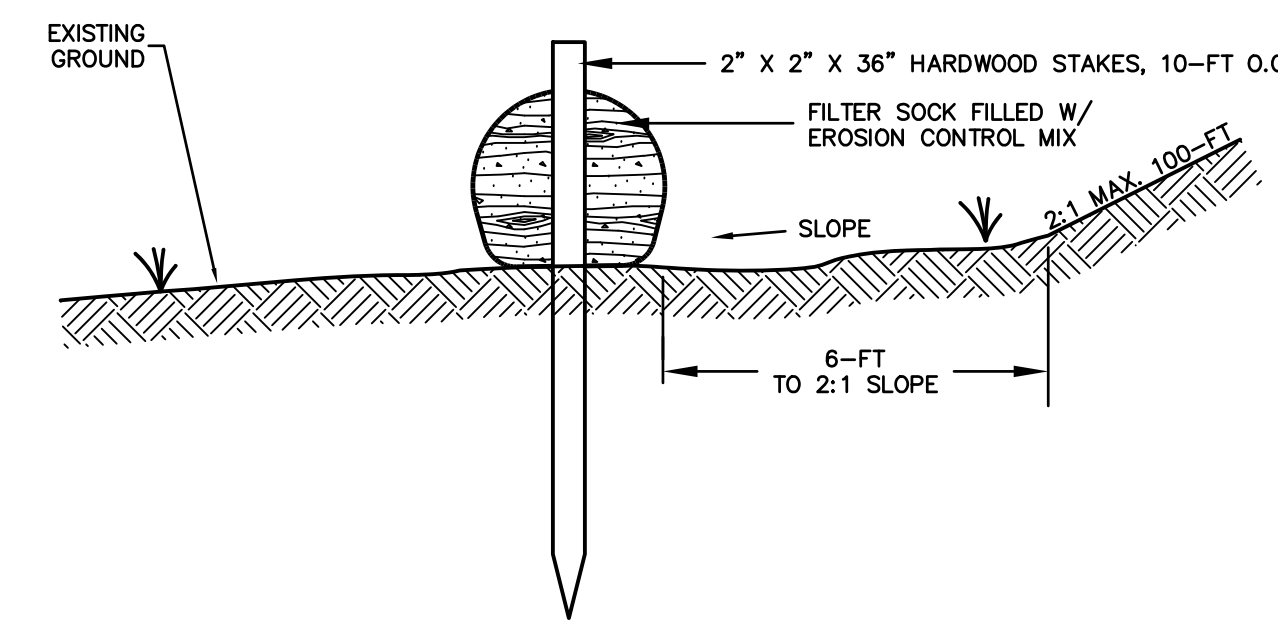
- CONSTRUCTION SPECIFICATIONS:**
- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
  - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION, AIR AND WATER POLLUTION WILL BE MINIMIZED.
  - STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.
- MAINTENANCE NOTES:**
- TEMPORARY GRADE STABILIZATION STRUCTURES SHALL BE INSPECTED AFTER EACH STORM AND DAILY DURING PROLONGED STORM EVENTS. ANY DAMAGE TO THE STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
  - PARTICULAR ATTENTION SHALL BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE.
  - WHEN REMOVING THE STRUCTURES, THE DISTURBED AREAS SHALL BE BROUGHT UP TO EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEED AND MULCHED.
  - SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT REACHES 1/2 THE ORIGINAL HEIGHT OF THE STRUCTURE.

**STONE CHECK DAM INSTALLATION DETAIL**  
NOT TO SCALE

FILE NO. 194  
PLAN NO. C-3030-SP  
DWG NO. 19216\SP-1



**FILTER SOCK CONNECTION PLAN VIEW**



**FILTER SOCK CROSS-SECTION**

- CONTINUOUS CONTAINED BERM (FILTER SOCK ALTERNATIVE):**
- AN ALTERNATIVE PRODUCT, THE CONTINUOUS CONTAINED BERM (OR "FILTER SOCK") CAN BE AN EFFECTIVE SEDIMENT BARRIER AS IT ADDS CONTAINMENT AND STABILITY TO A BERM OF EROSION CONTROL MIX.
  - IN THE EVENT THAT USE OF CONTINUOUS CONTAINED BERM IS DESIRED, THE PRODUCT SELECTED SHOULD BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER.
  - INSTALLATION OF CONTINUOUS CONTAINED BERMS SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER.
- MAINTENANCE REQUIREMENTS:**
- FILTER SOCK MAINTENANCE SHALL FOLLOW THE SAME SCHEDULE AS EROSION CONTROL MIX BERMS.
- CONSTRUCTION SPECIFICATIONS:**
- COMPOSITION OF THE EROSION CONTROL MIX SHALL EITHER BE THE SAME AS EROSION CONTROL MIX BERM MATERIAL OR AS SPECIFIED BY THE FILTER SOCK MANUFACTURER.
  - THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR.
  - IT MAY BE NECESSARY TO CUT TALL GRASSES AND WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES IN THE BARRIER THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
  - FILTER SOCK DIAMETER (HEIGHT) SHALL BE PER THE MANUFACTURER RECOMMENDATION FOR THE AREA OF INSTALLATION.

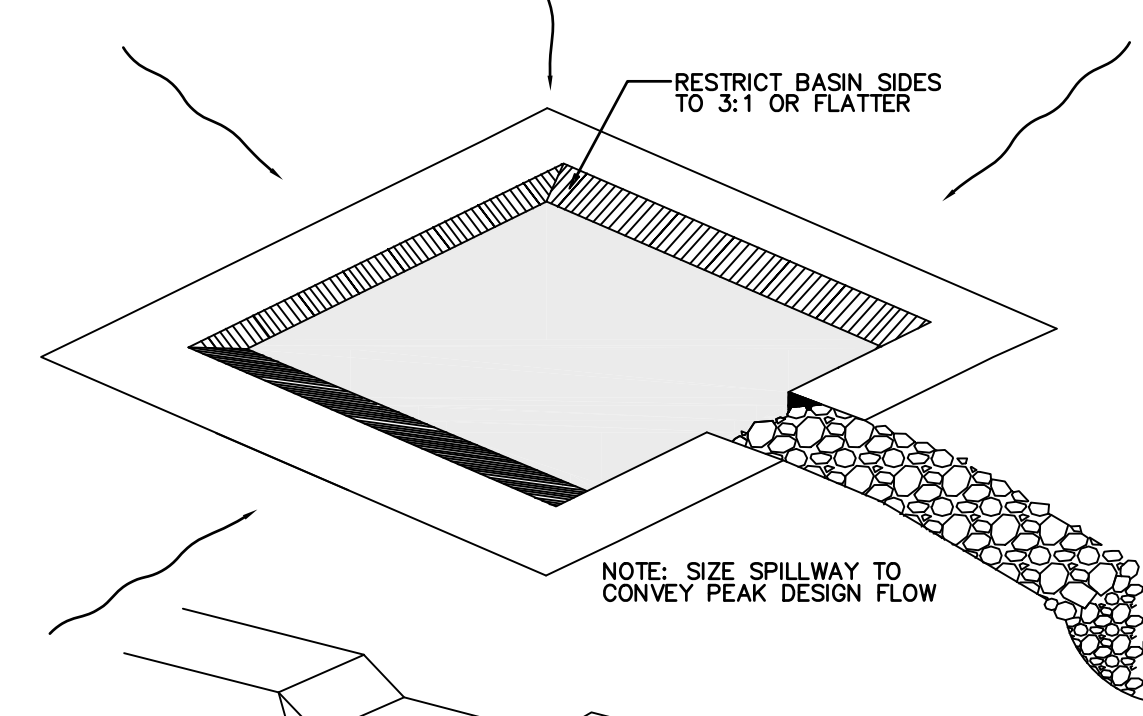
**CONTINUOUS CONTAINED BERM "FILTER SOCK" DETAIL**  
NOT TO SCALE

**TEMPORARY VEGETATION SEEDING RECOMMENDATIONS**

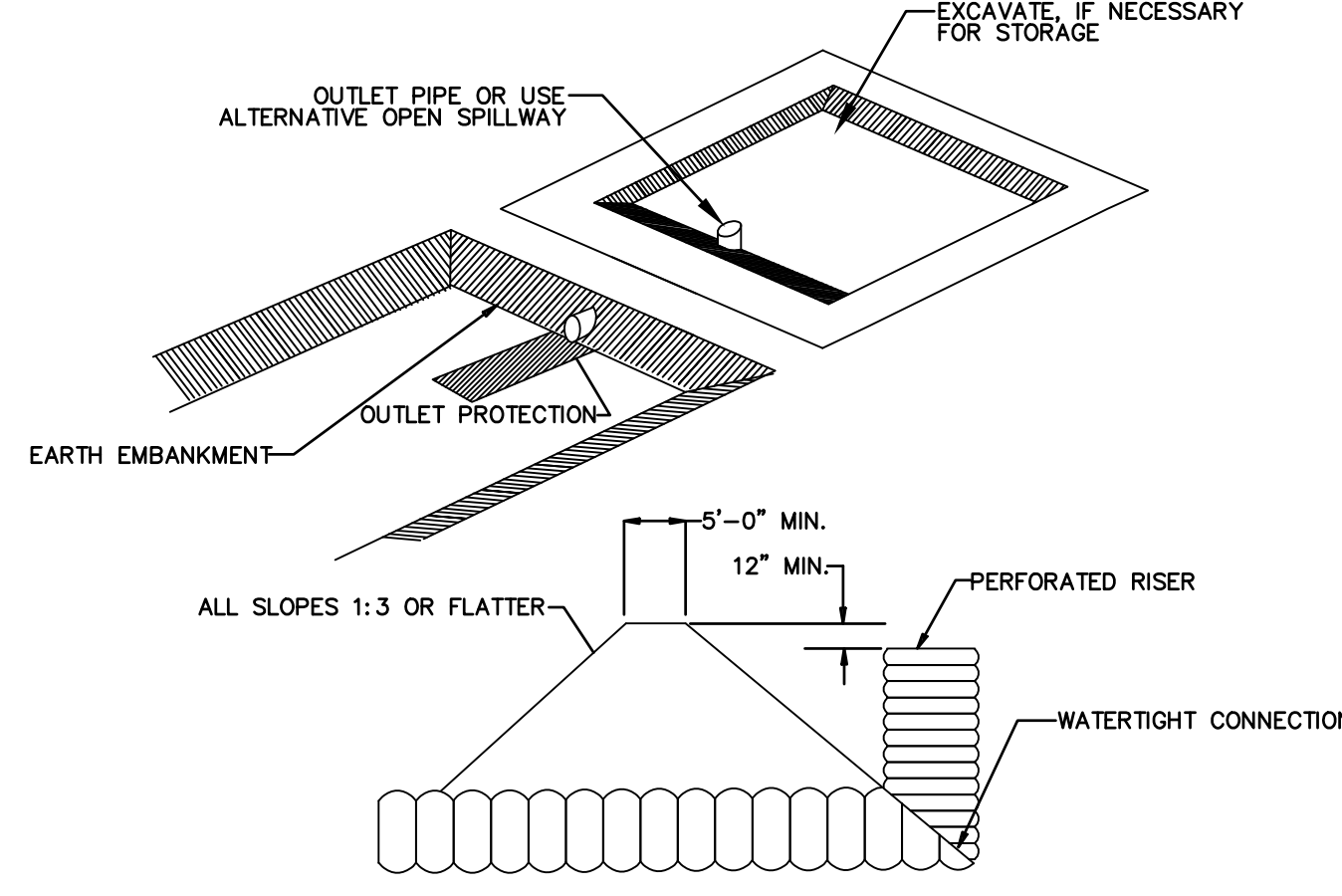
SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS.)	PER 1,000-SF	REMARKS
WINTER RYE	2.5 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS.	2.0 LBS.	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYE GRASS	40 LBS.	1.0 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYE GRASS	30 LBS.	0.7 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.

**SOURCES:**

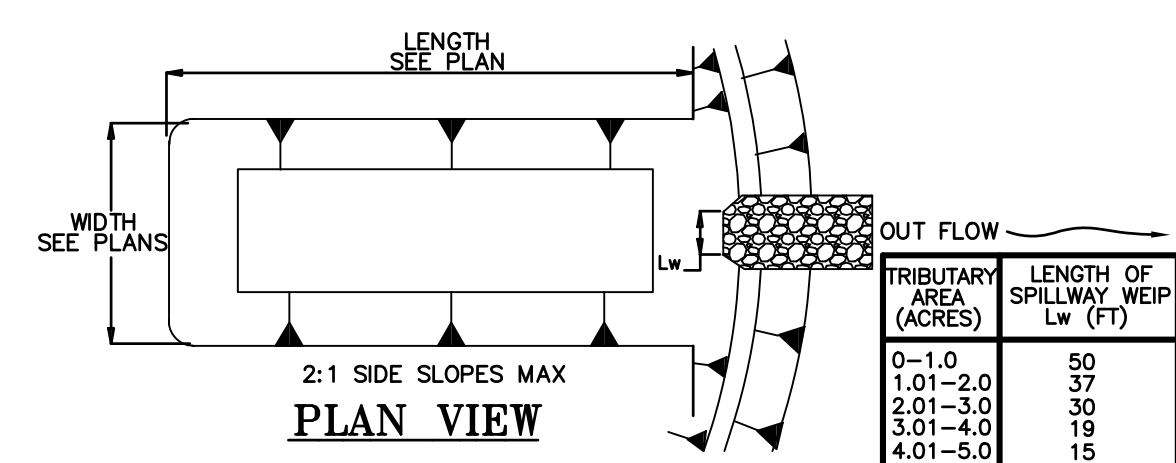
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLE 4-1
- MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)



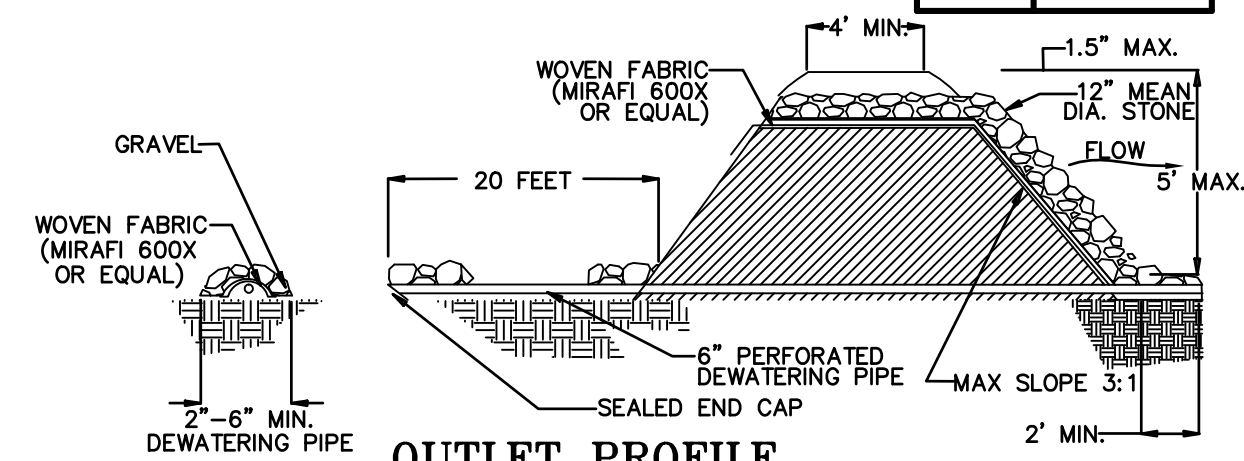
TYPICAL OPEN SPILLWAY



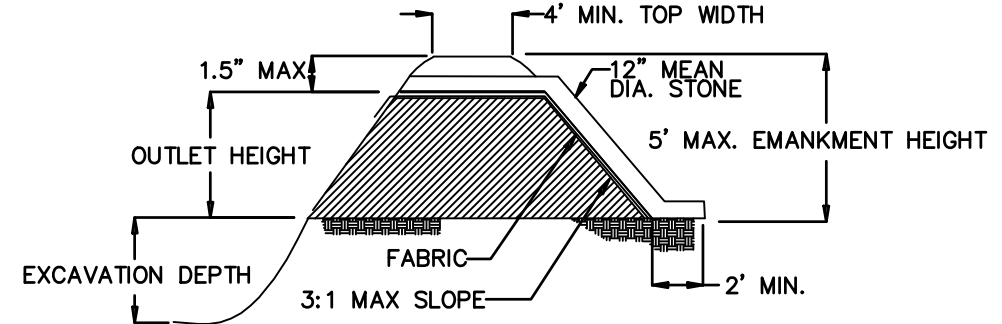
EMBANKMENT SECTION THRU RISER



PLAN VIEW



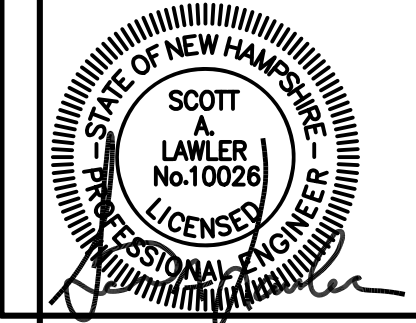
OUTLET PROFILE



ALTERNATE OUTLET PROFILE

**SEDIMENT TRAP**

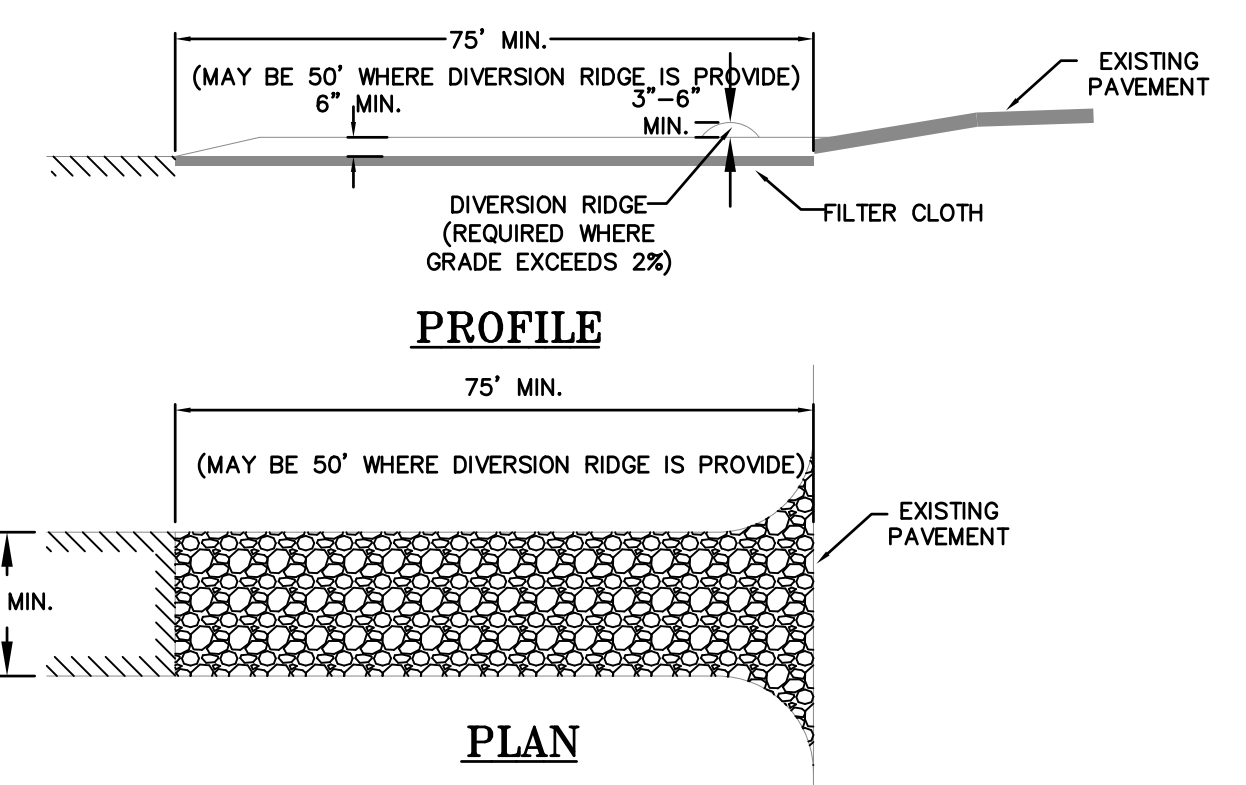
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



REVISION BLOCK

**TEMPORARY VEGETATION:**

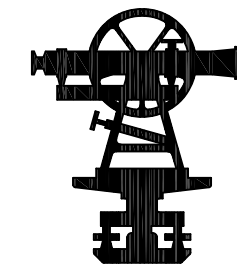
- SPECIFICATIONS:**
- SITE PREPARATION:**
- INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
  - GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
  - RUNOFF SHALL BE DIVERTED FROM THE SEEDED AREA.
  - ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHALL INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.
- SEEDING PREPARATION:**
- STONES AND TRASH SHALL BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
  - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
  - IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE RESTRICTED TO LIME, WOOD ASH OR LOW PHOSPHATE AND SLOW RELEASE NITROGEN VARIETIES, UNLESS A SOIL TEST WARRANTS OTHERWISE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:  
LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)\*  
\*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE  
FERTILIZER APPLICATION RATE = 870 LB./ACRE (20 LB./1,000-SF)\*  
\*LOW PHOSPHATE FERTILIZER (6-0-4) OR EQUIVALENT
- SEEDING:**
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTRIPACKER TYPE SEEDER OR HYDRO SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
  - TEMPORARY SEED SHALL TYPICALLY OCCUR PRIOR TO SEPTEMBER 15.
  - AREAS SEEDING BETWEEN MAY 15 AND AUGUST 15 SHALL BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL. 3.
  - VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVER WINTER PROTECTION.
- MAINTENANCE REQUIREMENTS:**
- TEMPORARY SEEDING SHALL BE INSPECTED WEEKLY AFTER ANY RAINFALL EXCEEDING 1/2 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING SHALL BE INSPECTED JUST PRIOR TO SEPTEMBER 15, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS REQUIRED TO PROVIDE STABILIZATION OVER THE WINTER PERIOD.
  - BASED ON INSPECTION, AREAS SHALL BE RESEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS. IF IT IS TOO LATE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED.
  - IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND AREAS SHALL BE RESEDED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.



**TEMPORARY CONSTRUCTION EXIT**  
NOT TO SCALE

- MAINTENANCE REQUIREMENTS:**
- WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHALL THEN BE RECONSTRUCTED.
  - THE CONTRACTOR SHALL SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
  - WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.
- CONSTRUCTION SPECIFICATIONS:**
- THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE.
  - THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
  - THE PAD SHALL BE THE FULL WIDTH OF CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
  - THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY.
  - THE PAD SHALL BE AT LEAST 6 INCHES THICK.
  - THE GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
  - THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
  - NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHALL BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.

**TEMPORARY EROSION AND SEDIMENTATION CONTROL**  
TAX MAP 220, LOT 29  
COLONIAL WAY  
BARRINGTON, NH  
PREPARED FOR:  
**ANDERSON PROPERTIES, LLC**  
MARCH 2020



PERMANENT VEGETATION:

SPECIFICATIONS:

- SITE PREPARATION: 1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS. 2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING...

SEEDBED PREPARATION:

- 1. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHALL BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)\*

FERTILIZER APPLICATION RATE = 870 LB./ACRE (20 LB./1,000-SF)\*

SEEDING:

- 1. INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE OF INOCULANT. 2. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER).

HYDROSEEDING:

- 1. WHEN HYDROSEEDING (HYDRAULIC APPLICATION), PREPARE THE SEEDBED AS SPECIFIED ABOVE OR BY HAND FAKING TO LOOSEN AND SMOOTH THE SOIL AND REMOVE SURFACE STONES LARGER THAN 2 INCHES IN DIAMETER.

MAINTENANCE REQUIREMENTS:

- 1. PERMANENT SEEDED AREAS SHALL BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION. INSPECTION, MAINTENANCE AND CORRECTIVE ACTIONS SHALL CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.

PERMANENT VEGETATION SEEDING RECOMMENDATIONS

Table with 5 columns: USE, MIXTURE, SPECIES, LBS./ACRE, LBS./1,000-SF. Includes rows for Steep Outs and Fills, Waterways, Lightly Used Parking Lots, and Play Areas.

SOURCES:

- 1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLES 4-2 AND 4-3

GENERAL CONSTRUCTION PHASING:

- 1. STABILIZATION: A SITE IS DEEMED STABILIZED WHEN IT IS IN A CONDITION IN WHICH THE SOIL ON SITE WILL NOT EXPERIENCE ACCELERATED OR UNNATURAL EROSION UNDER THE CONDITIONS OF A 10-YEAR STORM EVENT, SUCH AS BUT NOT LIMITED TO: A) AREAS THAT WILL NOT BE PAVED...

ABOVE NOTES EXCERPTED, ADAPTED AND REFERENCED FROM "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" (NHSMM, VOL. 3)

PROJECT SPECIFIC CONSTRUCTION PHASING:

- 1. REFER TO THE "GENERAL CONSTRUCTION PHASING" NOTES PRIOR TO COMMENCING CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING PHASING. THE "GENERAL CONSTRUCTION PHASING" NOTES APPLY TO THE OVERALL CONSTRUCTION AND SHALL BE ADHERED TO.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET...

REVISION BLOCK

WINTER STABILIZATION & CONSTRUCTION PRACTICES:

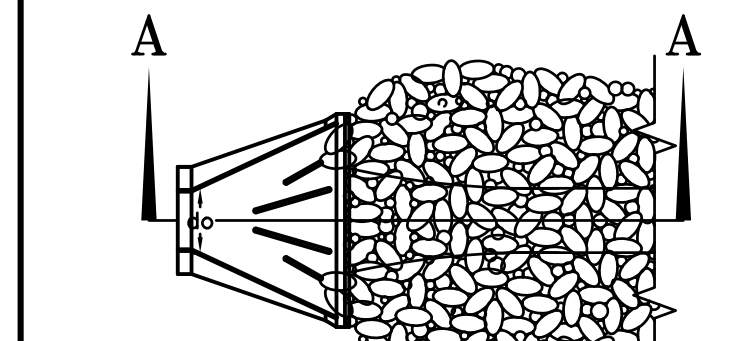
- MAINTENANCE REQUIREMENTS: 1. MAINTENANCE MEASURES SHALL BE PERFORMED THROUGHOUT CONSTRUCTION, INCLUDING OVER THE WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF...

- SPECIFICATIONS: THE FOLLOWING STABILIZATION TECHNIQUES SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 15. 1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO 1-ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DISCUSSED IN NHSMM, VOL. 3...

- 1. DURING CONSTRUCTION ALL TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE INSPECTED WEEKLY, AFTER EVERY 1/2 INCH OF RAINFALL AND ANNUALLY.

PERMANENT EROSION AND SEDIMENTATION CONTROL TAX MAP 220, LOT 29 COLONIAL WAY BARRINGTON, NH

PREPARED FOR: ANDERSON PROPERTIES, LLC MARCH 2020



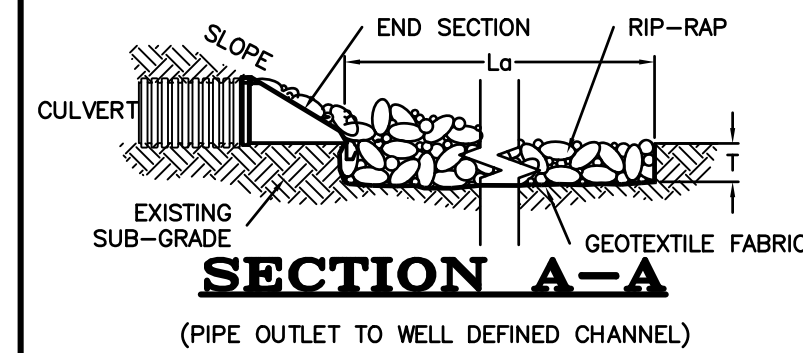
RIP-RAP GRADATION

Table for d50 = 3" Rip-Rap Gradation with columns for % of Weight Smaller Than Given Size and Size of Stone (Inches).

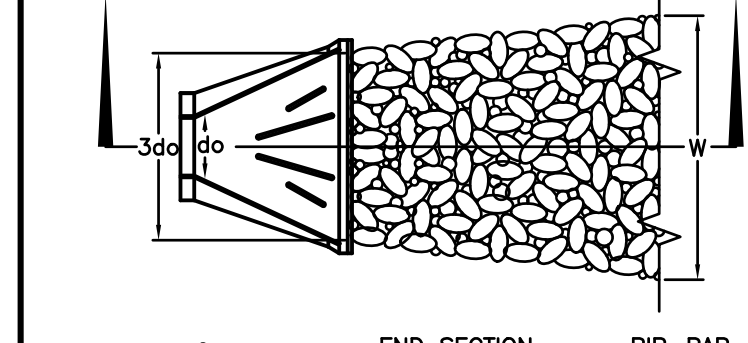
Table for d50 = 4" Rip-Rap Gradation with columns for % of Weight Smaller Than Given Size and Size of Stone (Inches).

Table for d50 = 6" Rip-Rap Gradation with columns for % of Weight Smaller Than Given Size and Size of Stone (Inches).

Table for d50 = 9" Rip-Rap Gradation with columns for % of Weight Smaller Than Given Size and Size of Stone (Inches).



SECTION A-A (PIPE OUTLET TO WELL DEFINED CHANNEL)



SECTION A-A (PIPE OUTLET TO FLAT AREA NO WELL DEFINED CHANNEL)

APRON DIMENSION TABLE

Table with columns: Outlet Prot. #, Pipe Outlet, Ws, W, Lg, T, d50. Row 1: 1, 12" OP, 3', 10", 7', 8", 3".

NOTES:

- 1. ALL PIPE CULVERTS SHALL HAVE END SECTIONS OR HEADWALLS. END SECTION MATERIAL AND MANUFACTURER SHALL MATCH THAT OF THE PIPE CULVERT.

CONSTRUCTION SPECIFICATIONS:

- 1. PREPARE THE SUB-GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP-RAP TO THE GRADES SHOWN ON THE PLANS.

MAINTENANCE NOTES:

- 1. OUTLETS SHALL BE INSPECTED AND CLEANED ANNUALLY AND AFTER ANY MAJOR STORM EVENT. ANY EROSION OR DAMAGE TO THE RIP-RAP SHALL BE REPAIRED IMMEDIATELY.

PIPE OUTLET PROTECTION DETAIL

DUST CONTROL PRACTICES:

- 1. APPLY DUST CONTROL MEASURES AS NECESSARY TO MAINTAIN CONTROL OF DUST ON SITE.

STOCKPILE PRACTICES:

- 1. LOCATE STOCKPILES A MINIMUM OF 50-FT. AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES OR INLETS.

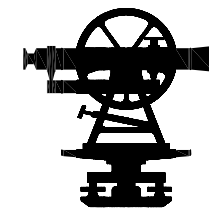
PROTECTION OF INACTIVE STOCKPILES:

- 1. INACTIVE SOIL STOCKPILES SHALL BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY STABILIZATION PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS (I.E. SILT FENCE, ETC.) AT ALL TIMES.

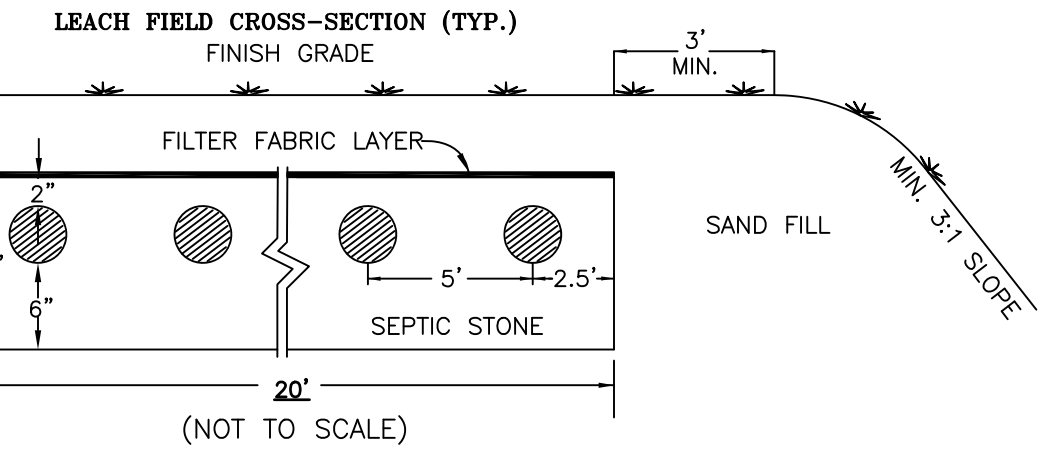
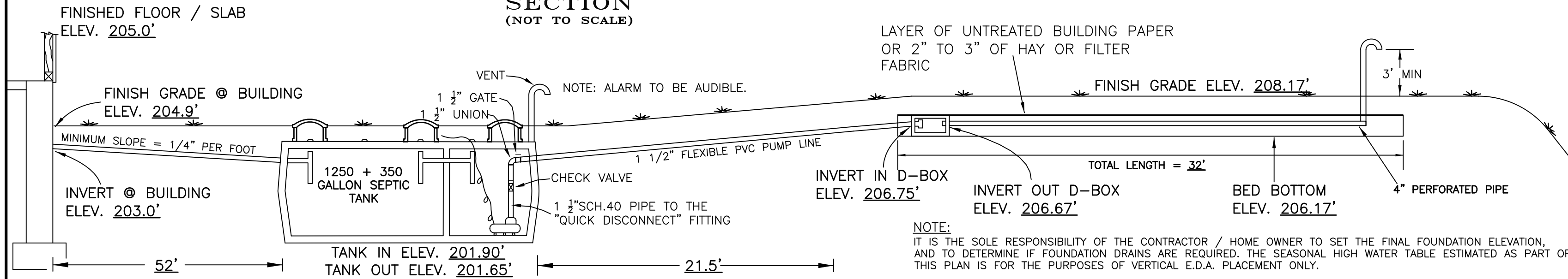
PROTECTION OF ACTIVE STOCKPILES:

- 1. ALL STOCKPILES SHALL BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS (I.E. SILT FENCE, ETC.) PRIOR TO THE ONSET OF PRECIPITATION.

FILE No. 194 PLAN No. C-3030-SP DWC No. 19216-SP-1



PIPE AND STONE CROSS SECTION  
(NOT TO SCALE)



WETLANDS WERE DELINEATED ON THE BASIS OF HYDROPHYTIC VEGETATION, HYDRIC SOILS, AND WETLANDS HYDROLOGY IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPUS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987. THE HYDRIC SOIL COMPONENT WAS DETERMINED BY USING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. (SEE ENV-WS 1014.03 DELINEATION OF WETLANDS; HYDRIC SOILS DETERMINATION)

IN TERMS OF RESPONSIBILITY FOR THE DELINEATIONS SHOWN, EITHER THE DESIGNER IS RESPONSIBLE FOR THEM (CONDUCTED BY THE DESIGNER) OR THE PLANS MUST BE STAMPED BY A CERTIFIED WETLANDS SCIENTIST

PROPER MAINTENANCE AND CARE ARE REQUIRED FOR SEPTIC SYSTEMS TO FUNCTION PROPERLY. THE FOLLOWING ARE SOME ITEMS THAT MAY SHORTEN SYSTEM LIFE:

- SOME WATER SOFTENERS/PURIFIERS
- GARBAGE DISPOSAL UNITS
- EXCESSIVE USE OF WATER
- HOT TUBS
- SOME CLEANERS
- TOXIC CHEMICALS

TANK SHOULD BE INSPECTED AT LEAST ONCE A YEAR AND CLEANED WHEN NECESSARY.

**DESIGN INTENT**  
THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT ELEVATION 206.17'. THERE IS APPROXIMATELY 2.67' ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR OF THE DESIGNED EDS.

BEFORE INSTALLATION, INSTALLER MUST VERIFY ALL ELEVATIONS AND DISTANCES. IF SYSTEM HAS EXISTING BUILDINGS, ALL PLUMBING ELEVATIONS MUST BE CHECKED.

CONTACT DESIGNER IF ANY DISCREPANCIES ARE FOUND.

LOAD = 300 GPD  
 3 DOSES PER DAY = 101.97 TOTAL GALLONS PER DOSE  
 PUMP OFF = 198.75'  
 PUMP ON = 199.96'  
 ALARM = 200.21'  
 RUN TIME = 101.97 GAL PER DOSE/31 GAL PER MINUTE = 3.28 MINUTES  
 USE MYERS ME3H PUMP.  
 NOTE: ALARM MUST BE VISUAL AND AUDIBLE.  
 ALARM AND PUMP TO BE ON SEPARATE ELECTRICAL CIRCUITS.

- CONSTRUCTION NOTES:**
1. SYSTEM IS DESIGNED ONLY TO ACCOMMODATE SANITARY SEWAGE ASSOCIATED WITH THE NORMAL DOMESTIC USAGE AND CONSISTENCE OF WATER-CARRIED PUTRESCIBLE WASTE.
  2. THE SYSTEM IS NOT DESIGNED FOR GARBAGE GRINDERS.
  3. THE SYSTEM SHALL BE VENTED WHEN THERE IS MORE THAN 18" OF BACKFILL USED TO COVER THE SYSTEM.
  4. DISPOSAL SYSTEM AREAS TO BE RAKED (SCARIFIED) BEFORE INSTALLATION OF STONE. ALL STONES EXCEEDING 8 INCHES IN DIAMETER AND ALL LOAM OR FOREIGN MATERIAL ENCOUNTERED DURING EXCAVATION ARE TO BE REMOVED FROM THE LEACHING AREA BED SURFACE.
  5. ALTERNATE MANUFACTURERS FOR CONCRETE STRUCTURES AND EQUIPMENT MAY BE USED AS LONG AS THE USE OF THEIR PRODUCTS DO NOT REQUIRE ANY DESIGN CHANGES.
  6. BOUNDARIES SHOWN ARE FOR SEPTIC SYSTEM DESIGN PURPOSES ONLY AND NOT THE RESULT OF A BOUNDARY SURVEY. LIABILITY FOR ACTIONS UNDERTAKEN IN RELIANCE UPON THIS PLAN, INsofar AS THEY RELATE TO THE SETBACKS FROM PROPERTY OR RIGHT-OF-WAY LINES, RESTS SPECIFICALLY WITH THE INSTALLER AND/OR THE OWNER.
  7. PIPES ENTERING AND EXITING ALL TANKS AND THE DISTRIBUTION BOX SHALL BE SEALED WITH WITH A WATER-TIGHT, FLEXIBLE JOINT CONNECTOR THAT COMPLIES WITH ENV-WQ 1010.08.
  8. APPROVED SEPTIC STONE SHALL BE ONE NOMINAL SIZE WITHIN THE RANGE OF 2" TO 2 1/2" AND FREE OF FINES, IN ACCORDANCE WITH THE FOLLOWING:

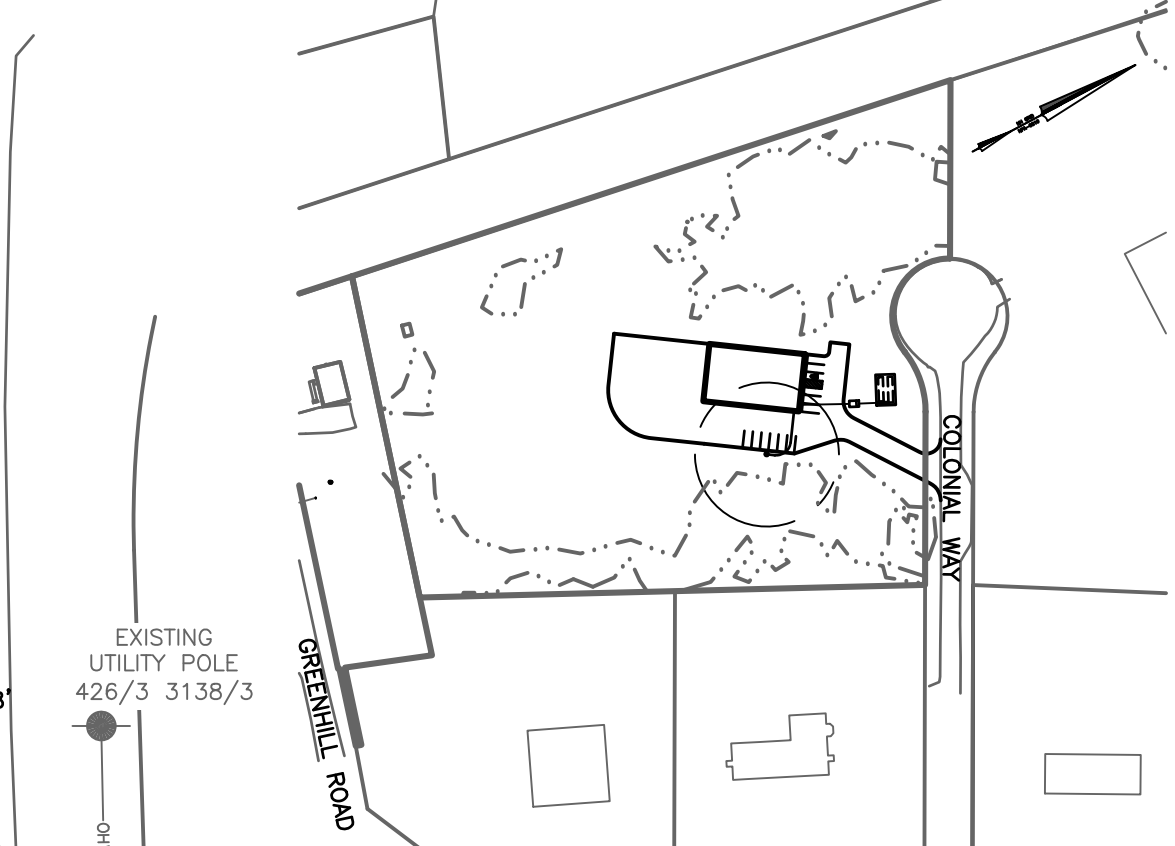
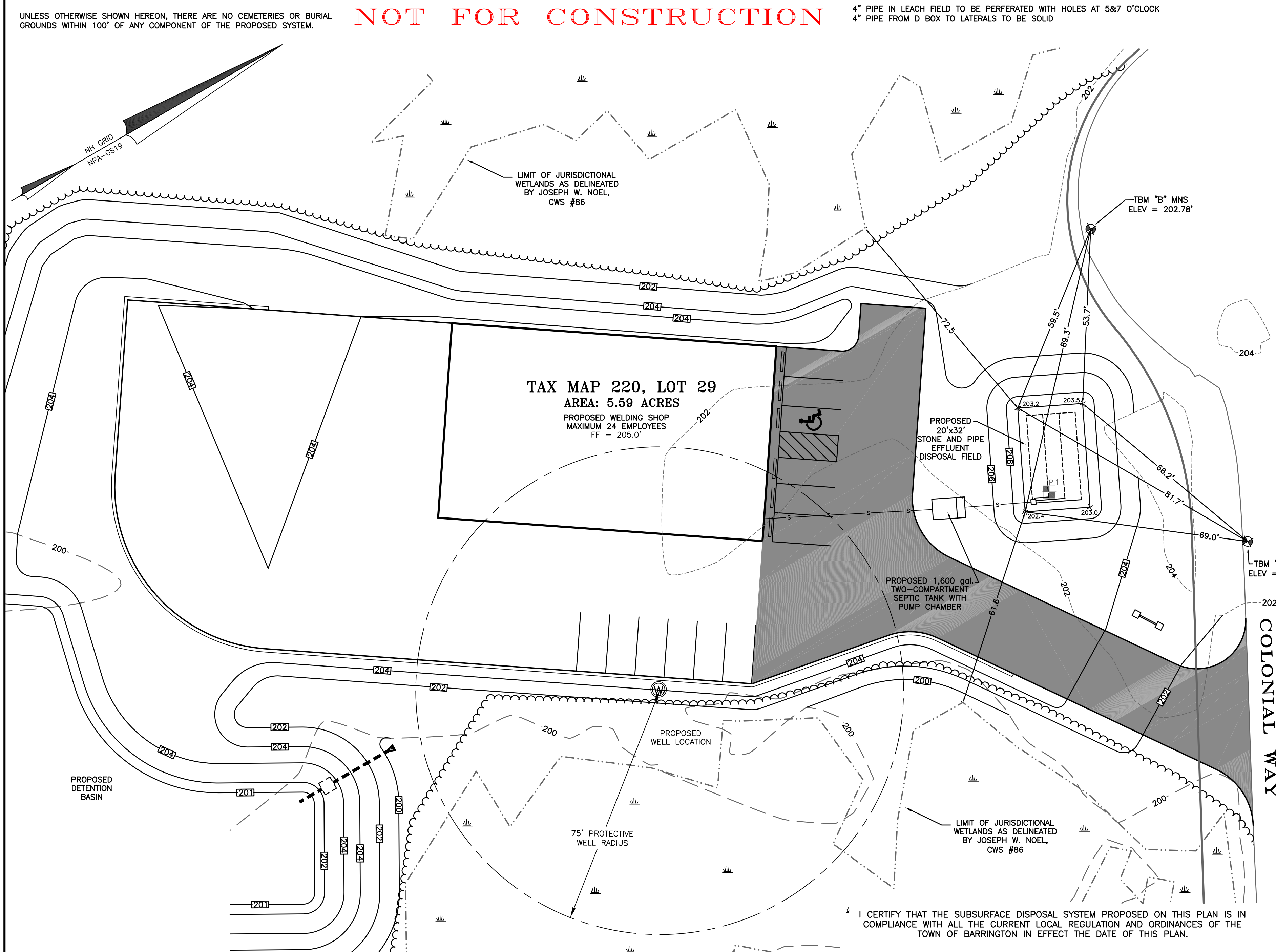
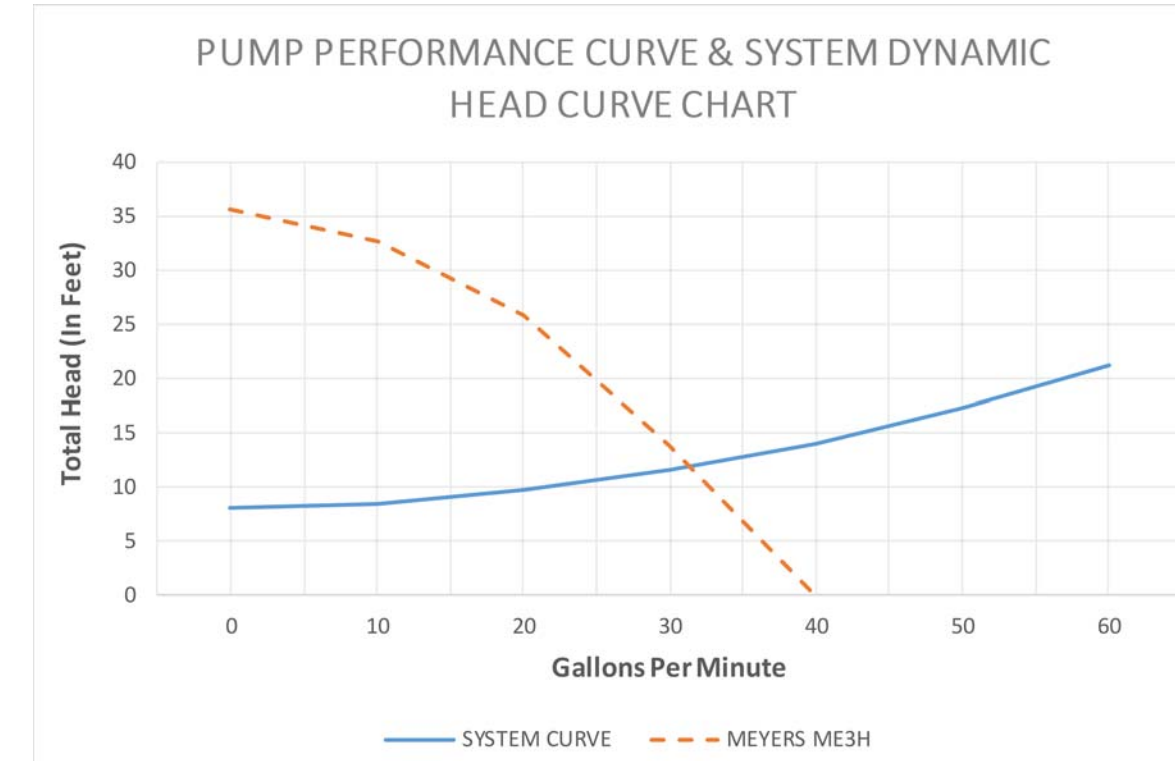
SIEVE SIZE	% PASSING (BY WEIGHT)
2"	100
1 1/2"	90-100
3/4"	0-20
#4	0-5
#200	0-1.5

**SYSTEM REQUIREMENTS**  
 PROPOSED DESIGN LOADING:  
 FACTORY WITHOUT CAFETERIA = 10 GPD/EMPLOYEE  
 24 EMPLOYEES X 10 GPD/EMPLOYEE = 240 GPD  
 TOTAL DESIGN FLOW = 240 GPD  
 USE MIN. DESIGN FLOW FOR COMERCIAL 300 GPD  
 COMMERCIAL LOADING @ 14 MPI PERC. RATE FOR STONE AND PIPE:  
 EDA = 300 GPD / 100 GPD X 213 = 639 SQUARE FEET  
 640 SQUARE FEET OF PIPE AND STONE PROVIDED (20' x 34').

**PERCOLATION TEST DATA**  
 DATE: MARCH 16, 2020 RATE: 14 MINUTES PER INCH @ 14 INCHES

**TEST PIT DATA**  
 0" - 1" 10YR3/1 LOAM TOPSOIL, COMMON ROOTS.  
 1" - 12" 5YR4/4 LOAMY SAND, GRANULAR, FRIABLE, LOOSE.  
 12" - 51" 10YR5/2 FINE SANDY LOAM, GRANULAR, FRIABLE, FIRM IN PLACE, COMMON REDOXIMORPHIC CONCENTRATIONS AT 16".  
 - 51" NO REFUSAL, NO OBSERVED WATER, ESTIMATED SEASONAL HIGH WATER TABLE AT 16"

SOILS PER NRCS: Sb - SAUGATUCK LOAMY SAND WITH 0 TO 3 PERCENT SLOPES



**PROPOSED SEPTIC SYSTEM**  
 COLONIAL WAY  
 TM 220-29  
 BARRINGTON, NH  
 FOR  
 ANDERSON WELDING LLC  
 1" = 20' MARCH 2020

REVISIONS:

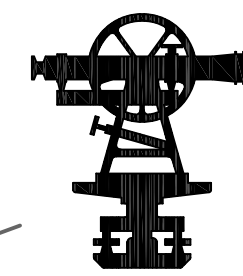
NORWAY PLAINS ASSOCIATES, INC.  
 P.O. BOX 249  
 ROCHESTER, NH 03866  
 603-335-3948

PRELIMINARY

DESIGNED BY: AFR  
 CHECKED BY:  
 FILE NO. 194 PLAN NO. SSD 1667 DWG.#19216\SP-1

**LAND SURVEYORS**

**CIVIL ENGINEERS**



**LEGEND**

- PROPERTY LINE
- - - - - JURISDICTIONAL WETLANDS
- +—+—+— EXISTING OVERHEAD WIRES
- □ EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT WITH CURBING
- □ PROPOSED LIGHT POLES
- PROPOSED BUILDING LIGHT FIXTURES
- 4.2 PROPOSED LIGHT FOOTCANDLE
- PROPOSED LIGHT ISOILLUMINATION LINES

Luminaire Schedule				
Symbol	Label	Qty	Arrangement	Description
○	P3	1	SINGLE	GLEON-AF-01-LED-E1-SL3-600-HSS/ SSS4A20SPN1 (20' AFG)
□	P4	3	SINGLE	GLEON-AF-01-LED-E1-SL4-600/ SSS4A20SPN1 (20' AFG)
◀	W	3	SINGLE	IST-AF-350-LED-E1-T4FT/ WALL MTD 20' AFG

StatArea 1  
FRONT PARKING SPACES  
Illuminance (Fc)  
Average = 0.55  
Maximum = 0.9  
Minimum = 0.2  
Avg/Min Ratio = 3.25  
Max/Min Ratio = 7.00

StatArea 2  
SIDE AND BACK OF BUILDING  
Illuminance (Fc)  
Average = 0.53  
Maximum = 0.9  
Minimum = 0.2  
Avg/Min Ratio = 3.10  
Max/Min Ratio = 7.00

TAX MAP 220, LOT 26  
TODD & DEBRA LEPAGE  
30 GREENHILL ROAD  
BARRINGTON, NH 03825  
S.C.R.D. BOOK 2180, PAGE 219

LIMIT OF JURISDICTIONAL  
WETLANDS AS DELINEATED BY  
JOSEPH W. NOEL, CWS #86

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)335-3948.

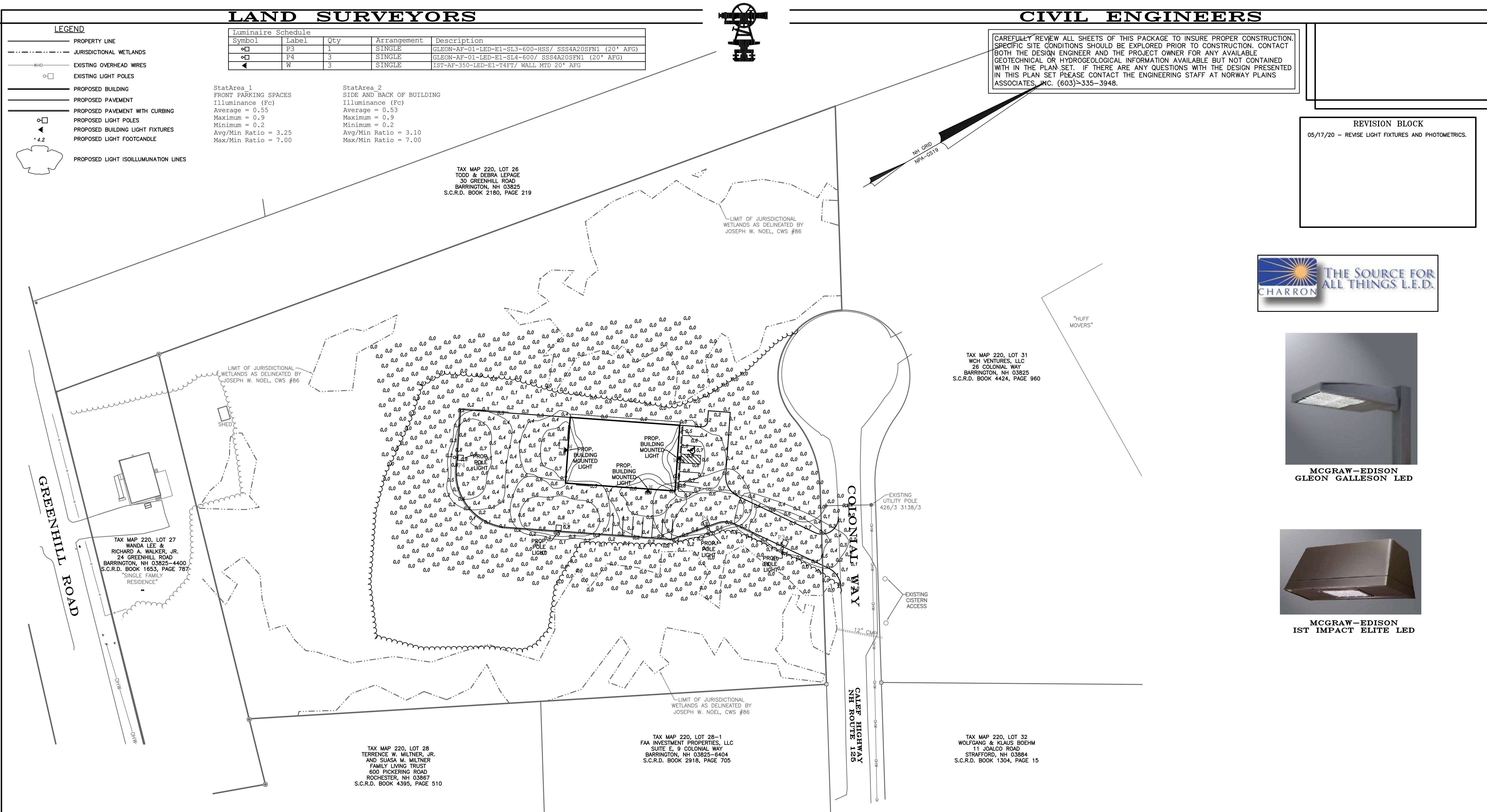
**REVISION BLOCK**  
05/17/20 - REVISE LIGHT FIXTURES AND PHOTOMETRICS.



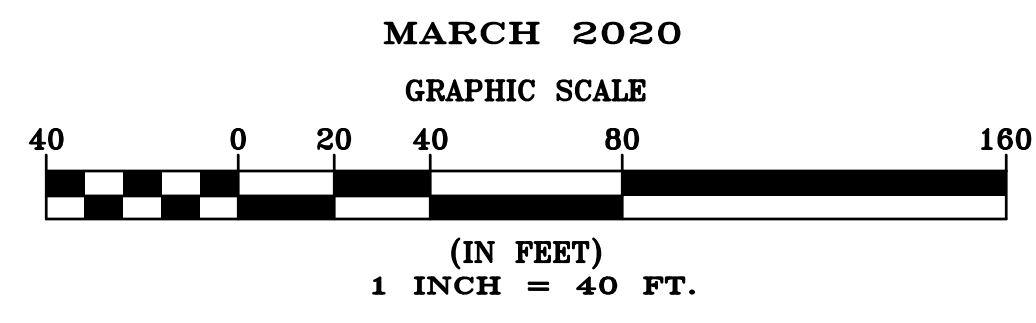
MCGRAW-EDISON  
GLEON GALESON LED



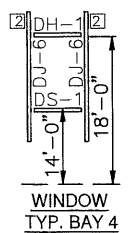
MCGRAW-EDISON  
IST IMPACT ELITE LED



**LIGHTING PLAN**  
TAX MAP 220, LOT 29  
COLONIAL WAY  
BARRINGTON, NH  
PREPARED FOR:  
**ANDERSON PROPERTIES, LLC**



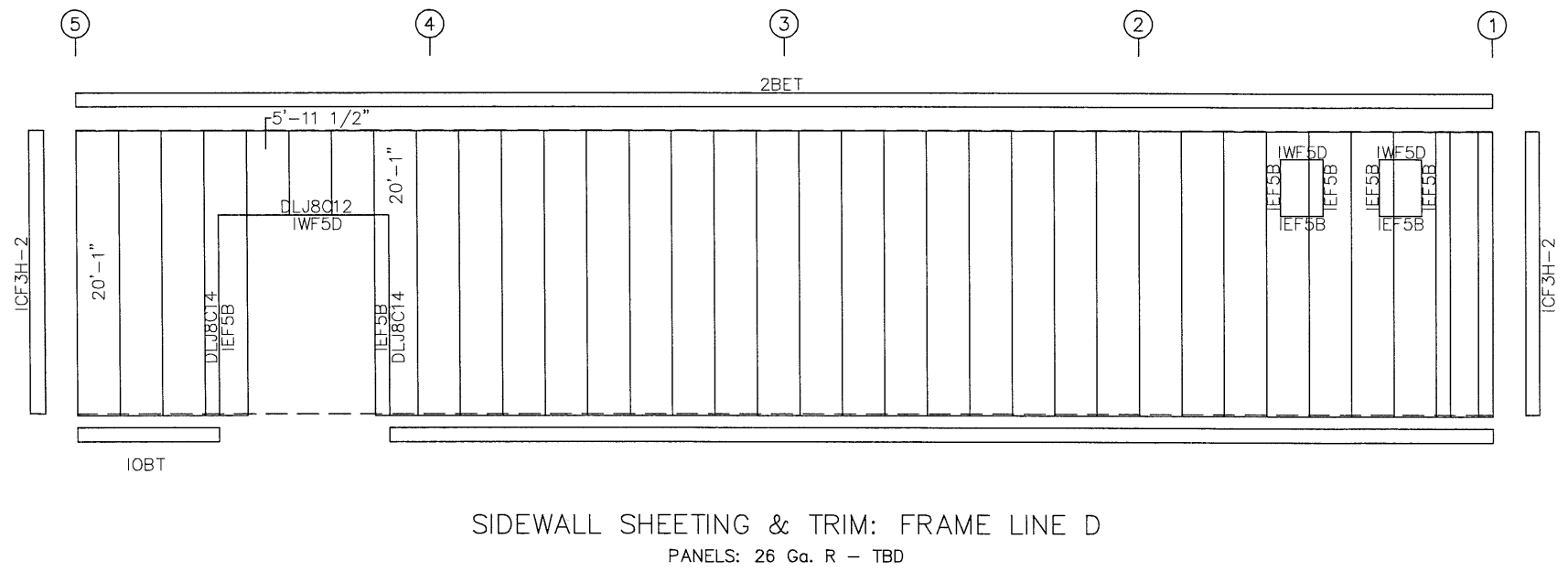
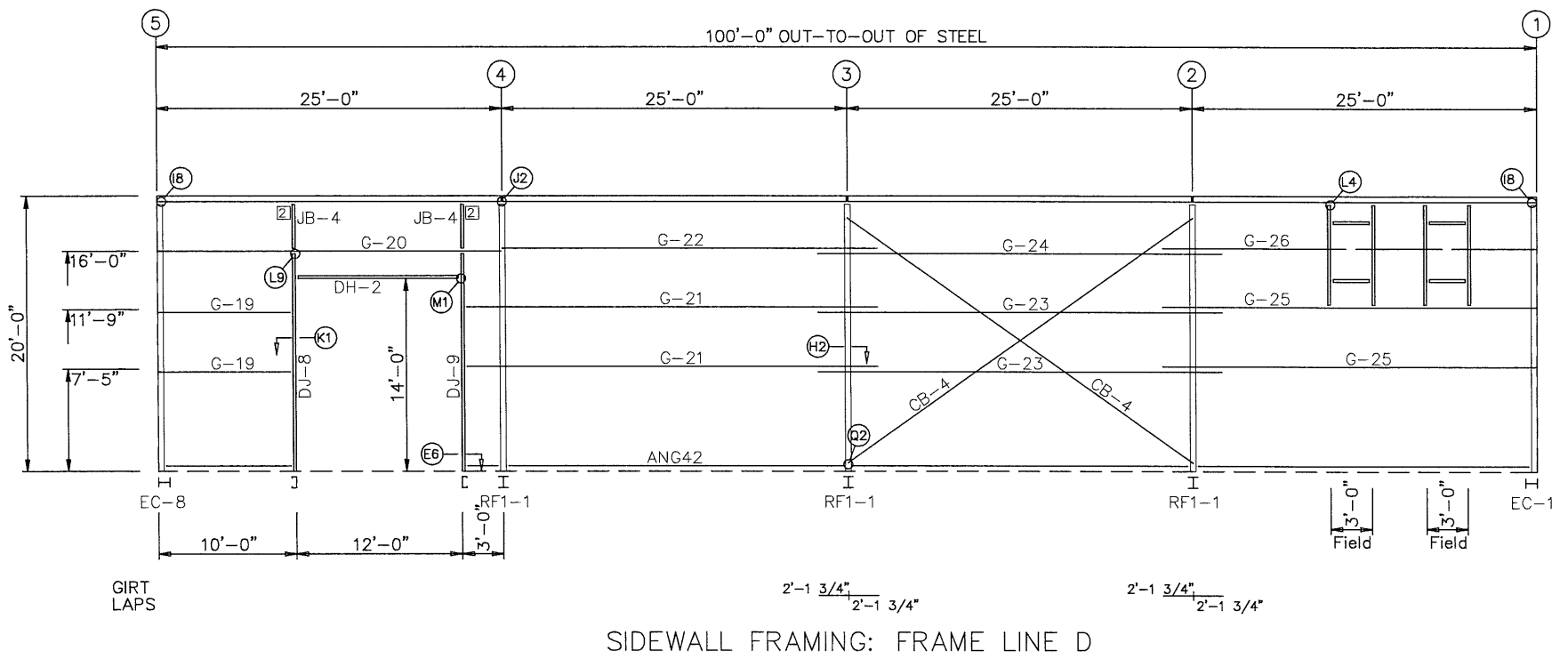
FILE NO. 104  
PLAN NO. C-2780  
DWG. NO. 15225/SP-1  
F.B. NO.



BOLT TABLE FRAME LINE D				
LOCATION	QUAN	TYPE	DIA	LENGTH
DJ/G-20	2	A325	1/2"	1 1/4"
G-20/EC	4	A325	1/2"	1 1/4"
G-20/RF	2	A325	1/2"	1 1/4"

MEMBER TABLE FRAME LINE D			
QUAN	MARK	PART	LENGTH
4	DJ-6	8X35C16	7'-2 1/4"
1	DJ-8	8X35C14	15'-11 3/4"
1	DJ-9	8X35C16	15'-11 3/4"
2	DH-1	8X35C16	3'-0"
1	DH-2	8X35C16	12'-0"
2	DS-1	8X35C16	3'-0"
2	G-19	8X25Z16	9'-8"
1	G-20	C8X13.75	24'-11 1/2"
2	G-21	8X25Z14	29'-10"
1	G-22	8X25Z16	27'-1 1/2"
2	G-23	8X25Z14	29'-3 1/2"
1	G-24	8X25Z16	29'-3 1/2"
2	G-25	8X25Z13	27'-1 1/2"
1	G-26	8X25Z16	27'-1 1/2"
2	CB-4	CABLE500	28'-2 9/16"
2	JB-4	8X35C16	2'-11 1/4"

CONNECTION PLATES FRAME LINE D		
ID	QUAN	MARK/PART
2	6	JC



Charcoal Grey Walls  
Arctic White Trim  
Galvalume Roof

DRAWING IS NOT TO SCALE

TRIM COLORS	
EAVE TRIM = TBD	CORNER TRIM = TBD
BASE TRIM = TBD	GUTTER =
DOOR TRIM = TBD	DOWNSPOUTS =
RAKE TRIM = TBD	
* LINER TRIM = Liner panel color	
* SOFFIT TRIM = Soffit panel color	
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.	

GENERAL NOTES:

1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
2. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).

**GENERAL STEEL CORPORATION**

**M23548-ANDERSON WELDING**

60'-0" x 100'-0" x 20'-0"

DATE: 2/3/20 REVISION: 0

ENG: JTV DWN: BJC APPD: JTV

**F.O. 23582**

**M23548-ANDERSON WELDING**

REV.	DESCRIPTION	DATE

**DRAWING STATUS**

FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.

FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.

FOR CONSTRUCTION: FINAL DRAWINGS.

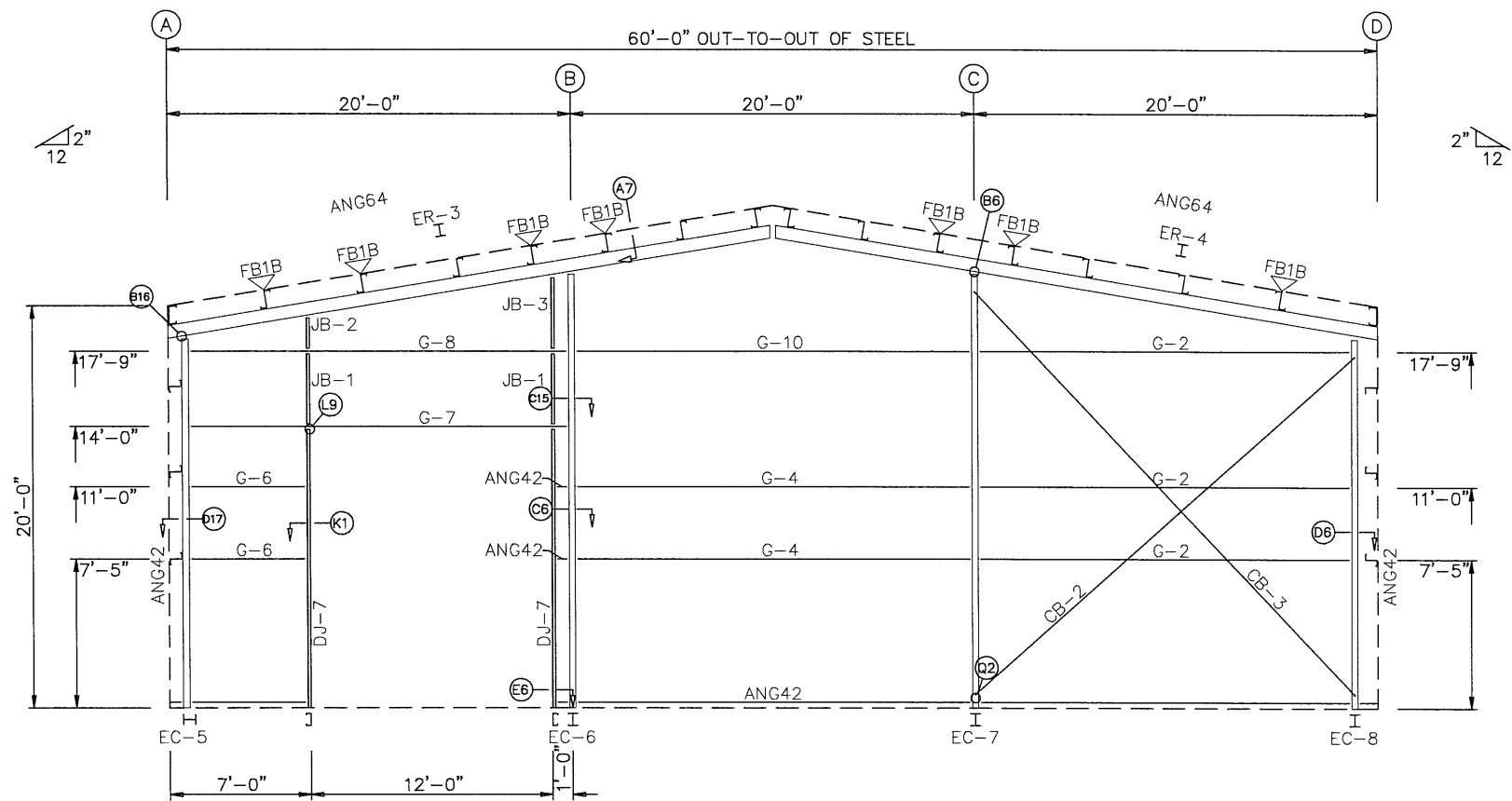
STATE OF NEW HAMPSHIRE

JAMES EISENMAN, JR.  
No. 11419

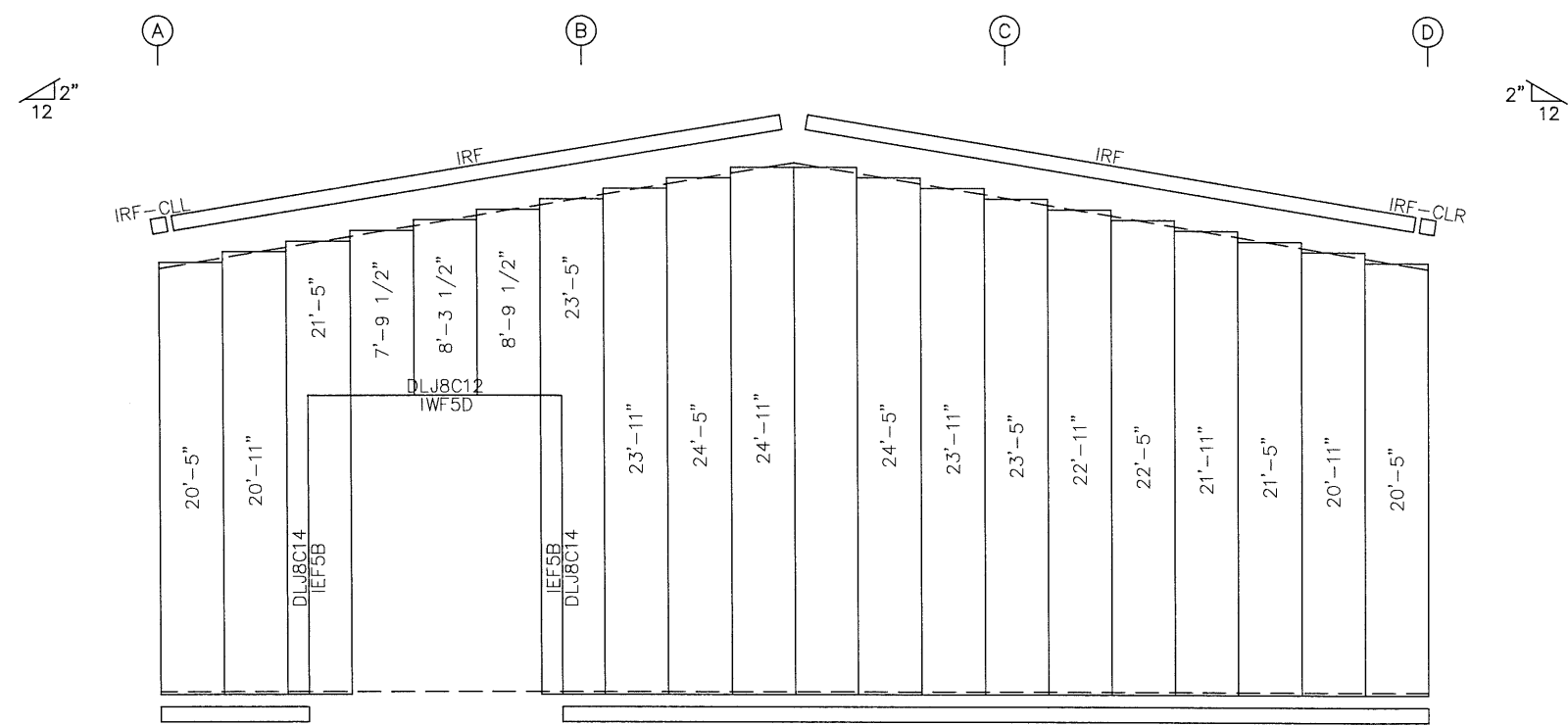
PROFESSIONAL ENGINEER

2/6/20

PAGE 10 OF 15



ENDWALL FRAMING: FRAME LINE 5



ENDWALL SHEETING & TRIM: FRAME LINE 5  
PANELS: 26 Ga. R - TBD

BOLT TABLE  
FRAME LINE 5

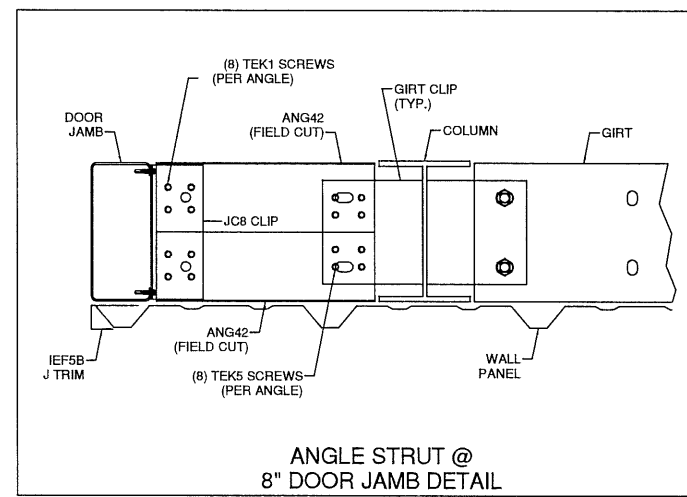
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-3/ER-4	8	A325	1/2"	1 1/2"
EC-5/ER-3	4	A325	1/2"	1 1/4"
Int_Column/Raf	2	A325	1"	2"
EC-8/ER-4	2	A325	1"	2"

MEMBER TABLE  
FRAME LINE 5

QUAN	MARK	PART	LENGTH
1	EC-5	W8X18	18'-6 3/4"
1	EC-6	W8X18	21'-7 5/16"
1	EC-7	W8X18	21'-7 5/16"
1	EC-8	W8X18	18'-5 11/16"
1	ER-3	W8X18	30'-4 15/16"
1	ER-4	W8X18	30'-4 15/16"
2	DJ-7	8X35C16	13'-11 3/4"
3	G-2	8X25Z13	18'-4 1/4"
2	G-4	8X25Z13	19'-6 1/4"
2	G-6	8X25Z16	5'-3 7/8"
1	G-7	8X35C13	18'-4 3/4"
1	G-8	8X25Z16	18'-4 3/4"
1	G-10	8X25Z12	19'-6 1/4"
1	CB-2	CABLE375	23'-4 5/8"
1	CB-3	CABLE375	25'-7 1/16"
2	JB-1	8X35C16	3'-8 1/2"
1	JB-2	8X35C16	1'-4 13/16"
1	JB-3	8X35C16	3'-4 13/16"

FLANGE BRACE TABLE  
FRAME LINE 5

VID	MARK	LENGTH
1	FB1B	1'-3 5/8"



ANGLE STRUT @  
8" DOOR JAMB DETAIL

Charcoal Grey Walls  
Arctic White Trim  
Galvalume Roof

DRAWING IS NOT TO SCALE

TRIM COLORS

EAVE TRIM = TBD	CORNER TRIM = TBD
BASE TRIM = TBD	GUTTER =
DOOR TRIM = TBD	DOWNSPOUTS =
RAKE TRIM = TBD	
* LINER TRIM = Liner panel color	
* SOFFIT TRIM = Soffit panel color	
* ONLY APPLICABLE IF LINER TRIM OR SOFFIT PANEL IS INDICATED ON BUILDING ORDER.	

- GENERAL NOTES:
1. Use TEK5WW screws in place of SD150 panel screws at all 10 gage members.
  2. See detail C7A for field coping of coldform endwall column flange braces.
  3. All connections to door or window jambs where the clip is not designated in the clip table / drawing are made with JC# clips (#= Girt Depth).

**GENERAL STEEL CORPORATION**

M23548-ANDERSON WELDING

60'-0" x 100'-0" x 20'-0"

DATE: 2/3/20 REVISION: 0

ENG: JTV DWN: BJC APPD: JTV

F.O. 23582

**M23548-ANDERSON WELDING**

REVISION HISTORY

REV.	DESCRIPTION	DATE

DRAWING STATUS

FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.

FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.

FOR CONSTRUCTION: FINAL DRAWINGS.

STATE OF NEW HAMPSHIRE

T. JAMES EISENMAN, JR.  
No. 11419

PROFESSIONAL ENGINEER

2/6/20

PAGE 12 OF 15