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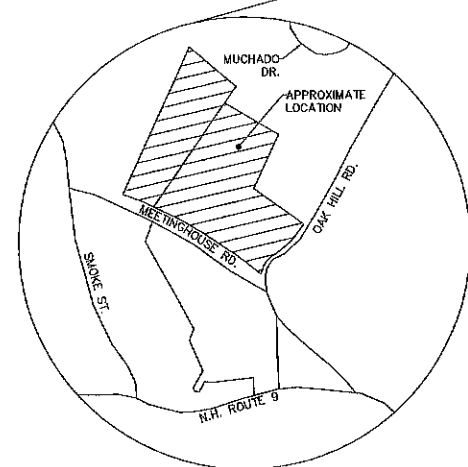
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 SHEET 39 ~ L101-LANDSCAPING DETAILS

* INDICATES A PLAN IS TO BE RECORDED

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE TOWN OF BARRINGTON PLANNING DEPARTMENT.

LOCATION PLAN
 BARRINGTON, NH
 NOT TO SCALE



OPEN SPACE CONSERVATION SUBDIVISION FOR DONETTA HALEY OAK HILL ROAD / MEETINGHOUSE ROAD BARRINGTON, NH TAX MAP 234, LOTS 31 & 31-4

OWNER: A.) DONETTA HALEY
 P.O. BOX 367
 BARRINGTON, NH 03825

B.) MICHAEL H. & LISA M. MCMAHON
 139 STAGE ROAD
 HAMPSTEAD, NH 03841

APPLICANT: MICHAEL H. & LISA M. MCMAHON
 139 STAGE ROAD
 HAMPSTEAD, NH 03841

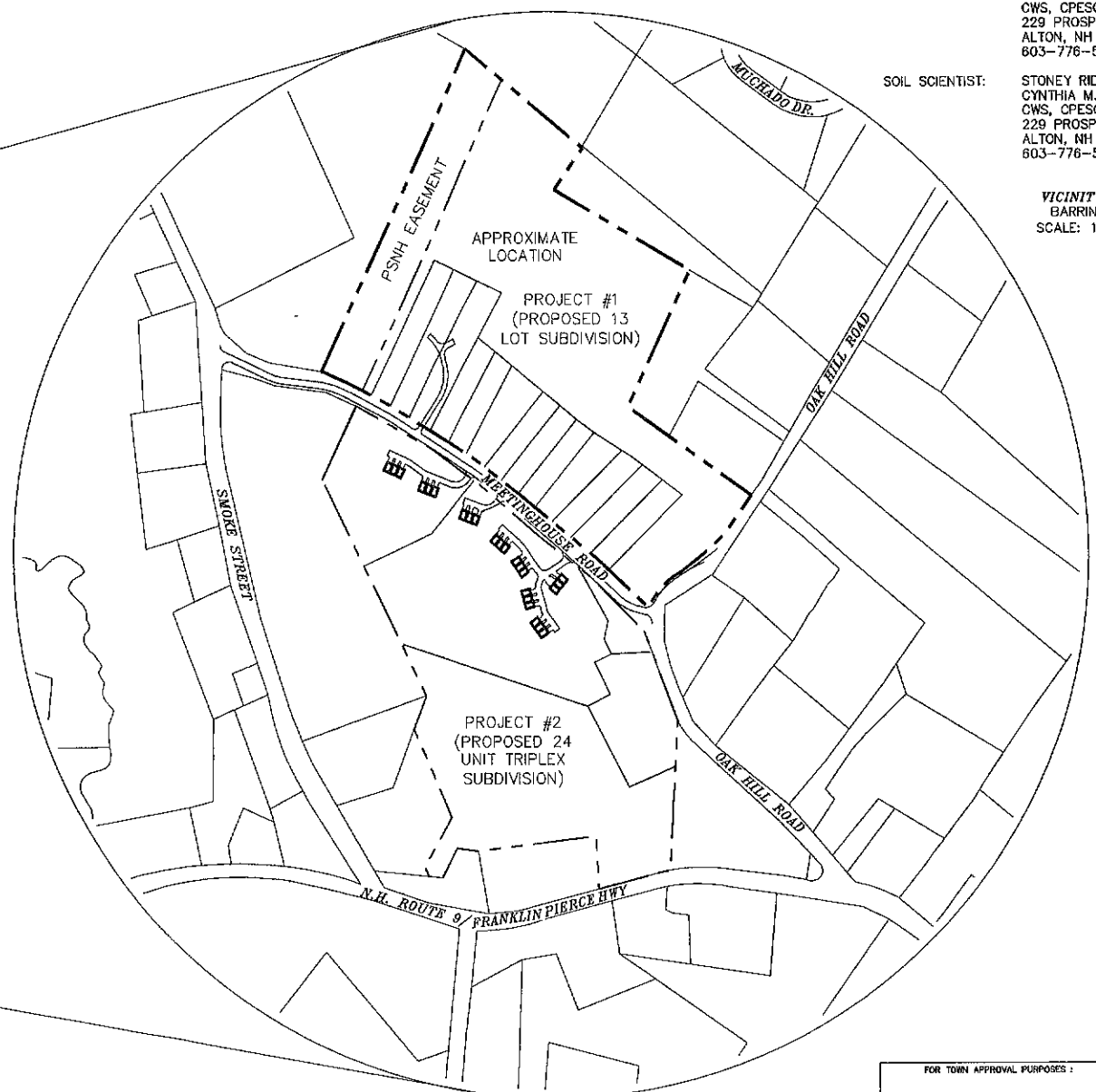
SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
 CPESC, CESSWI, CPSWQ
 BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825
 (603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
 CPESC, CESSWI, CPSWQ
 BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825
 (603) 332-2863

WETLAND SCIENTIST: STONEY RIDGE ENVIRONMENTAL
 CYNTHIA M. BALCIUS, CSS,
 CWS, CPESC
 229 PROSPECT MOUNTAIN ROAD
 ALTON, NH 03809
 603-776-5825

SOIL SCIENTIST: STONEY RIDGE ENVIRONMENTAL
 CYNTHIA M. BALCIUS, CSS,
 CWS, CPESC
 229 PROSPECT MOUNTAIN ROAD
 ALTON, NH 03809
 603-776-5825

VICINITY SKETCH
 BARRINGTON, NH
 SCALE: 1" = 300' ±



LAND USE OFFICE
 MAY 23 2019
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REQUIRED PERMITS:

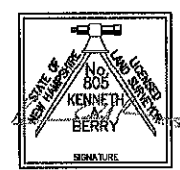
- 1.) NHDES SUBDIVISION PERMIT: (PENDING)
- 2.) NHDES WETLANDS IMPACT PERMIT: (PENDING)
- 3.) NHDES ALTERATION OF TERRAIN PERMIT (PENDING)
- 4.) EPA NOTICE OF INTENT / SWPPP: (PENDING)
- 5.) NATURAL HERITAGE BUREAU: (PENDING)
- 6.) DIVISION OF HISTORICAL RECOURSES: (PENDING)
- 7.) 9.6: (PENDING)

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE TOWN OF BARRINGTON.

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE PLAN, THE SITE PLAN APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE TOWN OF BARRINGTON LAND SITE PLAN REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SITE PLAN APPROVAL.

FOR TOWN APPROVAL PURPOSES:
 THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

OPEN SPACE CONSERVATION SUBDIVISION
 LAND OF
 DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : AS SHOWN
 DATE : MARCH 12, 2019
 FILE NO. : DB 2017 - 052

ABBREVIATION LEGEND:

BITUM.	BITUMINOUS
E.O.P.	EDGE OF PAVEMENT
B.C.C.	BITUMINOUS CONCRETE CURB
E.S.H.W.T.	ESTIMATED SEASONAL HIGH WATER TABLE
TYP.	TYPICAL
U.G.E.	UNDER GROUND ELECTRIC / UTILITY
U.D.	UNDER DRAIN
C.O.	CLEAN OUT
INV.	INVERT
ELEV.	ELEVATION
F.E.S.	FLARED END SECTION
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
RECB	ROLLED EROSION CONTROL BLANKET
F.G.	FINISHED GRADE
E.G.	EXISTING GRADE
E.T.W.	EDGE OF TRAVELED WAY
T.B.R.	TO BE REMOVED
PL	PROPERTY LINE
EL	EASEMENT LINE
R.O.W.	RIGHT OF WAY
CL	CENTER LINE
CF	CUBIC FEET
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
P.V.C.	POINT OF VERTICAL CURVATURE
P.V.I.	POINT OF VERTICAL INTERSECTION
P.V.T.	POINT OF VERTICAL TANGENCY
EK.	EXISTING
PROP.	PROPOSED
R&R	REMOVE AND REPLACE
STA.	STATION
'/	FOOT / FOOT

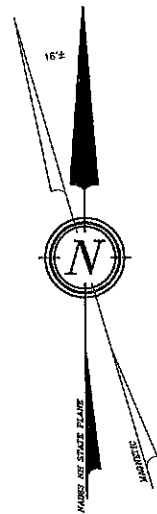
EXISTING LEGEND:

⊙	DRILL HOLE ~FND~
○	IRON PIPE ~FND~
⊖	IRON BOUND ~FND~
⊕	CHESEL MARK ~FND~
⊖	GRANITE BOUND ~FND~
⊖	STONE BOUND ~FND~
⊖	UTILITY POLE
⊖	GUY WIRE
⊖	SIGNAGE
⊕	TEST PIT
⊕	TEMPORARY BENCHMARK (T.B.M.)
⊕	BLAZED/PAINTED TREE
---	POORLY DRAINED JURISDICTIONAL WETLAND LINE
---	BUILDING SETBACK LINE
---	EASEMENT LINE
---	60' POORLY DRAINED WETLAND BUFFER
---	STONE WALL
---	NRCS SOIL DELINEATION LINE
---	SITE SPECIFIC SOIL LINE
---	LIMIT OF SOIL SURVEY
---	OVERHEAD UTILITIES LINE
---	EXISTING DRAIN CULVERT
---	CONTOUR MINOR, EXISTING
---	CONTOUR MAJOR, EXISTING
---	SOIL SERIES
---	NRCS SOIL LABEL
---	STRAFFORD COUNTY REGISTRY OF DEEDS
---	TYP. TYPICAL
---	FND FOUND

PROPOSED LEGEND:

●	GRANITE BOUND ~TBS~
●	3/4" REBAR W/ ID CAP ~TBS~
●	1/2" EASEMENT IRON BOUND W/D CAP ~TBS~
⊖	UTILITY POLE
⊖	OUTLET STRUCTURE
⊖	CATCH BASIN
⊖	SIGNAGE
⊖	CHECK DAM-MATERIAL AS SPECIFIED
⊖	FLOW ARROW
⊖	WELL
⊕	TEMPORARY BENCH MARK (T.B.M.)
⊕	DETAIL SHEET / DETAIL
---	MATCH POINT
---	MATCH LINE
---	CONTOUR MINOR, PROPOSED
---	CONTOUR MAJOR, PROPOSED
---	DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
---	GUARD RAIL
---	SHOULDER
---	CENTER LINE
---	BUILDING SETBACK LINE
---	SUBDIVISION BOUNDARY LINE
---	75' PROTECTIVE WELL RADIUS (NHDES)
---	SAW CUT & MILL
---	TRANSFORMER / J.BOX
---	UNDERGROUND UTILITY
---	UNDER DRAIN
---	SILT FENCE / EROSION MIX BERM
---	FILREXX 8" - 12" SILT SOCK AS SPECIFIED
---	ORANGE CONSTRUCTION PERIMETER FENCE
---	PHASE LINE
---	NRCS SOIL DELINEATION
---	SOIL TYPE
---	RIP RAP
---	RAIN GARDEN
---	BERM
---	4,000 Sq. Ft. EFFLUENT LEACHING AREA

SS	---	SIZE	SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
DSL	---	SIZE	DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
SSB	---	SIZE	SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
SBL	---	SIZE	SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
DBL	---	SIZE	DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)



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SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"	STOP	SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	RED	WHITE	WHITE	SQUARE (2)
RB-31	18"x24"	NO PARKING	SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	RED	RED	SQUARE (2)
R2-1	12"x18"	SPEED LIMIT 25	SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	BLACK	BLACK	SQUARE (2)

PLAN REFERENCES:

- "SUBDIVISION PLAN, PROPOSED SUBDIVISION, LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31"
BY: BERRY SURVEY & ENGINEERING
DATED: DECEMBER 30, 2018
S.C.R.D. PLAN #113-015
ALSO ON FILE AT THIS OFFICE
- "LOT LINE REVISION OVERVIEW, PROPOSED LOT LINE REVISION, LAND OF DONETTA HALEY & PAUL J. & SUZANNE W. MCNEIL, P&S MCNEIL FAMILY REVOCABLE TRUST, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31 & 38"
BY: BERRY SURVEY & ENGINEERING
DATED: DECEMBER 30, 2018
S.C.R.D. PLAN #113-012
ALSO ON FILE AT THIS OFFICE
- "REVISED BOUNDARY PLAN, PATRICK P. LAVOIE AND WALDRON B. HALEY, BARRINGTON, N.H."
BY: FREDERICK E. DREW ASSOCIATES
DATED: DECEMBER 1985
S.C.R.D. PLAN #28-74
- "REVISED BOUNDARY PLAN WALDRON B. HALEY, BARRINGTON, N.H."
BY: FREDERICK E. DREW ASSOCIATES
DATED: MARCH 1984
S.C.R.D. PLAN #22-140
- "PLAN OF LAND DONALD M. MOODIE, BARRINGTON, N.H."
BY: FREDERICK E. DREW ASSOCIATES
DATED: DECEMBER 1983
S.C.R.D. PLAN #22-141

PLAN REFERENCES CONT:

- "REVISED BOUNDARY PLAN PATRICK LAVOIE, DOUGLAS CAMPBELL, STEVEN LENZI, BRIAN LENZI, BARRINGTON, N.H."
BY: FREDERICK E. DREW ASSOCIATES
DATED: SEPTEMBER 1986
S.C.R.D. PLAN #94-19
- "REVISED BOUNDARY PLAN WALDRON B. HALEY BARRINGTON, N.H."
BY: FREDERICK E. DREW ASSOCIATES
DATED: MAY 1985
S.C.R.D. PLAN #28-4
- "FINAL PLAN ROWELL & TIEDEMANN SUBDIVISION, BARRINGTON, N.H."
BY: FREDERICK E. DREW ASSOCIATES
DATED: AUGUST 1974
S.C.R.D. PLAN #34, FOLDER #3
- "REVISED BOUNDARY PLAN AND LOTS 18, 19, AND 20, ROWELL SUBDIVISION"
BY: FREDERICK E. DREW ASSOCIATES
DATED: JUNE 1977
S.C.R.D. PLAN #17A-165
- "SUBDIVISION PLAN WALDRON B. HALEY & OLEVA WATSON"
BY: ORVIS/DREW, LLC
DATED: OCTOBER 1999
S.C.R.D. PLAN #57-73

PLAN REFERENCES CONT:

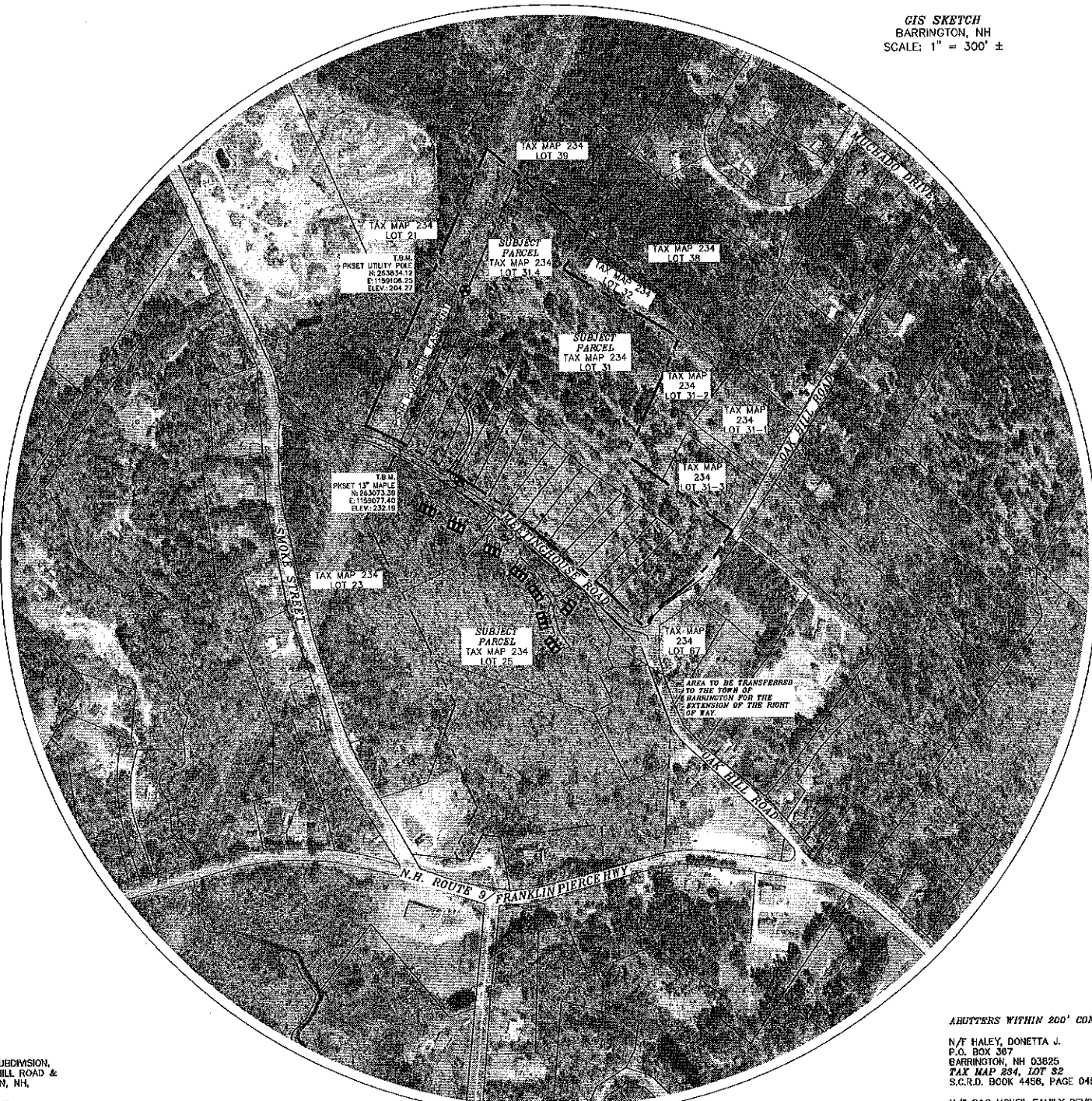
- "BOUNDARY ADJUSTMENT FLAT, BARRINGTON, STRAFFORD COUNTY, NEW HAMPSHIRE, PREPARED FOR WALDRON B. HALEY & OLEVA WATSON, MICHAEL J. DAVIS REALTY, LLC AND CHAPEL OF NATIVITY"
BY: ORVIS/DREW, LLC
DATED: JANUARY 15, 2004
S.C.R.D. PLAN #76-30
- "RESEARCH PLAN OF S.W. END LOTS 92-95, BARRINGTON, NH"
BY: F.E. DREW
DATED: 1972
ON FILE AT THIS OFFICE
- "A PLAN OF EDNA SMITH PROPERTY, BARRINGTON, N.H."
BY: F.E. DREW
DATED: JULY 1972
ON FILE AT THIS OFFICE
- "SUBDIVISION OVERVIEW, PROPOSED SUBDIVISION LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, N.H."
BY: BERRY SURVEY & ENGINEERING
DATED: DECEMBER 30, 2016
FILE NO. 022016-091
S.C.R.D. PLAN #113-14

ABUTTERS WITHIN 200':

- N/F HALEY, DONETTA J.
P.O. BOX 307
BARRINGTON, NH 03825
TAX MAP 234, LOT 32
S.C.R.D. BOOK 4456, PAGE 045
- N/F P&S MCNEIL FAMILY REVOCABLE TRUST OF 2013
PAUL J. & SUZANNE W. MCNEIL TRUSTEES
82 MUCHADO DRIVE
BARRINGTON, NH 03825
TAX MAP 234, LOTS 35 & 38
S.C.R.D. BOOK 4176, PAGE 458
- N/F ESTES, NOREEN M.
40 OAK HILL ROAD
BARRINGTON, NH 03825
TAX MAP 234, LOT 67
S.C.R.D. BOOK 4014, PAGE 070
- N/F PATRICK & GAIL LAVOIE
34 SMOKE STREET
BARRINGTON, NH 03825
TAX MAP 234, LOT 21
- N/F PUBLIC SERVICE CO OF NH
PO BOX 270
HARTFORD, CT 06144-270
TAX MAP 234, LOT 23
S.C.R.D. BOOK 3853, PAGE 530
- N/F JAMES W. & DONETTA J. HALEY & OLEVA WATSON
386 OLD CONCORD TURNPIKE
BARRINGTON, NH 03825
TAX MAP 234, LOT 26
S.C.R.D. BOOK 4296, PAGE 709
- N/F M&S ADAMS REAL ESTATE TRUST OF 2016
MARK A. & SUSAN P. ADAMS TRUSTEES
86 WINNICUTT ROAD
SWEETHAM, NH 03895
TAX MAP 234, LOT 31.2
S.C.R.D. BOOK 4653, PAGE 325
- N/F THOMAS M. & LORI J. MCDOLE
65 SURE LANE
RYE, NH 03870
TAX MAP 234, LOT 31.3
S.C.R.D. BOOK 4657, PAGE 098

FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



GIS SKETCH
BARRINGTON, NH
SCALE: 1" = 300' ±

REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

NEIGHBORHOOD PLAN
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS SHOWN
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

ABUTTERS ACROSS OAK HILL ROAD:

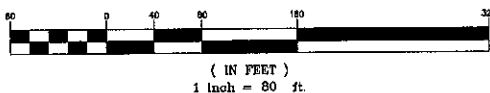
N/F MARIE-ANDREE R. CLEARY REVOCABLE TRUST
DOUGLAS S. & MARIE-ANDREE R. CLEARY TRUSTEES
68 OAK HILL ROAD
BARRINGTON, NH 03825
BOOK 4397, PAGE 411
TAX MAP 234, LOT 66

N/F ESTES, NOREEN M.
40 OAK HILL ROAD
BARRINGTON, NH 03825
BOOK 4014, PAGE 070
TAX MAP 234, LOT 67

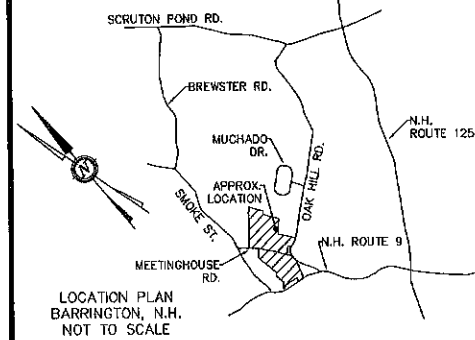
N/F P&S MCNEIL FAMILY REVOCABLE TRUST OF 2013
PAUL J. & SUZANNE W. MCNEIL TRUSTEES
82 MUCHADO DRIVE
BARRINGTON, NH 03825
BOOK 4176, PAGE 459
TAX MAP 234, LOT 39

N/F HALEY, DONETTA
PO BOX 367
BARRINGTON, NH 03825
BOOK 4456, PAGE 576
TAX MAP 234, LOT 32

GRAPHIC SCALE



I CERTIFY THAT THIS PLAN EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -
KENNETH A. BERRY LLS 805 DATE



SOIL DATA:

- HdC ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAM, 8 TO 15% SLOPES
 - SuB ~ SUTTON VERY STONY FINE SANDY LOAM, 0 TO 8% SLOPES
 - LrA ~ LEICESTER-RIDGEBURY VERY STONY FINE SANDY LOAMS, 0 TO 3% SLOPES
 - GsE ~ GLOUCESTER VERY STONY FINE SANDY LOAM, 25 TO 60% SLOPES
 - GsB ~ GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
 - Sb ~ SAUGATUCK LOAMY SAND
 - WdB ~ WINDSOR LOAMY SAND, 3-8% SLOPES
- SEE USDA/ NRCS WEBSOIL SURVEY

ROAD NOTES:

- MEETINGHOUSE ROAD: CLASS VI GRAVEL, 3 ROADS WIDE, STATE OF NH ARCHIVES BOOK 1, PAGE 383, DATED: 1703
- MEETINGHOUSE ROAD: 4' ROAD LAYOUT BY STATUTE VOL 14, P 143 & VOL 9, P 237
- OAK HILL ROAD: CLASS V PAVED, 3 ROADS WIDE, STATE OF NH ARCHIVES BOOK 1, PAGE 401 DATED: 1769

LEGEND:

- DRILL HOLE -FND OR SET-
- IRON PIPE -FND-
- IRON BOUND -FND OR SET-
- CHISEL MARK -FND-
- UTILITY POLE
- TEMPORARY BENCH MARK
- TREE (AS MARKED)
- NRCS SOIL DELINEATION LINE
- STONE WALL
- POORLY DRAINED JURISDICTIONAL WETLAND LINE
- 50' POORLY DRAINED WETLAND BUFFER
- BUILDING SETBACK LINE
- EASEMENT LINE
- OVERHEAD UTILITIES LINE
- MATCH LINE BETWEEN SHEETS
- STRAFFORD COUNTY REGISTRY OF DEEDS TYPICAL FOUND
- S.C.R.D. TYP. FND

N/F M&S ADAMS REAL ESTATE TRUST OF 2016
MARK A. & SUSAN P. ADAMS TRUSTEES
85 WINNICUT ROAD
STRAITNHAM, NH 03885
BOOK 4553, PAGE 325
TAX MAP 234, LOT 31-2

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN AUGUST OF 2016 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2006. L.H. VASILEZ, G.W. HURT, AND C.W. MOYLE (2005). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEWPPCC WETLANDS WORKGROUP, WILMINGTON, MA 01827.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND.PLANTS.USDA.GOV/), U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, CHOLD REDDING RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST, LICHNER, R.W., M. BUTTERICK, M.C. NELSON, AND W.A. KOSCHER, 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS PHYTOKEY 2014-411-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987, WETLANDS RESEARCH PROGRAM TECHNICAL REPORT 7-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTH-EAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ESC/EL 16-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1978, L. CONWAY, V. OAKLEY, F. COLETT, AND E. LARCE. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, FWS/OBS-79/31.

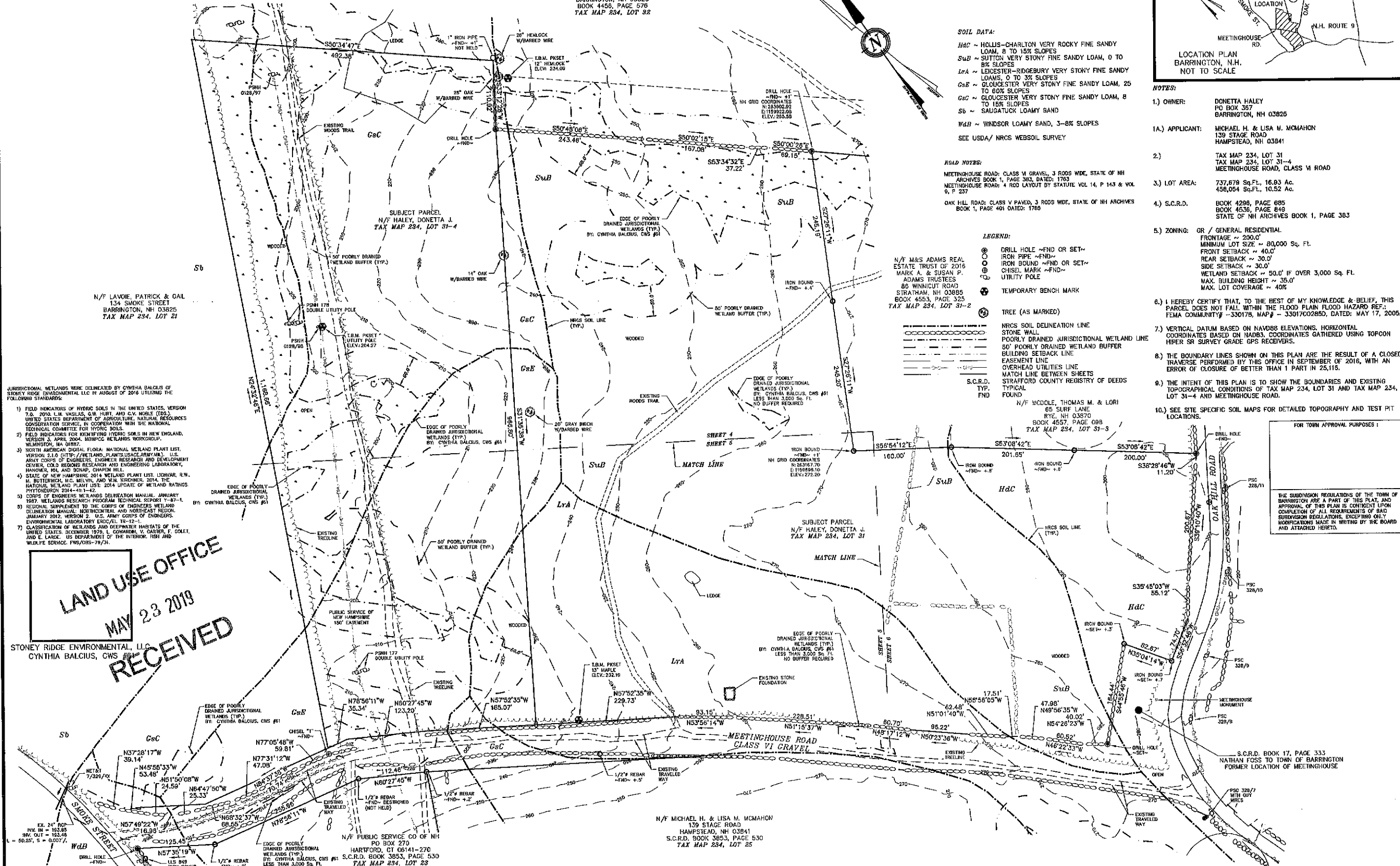
NOTES:

- 1.) OWNER: DONETTA HALEY
PO BOX 367
BARRINGTON, NH 03826
- 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
- 2.) TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS VI ROAD
- 3.) LOT AREA: 737,878 Sq.Ft., 16.83 Ac.
458,054 Sq.Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 4298, PAGE 085
BOOK 4536, PAGE 848
STATE OF NH ARCHIVES BOOK 1, PAGE 383
- 5.) ZONING: OR / GENERAL RESIDENTIAL.
FRONTAGE ~ 200.0'
MINIMUM LOT SIZE ~ 80,000 Sq. Ft.
FRONT SETBACK ~ 40.0'
REAR SETBACK ~ 30.0'
SIDE SETBACK ~ 30.0'
WETLAND SETBACK ~ 50.0' IF OVER 3,000 Sq. Ft.
MAX. BUILDING HEIGHT ~ 35.0'
MAX. LOT COVERAGE ~ 40%
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.; FEMA COMMUNITY # - 33017B, MAP # - 33017C02850, DATED: MAY 17, 2005.
- 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAVD83. COORDINATES GATHERED USING TOPCON HIFER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SEPTEMBER OF 2016, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 25,118.
- 9.) THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARIES AND EXISTING TOPOGRAPHICAL CONDITIONS OF TAX MAP 234, LOT 31 AND TAX MAP 234, LOT 31-4 AND MEETINGHOUSE ROAD.
- 10.) SEE SITE SPECIFIC SOIL MAPS FOR DETAILED TOPOGRAPHY AND TEST PIT LOCATIONS.

FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

LAND USE OFFICE
MAY 23 2019
RECEIVED
STONEY RIDGE ENVIRONMENTAL, LLC
CYNTHIA BALCIUS, CWS #61

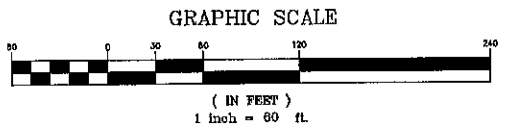


REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

EXISTING CONDITIONS PLAN
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 80 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

SIGNATURE



STONEY RIDGE ENVIRONMENTAL, LLC. STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61 CYNTHIA BALCIUS, CSS #54

- JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN JULY OF 2017 UTILIZING THE FOLLOWING STANDARDS:
- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
 - 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEIWPCC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
 - 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 21.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEL HILL.
 - 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.O. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTOEURN 2014-41:1-42.
 - 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
 - 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTH-EAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
 - 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1978. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

- NOTES:
- 1.) OWNER: A.) DONETTA HALEY
PO BOX 367
BARRINGTON, NH 03825
 - 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - 2.) TOWN OF BARRINGTON: TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS VI ROAD
 - 3.) LOT AREA: 737,679 Sq.Ft., 18.93 Ac.
458,054 Sq.Ft., 10.52 Ac.
 - 4.) S.C.R.D. BOOK 426, PAGE 685
BOOK 4536, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
 - 5.) ZONING: GR / GENERAL RESIDENTIAL
SETBACKS:
FRONTAGE ~ 200.0'
MINIMUM LOT SIZE ~ 80,000 SQ. FT.
FRONT SETBACK ~ 40.0'
REAR SETBACK ~ 30.0'
SIDE SETBACK ~ 30.0'
WETLAND SETBACK ~ 60.0' IF OVER 3,000 SQ. FT.
MAX. BUILDING HEIGHT ~ 35.0'
MAX. LOT COVERAGE ~ 40%
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -33017B, MAP# - 33017C0285D, DATED: MAY 17, 2005.
 - 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE INTENT OF THIS PLAN IS TO REPRESENT THE SITE SPECIFIC SOILS ON TAX MAP 234, LOTS 31 & 31-4, AS DETERMINED BY STONEY RIDGE ENVIRONMENTAL LLC.
 - 9.) THE CURRENT USE OF THE PROPERTY IS VACANT LAND. ALL PROPOSED LOTS WILL BE FOR RESIDENTIAL SINGLE FAMILY HOMES WITH ON SITE WELLS AND SEPTIC SYSTEMS.
 - 10.) THERE WERE NO CEMETERIES OBSERVED ON ANY PARCEL WHEN THE FIELD WORK WAS TAKING PLACE.

SOILS LEGEND

SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP
68A	SUTTON SANDY LOAM	B/3
68B	SUTTON SANDY LOAM	B/3
68C	SUTTON SANDY LOAM	B/3
68D	SUTTON SANDY LOAM	B/3
68E	SUTTON SANDY LOAM	B/3
448A	SCITUATE FINE SANDY LOAM	C/3
448B	SCITUATE FINE SANDY LOAM	C/3
448C	SCITUATE FINE SANDY LOAM	C/3
448D	SCITUATE FINE SANDY LOAM	C/3
924B	SUTTON VARIANT	D/4
924B	RIDGEBURY SANDY LOAM	D/4
514B/PD	LEICESTER SANDY LOAM	C/5
657A/PD	RIDGEBURY SANDY LOAM	C/5
657B/PD	RIDGEBURY SANDY LOAM	C/5
657C/PD	RIDGEBURY SANDY LOAM	C/5
657D/PD	RIDGEBURY SANDY LOAM	C/5

SLOPES: 0-3% A 3-8% B 8-15% C 15-25% D 25%-50% E
DENOMINATOR: /PD = POORLY DRAINED

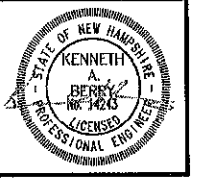
LAND USE OFFICE
MAY 23 2019
RECEIVED

FOR TOWN APPROVAL PURPOSES:
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19 DATE
REVISION	DATE

OVERVIEW SITE SPECIFIC SOILS MAP
LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 60 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052



SOILS LEGEND		
SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP
68A	SUTTON SANDY LOAM	B/3
68B	SUTTON SANDY LOAM	B/3
68C	SUTTON SANDY LOAM	B/3
68D	SUTTON SANDY LOAM	B/3
68E	SUTTON SANDY LOAM	B/3
448A	SCITUATE FINE SANDY LOAM	C/3
448B	SCITUATE FINE SANDY LOAM	C/3
448C	SCITUATE FINE SANDY LOAM	C/3
448D	SCITUATE FINE SANDY LOAM	C/3
924B	SUTTON VARIANT	D/4
924B	RIDGEBURY SANDY LOAM	D/4
657A/PD	LEICESTER SANDY LOAM	C/5
657A/PD	RIDGEBURY SANDY LOAM	C/5
657B/PD	RIDGEBURY SANDY LOAM	C/5
657C/PD	RIDGEBURY SANDY LOAM	C/5
657D/PD	RIDGEBURY SANDY LOAM	C/5
SLOPES: 0-3% A 3-8% B 8-15% C 15-25% D 25%-50% E		
DENOMINATOR: /PD = POORLY DRAINED		

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN JULY OF 2017 UTILIZING THE FOLLOWING STANDARDS:

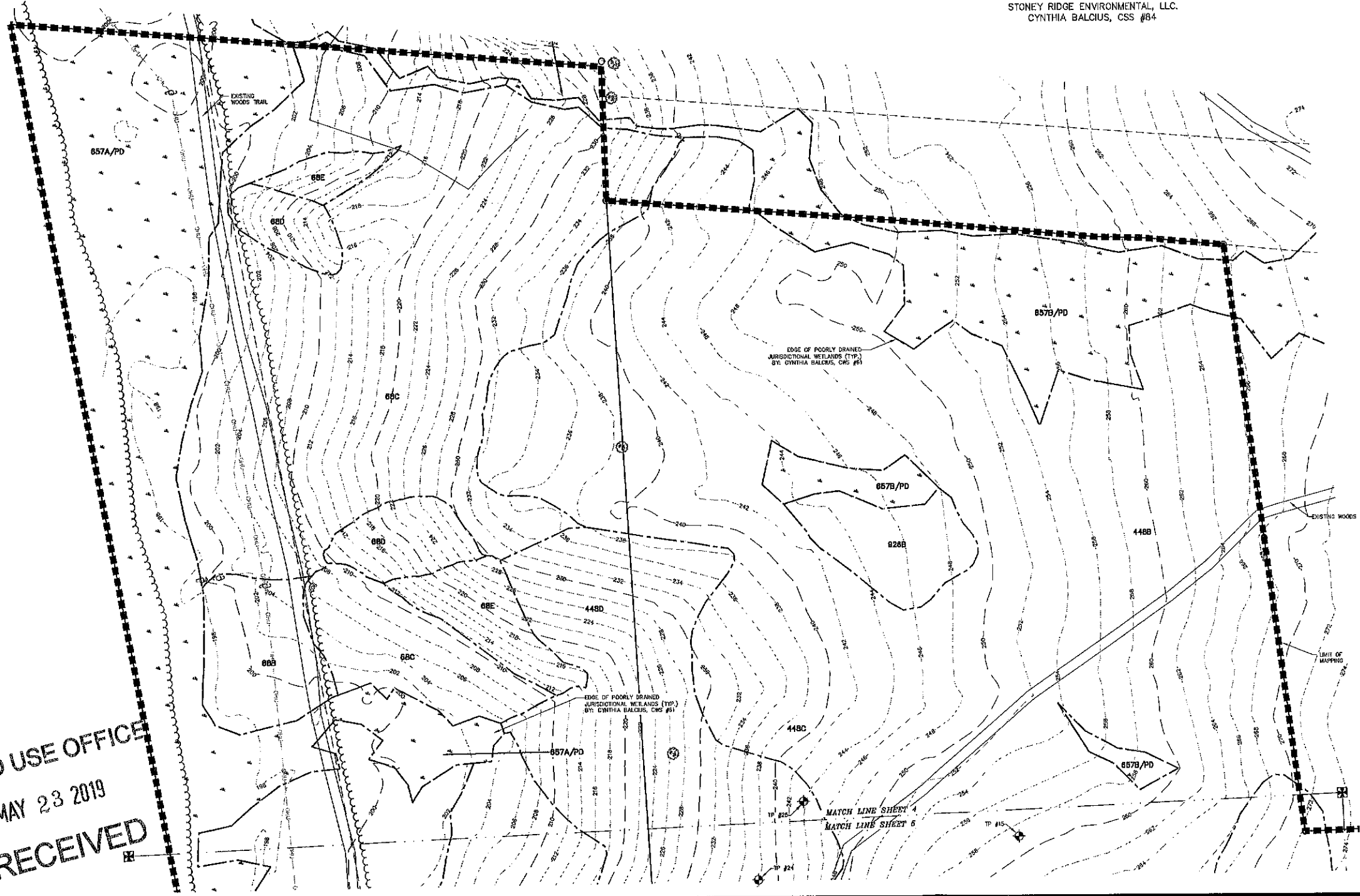
- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.M. VASILAS, D.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEMPOCC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL), U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST, LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014, THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-411-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2, U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
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STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61

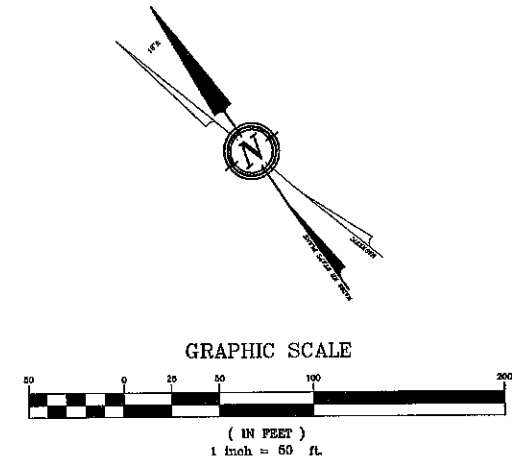
STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CSS #64

NOTES:

- 1.) OWNER: A.) DONETTA HALEY
PO BOX 387
BARRINGTON, NH 03825
- 1A.) APPLICANT: MICHAEL H. & LISA M. MOHAON
139 STAGE ROAD
HAMPTSTEAD, NH 03841
- 2.) TOWN OF BARRINGTON: TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS VI ROAD
- 3.) LOT AREA: 737,879 Sq.Ft., 16.83 Ac.
458,054 Sq.Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 426, PAGE 685
BOOK 4536, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
- 5.) ZONING: GR / GENERAL RESIDENTIAL
SETBACKS:
FRONTAGE ~ 200.0'
MINIMUM LOT SIZE ~ 80,000 SQ. FT.
FRONT SETBACK ~ 40.0'
REAR SETBACK ~ 30.0'
SIDE SETBACK ~ 30.0'
WETLAND SETBACK ~ 50.0' IF OVER 3,000 SQ. FT.
MAX. BUILDING HEIGHT ~ 35.0'
MAX. LOT COVERAGE ~ 40%
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330178, MAP# - 33017C02850, DATED: MAY 17, 2005.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO REPRESENT THE SITE SPECIFIC SOILS ON TAX MAP 234, LOTS 31 & 31-4, AS DETERMINED BY STONEY RIDGE ENVIRONMENTAL LLC.
- 9.) THE CURRENT USE OF THE PROPERTY IS VACANT LAND. ALL PROPOSED LOTS WILL BE FOR RESIDENTIAL SINGLE FAMILY HOMES WITH ON SITE WELLS AND SEPTIC SYSTEMS.
- 10.) THERE WERE NO CEMETERIES OBSERVED ON ANY PARCEL WHEN THE FIELD WORK WAS TAKING PLACE.



- LEGEND:
- IRON PIPE ~FND OR TBS~
 - ⊙ IRON BOUND ~FND OR TBS~
 - ⊕ DRILL HOLE ~FND OR TBS~
 - ⊖ GRANITE BOUND ~FND OR TBS~
 - ⊙ UTILITY POLE/GUY WIRE
 - ⊕ TEST HOLE
 - ⊖ TEMPORARY BENCHMARK
 - STONE WALL
 - WETLAND LINE
 - 50' POORLY DRAINED WETLAND BUFFER
 - EXISTING CONTOUR MINOR
 - EXISTING CONTOUR MAJOR
 - MATCH LINE/MATCH POINT
 - SOIL LINE
 - LIMIT OF SOIL SURVEY
 - SOIL SERIES
 - STRAFFORD COUNTY REGISTRY OF DEEDS
 - TYPICAL
 - FND
 - FOUND
 - TBA
 - TO BE ABANDONED



FOR TOWN APPROVAL PURPOSES:

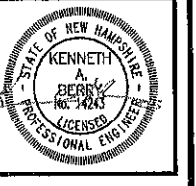
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LAND USE OFFICE
MAY 23 2019
RECEIVED

#1	REVISION	DATE	DESCRIPTION
		5-14-19	REVISIONS PER DB&K COMMENT

SITE SPECIFIC SOILS MAP NORTH
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 50 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052



SOILS LEGEND			
SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP	
68A	SUTTON SANDY LOAM	B/3	
68B	SUTTON SANDY LOAM	B/3	
68C	SUTTON SANDY LOAM	B/3	
68D	SUTTON SANDY LOAM	B/3	
68E	SUTTON SANDY LOAM	B/3	
448A	SCITUATE FINE SANDY LOAM	C/3	
448B	SCITUATE FINE SANDY LOAM	C/3	
448C	SCITUATE FINE SANDY LOAM	C/3	
448D	SCITUATE FINE SANDY LOAM	C/3	
924B	SUTTON VARIANT	D/4	
626B	RIDGEBURY SANDY LOAM	D/4	
657A/PD	RIDGEBURY SANDY LOAM	C/5	
657B/PD	RIDGEBURY SANDY LOAM	C/5	
657C/PD	RIDGEBURY SANDY LOAM	C/5	
657D/PD	RIDGEBURY SANDY LOAM	C/5	
SLOPES: 0-3% A 3-8% B 8-15% C 15-25% D 25%-50% E			
DENOMINATOR: /PD = POORLY DRAINED			

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN JULY OF 2017 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.M. VASILAS, G.W. HURY, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEIWPCC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
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- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST, LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONET/IRON 2014-411-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
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STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61

STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CSS #84

NOTES:

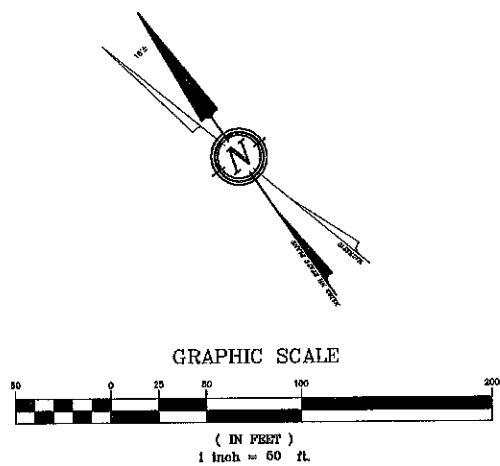
- 1.) OWNER: A.) DONETTA HALEY
PO BOX 367
BARRINGTON, NH 03825
- 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
39 STAGE ROAD
HAMPSHIRE, NH 03841
- 2.) TOWN OF BARRINGTON: TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS M ROAD
- 3.) LOT AREA: 737,679 Sq.Ft., 16.93 Ac.
458,034 Sq.Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 428, PAGE 685
BOOK 4538, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
- 5.) ZONING: GR / GENERAL RESIDENTIAL
SETBACKS:
FRONTAGE ~ 200.0'
MINIMUM LOT SIZE ~ 80,000 SQ. FT.
FRONT SETBACK ~ 40.0'
REAR SETBACK ~ 30.0'
SIDE SETBACK ~ 30.0'
WETLAND SETBACK ~ 50.0' IF OVER 3,000 SQ. FT.
MAX. BUILDING HEIGHT ~ 35.0'
MAX. LOT COVERAGE ~ 40%
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# -330178, MAP# - 33017C02850, DATED: MAY 17, 2005.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO REPRESENT THE SITE SPECIFIC SOILS ON TAX MAP 234, LOTS 31 & 31-4, AS DETERMINED BY STONEY RIDGE ENVIRONMENTAL LLC.
- 9.) THE CURRENT USE OF THE PROPERTY IS VACANT LAND. ALL PROPOSED LOTS WILL BE FOR RESIDENTIAL SINGLE FAMILY HOMES WITH ON SITE WELLS AND SEPTIC SYSTEMS.
- 10.) THERE WERE NO CEMETERIES OBSERVED ON ANY PARCEL WHEN THE FIELD WORK WAS TAKING PLACE.

REVISION	DATE	DESCRIPTION
#1	5-14-19	REVIEWS PER DB&K COMMENT

SITE SPECIFIC SOILS MAP SOUTHWEST
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 50 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

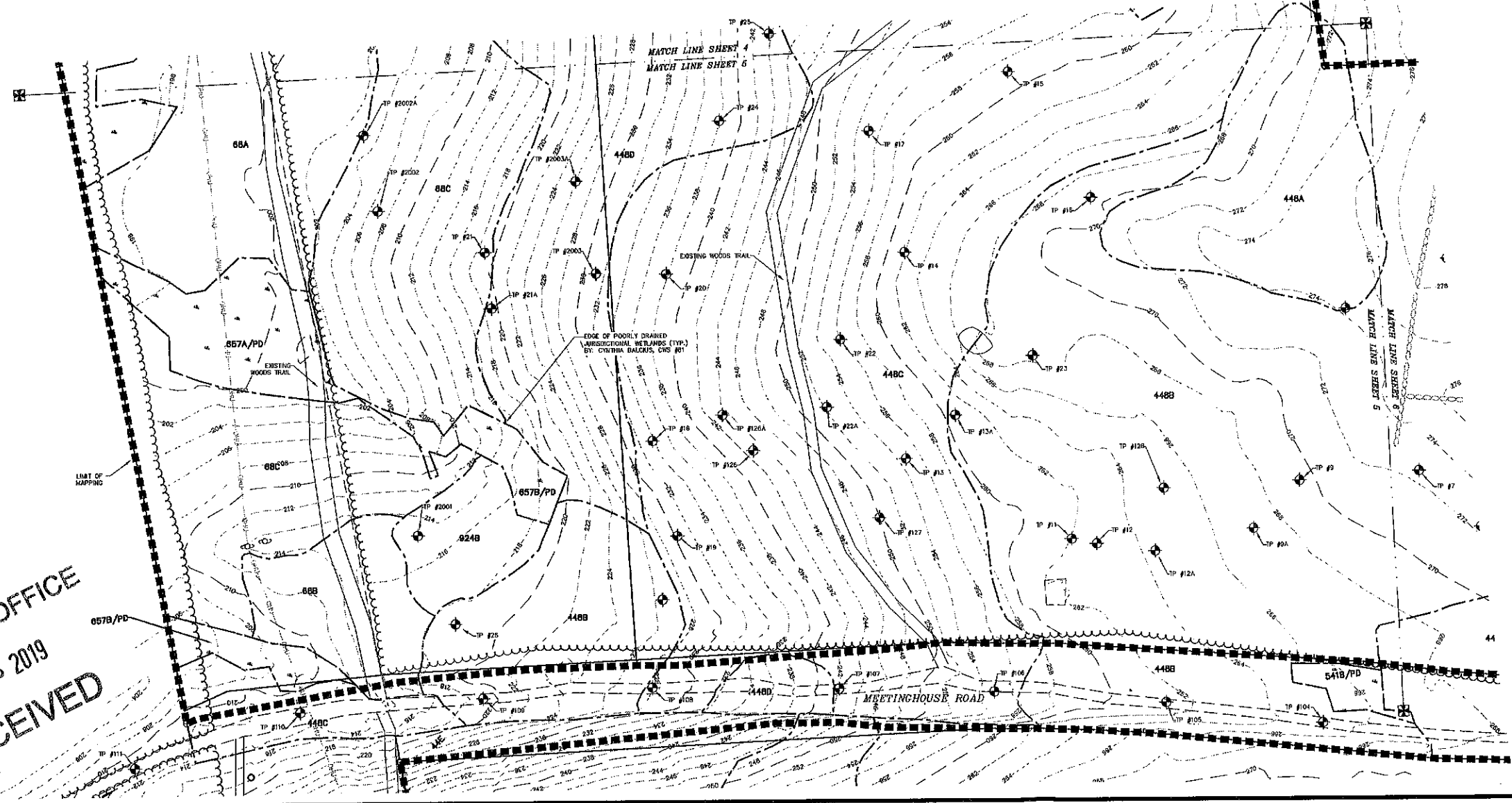
- LEGEND:
- IRON PIPE ~FND~
 - ⊙ IRON BOUND ~FND OR TBS~
 - ⊗ DRILL HOLE ~FND OR TBS~
 - ⊕ GRANITE BOUND ~FND OR TBS~
 - ⊖ UTILITY POLE/GUY WRE
 - ⊙ TEST HOLE
 - ⊙ TEMPORARY BENCHMARK
 - STONE WALL
 - WETLAND LINE
 - 50' POORLY DRAINED WETLAND BUFFER
 - EXISTING CONTOUR MINOR
 - EXISTING CONTOUR MAJOR
 - MATCH LINE/MATCH POINT
 - SOIL LINE
 - LIMIT OF SOIL SURVEY
 - 448A SOIL SERIES STRAFFORD COUNTY REGISTRY OF DEEDS
 - TYP. TYPICAL
 - FND FOUND
 - TBA TO BE ABANDONED



FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

LAND USE OFFICE
MAY 23 2019
RECEIVED



SOILS LEGEND		
SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP
68A	SUTTON SANDY LOAM	B/3
68E	SUTTON SANDY LOAM	B/3
68C	SUTTON SANDY LOAM	B/3
68D	SUTTON SANDY LOAM	B/3
68E	SUTTON SANDY LOAM	B/3
448A	SCITUATE FINE SANDY LOAM	C/3
448B	SCITUATE FINE SANDY LOAM	C/3
448C	SCITUATE FINE SANDY LOAM	C/3
448D	SCITUATE FINE SANDY LOAM	C/3
924B	SUTTON VARIANT	D/4
826B	RIDGEBURY SANDY LOAM	D/4
514B/PD	LEICESTER SANDY LOAM	C/5
657A/PD	RIDGEBURY SANDY LOAM	C/5
657B/PD	RIDGEBURY SANDY LOAM	C/5
657C/PD	RIDGEBURY SANDY LOAM	C/5
657D/PD	RIDGEBURY SANDY LOAM	C/5

SLOPES: 0-3% A 3-8% B 8-15% C 15-25% D 25%-50% E
 DENOMINATOR: /PD = POORLY DRAINED

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL, LLC IN JULY OF 2017 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.M. VASILAS, G.W. HURT, AND G.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEHPCO WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL), U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-411-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEAST AND NORTHWEST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, FWS/OBS-79/31.

STONEY RIDGE ENVIRONMENTAL, LLC.
 CYNTHIA BALCIUS, CWS #61

STONEY RIDGE ENVIRONMENTAL, LLC.
 CYNTHIA BALCIUS, CSS #84

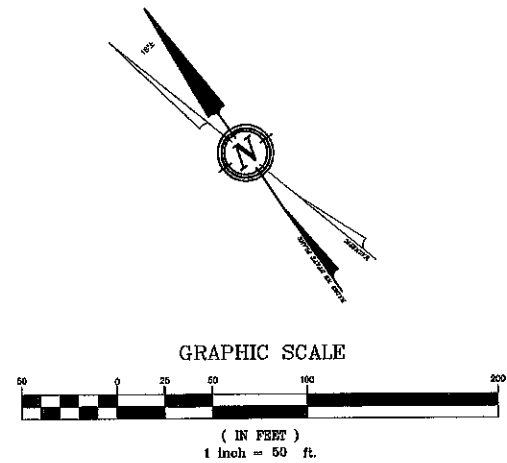
NOTES:

- 1.) OWNER: A.) DONETTA HALEY
 PO BOX 367
 BARRINGTON, NH 03825
- 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
 139 STAGE ROAD
 HAMPSHIRE, NH 03841
- 2.) TOWN OF BARRINGTON: TAX MAP 234, LOT 31
 TAX MAP 234, LOT 31-4
 MEETINGHOUSE ROAD, CLASS M ROAD
- 3.) LOT AREA: 737,679 Sq.Ft., 16.93 Ac.
 458,054 Sq.Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 426, PAGE 685
 BOOK 4536, PAGE 849
 STATE OF NH ARCHIVES BOOK 1, PAGE 383
- 5.) ZONING: OR / GENERAL RESIDENTIAL.
 SETBACKS:
 FRONTAGE ~ 200.0'
 MINIMUM LOT SIZE ~ 80,000 SQ. FT.
 FRONT SETBACK ~ 40.0'
 REAR SETBACK ~ 30.0'
 SIDE SETBACK ~ 30.0'
 WETLAND SETBACK ~ 50.0' IF OVER 3,000 SQ. FT.
 MAX. BUILDING HEIGHT ~ 35.0'
 MAX. LOT COVERAGE ~ 40%
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330178, MAP# - 33017C02850, DATED: MAY 17, 2005.
- 7.) VERTICAL DATUM BASED ON USGS NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO REPRESENT THE SITE SPECIFIC SOILS ON TAX MAP 234, LOTS 31 & 31-4, AS DETERMINED BY STONEY RIDGE ENVIRONMENTAL, LLC.
- 9.) THE CURRENT USE OF THE PROPERTY IS VACANT LAND. ALL PROPOSED LOTS WILL BE FOR RESIDENTIAL SINGLE FAMILY HOMES WITH ON SITE WELLS AND SEPTIC SYSTEMS.
- 10.) THERE WERE NO CEMETERIES OBSERVED ON ANY PARCEL WHEN THE FIELD WORK WAS TAKING PLACE.



LEGEND:

○	IRON PIPE ~FND~
⊙	IRON BOUND ~FND OR TBS~
⊕	DRILL HOLE ~FND OR TBS~
⊗	GRANITE BOUND ~FND OR TBS~
⊘	UTILITY POLE/GUY WIRE
⊙	TEST HOLE
⊙	TEMPORARY BENCHMARK
—	STONE WALL
—	WETLAND LINE
—	50' POORLY DRAINED WETLAND BUFFER
—	EXISTING CONTOUR MINOR
—	EXISTING CONTOUR MAJOR
—	MATCH LINE/MATCH POINT
—	SOIL LINE
—	LIMIT OF SOIL SURVEY
—	448A SOIL SERIES
—	S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
—	TYP. TYPICAL
—	FND FOUND
—	TBA TO BE ABANDONED



FOR TOWN APPROVAL PURPOSES:

THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

LAND USE OFFICE
 MAY 23 2019
 RECEIVED

REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

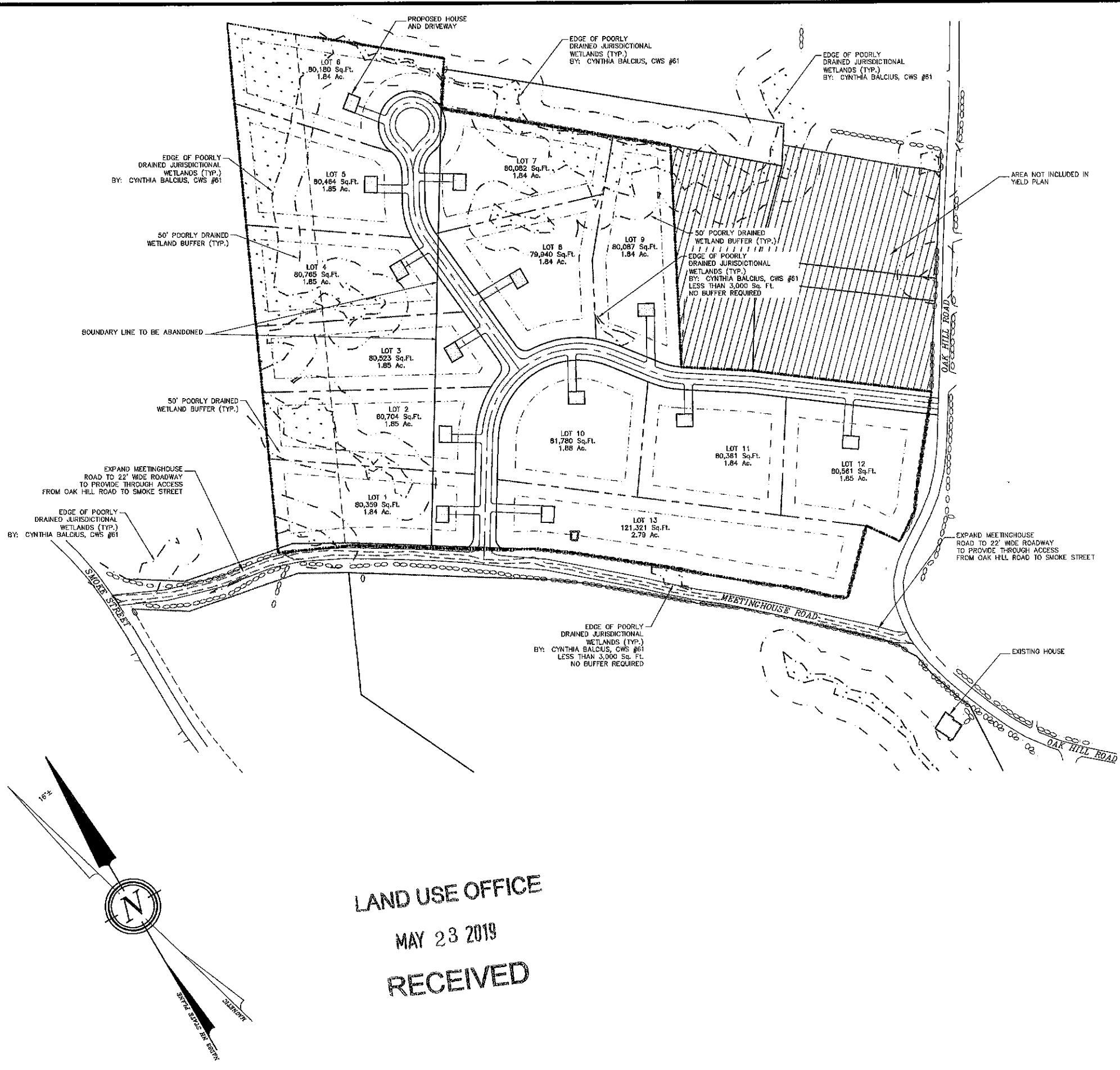
SITE SPECIFIC SOILS MAP SOUTHEAST
 LAND OF
 DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE: 1 IN. EQUALS 50 FT.
 DATE: MARCH 12, 2019
 FILE NO.: DB 2017 - 052

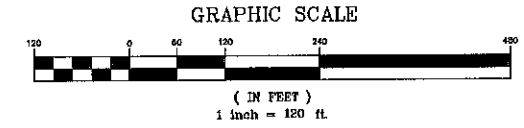
FOR TOWN APPROVAL PURPOSES:

KENNETH A. BERRY
 LICENSED PROFESSIONAL ENGINEER

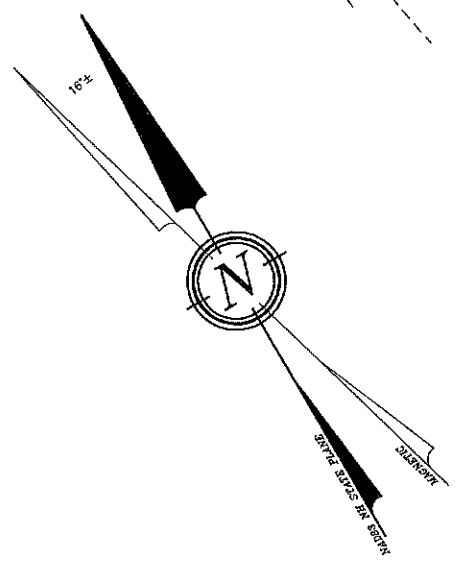
SHEET 6 OF 39



- NOTES:**
- 1.) OWNER: DONETTA HALEY
PO BOX 367
BARRINGTON, NH 03825
 - 2.) TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS VI ROAD
 - 3.) LOT AREA: 738,342 Sq. Ft., 16.95 Ac.
479,160 Sq. Ft., 11.00 Ac.
 - 4.) S.C.R.D. BOOK 4295, PAGE 685
BOOK 4535, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
 - 5.) ZONING: GR / GENERAL RESIDENTIAL
FRONTAGE ~ 200.0'
MINIMUM LOT SIZE ~ 80,000 Sq. Ft.
FRONT SETBACK ~ 40.0'
REAR SETBACK ~ 30.0'
SIDE SETBACK ~ 30.0'
WETLAND SETBACK ~ 50.0' IF OVER 3,000 Sq. Ft.
MAX. BUILDING HEIGHT ~ 35.0'
MAX. LOT COVERAGE ~ 40%
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# -330178, MAP# - 3301702850, DATED: MAY 17, 2005.
 - 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE YIELD PLAN OF TAX MAP 234, LOTS 31 & 31-4, LOCATED IN BARRINGTON, N.H., AS OF THE DATE OF THIS PLAN
 - 9.) THE CURRENT USE OF THE PROPERTY IS VACANT LAND. ALL PROPOSED LOTS WILL BE FOR RESIDENTIAL SINGLE FAMILY HOMES WITH ON SITE WELLS AND SEPTIC SYSTEMS.
 - 10.) THERE WERE NO CEMETERIES OBSERVED ON ANY PARCEL WHEN THE FIELD WORK WAS TAKING PLACE.



- LEGEND:**
- EXTERIOR BOUNDARY LINE
 - PROPOSED BOUNDARY LINE
 - BOUNDARY LINE TO BE ABANDONED
 - BUILDING SETBACK LINE
 - POORLY DRAINED JURISDICTIONAL WETLAND LINE
 - 50' POORLY DRAINED WETLAND BUFFER
 - EXISTING EASEMENT LINE
 - STONE WALL
 - STONE WALL REMAINS
 - STRAFFORD COUNTY REGISTRY OF DEEDS
 - S.C.R.D.
 - TYP.
 - FND
 - FOUND

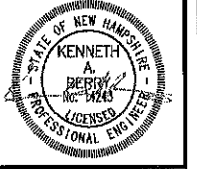


LAND USE OFFICE
MAY 23 2019
RECEIVED

REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

YIELD PLAN
OF
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 120 FT.
DATE : MARCH 12, 2019
FILE NO. : DB 2017 - 052



FOR TOWN APPROVAL PURPOSES :

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

LEGEND:

- 3/4" REBAR W/ D CAP ~TBS~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- CHISEL INTO STONE
- IRON BOUND ~FND~
- UTILITY POLE / GUY WIRE
- APPROXIMATE ABUTTING PROPERTY LINE
- PROPOSED BOUNDARY LINE
- STONE WALL
- BUILDING SETBACK LINE
- POORLY DRAINED JURISDICTIONAL WETLANDS
- 50' WETLAND BUFFER
- EXISTING EASEMENT
- BOUNDARY LINE ~TBA~
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYPICAL FOUND

N/F PASI MENDEL FAMILY REVOCABLE TRUST OF 2013
PAUL J. & SUZANNE W. MCNEIL
82 MUCHADO DRIVE
BARRINGTON, NH 03825
BOOK 4176, PAGE 439
TAX MAP 234, LOT 39

STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN AUGUST OF 2016 UTILIZING THE FOLLOWING STANDARDS:

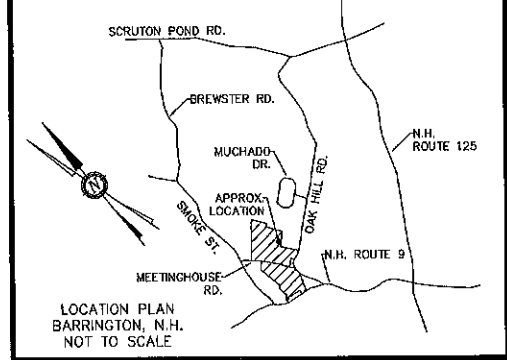
- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEWPC WETLANDS WORKGROUP, WILMINGTON, MA 01897.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER. 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONELRON 2014-41:1-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION. JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS. ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. DECEMBER 1975. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

PLAN REFERENCES:

- 1.) "SUBDIVISION PLAN, PROPOSED SUBDIVISION, LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31" BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-016 ALSO ON FILE AT THIS OFFICE
- 2.) "LOT LINE REVISION OVERVIEW, PROPOSED LOT LINE REVISION, LAND OF DONETTA HALEY & PAUL J. & SUZANNE W. MCNEIL, P&S MCNEIL FAMILY REVOCABLE TRUST, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31 & 38" BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-012 ALSO ON FILE AT THIS OFFICE
- 3.) "REVISED BOUNDARY PLAN, PATRICK P. LAVOIE AND WALDRON B. HALEY, BARRINGTON, NH." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1985 S.C.R.D. PLAN #28-74
- 4.) "REVISED BOUNDARY PLAN WALDRON B HALEY, BARRINGTON N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MARCH 1984 S.C.R.D. PLAN #22-140
- 5.) "PLAN OF LAND DONALD M. MOODIE, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1983 S.C.R.D. PLAN #22-141
- 6.) "REVISED BOUNDARY PLAN PATRICK LAVOIE, DOUGLAS CAMPBELL, STEVEN LENZI, BRIAN LENZI, BARRINGTON N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: SEPTEMBER 1986 S.C.R.D. PLAN #64-19

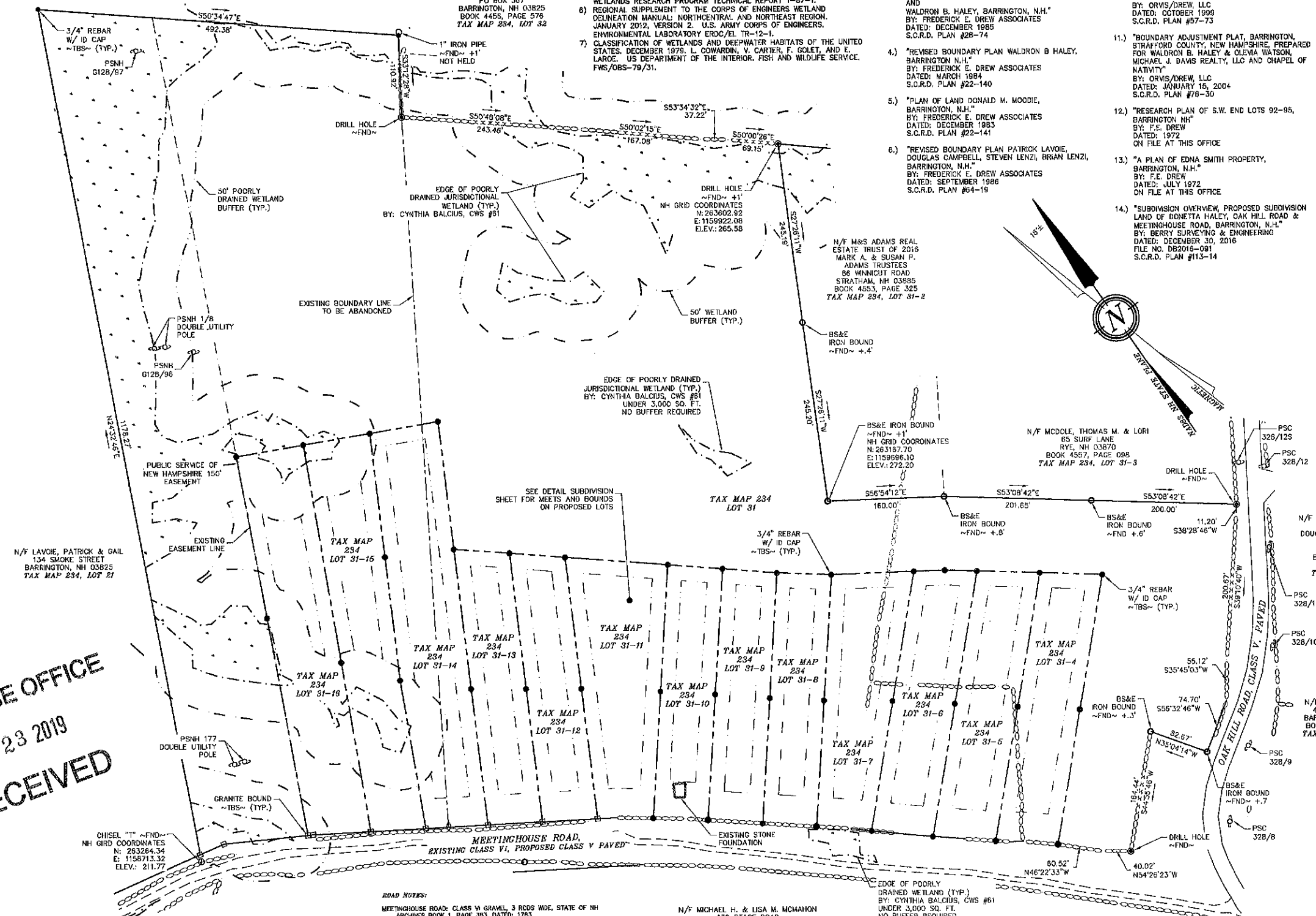
PLAN REFERENCES CONT:

- 7.) "REVISED BOUNDARY PLAN WALDRON B. HALEY BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MAY 1985 S.C.R.D. PLAN #28-4
- 8.) "FINAL PLAN ROWELL & NEDMANN SUBDIVISION, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: AUGUST 1974 S.C.R.D. PLAN #34, POCKET #9, FOLDER #3
- 9.) "REVISED BOUNDARY PLAN AND LOTS 18, 19, AND 20, ROWELL SUBDIVISION" BY: FREDERICK E. DREW ASSOCIATES DATED: JUNE 1977 S.C.R.D. PLAN #17A-165
- 10.) "SUBDIVISION PLAN WALDRON B. HALEY & OLEVA WATSON" BY: ORVIS/DREW, LLC DATED: OCTOBER 1999 S.C.R.D. PLAN #57-73
- 11.) "BOUNDARY ADJUSTMENT PLAT, BARRINGTON, STRAFFORD COUNTY, NEW HAMPSHIRE, PREPARED FOR WALDRON B. HALEY & OLEVA WATSON MICHAEL J. DAVIS REALTY, LLC AND CHAPEL OF NATIVITY" BY: ORVIS/DREW, LLC DATED: JANUARY 16, 2004 S.C.R.D. PLAN #76-30
- 12.) "RESEARCH PLAN OF S.W. END LOTS 92-95, BARRINGTON NH" BY: F.E. DREW DATED: 1972 ON FILE AT THIS OFFICE
- 13.) "A PLAN OF EDNA SMITH PROPERTY, BARRINGTON, N.H." BY: F.E. DREW DATED: JULY 1972 ON FILE AT THIS OFFICE
- 14.) "SUBDIVISION OVERVIEW PROPOSED SUBDIVISION LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, N.H." BY: BERRY SURVEYING & ENGINEERING DATED: DECEMBER 30, 2016 FILE NO. DB2016-081 S.C.R.D. PLAN #113-14



NOTES:

- 1.) OWNER: DONETTA HALEY PO BOX 367 BARRINGTON, NH 03825
- 1A.) APPLICANT: MICHAEL H. & LISA M. McMAHON 139 STAGE ROAD HAMPSSTEAD, NH 03841
- 2.) TAX MAP 234, LOT 31 TAX MAP 234, LOT 31-4
- 3.) LOT AREA: 737,679 Sq.Ft., 16.93 Ac. 456,054 Sq.Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 4286, PAGE 686 BOOK 4536, PAGE 849
- 5.) ZONING: GR / GENERAL RESIDENTIAL FRONTAGE ~ 200.0' MINIMUM LOT SIZE ~ 80,000 Sq. Ft. FRONT SETBACK ~ 40.0' REAR SETBACK ~ 30.0' SIDE SETBACK ~ 30.0' WETLAND SETBACK ~ 50.0' IF OVER 3,000 Sq. Ft. MAX. BUILDING HEIGHT ~ 35.0' MAX. LOT COVERAGE ~ 40%
- OPEN SPACE CONSERVATION SUB MINIMUM LOT SIZE ~ 20,000 Sq. Ft. LOT WIDTH AT FRONT SETBACK ~ 75.0' FRONT SETBACK ~ 40.0' PER ZBA, CASE # 234-25-34-31.4-GR-Y-18-ZBA SIDE SETBACK ~ 20.0' REAR SETBACK ~ 20.0'
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY # -330178, MAP # -3301702850, DATED: MAY 17, 2005.
- 7.) VERTICAL DATUM BASED ON NAD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SEPTEMBER OF 2016, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 25,116.
- 9.) SEE DETAIL SUBDIVISION SHEET FOR ADDITIONAL NOTES.



N/F M&S ADAMS REAL ESTATE TRUST OF 2015
MARK A. & SUSAN P. ADAMS TRUSTEES
86 WINNACUT ROAD
STRATHAM, NH 03885
BOOK 4553, PAGE 325
TAX MAP 234, LOT 31-2

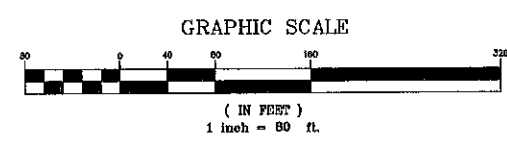
N/F MCCOLE, THOMAS M. & LORI
65 SURF LANE
RYE, NH 03870
BOOK 4557, PAGE 098
TAX MAP 234, LOT 31-3

N/F MARIE-ANDREE R. CLEARY
REVOCABLE TRUST
DOUGLAS S. & MARIE-ANDREE
R. CLEARY TRUSTEES
68 OAK HILL ROAD
BARRINGTON, NH 03825
BOOK 4397, PAGE 411
TAX MAP 234, LOT 66

DONETTA HALEY, OWNER

FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPT ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000-

KENNETH A. BERRY L.L.S. 805 DATE

LAND USE OFFICE
MAY 23 2019
RECEIVED

N/F PUBLIC SERVICE CO OF NH
PO BOX 270
HARTFORD, CT 06141-270
S.C.R.D. BOOK 3853, PAGE 530
TAX MAP 234, LOT 23

ROAD NOTES:
MEETINGHOUSE ROAD: CLASS VI GRAVEL, 3 RDS WIDE, STATE OF NH ARCHIVES BOOK 1, PAGE 283, DATED: 1763
MEETINGHOUSE ROAD: 4 ROAD LAYOUT BY STATUTE VOL. 14, P 143 & VOL. 9, P 237
OAK HILL ROAD: CLASS V PAVED, 3 RDS WIDE, STATE OF NH ARCHIVES BOOK 1, PAGE 401 DATED: 1765

N/F MICHAEL H. & LISA M. McMAHON
139 STAGE ROAD
HAMPSSTEAD, NH 03841
S.C.R.D. BOOK 3853, PAGE 530
TAX MAP 234, LOT 25

REVISIONS PER DB&K COMMENT	DATE	DESCRIPTION
#1	5-14-19	

OPEN SPACE CONSERVATION SUBDIVISION
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: 1 IN. EQUALS 80 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

KENNETH A. BERRY L.L.S. 805
DATE

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN AUGUST OF 2016 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.W. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEWPPC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEL HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014. THE NATIONAL WETLAND PLANT LIST, 2014. UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-411-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

PLAN REFERENCES CONTY:

- 10.) "SUBDIVISION PLAN WALDRON B. HALEY & OLEVA WATSON" BY: ORVIS/DREW, LLC DATED: OCTOBER 1999 S.C.R.D. PLAN #57-73
- 11.) "BOUNDARY ADJUSTMENT PLAT, BARRINGTON, STRAFFORD COUNTY, NEW HAMPSHIRE, PREPARED FOR WALDRON B. HALEY & OLEVA WATSON, MICHAEL J. DAVIS REALTY, LLC AND CHAPEL OF MATIVITY" BY: ORVIS/DREW, LLC DATED: JANUARY 15, 2004 S.C.R.D. PLAN #76-30
- 12.) "RESEARCH PLAN OF S.W. END LOTS 92-95, BARRINGTON, NH" BY: F.E. DREW DATED: 1972 ON FILE AT THIS OFFICE
- 13.) "A PLAN OF EDNA SMITH PROPERTY, BARRINGTON, N.H." BY: F.E. DREW DATED: JULY 1972 ON FILE AT THIS OFFICE
- 14.) "SUBDIVISION OVERVIEW, PROPOSED SUBDIVISION LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, N.H." BY: BERRY SURVEYING & ENGINEERING DATED: DECEMBER 30, 2016 FILE NO. D92016-001 S.C.R.D. PLAN #113-14

PLAN REFERENCES:

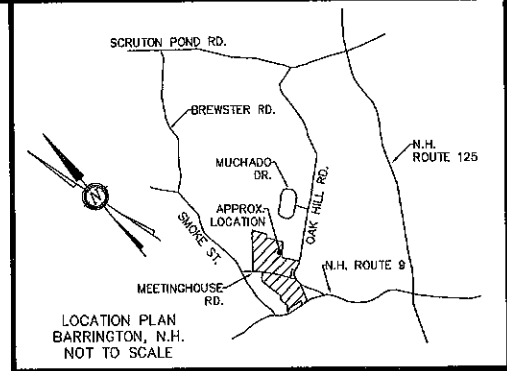
- 1.) "SUBDIVISION PLAN, PROPOSED SUBDIVISION, LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH." TAX MAP 234, LOT 31 BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-015 ALSO ON FILE AT THIS OFFICE
- 2.) "LOT LINE REVISION OVERVIEW, PROPOSED LOT LINE REVISION, LAND OF DONETTA HALEY & PAUL J. & SUZANNE W. MCNEIL, P&S MCNEIL FAMILY REVOCABLE TRUST, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31 & 3B" BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-012 ALSO ON FILE AT THIS OFFICE
- 3.) "REVISED BOUNDARY PLAN, PATRICK P. LAVOIE AND WALDRON B. HALEY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1985 S.C.R.D. PLAN #28-74
- 4.) "REVISED BOUNDARY PLAN WALDRON B. HALEY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MARCH 1984 S.C.R.D. PLAN #22-140
- 5.) "PLAN OF LAND DONALD M. MOODIE, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1983 S.C.R.D. PLAN #22-141
- 6.) "REVISED BOUNDARY PLAN PATRICK LAVOIE, DOUGLAS CAMPBELL, STEVEN LENZI, BRIAN LENZI, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: SEPTEMBER 1988 S.C.R.D. PLAN #64-19
- 7.) "REVISED BOUNDARY PLAN WALDRON B. HALEY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MAY 1985 S.C.R.D. PLAN #28-4
- 8.) "FINAL PLAN ROWELL & TIEDEMANN SUBDIVISION, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: AUGUST 1974 S.C.R.D. PLAN #34, POCKET #9, FOLDER #3
- 9.) "REVISED BOUNDARY PLAN AND LOTS 18, 19, AND 20, ROWELL SUBDIVISION" BY: FREDERICK E. DREW ASSOCIATES DATED: JUNE 1977 S.C.R.D. PLAN #7A-165

NOTES CONT.:

- 9.) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED OPEN SPACE SUBDIVISION OF TAX MAP 234, LOT 31 & 31-4, AS SHOWN, INTO 13 INDIVIDUAL LOTS WITH REMAINING OPEN SPACE. THIS SHEET WILL BE RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS. THE TOPOGRAPHIC SHEET AND SUPPORTING ENGINEERING SHEETS WILL BE ON RECORD AT THIS OFFICE AND THE TOWN OF BARRINGTON.
- 10.) IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- 11.) REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE'S SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- 12.) ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
- 13.) IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 14.) NHDES SUBDIVISION APPROVAL WILL BE REQUIRED FOR ALL 13 PROPOSED LOTS.
- 15.) NO PORTION OF ANY NEW DRIVEWAY MAY BE STEEPER THAN 10% GRADE.
- 16.) THERE WERE NO CEMETERIES OBSERVED ON THE PARCEL WHEN THE FIELD WORK WAS TAKING PLACE.
- 17.) THIS SUBDIVISION IS SUBJECT TO THE CLASS V UPGRADE REQUIREMENT OF MEETINGHOUSE ROAD. SEE ENGINEERING SHEETS.

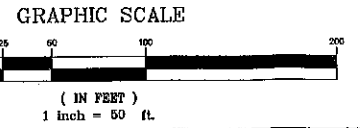
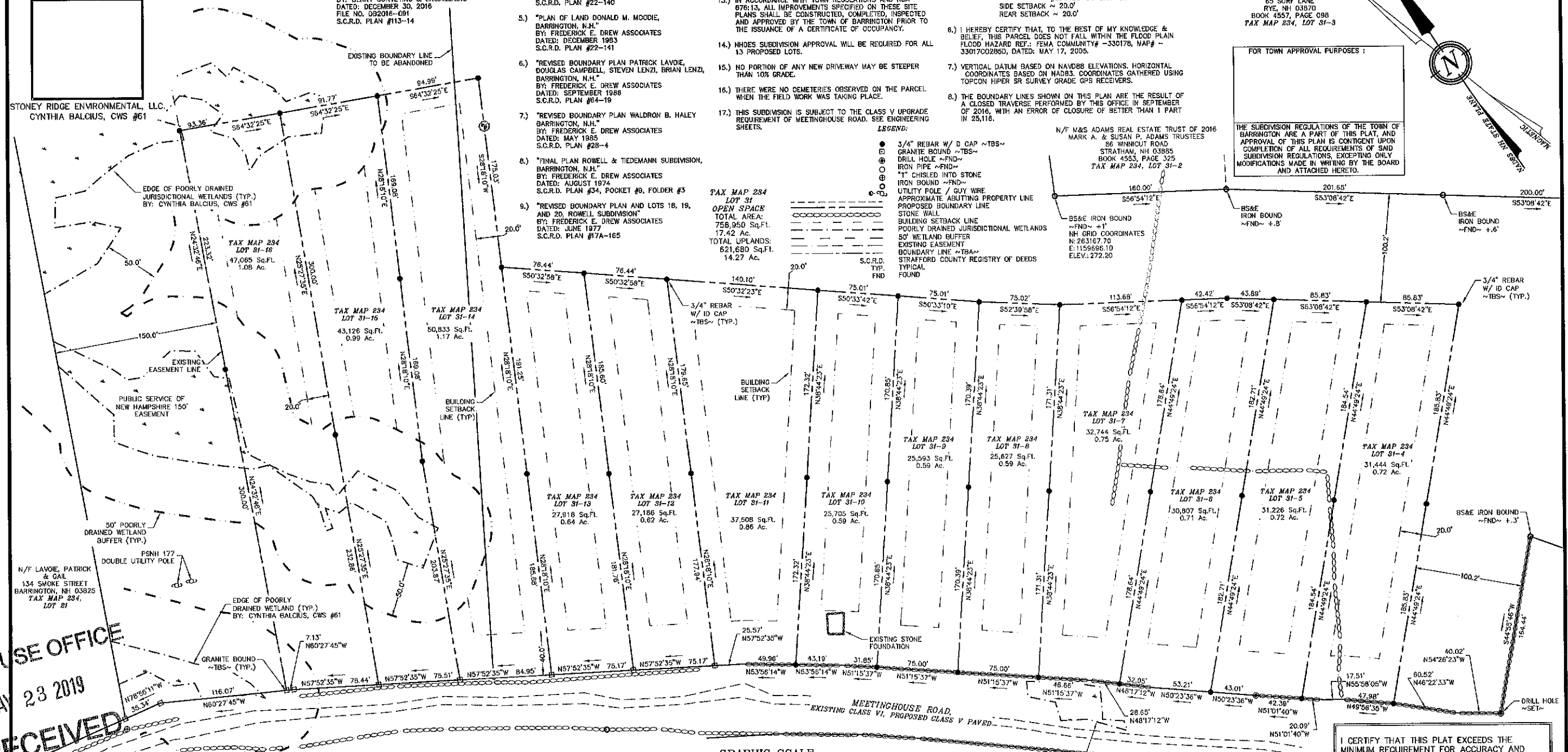
NOTES:

- 1.) OWNER: DONETTA HALEY PO BOX 367 BARRINGTON, NH 03825
 - 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON 139 STAGE ROAD HAMPSTEAD, NH 03841
 - 2.) TAX MAP 234, LOT 31 TAX MAP 234, LOT 31-4
 - 3.) LOT AREA: 737,879 Sq.Ft., 16.93 Ac. 458,054 Sq.Ft., 10.82 Ac.
 - 4.) S.C.R.D. BOOK 4296, PAGE 685 BOOK 4536, PAGE 649
 - 5.) ZONING: GR / GENERAL RESIDENTIAL FRONTAGE ~ 200.0' MINIMUM LOT SIZE ~ 80,000 Sq. Ft. FRONT SETBACK ~ 40.0' REAR SETBACK ~ 30.0' SIDE SETBACK ~ 30.0' WETLAND SETBACK ~ 50.0' IF OVER 3,000 Sq. Ft. MAX. BUILDING HEIGHT ~ 35.0' MAX. LOT COVERAGE ~ 40%
- OPEN SPACE CONSERVATION SUB MINIMUM LOT SIZE ~ 20,000 Sq. Ft. LOT WIDTH AT FRONT SETBACK ~ 75.0' FRONT SETBACK ~ 40.0' PER ZBA, CASE #234-25-34-31.4-GR-V-18-ZBA SIDE SETBACK ~ 20.0' REAR SETBACK ~ 20.0'
- N/F M&S ADAMS REAL ESTATE TRUST OF 2016 MARK A. & SUSAN P. ADAMS TRUSTEES 26 WINDOUT ROAD STRAFFORD, NH 03885 BOOK 4553, PAGE 325 TAX MAP 234, LOT 31-2
- N/F MIDDLE, THOMAS M. & LORI 65 SURF LANE RYE, NH 03870 BOOK 4557, PAGE 098 TAX MAP 234, LOT 31-3
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# -330178, MAP# -33017002850, DATED: MAY 17, 2005.
 - 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SEPTEMBER OF 2016, WITH AN ERROR OF BETTER THAN 1 PART IN 25,118.



FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAT IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



LAND USE OFFICE
MAY 23 2019
RECEIVED

ROAD NOTES:
MEETINGHOUSE ROAD, 3 RODS WIDE, STATE OF NH ARCHIVES BOOK 1, PAGE 383, DATED: 1763
OAK HILL ROAD, 3 RODS WIDE, STATE OF NH ARCHIVES BOOK 1, PAGE 401 DATED: 1765

N/F MCMAHON, MICHAEL H. & LISA M.
139 STAGE ROAD
HAMPSTEAD, NH 03841
BOOK 4457, PAGE 985
TAX MAP 234, LOT 25

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. --1:10,000--
KENNETH A. BERRY L.L.S. 805 DATE

#1	REVISION	DATE	DESCRIPTION
	5-14-19		REVISIONS PER DB&K COMMENT

DETAIL
OPEN SPACE CONSERVATION SUBDIVISION
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 50 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

SHEET 10 OF 39

SOIL DATA:

- H&C ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAM, 8 TO 16% SLOPES
- SuB ~ SUTTON VERY STONY FINE SANDY LOAM, 0 TO 8% SLOPES
- LrA ~ LEICESTER-RIDGEBURY VERY STONY FINE SANDY LOAMS, 0 TO 3% SLOPES
- CaE ~ GLOUCESTER VERY STONY FINE SANDY LOAM, 25 TO 60% SLOPES
- CaC ~ GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
- Sb ~ SAUGATUCK LOAMY SAND
- W&D ~ WINDSOR LOAMY SAND, 3-8% SLOPES

SEE USDA/ NRCS WEBSOIL SURVEY

LEGEND:

- 3/4" REBAR W/ D CAP ~TBS~
- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- "I" CHISEL INTO STONE
- IRON BOUND ~FND~
- UTILITY POLE / GUY WIRE
- APPROXIMATE ABUTTING PROPERTY LINE
- PROPOSED BOUNDARY LINE
- STONE WALL
- BUILDING SETBACK LINE
- POORLY DRAINED JURISDICTIONAL WETLANDS
- 50' WETLAND BUFFER
- EXISTING EASEMENT
- BOUNDARY LINE ~TBA~
- NRCS SOIL LINE
- PROPOSED 4K LEACHING AREA

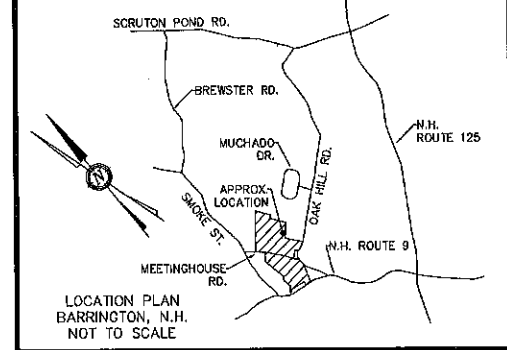
S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
TYP. TYPICAL
FND FOUND

PLAN REFERENCES:

- 1.) "SUBDIVISION PLAN, PROPOSED SUBDIVISION, LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31" BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-015 ALSO ON FILE AT THIS OFFICE
- 2.) "LOT LINE REVISION OVERVIEW, PROPOSED LOT LINE REVISION, LAND OF DONETTA HALEY & PAUL J. & SUZANNE W. MOHEL, P&S MOHEL FAMILY REVOCABLE TRUST, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31 & 38" BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-012 ALSO ON FILE AT THIS OFFICE
- 3.) "REVISED BOUNDARY PLAN, PATRICK P. LAVOIE AND WALDRON B. HALEY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1985 S.C.R.D. PLAN #28-74
- 4.) "REVISED BOUNDARY PLAN WALDRON B. HALEY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MARCH 1984 S.C.R.D. PLAN #22-140
- 5.) "PLAN OF LAND DONALD M. MOODIE, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1983 S.C.R.D. PLAN #22-141
- 6.) "REVISED BOUNDARY PLAN PATRICK LAVOIE, DOUGLAS CAMPBELL, STEVEN LENZI, BRIAN LENZI, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: SEPTEMBER 1988 S.C.R.D. PLAN #84-19

PLAN REFERENCES CONT:

- 7.) "REVISED BOUNDARY PLAN WALDRON B. HALEY BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MAY 1985 S.C.R.D. PLAN #28-4
- 8.) "FINAL PLAN ROWELL & TIEDEMANN SUBDIVISION, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: AUGUST 1974 S.C.R.D. PLAN #34, POCKET #9, FOLDER #3
- 9.) "REVISED BOUNDARY PLAN AND LOTS 18, 19, AND 20, ROWELL SUBDIVISION" BY: FREDERICK E. DREW ASSOCIATES DATED: JUNE 1977 S.C.R.D. PLAN #17A-165
- 10.) "SUBDIVISION PLAN WALDRON B. HALEY & OLEVA WATSON" BY: ORVIS/DREW, LLC DATED: OCTOBER 1999 S.C.R.D. PLAN #57-73
- 11.) "BOUNDARY ADJUSTMENT PLAT, BARRINGTON, STRAFFORD COUNTY, NEW HAMPSHIRE, PREPARED FOR WALDRON B. HALEY & OLEVA WATSON, MICHAEL J. DAVIS REALTY, LLC AND CHAPEL OF NATIVITY" BY: ORVIS/DREW, LLC DATED: JANUARY 15, 2004 S.C.R.D. PLAN #76-30
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- 13.) "A PLAN OF EDNA SMITH PROPERTY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: JULY 1972 ON FILE AT THIS OFFICE
- 14.) "SUBDIVISION OVERVIEW, PROPOSED SUBDIVISION LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, N.H." BY: BERRY SURVEYING & ENGINEERING DATED: DECEMBER 30, 2016 FILE NO. D32016-031 S.C.R.D. PLAN #113-14



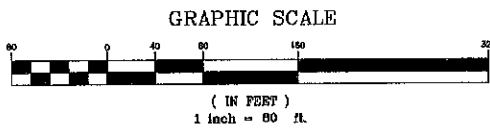
- NOTES:**
- 1.) OWNER: DONETTA HALEY
PO BOX 367
BARRINGTON, NH 03826
 - 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - 2.) TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
 - 3.) LOT AREA: 737,679 Sq.Ft., 16.93 Ac.
458,064 Sq.Ft., 10.52 Ac.
 - 4.) S.C.R.D. BOOK 4298, PAGE 665
BOOK 4535, PAGE 849
 - 5.) ZONING: GR / GENERAL RESIDENTIAL
FRONTAGE ~ 200.0'
MINIMUM LOT SIZE ~ 80,000 Sq. Ft.
FRONT SETBACK ~ 40.0'
REAR SETBACK ~ 30.0'
SIDE SETBACK ~ 30.0'
WETLAND SETBACK ~ 50.0' IF OVER 3,000 Sq. Ft.
MAX. BUILDING HEIGHT ~ 35.0'
MAX. LOT COVERAGE ~ 40%
 - OPEN SPACE CONSERVATION SUB
MINIMUM LOT SIZE ~ 20,000 Sq. Ft.
LOT WIDTH AT FRONT SETBACK ~ 75.0'
FRONT SETBACK ~ 40.0' PER ZBA, CASE
#234-25-34-31.4-GR-V-18-ZBA
SIDE SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330176, MAP# -33017602850, DATED: MAY 17, 2005.
 - 7.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SEPTEMBER OF 2016, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 25,116.
 - 9.) SEE DETAIL SUBDIVISION SHEET FOR ADDITIONAL NOTES. ALSO SEE COMPLETE PLAN SET FOR ADDITIONAL TEST PIT INFORMATION.

OVERVIEW TOPOGRAPHY

OPEN SPACE CONSERVATION SUBDIVISION
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

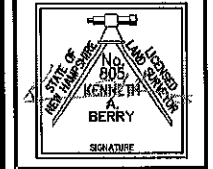
LAND USE OFFICE
MAY 23 2019
RECEIVED

FOR TOWN APPROVAL PURPOSES:
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000
KENNETH A. BERRY L.L.S. 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: 1 IN. EQUALS 80 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052



JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN AUGUST OF 2016 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.M. VASLAK, G.W. HURTT, AND G.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEHPC WETLANDS WORKGROUP, WILMINGTON, MA 01897.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, OLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND DONAV, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BUTTERWICH, H.C. MELVIN, AND W.A. KIRCHNER. 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS.
- 5) PHYTOBENTON 2014-411-42.
- 6) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 7) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 8) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1970. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAJON. US DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61

LEGEND:

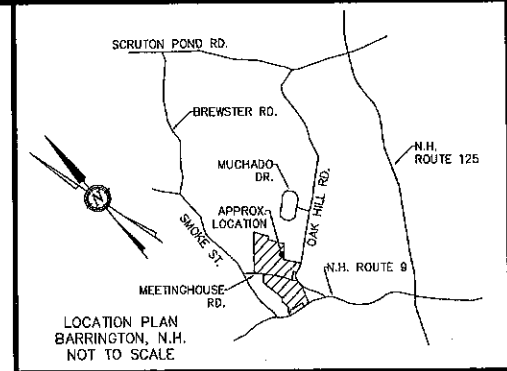
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- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- "T" CHISELED INTO STONE
- IRON BOUND ~FND~
- UTILITY POLE / GUY WIRE
- APPROXIMATE ABUTTING PROPERTY LINE
- PROPOSED BOUNDARY LINE
- STONE WALL
- BUILDING SETBACK LINE
- POORLY DRAINED JURISDICTIONAL WETLANDS
- 50' WETLAND BUFFER
- EXISTING EASEMENT
- BOUNDARY LINE ~TBA~
- NRCS SOIL LINE
- PROPOSED 4K LEACHING AREA
- S.C.R.D. TYP.
- STRAFFORD COUNTY REGISTRY OF DEEDS TYPICAL FOND

SOIL DATA:

- HdC ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAM, 8 TO 15% SLOPES
 - Sub ~ SUTTON VERY STONY FINE SANDY LOAM, 0 TO 8% SLOPES
 - LrA ~ LEICESTER-RIDGEBURY VERY STONY FINE SANDY LOAMS, 0 TO 3% SLOPES
 - GeZ ~ GLOUCESTER VERY STONY FINE SANDY LOAM, 25 TO 60% SLOPES
 - GsC ~ GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15% SLOPES
 - Sb ~ SAUGATUCK LOAMY SAND
 - WdB ~ WINDSOR LOAMY SAND, 3-8% SLOPES
- SEE USDA / NRCS WEBSOIL SURVEY

NOTES:

- 1.) OWNER: DONETTA HALEY
PO BOX 387
BARRINGTON, NH 03825
- 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
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- 2.) TAX MAP 234, LOT 31
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- 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN SEPTEMBER OF 2016, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 25,116.
- 9.) SEE COMPLETE PLAN SET FOR ADDITIONAL TEST PIT INFORMATION.

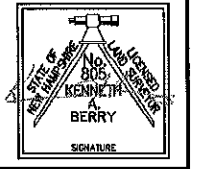


FOR TOWN APPROVAL PURPOSES:
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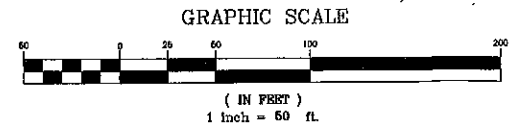
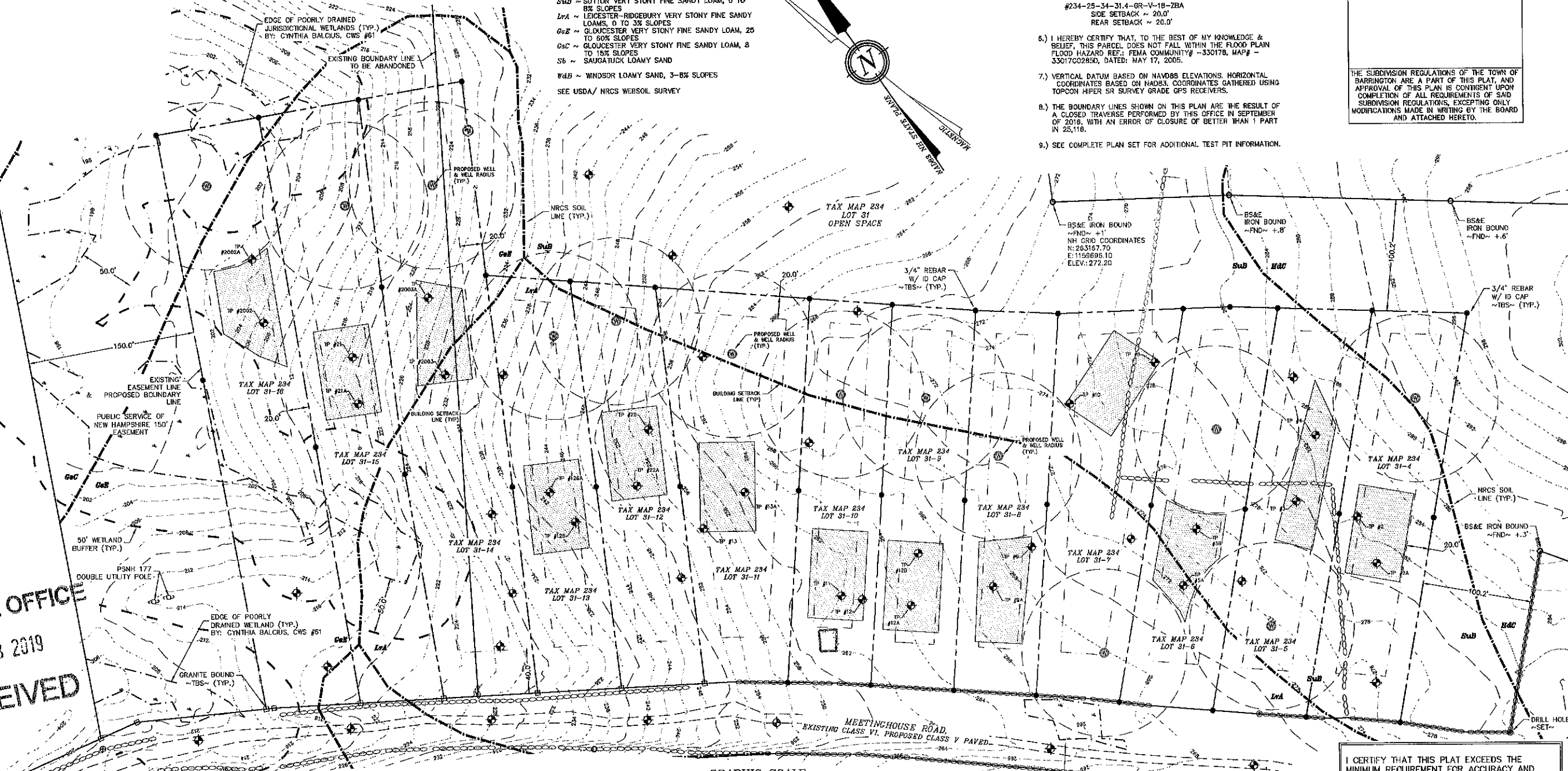
REVISIONS PER DB&K COMMENT	DATE	DESCRIPTION
#1	5-14-19	

DETAIL TOPOGRAPHY
OPEN SPACE CONSERVATION SUBDIVISION
LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 50 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052



LAND USE OFFICE
MAY 23 2019
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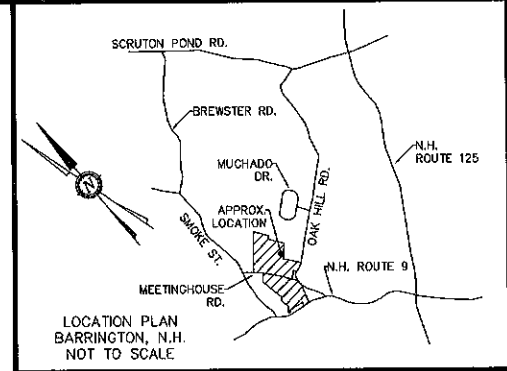
I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. -1:10,000-
KENNETH A. BERRY L.L.S. 805 DATE

PLAN REFERENCES:

- 1.) "SUBDIVISION PLAN, PROPOSED SUBDIVISION, LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31 BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-015 ALSO ON FILE AT THIS OFFICE
- 2.) "LOT LINE REVISION OVERVIEW, PROPOSED LOT LINE REVISION, LAND OF DONETTA HALEY & PAUL J. & SUZANNE W. MCNEIL, P&S MCNEIL FAMILY REVOCABLE TRUST, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, NH, TAX MAP 234, LOT 31 & 39" BY: BERRY SURVEY & ENGINEERING DATED: DECEMBER 30, 2016 S.C.R.D. PLAN #113-012 ALSO ON FILE AT THIS OFFICE
- 3.) "REVISED BOUNDARY PLAN, PATRICK P. LAVOIE AND WALDRON B. HALEY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1985 S.C.R.D. PLAN #28-74
- 4.) "REVISED BOUNDARY PLAN WALDRON B HALEY, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MARCH 1984 S.C.R.D. PLAN #22-140
- 5.) "PLAN OF LAND DONALD M. MOODIE, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: DECEMBER 1983 S.C.R.D. PLAN #22-141
- 6.) "REVISED BOUNDARY PLAN PATRICK LAVOIE, DOUGLAS CAMPBELL, STEVEN LENZI, BRIAN LENZI, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: SEPTEMBER 1986 S.C.R.D. PLAN #84-19
- 7.) "REVISED BOUNDARY PLAN WALDRON B. HALEY BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: MAY 1985 S.C.R.D. PLAN #28-4
- 8.) "FINAL PLAN ROWELL & TIEDEMANN SUBDIVISION, BARRINGTON, N.H." BY: FREDERICK E. DREW ASSOCIATES DATED: AUGUST 1974 S.C.R.D. PLAN #34, POCKET #9, FOLDER #3
- 9.) "REVISED BOUNDARY PLAN AND LOTS 18, 19, AND 20, ROWELL SUBDIVISION" BY: FREDERICK E. DREW ASSOCIATES DATED: JUNE 1977 S.C.R.D. PLAN #17A-165
- 10.) "SUBDIVISION PLAN WALDRON B. HALEY & OLEVIA WATSON" BY: ORVIS/DREW, LLC DATED: OCTOBER 1999 S.C.R.D. PLAN #57-73
- 11.) "BOUNDARY ADJUSTMENT PLAN, BARRINGTON, STRAFFORD COUNTY, NEW HAMPSHIRE, PREPARED FOR WALDRON B. HALEY & OLEVIA WATSON MICHAEL J. DAVIS REALTY, LLC AND CHAPEL OF NATIVITY" BY: ORVIS/DREW, LLC DATED: JANUARY 15, 2004 S.C.R.D. PLAN #75-30
- 12.) "RESEARCH PLAN OF S.W. END LOTS 92-95, BARRINGTON NH" BY: F.E. DREW DATED: 1972 ON FILE AT THIS OFFICE
- 13.) "A PLAN OF EDNA SMITH PROPERTY, BARRINGTON, N.H." BY: F.E. DREW DATED: JULY 1972 ON FILE AT THIS OFFICE
- 14.) "SUBDIVISION OVERVIEW, PROPOSED SUBDIVISION LAND OF DONETTA HALEY, OAK HILL ROAD & MEETINGHOUSE ROAD, BARRINGTON, N.H." BY: BERRY SURVEYING & ENGINEERING DATED: DECEMBER 30, 2016 FILE NO. 082016-091 S.C.R.D. PLAN #113-14

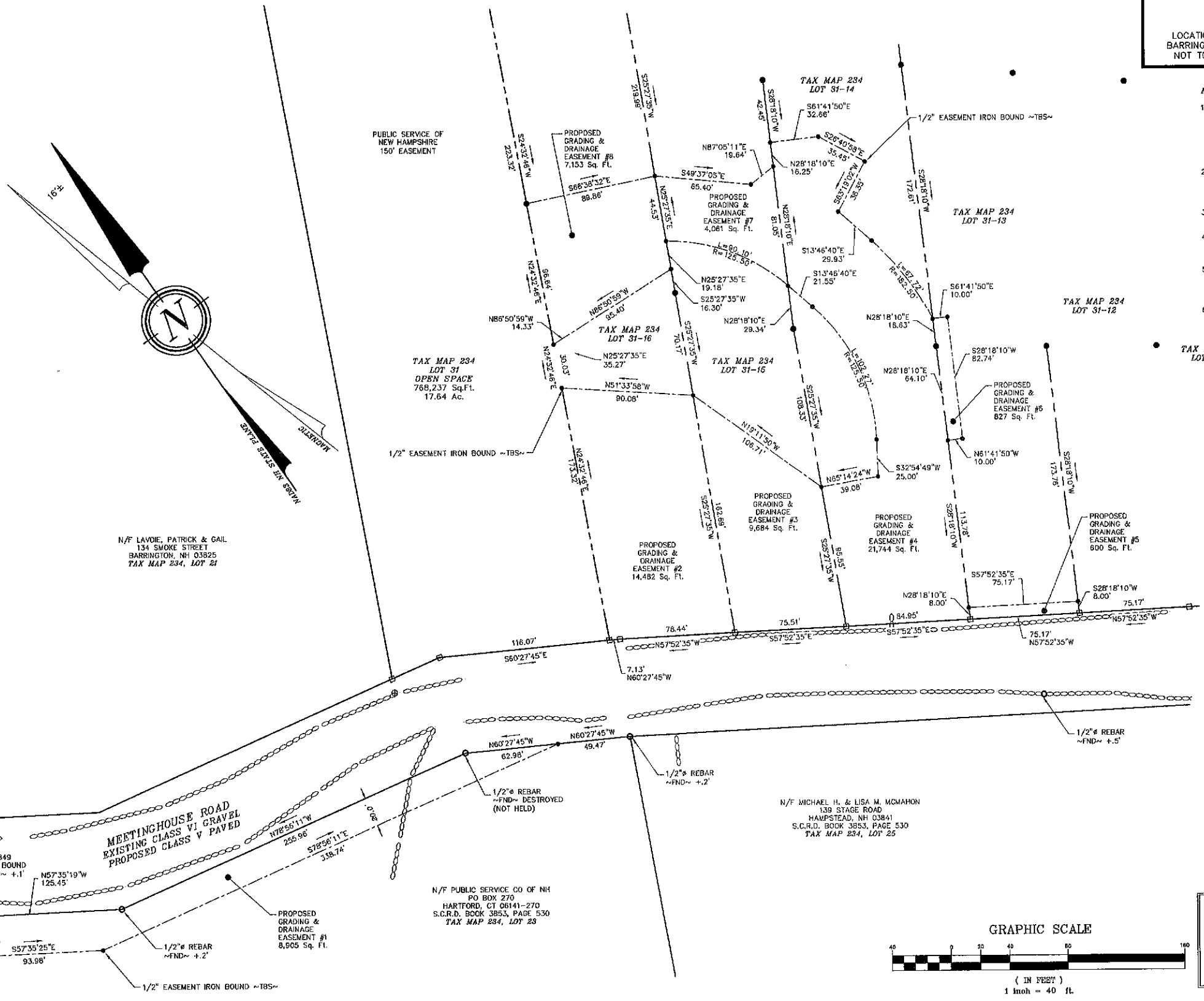
LEGEND:

- 1/2" EASEMENT IRON BOUND W/ID CAP ~TBS~
- 3/4" IRON BOUND W/ ID CAP ~TBS~
- ⊙ CHISEL "I" ~FND~
- ⊙ DRILL HOLE ~FND OR SET~
- ⊙ IRON BOUND ~FND~
- PROPOSED BOUNDARY LINE
- PROPOSED EASEMENT LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- TBS TO BE SET
- FND FOUND
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS



NOTES:

- 1.) OWNER: DONETTA HALEY PO BOX 367 BARRINGTON, NH 03825
- 2.) APPLICANT: MICHAEL H. & LISA M. MCMAHON 139 STAGE ROAD HAMPSTEAD, NH 0384
- 3.) TAX MAP 234, LOT 31 TAX MAP 234, LOT 31-4 MEETINGHOUSE ROAD, CLASS VI ROAD
- 4.) S.C.R.D. BOOK 4296, PAGE 685 BOOK 4536, PAGE 849 STATE OF NH ARCHIVES BOOK 1, PAGE 383
- 5.) THE INTENT OF THIS PLAN IS TO SHOW GRADING AND DRAINAGE EASEMENTS ASSOCIATED WITH THE GRADING OF MEETINGHOUSE ROAD, DRAINAGE STRUCTURES, AND THE SHARED DRIVEWAY. THIS SHEET WILL BE RECORDED.
- 6.) SEE SUBDIVISION SHEETS FOR MEETS & BOUNDS ON MEETINGHOUSE ROAD AND LOTS.



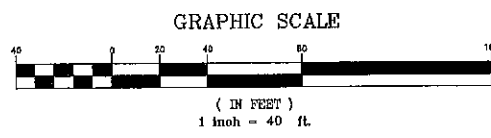
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MAY 23 2019
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FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF BARRINGTON, N.H. - 1:10,000 -

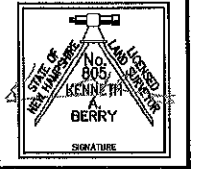
KENNETH A. BERRY LLS 805 DATE

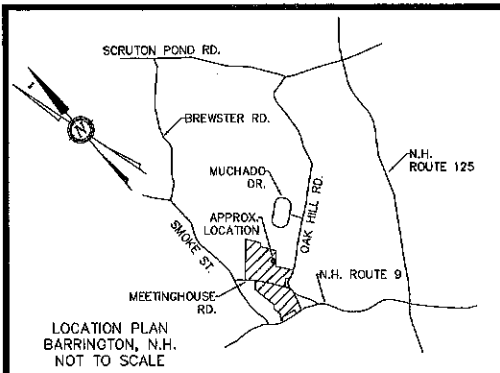


REVISIONS PER DB&K COMMENT	DATE	DESCRIPTION
#1	5-14-19	

GRADING & DRAINAGE EASEMENT PLAN
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 40 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052





- NOTES:**
- OWNER: DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - LOT AREA:
TAX MAP 234, LOT 25: 1,022,941 Sq. Ft., 23.48 Ac.
TAX MAP 234, LOT 31: 737,679 Sq. Ft., 16.93 Ac.
TAX MAP 234, LOT 31-4: 458,054 Sq. Ft., 10.52 Ac.
 - S.C.R.D.:
BOOK 4467, PAGE 985
BOOK 428, PAGE 885
BOOK 4536, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
 - THE INTENT OF THIS PLAN IS TO SHOW THE CONSTRUCTION PHASES FOR THE OPEN SPACE SUBDIVISION.
 - THE APPROXIMATE CALCULATED DISTURBANCES ARE DETERMINED FROM ROAD CONSTRUCTION, RAIN GARDEN CONSTRUCTION, AND SHARED DRIVEWAY CONSTRUCTION.

DISTURBANCE PER PHASE:

DURING ANY PHASE, NO MORE THAN 217,800 Sq. Ft. (5 Ac.) IS TO BE DISTURBED. DURING ANY PHASE, IF PREVIOUSLY DISTURBED LAND IS STABILIZED, ADDITIONAL LOTS ARE ALLOWED TO BE DISTURBED, PENDING TOTAL DISTURBED LAND REMAINS UNDER 217,800 Sq. Ft. (5 Ac.). SEE SHEET E-101 FOR THE DEFINITION OF STABLE.

PHASE 1:
DEVELOPMENT DISTURBANCE: 152,850 ± Sq. Ft., 3.51 Ac.

- CONSTRUCTION OF MEETINGHOUSE ROAD
- CONSTRUCTION OF DECELERATION LANE
- CONSTRUCTION OF RAIN GARDENS #101, #102, & #103

ORGANIZATION AND BORROW AREA TO BE ESTABLISHED ON TAX MAP 234, LOT 25-2 OF ± 1.25 ACRES IN AREA PROPOSED TO BE DISTURBED IN PROJECT 2. TOTAL DISTURBED LAND MUST REMAIN UNDER 217,800 Sq. Ft. (5 Ac.).

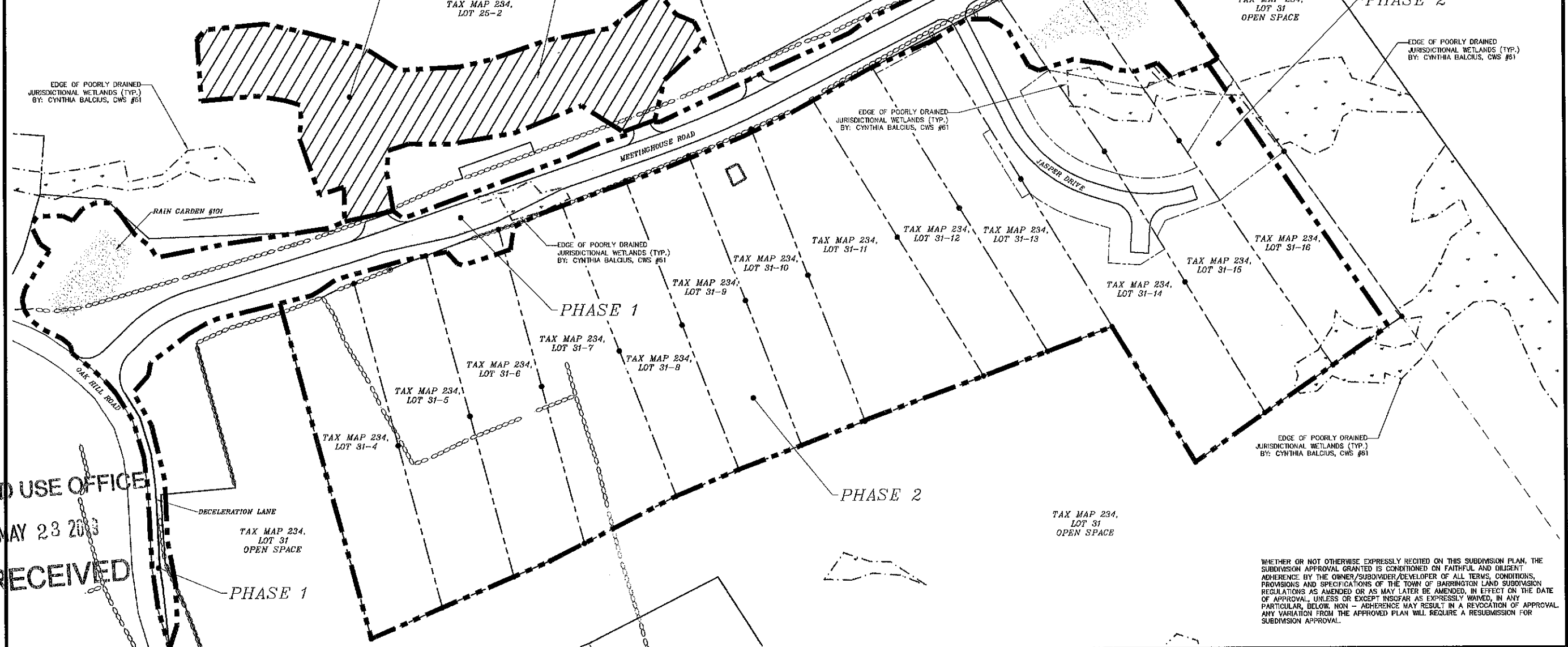
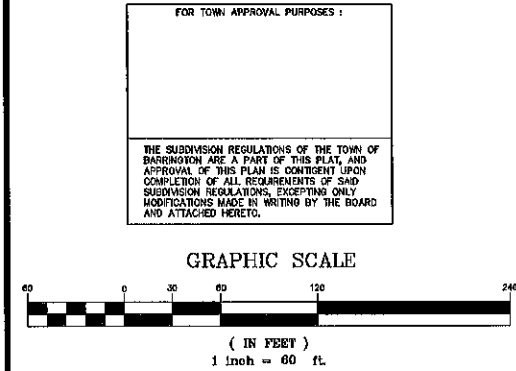
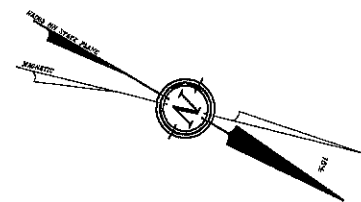
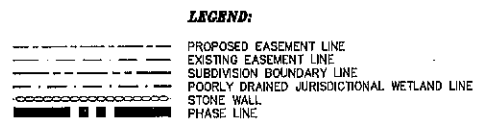
TOTAL DISTURBANCE INCLUDING ORGANIZATION AND BORROW AREA: 207,000 ± Sq. Ft., 4.75 Ac.

PHASE 2:

- DEVELOPMENT OF LOTS 31-4 - 31-16
- SHARED DRIVEWAY LOTS 31-14 - 31-16

ALL LOTS ARE ALLOWED TO BE OPENED DURING THIS PHASE, PENDING TOTAL DISTURBED LAND REMAINS UNDER 217,800 Sq. Ft. (5 Ac.).

PHASE 2 CAN BEGIN WHEN MEETINGHOUSE ROAD IS BUILT & STABILIZED, OR THE TOTAL DISTURBED LAND IS UNDER 217,800 Sq. Ft. (5 Ac.).

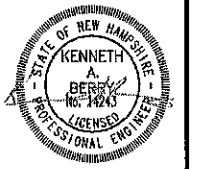


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REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

CONSTRUCTION PHASING PLAN
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: 1 IN. EQUALS 60 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052



WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE TOWN OF BARRINGTON LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

STANDARD CONSTRUCTION NOTES:

- 1.) OWNER: DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
- MICHAEL H. & LISA M. McMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
- 1A.) APPLICANT: MICHAEL H. & LISA M. McMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
- 2.) TAX MAP 234, LOT 20
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS V ROAD
- 3.) LOT AREA: 1,022,941 Sq. Ft., 23.48 Ac.
737,870 Sq. Ft., 16.93 Ac.
458,054 Sq. Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 4467, PAGE 965
BOOK 426, PAGE 885
BOOK 4536, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 363
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE OVERVIEW GRADING AND ENGINEERING DETAIL OF MEETINGHOUSE ROAD ALONG WITH THE GRADING AND DRAINAGE DETAIL OF TAX MAP 234, LOT 25.
- 6.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
- 7.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- 8.) AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE TOWN OF BARRINGTON UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
- 9.) TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN SUMMER 2017.
- 10.) DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN SUMMER 2018 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988.
- 11.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 12.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 13.) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND SEDIMENT AND EROSION CONTROLS.
- 14.) SEE SEDIMENT & EROSION CONTROL PLAN FOR INLET PROTECTION AND CONTROLS FOR THE ENTIRE SITE.
- 15.) THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- 16.) AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 17.) CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- 18.) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 19.) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE TOWN OF BARRINGTON.
- 20.) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603)-436-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- 21.) CONTRACTOR SHALL COORDINATE ALL CABLE AND TELECOMMUNICATIONS INSTALLATIONS WITH ATLANTIC BROADBAND AT (800) 852-1001.
- 22.) ALL NEW ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND WITH THE EXCEPTION OF PROPOSED DROP POLE.
- 23.) THE SUBDIVISION PARCELS WILL BE SERVED ON SITE WELL AND SEPTIC SYSTEMS.

STANDARD CONSTRUCTION NOTES CONT.:

- 24.) THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R)
- 25.) ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH [1] SHALL BE THERMOPLASTIC
- 26.) ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEEDED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.
- 27.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN AND STATE CODES. ALL ROAD AND DRAINAGE WORK TO CONFORM TO THE STANDARD SPECIFICATIONS FOR CONSTRUCTION IN THE TOWN OF BARRINGTON.
- 28.) PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DE-WATERED SUBGRADES, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE OVERDIGGING STORAGE WATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO ADEQUATE COMPACT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL MEETING THE ENGINEER'S SPECIFIC RECOMMENDED CRITERIA.
- 29.) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN TOWN R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- 30.) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
- 31.) BERMS ARE TO BE CONSTRUCTED WITH HIGH QUALITY CLAY OR LOAMY MATERIAL AND COMPACTED APPROPRIATELY. NO FROZEN MATERIALS ARE TO BE USED IN THE CONSTRUCTION OF ANY BERM ON SITE. TO BE REMOVED AND APPROVED BY THE TOWN OF BARRINGTON OR THEIR AGENTS.
- 32.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED AFTER COMPLETION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER AND AFTER A STORM EVENT GREATER THAN 0.25".
- 33.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 34.) ALL DRAINAGE PIPE IS TO BE HDPE N-12 ASTM F2648. (GREEN PIPE) INDIVIDUAL PIPE SIZES ARE SPECIFIED.
- 35.) UPON FINAL COMPLETION AND 65% STABILIZATION OF THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
- 36.) ALL BASINS AND DRAINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS.
- 37.) ALL PROPOSED CLEAN OUTS ARE TO BE VERTICAL 12" N-12 PIPE WITH CAST IRON COVERS SCREWED WITH STAINLESS STEEL. THE COVER IS TO BE DEMARCATED WITH A "D".
- 38.) ALL TREATMENT SWALE TO BE CONSTRUCTED SHALL HAVE 500 BOTTOMS UNLESS OTHERWISE INSTRUCTED BY THE DESIGN ENGINEER DURING CONSTRUCTION.
- 39.) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS, AS MAY BE APPLICABLE.
- 40.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND BARRINGTON TOWN STAFF SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 41.) BUILDING ADDRESSES SHALL BE DETERMINED BY THE BUILDING OFFICIAL.

STANDARD CONSTRUCTION NOTES CONT.:

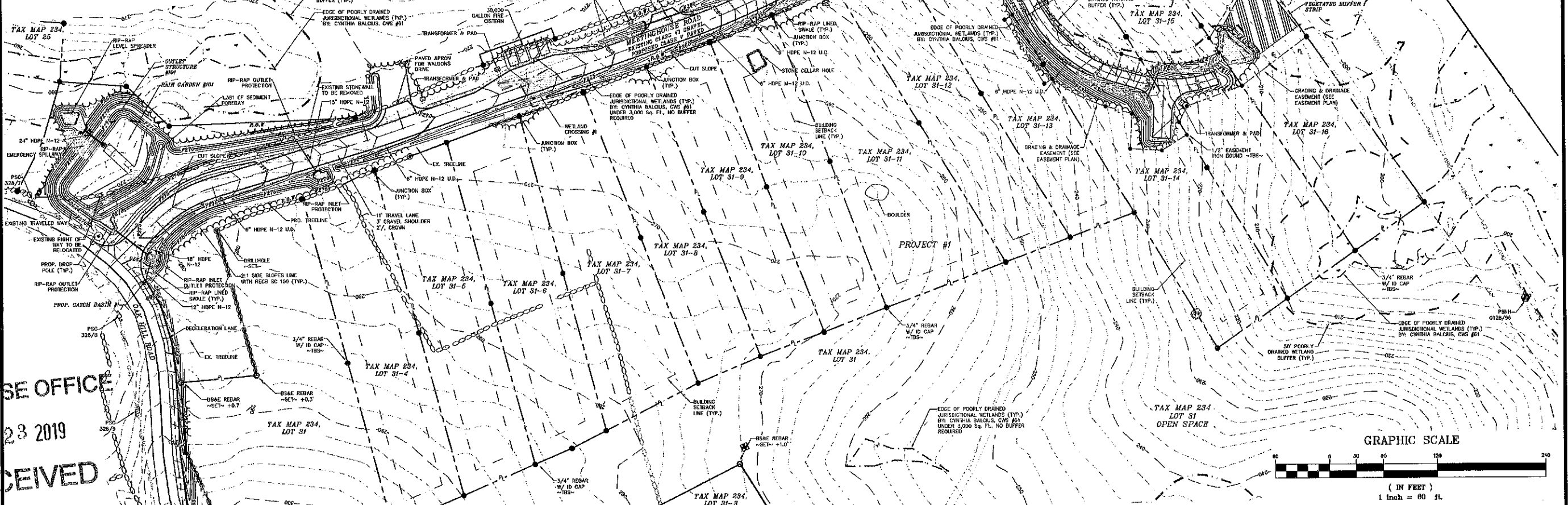
- 42.) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROJECT:
 - NHDES SUBDIVISION PERMIT: (PENDING)
 - NHDES WETLANDS IMPACT PERMIT: (PENDING)
 - NHDES ALTERATION OF TERRAIN PERMIT: (PENDING)
 - EPA NOTICE OF INTENT (NOI): (PENDING)
 - SELECTION TO UPDATE THE STATUS OF MEETINGHOUSE ROAD TO CLASS V: (PENDING)
- 43.) THIS SUBDIVISION PLAN PROPOSES APPROXIMATELY 175,100 SQ. FT. OF DISTURBANCE. THIS VALUE INCLUDES THE CONSTRUCTION OF MEETINGHOUSE ROAD, DECELERATION LANE, RAIN GARDENS #101, #102, & #103, AND THE SHARED DRIVEWAY FOR LOTS 31-14 - 31-15. PER COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE BY WRITING BY THE BOARD AND ATTACHED HERETO.
 - PHASE 1: CONSTRUCTION OF MEETINGHOUSE ROAD, DECELERATION LANE, RAIN GARDEN #101, #102, & #103.
 - PHASE 2: CONSTRUCTION OF SHARED DRIVEWAY FOR LOTS 31-14 - 31-15.
- 44.) SEE CONSTRUCTION PHASING PLAN (SHEET 14) FOR FURTHER BREAKDOWN OF PHASING AND DISTURBANCES INVOLVING EQUIPMENT ORGANIZATION AND MATERIAL BORROW AREA ON TAX MAP 234, LOT 25-2. THIS PARCEL IS INVOLVED IN PROJECT 2, AND THE AREA SPECIFIED IN THE CONSTRUCTION PHASING PLAN IS PROPOSED TO BE DISTURBED AS PART OF CONSTRUCTION.
- 45.) WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 46.) A MINIMUM OF 4" OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS.

WAIVERS:

MAXIMUM ROAD GRADE (12.2.1 TABLE 1):	PENDING
SHOULDER WIDTH (12.2.1, TABLE 1):	PENDING
MAXIMUM GRADE WITHIN 100' OF INTERSECTION (12.7 TABLE 2):	PENDING
ANGLE OF ROAD INTERSECTION (12.7 TABLE 2):	PENDING
MAXIMUM GRADE OF DITCHES (12.8.8(4)):	PENDING
CURBING AND CATCH BASIN REQUIREMENTS (12.8.9):	PENDING

FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE BY WRITING BY THE BOARD AND ATTACHED HERETO.



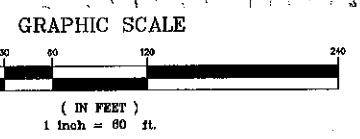
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#1	5-14-19		

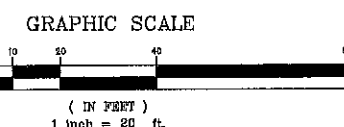
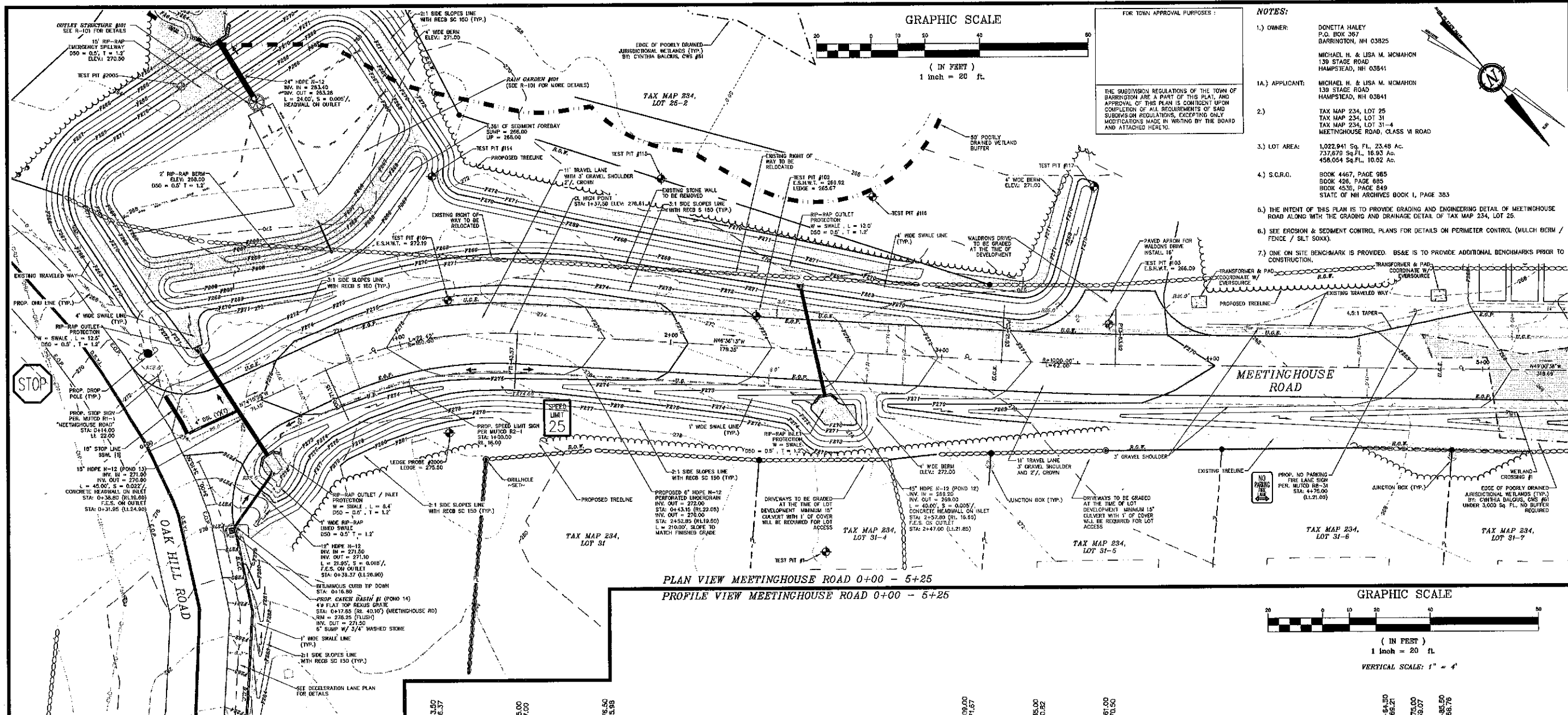
OVERVIEW GRADING & DRAINAGE PLAN
 LAND OF
 DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603) 352-2863
 SCALE: 1 IN. EQUALS 60 FT.
 DATE: MARCH 12, 2019
 FILE NO.: DB 2017 - 052



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 MAY 23 2019
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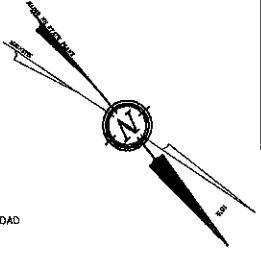




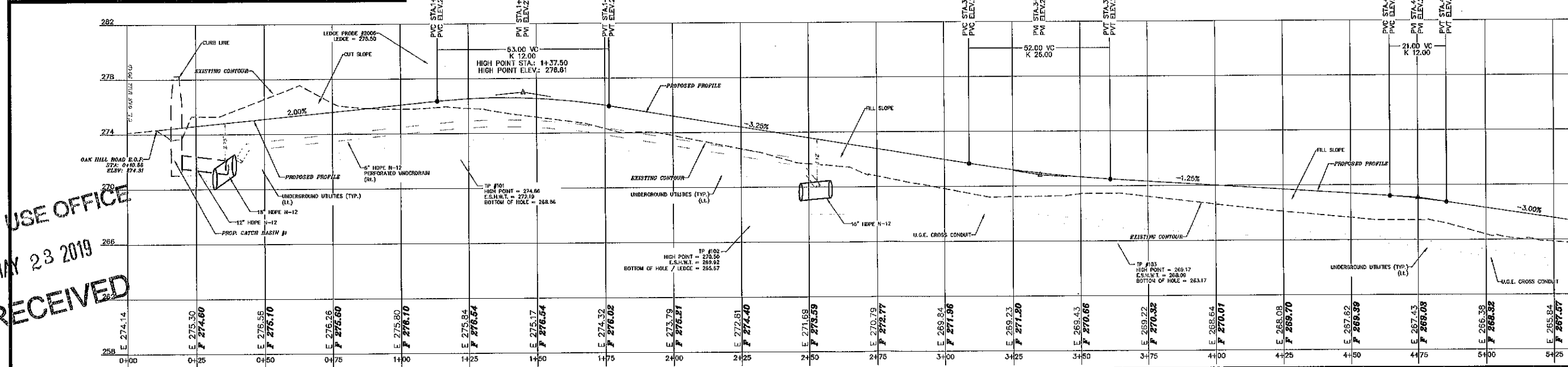
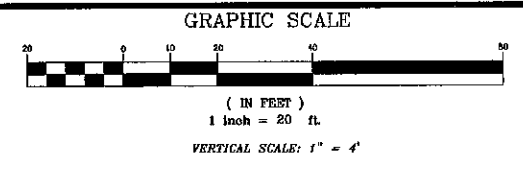
FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

- NOTES:**
- 1.) OWNER: DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
 - 1A.) APPLICANT: MICHAEL H. & LISA M. McMAHON
139 STAGE ROAD
HAMPSSTEAD, NH 03841
 - 2.) TAX MAP 234, LOT 25
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS VI ROAD
 - 3.) LOT AREA: 1,022,941 Sq. Ft., 23.48 Ac.
737,679 Sq. Ft., 16.93 Ac.
458,054 Sq. Ft., 10.52 Ac.
 - 4.) S.C.R.O.: BOOK 4467, PAGE 985
BOOK 426, PAGE 985
BOOK 4535, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAIL OF MEETINGHOUSE ROAD ALONG WITH THE GRADING AND DRAINAGE DETAIL OF TAX MAP 234, LOT 25.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
 - 7.) ONE ON SITE BENCHMARK IS PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.



PLAN VIEW MEETINGHOUSE ROAD 0+00 - 5+25
PROFILE VIEW MEETINGHOUSE ROAD 0+00 - 5+25



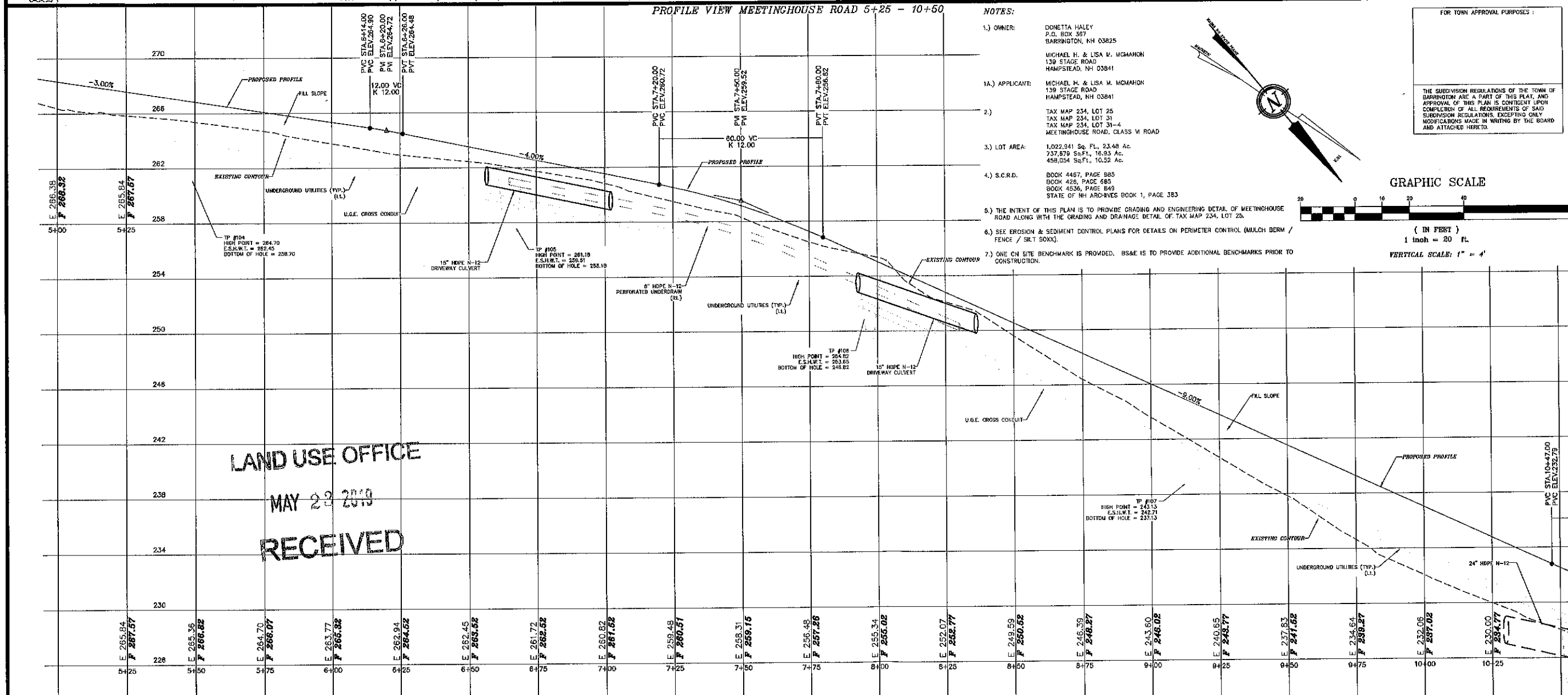
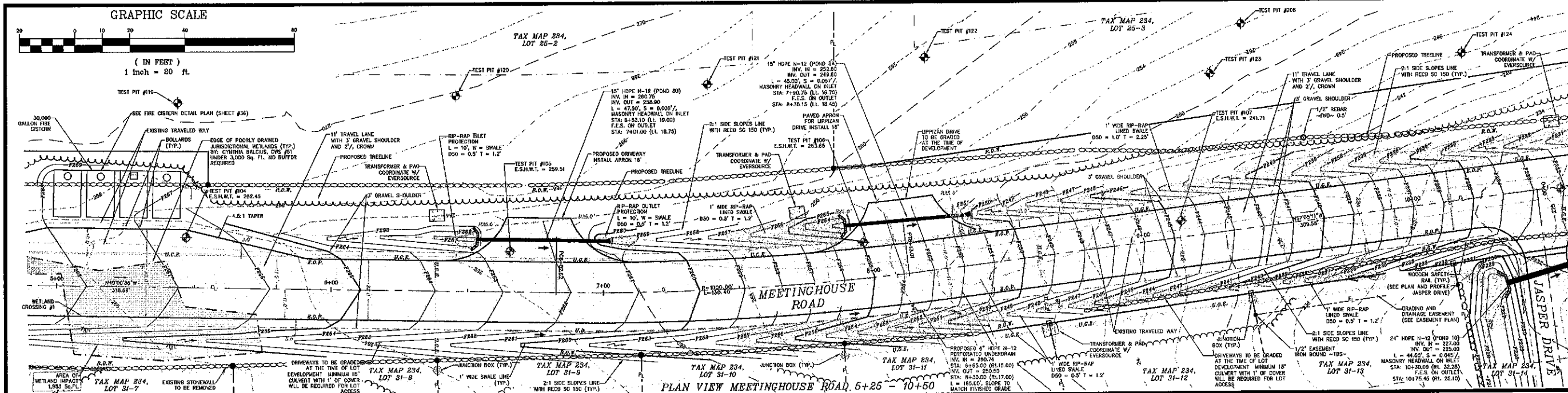
LAND USE OFFICE
MAY 23 2019
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#1	REVISION	DATE	DESCRIPTION
	5-14-19		REVISIONS PER DB&K COMMENT

PLAN AND PROFILE MEETINGHOUSE ROAD 0+00-5+25
LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

SHEET 16 OF 39



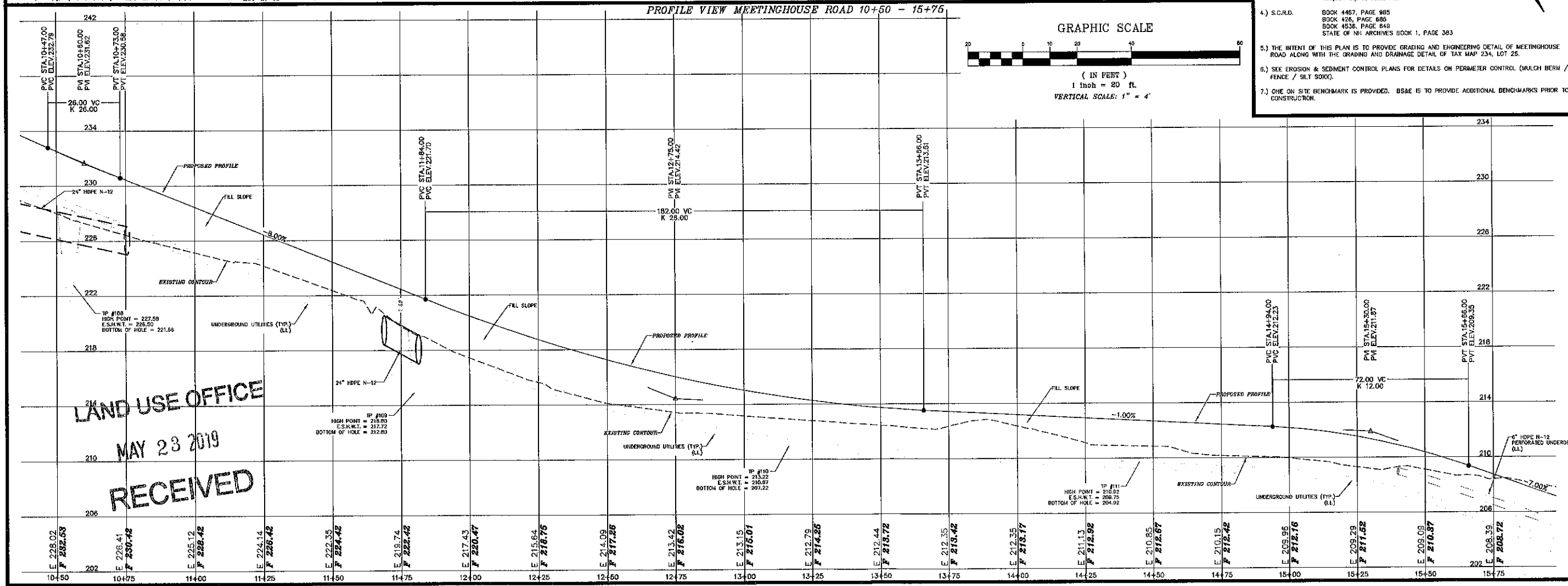
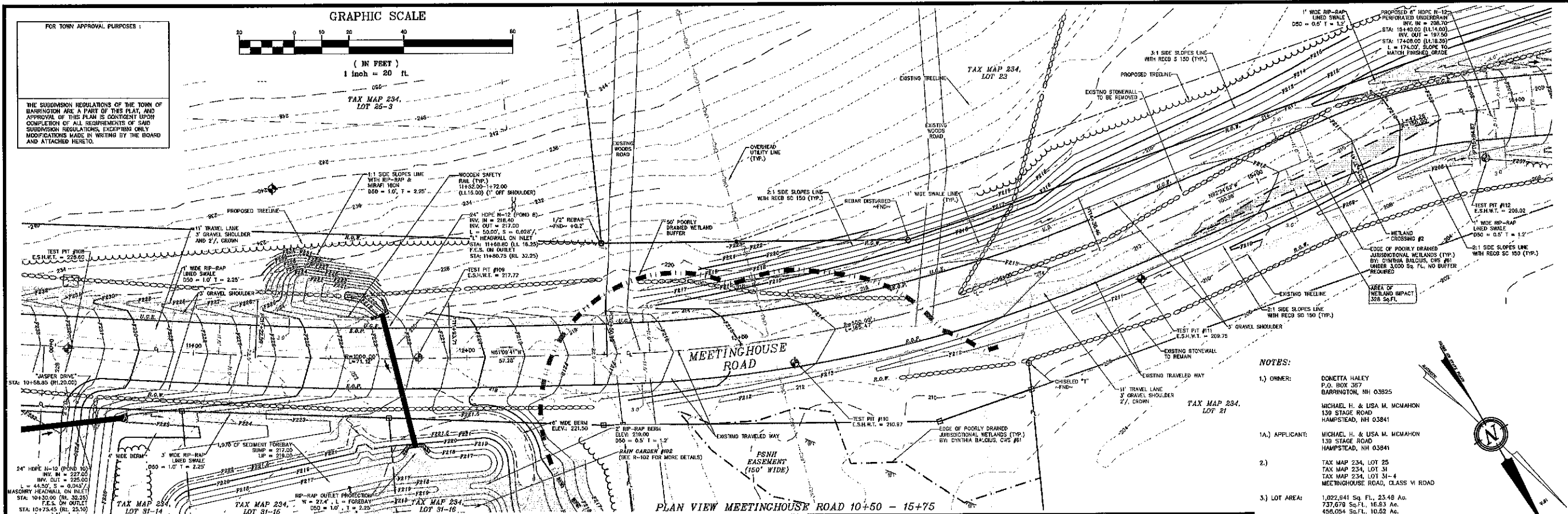
REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

PLAN AND PROFILE MEETINGHOUSE ROAD 5+25-10+50
LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

SHEET 17 OF 39



NOTES:

- 1.) OWNER: DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
- 1A.) APPLICANT: MICHAEL H. & LISA M. McMAHON
139 STAGE ROAD
HAMPSHIRE, NH 03841
- 2.) TAX MAP 234, LOT 25
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS VI ROAD
- 3.) LOT AREA: 1,022,841 Sq. Ft., 23.48 Ac.
737,678 Sq. Ft., 16.83 Ac.
458,054 Sq. Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 4467, PAGE 865
BOOK 428, PAGE 686
BOOK 4538, PAGE 848
STATE OF NH ARCHIVES BOOK 1, PAGE 383
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAIL OF MEETINGHOUSE ROAD ALONG WITH THE GRADING AND DRAINAGE DETAIL OF TAX MAP 234, LOT 25.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
- 7.) ONE ON SITE BENCHMARK IS PROVIDED. BSAE IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.

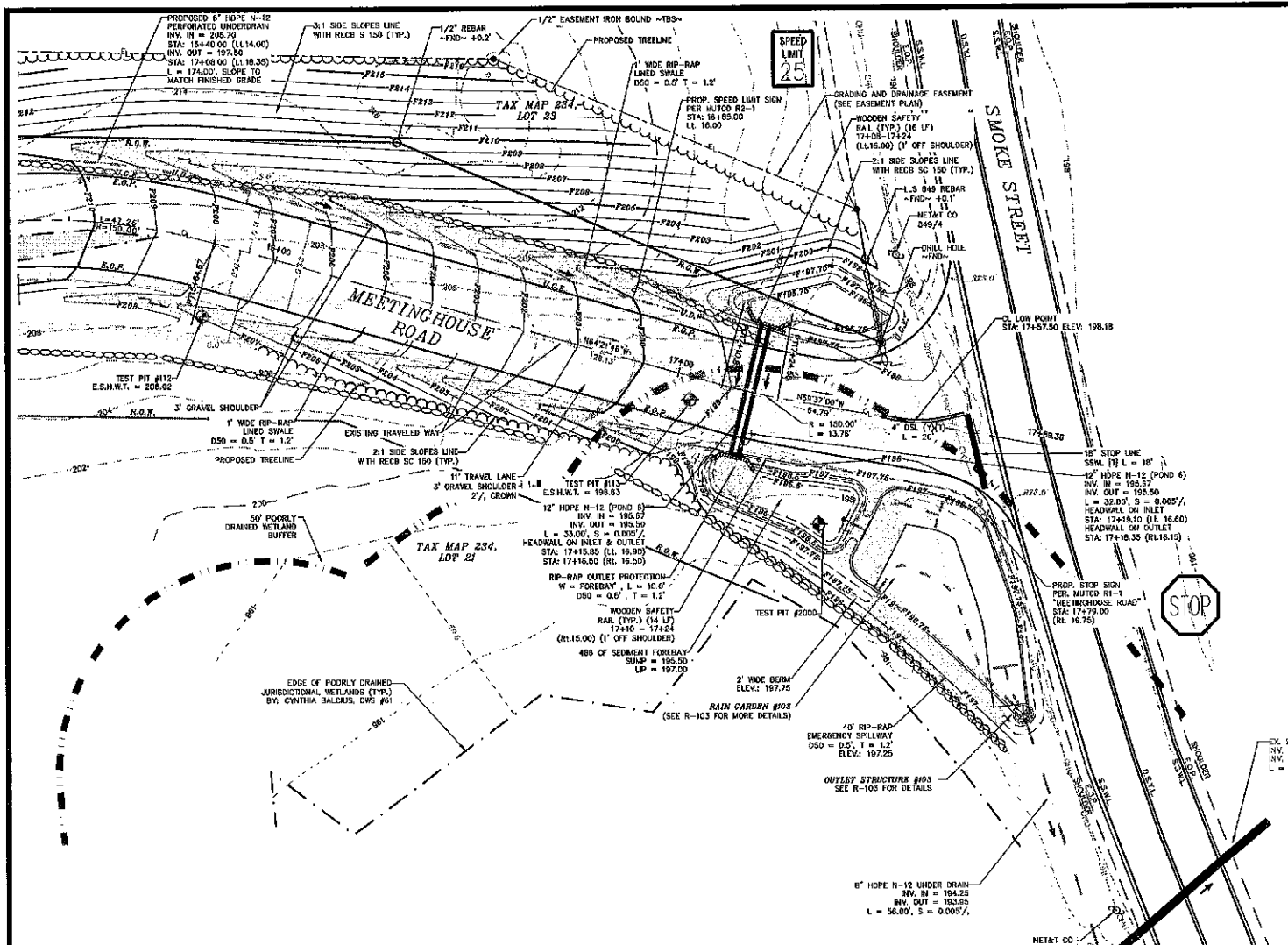
#	REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
1	5-14-19			

PLAN AND PROFILE MEETINGHOUSE ROAD 10+50 - 15+75
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 25 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

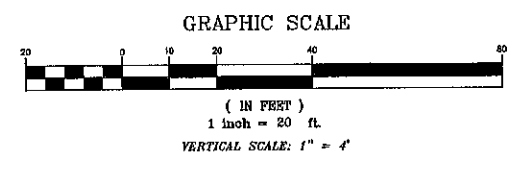
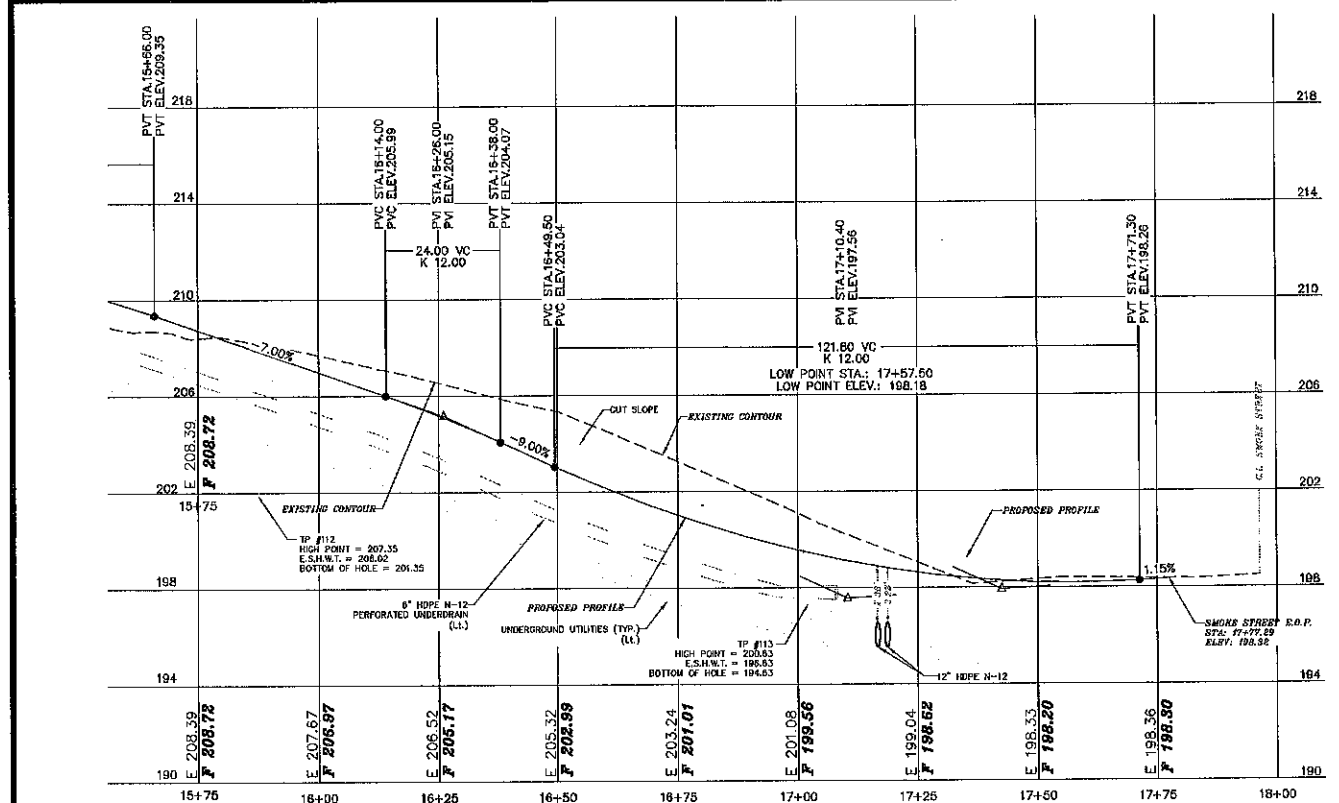
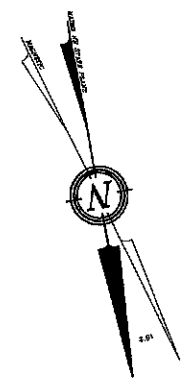
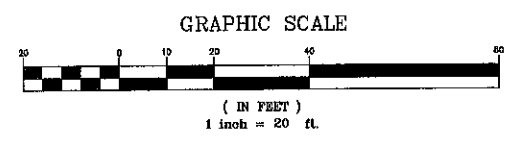
STATE OF NEW HAMPSHIRE
KENNETH BERRY
LICENSED PROFESSIONAL ENGINEER

SHEET 18 OF 39



PLAN VIEW MEETINGHOUSE ROAD 10+50 - 16+75
 PROFILE VIEW MEETINGHOUSE ROAD 10+50 - 15+75

- NOTES:**
- 1.) OWNER: DONETTA HALEY
P.O. BOX 387
BARRINGTON, NH 03825
 - 1A.) APPLICANT: MICHAEL H. & LISA M. McMAHON
135 STAGE ROAD
HAMPSHIRE, NH 03841
 - 2.) TAX MAP 234, LOT 23
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS M ROAD
 - 3.) LOT AREA: 1,022,941 Sq. Ft., 23.48 Ac.
737,679 Sq.Ft., 16.93 Ac.
458,054 Sq.Ft., 10.52 Ac.
 - 4.) S.C.R.D. BOOK 4487, PAGE 985
BOOK 428, PAGE 685
BOOK 4536, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAIL OF MEETINGHOUSE ROAD ALONG WITH THE GRADING AND DRAINAGE DETAIL OF TAX MAP 234, LOT 25.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 7.) ONE ON SITE BENCHMARK IS PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.



LAND USE OFFICE
 MAY 23 2019
 RECEIVED

FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

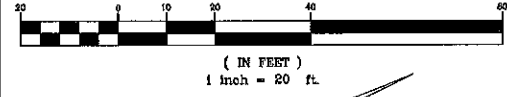
REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

PLAN AND PROFILE MEETINGHOUSE ROAD 15+75--END
 LAND OF DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 23 & 31-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE: 1 IN. EQUALS 20 FT.
 DATE: MARCH 12, 2019
 FILE NO.: DB 2017 - 052

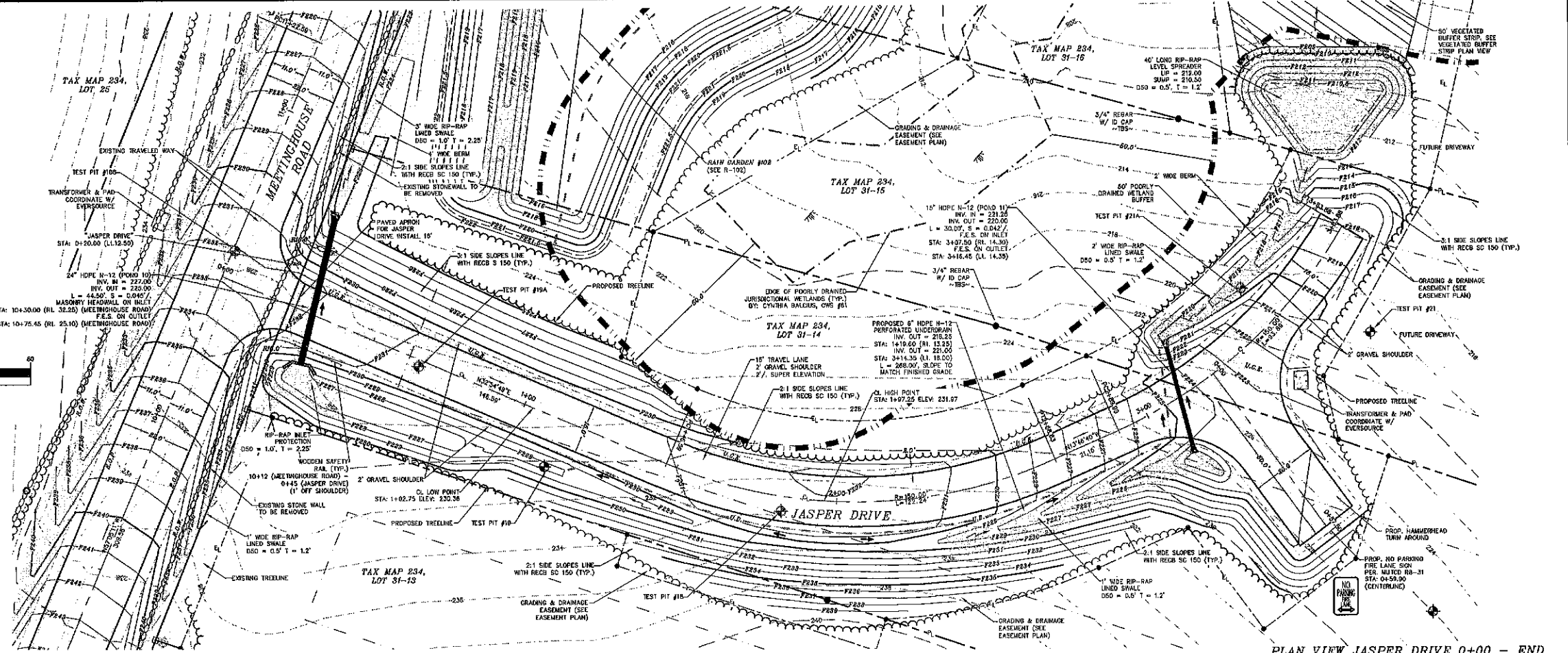
- NOTES:**
- 1.) OWNER: DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
 - 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSHIRE, NH 03841
 - 2.) TAX MAP 234, LOT 25
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
 - 3.) LOT AREA: 1,022,841 Sq. Ft., 23.48 Ac.
737,679 Sq. Ft., 16.93 Ac.
498,054 Sq. Ft., 10.52 Ac.
 - 4.) S.C.R.D. BOOK 4467, PAGE 885
BOOK 426, PAGE 685
BOOK 4530, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAIL OF THE SHARED DRIVEWAY, JASPER DRIVE.
 - 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOX).
 - 7.) ONE ON SITE BENCHMARK IS PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.

GRAPHIC SCALE



FOR TOWN APPROVAL PURPOSES:

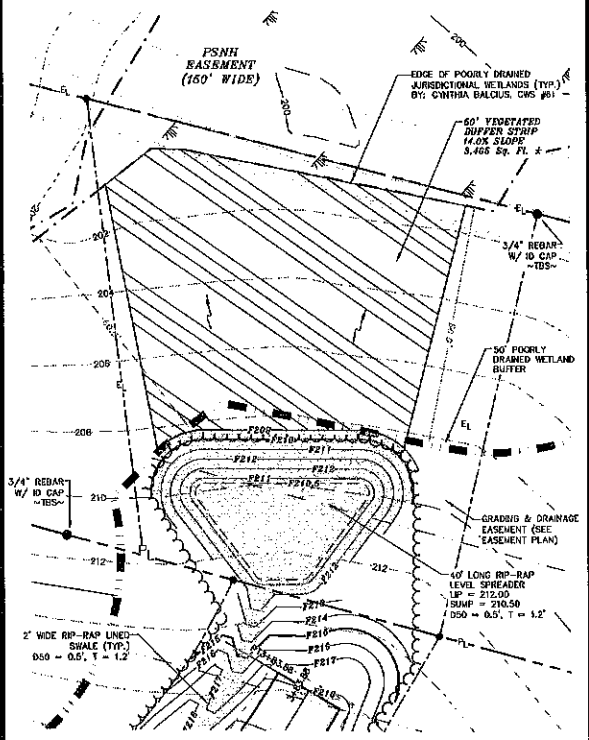
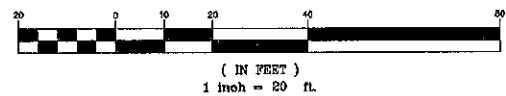
THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



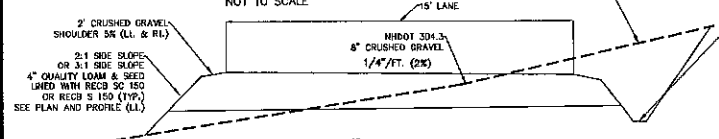
PLAN VIEW JASPER DRIVE 0+00 - END

VEGETATED BUFFER STRIP PLAN VIEW

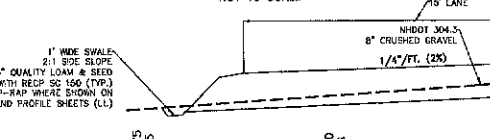
GRAPHIC SCALE



TYPICAL DRIVEWAY SECTION JASPER DRIVE 0+10 - 3+00

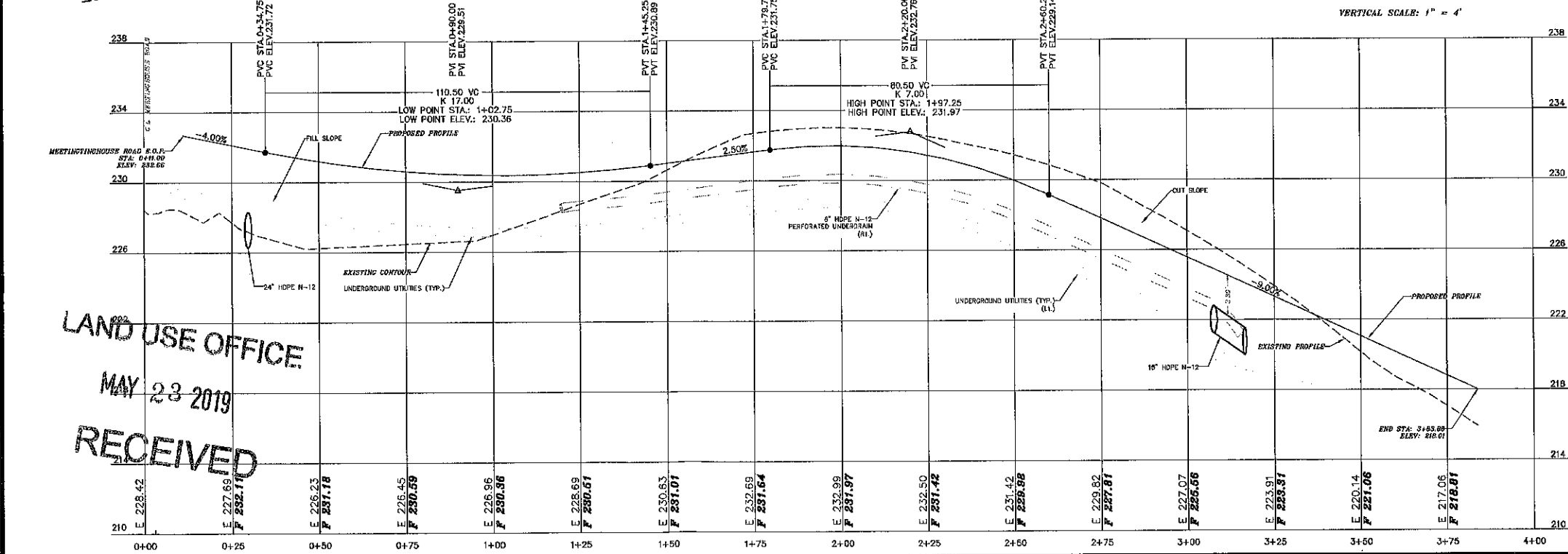
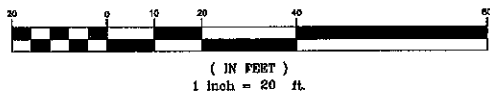


TYPICAL DRIVEWAY SECTION JASPER DRIVE 3+00 - END



PROFILE VIEW JASPER DRIVE 0+00 - END

GRAPHIC SCALE

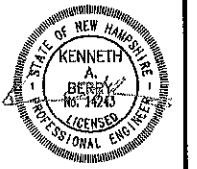


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MAY 23 2019
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REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

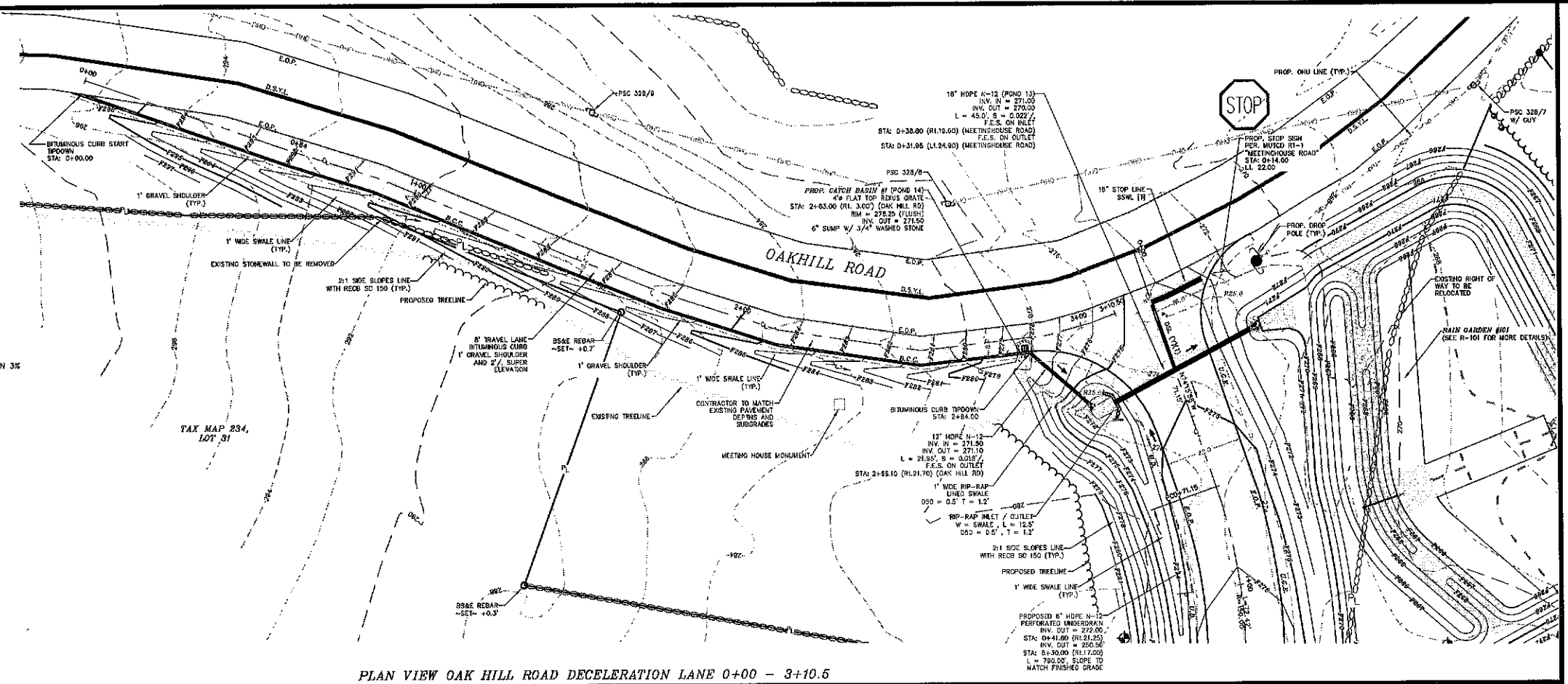
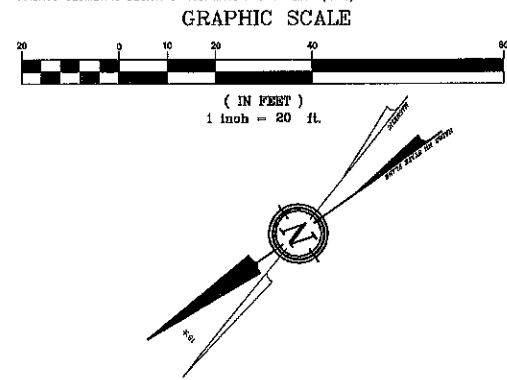
PLAN AND PROFILE JASPER DRIVE 0+00 - END
LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 352-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

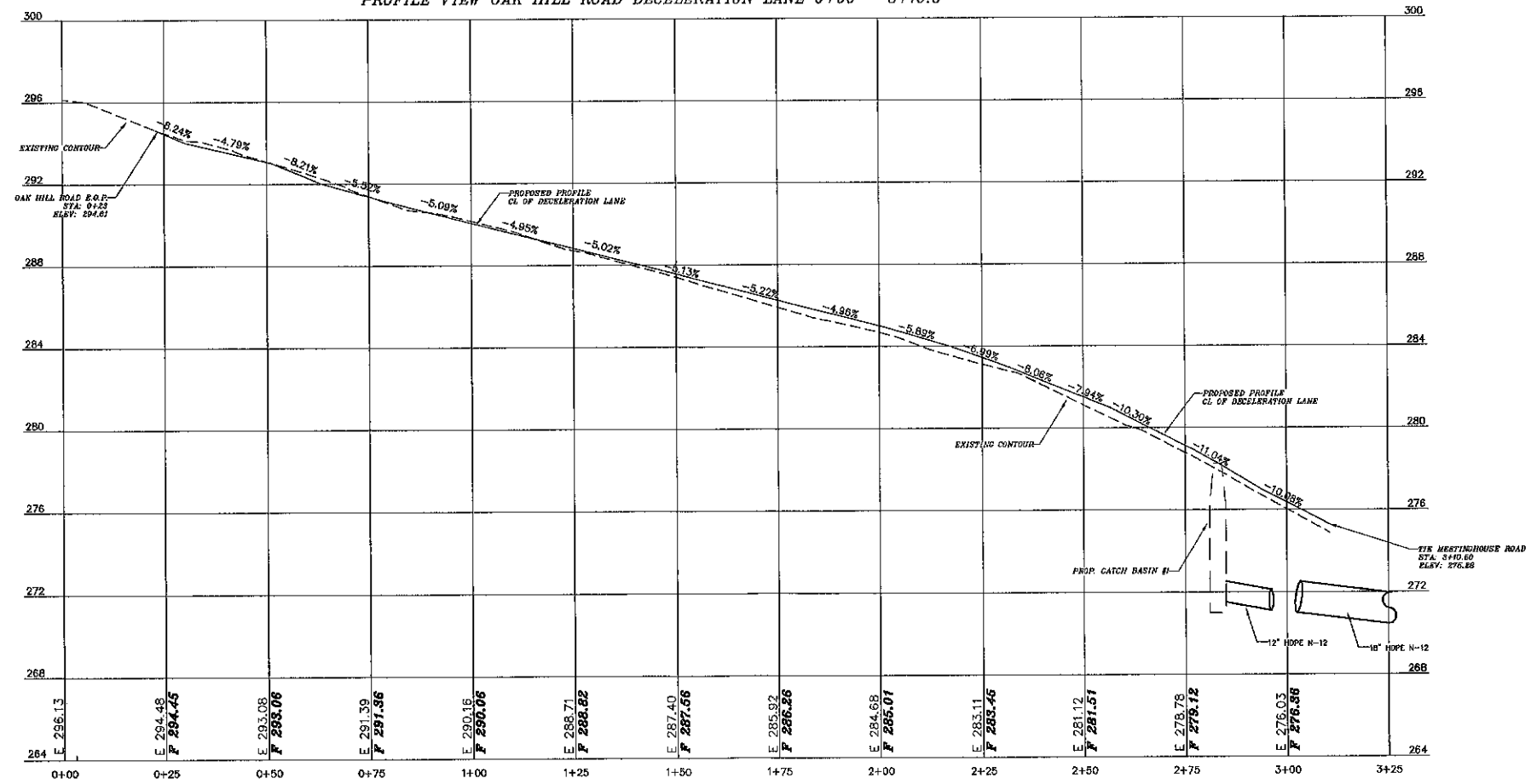
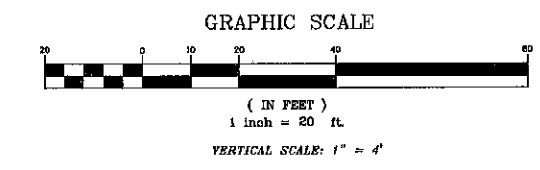


NOTES:

- 1.) OWNER: DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
- MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSHIRE, NH 03841
- 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSHIRE, NH 03841
- 2.) TAX MAP 234, LOT 25
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS VI ROAD
- 3.) LOT AREA: 1,022,941 Sq. Ft., 23.48 Ac.
737,679 Sq.Ft., 16.93 Ac.
456,054 Sq.Ft., 10.52 Ac.
- 4.) S.C.R.D. BOOK 4467, PAGE 985
BOOK 425, PAGE 585
BOOK 4536, PAGE 848
STATE OF NH ARCHIVES BOOK 1, PAGE 383
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAIL THE PROPOSED DECELERATION LANE FOR OAK HILL ROAD.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 7.) ONE ON SITE BENCHMARK IS PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) DECELERATION LANE CALCULATIONS:
- DECELERATION LANE LENGTH REQUIRED (35 MPH DESIGN SPEED): 222.5' AT GRADES OF LESS THAN 3%
- CORRECTION FOR DECELERATION LANE LENGTH FOR GREATER THAN 5-8% DOWNGRADE: 1.35
- TOTAL DECELERATION LANE LENGTH REQUIRED: 300.4'
- TOTAL DECELERATION LANE LENGTH PROVIDED: 310.5'



PROFILE VIEW OAK HILL ROAD DECELERATION LANE 0+00 - 3+10.5



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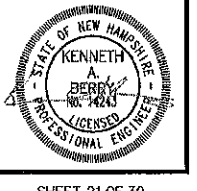
FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY NOTIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

OAK HILL ROAD DECELERATION LANE
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 25 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052



BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand (topsoil, with fines as indicated)	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*		3/4" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100	3/4"	90 - 100
3/8"	95 - 100	1/2"	15 - 55
# 4	22 - 55	# 10	0 - 5
# 8	0 - 10		

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS
 † EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

RAIN GARDEN MIX
 THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL MIX #1" (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC), THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX (16 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 160-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS; OR APPROVED EQUAL.

- NOTES**
- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BASELAYER.
 - SUBSURFACE EVALUATION SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION SHOULD BE IN THE EVENT COMPACTION TAKES PLACE.
 - DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LOADED WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
 - PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
 - AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
 - VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

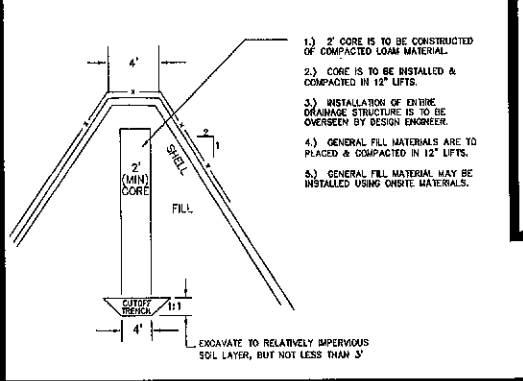
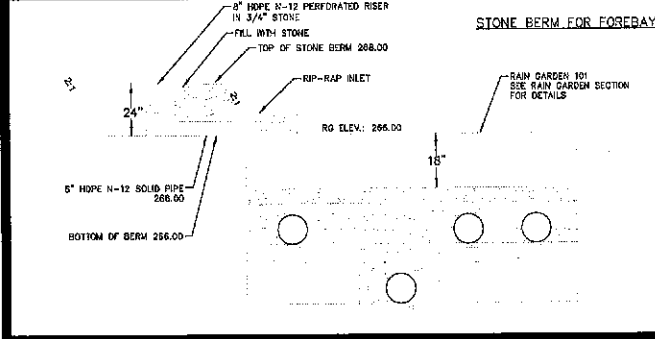
- DESIGN REFERENCES**
- UNH STORMWATER CENTER
 - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

ENHANCED BIO-FILTRATION WITH INTERNAL STORAGE RESERVOIR (ISR)

- THE INTERNAL STORAGE RESERVOIR (ISR) WILL PROVIDE A RETENTION TIME OF AT LEAST 24 HOURS IN THE SYSTEM TO ALLOW FOR SUFFICIENT TIME FOR DENITRIFICATION AND NITROGEN REDUCTION TO OCCUR PRIOR TO DISCHARGE. THE FILTER MEDIA HAS BEEN AUGMENTED WITH MATERIALS DESIGNED AND/OR KNOWN TO BE EFFECTIVE AT CAPTURING PHOSPHORUS. THE TOP TWELVE-INCHES OF THE BIO-MEDIA WILL BE AMENDED WITH EITHER 5% BY VOLUME ELEMENTAL IRON FILINGS; 5% BY VOLUME COUGHEN INHIBITORY MEDIA; 1% BY VOLUME POLYMER GEL MEDIA; OR APPROVED EQUAL; OR 5% BY WEIGHT WATER TREATMENT RESIDUALS (WTR). THE VOLUME OF THE ISR WILL EXCEED 20% OF THE WATER QUALITY VOLUME (WQV).

DESIGN REFERENCES

- 2017 NH SMALL MS4 GENERAL PERMIT, APPENDIX F ATTACHMENT 3, (PAGE 8)
- UNHSG, WWW.UNH.EDU/UNHSG/NEWS/UNHSG-INNOVATIVE-BIORETENTION-TEMPLATE-POLLUTION-REDUCTIONS-GREATBAY-ESTUARY-WATERSHEDS.



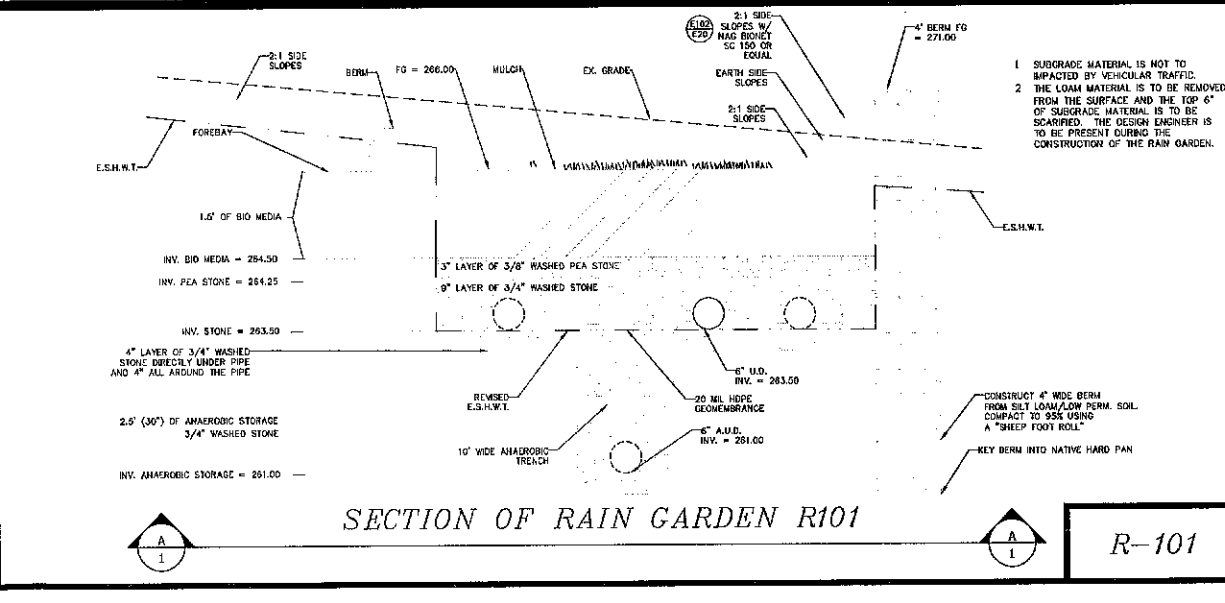
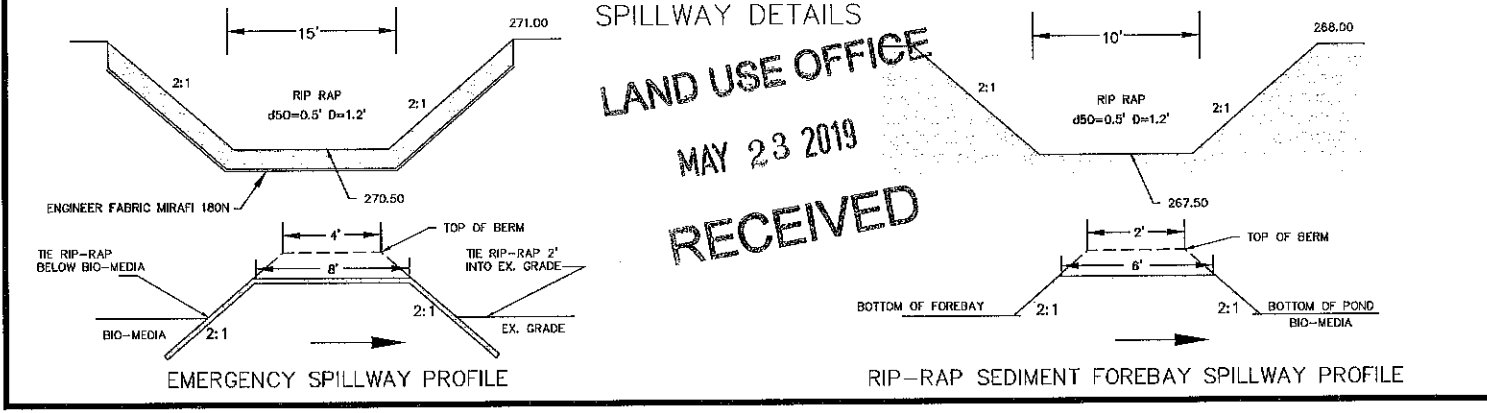
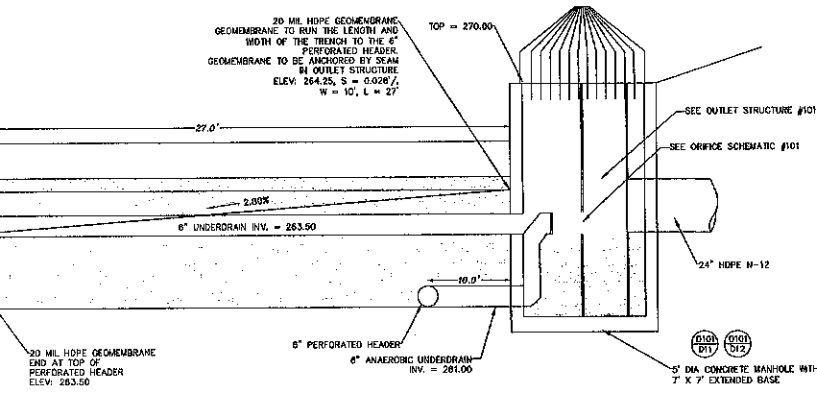
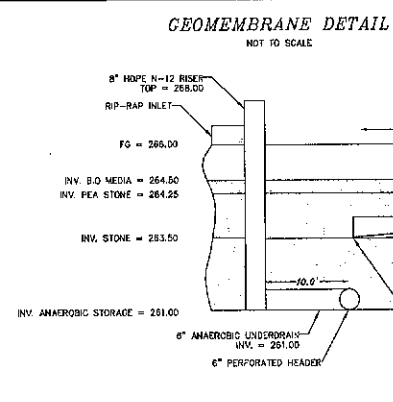
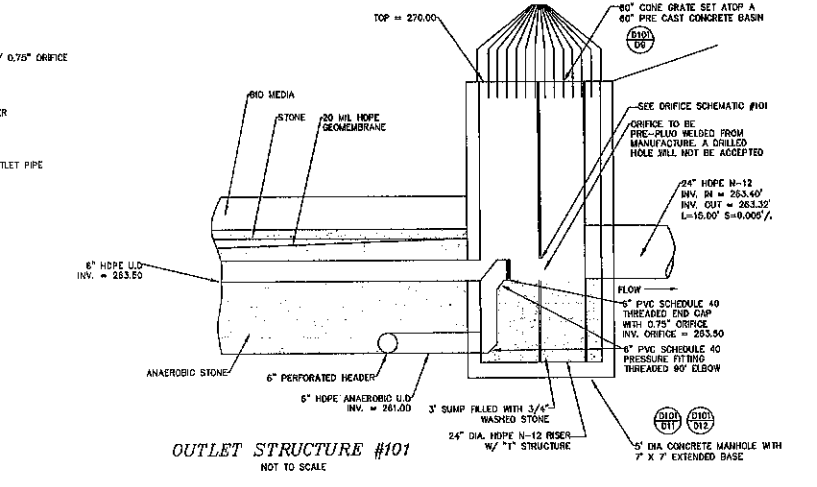
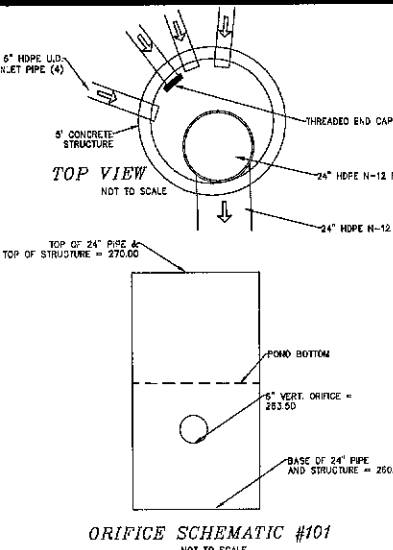
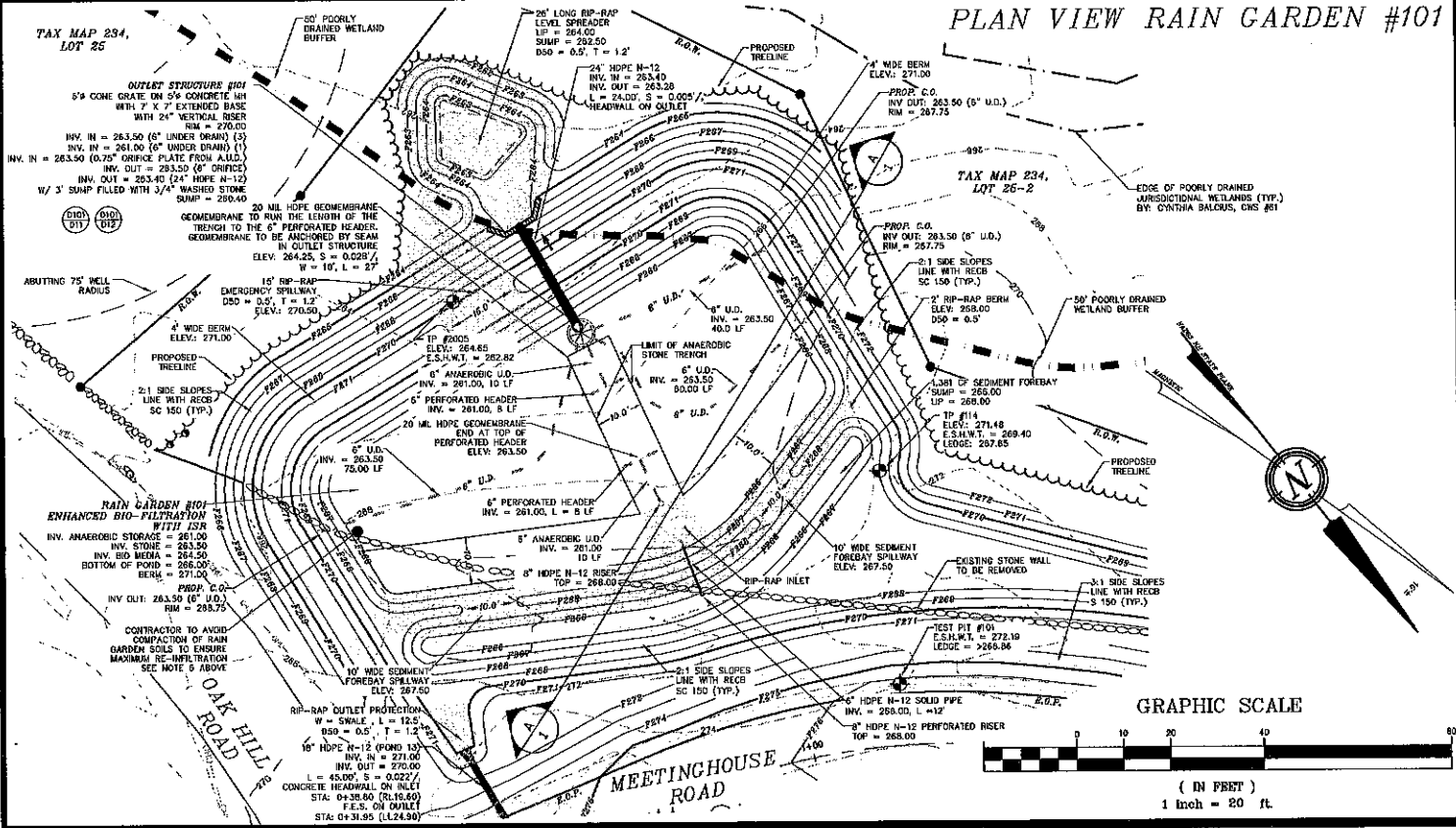
FOR TOWN APPROVAL PURPOSES:

- 2" CORE IS TO BE CONSTRUCTED OF COMPACTED LOAM MATERIAL.
- CORE IS TO BE INSTALLED & COMPACTED IN 12" LIFTS.
- INSTALLATION OF ENTIRE DRAINAGE STRUCTURE IS TO BE OVERSEEN BY DESIGN ENGINEER.
- GENERAL FILL MATERIALS ARE TO BE PLACED & COMPACTED IN 12" LIFTS.
- GENERAL FILL MATERIAL MAY BE INSTALLED USING CHEAP MATERIALS.

LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 80
#200	25 - 45

REVISION	DATE	DESCRIPTION
#1	5-14-19	



RAIN GARDEN #101
 LAND OF
 DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603) 332-2863
 SCALE: 1 IN. EQUALS 20 FT.
 DATE: MARCH 12, 2019
 FILE NO.: DB 2017 - 052

STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 LICENSED PROFESSIONAL ENGINEER

R-101
 SHEET 22 OF 39

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*		3/4" WASHED CRUSHED STONE*	
SEIVE SIZE	% PASSING BY WEIGHT	SEIVE SIZE	% PASSING BY WEIGHT
1/2"	100	3/4"	90 - 100
3/8"	95 - 100	1/2"	15 - 85
#4	22 - 55	#10	0 - 5
#8	0 - 10		

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

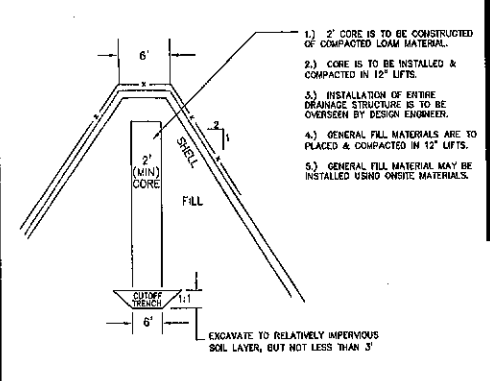
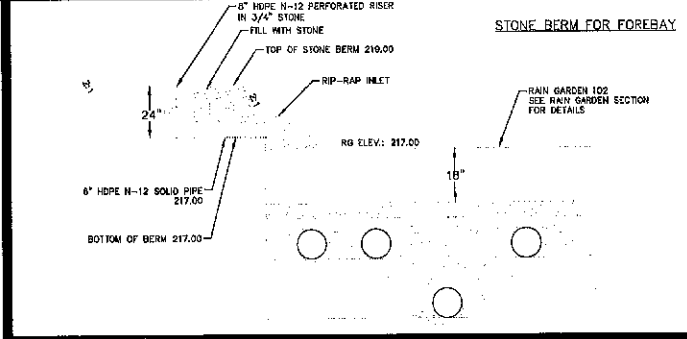
- NOTES**
- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BARRIER.
 - SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
 - DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTOURING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE BIORETENTION COMPONENTS OF THE SYSTEM.

- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
 - PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
 - AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
 - VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

- DESIGN REFERENCES**
- UNH STORMWATER CENTER
 - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2006 AS AMENDED.

- ENHANCED BIO-FILTRATION WITH INTERNAL STORAGE RESERVOIR (ISR)**
- THE INTERNAL STORAGE RESERVOIR (ISR) WILL PROVIDE A RETENTION TIME OF AT LEAST 24 HOURS IN THE SYSTEM TO ALLOW FOR SUFFICIENT TIME FOR DENITRIFICATION AND NITROGEN REDUCTION TO OCCUR PRIOR TO DISCHARGE. THE FILTER MEDIA HAS BEEN AUGMENTED WITH MATERIALS DESIGNED AND/OR KNOWN TO BE EFFECTIVE AT CAPTURING PHOSPHORUS. THE TOP THREE-INCHES OF THE BIO-MEDIA WILL BE AUGMENTED WITH EITHER SIX (6) BY VOLUME (SIXTY-FOUR (64) PERCENT) POLYMER-BLENDED MEDIA, OR APPROVED EQUAL OR SIX (6) BY WEIGHT WATER TREATMENT RESERVOIR (WTR). THE VOLUME OF THE ISR WILL EXCEED 20% OF THE WATER QUALITY VOLUME (WQV).

- DESIGN REFERENCES**
- 2017 NH SMALL MSA GENERAL PERMIT, APPENDIX F ATTACHMENT 3, (PAGE 6)
 - UNHSG, WWW.UNHSG.NH.GOV/INNOVATIVE-BIOPROTECTION-TEMPLATE-POLLUTION-REDUCTIONS-GREAT-BAY-ESTUARY-WATERSHEDS.

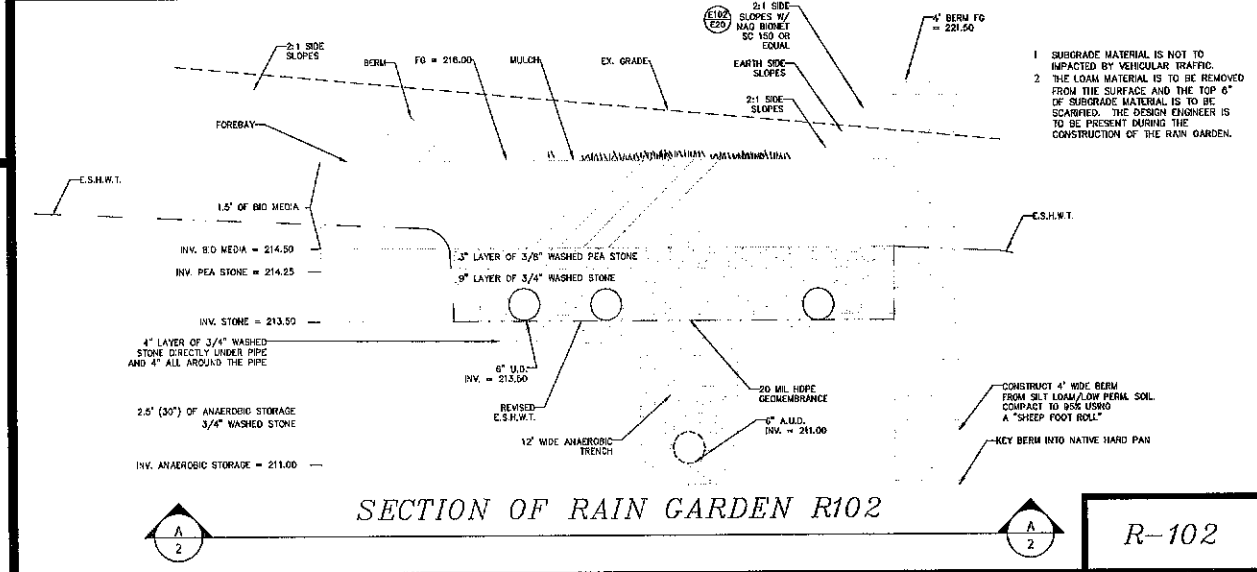
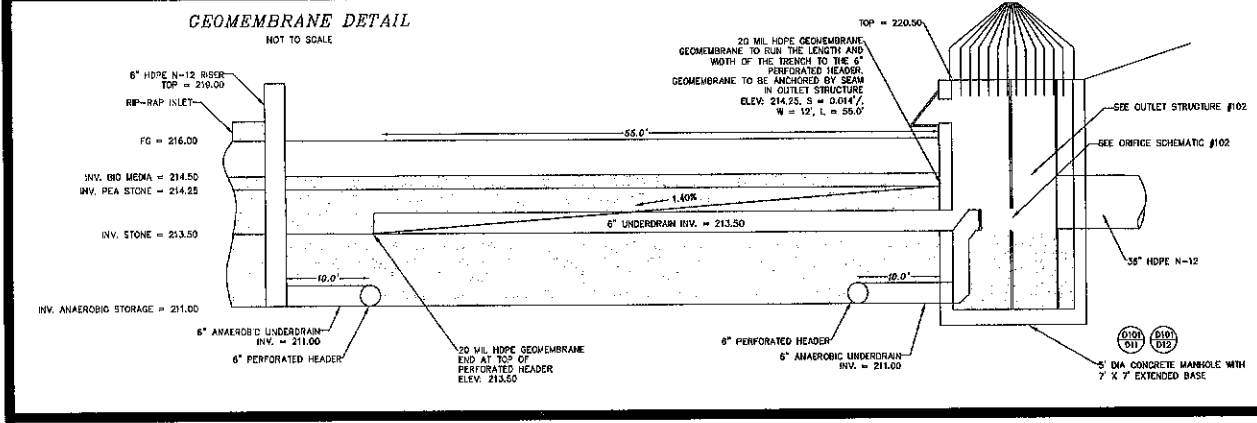
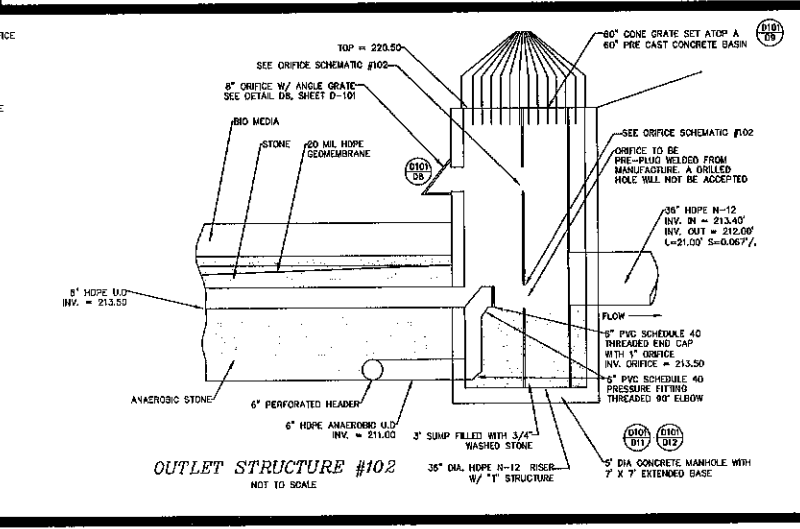
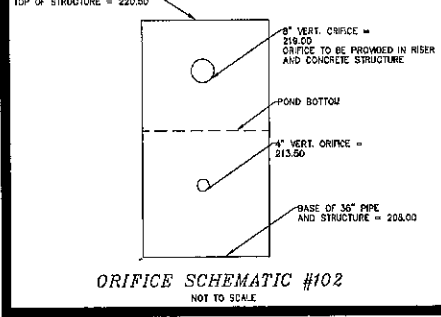
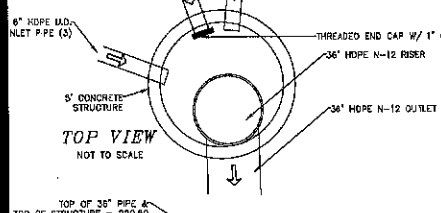
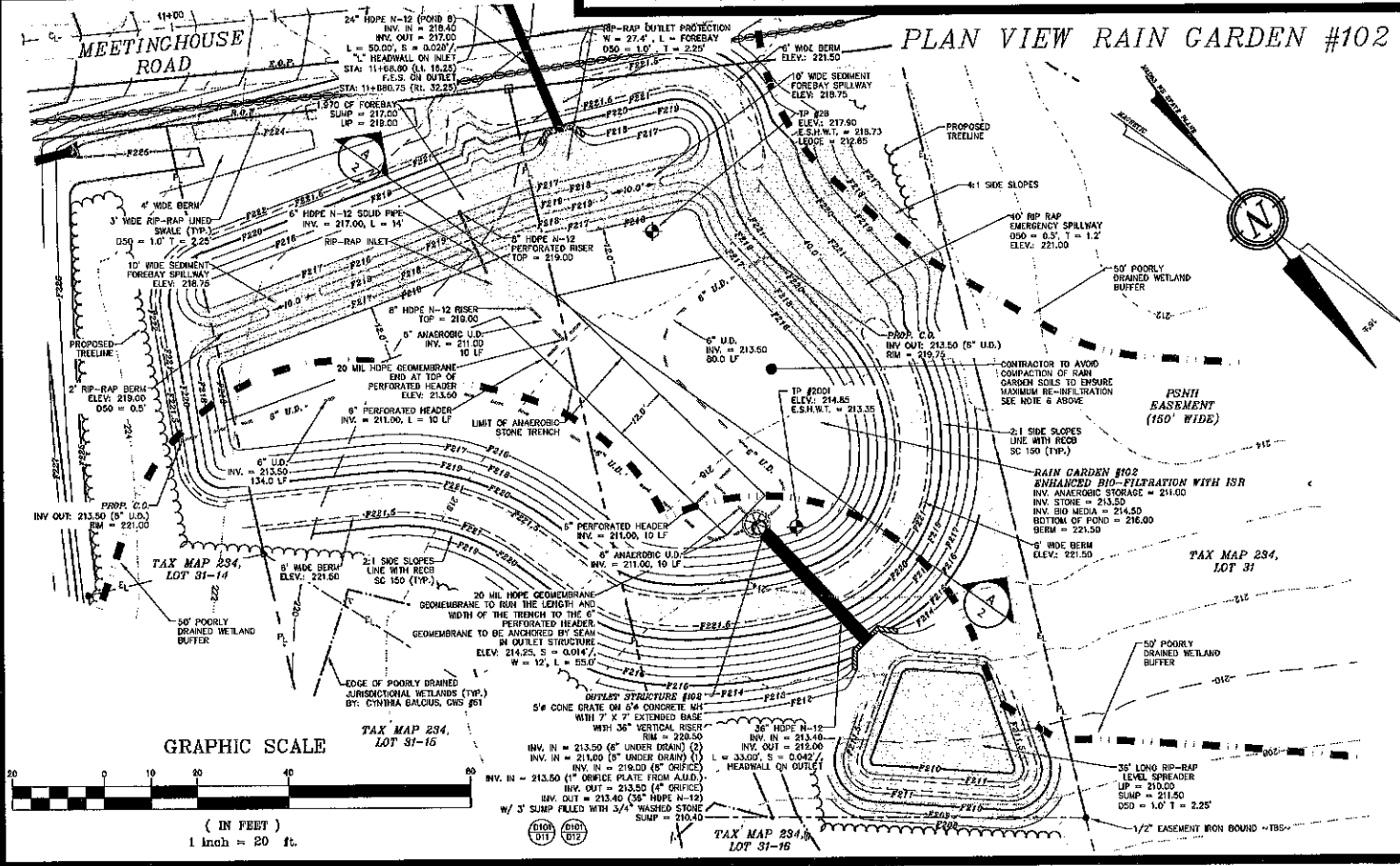


FOR TOWN APPROVAL PURPOSES:

- 2" CORE IS TO BE CONSTRUCTED OF COMPACTED LOAM MATERIAL.
- CORE IS TO BE INSTALLED & COMPACTED IN 12" LIFTS.
- INSTALLATION OF ENTIRE DRAINAGE STRUCTURE IS TO BE OVERSEEN BY DESIGN ENGINEER.
- GENERAL FILL MATERIALS ARE TO BE PLACED & COMPACTED IN 12" LIFTS.
- GENERAL FILL MATERIAL MAY BE INSTALLED USING ONSITE MATERIALS.

LOW PERMEABILITY MATERIAL GRADATION

SEIVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#10	60 - 95
#20	40 - 60
#40	25 - 45



LAND USE OFFICE
MAY 23 2019
RECEIVED

REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

RAIN GARDEN #102
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

STATE OF NEW HAMPSHIRE
KENNETH BERRY
LICENSED PROFESSIONAL ENGINEER

R-102
SHEET 23 OF 39

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*		3/4" WASHED CRUSHED STONE*	
SIeve SIZE	% PASSING BY WEIGHT	SIieve SIZE	% PASSING BY WEIGHT
1/2"	100	1"	100
3/8"	95 - 100	3/4"	90 - 100
# 4	22 - 55	1/2"	15 - 55
# 8	0 - 10	# 10	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

NOTES

- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
- SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LOADED WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESUME FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

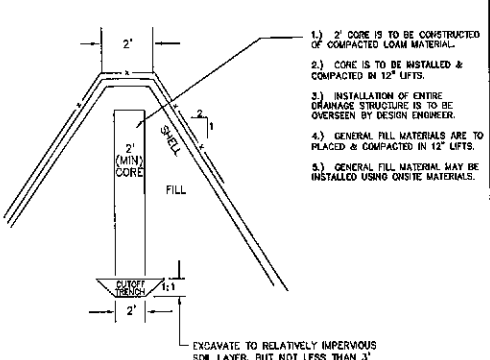
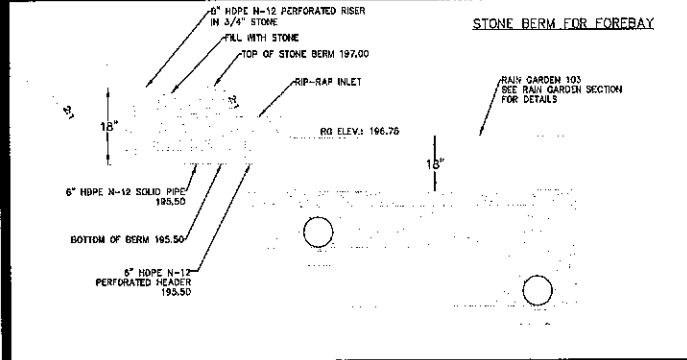
- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

ENHANCED BIO-FILTRATION WITH INTERNAL STORAGE RESERVOIR (ISR)

- THE INTERNAL STORAGE RESERVOIR (ISR) WILL PROVIDE A RETENTION TIME OF AT LEAST 24 HOURS IN THE SYSTEM TO ALLOW FOR SUFFICIENT TIME FOR DENITRIFICATION AND NITROGEN REDUCTION TO OCCUR PRIOR TO DISCHARGE. THE FILTER MEDIA HAS BEEN AUGMENTED WITH MATERIALS DESIGNED AND/OR KNOWN TO BE EFFECTIVE AT CAPTURING PHOSPHORUS. THE TOP TWELVE-INCHES OF THE BIO-MEDIA WILL BE AMENDED WITH EITHER 5% BY VOLUME ELEMENTAL IRON FIBRILS, 5% BY VOLUME COMBINED NITROGEN ADSORBENT MEDIA, LABS MATERIALS BIOAX MEDIA 9 OR APPROVED EQUAL; OR 2% BY WEIGHT WATER TREATMENT RESINOUS (WTR). THE VOLUME OF THE ISR WILL EXCEED 20% OF THE WATER QUALITY VOLUME (WQV).

DESIGN REFERENCES

- 2017 NH SMALL MS4 GENERAL PERMIT, APPENDIX F ATTACHMENT 3, (PAGE 8)
- UNHSC, WWW.UNH.EDU/UNHSC/NEWS/UNHSC-INNOVATIVE-BIORETENTION-TEMPLATE-POLLUTION-REDUCTIONS-GREATBAY-ESTUARY-WATERSHEDS.



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- CORE IS TO BE INSTALLED & COMPACTED IN 12" LIFTS.
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- GENERAL FILL MATERIALS ARE TO BE PLACED & COMPACTED IN 12" LIFTS.
- GENERAL FILL MATERIAL MAY BE INSTALLED USING ONSITE MATERIALS.

THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

LOW PERMEABILITY MATERIAL GRADATION

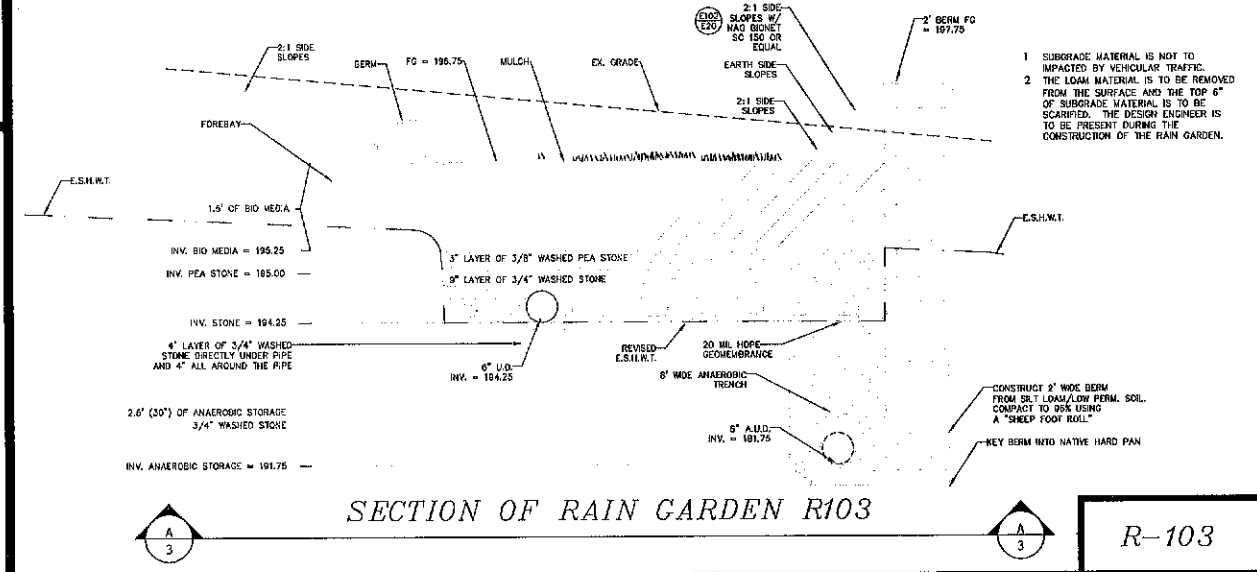
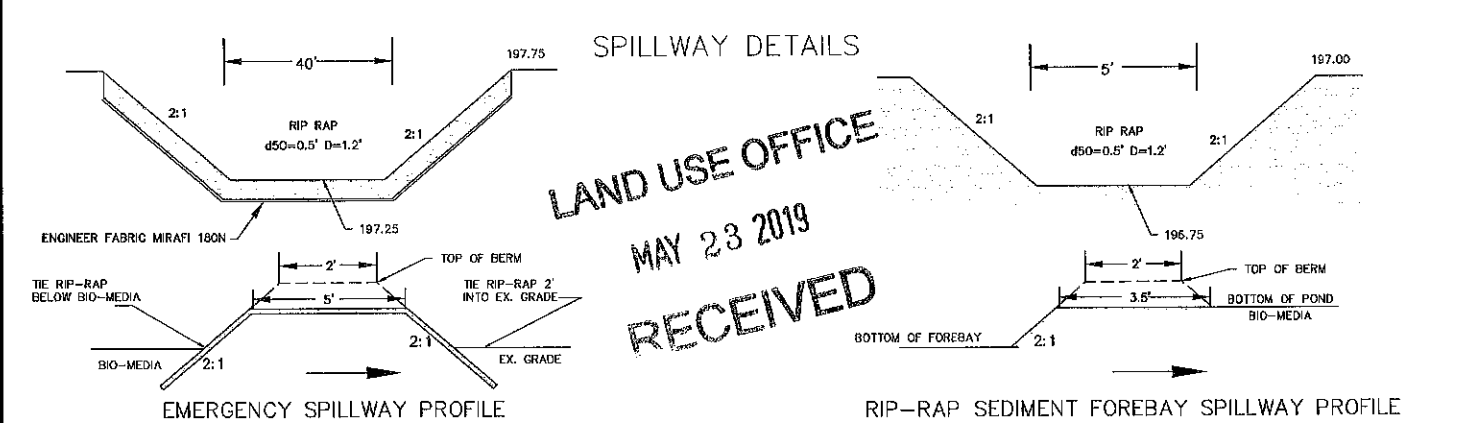
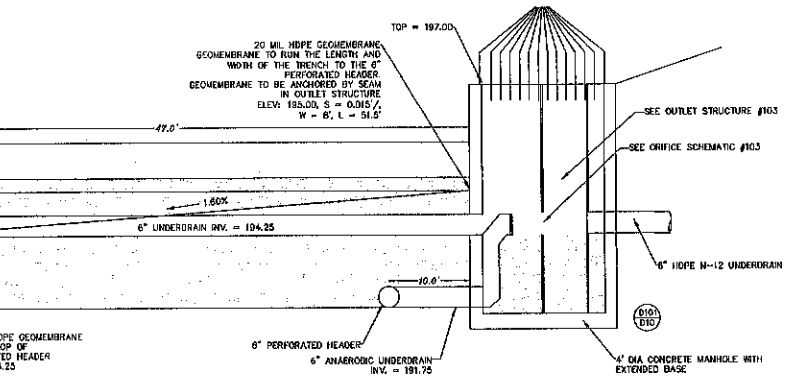
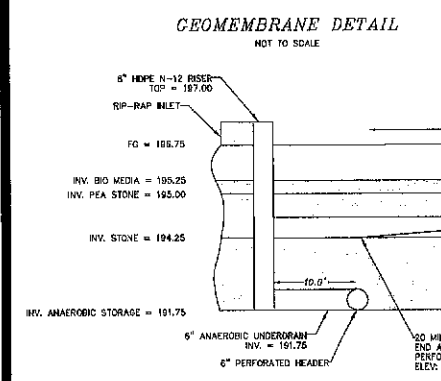
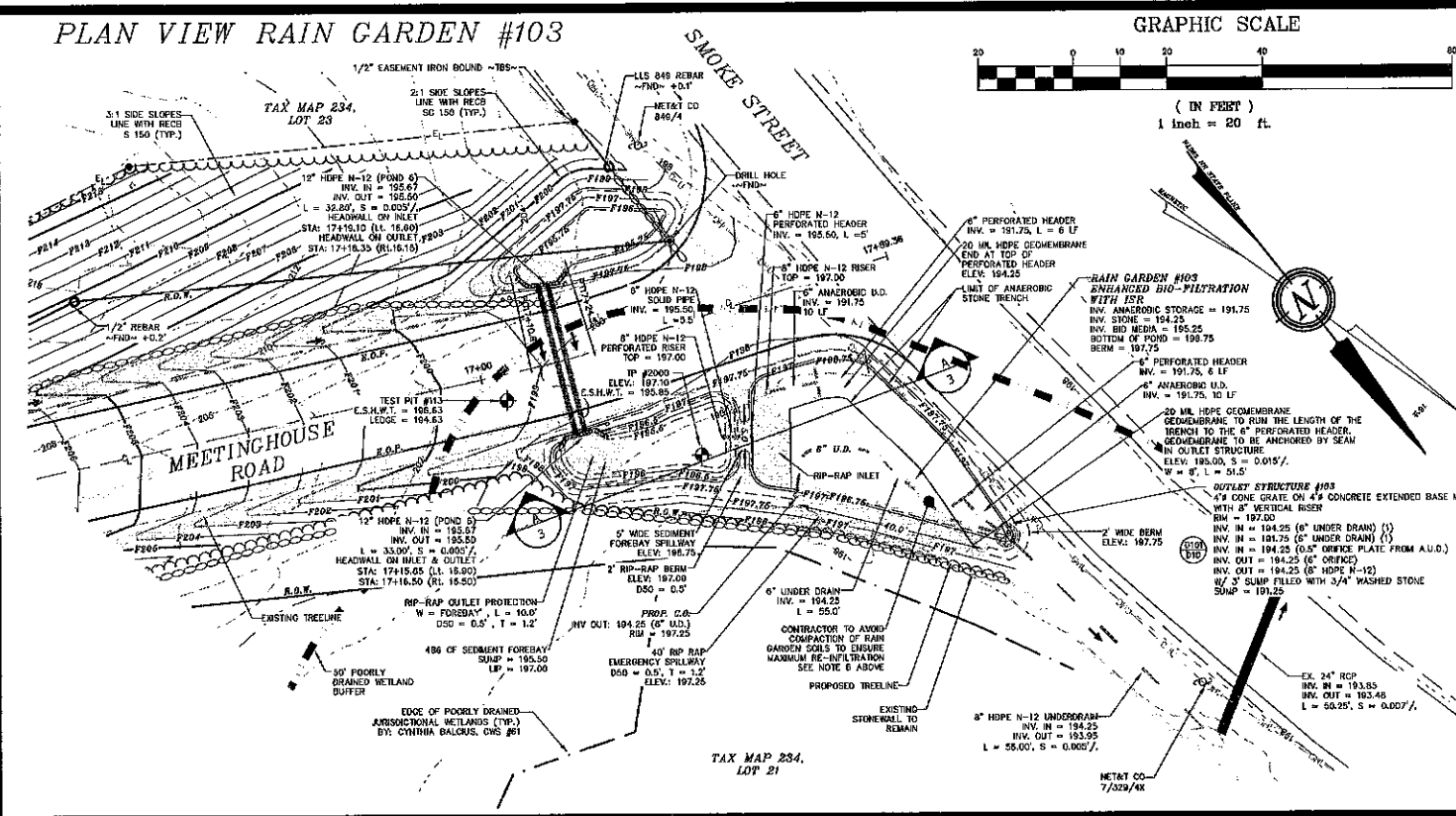
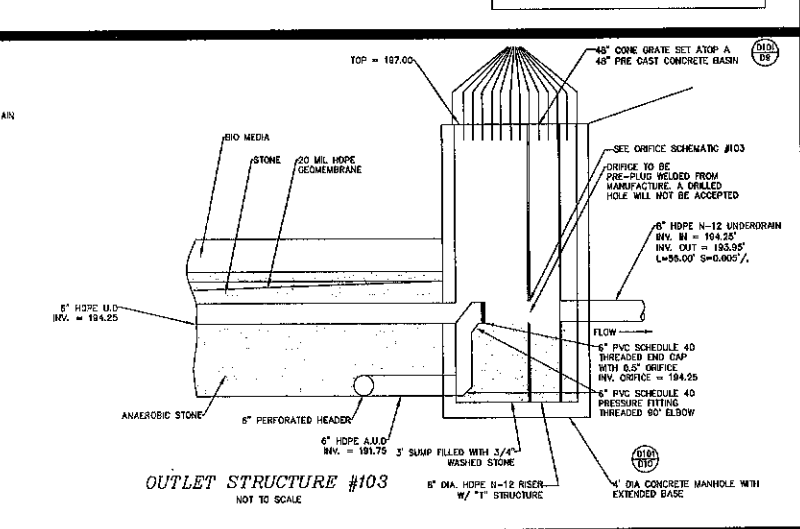
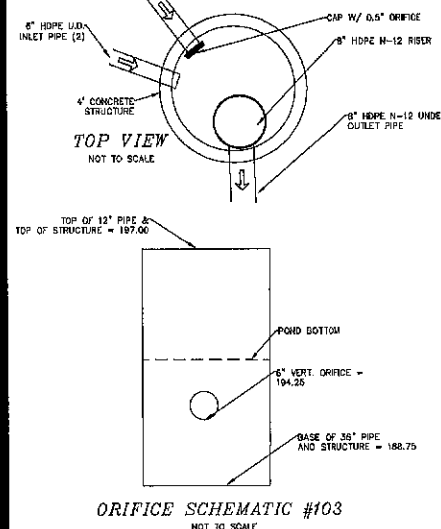
SIieve SIZE	% PASSING BY WEIGHT
#4	85 - 100
#10	60 - 95
#20	40 - 60
#40	25 - 45

RAIN GARDEN MIX

THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PIST MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (25 LBS/AC) BY NEW ENG. AND NEWLAND PLANTS, INC. RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

DESIGN REFERENCES

- 2017 NH SMALL MS4 GENERAL PERMIT, APPENDIX F ATTACHMENT 3, (PAGE 8)
- UNHSC, WWW.UNH.EDU/UNHSC/NEWS/UNHSC-INNOVATIVE-BIORETENTION-TEMPLATE-POLLUTION-REDUCTIONS-GREATBAY-ESTUARY-WATERSHEDS.



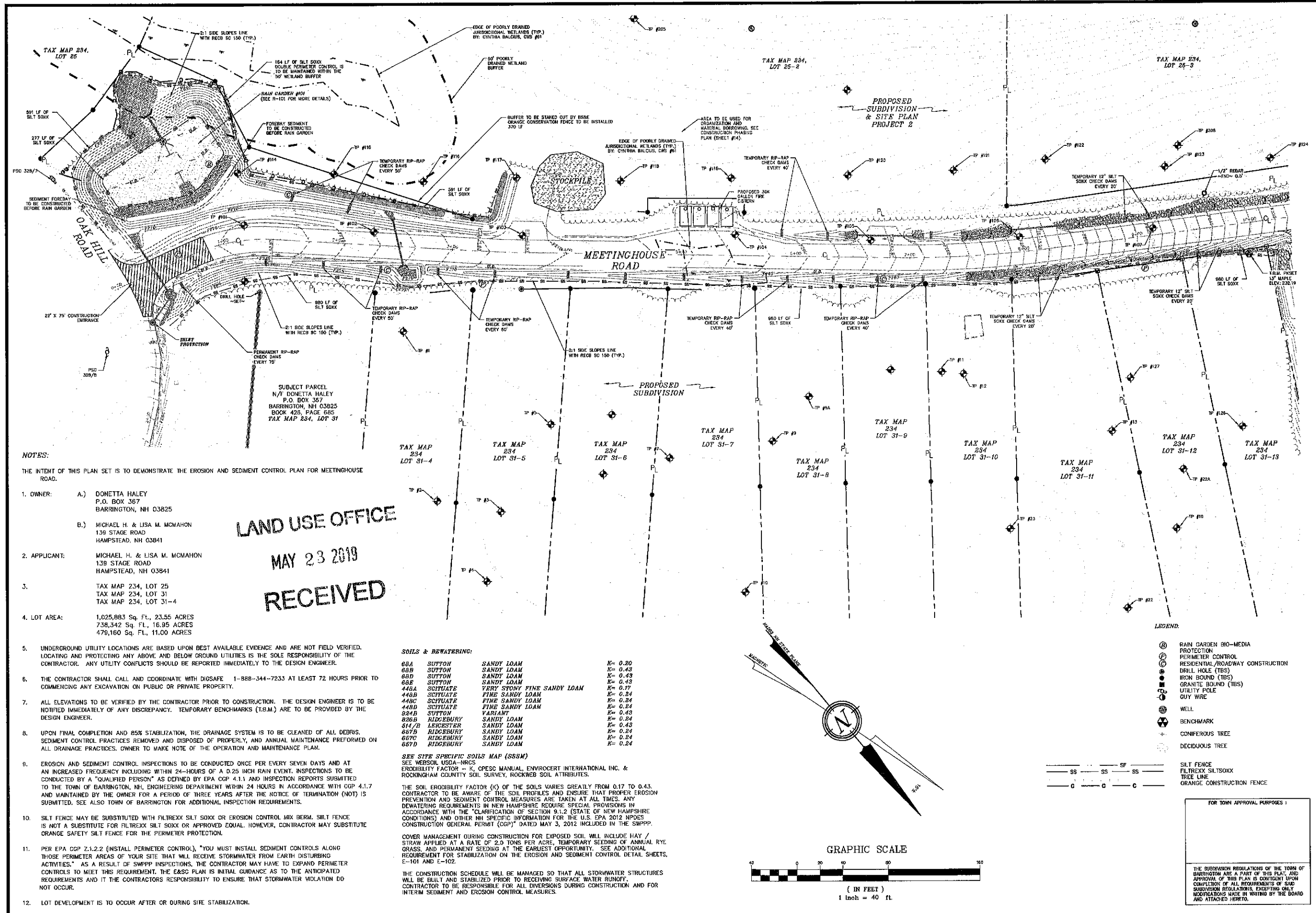
REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

RAIN GARDEN #103
LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 284, LOTS 37 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

R-103
SHEET 24 OF 39



- NOTES:**
- THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EROSION AND SEDIMENT CONTROL PLAN FOR MEETINGHOUSE ROAD.
- OWNER:
 - A.) DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
 - B.) MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - TAX MAP 234, LOT 25
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
 - LOT AREA: 1,025,883 Sq. Ft., 23.55 ACRES
738,342 Sq. Ft., 16.95 ACRES
479,160 Sq. Ft., 11.00 ACRES
 - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DISAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
 - UPON FINAL COMPLETION AND 25% STABILIZATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS. SEDIMENT CONTROL PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL MAINTENANCE PERFORMED ON ALL DRAINAGE PRACTICES. OWNER TO MAKE NOTE OF THE OPERATION AND MAINTENANCE PLAN.
 - EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CDP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE TOWN OF BARRINGTON, NH, ENGINEERING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CDP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE NOTICE OF TERMINATION (NOT) IS SUBMITTED. SEE ALSO TOWN OF BARRINGTON FOR ADDITIONAL INSPECTION REQUIREMENTS.
 - SILT FENCE MAY BE SUBSTITUTED WITH FILTREXX SILT SOXX OR EROSION CONTROL MIX BERM. SILT FENCE IS NOT A SUBSTITUTE FOR FILTREXX SILT SOXX OR APPROVED EQUAL. HOWEVER, CONTRACTOR MAY SUBSTITUTE ORANGE SAFETY SILT FENCE FOR THE PERIMETER PROTECTION.
 - PER EPA CDP 2.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&SC PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR.
 - LOT DEVELOPMENT IS TO OCCUR AFTER OR DURING SITE STABILIZATION.

LAND USE OFFICE
MAY 23 2019
RECEIVED

SOILS & DEWATERING:
SEE WEBSOL USDA-NRCS

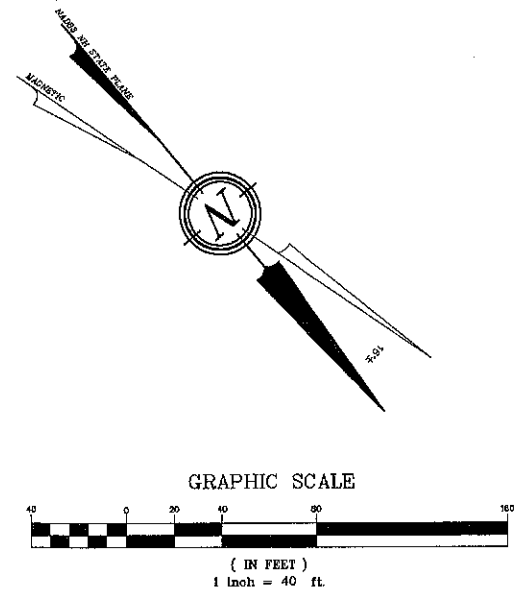
66A	SUTTON	SANDY LOAM	K= 0.20
66B	SUTTON	SANDY LOAM	K= 0.43
66D	SUTTON	SANDY LOAM	K= 0.43
66E	SUTTON	SANDY LOAM	K= 0.43
448A	SCITUATE	VERY STONY FINE SANDY LOAM	K= 0.17
448B	SCITUATE	FINE SANDY LOAM	K= 0.24
448C	SCITUATE	FINE SANDY LOAM	K= 0.24
448D	SCITUATE	FINE SANDY LOAM	K= 0.24
824B	SUTTON	VARIANT	K= 0.43
826B	RIDGEBURY	SANDY LOAM	K= 0.24
614/B	LEICESTER	SANDY LOAM	K= 0.43
667B	RIDGEBURY	SANDY LOAM	K= 0.24
667C	RIDGEBURY	SANDY LOAM	K= 0.24
667D	RIDGEBURY	SANDY LOAM	K= 0.24

SEE STATE SPECIFIC SOILS MAP (SSSM)
ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

THE SOIL ERODIBILITY FACTOR (K) OF THE SOILS VARIES GREATLY FROM 0.17 TO 0.43. CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.



- LEGEND:**
- RAIN GARDEN BIO-MEDIA PROTECTION
 - PERIMETER CONTROL
 - RESIDENTIAL/ROADWAY CONSTRUCTION
 - DRILL HOLE (TBS)
 - IRON BOUND (TBS)
 - GRANITE BOUND (TBS)
 - UTILITY POLE
 - GUY WIRE
 - WELL
 - BENCHMARK
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - SILT FENCE
 - FILTREXX SILT SOXX
 - TREE LINE
 - ORANGE CONSTRUCTION FENCE

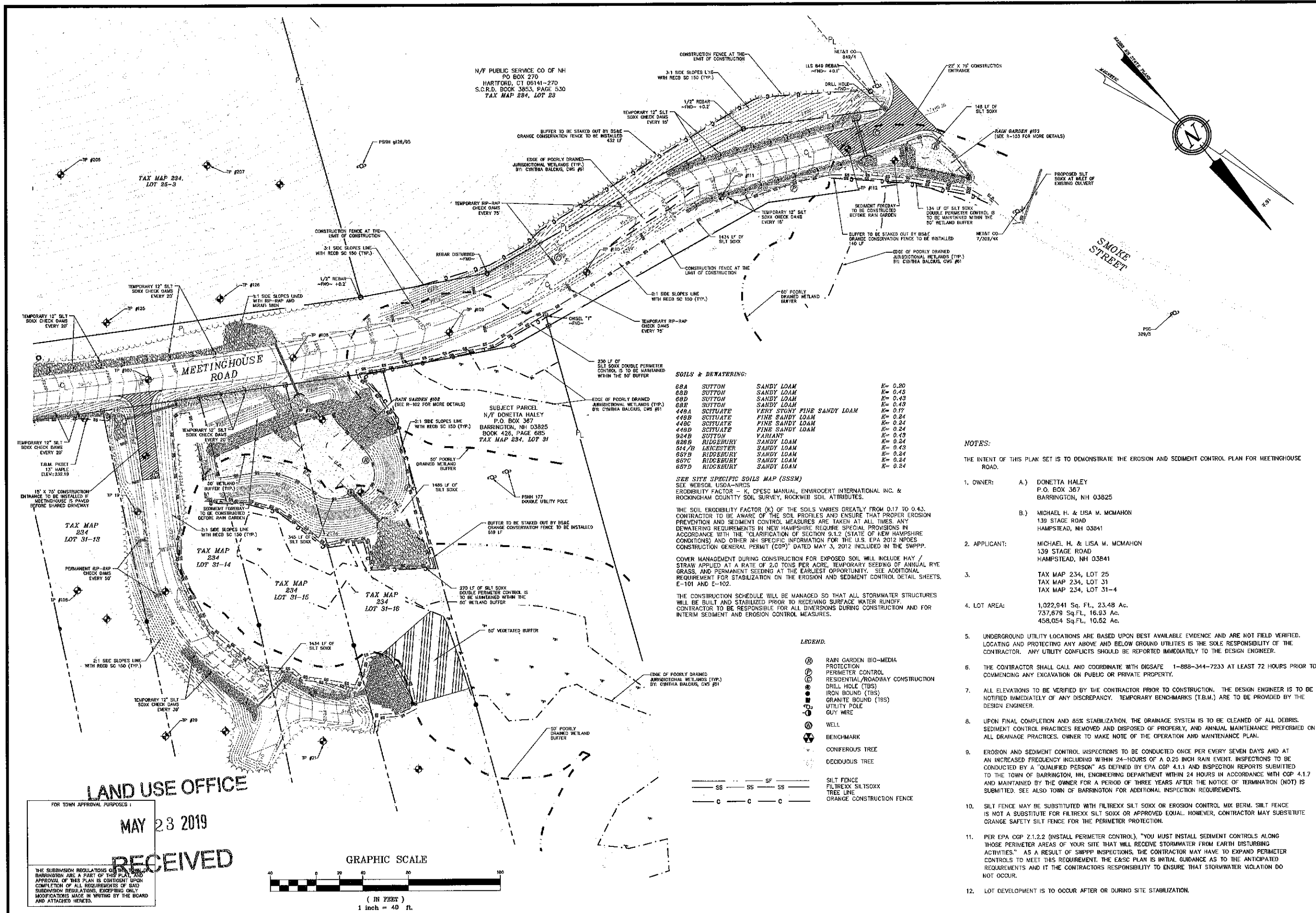
FOR TOWN APPROVAL PURPOSES:

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXISTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

EROSION AND SEDIMENT CONTROL PLAN EAST	
LAND OF DONETTA HALEY	
OAK HILL ROAD & MEETINGHOUSE ROAD	
BARRINGTON, NH	
TAX MAP 234, LOTS 31 & 31-4	
REVISION	DATE
#1	5-14-19
REVISIONS PER DB&K COMMENT	

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863	SCALE : 1 IN. EQUALS 40 FT.
	DATE : MARCH 12, 2019
FILE NO. : DB 2017 - 052	

SHEET 25 OF 39



N/F PUBLIC SERVICE CO OF NH
 PO BOX 270
 HARTFORD, CT 06141-270
 S.C.R.D. BOOK 3853, PAGE 530
 TAX MAP 234, LOT 23

SUBJECT PARCEL
 N/F DONETTA HALEY
 P.O. BOX 367
 BARRINGTON, NH 03825
 BOOK 426, PAGE 685
 TAX MAP 234, LOT 31

SOILS & DEWATERING:

68A	SUTTON	SANDY LOAM	K= 0.20
68B	SUTTON	SANDY LOAM	K= 0.43
68C	SUTTON	SANDY LOAM	K= 0.43
68E	SUTTON	SANDY LOAM	K= 0.43
448A	SCITUATE	VERY STONY FINE SANDY LOAM	K= 0.17
448B	SCITUATE	FINE SANDY LOAM	K= 0.24
448C	SCITUATE	FINE SANDY LOAM	K= 0.24
448D	SCITUATE	FINE SANDY LOAM	K= 0.24
924B	SUTTON	VARIANT	K= 0.43
888B	RIDGEBURY	SANDY LOAM	K= 0.24
514/D	LEICESTER	SANDY LOAM	K= 0.43
667C	RIDGEBURY	SANDY LOAM	K= 0.24
667D	RIDGEBURY	SANDY LOAM	K= 0.24
667D	RIDGEBURY	SANDY LOAM	K= 0.24

SEE SITE SPECIFIC SOILS MAP (SSSM)
 SEE WEBSOIL USDA-NRCS
 ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

THE SOIL ERODIBILITY FACTOR (K) OF THE SOILS VARIES GREATLY FROM 0.17 TO 0.43. CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

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THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

LEGEND:

- (R) RAIN GARDEN BIO-MEDIA PROTECTION
- (P) PERIMETER CONTROL
- (C) RESIDENTIAL/ROADWAY CONSTRUCTION
- (D) DRILL HOLE (TBS)
- (G) GRANITE BOUND (TBS)
- (U) UTILITY POLE
- (W) WELL
- (B) BENCHMARK
- (T) CONIFEROUS TREE
- (D) DECIDUOUS TREE
- (S) SILT FENCE
- (SF) FILTEREXX SILT SOXX
- (TL) TREE LINE
- (CF) ORANGE CONSTRUCTION FENCE

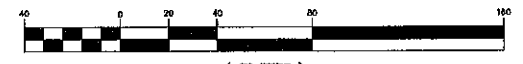
- NOTES:**
- THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EROSION AND SEDIMENT CONTROL PLAN FOR MEETINGHOUSE ROAD.
- OWNER:
 - A.) DONETTA HALEY
P.O. BOX 367
BARRINGTON, NH 03825
 - B.) MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - APPLICANT: MICHAEL H. & LISA M. MCMAHON
139 STAGE ROAD
HAMPSTEAD, NH 03841
 - TAX MAP 234, LOT 25
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
 - LOT AREA: 1,022,941 Sq. Ft., 23.48 Ac.
737,679 Sq.Ft., 16.93 Ac.
458,054 Sq.Ft., 10.52 Ac.
 - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
 - UPON FINAL COMPLETION AND 85% STABILIZATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS. SEDIMENT CONTROL PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL MAINTENANCE PERFORMED ON ALL DRAINAGE PRACTICES. OWNER TO MAKE NOTE OF THE OPERATION AND MAINTENANCE PLAN.
 - EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE TOWN OF BARRINGTON, NH, ENGINEERING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE NOTICE OF TERMINATION (NOT) IS SUBMITTED. SEE ALSO TOWN OF BARRINGTON FOR ADDITIONAL INSPECTION REQUIREMENTS.
 - SILT FENCE MAY BE SUBSTITUTED WITH FILTEREXX SILT SOXX OR EROSION CONTROL MIX BERM. SILT FENCE IS NOT A SUBSTITUTE FOR FILTEREXX SILT SOXX OR APPROVED EQUAL. HOWEVER, CONTRACTOR MAY SUBSTITUTE ORANGE SAFETY SILT FENCE FOR THE PERIMETER PROTECTION.
 - PER EPA CGP 2.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES" AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&S PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IF THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR.
 - LOT DEVELOPMENT IS TO OCCUR AFTER OR DURING SITE STABILIZATION.

LAND USE OFFICE

MAY 23 2019

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GRAPHIC SCALE

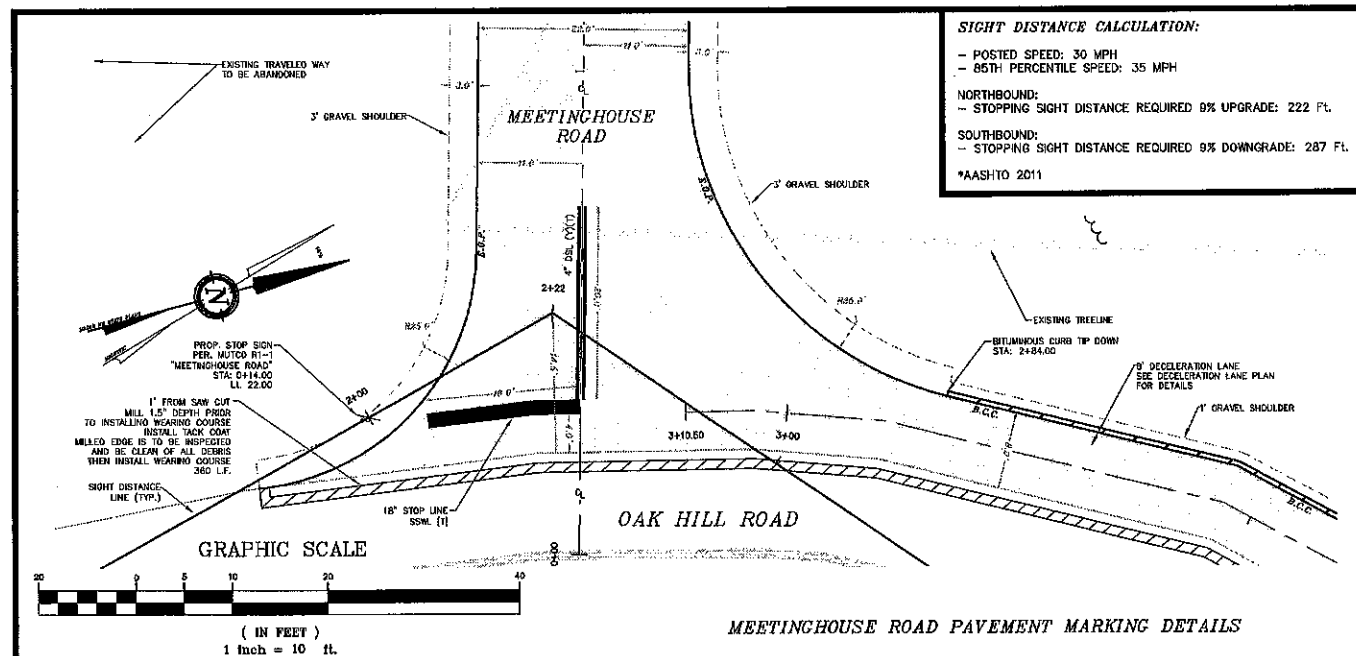


FOR TOWN APPROVAL PURPOSES:
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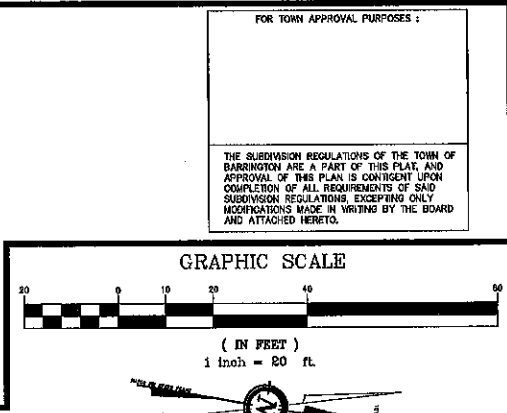
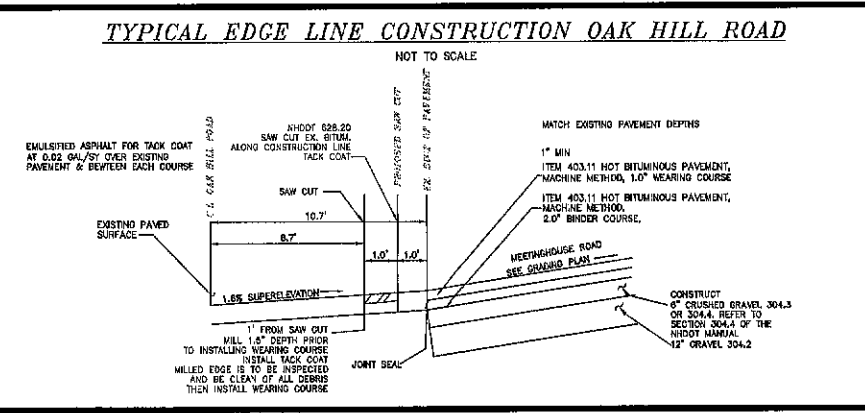
REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

EROSION AND SEDIMENT CONTROL PLAN WEST
 LAND OF DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 25 & 31-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)532-2863
 SCALE: 1" IN. EQUALS 20 FT.
 DATE: MARCH 12, 2019
 FILE NO.: DB 2017 - 052

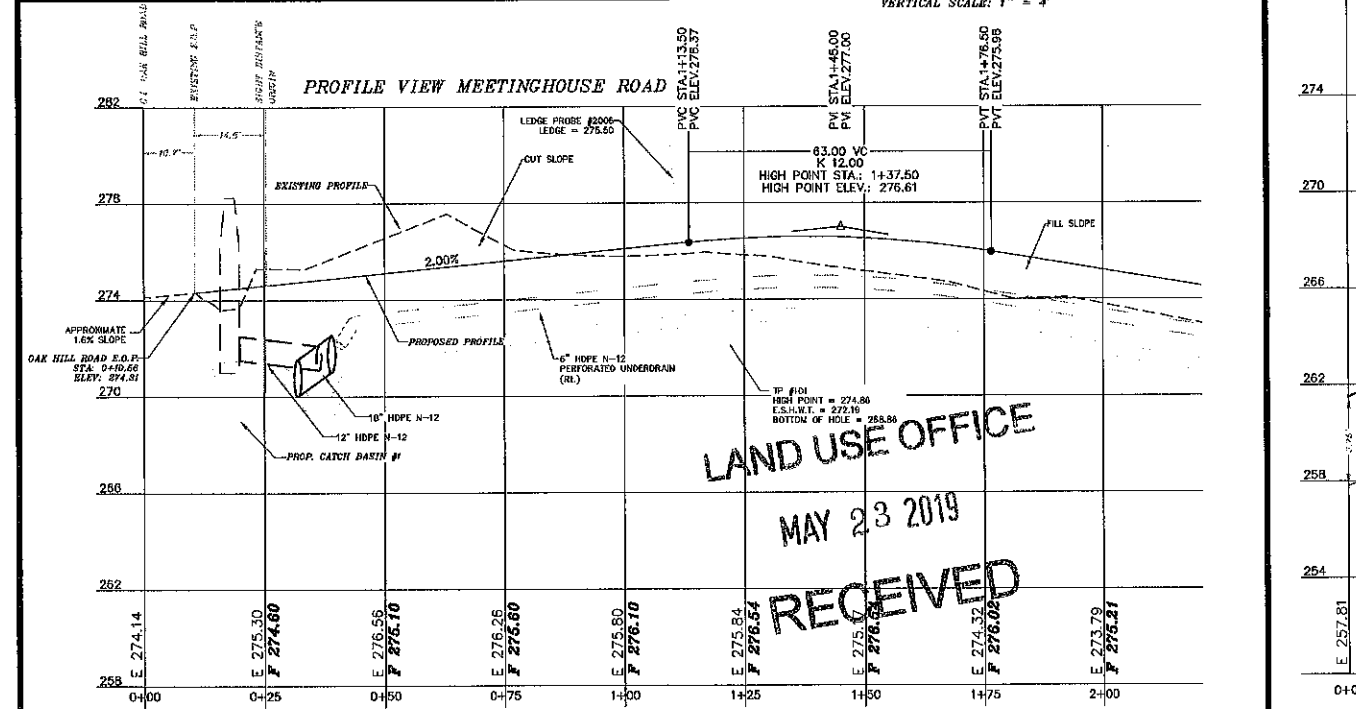
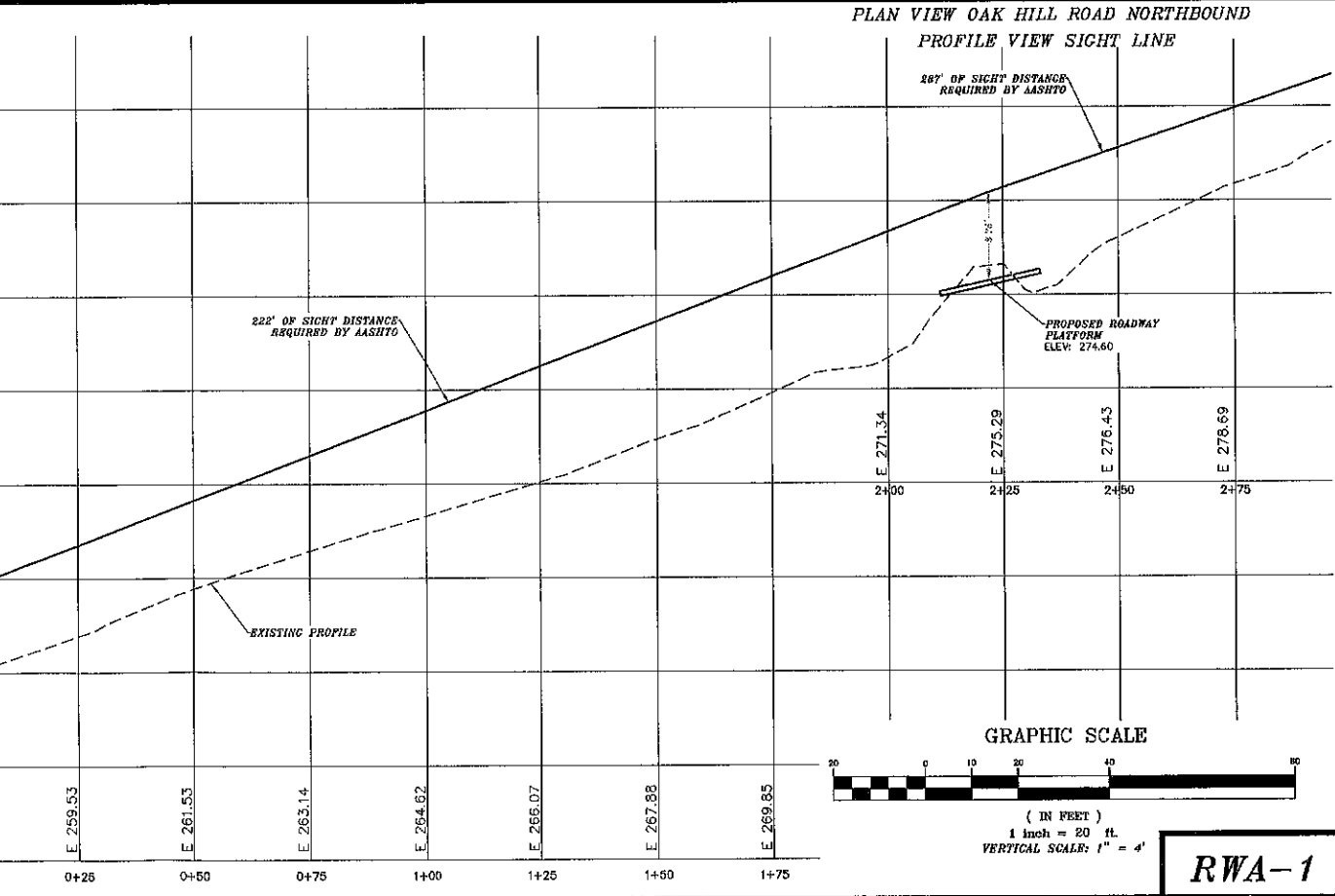
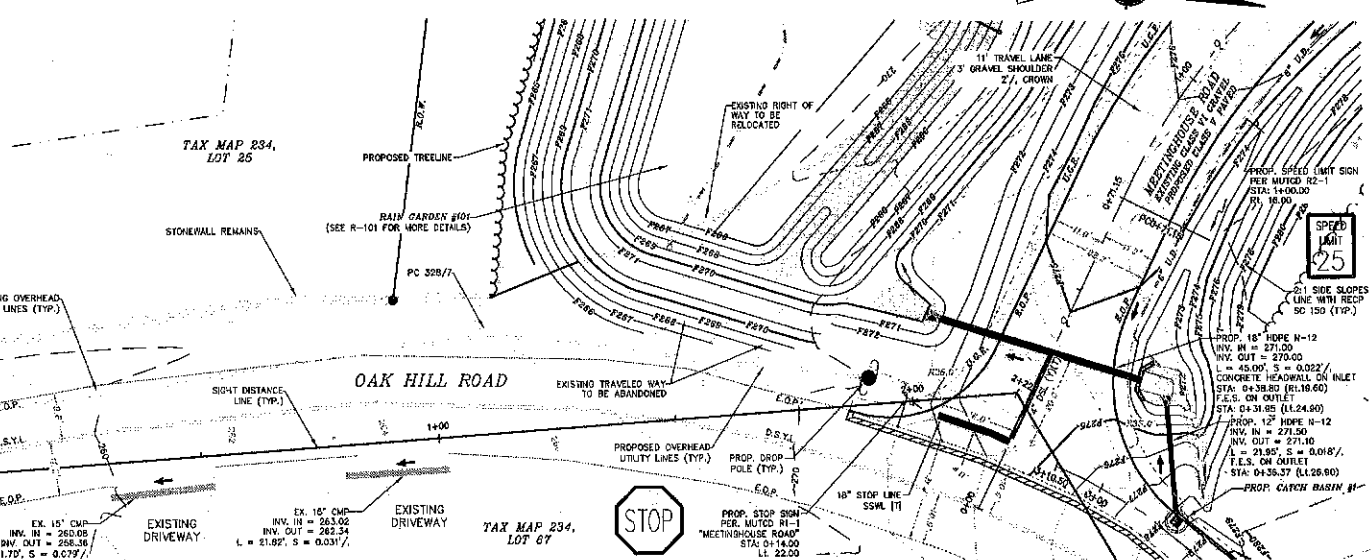


SIGHT DISTANCE CALCULATION:
 - POSTED SPEED: 30 MPH
 - 85TH PERCENTILE SPEED: 35 MPH
 NORTHBOUND:
 - STOPPING SIGHT DISTANCE REQUIRED 9% UPGRADE: 222 FT.
 SOUTHBOUND:
 - STOPPING SIGHT DISTANCE REQUIRED 9% DOWNGRADE: 287 FT.
 *AASHTO 2011



NOTES:
 1.) OWNER: MICHAEL H. & LISA M. MCMAHON
 139 STAGE ROAD
 HAMPSTEAD, NH 03841
 DONETTA HALEY
 P.O. BOX 367
 BARRINGTON, NH 03825
 1A.) APPLICANT: MICHAEL H. & LISA M. MCMAHON
 139 STAGE ROAD
 HAMPSTEAD, NH 03841
 2.) TOWN OF BARRINGTON:
 TAX MAP 234, LOT 25
 TAX MAP 234, LOT 31
 TAX MAP 234, LOT 31-4
 MEETINGHOUSE ROAD, CLASS M ROAD
 3.) LOT AREA:
 1,022,941 Sq. Ft., 23.48 Ac.
 737,679 Sq.Ft., 16.93 Ac.
 458,054 Sq.Ft., 10.52 Ac.
 4.) S.C.R.D. BOOK 4487, PAGE 995
 BOOK 426, PAGE 685
 BOOK 453A, PAGE 949
 STATE OF NH ARCHIVES BOOK 1, PAGE 383
 5.) THIS IS A MAJOR ACCESS ROADWAY.
 6.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
 7.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2010. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
 8.) CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.

LEGEND:
 ○ DRILL HOLE ~FND~
 ● IRON BOUND ~FND~
 ● 3/4" REBAR W/D GAP ~SET~
 - SIGNAGE
 ○ UTILITY POLE/GUY WIRE
 ○ OVERHEAD UTILITIES
 ○ UNDERGROUND UTILITIES
 ○ CATCH BASIN W/ STRUCTURE
 ○ CULVERT W/ FLARED END SECTION (F.E.S.)
 ○ SHOULDER
 ○ STONEWALL REMAINS
 ○ EDGE OF TRAVELED WAY
 ○ PROPOSED ROAD CENTERLINE
 ○ STRAFFORD COUNTY REGISTRY OF DEEDS
 ○ S.C.R.D. TYP. TYPICAL
 ○ FND FOUND
 ○ U.G.E. UNDERGROUND ELECTRIC
 ○ P.L. PROPERTY LINE
 ○ E.O.P. EDGE OF PAVEMENT
 ○ SSL (W) SINGLE SOLID LINE (WHITE)
 ○ DSL (Y) DOUBLE SOLID LINE (YELLOW)



LAND USE OFFICE
 MAY 23 2019
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FOR TOWN APPROVAL PURPOSES:
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REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
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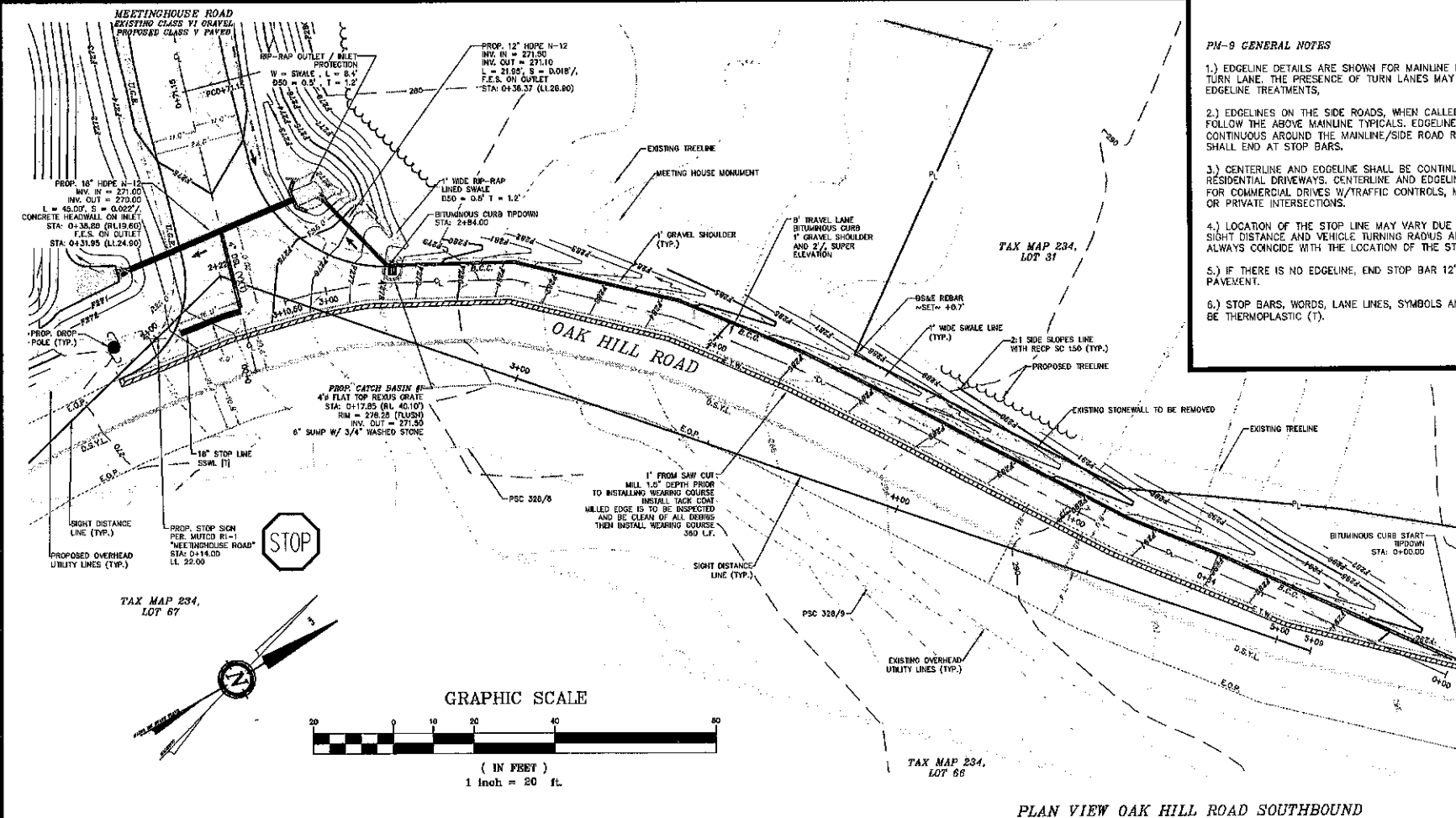
ROADWAY ACCESS OAK HILL ROAD NORTHBOUND
 LAND OF DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603) 332-2863
 SCALE: 1 IN. EQUALS 20 FT.
 DATE: MARCH 12, 2019
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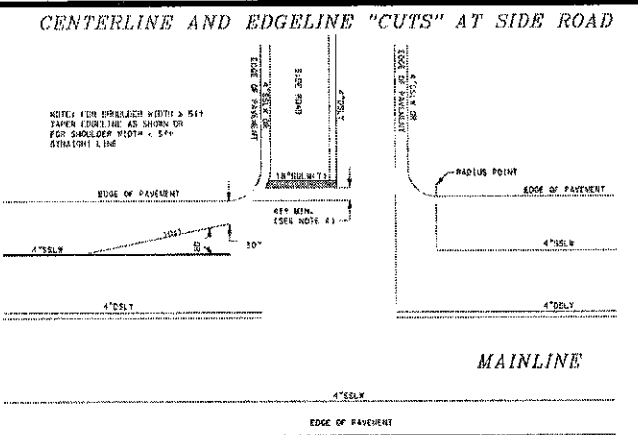
STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 LICENSED PROFESSIONAL ENGINEER

RWA-1

SHEET 27 OF 39



- PM-9 GENERAL NOTES**
- 1.) EDGE LINE DETAILS ARE SHOWN FOR MAINLINE ROADWAYS WITHOUT TURN LANE. THE PRESENCE OF TURN LANES MAY REQUIRE DIFFERENT EDGE LINE TREATMENTS.
 - 2.) EDGE LINES ON THE SIDE ROADS, WHEN CALLED FOR, SHALL FOLLOW THE ABOVE MAINLINE TYPICALS. EDGE LINES SHALL NOT BE CONTINUOUS AROUND THE MAINLINE/SIDE ROAD RADIUS. EDGE LINES SHALL END AT STOP BARS.
 - 3.) CENTERLINE AND EDGE LINE SHALL BE CONTINUOUS PAST RESIDENTIAL DRIVEWAYS. CENTERLINE AND EDGE LINE SHALL BREAK FOR COMMERCIAL DRIVES W/TRAFFIC CONTROLS, MINOR SIDE ROADS, OR PRIVATE INTERSECTIONS.
 - 4.) LOCATION OF THE STOP LINE MAY VARY DUE TO INTERSECTION SIGHT DISTANCE AND VEHICLE TURNING RADIUS AND MAY NOT ALWAYS COINCIDE WITH THE LOCATION OF THE STOP SIGN.
 - 5.) IF THERE IS NO EDGE LINE, END STOP BAR 12" FROM EDGE OF PAVEMENT.
 - 6.) STOP BARS, WORDS, LANE LINES, SYMBOLS AND ARROWS SHALL BE THERMOPLASTIC (T).

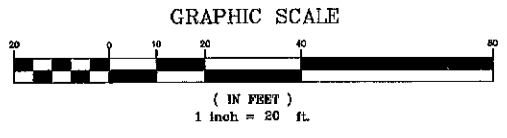
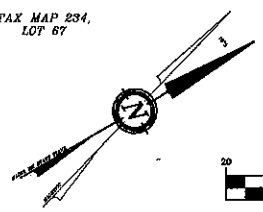


NOTES:

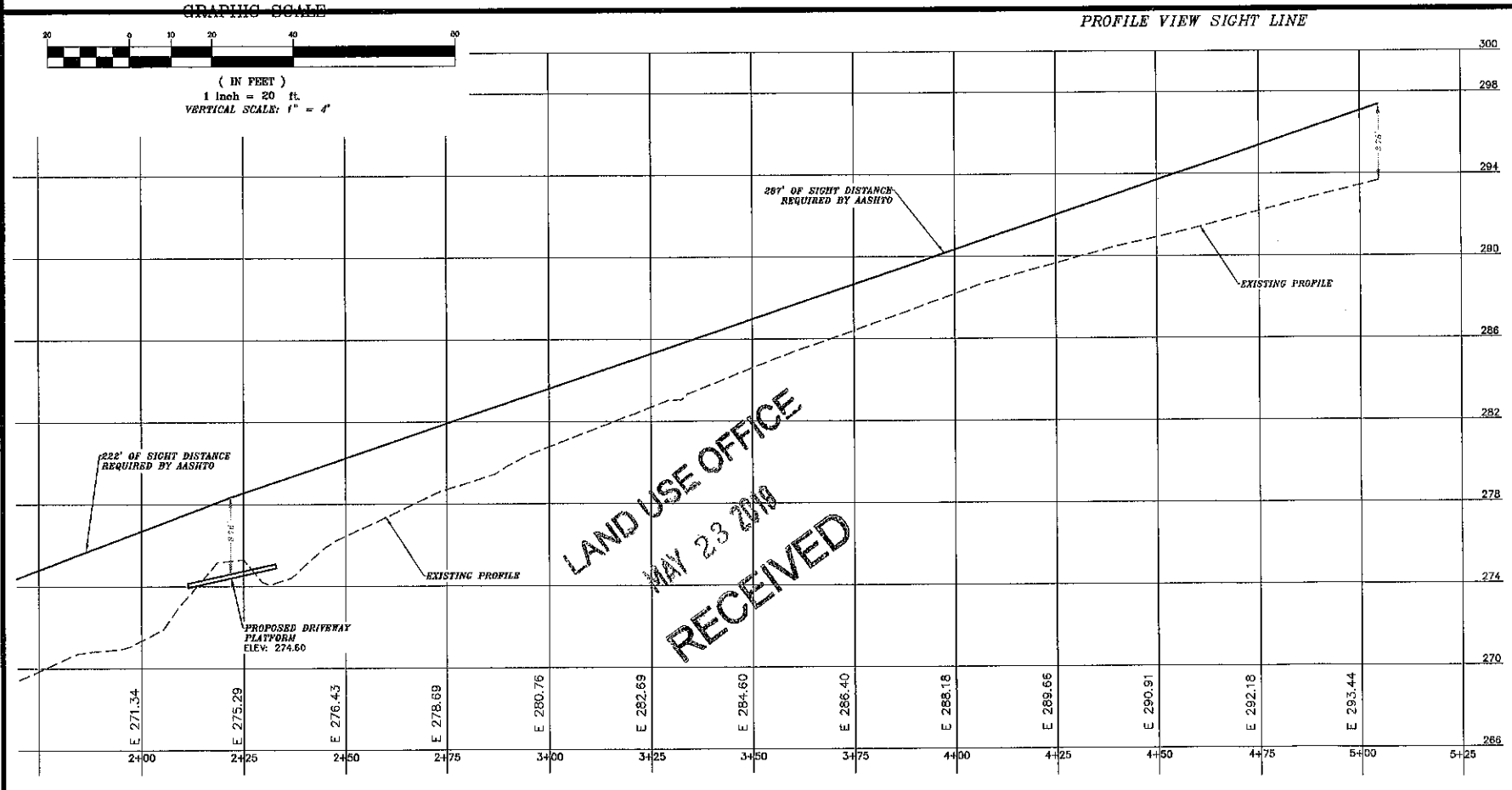
- 1.) OWNER: MICHAEL H. & JISA M. McMAHON
139 STAGE ROAD
HAMPSHIRE, NH 03841
DONETTA HALEY
P.O. BOX 387
BARRINGTON, NH 03825
- 1A.) APPLICANT: MICHAEL H. & JISA M. McMAHON
139 STAGE ROAD
HAMPSHIRE, NH 03841
- 2.) TOWN OF BARRINGTON:
TAX MAP 234, LOT 25
TAX MAP 234, LOT 31
TAX MAP 234, LOT 31-4
MEETINGHOUSE ROAD, CLASS V ROAD
- 3.) LOT AREA:
1,022,941 Sq. Ft., 23.48 Ac.
737,679 Sq. Ft., 16.83 Ac.
458,054 Sq. Ft., 10.52 Ac.
- 4.) S.C.R.D.
BOOK 4467, PAGE 985
BOOK 426, PAGE 885
BOOK 4636, PAGE 849
STATE OF NH ARCHIVES BOOK 1, PAGE 383
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- 7.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2010. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- 8.) CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.

NOTES CONT.:

- 8.) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- 10.) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 11.) THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- 12.) AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 13.) THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R).
- 14.) ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS NOTED OTHERWISE.



PLAN VIEW OAK HILL ROAD SOUTHBOUND



NOTES CONT.:

- 15.) ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH (T) SHALL BE THERMOPLASTIC.
 - 16.) ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEEDED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.
 - 17.) ALL PAVEMENT MARKINGS TO BE PAINTED TO NHDOT STANDARD NO. PM-9.
 - 18.) THE SPEED LIMIT ON OAK HILL ROAD IS 30 MPH.
 - 19.) DESIGN ENGINEER TO PROVIDE INSPECTION & OVERSIGHT OF ALL WORK WITHIN R.O.W.
- SIGHT DISTANCE CALCULATION:**
- POSTED SPEED: 30 MPH
 - 85TH PERCENTILE SPEED: 35 MPH
- NORTHBOUND:**
- STOPPING SIGHT DISTANCE REQUIRED 9% UPGRADE: 222 FT.
- SOUTHBOUND:**
- STOPPING SIGHT DISTANCE REQUIRED 9% DOWNGRADE: 287 FT.
- *AASHTO 2011

LEGEND:

- ⊙ DRILL HOLE ~FND~
- IRON BOUND ~FND~
- 3/4" REBAR W/D CAP ~SET~
- SIGNAGE
- UTILITY POLE/GUY WIRE
- OVERHEAD UTILITIES
- UNDERGROUND UTILITIES
- ⊞ CATCH BASIN W/ STRUCTURE
- CULVERT W/ FLARED END SECTION (F.E.S.)
- SHOULDER
- STONEWALL REMAINS
- EDGE OF TRAVELED WAY
- PROPOSED ROAD CENTERLINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND
- U.G.E. UNDERGROUND ELECTRIC
- PL PROPERTY LINE
- E.O.P. EDGE OF PAVEMENT
- SSL (W) SINGLE SOLID LINE (WHITE)
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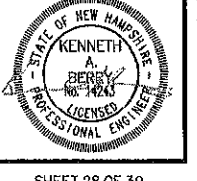
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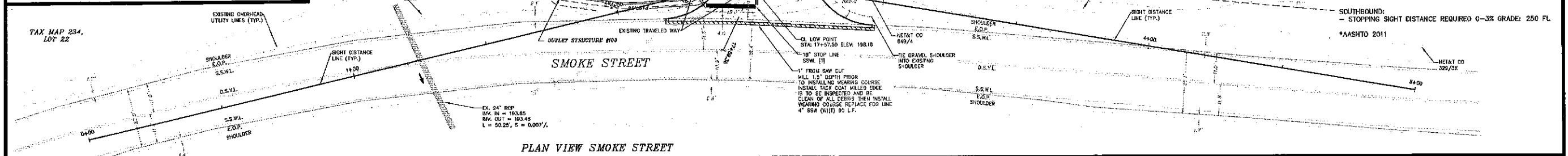
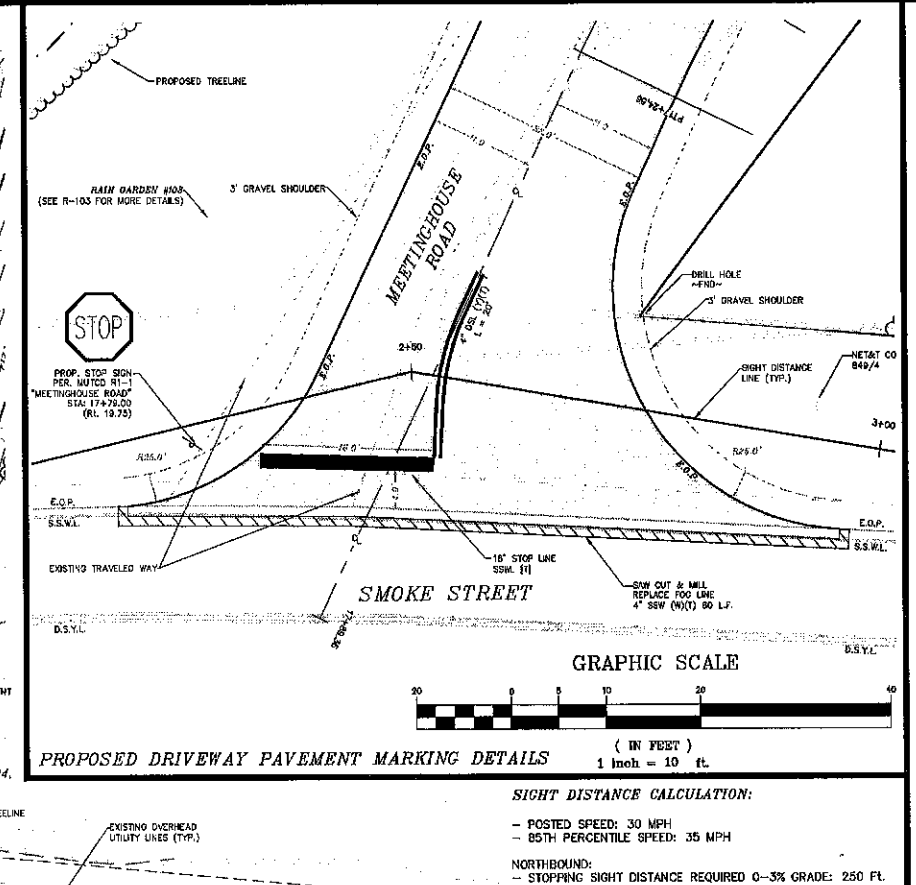
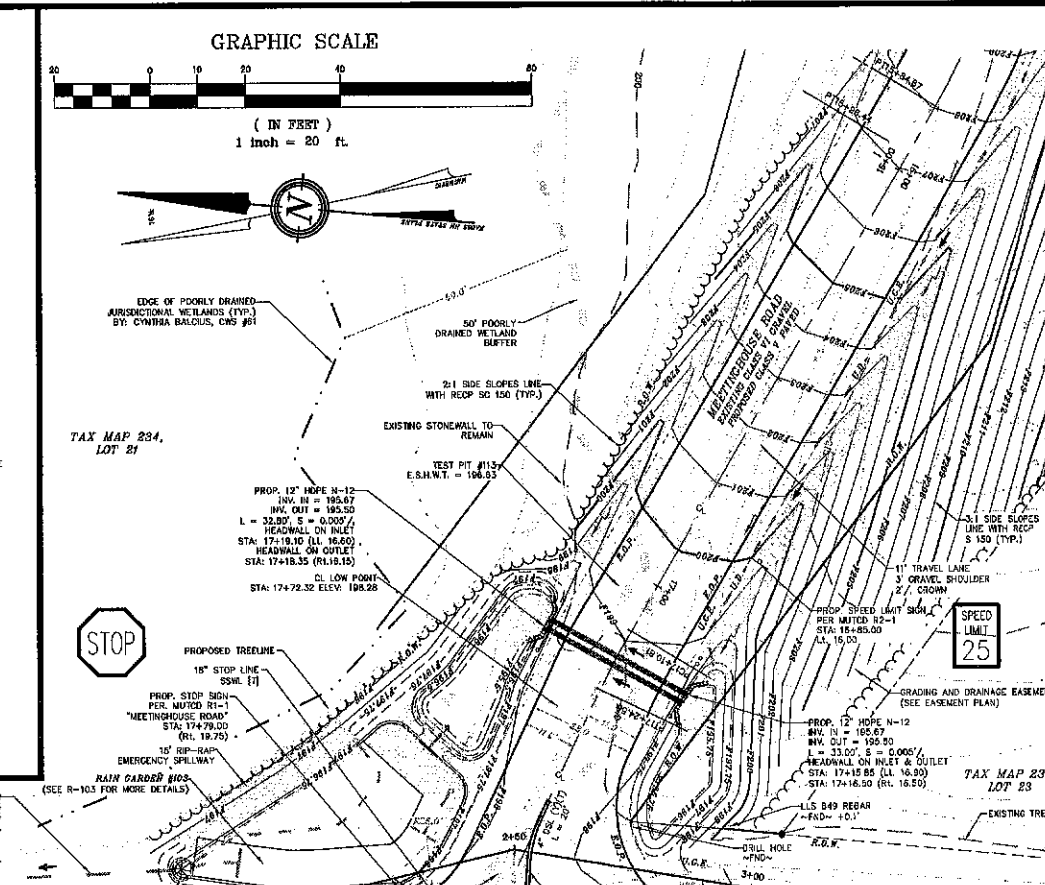
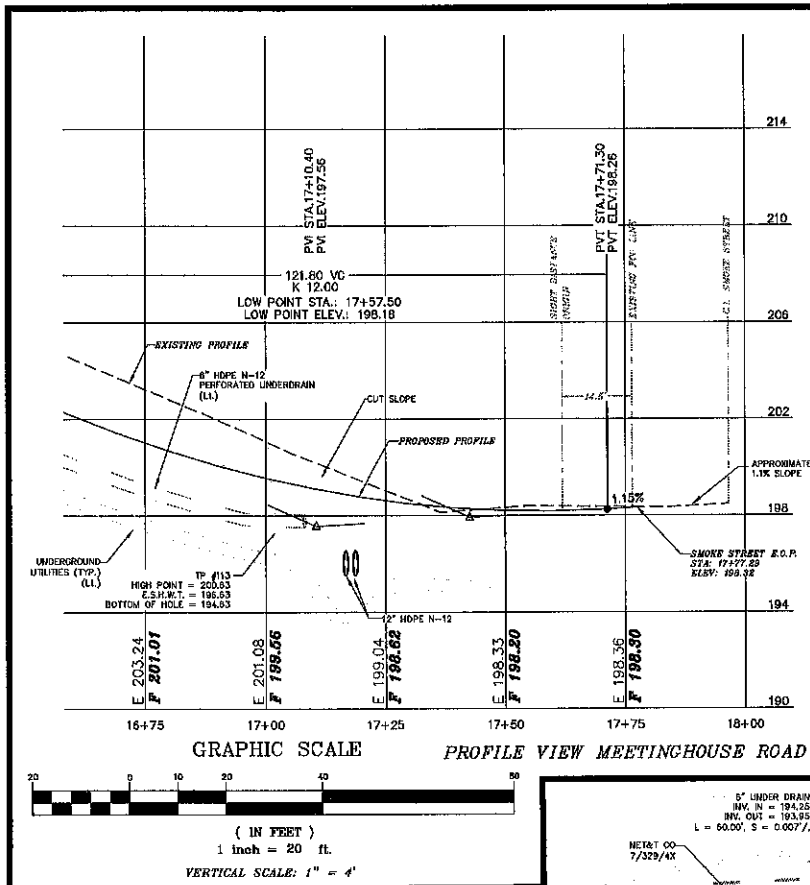
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ROADWAY ACCESS OAK HILL ROAD SOUTHBOUND
LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 12, 2019
FILE NO. : DB 2017 - 052



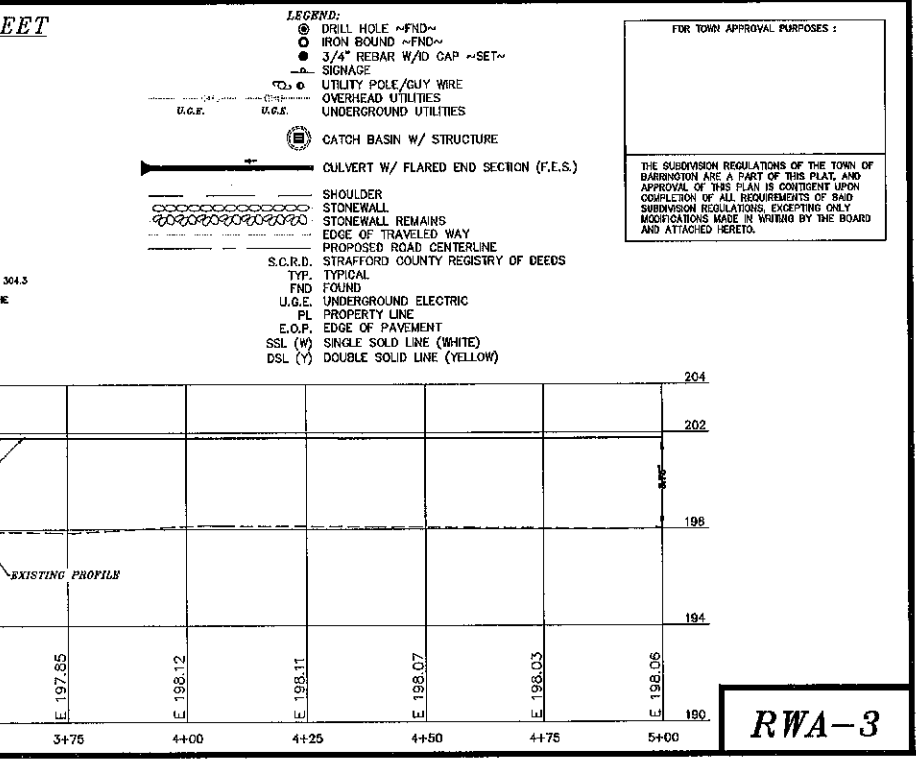
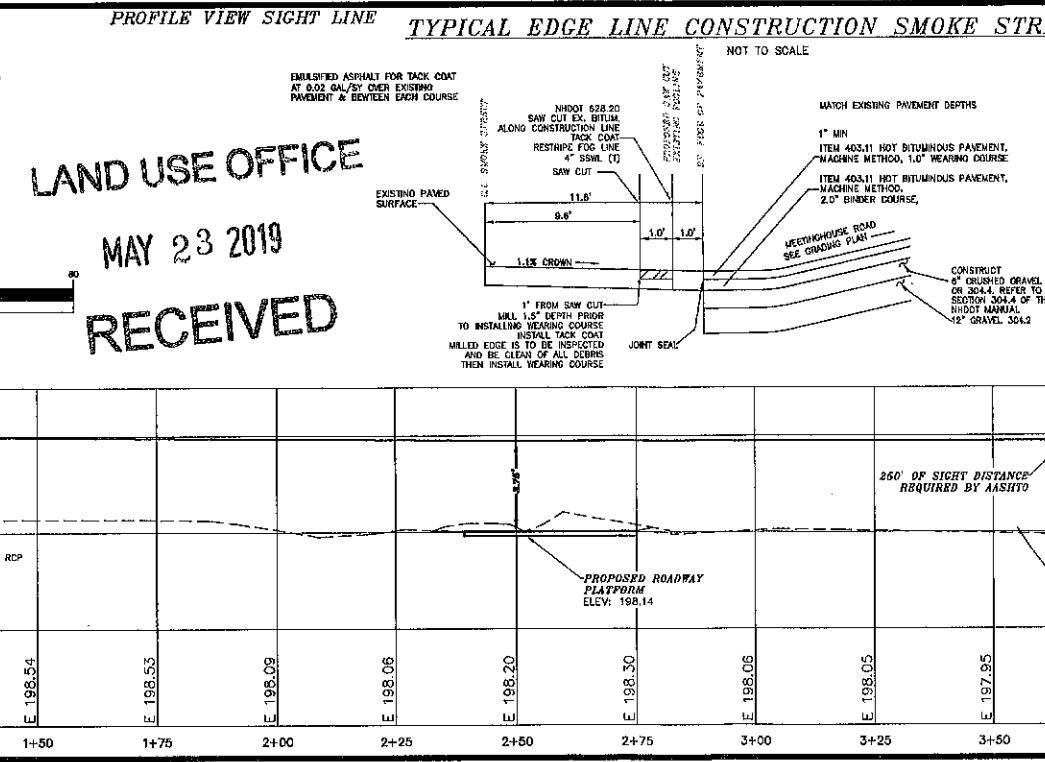


NOTES:

- OWNER: MICHAEL H. & LISA M. McMAHON, 159 STAGE ROAD, HAMPSHIRE, NH 03841. DONETTA HALEY, P.O. BOX 357, BARRINGTON, NH 03825.
- APPLICANT: MICHAEL H. & LISA M. McMAHON, 159 STAGE ROAD, HAMPSHIRE, NH 03841.
- TOWN OF BARRINGTON: TAX MAP 234, LOT 25; TAX MAP 234, LOT 31; TAX MAP 234, LOT 31-4; MEETINGHOUSE ROAD, CLASS M ROAD.
- LOT AREA: 1,022,041 Sq. Ft., 23.48 Ac.; 737,679 Sq. Ft., 16.93 Ac.; 458,034 Sq. Ft., 10.52 Ac.
- S.C.R.D.: BOOK 4467, PAGE 985; BOOK 428, PAGE 685; BOOK 4636, PAGE 649; STATE OF NH ARCHIVES BOOK 1, PAGE 383.

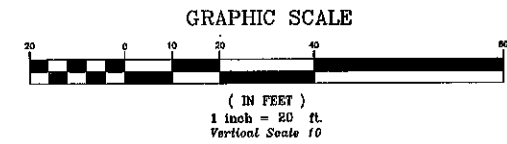
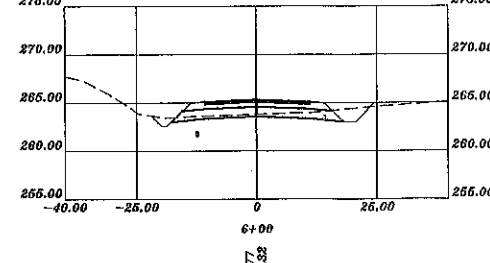
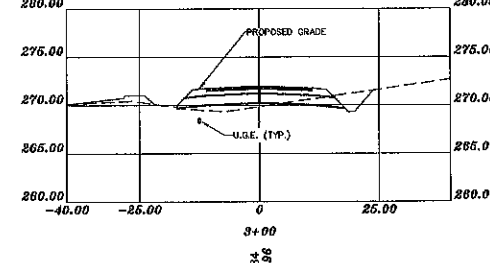
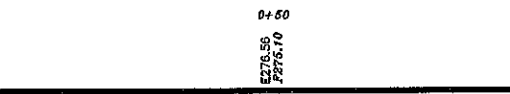
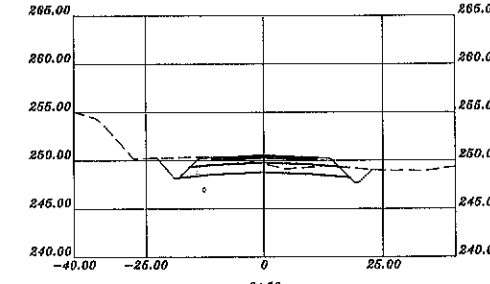
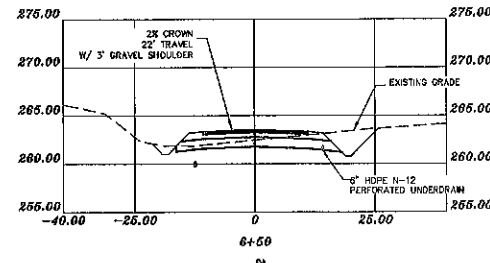
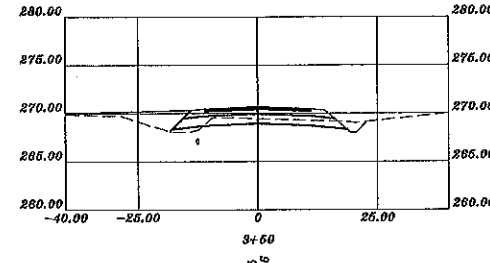
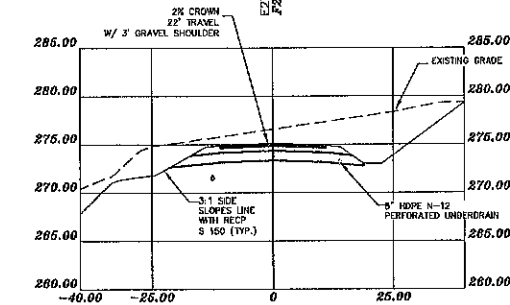
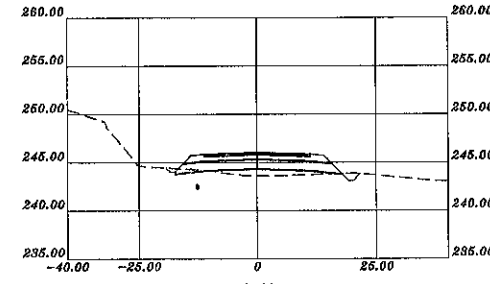
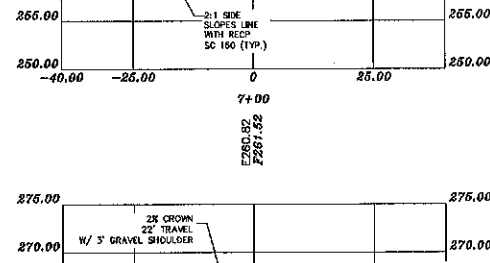
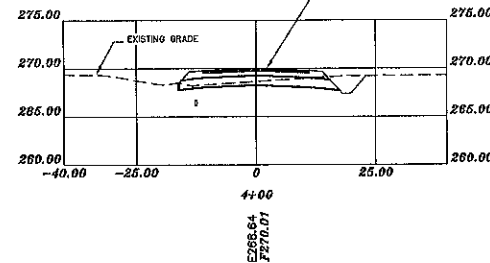
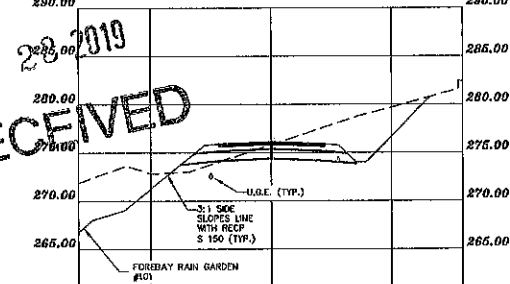
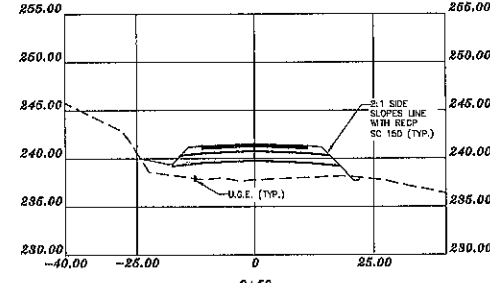
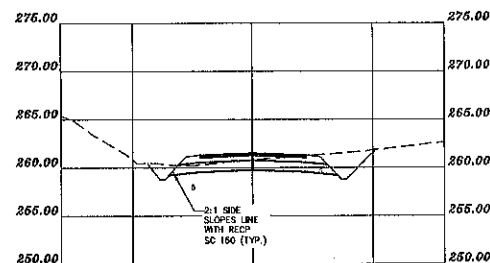
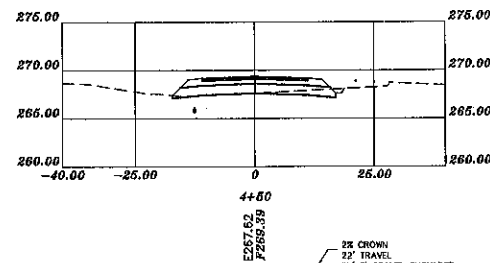
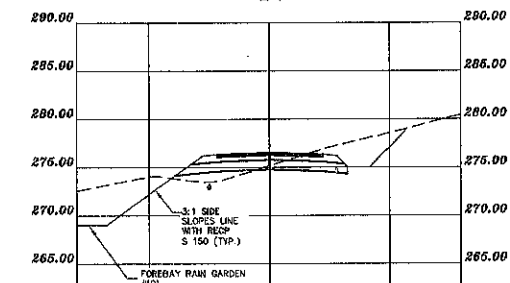
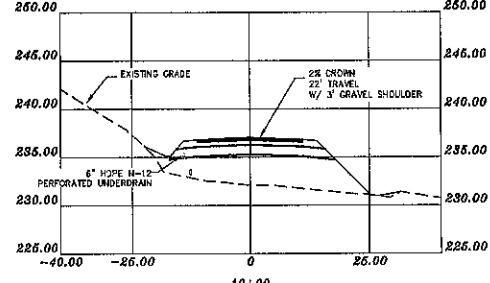
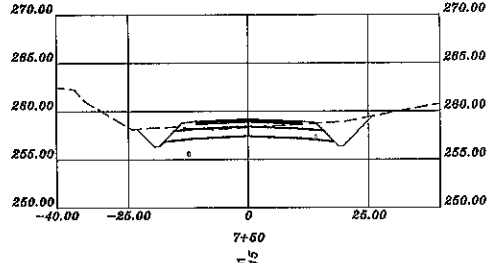
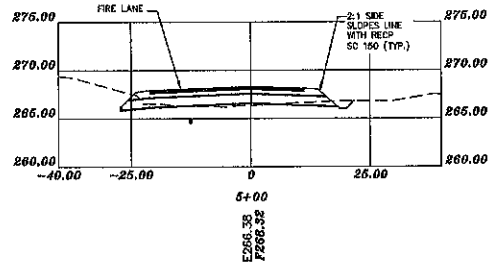
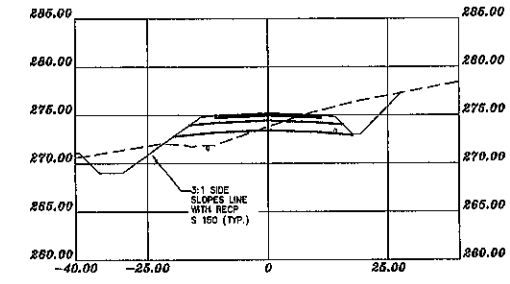
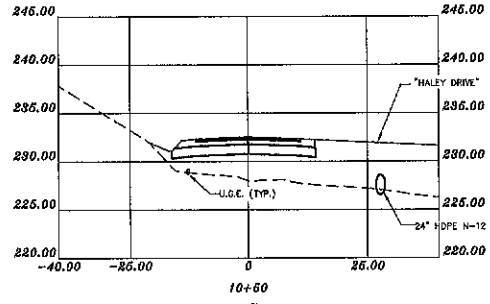
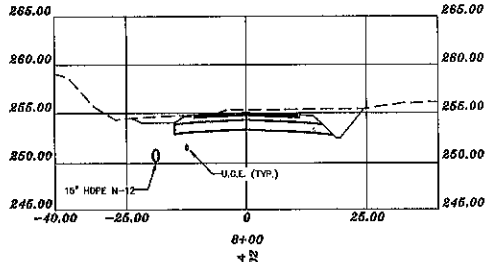
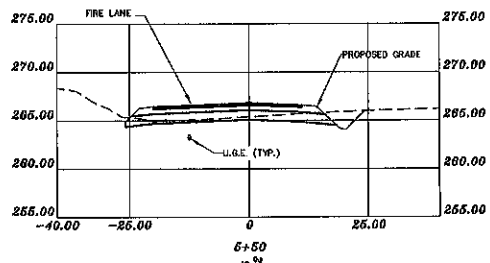
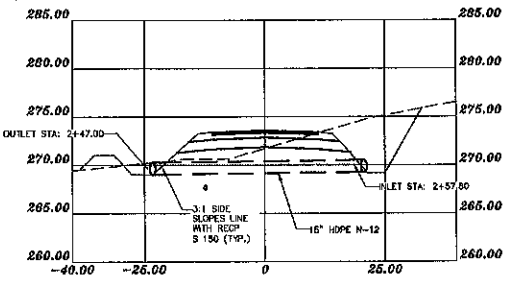
NOTES CONT.:

- THIS IS A MAJOR ACCESS ROADWAY.
- EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2010. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- THE SPEED LIMIT ON SMOKE STREET IS 30 MPH.



REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
#1	5-14-19		

ROADWAY ACCESS SMOKE STREET
 LAND OF
 DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 31 & 31-4



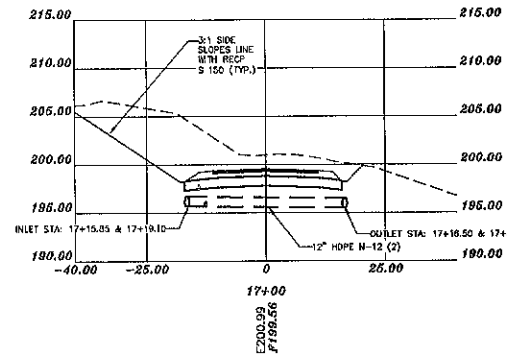
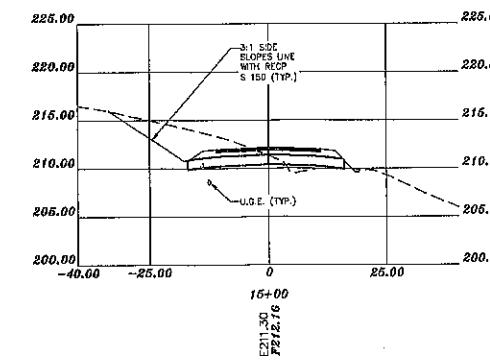
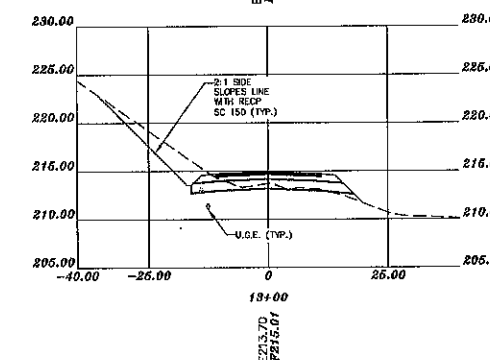
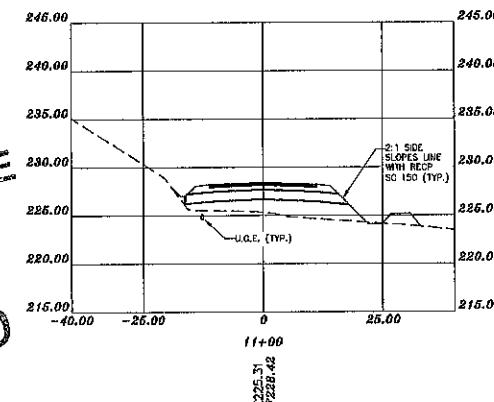
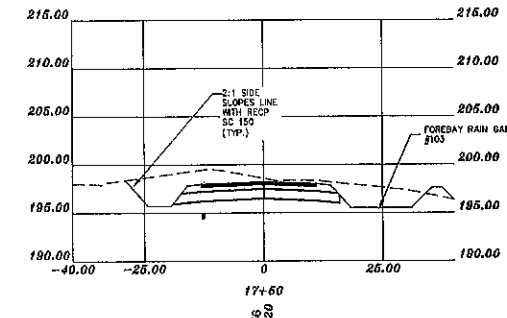
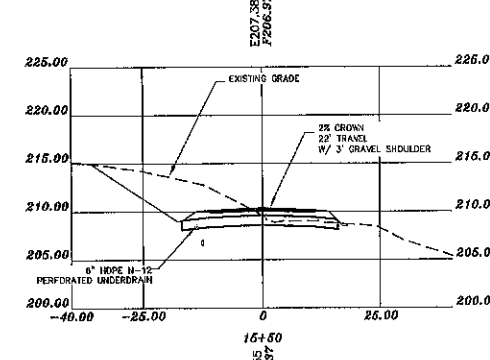
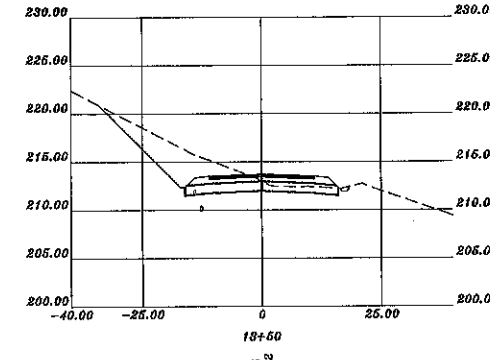
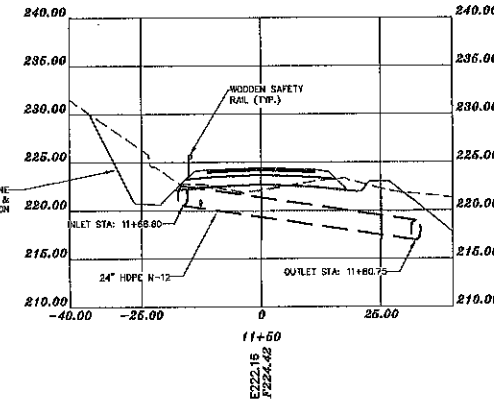
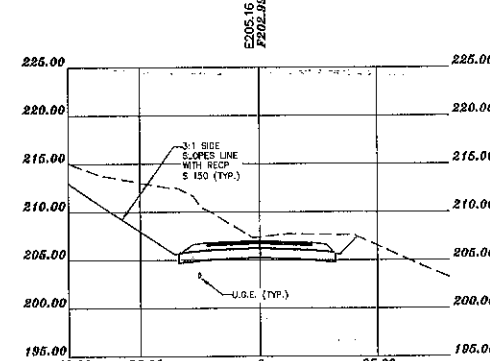
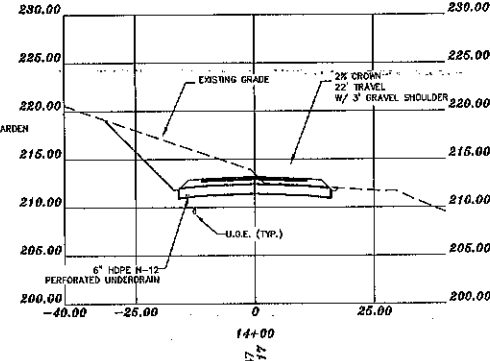
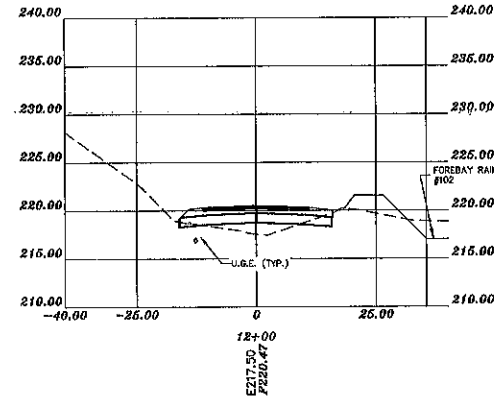
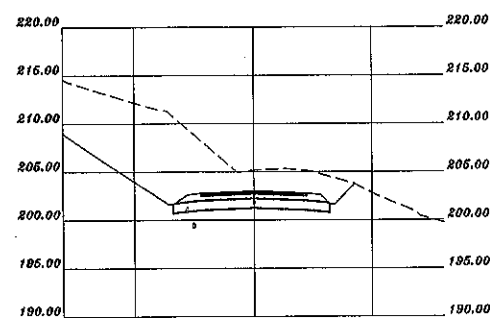
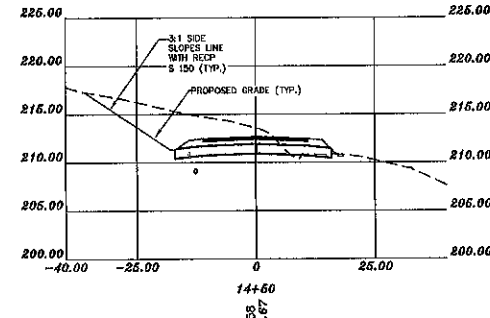
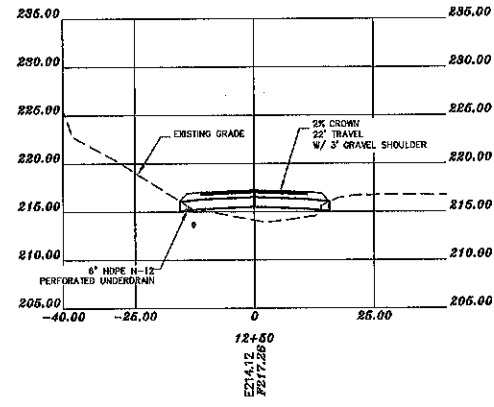
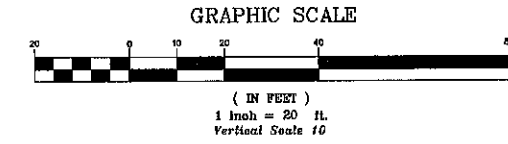
LAND USE OFFICE
MAY 23 2019
RECEIVED

REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

CROSS SECTIONS MEETINGHOUSE ROAD 0+50-10+50
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

FOR TOWN APPROVAL PURPOSES:
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



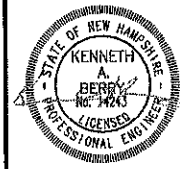
LAND USE OFFICE
 MAY 23 2019
 RECEIVED

FOR TOWN APPROVAL PURPOSES:
 THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

CROSS SECTIONS MEETINGHOUSE ROAD 11+00-17+50
 LAND OF
 DONETTA HALEY
 OAK HILL ROAD & MEETINGHOUSE ROAD
 BARRINGTON, NH
 TAX MAP 234, LOTS 37 & 37-4

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)352-2863
 SCALE: 1 IN. EQUALS 20 FT.
 DATE: MARCH 12, 2019
 FILE NO.: DB 2017 - 052

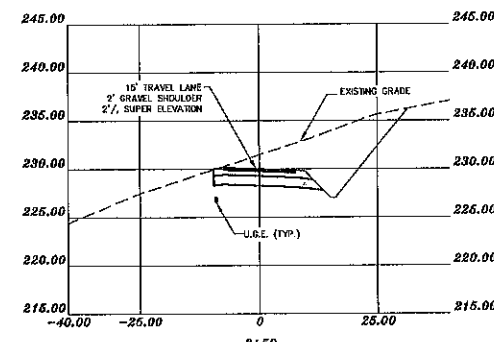
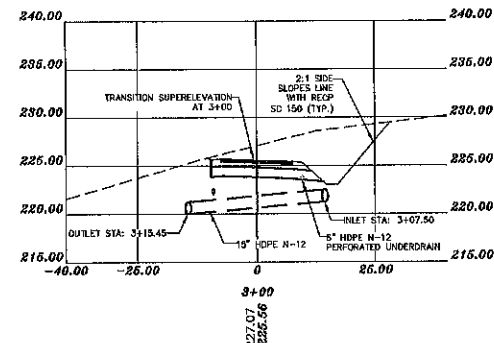
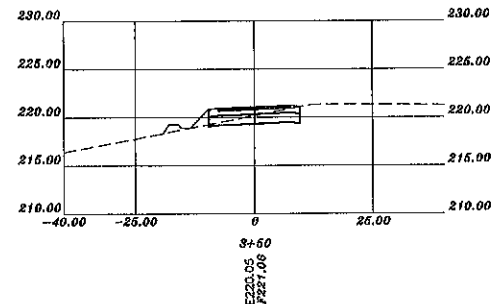
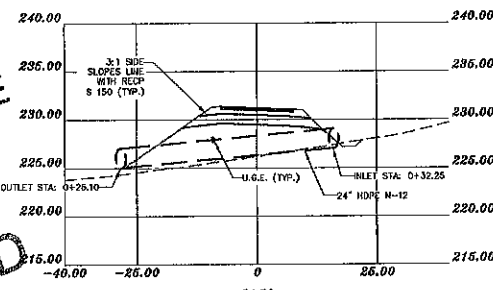
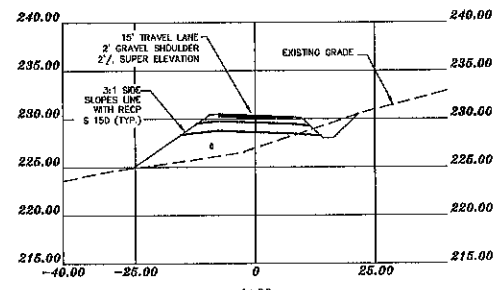
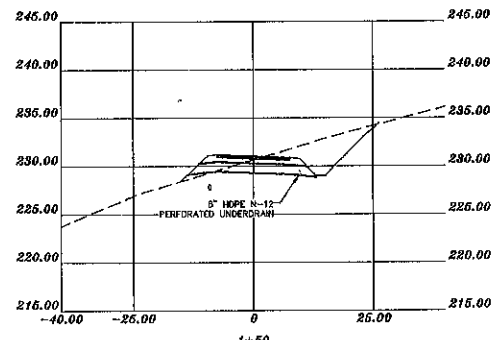
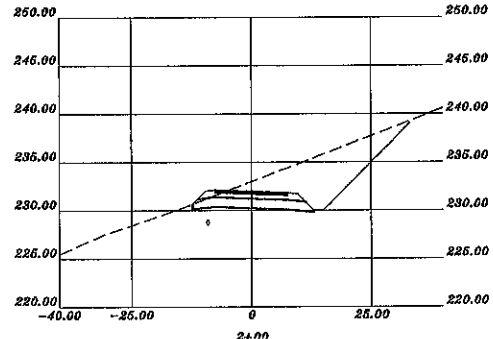


JASPER DRIVE CROSS SECTIONS 0+50-END

GRAPHIC SCALE

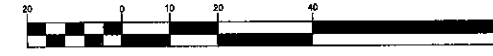


(IN FEET)
1 inch = 20 ft.
Vertical Scale 10



OAK HILL ROAD DECELERATION LANE CROSS SECTIONS 0+50-END

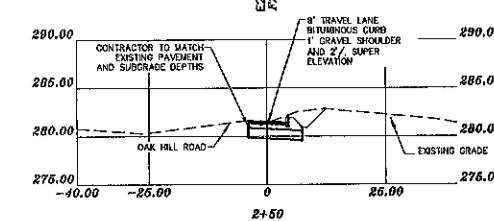
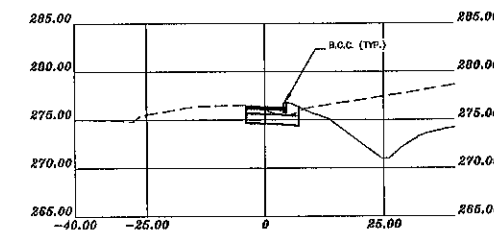
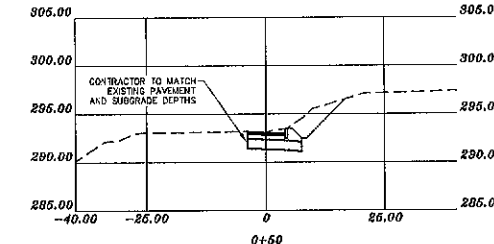
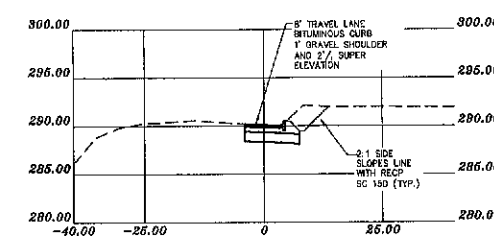
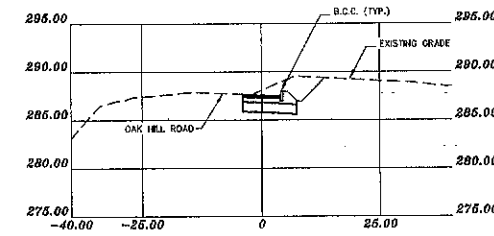
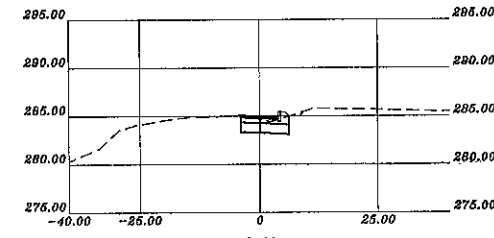
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.
Vertical Scale 10

FOR TOWN APPROVAL PURPOSES:

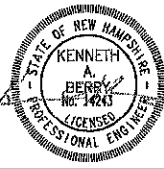
THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONSENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



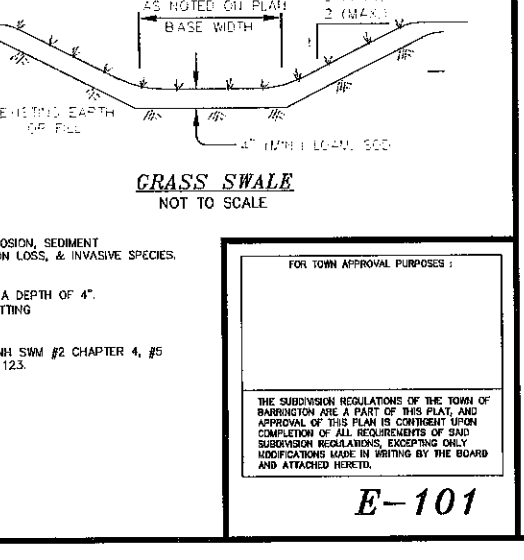
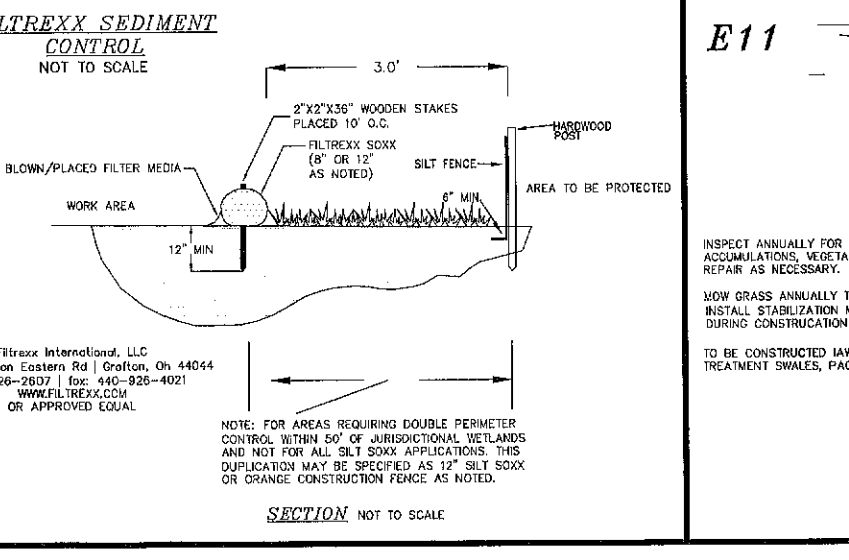
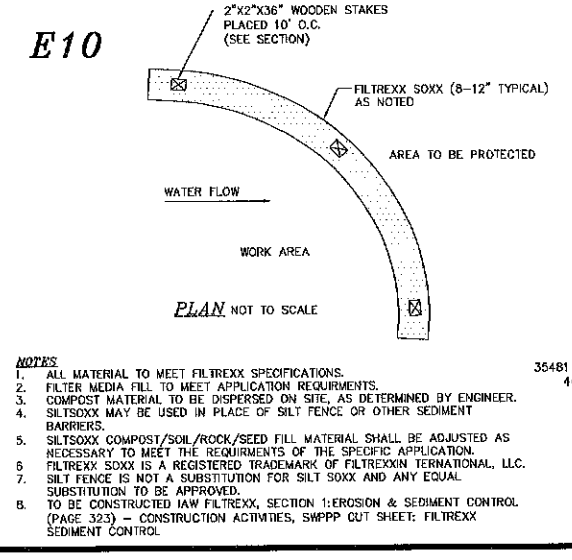
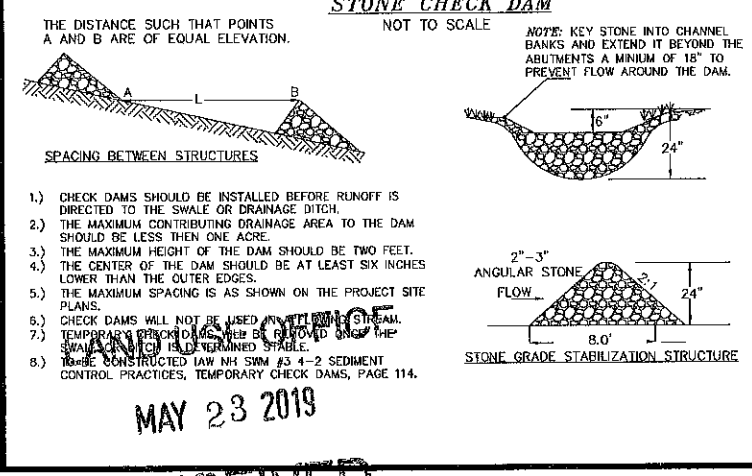
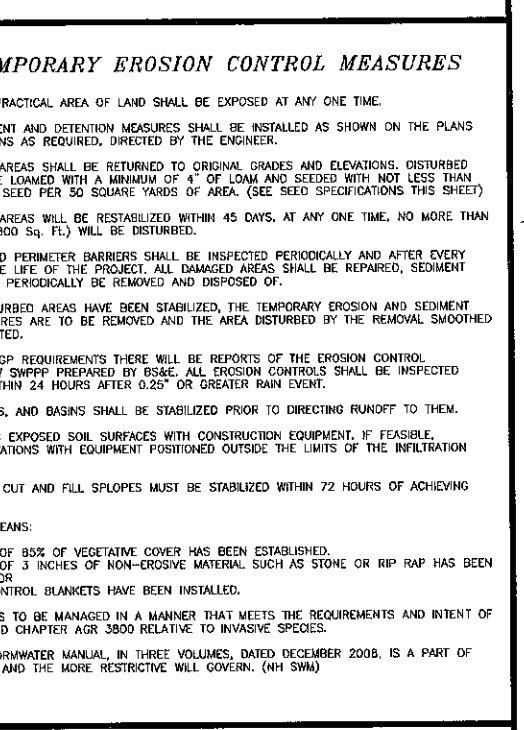
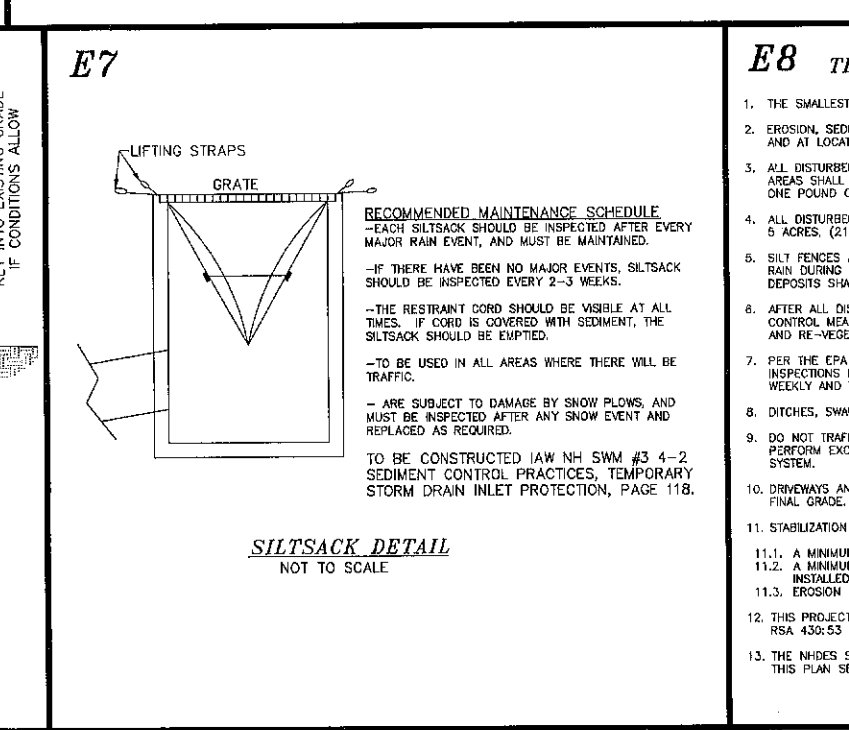
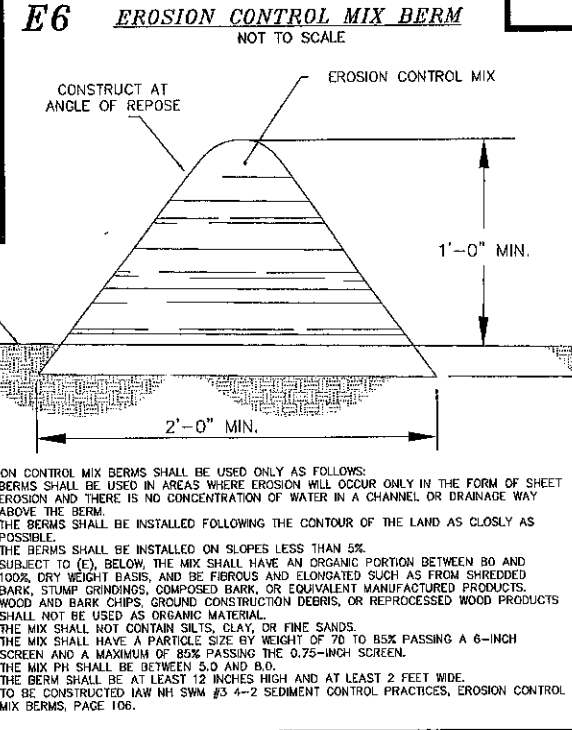
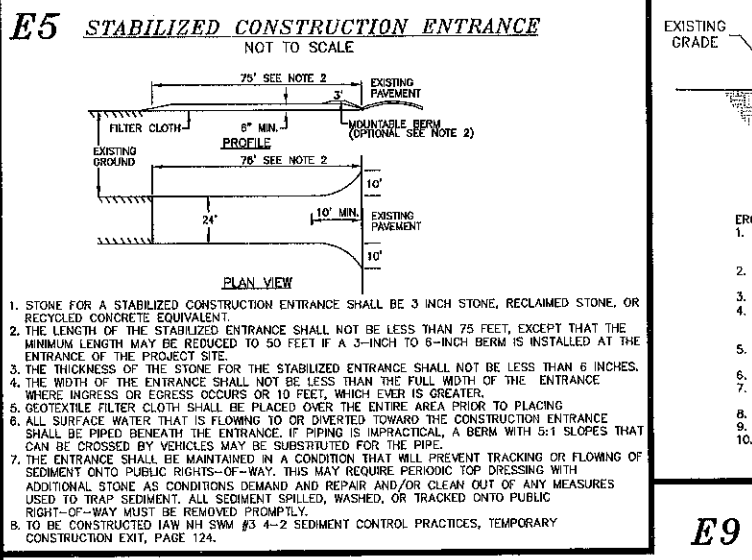
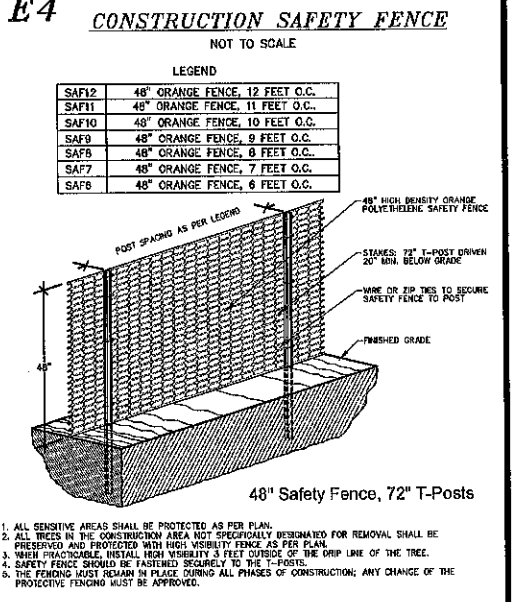
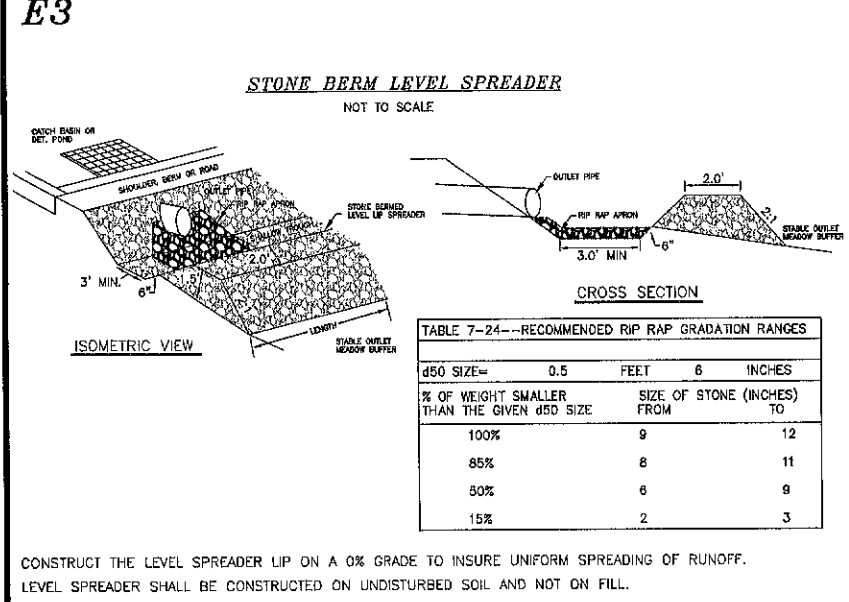
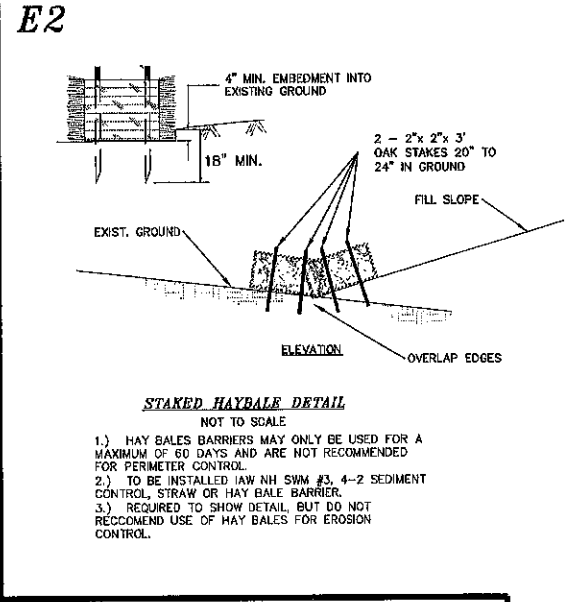
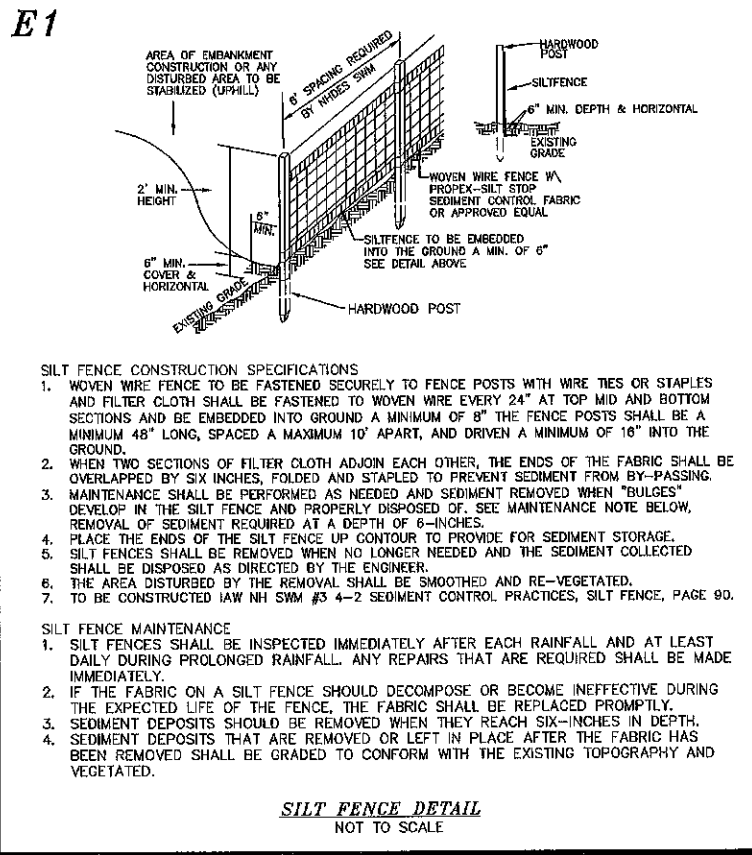
REVISION	DATE	DESCRIPTION
#1	5-14-19	

CROSS SECTIONS JASPER DRIVE
& OAK HILL ROAD DECELERATION LANE
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, 1075 37 & 37-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 12, 2019
FILE NO. : DB 2017 - 052



LAND USE OFFICE
MAY 23 2019
RECEIVED



REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

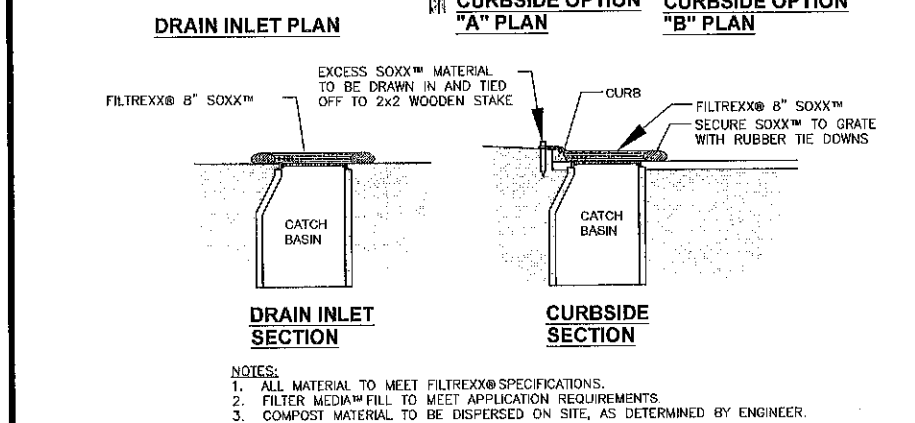
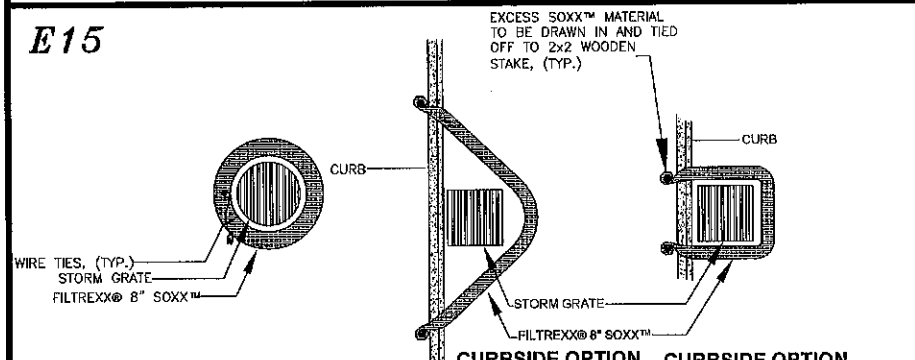
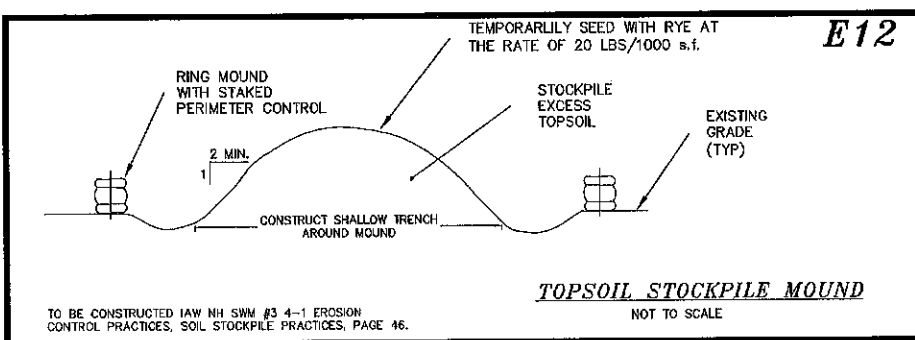
EROSION & SEDIMENT CONTROL DETAILS
LAND OF DONALD HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 37 & 37-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)532-2863
SCALE: AS NOTED
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
NO. 19243

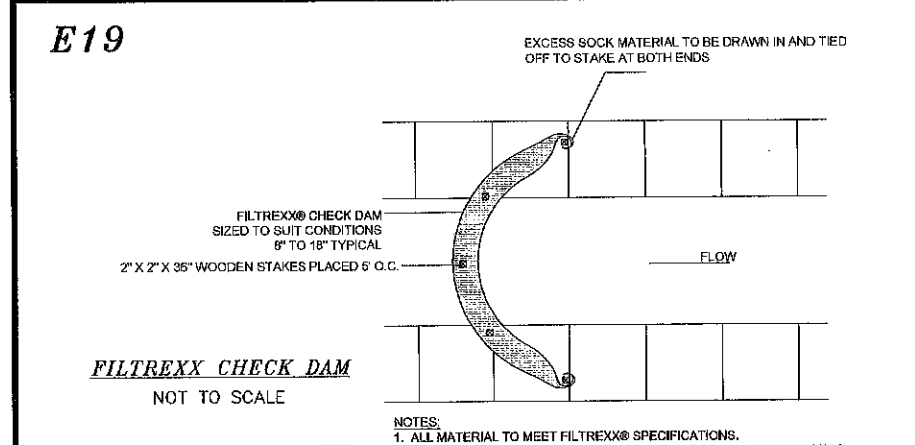
SHEET 33 OF 39

MAY 23 2019
RECEIVED



FILTRREXX INLET PROTECTION
NOT TO SCALE

NOTES:
1. ALL MATERIAL TO MEET FILTRREXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



FOR TOWN APPROVAL PURPOSES:

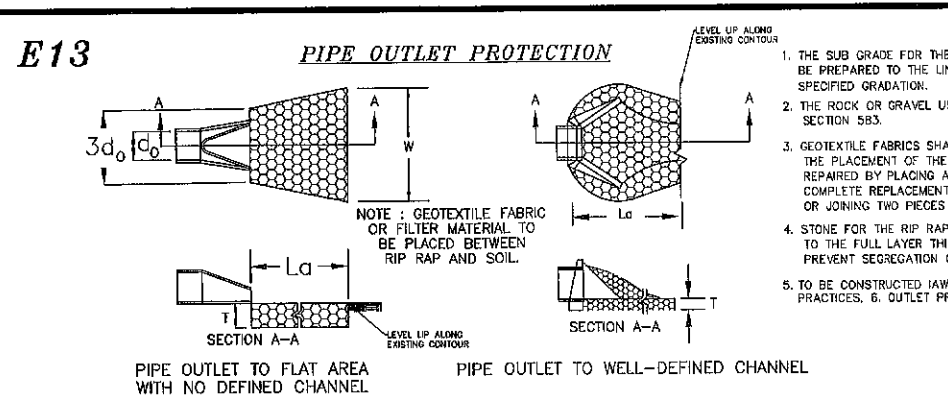
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

NOTES:
1. ALL MATERIAL TO MEET FILTRREXX® SPECIFICATIONS.
2. CHECK DAM SHOULD BE USED IN AREAS THAT DRAIN 1 ACRE OR LESS.
3. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
4. CHECK DAM CAN BE DIRECT SEDED AT THE TIME OF INSTALLATION.
5. CONTRACTOR IS REQUIRED TO BE A FILTRREXX® CERTIFIED™ INSTALLER.

LAND USE OFFICE

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E13 PIPE OUTLET PROTECTION

NOTE: Temporary seed mix for stabilization of turf shall be winter type of 20 lbs of rye @ 2 rate of 2.5 lbs. per 1000 s.f. and shall be placed prior to OCT. 15, if permanent seeding not yet complete.

NOTE: THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:63 AND CHAPTER AOR 3800 RELATIVE TO INVASIVE SPECIES.

E16 SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 S.F.
A. TALL FESCUE (24%)	15	0.35
B. CREEPING RED FESCUE (24%)	15	0.35
C. ANNUAL RYEGRASS (8.5%)	5	0.12
D. PERENNIAL RYEGRASS (8.5%)	5	0.12
E. KENTUCKY BLUEGRASS (24%)	15	0.35
F. WHITE CLOVER (11%)	7	0.16

E16 SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

2. SEEDBED PREPARATION
A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEED BED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

3. ESTABLISHING A STAND
A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50LBS. PER ACRE OR 1.1LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 50LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000LBS. PER ACRE OF 5-10-10.)

B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING, WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.

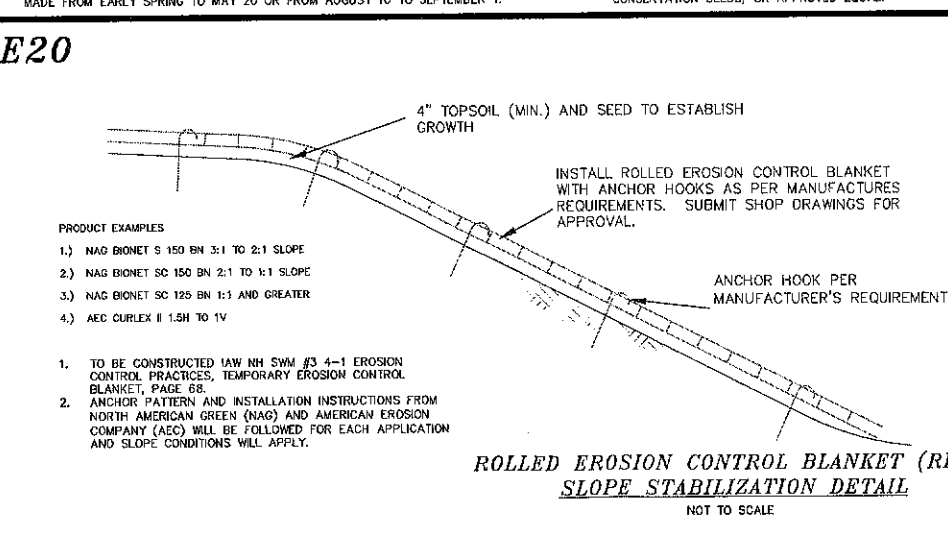
C. REFER TO TABLE(E-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWNVEITCH, BIRDSFOOT TREFOIL, AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.

D. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 29 OR FROM AUGUST 10 TO SEPTEMBER 1.

4. MULCH
A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90LBS PER 1000 S.F.
C. MAINTENANCE TO ESTABLISH A STAND
A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WOOD GROWTH.
B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL TAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

5. TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, PERMANENT VEGETATION, PAGE 60.

RAIN GARDEN MIX
THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS" MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS; OR APPROVED EQUAL.



E20 ROLLED EROSION CONTROL BLANKET (RECB) SLOPE STABILIZATION DETAIL
NOT TO SCALE

PRODUCT EXAMPLES
1.) NAG BIONET S 150 BN 3:1 TO 2:1 SLOPE
2.) NAG BIONET SC 150 BN 2:1 TO 1:1 SLOPE
3.) NAG BIONET SC 125 BN 1:1 AND GREATER
4.) AEC CURLEX II 1.5H TO 1V

1. TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, TEMPORARY EROSION CONTROL BLANKET, PAGE 68.
2. ANCHOR PATTERN AND INSTALLATION INSTRUCTIONS FROM NORTH AMERICAN GREEN (NAG) AND AMERICAN EROSION COMPANY (AEC) WILL BE FOLLOWED FOR EACH APPLICATION AND SLOPE CONDITIONS WILL APPLY.

E14 TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	8	12
85%	8	11
50%	6	9
15%	2	3

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	1.0 FEET	12 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	18	24
85%	16	22
50%	12	18
15%	4	6

E18 WINTER STABILIZATION NOTES

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.

2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.

3. PRIOR TO NOV. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.

4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

E18 DEFINITION OF STABLE:
PER ENV-WQ 1500 ALTERATION OF TERRAIN

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
3. A MINIMUM OF 5 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:
5. HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION. DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

E21 CONSTRUCTION SEQUENCE:

- CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
- CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
- EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO NEW TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS.
- CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
- CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY
- START BUILDING CONSTRUCTION
- INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 60 DAYS BEFORE BEING STABILIZED, ONLY, OR AS REQUIRED. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES.
- CONSTRUCT TEMPORARY BERMS, DRAINS DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SRPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESSWI), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSWQ). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
- SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
- FINISH PAVING ALL ROADWAYS.

EROSION & SEDIMENT CONTROL DETAILS

LAND OF DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 87 & 87-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: AS NOTED
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

REVISIONS PER DB&K COMMENT

DATE

5-14-19

#1

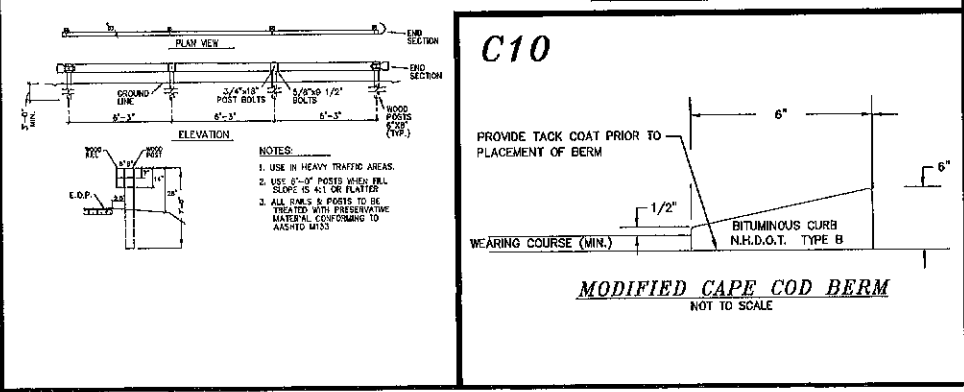
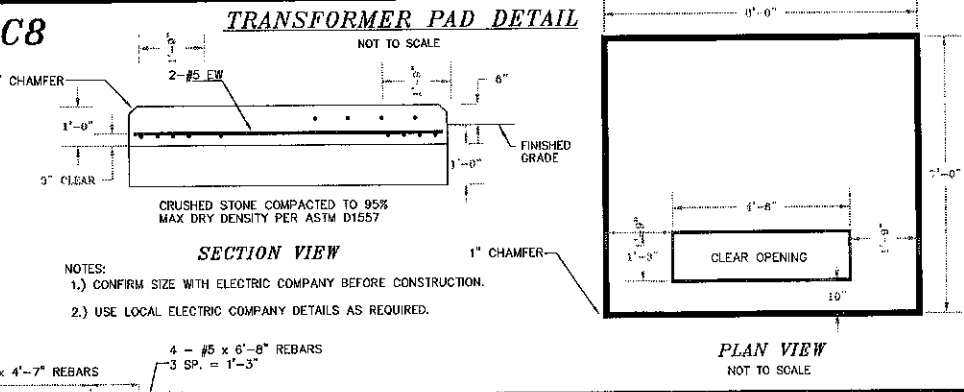
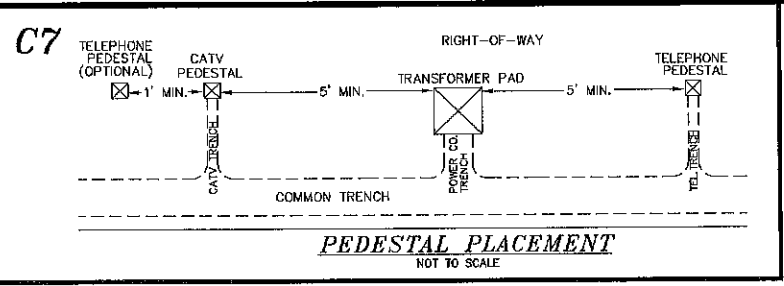
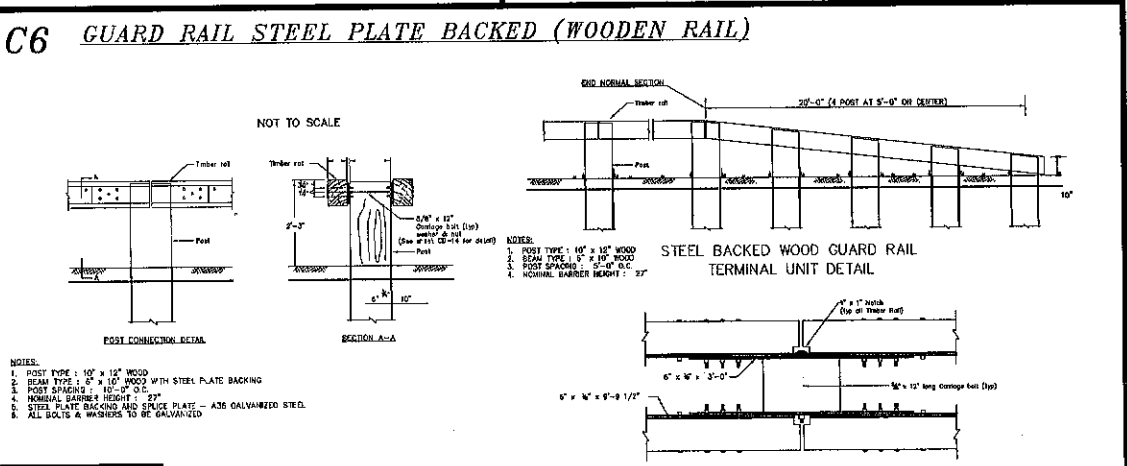
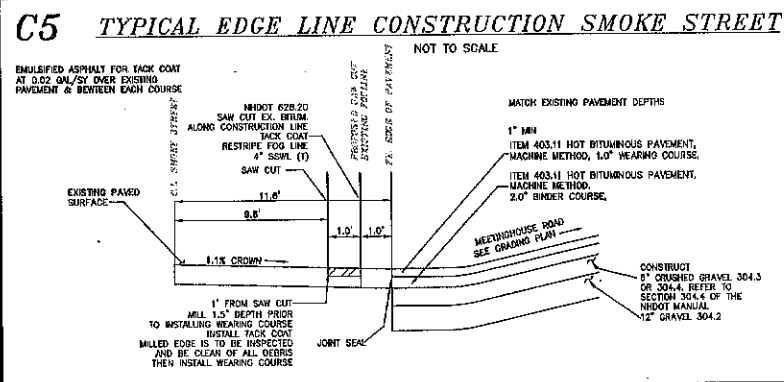
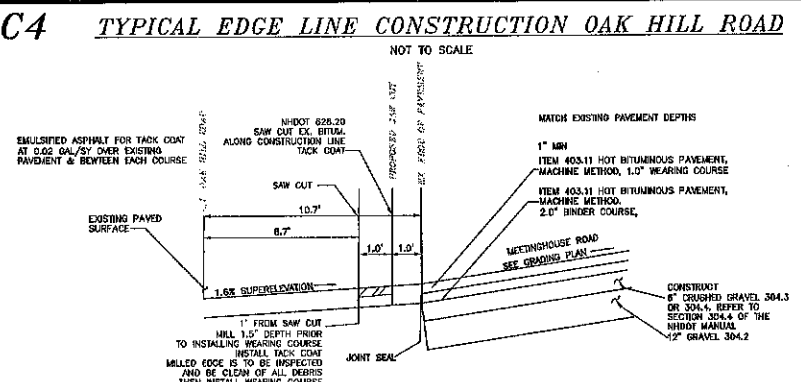
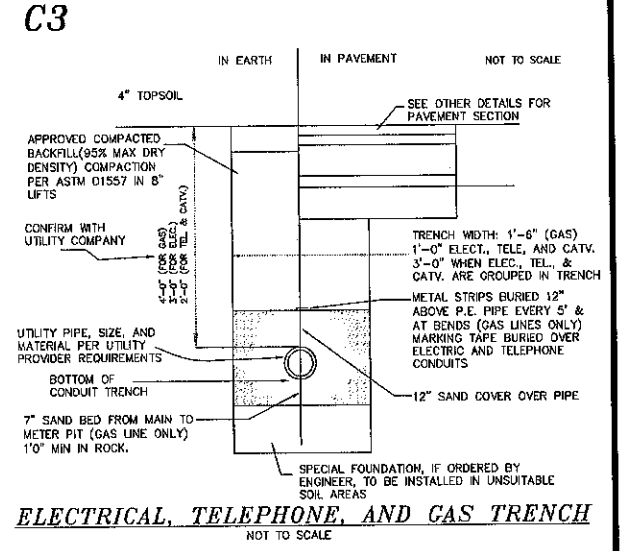
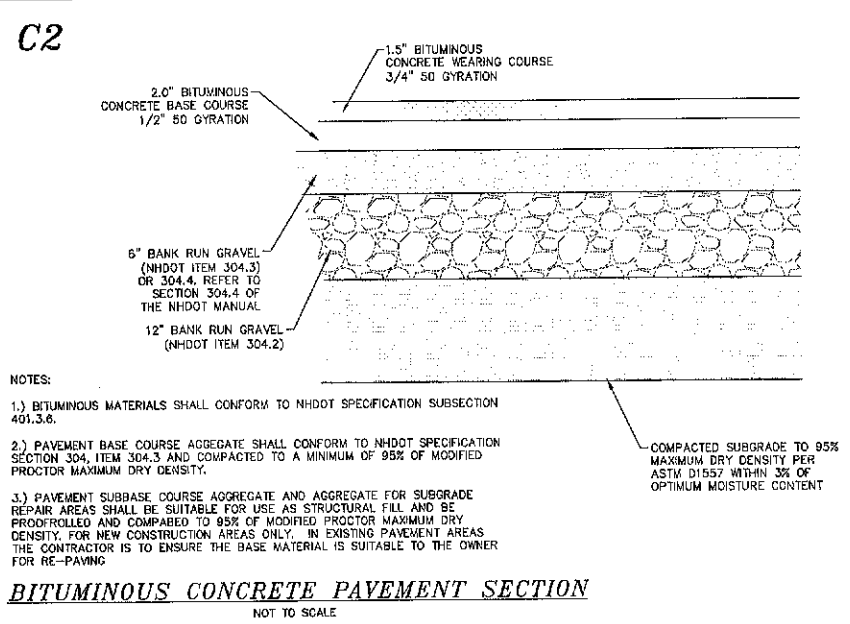
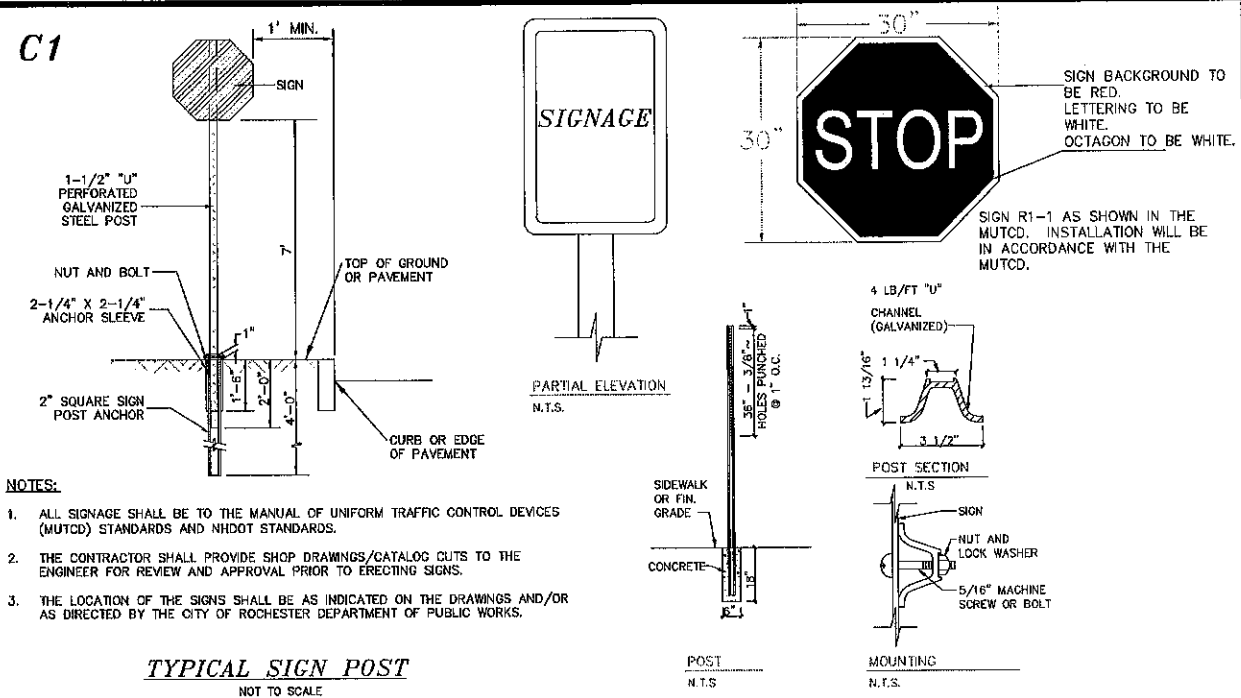
REVISION

DESCRIPTION

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

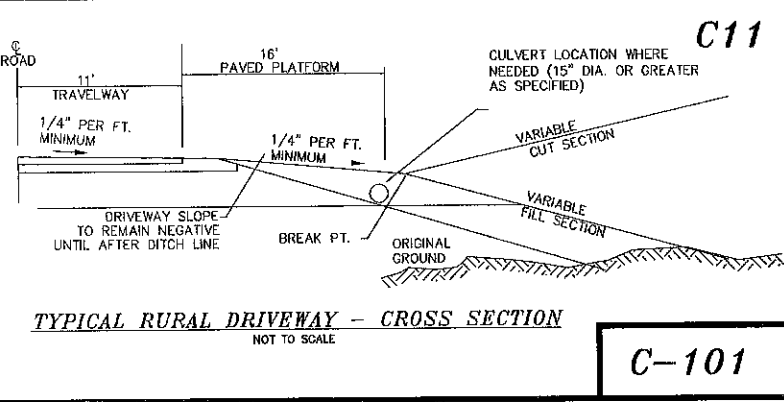
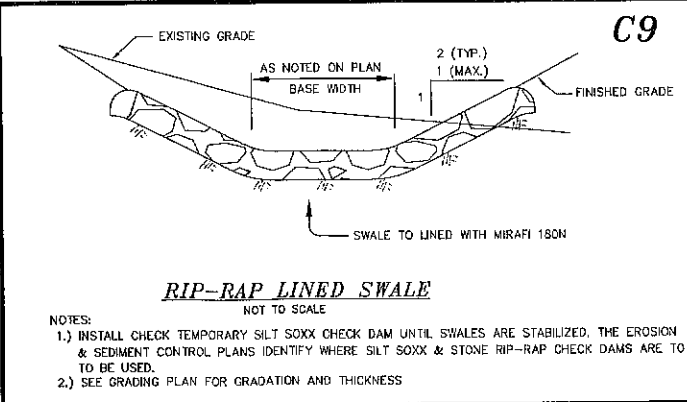
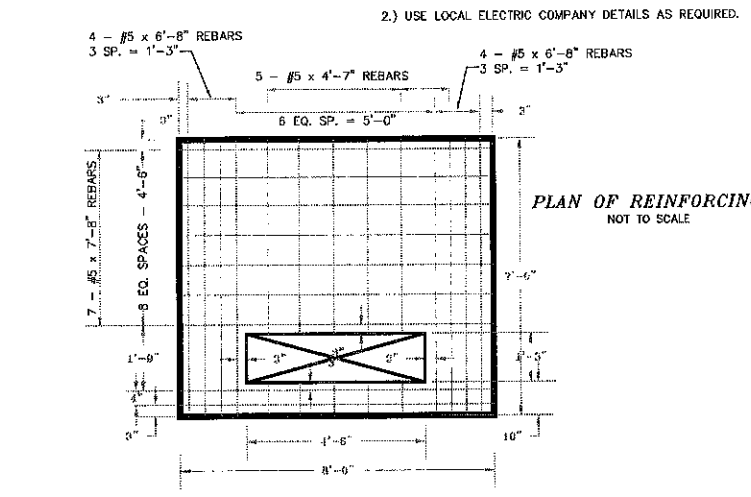
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SHEET 34 OF 39



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FOR TOWN APPROVAL PURPOSES:
THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



REVISION	DATE	REVISIONS PER DB&K COMMENT	DESCRIPTION
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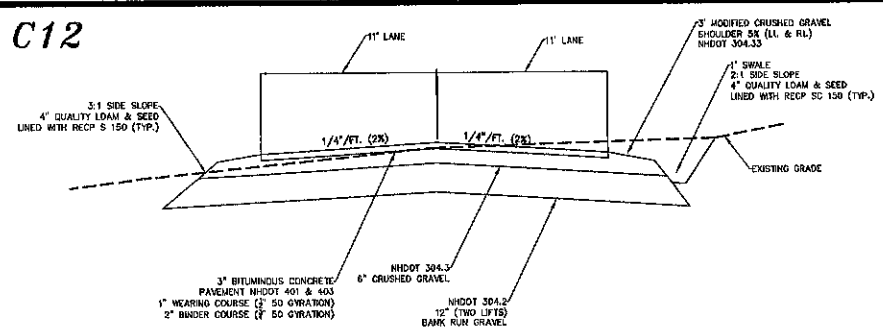
CONSTRUCTION DETAILS
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 37 & 37-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

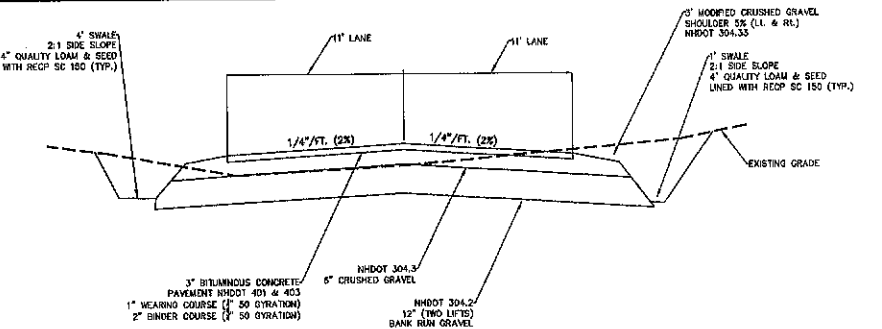
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

SHEET 35 OF 39

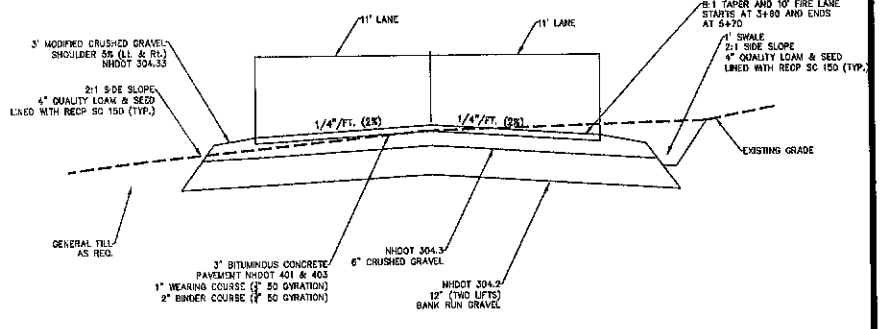
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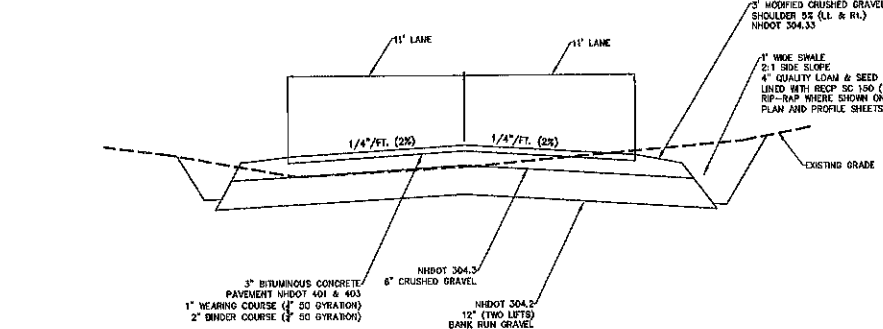
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NOT TO SCALE



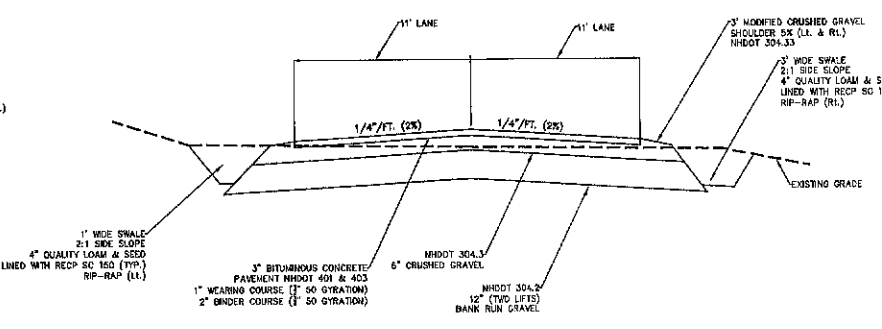
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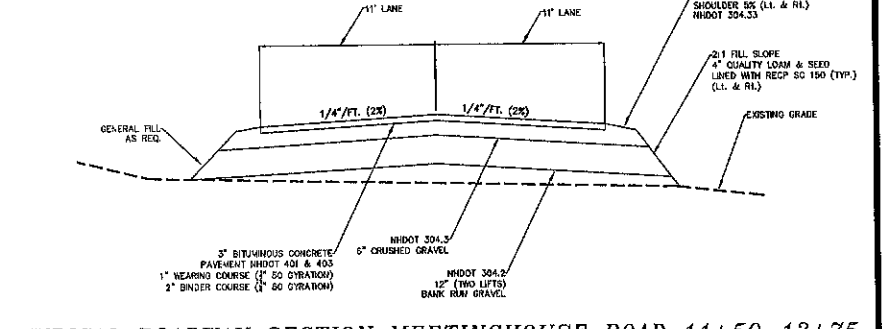
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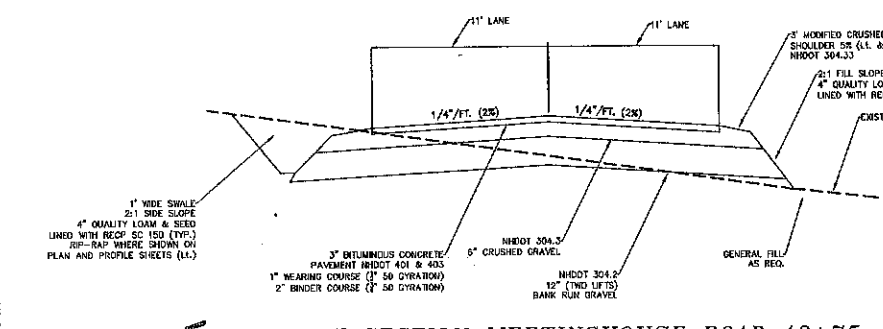
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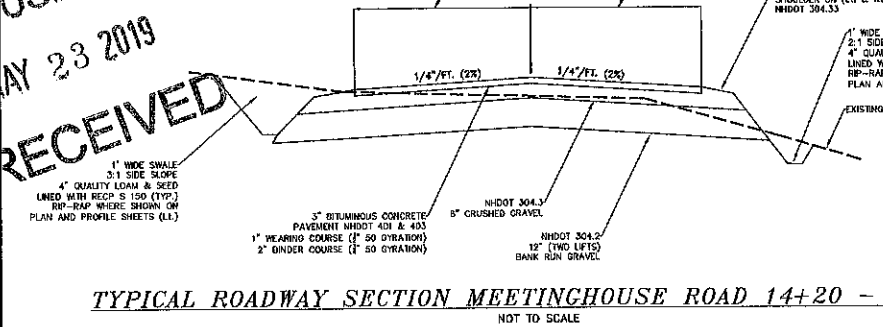
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NOT TO SCALE



TYPICAL ROADWAY SECTION MEETINGHOUSE ROAD 11+50-12+75
NOT TO SCALE



TYPICAL ROADWAY SECTION MEETINGHOUSE ROAD 12+75-14+20
NOT TO SCALE



TYPICAL ROADWAY SECTION MEETINGHOUSE ROAD 14+20-17+77
NOT TO SCALE

C13

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	1.00	CU YD
2	STEEL	1.00	LBS

12" HEADWALL
NOT TO SCALE

C14

HEADWALL (CONCRETE)
NOT TO SCALE

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	1.00	CU YD
2	STEEL	1.00	LBS

12" HEADWALL
NOT TO SCALE

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- CROSS SECTION NOTES**
- ALL ROADWAY FILL TO BRING ROAD TO SUBGRADE SHALL BE INSTALLED IN LIFTS NO GREATER THAN 12".
 - ALL FILL SHALL BE COMPACTED UNTIL 95% MAXIMUM DRY DENSITY IS ACHIEVED IN ACCORDANCE WITH MSHTD 196. COMPACTION TESTS TO BE CONDUCTED AT THE START OF THE PROJECT AND NO FURTHER THAN 100 FEET APART.
 - GUARD RAIL REQUIRED AS NOTED ON PLAN & PROFILE SHEETS.
 - TEST PITTING WAS DONE WITHIN THE ROADWAY ALIGNMENT BY STONEY RIDGE ENVIRONMENTAL, AND NO UNSUITABLE MATERIALS WERE ENCOUNTERED IN THOSE TEST PITS.
 - ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE ROAD BED. THE ROAD BED IS DEFINED AS THE LIMITS OF THE ROADWAY INCLUDING THE ARE ONE (1) FOOT BEYOND THE SHOULDERS, DITCHES, OR TOE OF FILL SLOPE.

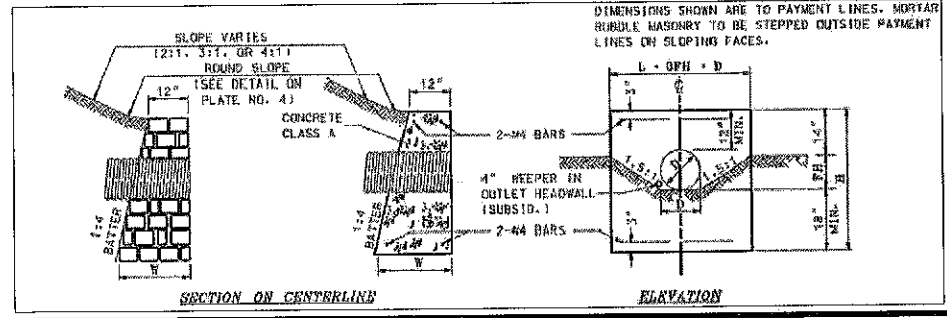
COMPACTED SUBGRADE - CONTRACTOR SHALL SCARIFY SUBGRADE TO A DEPTH OF 30 INCHES BELOW F-GRADE. ALL STONES GREATER THAN 6" IN DIAMETER SHALL BE REMOVED FROM THE SCARIFIED LAYER. ANY IMPORTED FILL SHALL BE FREE OF ORGANICS AND FROST AND SHALL HAVE NO ROCKS LARGER THAN 6" IN DIAMETER. FILL MATERIAL SHALL BE APPROVED BY THE TOWNS AGENT AND/OR THE TOWNS ENGINEER.

C15

HEADWALL (MASONRY)
NOT TO SCALE

DIAMETER	12"	15"	18"	24"	30"
LENGTH	3'-2"	3'-10"	5'-2"	7'-2"	9'-2"
CONC. (Cu.Yd.)	0.61	0.85	1.13	1.78	2.58
STEEL (Lbs.)	9	11	14	20	25

ALL STEEL SHALL BE #5 REINFORCING STEEL, SPACED @ 12" ON CENTER SEE NHDOT DETAIL HW-1



FOR TOWN APPROVAL PURPOSES:

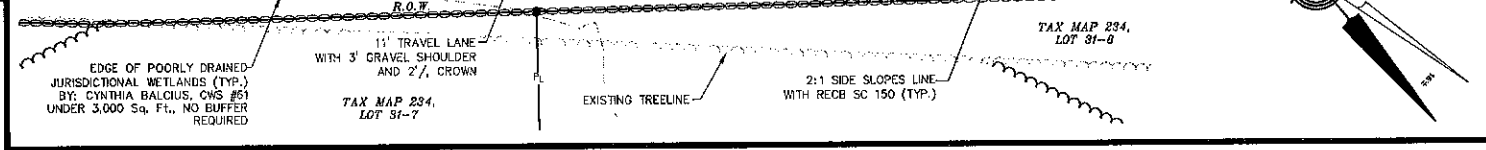
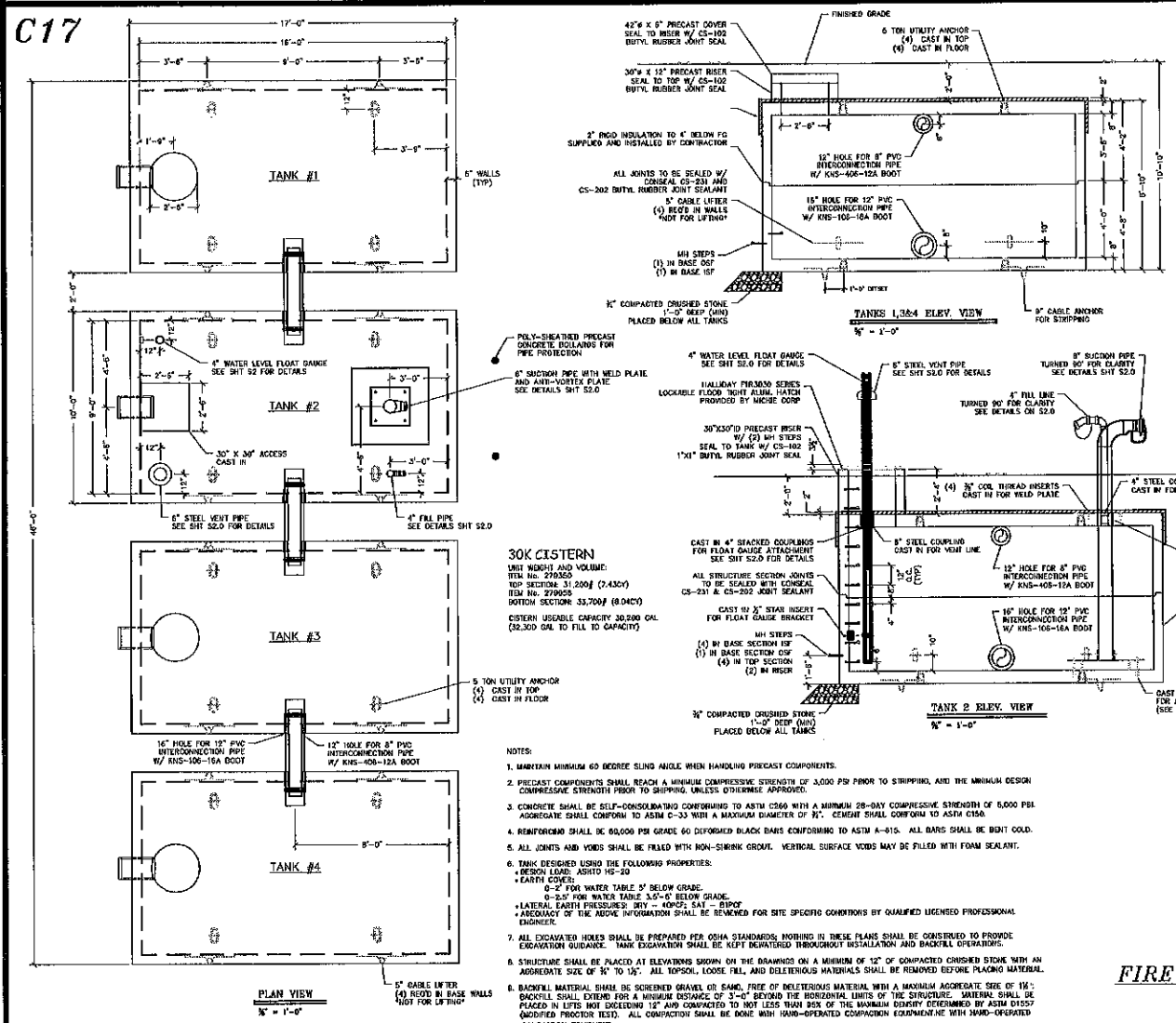
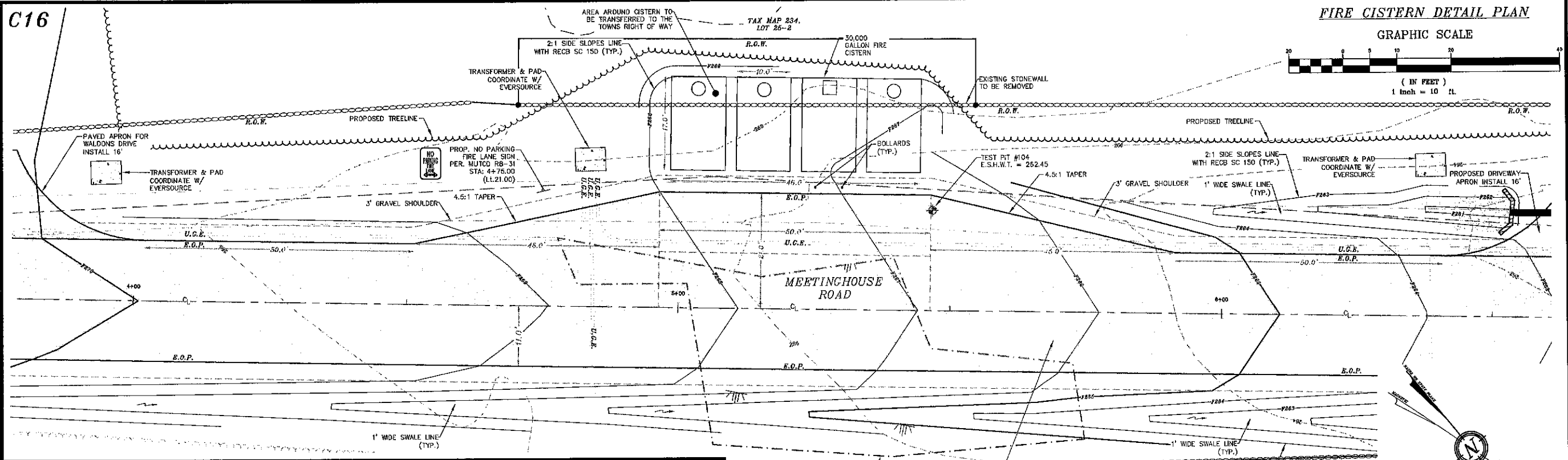
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE BY WRITING BY THE BOARD AND ATTACHED HERETO.

REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

CONSTRUCTION DETAILS
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 284, LOTS 31 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: AS NOTED
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
NO. 74243



LAND USE OFFICE
MAY 23 2019
RECEIVED

FIRE CISTERN DETAIL
NOT TO SCALE

- NOTES:
1. MAINTAIN MINIMUM 60 DEGREE SLANT ANGLE WHEN HANDLING PRECAST COMPONENTS.
 2. PRECAST COMPONENTS SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI PRIOR TO STRIPPING, AND THE MINIMUM DESIGN COMPRESSIVE STRENGTH PRIOR TO SHIPPING, UNLESS OTHERWISE APPROVED.
 3. CONCRETE SHALL BE SELF-COMPACTATING CONFORMING TO ASTM C969 WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 8,000 PSI. AGGREGATE SHALL CONFORM TO ASTM C-33 WITH A MAXIMUM DIAMETER OF 3/4\".
 4. REINFORCEMENT SHALL BE #4, 60,000 PSI GRADE 60 DEFORMED BARS CONFORMING TO ASTM A-615. ALL BARS SHALL BE BENT COLD.
 5. ALL JOINTS AND Voids SHALL BE FILLED WITH NON-SHINK GROUT. VERTICAL SURFACE Voids MAY BE FILLED WITH FOAM SEALANT.
 6. TANK DESIGNED USING THE FOLLOWING PROPERTIES:
PERSON LOAD: ASHTO 105-50
EARTH COVER:
0-2' FOR WATER TABLE 5' BELOW GRADE.
0-2.5' FOR WATER TABLE 3.0'-0\".
 7. ALL EXCAVATION HOLES SHALL BE PREPARED PER OSHA STANDARDS. WORKING IN THESE PLACES SHALL BE CONSIDERED TO PROVIDE EXCAVATION GUIDANCE. TANK EXCAVATION SHALL BE KEPT DEWATERED THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.
 8. STRUCTURE SHALL BE PLACED AT ELEVATIONS SHOWN ON THE DRAWINGS ON A MINIMUM OF 12\".
 9. BACKFILL MATERIAL SHALL BE SLOTTED GRAVEL OR SAND, FREE OF INELASTIC MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 1/4\".
 10. BACKFILL SHALL EXTEND FOR A MINIMUM DISTANCE OF 3'-0\".
 11. BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12\".
 12. ALL CONSTRUCTION SHALL BE DONE WITH VIBRO-OPERATED COMPACTION EQUIPMENT WITH VIBRO-OPERATED COMPACTION EQUIPMENT.

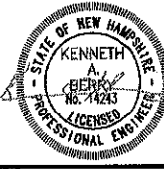
FOR TOWN APPROVAL PURPOSES:

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REVISION	DATE	DESCRIPTION
#1	5-14-19	

CONSTRUCTION DETAILS (FIRE CISTERN)
LAND OF
DONETTA HAILEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 37 & 31-4

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: AS NOTED
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052



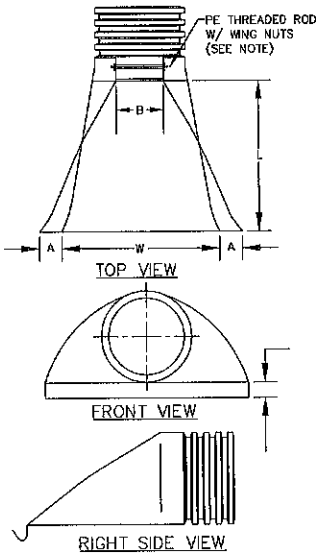
C-103

D1

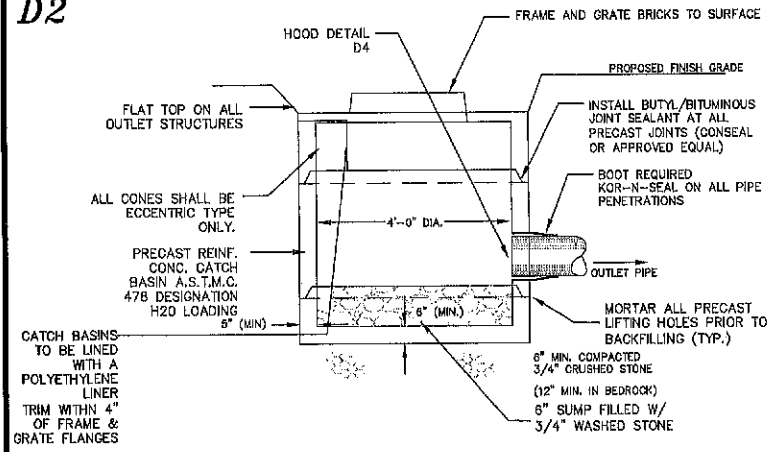
PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



D2



D3

Manhole Castings L-1

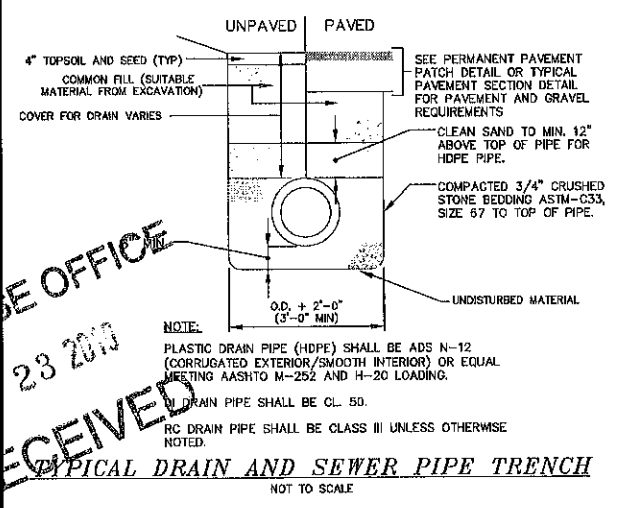
Rexus Ductile Iron Frame & Cover

REXUS Anti-Thrust Street Leads

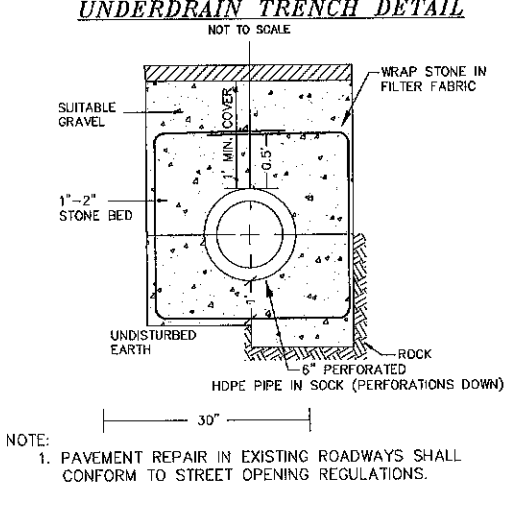
CATCH BASIN FRAME AND GRATE WILL BE REXUS, OR APPROVED EQUAL, 24 INCH OPENING, DUCTILE IRON, H20 LOADING.

CATCH BASIN GRATE
NOT TO SCALE

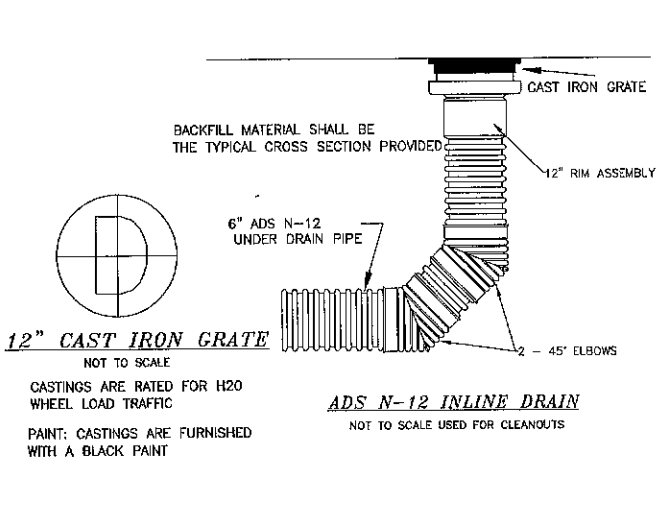
D4



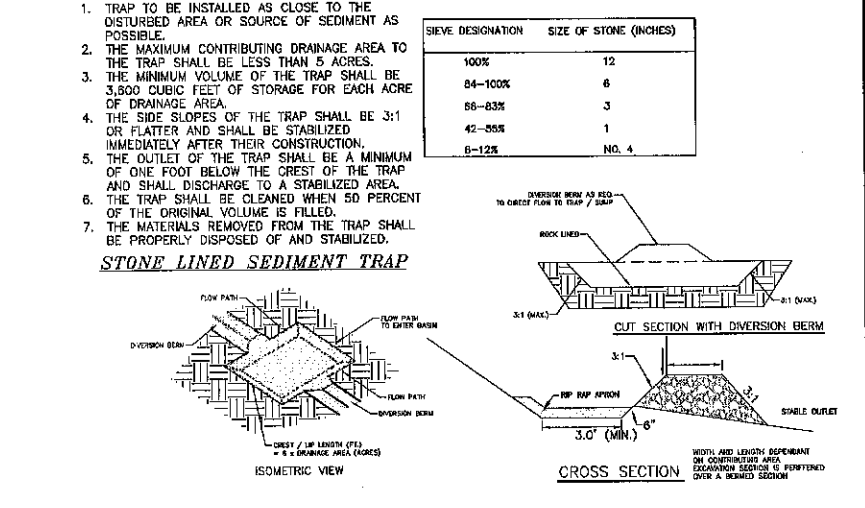
D5



D6



D7



LAND USE OFFICE
MAY 23 2013
RECEIVED

D8

ANGLE GRATE
NOT TO SCALE

NOTE: MUST BE HAALA INDUSTRIES INC. OR EQUAL.

Angle Grates For Manholes

AG0808-59
Part No. AG0808-59
Steel Grates

Angle Grates are designed to cover inlet openings and prevent small to medium debris from passing through. The top angled design helps to minimize the amount of debris that settles on top after the water recedes. All grates are made from plate for a clean and smooth contact surface.

- Plate design for a clean appearance
- Standard 2" openings (other sizes can be made)
- Angled top/flat plate to minimize debris deflection
- Marking dimensions on 3 sides allows grates to be substituted for flat level grates
- Galvanized steel construction. Can be made from stainless or stainless steel.

D9

CONE GRATE
NOT TO SCALE

NOTE: MUST BE HAALA INDUSTRIES INC. OR EQUAL.

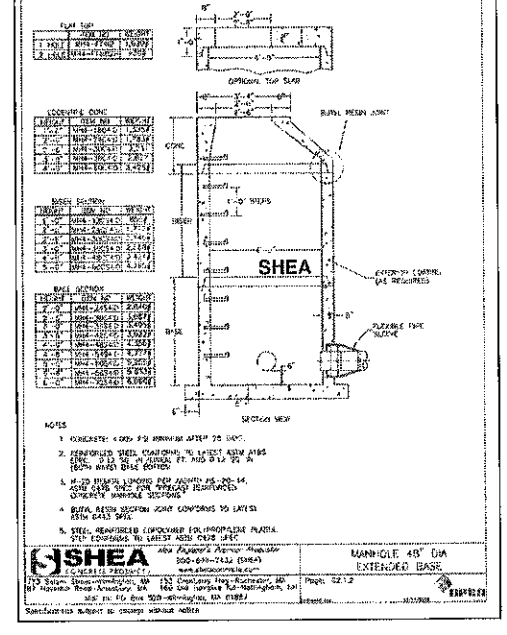
Cone Grates Top Mount

CG12TM
Part No. CG12TM
Steel Grates

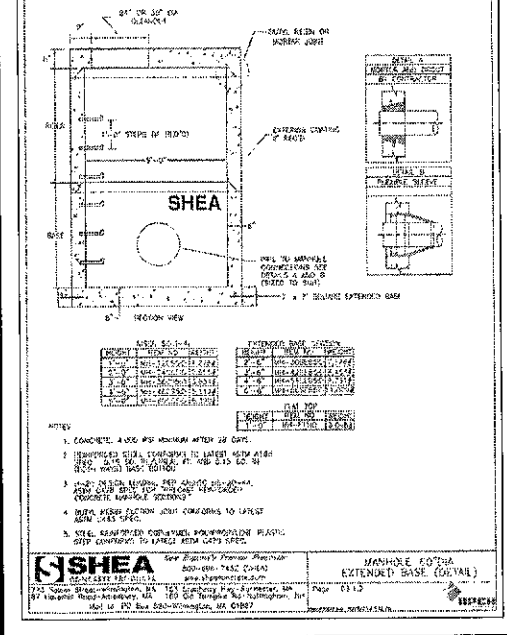
Top Mount Cone Grates are designed to mount on the top of manhole inlets or outlet structures to keep debris from entering the storm water system. Top mount cone grates are easy to install and allow for at grade manhole installations but can be used in a variety of applications. Grates 18" and larger are made as a two piece, bolt together design.

- Plate and top hybrid design is both strong and cost effective
- Made from 1/2" plate with 3/8" or 1" round bars depending on grate size
- Anti vortex plate can be added upon request
- Angled and levelable recessed decks can be added upon request
- Galvanized steel construction. Can be made from aluminum or stainless steel.

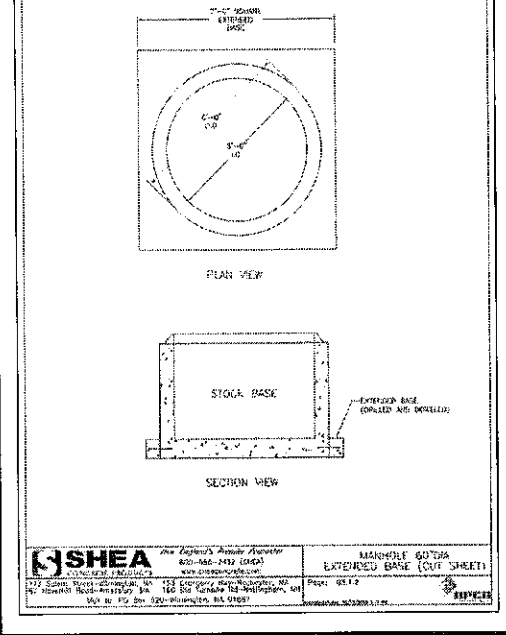
D10



D11



D12



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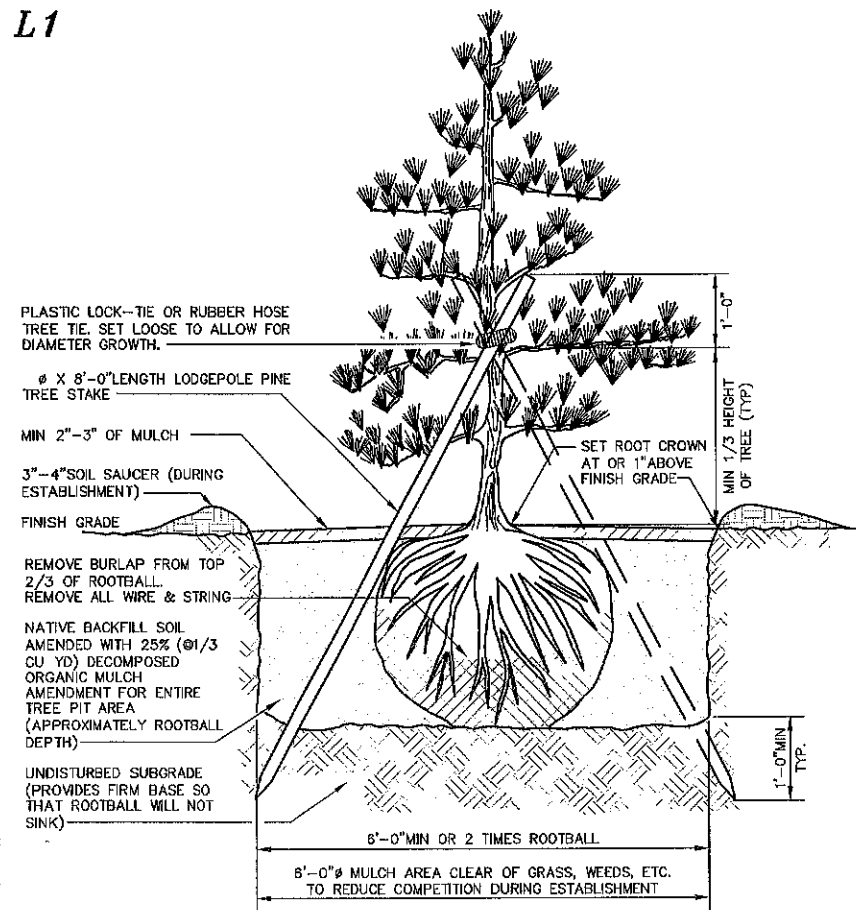
D-101

REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

DRAINAGE DETAILS
LAND OF
DONETTA HALEY
OAK HILL ROAD & MEETINGHOUSE ROAD
BARRINGTON, NH
TAX MAP 234, LOTS 81 & 81-4

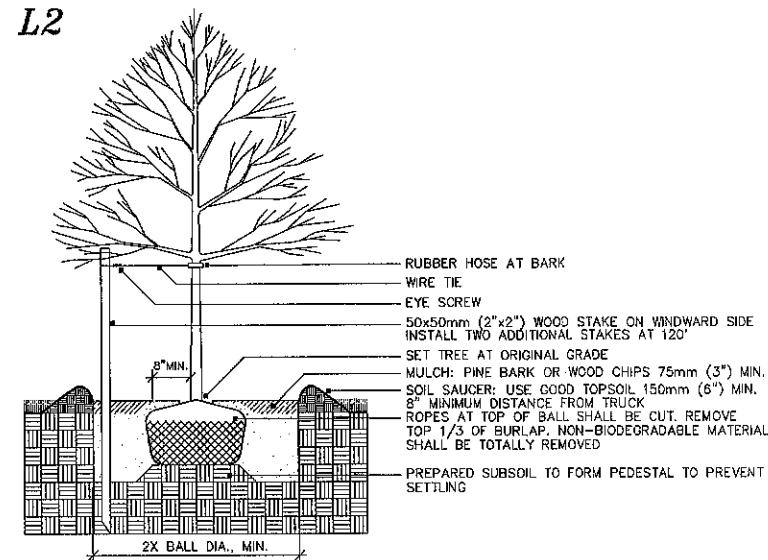
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE: AS NOTED
DATE: MARCH 12, 2019
FILE NO.: DB 2017 - 052

L1



CONIFEROUS TREE PLANTING

L2



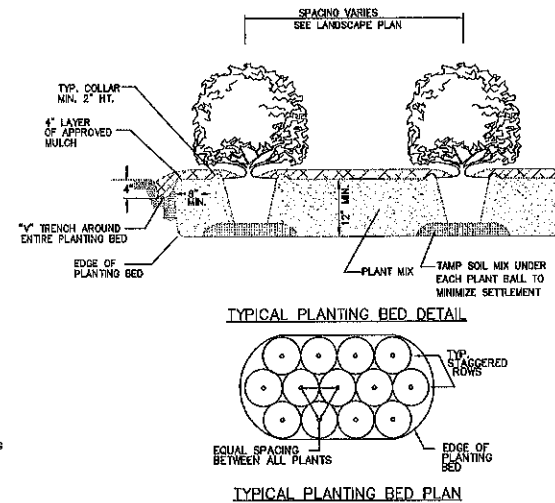
DECIDUOUS TREE PLANTING

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

L3

NOTES:

1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



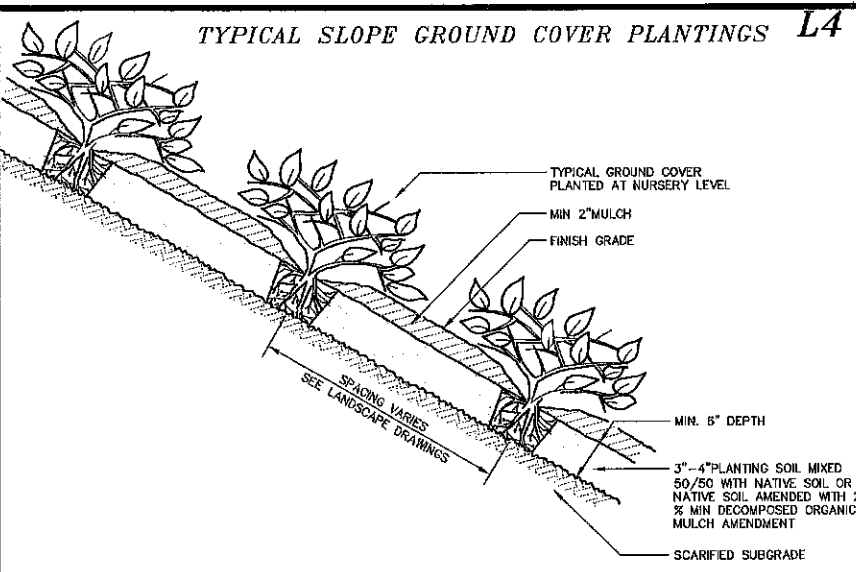
SHRUB & HEDGE PLANTING

L6

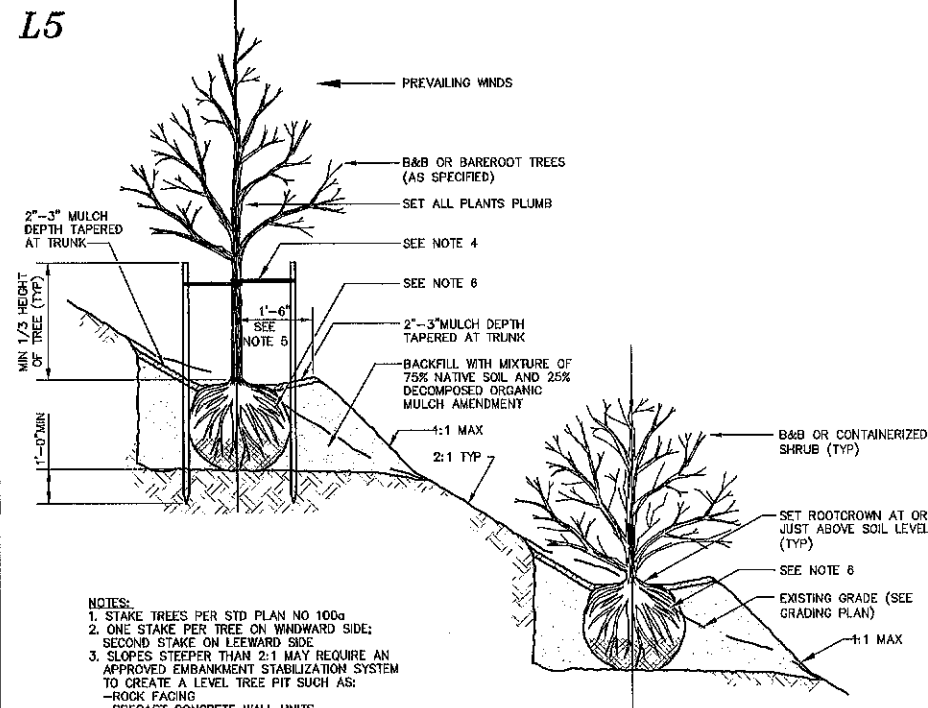
NOTES:

1. CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
3. PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
4. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
6. ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
7. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
9. NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
10. ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
11. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
12. MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AN ADDITIONAL YEAR FROM TIME OF INSTALLATION.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
14. THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
16. ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
17. SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
18. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
19. TREES ARE TO BE 2-2.5" CALIPER 6" OFF THE ROOT BALL.
20. ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
21. 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
22. PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
23. ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.

TYPICAL SLOPE GROUND COVER PLANTINGS L4



L5

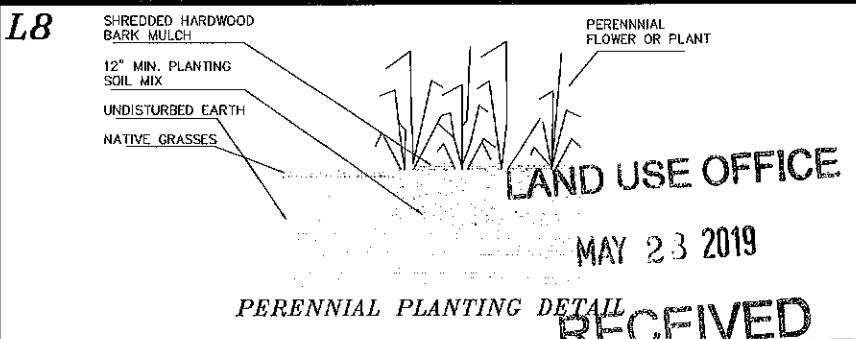


TREE PLANTING ON SLOPES

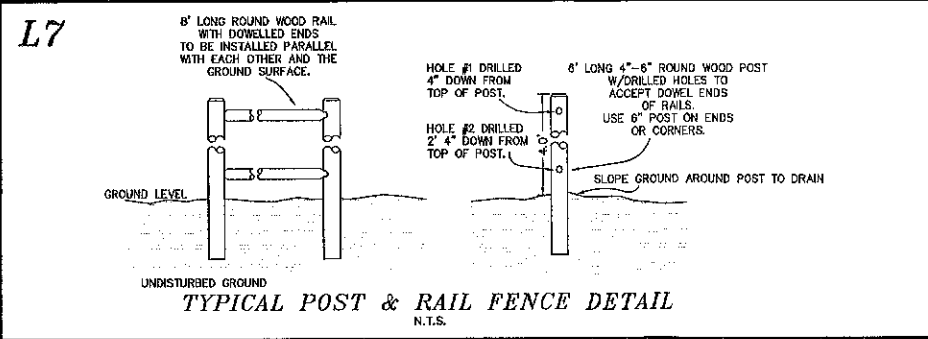
NOTES:

1. STAKE TREES PER STD PLAN NO 100a
2. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEEWARD SIDE
3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
 - ROCK FACING
 - PRECAST CONCRETE WALL UNITS
 - TIMBER WALL
 - MANUFACTURED SLOPE RETENTION UNITS
4. CHAINLOCK TREE TIE. LOOP EACH TIE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
5. SHAPE SOIL TO PROVIDE 3" DIAMETER OR ROOTBALL DIAMETER, WHICHEVER IS GREATER, WATERING RING.
6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

L8



L7



REVISION	DATE	DESCRIPTION
#1	5-14-19	REVISIONS PER DB&K COMMENT

LANDSCAPING CONSTRUCTION DETAILS

LAND OF DONETTA HALEY

OAK HILL ROAD & MEETINGHOUSE ROAD

BARRINGTON, NH

TAX MAP 234, LOTS 37 & 37-1

BERRY SURVEYING & ENGINEERING

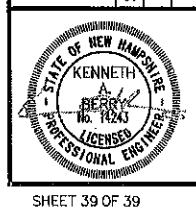
335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED

DATE: MARCH 12, 2019

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L-101