



Town of Barrington
 PO Box 660
 333 Calef Highway
 Barrington, NH 03825
 Phone: 603-664-9007
 Fax: 603-664-5179

**CLASS VI/PRIVATE ROAD REQUEST FOR BUILDING PERMIT
 DOCUMENT CHECKLIST**
For Internal Use Only

**THE FOLLOWING DOCUMENTS ARE REQUIRED TO BE SUBMITTED TO THE
 BUILDING DEPARTMENT WHEN A PERMIT IS ACCEPTED**

<input type="checkbox"/>	Original, fully executed <i>Agreement and Release Regarding Building Permit for Property Abutting a Private/Class VI Road</i>
<input checked="" type="checkbox"/>	Copy of <i>Building Permit Application</i>
<input checked="" type="checkbox"/>	Copy of Tax Map <ul style="list-style-type: none"> • showing location of permit request
<input checked="" type="checkbox"/>	Copy of Plot Plan <ul style="list-style-type: none"> • Showing: <ul style="list-style-type: none"> ○ Location and size of lot ○ Location of all proposed structures including setbacks ○ Location and length of driveway and relationship of lot to the access road

**THE FOLLOWING DOCUMENTS ARE REQUIRED PRIOR TO CONSIDERATION BY
 THE SELECT BOARD**

<input checked="" type="checkbox"/>	Copy of Abutter's list created upon receipt by Office of the Select Board
<input type="checkbox"/>	Public notice of Select Board hearing must be sent to Abutters at least seven days prior to hearing
<input type="checkbox"/>	Public notice of Select Board hearing must be posted in at least two (2) public places within the town
<input type="checkbox"/>	Copy of Comments/Recommendations for road improvements from Road Agent
<input type="checkbox"/>	Copy of Comments/Recommendations from Fire Chief
<input type="checkbox"/>	Copy of Comments/Recommendations from Police Chief
<input type="checkbox"/>	Copy of Comments/Recommendations from the Planning Board's Public Hearing
<input type="checkbox"/>	Any additional information Property Owner wishes to provide to explain their request for a Building Permit (<i>OPTIONAL</i>)



Major Building Permit Application

Town of Barrington, New Hampshire
 Building Department
 P.O. Box 660, Barrington, NH
 Telephone: (603) 664-5183

Issue Date: _____
 Permit #: _____
 (This area for office use only)

Map # 104
 Lot # 56
 Block # _____
 Zoning _____

Location of Construction (Address): _____

Property Owner: James P Maravelias + Sarah E Battiato Home Phone: 603-553-2439
 Mailing Address: 142 Lynnfield St Cell Phone: 781-760-0207
 City: Lynn State: MA Zip Code: 01904 Daytime Phone: _____
 Email Address: Jimmygranite@yahoo.com / Sarahbattiato@yahoo.com

Contractor: James Maravelias + Sarah Battiato Phone: 781-760-0207
 Mailing Address: 142 Lynnfield St Cell #: _____
 City: Lynn State: MA Zip Code: 01904
 Email Address: Jimmygranite@yahoo.com

Cost of Construction: _____ Building Inspectors Estimated Cost of Construction: _____
 Permit Fee: _____ Permit fee based on \$7.50 per \$1000.00 of construction cost for 1 & 2 family (\$50.00 Minimum) Permit fee based on \$8.00 per \$1,000.00 of Construction Cost for multi-family & commercial (\$50.00 Minimum)

Proposed Construction is for: (check only one)

<input checked="" type="checkbox"/> New Single-Family Dwelling	<input type="checkbox"/> New Commercial Structure
<input type="checkbox"/> New Two-Family Home	<input type="checkbox"/> Commercial Addition
<input type="checkbox"/> New Multi-Family Dwelling	<input type="checkbox"/> Commercial Alteration
<input type="checkbox"/> Replacement / New Mobile Home	<input type="checkbox"/> Other: _____

Description of work to be performed: 36x28

Proposed Use: _____

Property & Setback Information			
Setbacks from Lot Line to Construction:		Subsurface Disposal Information:	Total Square Footage of Proposed Building: <u>2016</u>
Front: <u>100</u>	Right: <u>31</u>	Septic System Design Approval Number: _____	Site Located in "Special Flood Hazard Area": Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Rear: <u>100</u>	Left: <u>31</u>		Site Located in Shoreland Protection Zone: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Lot Size: <u>1.58 AC</u>		If Using Existing System, Is Design More Than 20 Yrs. Old: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Subdivision Approval # _____
			Subdivision Name: _____
			Site Plan Approval: Yes <input type="checkbox"/> No <input type="checkbox"/>

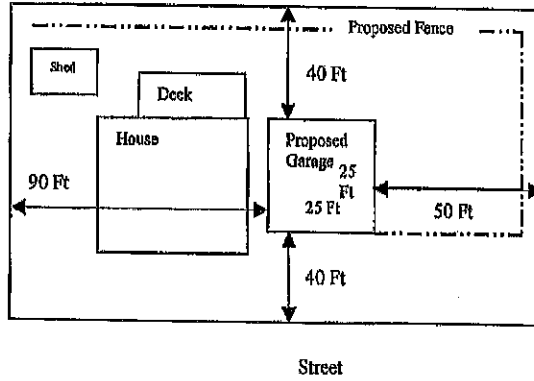
Applicant Signature: [Signature] Date: 11/25/20

Plot Plan

Instructions:

- 1) Show the Property lines and road(s).
- 2) Show the proposed Structure and all existing structures.
- 3) Show the Measurements from the proposed structure to all lot lines, measure straight through existing structures if needed.
- 4) Include the dimensions of the proposed structure.
- 5) Show Location of Septic Tank & Leach Field.
- 6) Show Location of all Wetlands, Rivers, Streams, Lakes and Ponds

Sample Plan:



See Act Plan

Applicant Signature: _____

Date: _____

11/25/20

ATTACHMENTS AND SUBMITTALS REQUIRED AT THE TIME OF APPLICATION	
For Residential 1 and 2 Family	For Commercial or Multi-unit Residential
Site Plan <input type="checkbox"/>	Site Plan Approval – Site Plans Must be Certified Prior to Issuance of Building Permits. <input type="checkbox"/>
Driveway Permit [Contact: Highway Dept. (603) 664-5379] <input type="checkbox"/>	Driveway Permit [Contact: Highway Dept. (603) 664-2241] <input type="checkbox"/>
N.H. Approved Septic Design <input type="checkbox"/>	N.H. Approved Septic Design <input type="checkbox"/>
Approved Shoreland Protection Permit From NH-DES [If Applicable] <input type="checkbox"/>	Approved Shoreland Protection Permit From NH-DES [If Applicable] <input type="checkbox"/>
Two (2) full sets of building plans <input type="checkbox"/>	Three (3) full sets of plans [Stamped When Required by RSA 310 -A] <input type="checkbox"/>
P.U. C. Prescriptive Compliance Application or Res Check Compliance Application. <input type="checkbox"/>	Letter of Energy Compliance From Design Prof. [May Use Residential Compliance Options to a Maximum building size of 4000 Square Feet] <input type="checkbox"/>
All Precedent Conditions of the Notice of Decision that was Approved by the Planning Board are met. <input type="checkbox"/>	Statement of Special Inspection [IBC Section 1705] [If Applicable] <input type="checkbox"/>

Please be advised, the order of inspections, for the **Building Inspector Only**, are as follows:

1. Reinforcing Steel Prior to Placement of Concrete.
2. Foundation / Pier Depth & Drainage
3. Rough Framing
4. Insulation & Penetration firestop
5. Drywall Installation (Fire Rated Assemblies Only)
6. Final Inspection

Note: Not all inspections may apply to every situation and additional inspections may be required in special situations. *Required inspections for electrical, plumbing and mechanical installations are provided on the applicable permit application(s).*

It is the responsibility of the property owner and all contractors to obtain and post the necessary permits in a conspicuous location prior to commencement of any construction related activity.

Electrical, mechanical and plumbing work requires submission of a separate permit applications.

Permits are non-transferable. If this is an "After the Fact" permit, it may be subject to a fee two times the normal permit fee.

It is the responsibility of the contractor / property owner to obtain all required inspections. This signed application constitutes consent of the owner / applicant to provide access for inspections related to this permit at the subject property. Any work that is concealed prior to the inspection may be required to be removed for inspection.

Applicant Signature: _____

Date: _____

PLEASE BE ADVISED: Any deviation from the specifications submitted will require an amendment to this permit or additional permits. Permits expire one (1) year from the issue date. The Building Inspector/Code Officer may grant an extension of time if a written request is submitted prior to the expiration date. Permits become invalid if work is not started within 180 days or if work is abandoned/suspended for a period of 180 days.

The STATE OF NEW HAMPSHIRE requires that ENERGY CODE COMPLIANCE CERTIFICATION be obtained for any heated building, structure or addition thereto. Certification may be required prior to altering, renovating or winterizing an existing structure. More information can be found at the web site: www.puc.state.nh.us and follow the link for Energy Codes.

*** I hereby certify that the building site is/is not (choose one) located in a "Special Flood Hazard Area" as designated by the Federal Emergency Management Agency and its flood insurance rate maps.

Applicant signature: *JM A*

*** I hereby certify that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S. C. 1334, Barrington Flood Plain Development Ordinance.

Applicant signature: *JM A*

*** All work must be performed in accordance with International Building Code/2009, International Residential Code for One & Two Family Dwelling/2009, 2011 NEC National Electrical Code, 2009 International Plumbing Code, NFPA 101 Life Safety Code/2009, NH Energy Code, International Mechanical Code/ 2009 and State of NH Subdivision & Individual Sewage Disposal System Design Rules.

*** I certify that the information that I have given is accurate to the best of my knowledge. No change from the above information will be made without the approval of the Code Enforcement Officer. I understand that this is NOT A PERMIT and that work CANNOT COMMENCE until a PERMIT is issued. It is my responsibility to contact the Code Enforcement Officer for the appropriate inspections.

*** I hereby certify that the boundary lines shown on the accompanying plot plan are the property lines of my property and that the acreage and setbacks are correctly shown.

*** I further acknowledge that the proposed structure or improvements shall not be occupied or utilized without a Certificate of Occupancy and only after all necessary inspections have been requested and completed.

Owner Signature: *JM A* Date: 11/25/14

Contractor Signature _____ Date: _____

*** DO NOT WRITE IN THIS SPACE ***

Paid By: _____ CASH CHECK # _____

Received By: _____ Date: _____

PERMIT # _____

THIS PERMIT IS ISSUED with the following conditions: DENIED for the following reason(s):

Approved By: _____ Date: _____



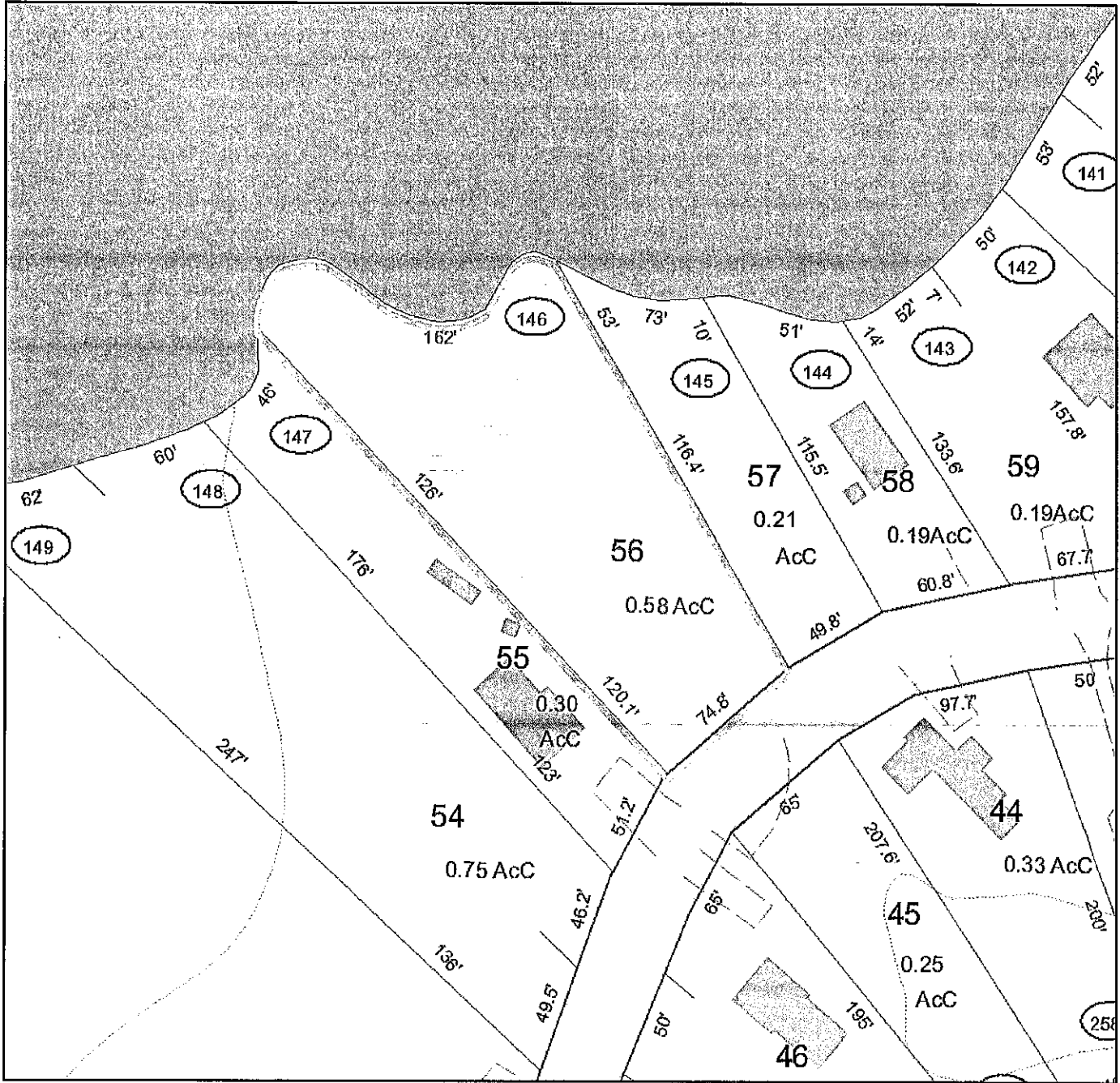
Barrington, NH



1 inch = 68 Feet

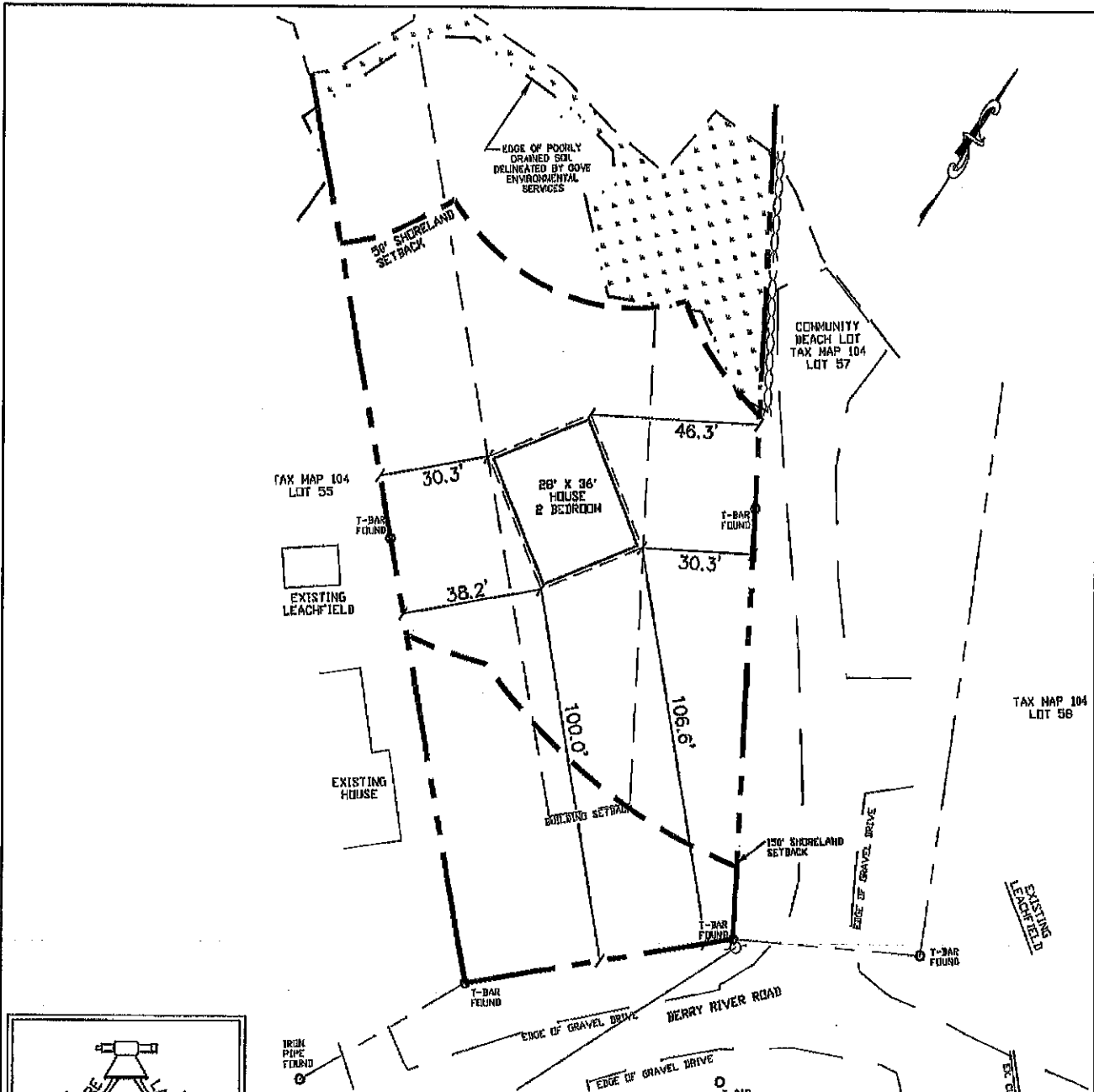


November 30, 2020



100-PROPERTYLINE	DW	Water-poly
PVTRD	WETLAND	
PWATER	Buildings	
100-PT	Right of Ways	

The property data available on this site is updated periodically. The Town of Barrington makes no warranties with regard to its accuracy or completeness and assumes no liability associated with the use of this data.



I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

NEW STATE OF
NEW HAMPSHIRE
No. 945
SCOTT
R.
FRANKIEWICZ
LAND SURVEYOR
SIGNATURE

SCOTT R. FRANKIEWICZ, LLS
DATE: 10-8-2020



N.H. LAND Consultants




SURVEYING • LAND PLANNING • REAL ESTATE
A VETERAN OWNED COMPANY
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261
PH. 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

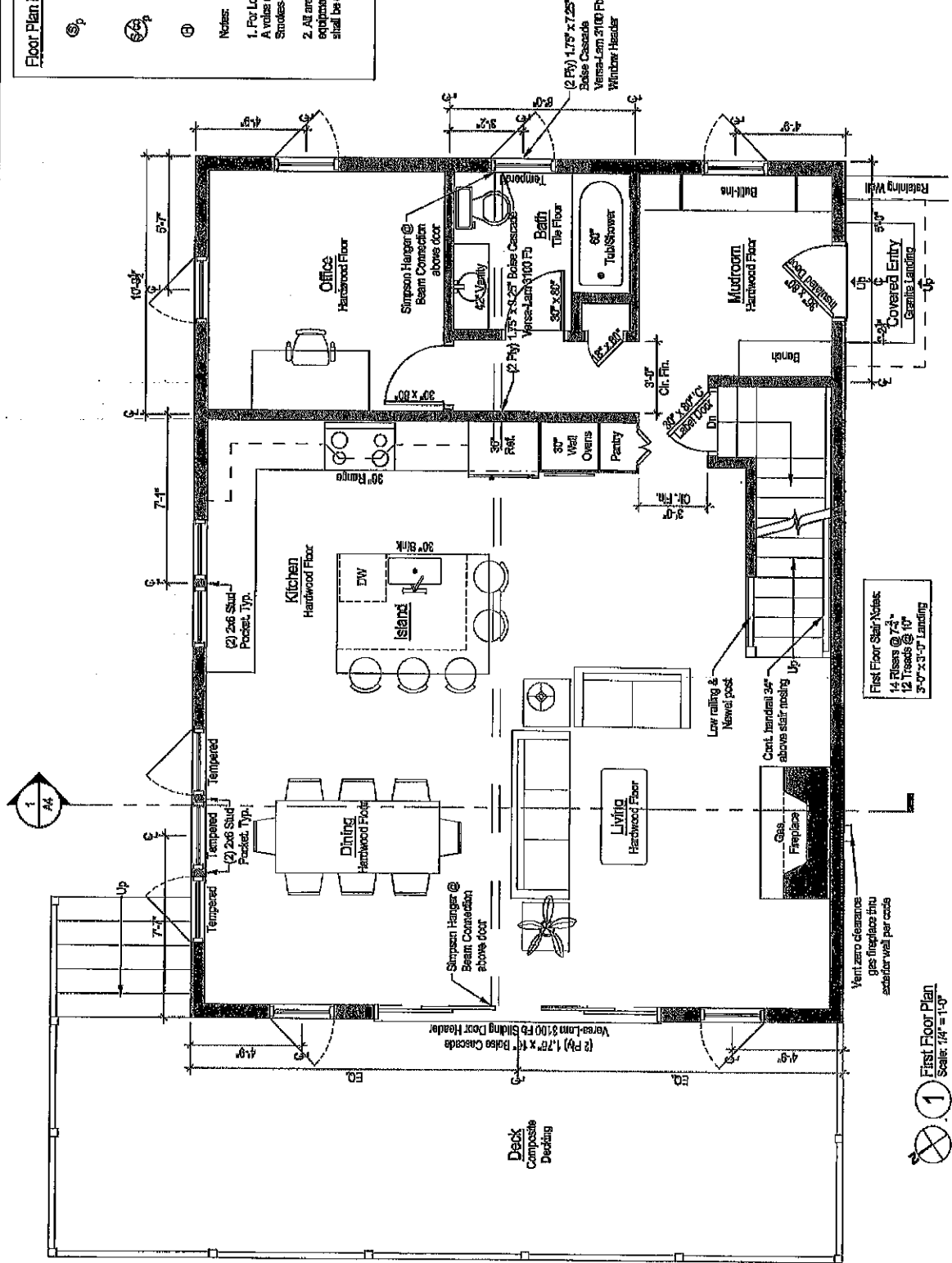
CERTIFIED PLOT PLAN

TAX MAP 104 LOT 56
JAMES MARAVELIAS & SARAH BATTIATO
142 LYNNFIELD STREET
LYNN, MA 01904
BOOK 4795 PAGE 311

PROPERTY ADDRESS:
BERRY RIVER ROAD, BARRINGTON, NH 03825
SCALE: 1" = 40' DATE: 10-8-20

Floor Plan Legend

-  Photo sensitive smoke detector (hard wired)
 -  Combination photo sensitive smoke/carbon monoxide detector
 -  Heat detector
- Notes:
1. For Low Voltage Systems, A voltage divider to activate both Smokeless and CO's shall be provided.
 2. All areas that house mechanical equipment, whether habitats or not, shall be equipped with a heat detector.



First Floor Stair Notes:
 14 Risers @ 7 3/4"
 12 Treads @ 11"
 3'-0" x 3'-0" Landing

1
 First Floor Plan
 Scale: 1/4" = 1'-0"

Vent zero clearance gas fireplace thru exterior wall per code

Coat. handrail 3/4" above stair nosing

Low railing & Newel post

30" x 30" C. Slab Floor

30" x 30" C. Slab Floor

30" x 30" C. Slab Floor

30" x 30" C. Slab Floor

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30" x 30" C. Slab Floor

30" x 30" C. Slab Floor

Second Floor Plan

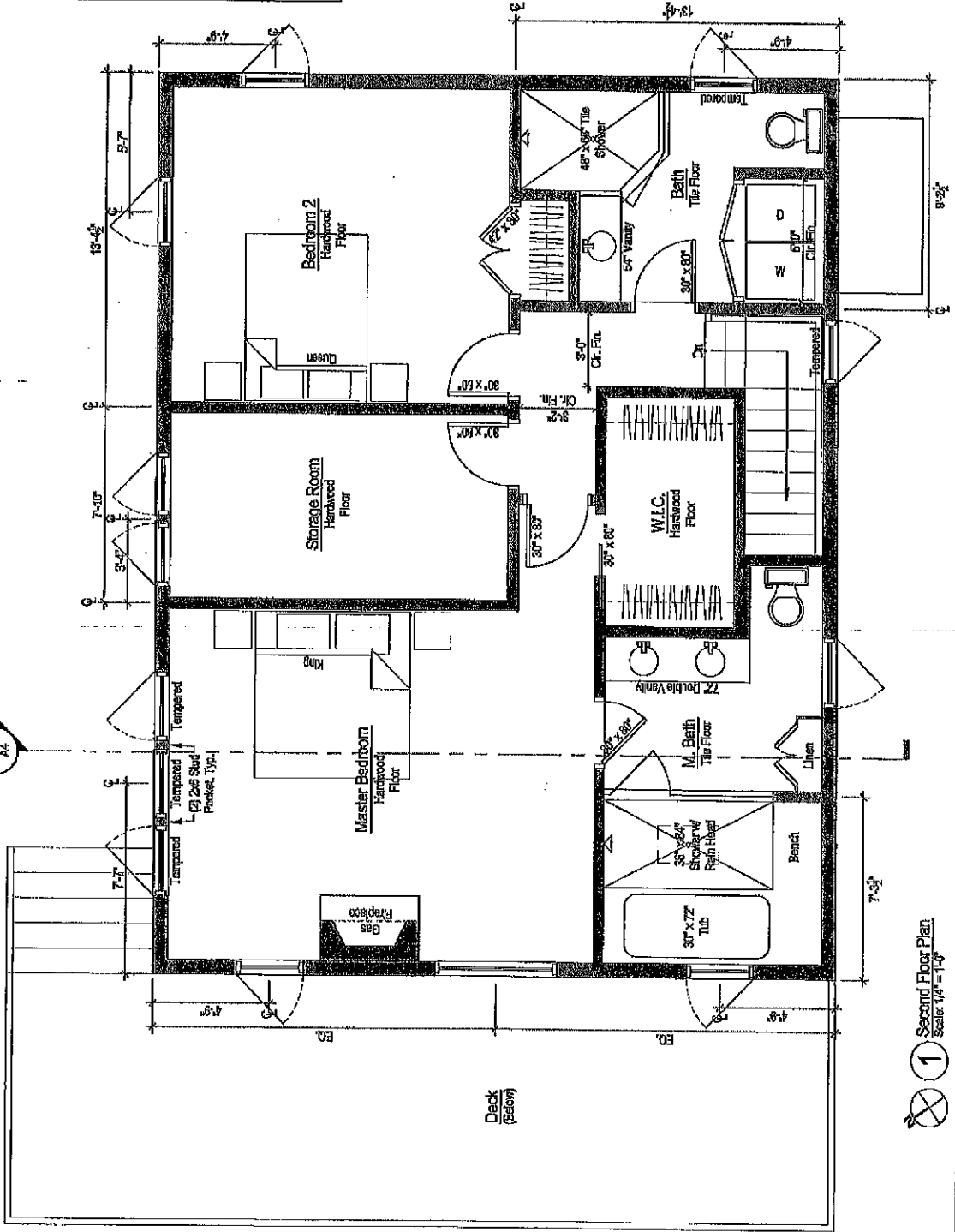
Proposed New Construction of
 The Battato Lake House
 Lot 69 Bony River Road, Bertrton, NH

Floor Plan Legend

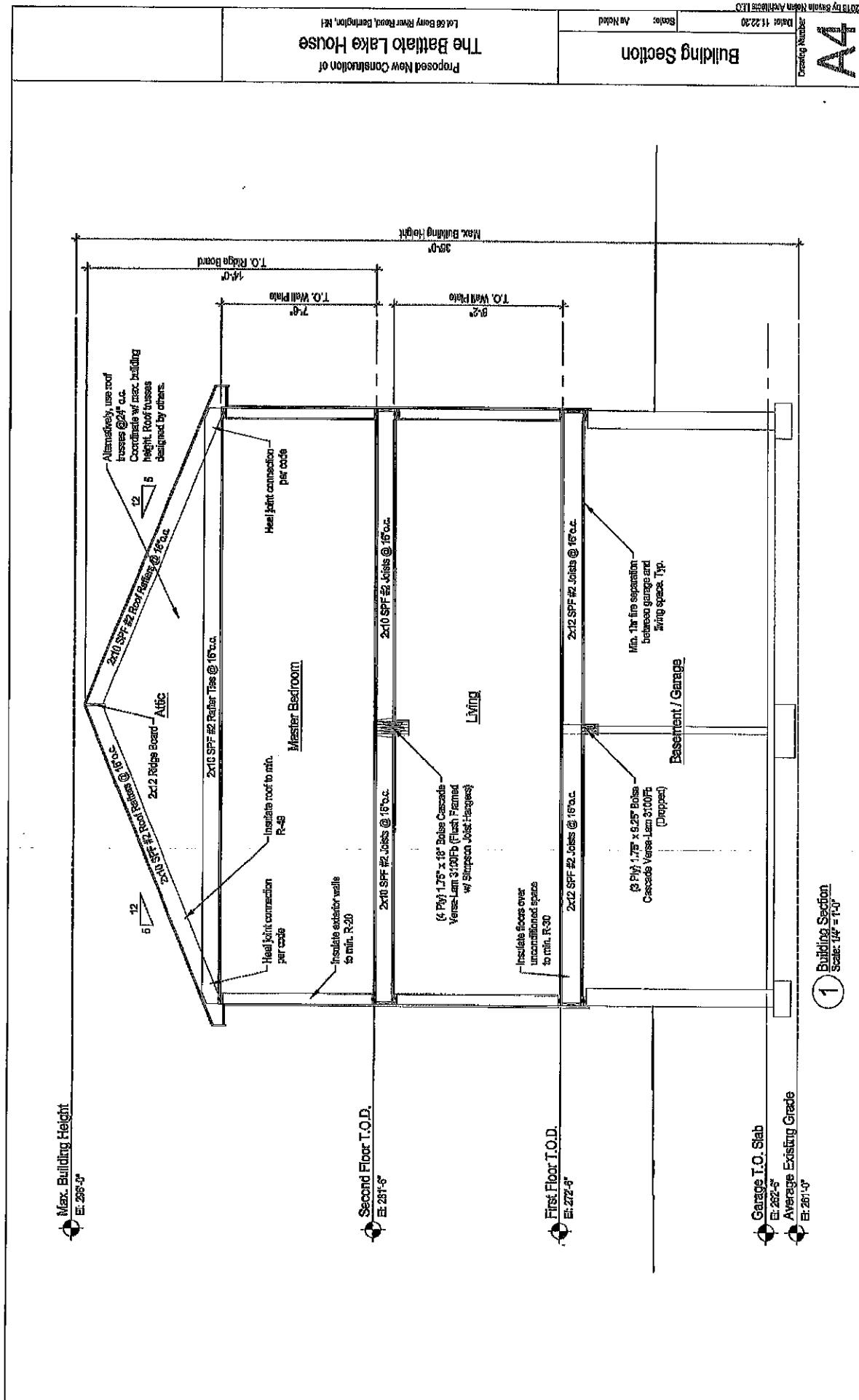
-  Photo sensitive smoke detector (hard wired)
-  Combination photo sensitive smoke/heat detector
-  Heat detector

Notes:

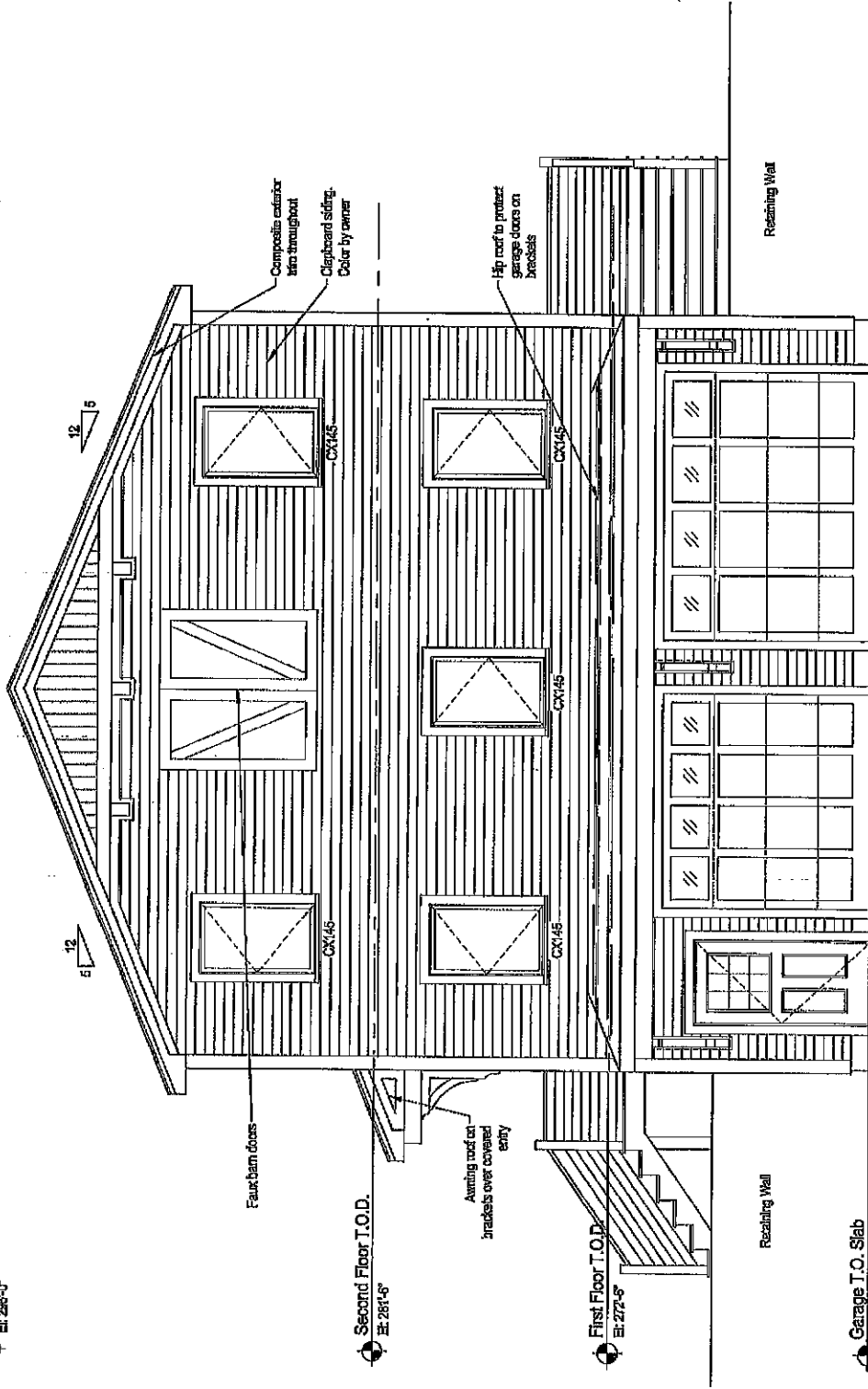
1. For Low Voltage Systems, A voice driver to activate both Smokes and COs shall be provided.
2. All areas that house mechanical equipment, whether taxable or not, shall be equipped with a heat detector.



1 Second Floor Plan
 Scale: 1/4" = 1'-0"



Max. Building Height
Et: 288'-0"



1 Front - Southeast Elevation
Scale: 1/8" = 1'-0"

Proposed New Construction of
The Battato Lake House
Lot 69 Berry River Road, Barrington, NH

Front Elevation

Date: 11.22.20
Scale: As Noted

Drawing Number

A5

Proposed New Construction of
The Battato Lake House
 Lot 69 Berry River Road, Barrington, NJ

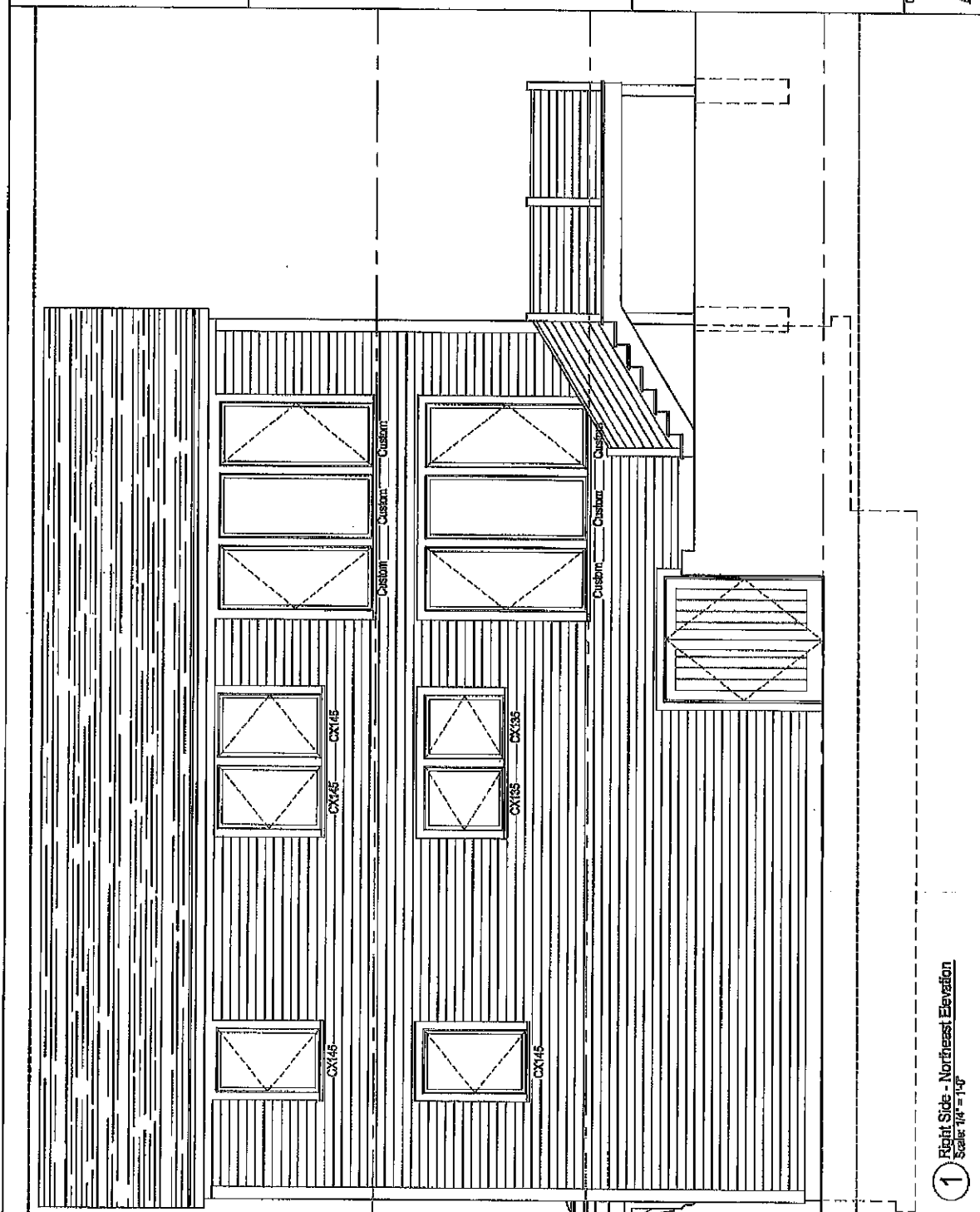
Right Side Elevation

Max. Building Height
 El: 268'-0"

Second Floor T.O.D.
 El: 281'-5"

First Floor T.O.D.
 El: 272'-5"

Garage T.O. Slab
 El: 262'-6"
 Average Existing Grade
 El: 261'-0"



1 Right Side - Northeast Elevation
 Scale: 1/4" = 1'-0"

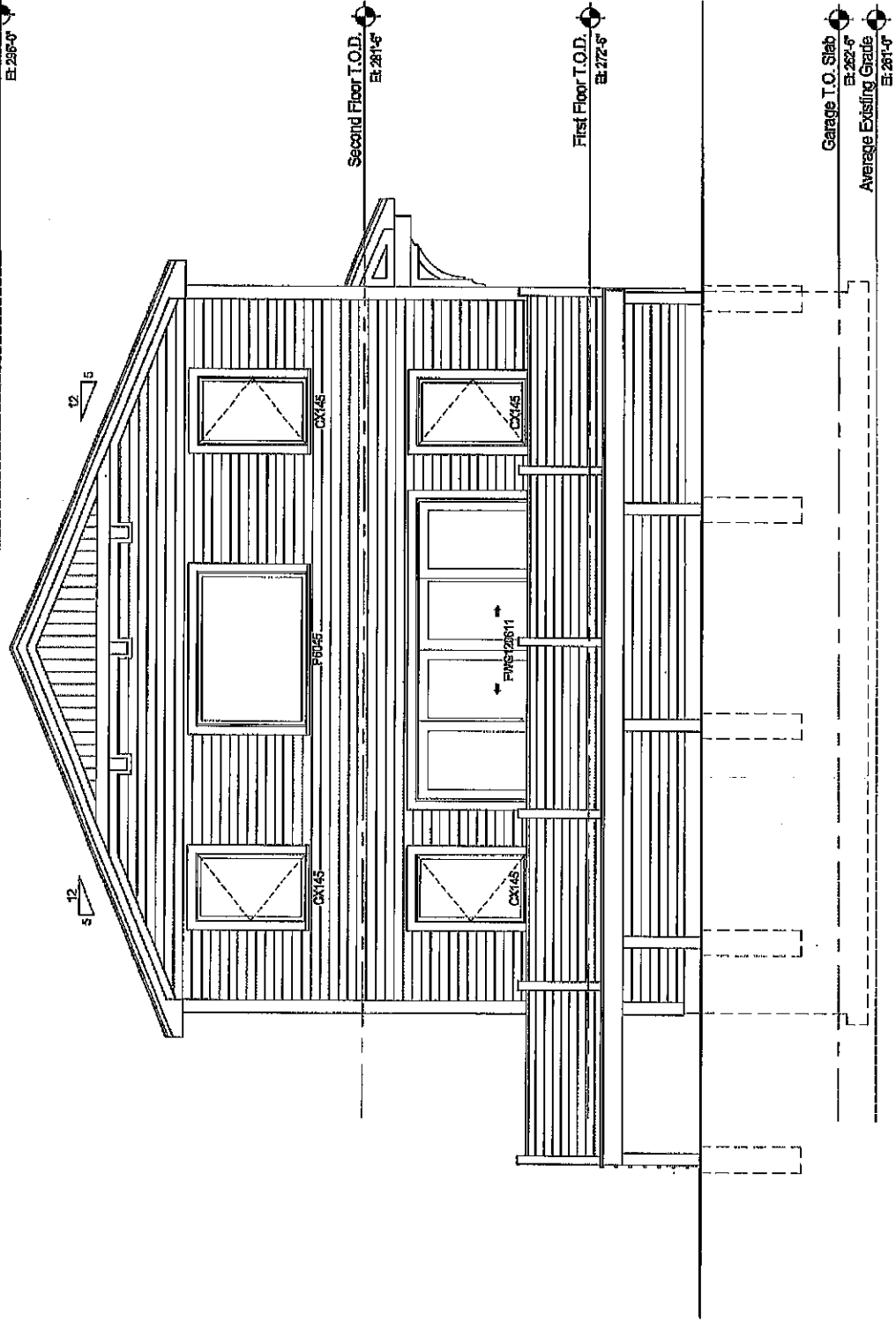
Rear Elevation

Proposed New Construction of
The Battato Lake House
101 Co Barry River Road, Barrington, NH

Scale: As Indicated

Date: 11.22.20

Max. Building Height
E1: 236'-0"



1 Rear - Northwest Elevation
Scale: 1/8" = 1'-0"

Left Side Elevation

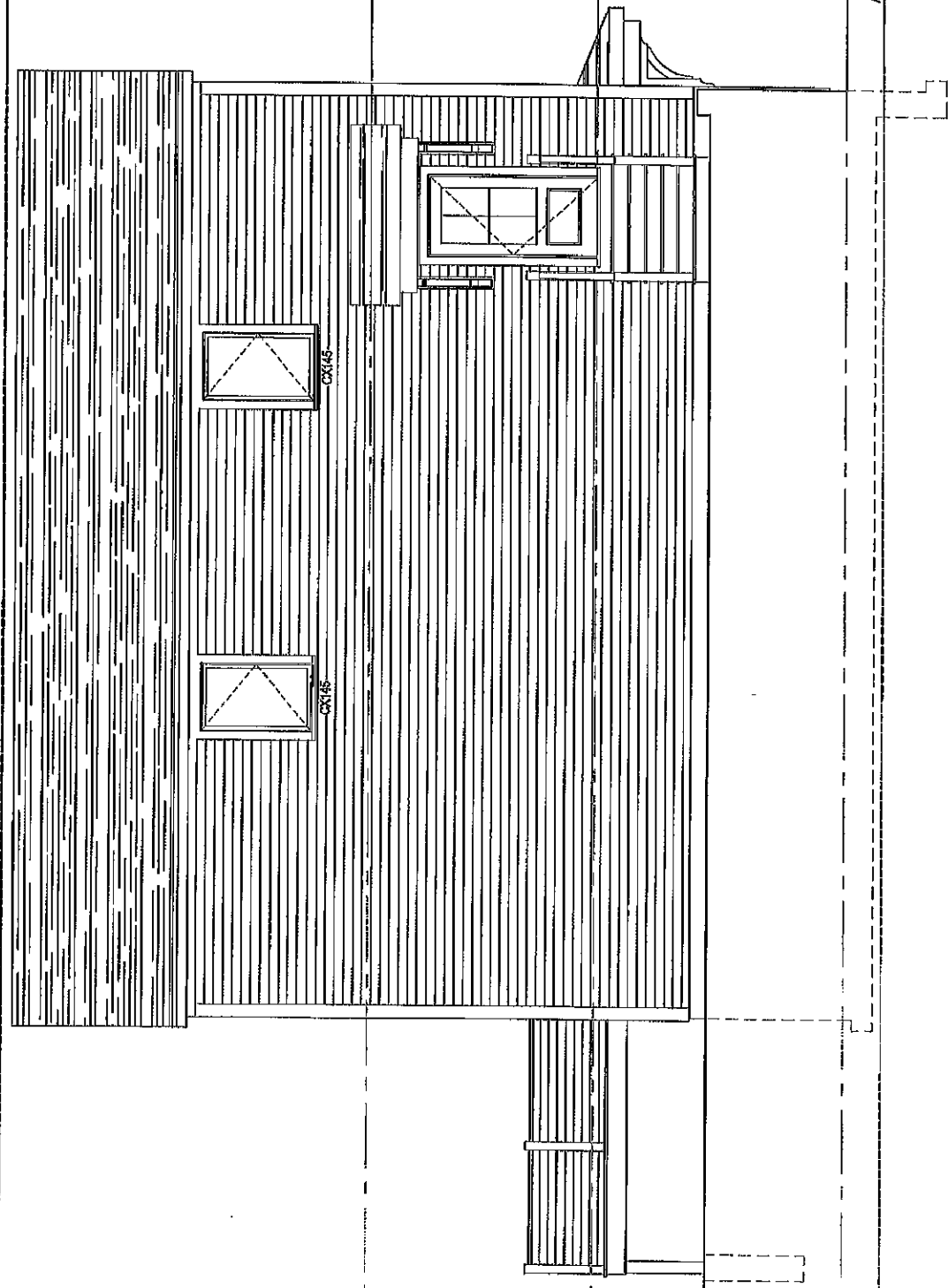
Max. Building Height
El: 288'-0"

Second Floor T.O.D.
El: 281'-6"

First Floor T.O.D.
El: 272'-6"

Garage I.O. Slab
El: 262'-6"

Average Existing Grade
El: 261'-0"



1 Left Side - Southwest Elevation
Scale: 1/4" = 1'-0"

CLAPP ROBERT
812 BERRY RIVER RD
BARRINGTON, NH 03825

DANNAR GENE & ANANITA
797 BERRY RIVER RD
BARRINGTON, NH 03825

DANNAR GENE & ANANITA
797 BERRY RIVER RD
BARRINGTON, NH 03825

GALE JOHN H III
TRS INVESTMENT TR
798 BERRY RIVER RD
BARRINGTON, NH 03825

JACK ZAINE R & BRYANNA R
75 TREATY CT UNIT# 6
FREMONT, NH 03044

LONG SHORES ASSOC
491 BERRY RIVER RD
BARRINGTON, NH 03825

SEVERANCE DARLENE L
421 OLD DOVER RD
ROCHESTER, NH 03867