

ABUTTERS LIST

- Subject Property Location:
7 Barrington Shores Drive, Barrington, Strafford County,
New Hampshire
- Tax Map & Lot Number: Map 121 Lot 28
- Tax Map 121 Lot 28
Barrington Shores, LLC
c/o Todd Green
240 Revere Street
Winthrop, MA 02152
- Tax Map 121 Lot 37
Bruce G. & Kathleen M. Robinson
84 Rosemary Lane
Barrington, NH 03825
- Tax Map 121 Lot 38
Richard & Theresa McKanney
350 Calef Island Road
Barrington, NH 03825
- Tax Map 121 Lot 29
Luzi Pantano Rev. Trust of 2016
c/o Luzi Pantano
188 Hill Road
Barrington, NH 03825
- Tax Map 121 Lot 5
Sally G. Michel Rev. Living Trust
c/o Sally G. Michel
1424 Lewis Ridge View
Colorado Springs, CO 80907
- Tax Map 121 Lot 6
Jacob Goodwin & Amanda King
193 Hill Road
Barrington, NH 03825
- Tax Map 121 Lot 28
David G. & Heather H. Totty
242 Hill Road
Barrington, NH 03825
- Tax Map 121 Lot 27
David White
219 Hill Road
Barrington, NH 03825
- Tax Map 121 Lot 8
Kenneth & Uncha Resendes
221 Hill Road
Barrington, NH 03825

SURVEYOR:



Stonewall SURVEYING
Licensed in New Hampshire & Maine
PO Box 458, Barrington, NH 03825
t: (603) 664-3900
www.StonewallSurveying.com

NOTES - CONTINUED:
** LOT COVERAGE:
GRAVEL = 224'88 SF
PAVEMENT = 2780 SF
BUILDINGS = 8350 SF
RV = 87500 SF
TOTAL = 322818 SF
TOTAL LOT AREA = 1,082,130 SF
PERCENT LOT COVERAGE = 29.8%

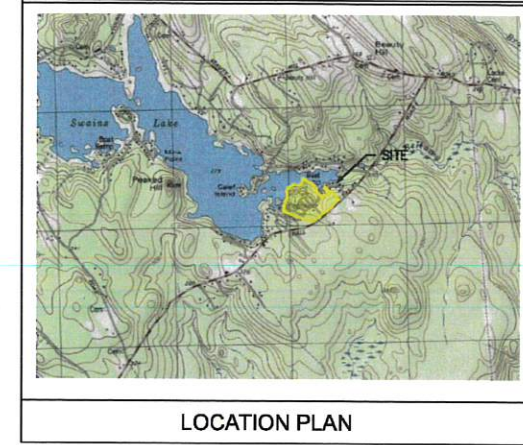
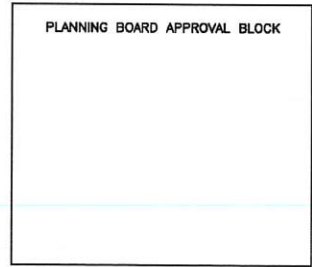
RECEIVED

OCT 13 2020

LAND USE OFFICE 7

Site Plan FOR

BARRINGTON SHORES, LLC
located at
BARRINGTON SHORES DRIVE
Barrington,
New Hampshire 03825
TAX MAP 121
LOT 28



LEGEND

- POORLY DRAINED SOILS
- - - 2' CONTOUR
- - - 10' CONTOUR
- STONEWALL
- UTILITY POLE
- EDGE OF GRAVEL
- EDGE OF GRAVEL PROPOSED
- PROPOSED CONTOUR
- EDGE OF EXISTING PAVEMENT
- - - SILT FENCE/SILT SOXX
- RETAINING WALL - PROPOSED
- WETLAND SYMBOL
- RIP RAP

CONSTRUCTION TIME TABLE:

1. VEGETATION PLANTINGS AND ROAD CONSTRUCTION TO BEGIN THE FALL OF 2020 AND BE COMPLETED AS LATE AS SPRING OF 2022.

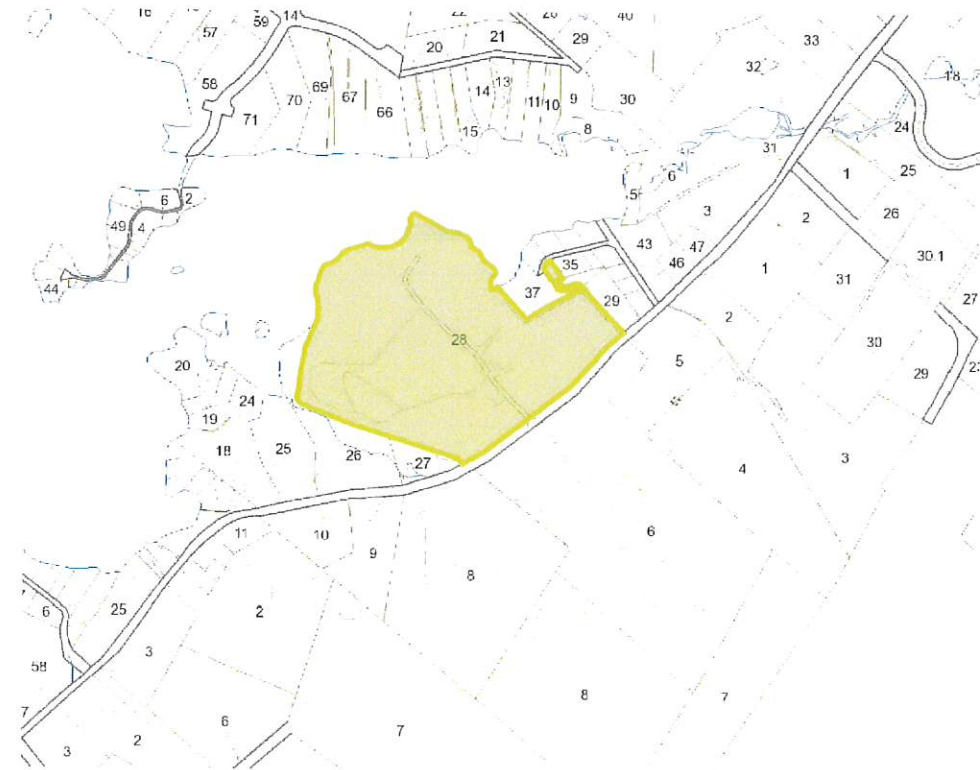
WAIVER REQUESTS:

TOWN OF BARRINGTON SITE PLAN REVIEW REGULATIONS:

- ARTICLE 6 SECTION 6.2.3 (2) Placement: No site within the commercial recreational campground or camping park shall be located within one hundred feet (100 ft.) of any boundary line. All campsites must be screened from adjacent properties by a naturally vegetative buffer, or other screening approved by the Planning Board.
- ARTICLE 4.7.7(1) - MINIMUM ALLOWABLE STORM DRAIN PIPE DIAMETER IS 15". WE ARE PROPOSING 12".
- ARTICLE 4.12 - OUTDOOR LIGHTING. WE ARE PROPOSING NOT FIXED OUTDOOR LIGHTING.

NOTES:

- TAX MAP 121 LOT 28
- SEE EXISTING CONDITIONS PLAN BY STONEWALL SURVEY
- LOT IS ZONED: GENERAL RESIDENTIAL LIES WITHIN THE SWAINS LAKE V.L.LAGE WATER OVERLAY ZONE
- THE INTENT OF THIS PLAN IS FOR 27 NEW SEASONAL CAMPER SITES, INCLUDING ROAD LAYOUT DRAINAGE IMPROVEMENTS AND NEW SEPTIC SYSTEM AND WATER SYSTEM.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF BARRINGTON SITE REVIEW REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATIONS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER AND SEWER LINE LOCATIONS ARE APPROXIMATE FIELD ADJUSTMENTS MAY BE NECESSARY.
- GRADING WITHIN 250 FEET OF THE LAKE REQUIRES A S-SHORELAND PERMIT.



TAX MAP
NTX

SHEET INDEX:

- | | |
|---------------------|------------------------|
| C-1 | COVER SHEET |
| PERIMETER PLAN | BY STONEWALL SURVEYING |
| EXISTING CONDITIONS | BY STONEWALL SURVEYING |
| CAMPSITE LAYOUT | BY STONEWALL SURVEYING |
| C-2 | GRADING PLAN |
| C-3 | DRAINAGE PROFILE |
| C-4 | DRAINAGE PROFILE |
| P-1 | PLAN AND PROFILE |
| P-2 | PLAN AND PROFILE |
| D-1 | DETAILS |
| D-2 | DETAILS |
| LANDSCAPE PLAN | BY STONEWALL SURVEYING |

FARWELL
ENGINEERING
SERVICES, LLC

265 WADLEIGH FALLS ROAD
LEE, NEW HAMPSHIRE 03861
PH: 603-292-5787
WWW.FARWELLENGINEERING.COM



ISSUED FOR: APPROVAL

ISSUE DATE: MARCH 6, 2020

FILE NAME: 1958-BARRINGTON SHORES

NO.	DATE	BY	DESCRIPTION
2	10/17/20	TKF	PB COMMENTS
1	8/21/20	TKF	PB COMMENTS

SCALE: VARIES

OWNER/APPLICANT:
BARRINGTON SHORES, LLC
240 REVERE STREET
WINTHROP, MA 02152

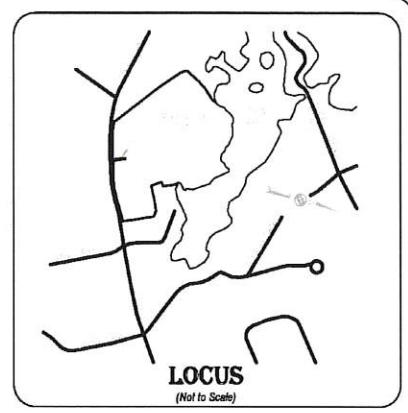
PROJECT:
TAX MAP/LOT 121/28
7 BARRINGTON SHORE DRIVE
BARRINGTON, NH

TITLE:
COVER SHEET

SHEET NUMBER:
C-1



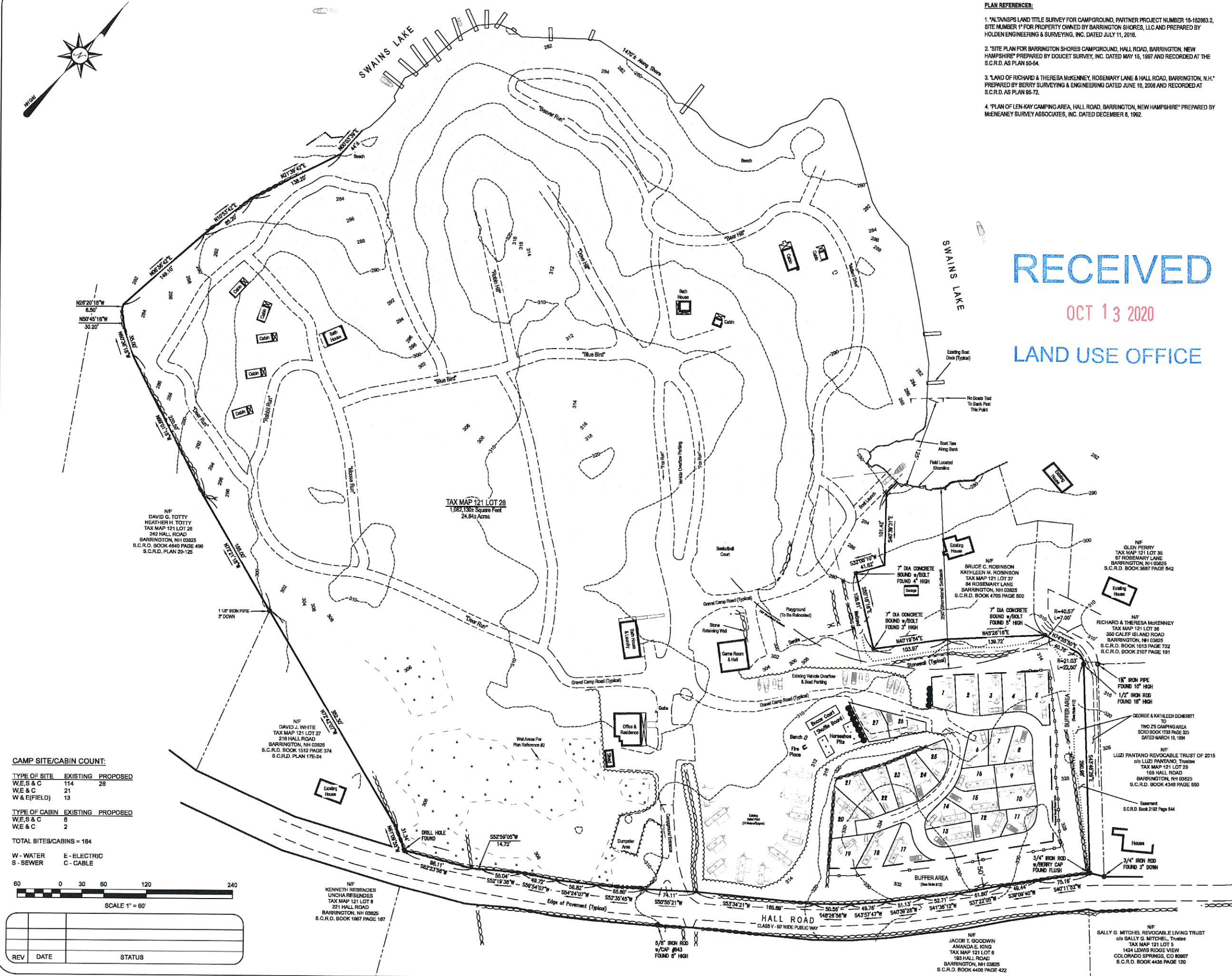
- PLAN REFERENCES:**
1. "ALTANPS LAND TITLE SURVEY FOR CAMPGROUND, PARTNER PROJECT NUMBER 18-182863.2, SITE NUMBER 1" FOR PROPERTY OWNED BY BARRINGTON SHORES, LLC AND PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. DATED JULY 11, 2018.
 2. "SITE PLAN FOR BARRINGTON SHORES CAMPGROUND, HALL ROAD, BARRINGTON, NEW HAMPSHIRE" PREPARED BY DOUCET SURVEY, INC. DATED MAY 15, 1997 AND RECORDED AT THE S.C.R.D. AS PLAN 60-84.
 3. "LAND OF RICHARD & THERESA MCKENNEY, ROSEMARY LANE & HALL ROAD, BARRINGTON, N.H." PREPARED BY BERRY SURVEYING & ENGINEERING DATED JUNE 18, 2008 AND RECORDED AT S.C.R.D. AS PLAN 65-72.
 4. "PLAN OF LEN-KAY CAMPING AREA, HALL ROAD, BARRINGTON, NEW HAMPSHIRE" PREPARED BY MCKENNEY SURVEY ASSOCIATES, INC. DATED DECEMBER 8, 1992.



NOTES:

1. OWNER OF RECORD:
BARRINGTON SHORES, LLC
S.C.R.D. BOOK 3890 PAGE 938
DATED DECEMBER 20, 2010
2. TOTAL PARCEL AREA:
1,082,130± Square Feet
24.84± Acres
(Area per Plan Reference #1)
3. BASIS OF BEARING IS PER NH GRID AND THE VERTICAL DATUM IS BASED UPON NAVD 1988 OBTAINED BY GPS ON OCTOBER 15, 2019.
4. THE PERIMETER BOUNDARY OF THIS PARCEL IS PER PLAN REFERENCE #1 AND HAS NOT BEEN VERIFIED BY THIS FIRM.
5. THE SUBJECT PARCEL IS IN FLOOD ZONE "X" (Areas Determined to be Outside the 0.2% Annual Chance Floodplain) AS SHOWN ON THE "FIRM, FLOOD INSURANCE RATE MAP, STRAFFORD COUNTY, NEW HAMPSHIRE, PANEL 285 OF 405, MAP NUMBER 33017C0285D" WITH AN EFFECTIVE DATE OF MAY 17, 2005.
6. THE SUBJECT PARCEL IS SERVICED BY THE SWAINS LAKE VILLAGE WATER DISTRICT.

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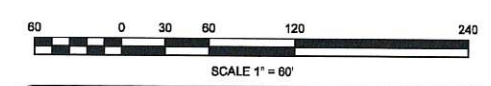
CAMP SITE/CABIN COUNT:

TYPE OF SITE	EXISTING	PROPOSED
W, E, S & C	114	28
W & E (FIELD)	21	
W & E (FIELD)	13	

TYPE OF CABIN	EXISTING	PROPOSED
W, E, S & C	6	
W, E & C	2	

TOTAL SITES/CABINS = 184

W - WATER E - ELECTRIC
S - SEWER C - CABLE



REV	DATE	STATUS

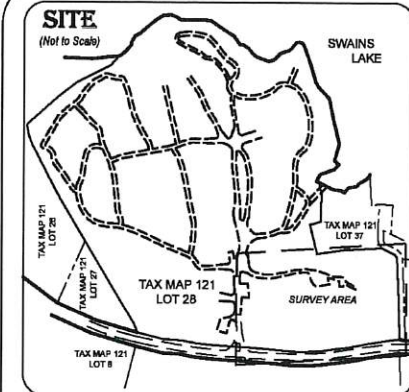
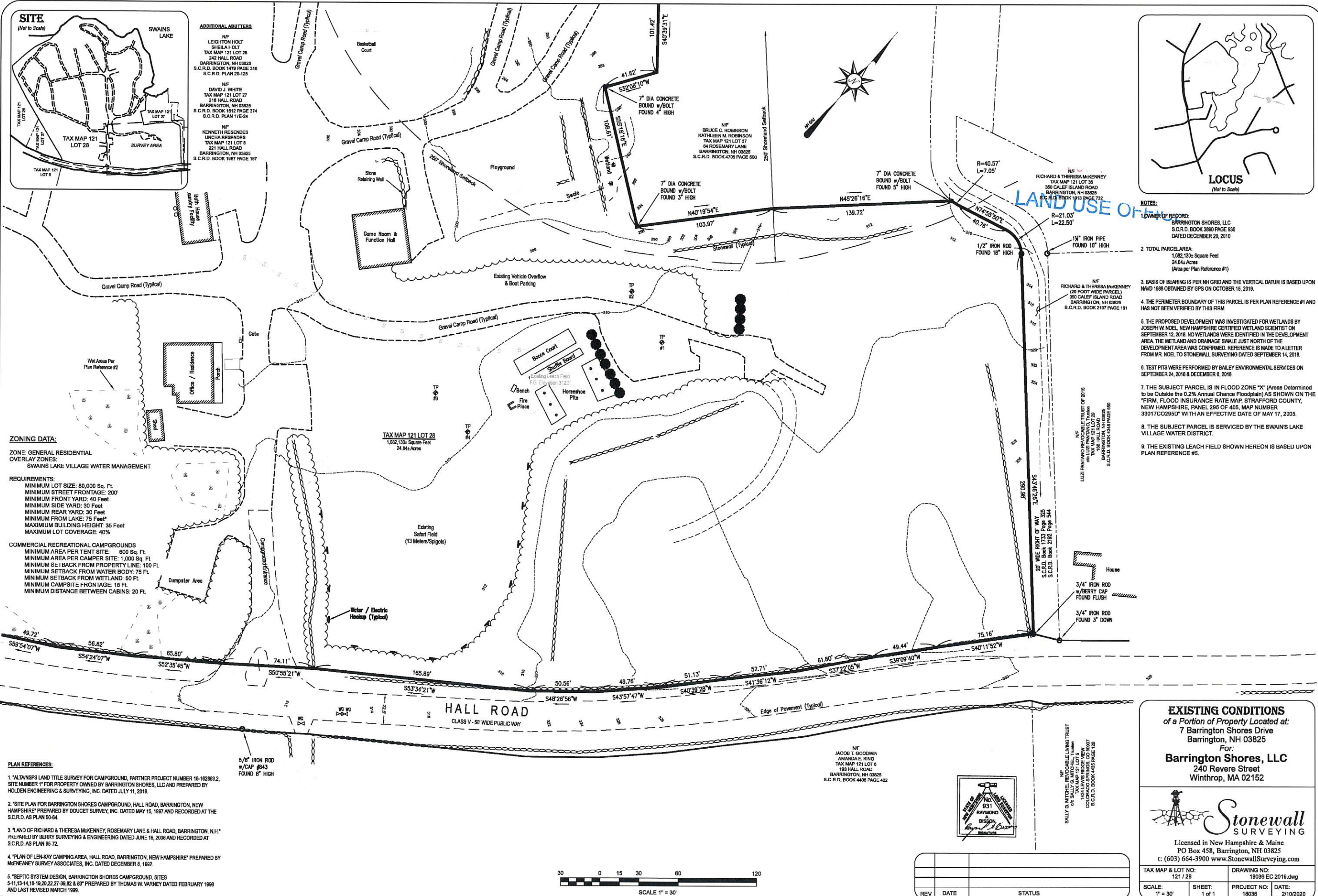
PERIMETER SURVEY PLAN

of Property Located at:
7 Barrington Shores Drive
Barrington, NH 03825
For:
Barrington Shores, LLC
240 Revere Street
Winthrop, MA 02152



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TAX MAP & LOT NO: 121 / 28	DRAWING NO: 18036 Layout 2020.dwg
SCALE: 1" = 60'	SHEET: 1 of 3
PROJECT NO: 18036	DATE: 3/6/2020



ADDITIONAL ABUTTERS

NF
LEIGHTON HOLT
SHEILA HOLT
TAX MAP 121 LOT 26
242 HALL ROAD
BARRINGTON, NH 03825
S.C.R.D. BOOK 1479 PAGE 318
S.C.R.D. PLAN 20-125

NF
DAVID J. WHITE
TAX MAP 121 LOT 27
216 HALL ROAD
BARRINGTON, NH 03825
S.C.R.D. BOOK 1612 PAGE 374
S.C.R.D. PLAN 175-24

NF
KENNETH RESENDES
LINDA RESENDES
TAX MAP 121 LOT 8
221 HALL ROAD
BARRINGTON, NH 03825
S.C.R.D. BOOK 1987 PAGE 197

ZONING DATA:

ZONE: GENERAL RESIDENTIAL OVERLAY ZONES:
SWAINS LAKE VILLAGE WATER MANAGEMENT

REQUIREMENTS:

MINIMUM LOT SIZE: 80,000 Sq. Ft.
MINIMUM STREET FRONTAGE: 200'
MINIMUM FRONT YARD: 40 Feet
MINIMUM SIDE YARD: 30 Feet
MINIMUM REAR YARD: 30 Feet
MINIMUM FROM LAKE: 75 Feet*
MAXIMUM BUILDING HEIGHT: 35 Feet
MAXIMUM LOT COVERAGE: 40%

COMMERCIAL RECREATIONAL CAMPGROUNDS

MINIMUM AREA PER TENT SITE: 800 Sq. Ft.
MINIMUM AREA PER CAMPER SITE: 1,000 Sq. Ft.
MINIMUM SETBACK FROM PROPERTY LINE: 100 Ft.
MINIMUM SETBACK FROM WATER BODY: 75 Ft.
MINIMUM SETBACK FROM WETLAND: 50 Ft.
MINIMUM CAMPSITE FRONTAGE: 15 Ft.
MINIMUM DISTANCE BETWEEN CABINS: 20 Ft.

PLAN REFERENCES:

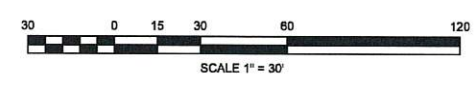
1. "ALTAIR'S LAND TITLE SURVEY FOR CAMPGROUND, PARTNER PROJECT NUMBER 18-162893.2, SITE NUMBER 1" FOR PROPERTY OWNED BY BARRINGTON SHORES, LLC AND PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. DATED JULY 11, 2016.

2. "SITE PLAN FOR BARRINGTON SHORES CAMPGROUND, HALL ROAD, BARRINGTON, NEW HAMPSHIRE" PREPARED BY DOUCET SURVEY, INC. DATED MAY 15, 1997 AND RECORDED AT THE S.C.R.D. AS PLAN 50-84.

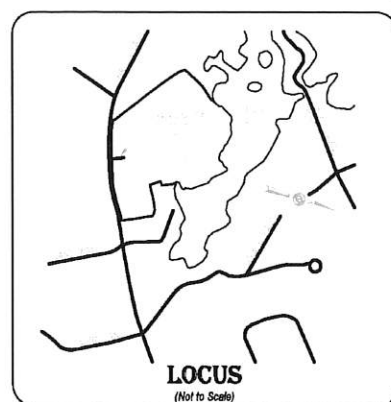
3. "LAND OF RICHARD & THERESA MCKENNEY, ROSEMARY LANE & HALL ROAD, BARRINGTON, NH" PREPARED BY BERRY SURVEYING & ENGINEERING DATED JUNE 16, 2008 AND RECORDED AT S.C.R.D. AS PLAN 65-72.

4. "PLAN OF LEN-KAY CAMPING AREA, HALL ROAD, BARRINGTON, NEW HAMPSHIRE" PREPARED BY McENEANEY SURVEY ASSOCIATES, INC. DATED DECEMBER 8, 1992.

5. "SEPTIC SYSTEM DESIGN, BARRINGTON SHORES CAMPGROUND, SITES 5-11, 13-14, 15-19, 20, 22, 27-30, 32 & 33" PREPARED BY THOMAS W. WARNEY DATED FEBRUARY 1998 AND LAST REVISED MARCH 1999.



REV	DATE	STATUS



- NOTES:**
- OWNER OF RECORD: BARRINGTON SHORES, LLC
S.C.R.D. BOOK 3860 PAGE 636
DATED DECEMBER 20, 2010
 - TOTAL PARCEL AREA:
1,082,130+ Square Feet
24.84+ Acres
(Area per Plan Reference #1)
 - BASIS OF BEARING IS PER NH GRID AND THE VERTICAL DATUM IS BASED UPON NAVD 1988 OBTAINED BY GPS ON OCTOBER 15, 2018.
 - THE PERIMETER BOUNDARY OF THIS PARCEL IS PER PLAN REFERENCE #1 AND HAS NOT BEEN VERIFIED BY THIS FIRM.
 - THE PROPOSED DEVELOPMENT WAS INVESTIGATED FOR WETLANDS BY JOSEPH W. NOEL, NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST ON SEPTEMBER 12, 2018. NO WETLANDS WERE IDENTIFIED IN THE DEVELOPMENT AREA. THE WETLAND AND DRAINAGE SWALE JUST NORTH OF THE DEVELOPMENT AREA WAS CONFIRMED. REFERENCE IS MADE TO A LETTER FROM MR. NOEL TO STONEWALL SURVEYING DATED SEPTEMBER 14, 2018.
 - TEST PITS WERE PERFORMED BY BAILEY ENVIRONMENTAL SERVICES ON SEPTEMBER 24, 2018 & DECEMBER 6, 2018.
 - THE SUBJECT PARCEL IS IN FLOOD ZONE "X" (Areas Determined to be Outside the 0.2% Annual Chance Floodplain) AS SHOWN ON THE "FIRM, FLOOD INSURANCE RATE MAP, STRAFFORD COUNTY, NEW HAMPSHIRE, PANEL 295 OF 405, MAP NUMBER 33017C0295D" WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - THE SUBJECT PARCEL IS SERVICED BY THE SWAINS LAKE VILLAGE WATER DISTRICT.
 - THE EXISTING LEACH FIELD SHOWN HEREON IS BASED UPON PLAN REFERENCE #5.

EXISTING CONDITIONS
of a Portion of Property Located at:
7 Barrington Shores Drive
Barrington, NH 03825
For:
Barrington Shores, LLC
240 Revere Street
Winthrop, MA 02152

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t: (603) 664-3900 www.StonewallSurveying.com

TAX MAP & LOT NO: 121 / 28	DRAWING NO: 18036 EC 2018.dwg
SCALE: 1" = 30'	SHEET: 1 of 1
PROJECT NO: 18036	DATE: 2/10/2020



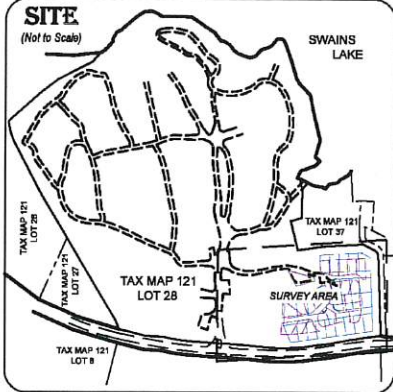
NF
SALLY G. MITCHELL, REVOCABLE LIVING TRUST
50
TAX MAP 121 LOT 28
1424 LEWIS RIDGE VIEW
BARRINGTON, NH 03807
S.C.R.D. BOOK 4406 PAGE 158

NF
JACOB T. GOODWIN
AMANDA E. KING
TAX MAP 121 LOT 6
183 HALL ROAD
BARRINGTON, NH 03825
S.C.R.D. BOOK 4406 PAGE 422

NF
LUIZ PANTANO REVOCABLE TRUST OF 2015
50
TAX MAP 121 LOT 28
188 HALL ROAD
BARRINGTON, NH 03825
S.C.R.D. BOOK 4406 PAGE 60

NF
RICHARD & THERESA MCKENNEY
(20 FOOT WIDE PARCEL)
350 CALEF ISLAND ROAD
BARRINGTON, NH 03825
S.C.R.D. BOOK 2107 PAGE 191

NF
BRUCE C. ROBINSON
KATHLEEN M. ROBINSON
TAX MAP 121 LOT 37
84 ROSEMARY LANE
BARRINGTON, NH 03825
S.C.R.D. BOOK 4705 PAGE 500



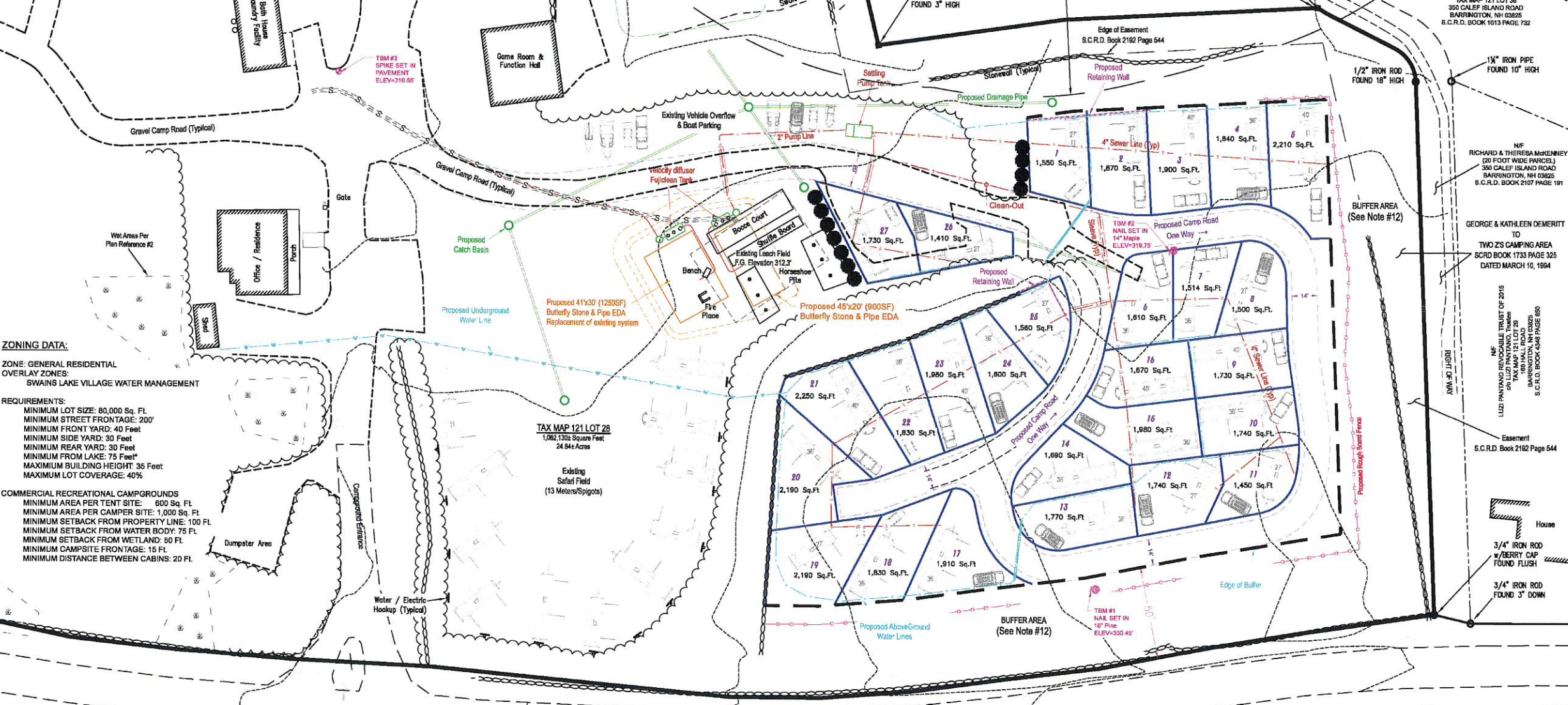
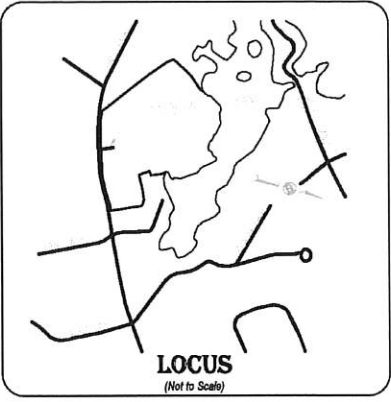
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S.C.R.D. PLAN 20-125

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S.C.R.D. BOOK 1812 PAGE 374
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N/F KENNETH RESENDES
LINDA RESENDES
TAX MAP 121 LOT 8
221 HALL ROAD
BARRINGTON, NH 03825
S.C.R.D. BOOK 1967 PAGE 187

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OCT 13
LAND USE OFFICE



ZONING DATA:

ZONE: GENERAL RESIDENTIAL
OVERLAY ZONES:
SWAINS LAKE VILLAGE WATER MANAGEMENT

REQUIREMENTS:

MINIMUM LOT SIZE: 80,000 Sq. Ft.
MINIMUM STREET FRONTAGE: 200'
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MINIMUM REAR YARD: 30 Feet
MINIMUM FROM LAKE: 75 Feet
MAXIMUM BUILDING HEIGHT: 35 Feet
MAXIMUM LOT COVERAGE: 40%

COMMERCIAL RECREATIONAL CAMPGROUNDS

MINIMUM AREA PER TENT SITE: 800 Sq. Ft.
MINIMUM AREA PER CAMPER SITE: 1,000 Sq. Ft.
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MINIMUM SETBACK FROM WETLAND: 50 Ft.
MINIMUM CAMP SITE FRONTAGE: 15 Ft.
MINIMUM DISTANCE BETWEEN CABINS: 20 Ft.

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 - TEST PITS WERE PERFORMED BY BAILEY ENVIRONMENTAL SERVICES ON SEPTEMBER 24, 2018 & DECEMBER 8, 2018.
 - THE SUBJECT PARCEL IS IN FLOOD ZONE "X" (Areas Determined to be Outside the 0.2% Annual Chance Floodplain) AS SHOWN ON THE "FIRM, FLOOD INSURANCE RATE MAP, STRAFFORD COUNTY, NEW HAMPSHIRE, PANEL 295 OF 405, MAP NUMBER 33017C0295D" WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - THE SUBJECT PARCEL IS SERVICED BY THE SWAINS LAKE VILLAGE WATER DISTRICT.
 - A ZONING VARIANCE WOULD BE REQUIRED FROM THE BARRINGTON SITE REVIEW REGULATIONS, ARTICLE 8 - COMMERCIAL RECREATIONAL CAMPGROUNDS AND CAMPING PARKS, SECTION 6.2.3(2).
 - THE EXISTING LEACH FIELD SHOWN HEREON IS BASED UPON PLAN REFERENCE #6.
 - THE PROPOSED SITES ARE FOR GENERAL LAYOUT OF NUMBER OF SITES. ACTUAL SITE LOCATIONS WILL BE DESIGNED AROUND TOPOGRAPHY, TOPOGRAPHIC FEATURES AND EXISTING VEGETATION TO LIMIT ENVIRONMENTAL DISTURBANCE AS MUCH AS POSSIBLE.
 - THE BUFFER AREA IS TO BE ENHANCED PER RECOMMENDATIONS FROM THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION SERVICE. SEE LETTER FROM ANDY FAST, STRAFFORD COUNTY FORESTER DATED MARCH 19, 2019.
 - TREE CLEARING WILL BE PERFORMED UNDER THE RECOMMENDATIONS FROM URBAN TREE SERVICE. SEE LETTER FROM EDWARD ROY, CERTIFIED ARBORIST AND TREE RISK ASSESSMENT QUALIFIED ARBORIST DATED JULY 19, 2019.
 - THE PROPOSED SEWER LINES ARE APPROXIMATE LOCATIONS. EXACT LOCATIONS OF SEWER LINES & SEWER CONNECTIONS WILL BE INSTALLED BASED UPON TERRAIN AND FINISHED SITE LOCATIONS.
 - THE PROPOSED WATER LINES ARE APPROXIMATE LOCATIONS. EXACT LOCATIONS OF WATER LINES & CONNECTIONS WILL BE INSTALLED BASED UPON TERRAIN AND FINISHED SITE LOCATIONS.
 - PROPOSED ELECTRICITY AND CABLE WILL FOLLOW THE GENERAL ROUTE OF THE PROPOSED WATER, EXCEPT ALL ELECTRICAL WORK WILL BE BURIED UP TO EACH METER.

- PLAN REFERENCES:**
- "ALTRANS LAND TITLE SURVEY FOR CAMPGROUND, PARTNER PROJECT NUMBER 18-162883.2, SITE NUMBER 1" FOR PROPERTY OWNED BY BARRINGTON SHORES, LLC AND PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. DATED JULY 11, 2016.
 - "SITE PLAN FOR BARRINGTON SHORES CAMPGROUND, HALL ROAD, BARRINGTON, NEW HAMPSHIRE" PREPARED BY DOUCET SURVEY, INC. DATED MAY 15, 1997 AND RECORDED AT THE S.C.R.D. AS PLAN 60-64.
 - "LAND OF RICHARD & THERESA MCKENNEY, ROSEMARY LANE & HALL ROAD, BARRINGTON, N.H." PREPARED BY BERRY SURVEYING & ENGINEERING DATED JUNE 16, 2006 AND RECORDED AT S.C.R.D. AS PLAN 95-72.
 - "PLAN OF LEN-KAY CAMPING AREA, HALL ROAD, BARRINGTON, NEW HAMPSHIRE" PREPARED BY MGENEANEY SURVEY ASSOCIATES, INC. DATED DECEMBER 8, 1992.
 - "SEPTIC SYSTEM DESIGN, BARRINGTON SHORES CAMPGROUND, SITES 5-11, 13-14, 15-19, 20, 22, 27, 30, 82 & 83" PREPARED BY THOMAS W. WARNEY DATED FEBRUARY 1998 AND LAST REVISED MARCH 1999.

CAMP SITE/CABIN COUNT:

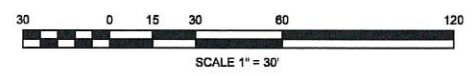
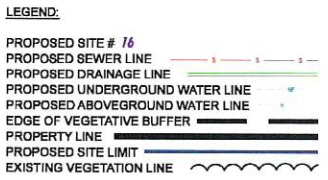
TYPE OF SITE	EXISTING	PROPOSED
W, E & C	114	27
W & C	21	
W & E (FIELD)	13	

TYPE OF CABIN:

TYPE OF CABIN	EXISTING	PROPOSED
W, E & C	8	
W & E & C	2	

TOTAL SITES/CABINS = 183

W - WATER
S - SEWER
E - ELECTRIC
C - CABLE



REV	DATE	STATUS
A	5/31/2020	REMOVED SITE #28 AND ADDED EDGE OF EASEMENT

CAMPSITE LAYOUT PLAN
of a Portion of Property Located at:
7 Barrington Shores Drive
Barrington, NH 03825
For:
Barrington Shores, LLC
240 Revere Street
Winthrop, MA 02152

Stonewall SURVEYING
Licensed in New Hampshire & Maine
PO Box 458, Barrington, NH 03825
t: (603) 664-3900 www.StonewallSurveying.com

TAX MAP & LOT NO.	DRAWING NO.
121 / 28	18036 Layout 2020.dwg

SCALE: 1" = 30' SHEET: 3 of 3 PROJECT NO: 18036 DATE: 5/27/2020

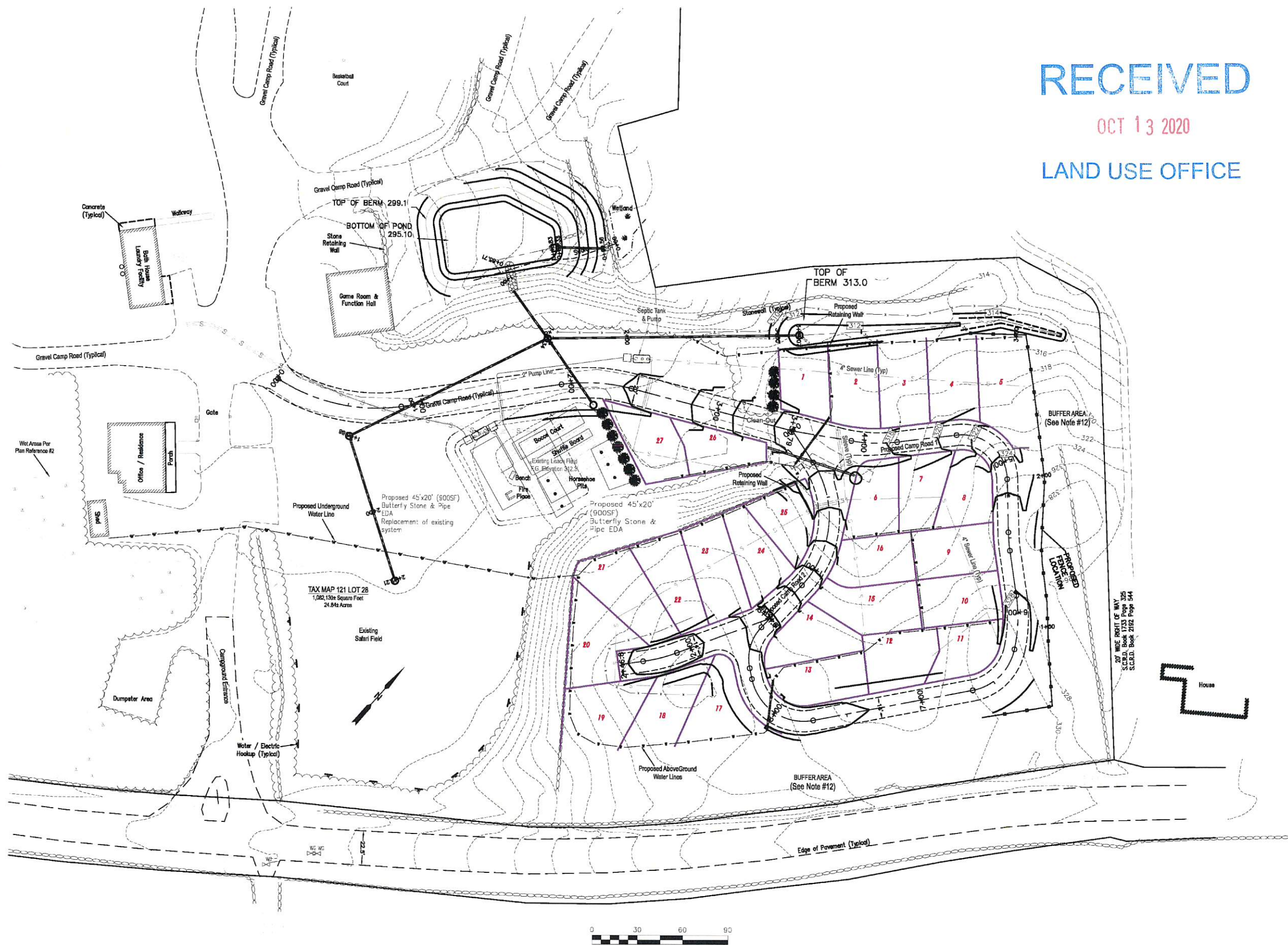


Tom R. Farwell

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ISSUED FOR: APPROVAL

ISSUE DATE: MARCH 6, 2020

FILE NAME: 1958-BARRINGTON SHORES

NO.	DATE	DESCRIPTION	TKF	BY
2	10/7/20	PB COMMENTS	TKF	
1	6/2/20	PB COMMENTS	TKF	

SCALE: 1" = 30'

OWNER/APPLICANT:
BARRINGTON SHORES, LLC
240 REVERE STREET
WINTHROP, MA 02162

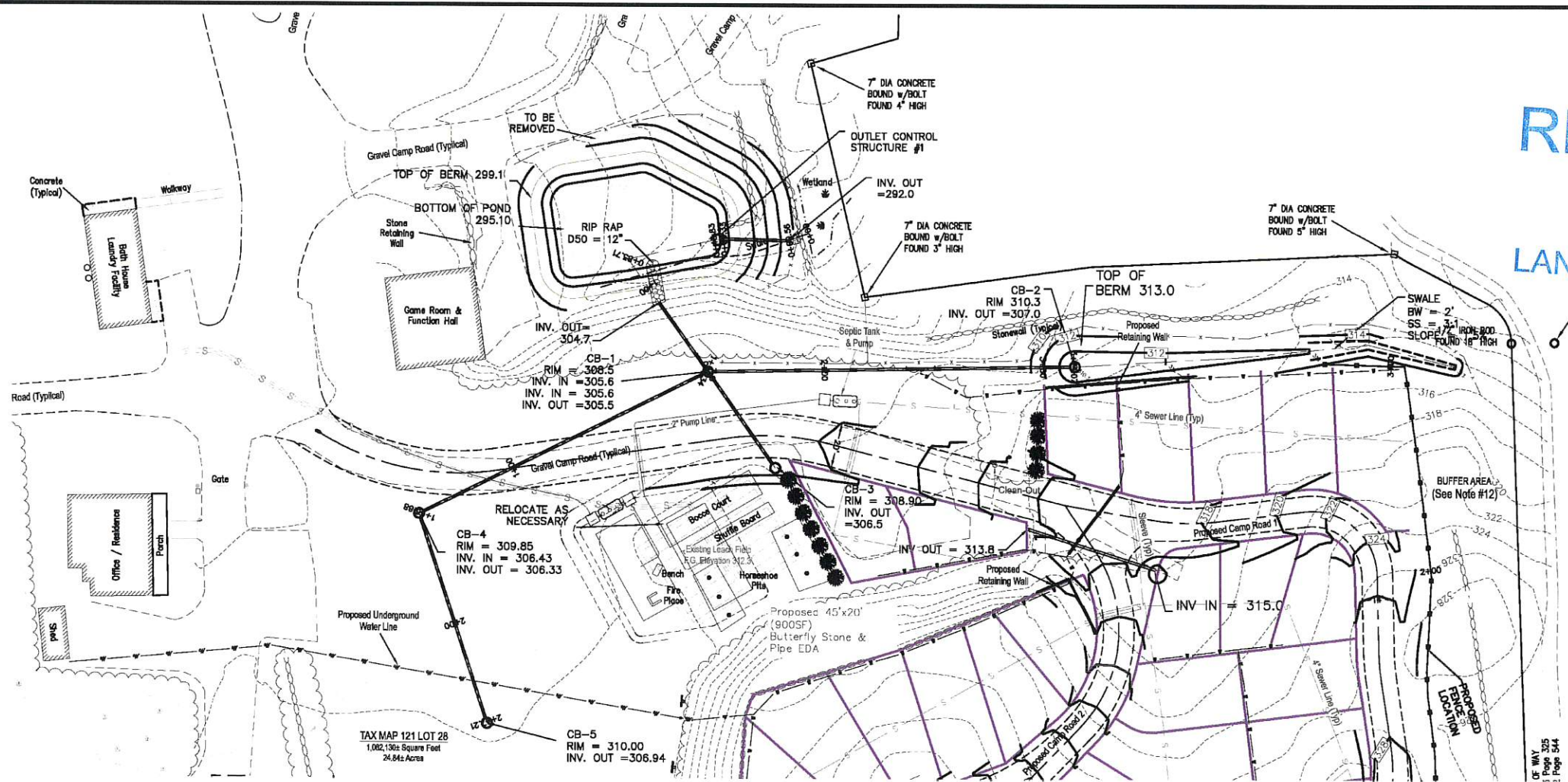
PROJECT:
TAX MAP/LOT 121/28
7 BARRINGTON SHORE DRIVE
BARRINGTON, NH

TITLE:
GRADING PLAN

SHEET NUMBER:
C-2



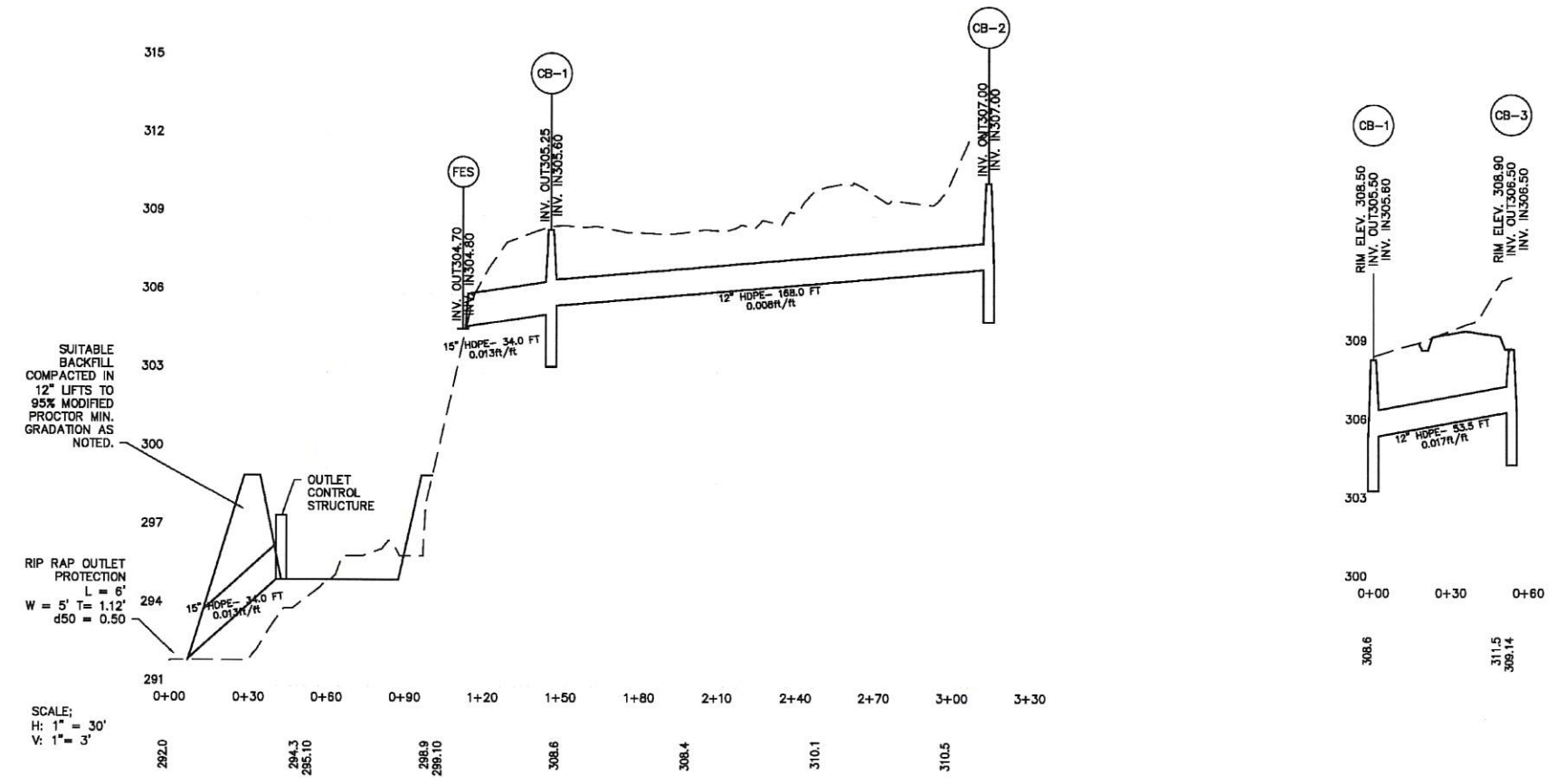
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BERM GRADATION TABLE

SIEVE SIZE	% PASSING
2 inches	100
NO. 4	30-80
NO. 200	15-30

THE FINE MATERIAL FRACTION TO CONTAIN CLAY, SILT SHALL NOT BE ACCEPTABLE



ISSUED FOR: APPROVAL
 ISSUE DATE: MARCH 6, 2020
 FILE NAME: 1958-BARRINGTON SHORES

NO.	DATE	DESCRIPTION	BY
2	10/7/20	PB COMMENTS	TWF
1	8/2/20	PB COMMENTS	TWF

SCALE: 1" = 30'

OWNER/APPLICANT:
BARRINGTON SHORES, LLC
 240 REVERE STREET
 WINTHROP, MA 02152

PROJECT:
TAX MAP/LOT 121/28
7 BARRINGTON SHORE DRIVE
BARRINGTON, NH

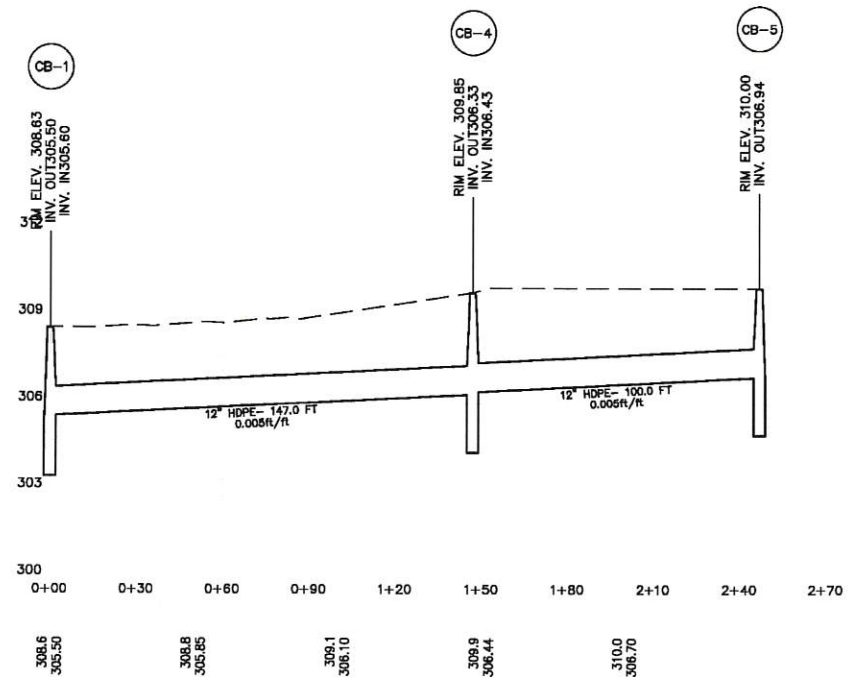
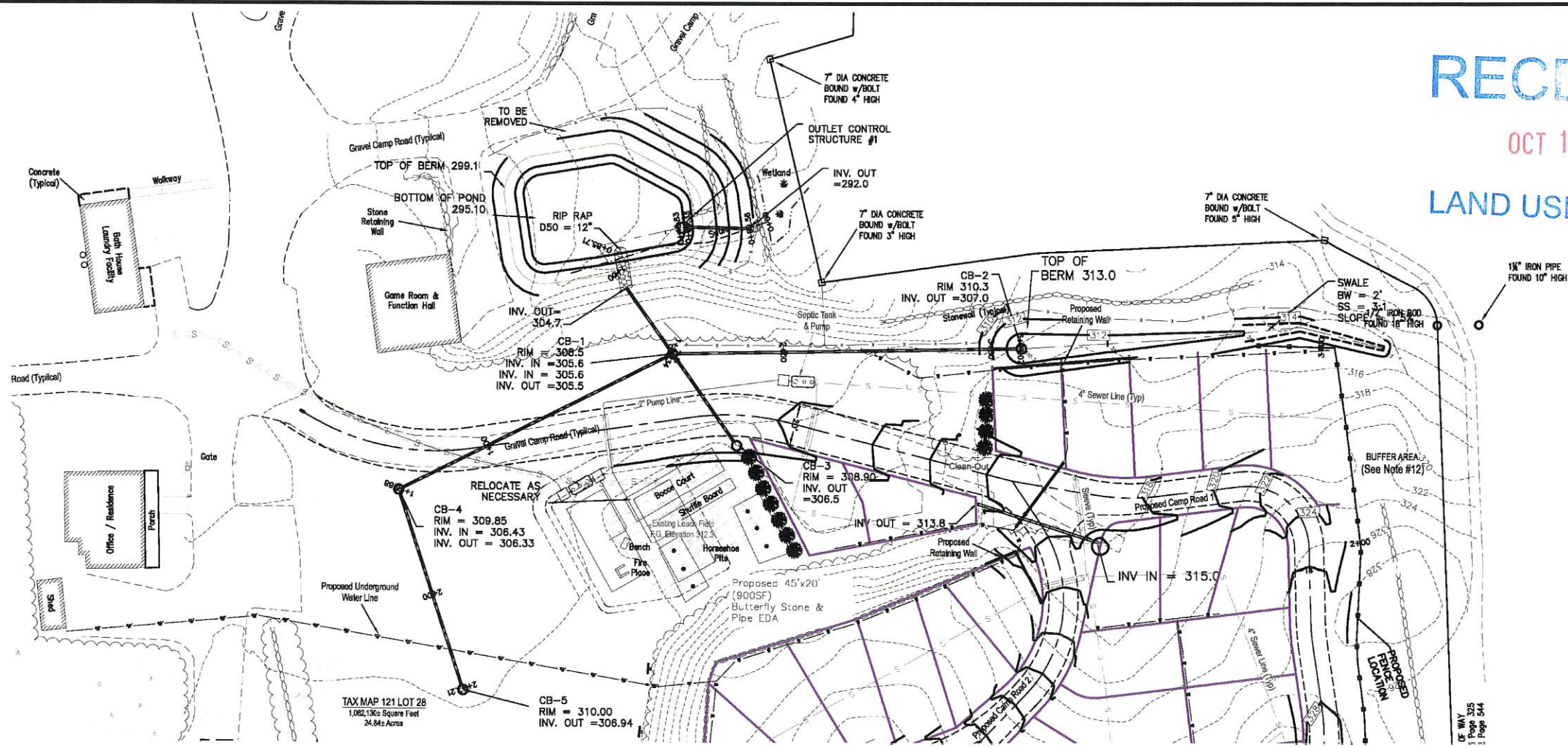
TITLE:
DRAINAGE PROFILE

SHEET NUMBER:
C-3

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FARWELL
 ENGINEERING
 SERVICES, LLC

265 WADLEIGH FALLS ROAD
 LEE, NEW HAMPSHIRE 03861
 PH: 603-292-5787
 WWW.FARWELLENGINEERING.COM



SCALE:
 H: 1" = 30'
 V: 1" = 3'

ISSUED FOR: APPROVAL
 ISSUE DATE: MARCH 6, 2020
 FILE NAME: 1958-BARRINGTON SHORES

NO.	DATE	DESCRIPTION	TKF	BY
2	10/7/20	PB COMMENTS	TKF	
1	6/2/20	PB COMMENTS	TKF	

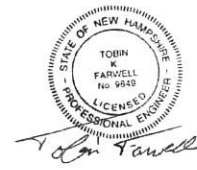
SCALE: 1" = 30'

OWNER/APPLICANT:
 BARRINGTON SHORES, LLC
 240 REVERE STREET
 WINTHROP, MA 02152

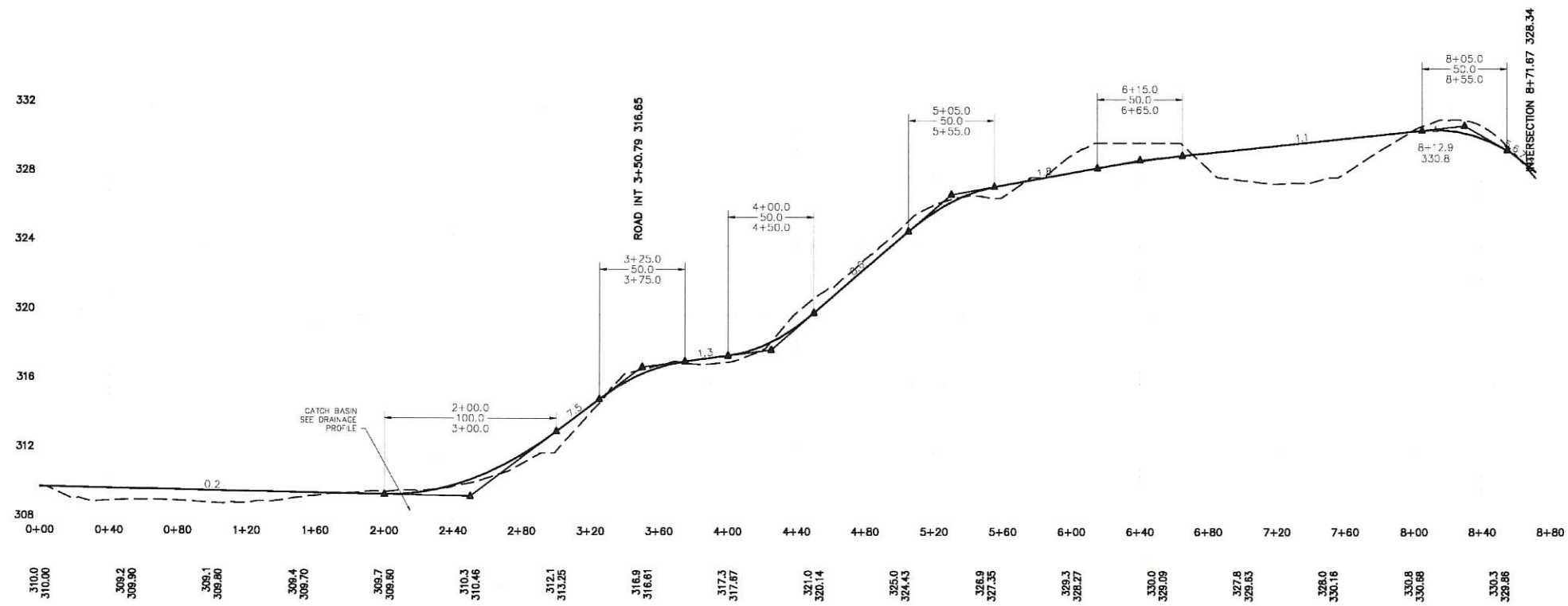
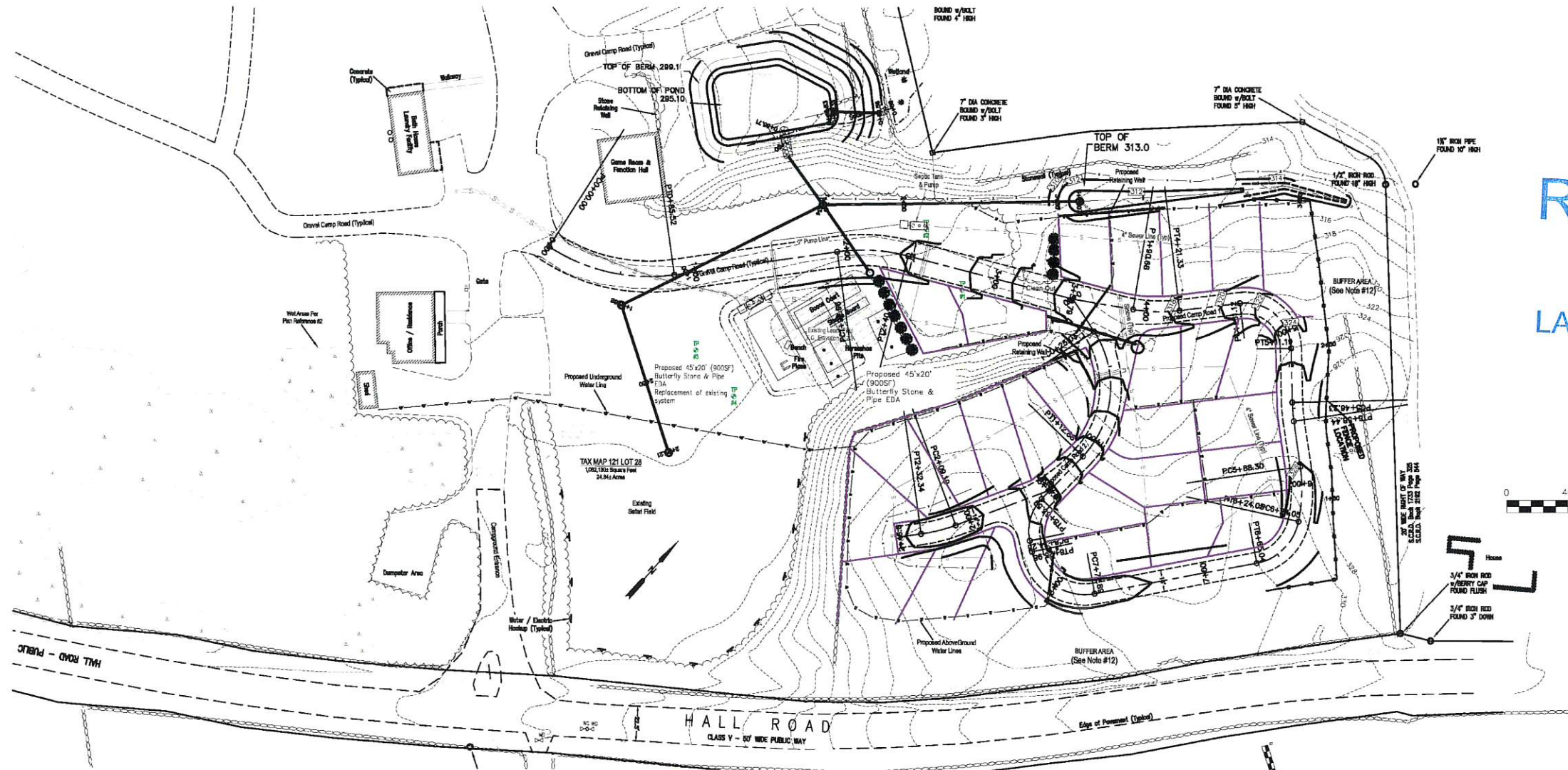
PROJECT:
 TAX MAP/LOT 121/28
 7 BARRINGTON SHORE DRIVE
 BARRINGTON, NH

TITLE:
 DRAINAGE PROFILE

SHEET NUMBER:
 C-4



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ISSUE DATE: MARCH 6, 2020
FILE NAME: 1958-BARRINGTON SHORES

NO.	DATE	DESCRIPTION	BY
2	10/7/20	PB COMMENTS	TKF
1	6/2/20	PB COMMENTS	TKF
	NCL	DATE	

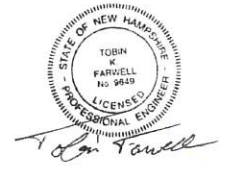
SCALE: 1" = 40'

OWNER/APPLICANT:
BARRINGTON SHORES, LLC
240 REVERE STREET
WINTHROP, MA 02152

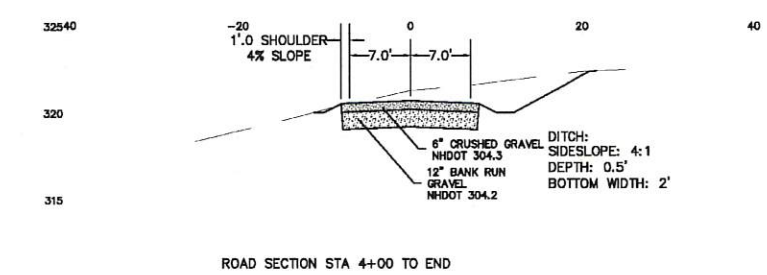
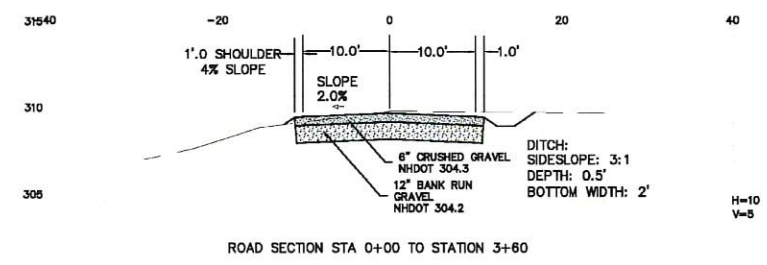
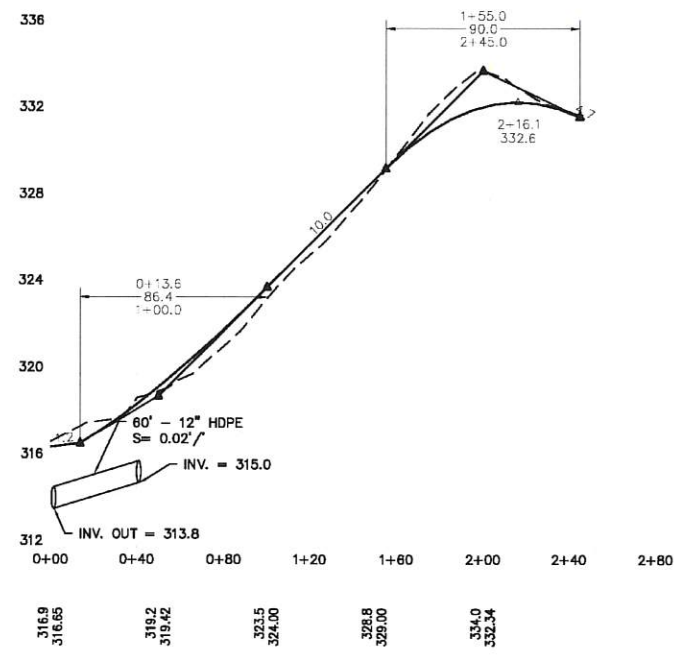
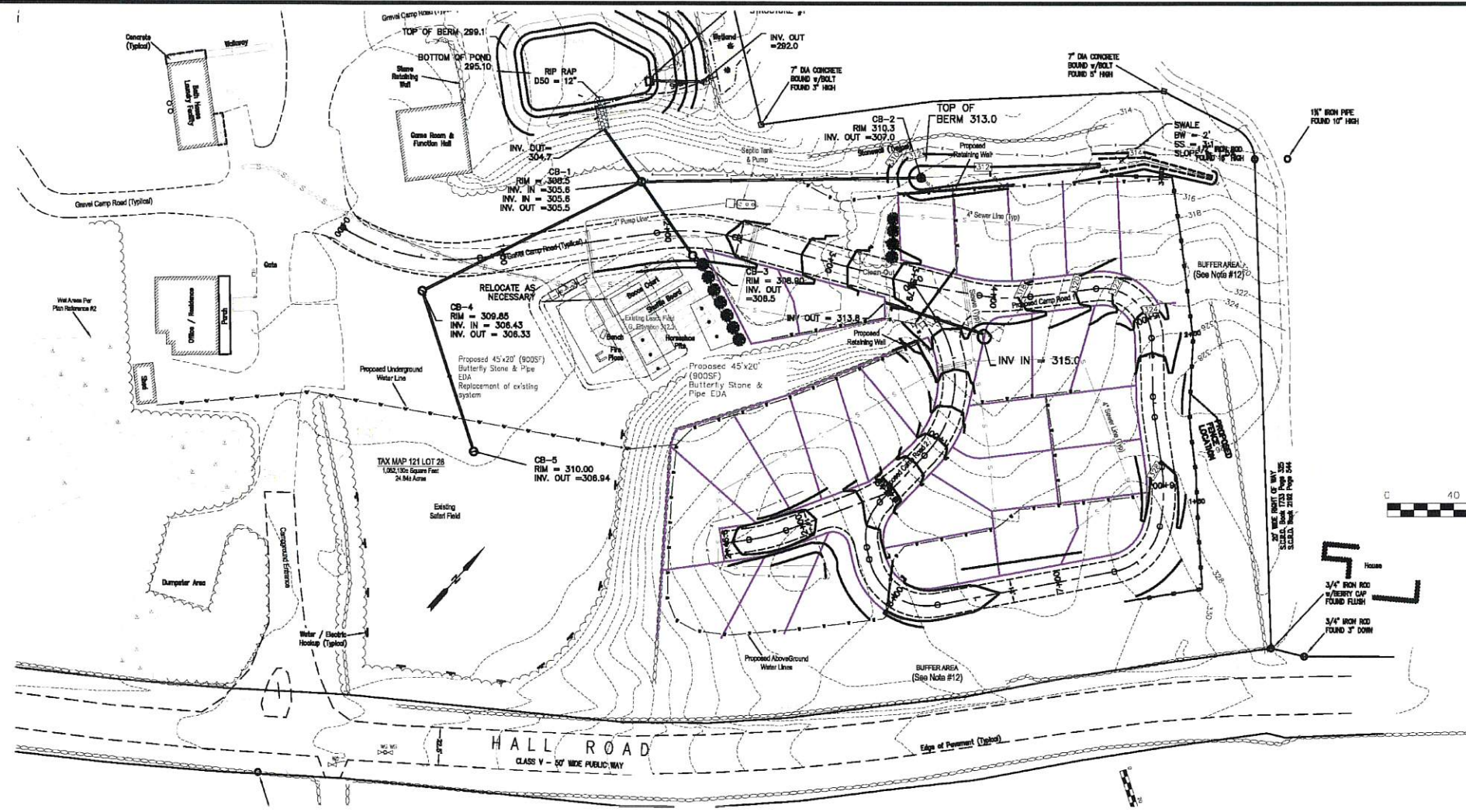
PROJECT:
TAX MAP/LOT 121/28
7 BARRINGTON SHORE DRIVE
BARRINGTON, NH

TITLE:
PLAN AND PROFILE

SHEET NUMBER:
PP-1



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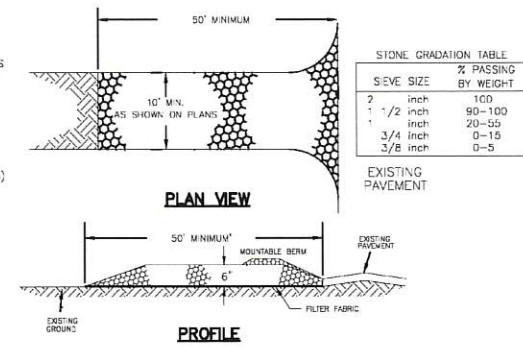


ISSUED FOR: APPROVAL
ISSUE DATE: MARCH 6, 2020
FILE NAME: 1958-BARRINGTON SHORES

NO.	DATE	DESCRIPTION	BY
2	10/7/20	PB COMMENTS	TKF
1	6/2/20	PB COMMENTS	TKF

SCALE: 1" = 40'
OWNER/APPLICANT: BARRINGTON SHORES, LLC
240 REVERE STREET
WINTHROP, MA 02162
PROJECT: TAX MAP/LOT 121/28
7 BARRINGTON SHORE DRIVE
BARRINGTON, NH

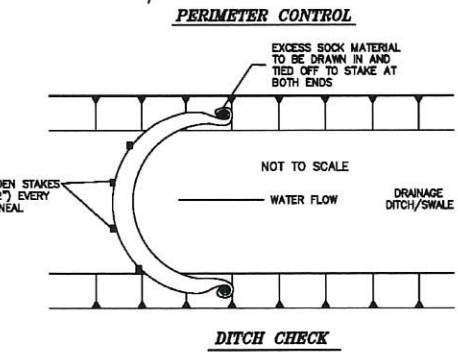
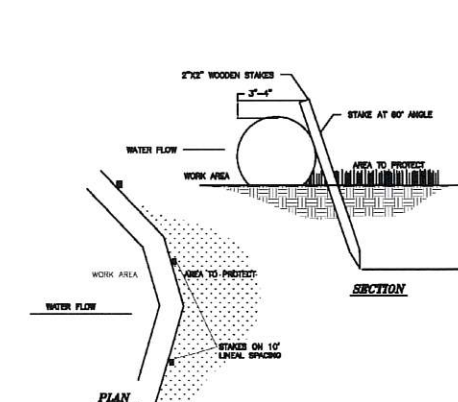
TITLE: PLAN AND PROFILE
SHEET NUMBER: PP-2



CONSTRUCTION SPECIFICATIONS

- STONE SIZE** - NHDOT STANDARD STONE SIZE #4 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS. (SEE GRADATION TABLE)
- LENGTH** - DETAILED ON PLANS (50 FOOT MINIMUM).
- THICKNESS** - SIX (6) INCHES (MINIMUM).
- WIDTH** - FULL DRIVE WIDTH (10 FOOT MINIMUM).
- FILTER FABRIC** - MIRAF 500X OR APPROVED EQUAL.
- SURFACE WATER CONTROL** - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- MAINTENANCE** - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS** SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION ENTRANCE



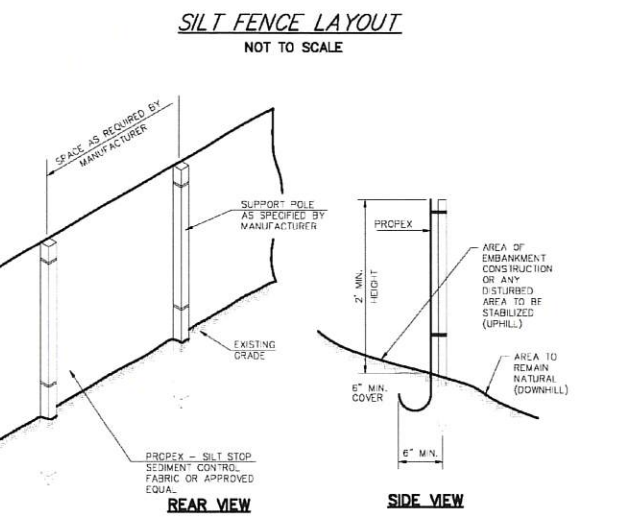
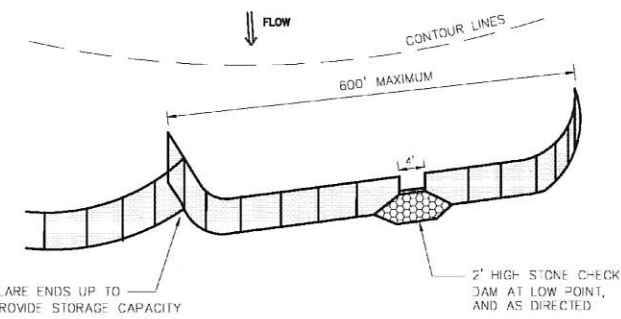
NOTE: FOLLOW MANUFACTURER'S SPECIFICATION
Modified from Fibrex Standard Specification and Design Manual, Version 5.0, 2008

SILT SOCK DETAIL
NOT TO SCALE

3. MAINTENANCE
- SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPONDING OF LARGE VOLUMES OF WATER, THE SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
 - SHOULD THE FABRIC ON A SILT FENCE FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR HAY BALE BARRIER IS NO LONGER REQUIRED SHALL BE REMOVED. THE AREA SHALL BE PREPARED AND SLODED.
 - ADDITIONAL STONE MAY HAVE TO BE ADDED TO THE CONSTRUCTION ENTRANCE, ROCK BARRIER, STONE LINED SWALES, ETC., PERIODICALLY TO MAINTAIN PROPER FUNCTION OF THE EROSION CONTROL STRUCTURE.
- E. PERMANENT SEEDING:**
- SEEDING** - STONES LARGER THAN 1", TRASH, ROOTS, AND OTHER DEBRIS THAT WILL INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA SHOULD BE REMOVED. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF 4" TO PREPARE A SEEDBED AND MIX FERTILIZER INTO THE SOIL.
 - FERTILIZER** - LIME AND FERTILIZER SHOULD BE APPLIED EVENLY OVER THE AREA PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED: AGRICULTURAL LIMESTONE @ 100 LBS. PER 1,000 S.F., 10-20-20 FERTILIZER @ 12 LBS. PER 1,000 S.F. SEED MIXTURE (RECOMMENDED):

Name	Proportion by Weight	% Germination
Boron Bluegrass	20%	80
Kentucky Bluegrass	20%	80
Creeeping Red Fescue	35%	85
Champion Perennial Ryegrass	25%	90

- GRASS SEED**: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY AS SPECIFIED.
- SODDING** - SODDING IS DONE WHERE IT IS DESIRABLE TO RAPIDLY ESTABLISH COVER ON A DISTURBED AREA. SODDING AN AREA MAY BE SUBSTITUTED FOR PERMANENT SEEDING PROCEDURES ANYWHERE ON SITE. SOIL PREPARATION, FERTILIZING, AND PLACEMENT OF SOIL SHALL BE PERFORMED ACCORDING TO THE S.C.S. HANDBOOK. SODDING IS RECOMMENDED FOR STEEP SLOPED AREAS, AREAS IMMEDIATELY ADJACENT TO A SENSITIVE WATER COURSE, EASILY ERODIBLE SOILS (FINE SAND/SILT) ETC.



SILT FENCE PROPERTIES

PHYSICAL PROPERTY	TEST	REQUIREMENTS
GRAB TENSILE	ASTM-D-4632	95/80 LB
PUNCTURE	ASTM-D-4833	45 LB
FLOW RATE	ASTM-D-4491	5 GAL./MIN./SF
UV RESISTANCE	ASTM D-4751	80%
GRAB ELONGATION	ASTM D-4632	20/25%

- * Requirements reduced by 50 percent after six (6) months of installation.
- SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF SIX (6) MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES F TO 120° F.
- POSTS SHALL BE SPACED A MAXIMUM OF TEN (10) FEET APART AT THE BARRIER LOCATION OR AS RECOMMENDED BY THE MANUFACTURER AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES).
 - A TRENCH SHALL BE EXCAVATED APPROXIMATELY SIX (6) INCHES WIDE AND SIX (6) INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE (1) INCH LONG, THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND NO MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACES.
 - THE "STANDARD STRENGTH" FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND SIX (6) INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
 - WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM (G) APPLYING.
 - THE TRENCH SHALL BE BACK-FILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 - SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
2. SEQUENCE OF INSTALLATION
- SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE UPSLOPE OF THEM.

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PROJECT NAME AND LOCATION

BARRINGTON SHORES
7 BARRINGTON SHORE DRIVE
BARRINGTON, NH
LATITUDE: 043° 11' 06" N
LONGITUDE: 071° 1' 37" W

DESCRIPTION

EXPANSION OF SEASONAL RENTAL AREAS - DRAINAGE IMPROVEMENTS - NEW SEPTIC SYSTEM & WATER SYSTEM EXPANSION.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 83,000 sq± (1.9 AC±)

SEQUENCE OF MAJOR ACTIVITIES

- PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS
- GRUB SITE AND HAIL STAMPS OFF SITE.
- ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL ROADWAY SHALL BE STABILIZED WITH 72 HRS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOADED WITHIN 72 HRS OF ACHIEVING FINISHED GRADE.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.

NAME OF RECEIVING WATERS

SWAINS LAKE

TEMPORARY EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE SILT FENCES/SILT SOCK SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY EIGHT (28) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN TWENTY-ONE (21) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY IS COMPLETED IN AN AREA, SILT FENCES/SILT SOCK, BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES/SILT SOCK.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

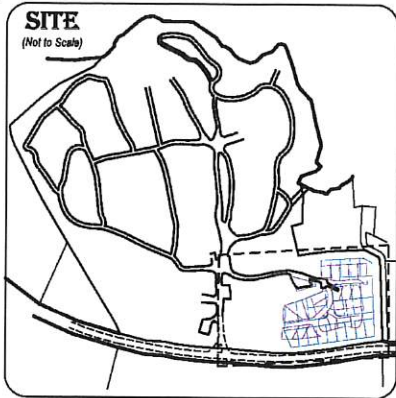
THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

- THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME.
- ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
- ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE OR HAY BALE BARRIERS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE OR BALE, OR WHEN "BULGES" OCCUR.
- ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
- THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILING OUT THE INSPECTION AND MAINTENANCE REPORT.
- THE OWNER'S AUTHORIZED ENGINEER SHALL INSPECT THE SITE ON A PERIODIC BASIS TO ASSURE COMPLIANCE WITH THE PLANS.

B. MULCHING

- TIMING**
MULCHING - MULCH SHOULD BE USED ON HIGHLY ERODIBLE SOILS, ON CRITICALLY ERODING AREAS, ON AREAS WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT, AND WHERE SOWN ON THE PLANS. IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

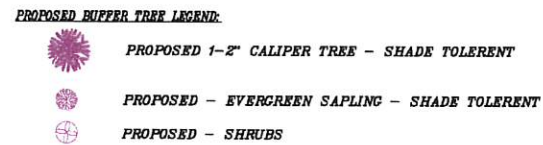
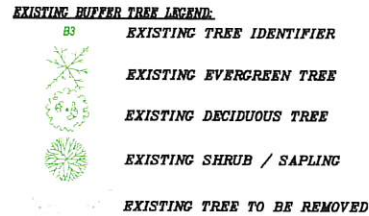
- APPLY MULCH PRIOR TO ANY STORM EVENT. THIS IS APPLICABLE WHEN WORKING WITHIN 100 FEET OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE IN CONCORD, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.
 - REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD. THE TIME PERIOD CAN RANGE FROM 21 TO 28 DAYS OF INACTIVITY ON A AREA, THE LENGTH OF TIME VARYING ACCORDING TO SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTIONS OF SITE CONDITIONS (SOIL, ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.
- GUIDELINES FOR WINTER STABILIZATION**
 - ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHOR NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
 - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.



EXISTING BUFFER VEGETATION

B1 16" Pine	B26 20" Pine	B49 12" Oak
B2 9" Pine	B27 2 1/2" & 2" Maple	B50 1" Beech
B3 9" Pine	B27b 2" Maple	B51 4" Cherry
B4 2" 1 1/2" & 1" hardwood	B28 Beech sapling	B52 1" Beech
B5 8" Oak	B29 Maple sapling	B53 3" Beech
B6 9" Maple	B30 2", 3", 4" & 6" Maple	B54 2" Beech
B7 15" Pine	B31 Beech sapling	B55 2" Beech
B8 1 1/4" & 1 1/2" hardwood	B32 1" Beech	B56 9" Maple
B9 hardwood shrub	B33 hardwood clump	B57 9" Oak (#26)
B10 2 1/2" hardwood	B34 2" Beech	B58 2" Oak
B11 hardwood shrub	B35 2" Beech	B59 2" Maple
B12 triple hardwood saplings	B36 17" Pine	B60 6" Beech
B13 1 1/2" Beech	B36b 7" Pine	B61 17" Pine
B14 sapling cluster	B37 2" Beech	B62 6" Pine
B15 2", 2" & 3" Beech	B38 1" Birch	B63 3" Cherry
B16 sapling	B39 3" Birch	B64 2" Cherry
B17 10" Oak	B40 4" Maple	B65 6" Beech (#26)
B18 1 1/2" Beech	B41 2" Cherry	B66 1 1/2" & 2" Beech
B19 8" Ash	B42 6" Oak	B67 15" Pine
B20 sapling	B43 6", 12" & 12" Oak	B68 2" Cherry
B21 6" Ash	B44 1" Maple	B69 6" Pine
B22 sapling cluster	B45 10" Oak	B70 3" Cherry
B23 4" Cherry	B46 3" & 3" Birch	
B24 hardwood clump	B47 3" Birch	
B25 2" Birch	B48 3" Birch	

*#s in Arbolist report

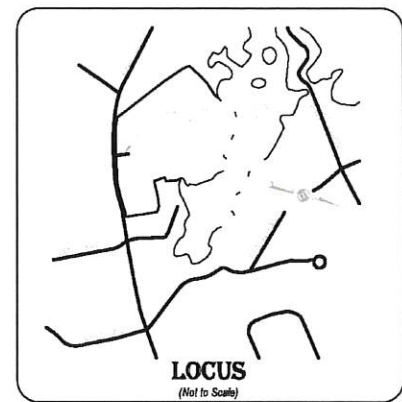
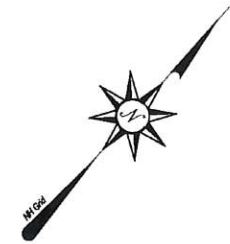


PROPOSED BUFFER TREES:

SHADE TOLERANT:
 Eastern Hemlock
 Balsam Fir
 Allegheny Serviceberry - deciduous
 American Hornbeam - deciduous

Shrubs:
 Gray Dogwood
 Snowberry
 Maple leaf Viburnum

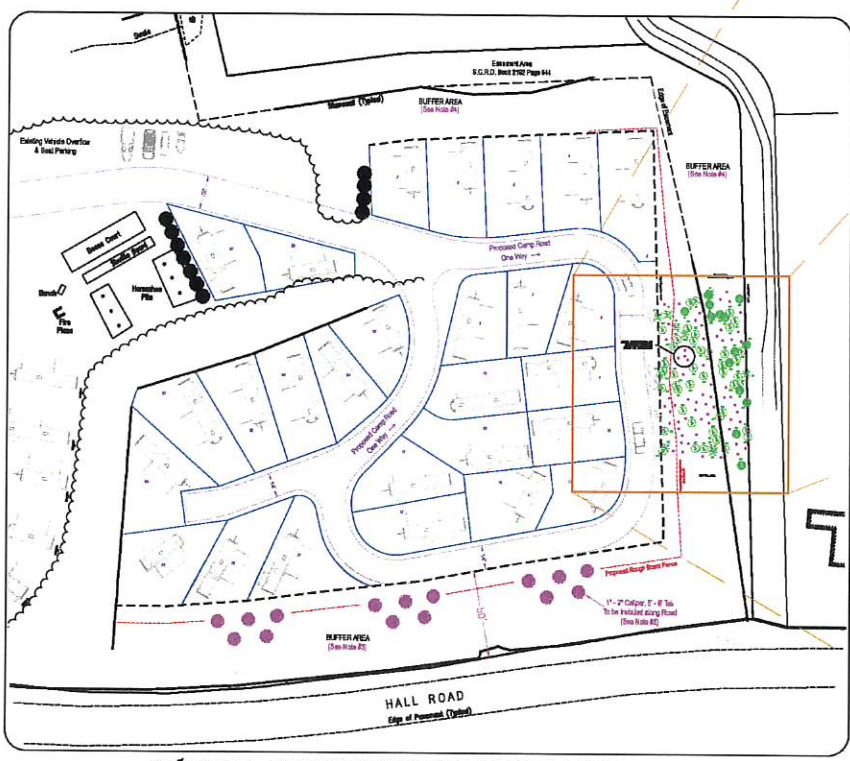
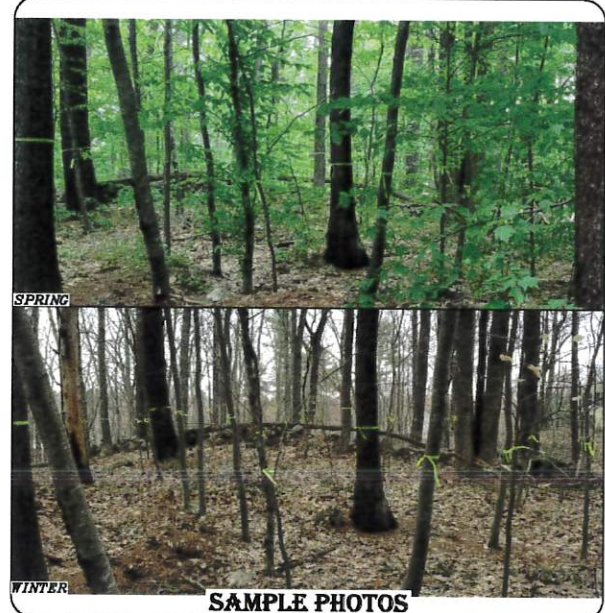
Areas with more sunlight available:-
 Viburnum
 Spiceberry
 Red Maple
 Black Birch
 Chokeberry
 Winterberry - Mistle vites



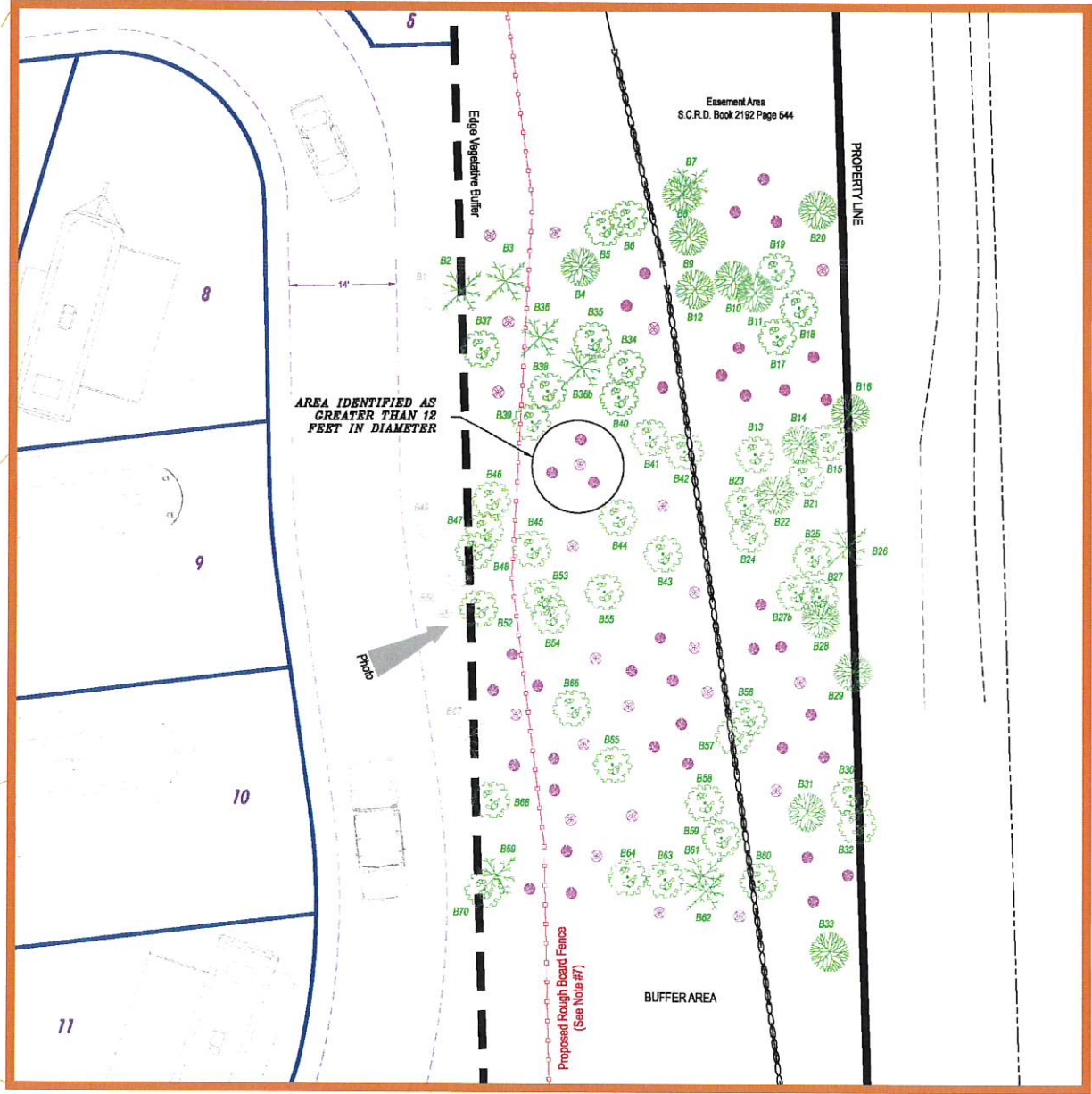
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- NOTES:**
1. THE SAMPLE VEGETATION SECTION IS A 90 FOOT SECTION OF THE PROPOSED BUFFER SHOWING THE EXISTING VEGETATION AROUND THE PROPERTY. THIS IS TYPICAL OF THE VEGETATION AROUND THE ENTIRE BUFFER.
 2. THE BUFFER AREA IS TO BE ENHANCED PER RECOMMENDATIONS FROM THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION SERVICE. SEE LETTER FROM ANDY FAST, STRAFFORD COUNTY FORESTER DATED MARCH 19, 2019.
 3. TREE CLEARING WILL BE PERFORMED UNDER THE RECOMMENDATIONS FROM URBAN TREE SERVICE. SEE LETTER FROM EDWARD ROY, CERTIFIED ARBORIST AND TREE RISK ASSESSMENT QUALIFIED ARBORIST DATED JULY 19, 2019.

- VEGETATED BUFFER NOTES:**
1. THE ENHANCED VEGETATIVE BUFFER AREA IS FIFTY FEET WIDE AND BEGINS AT SITE #1 AND ENDS AT SITE #19 AS SHOWN ON THE BUFFER ENHANCEMENT AREA.
 2. THE INTENT OF THIS PLAN IS TO PROVIDE GUIDANCE FOR PROVIDING A VISUAL BARRIER TO THE CAMPGROUND. THIS IS A MATURE FOREST AREA THAT HAS LIMITED BOTTOM BRANCHES WHICH CREATES A VISUALLY OPEN WOODS. BY INTRODUCING NEW SHADE TOLERANT EVERGREEN AND DECIDUOUS TREES AND SHRUBS THIS WILL PROVIDE A DENSER VISUAL BARRIER. THE ABUTTERS HAVE REQUESTED THAT FENCING NOT BE USED AS A VISUAL BUFFER.
 3. WITHIN 30 DAYS OF THE TREE REMOVAL FOR THIS PROJECT, THE OWNER SHALL PROVIDE A MIX OF 1-2" CALIPER EVERGREEN TREES (6" - 8" IN HEIGHT) FROM THE LIST NOTED BELOW AS WELL AS SEEDLINGS FROM THE STATE FOREST NURSERY. SHRUBS SHALL ALSO BE USED IN THE BUFFER AREA ADJACENT TO HALL ROAD. GIVEN THE MORTALITY RATE OF THE SEEDLINGS, IT IS RECOMMENDED THAT THERE BE 6 SEEDLINGS FOR EACH 1-2" CALIPER EVERGREEN. SHRUBS SHALL BE PLACED AS NECESSARY TO ROUND OUT THE VISUAL BUFFER.
 4. ALONG THE BUFFER AREA EXCLUDING LOCATIONS AS INDICATED IN NOTE #3, LARGER THAN 12 FEET IN DIAMETER VOID SHALL BE IDENTIFIED AND THREE EVERGREEN SAPPLINGS SHALL BE PLANTED. SHRUBS SHALL BE PLACED AS NECESSARY TO ROUND OUT THE VISUAL BUFFER. THIS IS INTENDED TO AID IN VISUAL BUFFERING IN THE WINTER MONTHS AS WELL.
 5. THIS BUFFER SHALL BE MAINTAINED YEARLY. THE BUFFER SHALL BE WALKED AND ADDITIONAL SEEDLINGS AND SHRUBS SHALL BE ADDED TO THE BUFFER AREA.
 6. IF THERE IS A DISPUTE OVER THE BUFFER, THE TOWN CODE ENFORCEMENT OFFICER SHALL INSPECT THE BUFFER AND MAKE A DETERMINATION OF ADDITIONAL PLANTING.
 7. ROUGH BOARD FENCE TO BE 6 FEET MINIMUM IN HEIGHT AND TO BE INSTALLED MEANDERING AROUND EXISTING TREES. INTERMITTENT FENCING WILL BE INSTALLED ALONG HALL ROAD WITH EVERGREENS BETWEEN OPENINGS. SEE NOTE #3 ABOVE.



OVERALL BUFFER ENHANCEMENT AREA
 Scale 1" = 50'



TYPICAL VEGETATION ENHANCEMENT SECTION
 Scale 1" = 10'

REV	DATE	STATUS

LANDSCAPE PLAN
 of a Portion of Property Located at:
 7 Barrington Shores Drive
 Barrington, NH 03825
 For:
Barrington Shores, LLC
 240 Revere Street
 Winthrop, MA 02152



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TAX MAP & LOT NO: 121 / 28	DRAWING NO: 18036 Layout - June 2020.dwg
SCALE: AS NOTED	SHEET: 1 of 1
PROJECT NO: 18036	DATE: Oct 13, 2020