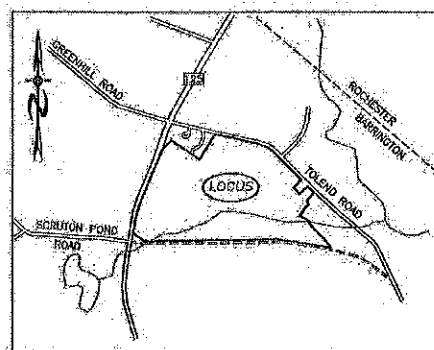


THE RIDGE AT GREENHILL SUBDIVISION

OLD GREEN HILL ROAD/ROUTE 125

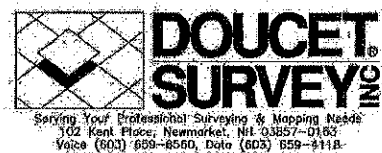
NOT FOR CONSTRUCTION

CIVIL ENGINEERS:



LOCATION MAP
1"=1500'

LAND SURVEYORS:



<u>INDEX</u>	
TITLE SHEET	-
CONVENTIONAL YIELD PLAN	1 of 1
SUBDIVISION BOUNDARY PLANS	1-5
EASEMENT PLANS	6-7
EXISTING CONDITION PLANS	8-11
SUBDIVISION SITE PLANS	12-15
HIGHWAY ACCESS PLANS	16-17
ROUTE 125 IMPROVEMENT PLAN	18
PLAN & PROFILES	19-26
DRAINAGE BASIN PLAN	27-29
CISTERN DETAIL PLAN	30
CONSTRUCTION DETAIL PLANS	31-32
EROSION & SEDIMENT CONTROL DETAILS	33
ROADWAY CROSS SECTIONS	34-37

LAND USE OFFICE

JUL 30 2019

RECEIVED

WETLAND / SOIL
CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0844

DEVELOPER:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

SIGNATURE	DATE
-----------	------

REQUIRED PERMITS

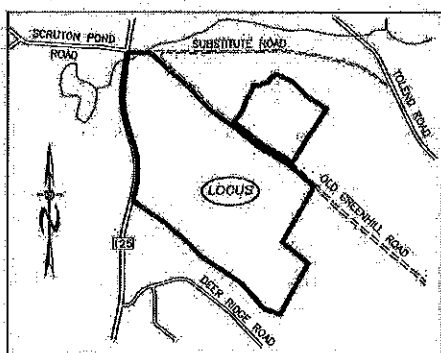
NHDES SUBDIVISION APPROVAL NUMBER: (PENDING)
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: (PENDING)
NHDES WETLANDS PERMIT APPROVAL NUMBER: (PENDING)
NHDOT DRIVEWAY ACCESS PERMIT (PENDING)

REVISIONS:	DATE:
REVISED ROAD GRADES PER FB COMMENTS	6-3-19
REVISED PER ENG. REVIEW COMMENTS	8-20-19
REVISED PER REVIEW COMMENTS	7-24-19

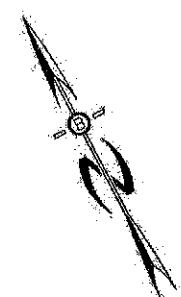
NH 125 THE RIDGE AT GREENHILL
ISSUED MAY, 2019

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LOCATION MAP
 1"=1500'



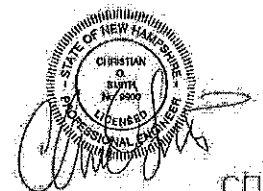
ZONING REQUIREMENTS

- ZONE: RESIDENTIAL/AGRICULTURAL-(RA)
- MIN. LOT SIZE = 80,000 SF
- MIN. FRONTAGE = 200'
- MAX. HEIGHT = 35'
- MIN. OPEN SPACE = 60%
- BUILDING SETBACKS:
 - FRONT 40'
 - SIDE & REAR 30'
 - POORLY DRAINED SOILS 50'
 - VERY POORLY DRAINED SOILS 100'
- LEACH FIELD SETBACKS:
 - POORLY DRAINED SOILS 50'
 - VERY POORLY DRAINED SOILS 100'

LAND USE OFFICE

JUL 30 2019

RECEIVED



CONVENTIONAL
 SUBDIVISION
 55 LOTS 80000+SF
 W/ 9200 ROAD

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

REVISIONS:	DATE:
CONVENTIONAL SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD, BARRINGTON, NH	
DATE: JAN. 2019	SCALE: 1"=150'
PROJ. NO: NH-1144	SHEET NO. 1 OF 1

SUBDIVISION PLAN NOTES:

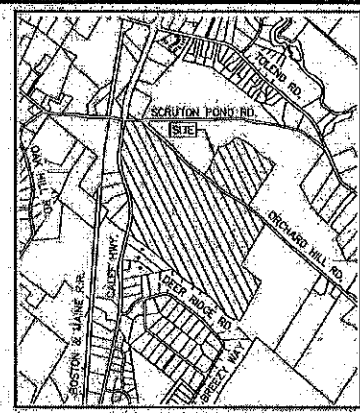
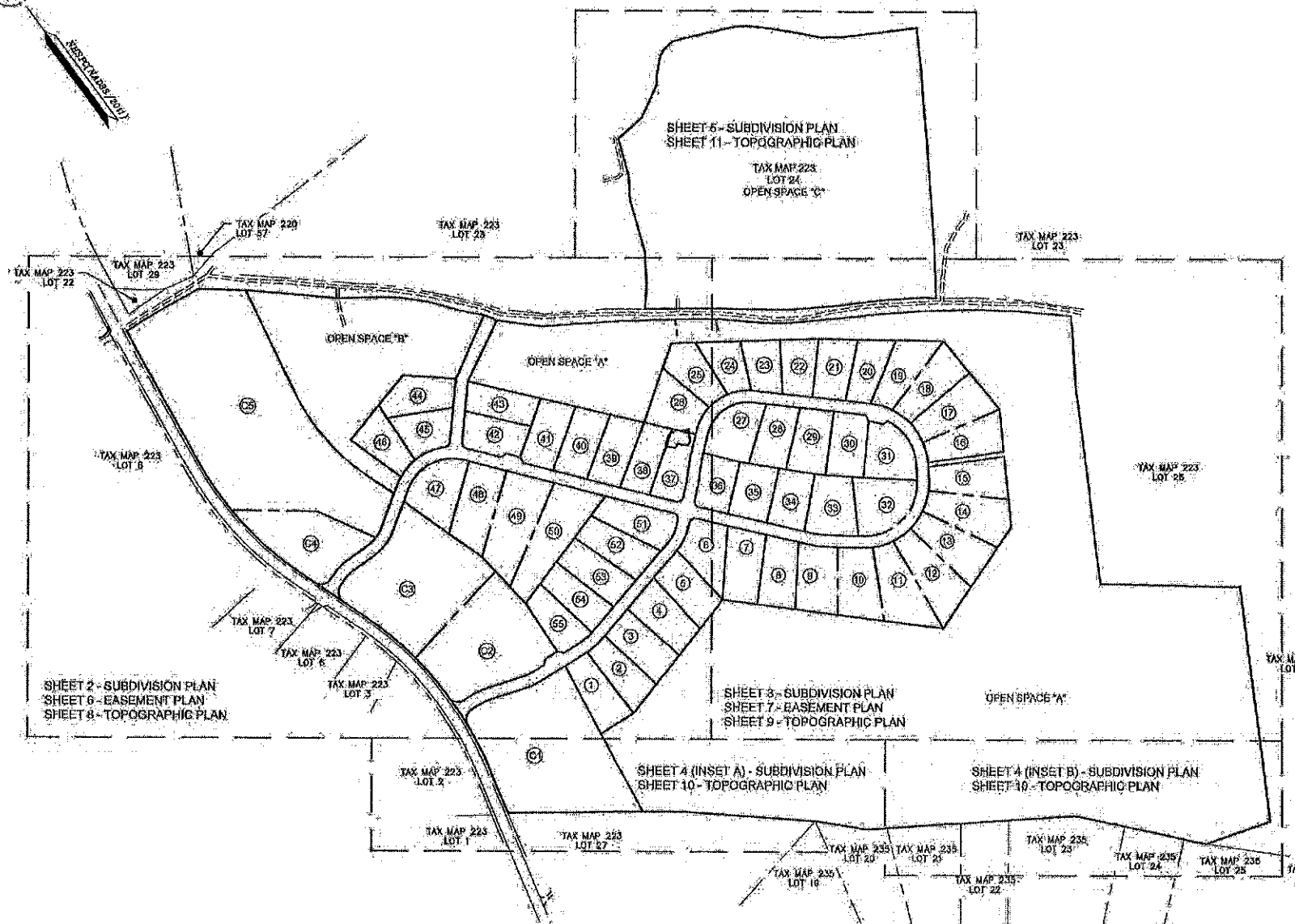
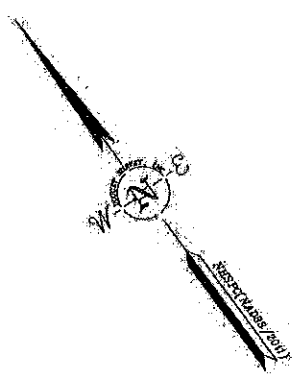
- 1. REFERENCES: TAX MAP 223, LOTS 24 & 26... 2. TOTAL PARCEL AREA: LOT 24 - 1,403,000 SQ. FT. OR 32.25 AC... 3. OWNER OF RECORD: RINA MYHRE, PAUL C. HELFGOTT & CAROL H. LEDOUX... 4. ZONING: REGIONAL COMMERCIAL DIMENSIONAL REQUIREMENTS... 5. FIELD SURVEY PERFORMED BY D.A.N. & S.H.P. DURING OCTOBER, NOVEMBER & DECEMBER 2019... 6. JURISDICTIONAL WETLANDS DELINEATED BY GUYE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2018... 7. FLOOD HAZARD ZONE 'X' PER FIRM MAP 330170030SE, DATED 08/30/2015... 8. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE (2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS... 9. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(GEOID12A) (±2') DERIVED FROM REDUNDANT GPS OBSERVATIONS... 10. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION... 11. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY... 12. ROUTE 125/CALEF HIGHWAY IS A 4 ROAD (60' WIDE) RIGHT OF WAY PER REFERENCE PLAN #1, OLD GREEN HILL ROAD IS A CLASS V ROAD CLOSED SUBJECT TO GATES AND BARS, SEE 1989 WARRANT ARTICLE 30A... 13. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED... 14. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE... 15. AERIAL TOPOGRAPHY WAS CONDUCTED BY EASTERN TOPOGRAPHICS FROM IMAGES TAKEN DURING MAY 2003 WITH A PHOTO SCALE OF 1"=475'. CONTOURS AND OBJECTS SHOWN WITHIN OBTAINED AREAS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE USE FOR DESIGN OR CONSTRUCTION PURPOSES... 16. TAX MAP 223, LOT 26 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD: A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 789, PAGE 177, ACTUAL LOCATION UNKNOWN... 17. CEMETERY SUBJECT TO N.H.R.S.A. 289:3, IN NEW CONSTRUCTION, EXCAVATION, OR BUILDING IN THE AREA OF A KNOWN BURIAL SITE SHALL COMPLY WITH LOCAL ZONING. IN ABSENCE OF SUCH REGULATIONS NO NEW CONSTRUCTION, EXCAVATION, OR BUILDING SHALL BE CONDUCTED WITHIN 20' OF THE BOUNDARY OF THE BURIAL GROUND... 18. NHDES STATE SUBDIVISION APPROVAL #PENDING... 19. NHDES ALTERATION OF TERRAIN APPROVAL #PENDING... 20. NHDES WETLAND PERMIT APPROVAL #PENDING... 21. NHDOT ACCESS PERMIT #PENDING...

REFERENCE PLANS:

- 1. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED UPGRADE PROJECT (CONTRACT BETTERMENT) B-2172, N.H. PROJECT NO. S-2095, CALEF RD. TRANSPORTATION, DATED 7-22-79, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION... 2. BOUNDARY PLAN OF LAND IN BARRINGTON, NEW HAMPSHIRE BELONGING TO M.D. & D.D. HELFGOTT, BY S.W. LINDLAND SURVEYOR, DATED SEPTEMBER 14, 1974, S.C.R.D. POCKET #4, FOLDER #1, PLAN #53, 32A, 33B, 33C & 33D... 3. SUBDIVISION PLAN PREPARED FOR WCV INC. OF LAND IN THE NAME OF ANTONIO G. RIZZO AND CHERYL M. RIZZO OF MAP 12, LOT 96, LOCATED AT ROUTE 125, COUNTY OF STRAFFORD, BARRINGTON, NH, BY DAVID W. VINCENT LAND SURVEYING SERVICES, DATED MAY 16, 2002, S.C.R.D. PLAN #67-17... 4. WEDGEWOOD ESTATES PLAN OF LAND IN BARRINGTON, NH, PREPARED FOR HILDED G. ALLEN, BY ROBERT G. COLEBATH SURVEYOR, DATED JULY 2, 1984, S.C.R.D. PLAN #24A-132 & 24A-133... 5. SUBDIVISION OF LAND PREPARED FOR JIM AND SUSANNE JADELSKI, 17 DEER RIDGE DRIVE, BARRINGTON, NH, BY MCNEANEY SURVEY ASSOCIATES, INC., DATED SEPTEMBER 12, 1997, S.C.R.D. PLAN #51-100... 6. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 018-(10), N.H. PROJECT NO. S-2095-A, N.H. ROUTE 125-CALEF ROAD, DATED 9-29-77, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION... 7. SUBDIVISION PLAN OF LAND IN BARRINGTON, NH, PREPARED FOR VAN E. HERTTEL, BY NORTH COUNTRY SURVEYORS, DATED MAY 19, 1993, S.C.R.D. PLAN #39-131... 8. SUBDIVISION PLAN OF LAND IN BARRINGTON, NH, PREPARED FOR KEITH WESTON & THOMAS DELONG, BY NORTH COUNTRY SURVEYORS, DATED JUNE 30, 1993, S.C.R.D. PLAN #41-70... 9. SUBDIVISION OF LAND FOR BRUCE WILLIAMS ASSOCIATES, INC., BY WHITE MOUNTAIN SURVEY COMPANY, DATED APRIL 29, 1983, S.C.R.D. PLAN #24-21 & 22...

ADJUTERS LIST:

- TAX MAP 220 LOT 57: TOWN OF BARRINGTON, 24 SHERBORN WAY, BARRINGTON, NH 03825, S.C.R.D. BOOK 434 PAGE 439... TAX MAP 223 LOT 7: LOREN & DARRYL BRIGHT BARTON, 30 CALIFORNIA ST #3, WATERTOWN, MA 02472, S.C.R.D. BOOK 3898 PAGE 128... TAX MAP 223 LOT 2: 59A TOWERS II LLC, 8001 CONGRESS AVE, BOCA RATON, FL 33487, S.C.R.D. BOOK 3898 PAGE 605... TAX MAP 223 LOT 3: ANTHONY SMITH, 202 CALEF HWY, BARRINGTON, NH 03825, S.C.R.D. BOOK 3121 PAGE 168... TAX MAP 223 LOT 6: 248 CALEF HIGHWAY LLC, 675 FRIST NH TRK, NORTHWOOD, NH 03261, S.C.R.D. BOOK 4462 PAGE 905... TAX MAP 223 LOT 7: 248 REAL ESTATE HOLDINGS LLC, 24 SHERBORN WAY, BARRINGTON, NH 03825, S.C.R.D. BOOK 4028 PAGE 780... TAX MAP 223 LOT 8: ATLANTIC TRADE PARK LLC, PO BOX 481, NEW CASTLE, NH 03854, S.C.R.D. BOOK 3743 PAGE 148... TAX MAP 223 LOT 12: LRT PROPERTY MGMT LLC, PO BOX 703, BARRINGTON, NH 03825, S.C.R.D. BOOK 3780 PAGE 699... TAX MAP 223 LOT 22: TOWN OF BARRINGTON, 202 CALEF HWY, BARRINGTON, NH 03825, S.C.R.D. BOOK 3928 PAGE 1... TAX MAP 223 LOT 23: JAMES E & STEVEN E & HUBSEY D CRANICK, 326 DEN QUARRY RD, LYNN, MA 01904, S.C.R.D. BOOK 4307 PAGE 531... TAX MAP 223 LOT 24: RINA MYHRE & PAUL C HELFGOTT & CAROL H LEDOUX (1/3 EA), 4216 ALTA VISTA CT, OCEANSIDE, CA 92057, S.C.R.D. BOOK 4082 PAGE 843... TAX MAP 223 LOT 25: RAYMOND LAFRANCE, 1036 LUCAS WAY, PALMER, AK 99548... TAX MAP 223 LOT 27: NOT PARCEL INFORMATION AVAILABLE PER THE TOWN OF BARRINGTON... TAX MAP 223 LOT 28: BOSTON & MAINE RR & CULFORD TRANSPORT RD & IRON HORSE PK, NORTH BILLERICA, MA 01862... TAX MAP 223 LOT 29: CHESTNUT WOODS LLC, 78 EMERY LN, STRATHAM, NH 03880... TAX MAP 235 LOT 19: BASIL & DONNA PROFOLOS, 47 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 2109 PAGE 587... TAX MAP 235 LOT 20: CALLUM COCHRAN, 53 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 4576 PAGE 862... TAX MAP 235 LOT 21: DAVID J & KATHLEEN J SARTORIUS, 63 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 4526 PAGE 301... TAX MAP 235 LOT 22: KIP & YAREN LACHAPPELLE, 17 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 1002 PAGE 63... TAX MAP 235 LOT 23: DAVID BISSON & MARY DOTY, 91 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 1444 PAGE 117... TAX MAP 235 LOT 24: TIMOTHY & SAMANTHA JAMES, 85 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 4310 PAGE 127... TAX MAP 235 LOT 25: JIM & SUSANNE JADELSKI, 103 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 1536 PAGE 922... TAX MAP 235 LOT 26: TYSON WHELAN & ALLISON ROBERTS, 111 DEER RIDGE DR, BARRINGTON, NH 03825, S.C.R.D. BOOK 2834 PAGE 445...



- LEGEND: LOT LINE, PROPOSED LOT LINE, BUILDING SETBACK LINE, WETLAND SETBACK LINE, ZONE LINE, APPROXIMATE ADJUTERS LOT LINE, STONE WALL, REMNANT STONE WALL, EDGE OF WETLAND, STREAM, BOUND FOUND, DRILL HOLE FOUND, IRON PIPE/ROD FOUND, 4"x4" CRANE BOOMS TO BE SET, 5/8" REBAR W/O CAP TO BE SET, BOUND FOUND, DRILL HOLE SET, DRILL HOLE FOUND, BARBED WIRE, CONCRETE, GRANITE, DRILL HOLE, WETLAND SYMBOL... LEGEND (EASTERN TOPOGRAPHICS): BUILDING, PAVED ROAD, GRAVEL ROAD, BRIDGE, PAYMENT OBTAINED, DRIVEWAY, DRIVEWAY UNPAID, DRIVEWAY OBTAINED, FENCE OBTAINED, WALL OBTAINED, STONEWALL, BROOK/STREAM, SWAMP LIMIT

SCALE: 1 INCH = 300 FT.

SUBDIVISION PLAN "THE RIDGE AT GREEN HILL" FOR HARBOR STREET LIMITED PARTNERSHIP, LAND OF PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX (TAX MAP 223, LOTS 24 & 26) ROUTE 125/CALEF HIGHWAY BARRINGTON, NEW HAMPSHIRE

LAND USE OFFICE JUL 30 2019 RECEIVED

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000. DATE: 7/29/19 L.L.S. #899

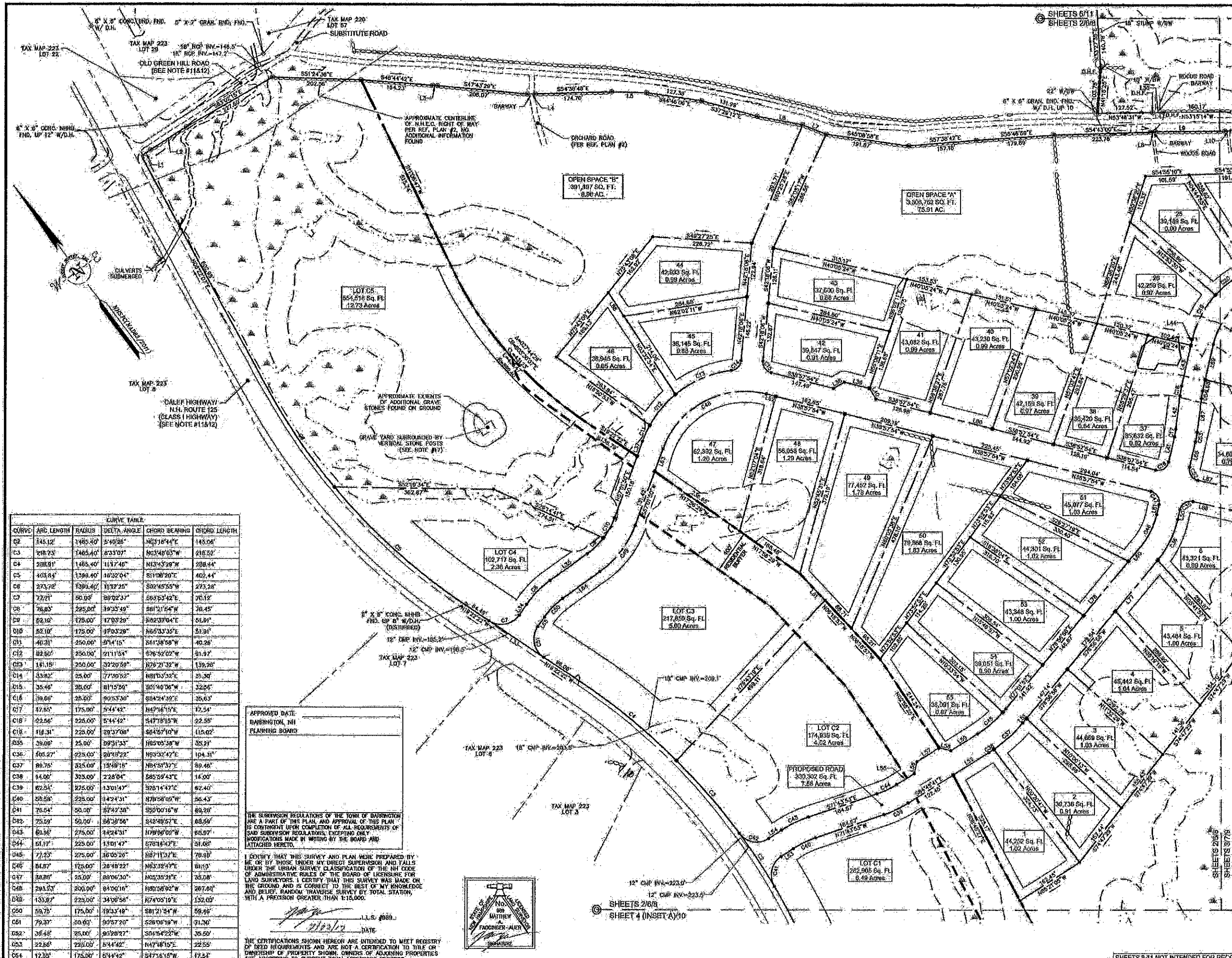
APPROVED DATE: BARRINGTON, NH: PLANNING BOARD

Table with columns: NO., DATE, REVISIONS PER PLANNERS COMMENTS, M.W.F., BY.

DRAWN BY: M.W.F. DATE: MAY 6, 2018 CHECKED BY: M.W.F. DRAWING NO.: 5760D JOB NO.: 5760 SHEET: 1 OF 11

DOUCET SURVEY logo and contact information: 102 Hunt Place, Newmarket, NH 03857 (603) 859-6560, 2 Coopers Drive (Suite 202) Bedford, NH 03110 (603) 614-0000, 10 Slater Street (RiverView Suite) Keene, NH 03501 (603) 902-7005, http://www.doucetsurvey.com

SHEETS 5-11 NOT INTENDED FOR RECORDING



CURVE TABLE

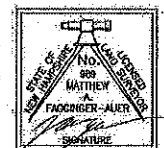
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	145.12	1485.40	5°40'26"	N63°18'44"E	145.06
C3	218.73	1485.40	8°33'07"	N63°14'03"W	218.52
C4	288.91	1485.40	11°17'48"	N13°43'28"W	288.44
C5	403.84	1398.40	16°32'04"	S11°08'20"E	402.44
C6	373.72	1094.40	11°17'25"	S02°45'55"W	373.28
C7	77.71	50.00	89°02'37"	S63°53'42"E	70.12
C8	76.83	225.00	19°23'49"	S81°21'54"W	78.45
C9	82.10	175.00	17°03'20"	S82°37'04"E	55.91
C10	82.10	175.00	17°03'20"	N65°33'35"E	55.91
C11	40.31	250.00	9°14'15"	S51°38'58"W	40.26
C12	82.50	250.00	21°11'54"	S76°52'02"W	51.97
C13	181.15	250.00	32°29'59"	N79°21'32"W	139.28
C14	33.82	25.00	77°09'52"	N81°03'32"E	31.30
C15	35.45	25.00	81°15'29"	S01°40'56"W	32.85
C16	39.89	25.00	90°53'30"	S84°24'39"E	35.63
C17	47.85	175.00	9°44'42"	N47°16'15"E	47.54
C18	22.56	225.00	3°44'42"	S47°18'15"W	22.58
C19	116.31	225.00	28°37'08"	S64°57'10"W	115.02
C20	39.08	25.00	89°31'33"	N85°05'38"W	38.21
C26	105.27	225.00	28°48'22"	N63°32'47"E	104.31
C27	86.75	325.00	15°18'15"	N84°51'37"E	89.48
C28	14.00	325.00	2°28'04"	S85°59'43"E	14.00
C29	82.54	225.00	13°01'47"	S08°14'47"E	82.40
C30	58.58	225.00	14°24'31"	N78°58'09"W	56.43
C31	75.24	50.00	87°42'58"	S50°00'16"W	69.29
C32	75.24	50.00	58°38'54"	S42°48'57"E	68.99
C43	89.16	275.00	14°24'31"	N78°58'09"W	86.97
C44	51.77	225.00	13°01'47"	S08°14'47"E	51.68
C45	77.23	275.00	16°05'28"	N67°11'37"E	76.80
C46	84.87	175.00	28°48'22"	N63°32'47"E	84.13
C47	38.89	25.00	89°06'30"	N02°35'21"E	38.28
C48	293.33	200.00	84°00'16"	N80°08'02"W	287.00
C49	133.87	225.00	34°08'58"	N74°05'19"E	132.00
C50	59.75	175.00	19°53'48"	S81°21'54"W	59.49
C51	79.37	50.00	90°57'20"	S28°08'19"W	71.20
C52	39.48	25.00	90°28'27"	S04°42'27"W	38.50
C53	22.56	225.00	3°44'42"	N47°18'15"E	22.55
C54	12.33	175.00	5°44'42"	S47°16'15"W	12.24

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND THAT UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

DATE: 7/23/19
 L.L.S. #889



LINE TABLE

LINE	BEARING	DISTANCE
L1	S63°38'56"E	25.38'
L2	S88°38'58"E	37.05'
L3	S49°28'32"E	30.81'
L4	S54°08'18"E	18.07'
L5	S51°35'36"E	78.80'
L6	S42°27'15"E	106.10'
L7	S31°29'03"E	57.95'
L8	S97°30'24"E	11.15'
L9	S53°28'02"E	160.28'
L10	S55°23'34"E	15.41'
L11	S85°32'10"E	24.15'
L12	N69°22'22"W	150.02'
L13	N71°14'59"E	28.47'
L14	N88°51'12"W	104.03'
L15	N67°01'50"E	36.11'
L16	N83°37'54"W	28.28'
L17	S38°57'54"E	60.00'
L18	S05°02'06"W	28.28'
L19	S80°08'38"W	58.54'
L20	S44°23'54"W	77.22'
L21	S50°08'38"W	85.97'
L22	S80°08'38"W	11.74'
L23	S00°08'38"W	22.81'
L24	N75°56'58"E	13.20'
L25	S84°48'41"E	96.89'
L26	S88°08'29"E	33.71'
L27	S86°08'25"E	35.14'
L28	S84°08'10"E	47.13'
L29	S60°14'16"W	28.28'
L30	S84°45'41"E	60.00'
L31	S38°45'41"E	28.28'
L32	S84°48'41"E	72.20'
L33	S76°56'58"W	45.00'
L34	S50°08'38"W	23.17'
L35	S38°57'54"E	22.26'
L36	S00°08'38"W	58.91'
L37	S44°35'54"W	77.22'
L38	S80°08'38"W	28.46'
L39	S50°08'38"W	83.23'
L40	S78°58'58"W	151.02'
L41	N75°56'58"E	151.02'
L42	S80°08'38"W	149.16'
L43	N05°18'57"W	43.88'
L44	N40°18'51"W	124.80'

LAND USE OFFICE

JUL 30 2019

RECEIVED
 SCALE: 1"=400'

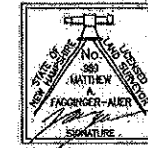
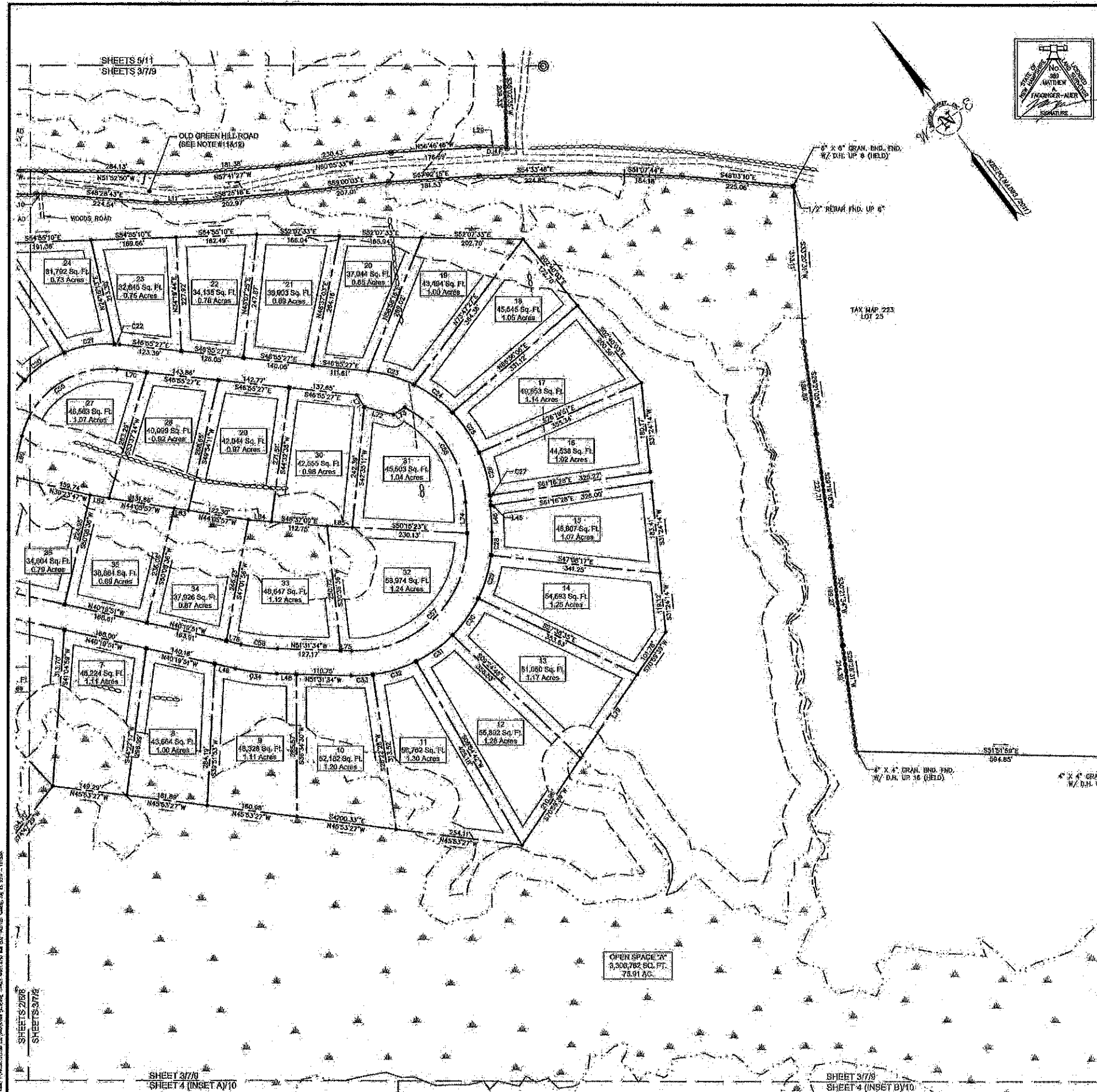
SUBDIVISION PLAN
 "THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DATE	DESCRIPTION	BY
1	7/23/19				

DRAWN BY	E.O.P.	DATE	MAY 8, 2019
PREPARED BY	M.W.F.	DRAWING NO.	5769E
JOB NO.	6750	SHEET	2 OF 11

DOUCET SURVEY INC.
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03657 (603) 859-6560
 2 Comaquis Drive (Suite 202) Bedford, NH 03110 (603) 614-4090
 10 Storer Street (Riverview Suite) Kennebunk, ME (207) 862-7005
 http://www.doucetsurvey.com

SHEETS 8-11 NOT INTENDED FOR RECORDING



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1/10,000.

M.A. DOUCET
 L.L.S. #86
 DATE: 7/30/19

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

CURVE	ARC LENGTH	RADIUS	CURVE TABLE	
			DELTA ANGLE	CHORD BEARING
C20	96.26'	228.00'	24°30'46"	N87°06'53"W
C21	102.58'	225.00'	26°07'14"	N82°59'53"W
C22	105.62'	225.00'	24°40'46"	N85°15'51"W
C23	98.82'	275.00'	20°11'32"	N86°49'42"W
C24	94.98'	275.00'	19°47'09"	N16°50'23"W
C25	37.40'	275.00'	20°27'58"	N03°11'55"E
C26	88.63'	276.00'	18°27'00"	N22°34'17"E
C27	11.68'	275.00'	23°40'40"	N22°57'07"E
C28	47.33'	275.00'	05°13'35"	N39°08'11"E
C29	80.44'	275.00'	18°50'10"	N53°33'05"E
C30	80.41'	275.00'	18°50'10"	N72°13'10"E
C31	90.41'	276.00'	18°50'10"	S88°39'25"E
C32	90.41'	275.00'	18°50'10"	S70°08'29"E
C33	43.98'	275.00'	40°49'46"	S58°06'27"E
C34	83.04'	428.00'	11°11'43"	S45°59'45"E
C35	283.30'	175.00'	82°55'57"	N89°22'28"W
C36	225.18'	225.00'	89°02'58"	N04°19'35"E
C37	370.68'	225.00'	94°21'58"	N81°17'27"E
C38	732.27'	375.00'	11°11'43"	S49°50'43"E

LINE	LINE TABLE	
	BEARING	DISTANCE
L10	S55°25'34"E	15.41'
L11	S53°31'59"E	56.19'
L12	S80°46'00"E	56.83'
L13	S34°08'27"W	8.98'
L14	S31°08'27"W	53.00'
L15	N51°31'34"W	38.89'
L16	N40°19'51"W	43.18'
L17	N46°55'27"W	60.00'
L18	N06°17'24"E	28.39'
L19	N36°42'36"W	60.00'
L20	S63°42'36"W	26.97'
L21	S34°08'27"W	62.58'
L22	N51°31'34"W	22.42'
L23	S40°19'51"E	28.70'

APPROVED DATE: BARRINGTON, NH PLANNING BOARD

THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



LAND USE OFFICE
 JUL 30 2019
 RECEIVED

SUBDIVISION PLAN
 "THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS FOR PLANNERS COMMENTS	DATE	BY
1	7/10/19			

DRAWN BY: E.O.P. DATE: MAY 8, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 67600
 SHEET NO.: 0750 SUBJECT: SHEET 3 OF 11

DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Plaza, Newmarket, NH 03857 (603) 859-6550
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 814-4000
 10 Stoffer Street (Rte 97/W. S. 101) Kennebunk, ME (207) 902-7005
 www.doucetsurvey.com

SHEETS 2/10
 SHEETS 3/10

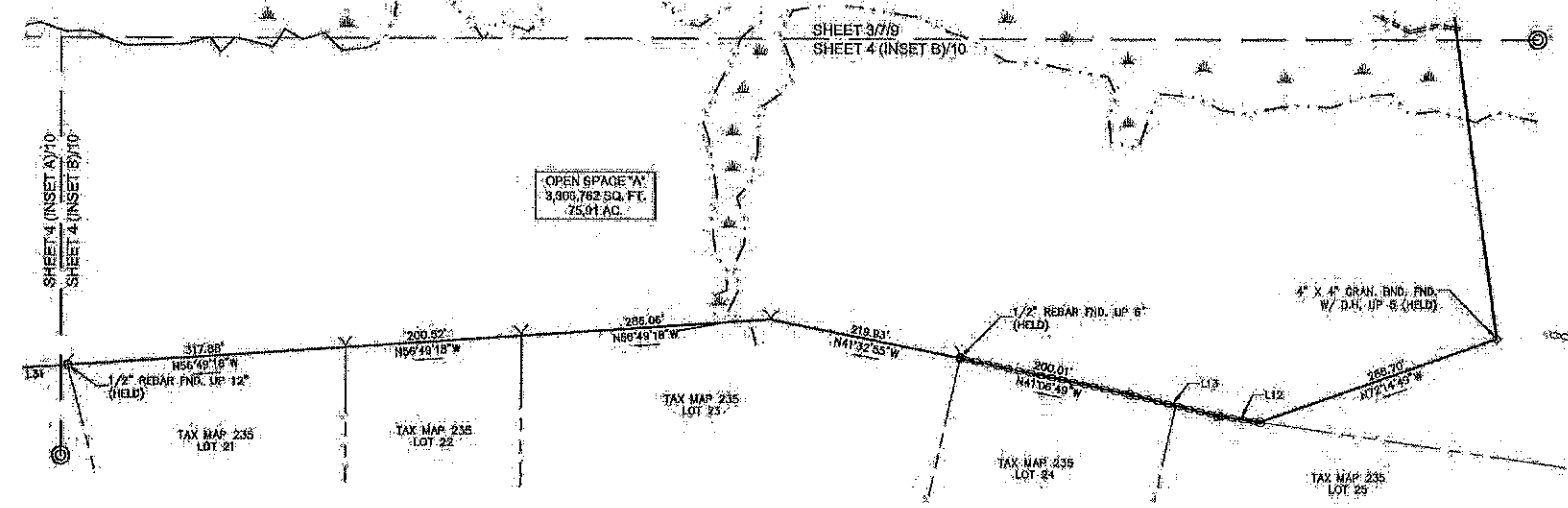
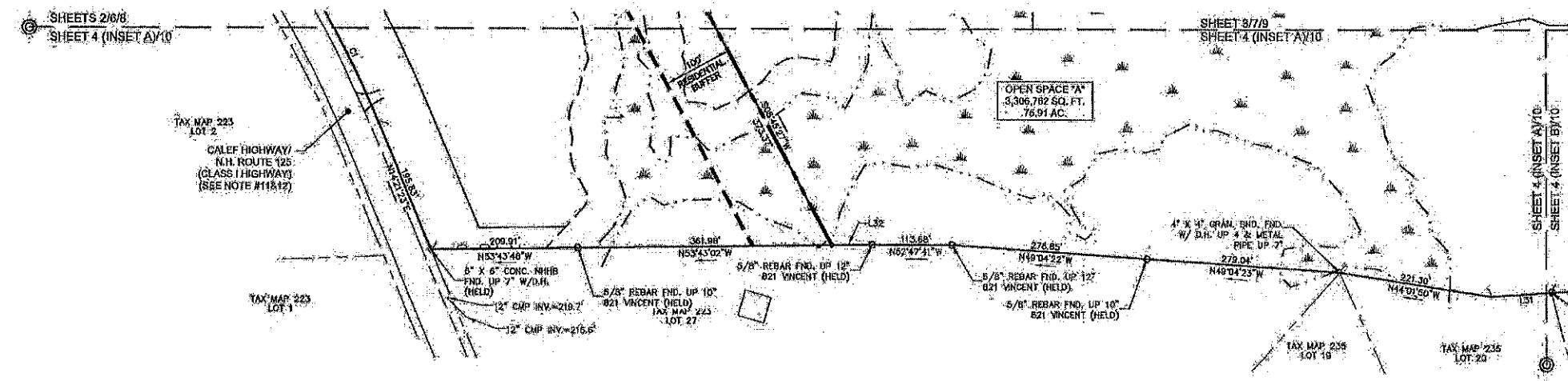
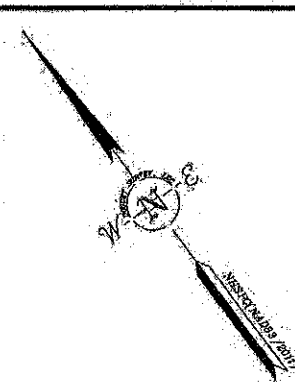
SHEET 3/10
 SHEET 4 (INSET A)/10

SHEET 3/10
 SHEET 4 (INSET B)/10

SHEETS 8-11 NOT INTENDED FOR RECORDING

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
01	209.91'	1485.40'	8°12'26"	N10°15'10"E	209.73'

LINE TABLE		
LINE	BEARING	DISTANCE
L12	N44°31'27"W	48.88'
L13	S89°35'00"W	104.00'
L31	N56°49'18"W	87.84'
L32	N53°43'02"W	56.09'

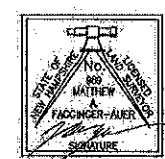


SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

LAND USE OFFICE

JUL 30 2019

RECEIVED



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:10,000.

M.F.A. DATE
 7/28/19

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

APPROVED DATE:	
BARRINGTON, NH:	
PLANNING BOARD:	

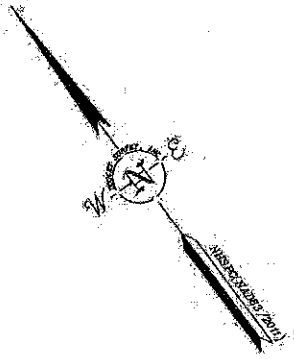
THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
--

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	BY
1	7/10/19		

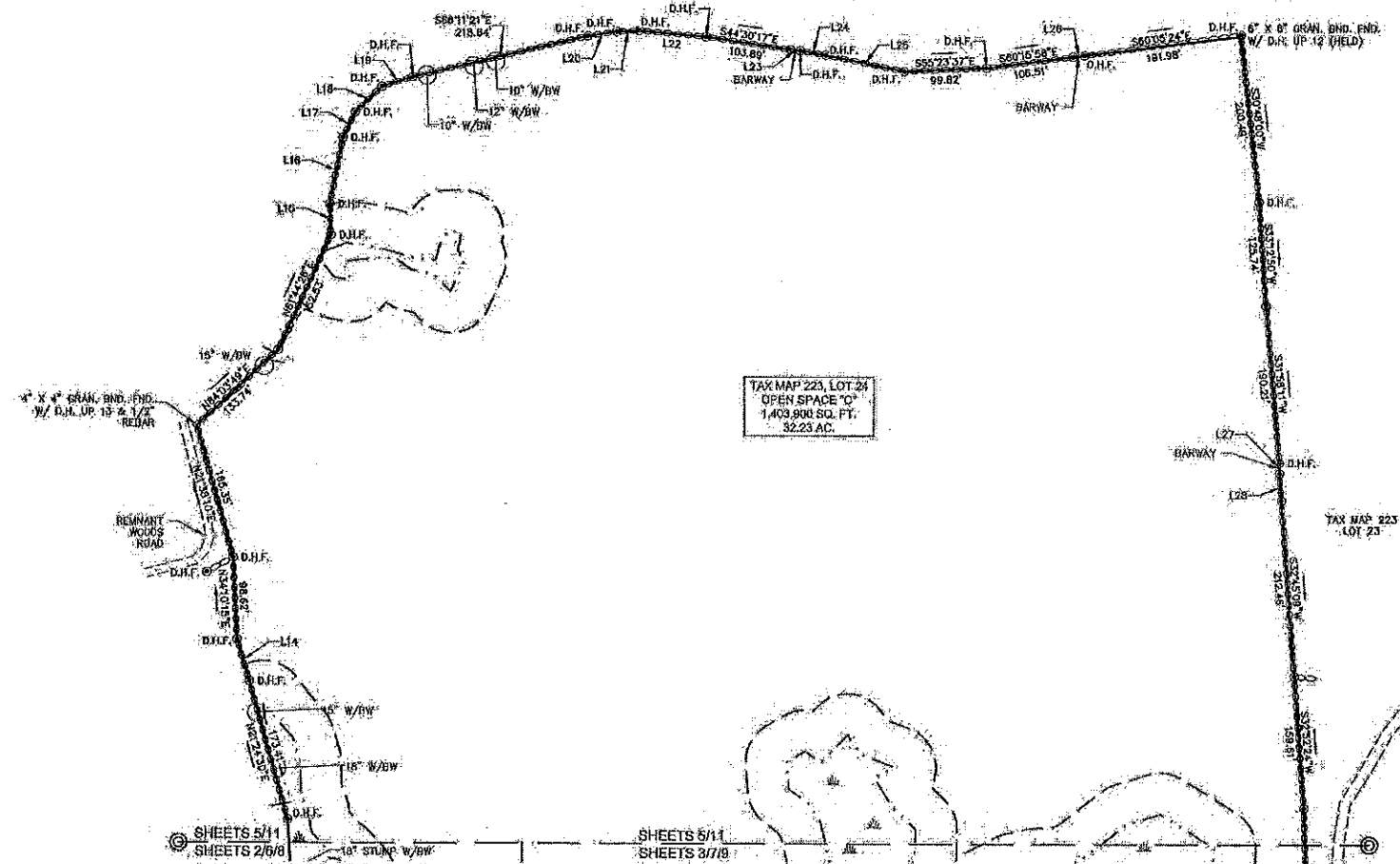
DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	57808
JOB NO.:	5761	SHEET:	4 OF 11

DOUCET SURVEY
 Surveying Professionals Surveying & Mapping Needs
 102 Kohl Place, Newmarket, NH 03857 (603) 659-8550
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
 10 Storer Street (RiverView Suite) Kennebunk, ME (207) 602-7006
 info@www.doucetsurvey.com

[SHEETS 8-11 NOT INTENDED FOR RECORDING]



LINE TABLE		
LINE	BEARING	DISTANCE
L14	S20°16'44"W	52.77'
L15	S41°57'03"W	37.66'
L16	S41°16'42"W	81.16'
L17	S63°13'54"W	34.02'
L18	S82°45'19"W	44.89'
L19	N70°01'07"W	38.07'
L20	N51°27'24"W	39.05'
L21	N55°44'34"W	27.05'
L22	N48°01'15"W	61.35'
L23	N47°03'41"W	11.30'
L24	N42°07'52"W	31.54'
L25	N41°28'46"W	98.76'
L26	N59°41'00"W	14.23'
L27	N38°36'49"E	12.66'
L28	N32°10'41"E	33.14'



SUBDIVISION PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

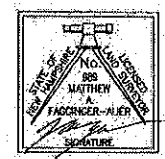
LAND USE OFFICE
JUL 30 2019
RECEIVED

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DATE	BY
1	7/10/19			

DRAWN BY: E.O.P.	DATE: MAY 6, 2019
CHECKED BY: M.W.F.	DRAWING NO.: 57509
JOB NO.: 5750	SHEET 8 OF 11

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



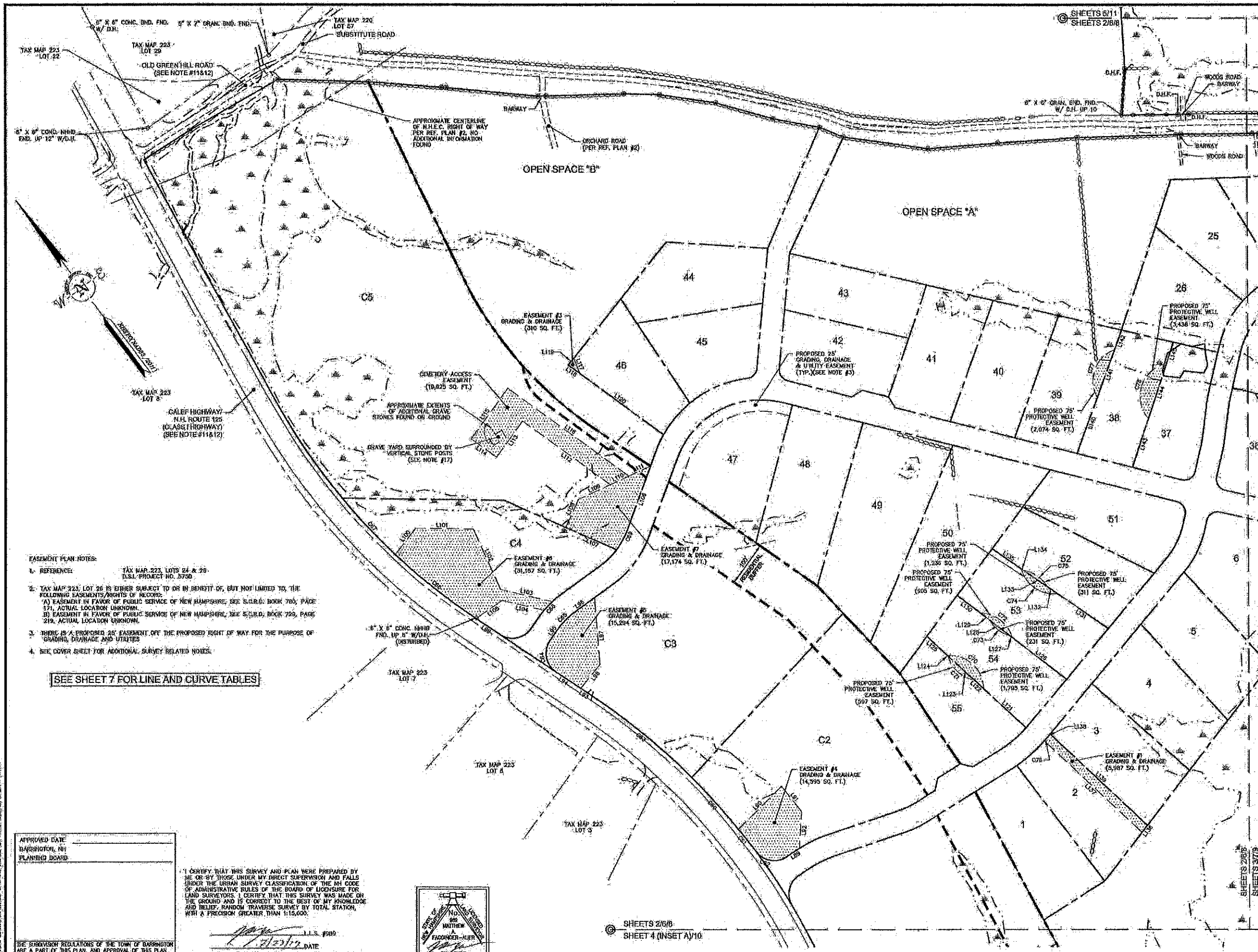
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URSUM SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:10,000.

 M.A. FAGNANO
 L.L.S. #989
 DATE: 7/23/19

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY. SHOWING OWNERS OF ADJACENT PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Keel Place, Newmarket, NH 03857 (603) 859-6260
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4000
 10 Slater Street (RiverView Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>

[SHEETS 8-11 NOT INTENDED FOR RECORDING]



- LEGEND**
- LOT LINE
 - PROPOSED LOT LINE
 - PROPOSED EASEMENT LINE
 - ZONE LINE
 - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - EDGE OF WETLAND
 - STREAM
 - FOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - PROPOSED 75' PROTECTIVE WELL RADIUS LOT 7
- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - BRIDGE
 - PAVEMENT OBSCURED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSCURED
 - FENCE OBSCURED
 - WALL OBSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT

LAND USE OFFICE
 JUL 30 2019
 RECEIVED



EASEMENT PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DATE
1	7/30/19		

DRAWN BY: E.D.P.	DATE: MAY 6, 2019
CHECKED BY: M.W.F.	DRAWING NO.: 57908
JOB NO.: 5790	SHEET: 6 OF 11

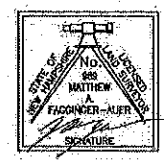
DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 259-8560
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
 10 Sparrow Street (Riverside Square) Kennebunk, ME (207) 862-7005
<http://www.doucetsurvey.com>

- EASEMENT PLAN NOTES:**
- REFERENCE: TAX MAP 223, LOTS 24 & 28, D.S.I. PROJECT NO. 5750.
 - TAX MAP 223, LOT 26 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
 (A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 785, PAGE 171, ACTUAL LOCATION UNKNOWN.
 (B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 785, PAGE 219, ACTUAL LOCATION UNKNOWN.
 - THERE IS A PROPOSED 25' EASEMENT OFF THE PROPOSED RIGHT OF WAY FOR THE PURPOSE OF GRADING, DRAINAGE AND UTILITIES.
 - SEE COVER SHEET FOR ADDITIONAL SURVEY RELATED NOTES.

SEE SHEET 7 FOR LINE AND CURVE TABLES

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

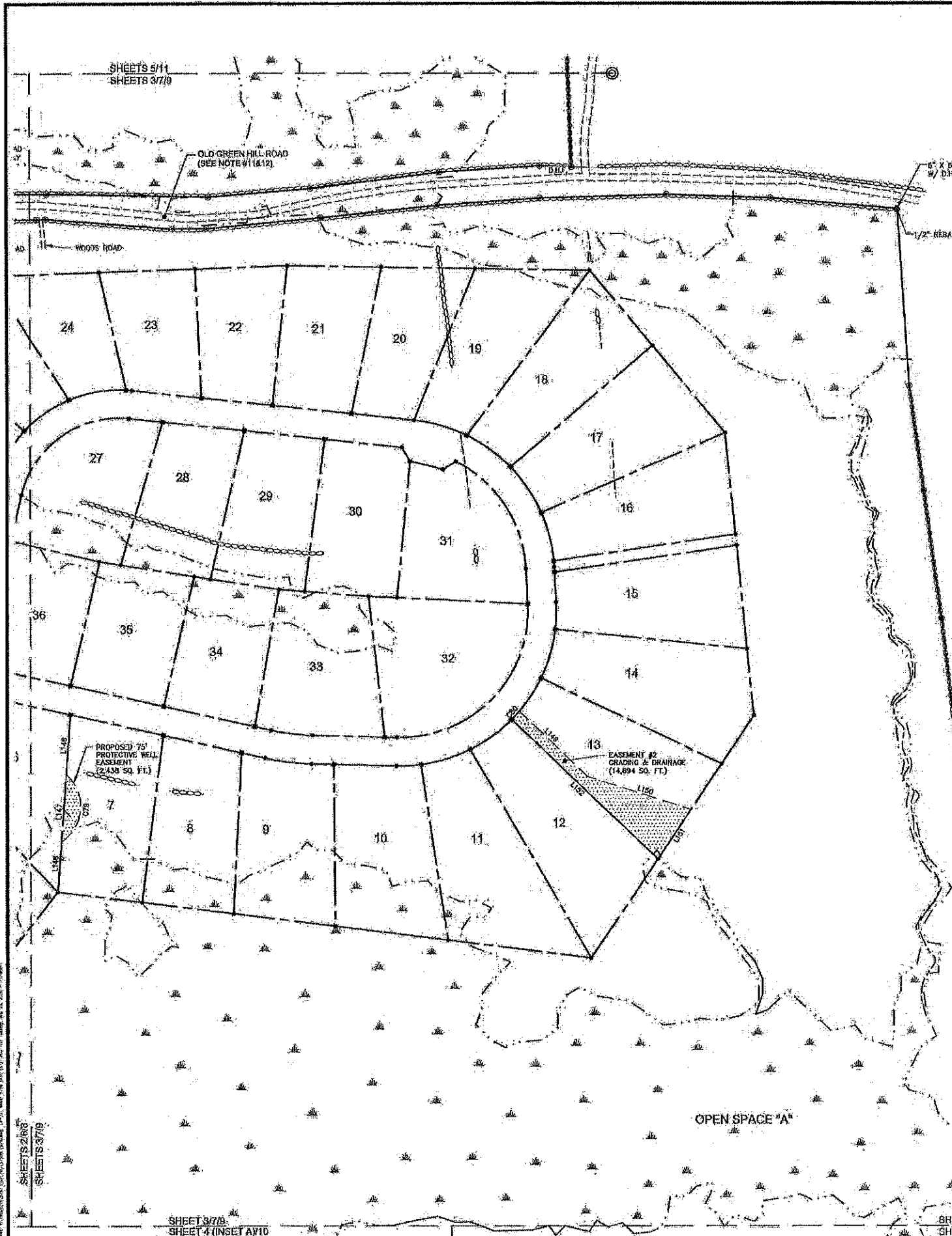
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRANSVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.



DATE: 7/23/19
 THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

SHEETS 2/6/8
 SHEET 4 (INSET A)/10

SHEETS 8-11 NOT INTENDED FOR RECORDING

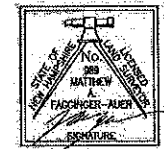
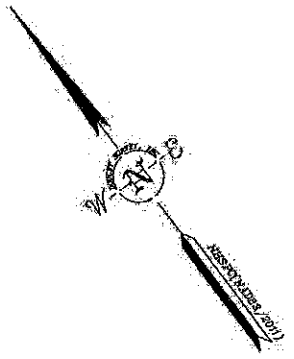


LINE	BEARING	DISTANCE
L89	S66°08'25"E	35.14'
L90	N82°03'47"E	136.50'
L91	S01°31'30"E	72.30'
L92	S49°38'30"W	82.34'
L93	N18°12'22"W	29.61'
L94	N18°22'22"W	66.10'
L95	N71°34'00"E	26.77'
L96	S88°01'12"E	53.06'
L97	S33°25'01"W	149.64'
L98	S78°00'00"W	88.45'
L99	N19°22'22"W	64.49'
L100	N75°12'49"E	74.85'
L101	S52°19'34"E	128.81'
L102	S12°54'27"W	148.04'
L103	S39°48'36"E	119.02'
L104	N39°48'36"W	56.38'
L105	N87°40'52"W	70.89'
L106	S07°01'50"W	150.18'
L107	N25°14'11"W	124.43'
L108	N61°35'24"E	88.85'
L109	S77°38'25"E	78.40'
L110	S77°38'25"E	45.91'

LINE	BEARING	DISTANCE
L111	S77°38'25"E	55.44'
L112	N17°01'33"W	241.80'
L113	S72°58'27"W	109.00'
L114	N17°01'33"W	70.00'
L115	N72°58'27"E	140.00'
L116	S17°01'33"E	354.39'
L117	S18°07'12"W	38.87'
L118	N18°00'53"W	31.80'
L119	N78°43'08"E	18.44'
L120	S18°00'53"E	231.86'
L121	N10°33'04"W	128.82'
L122	N10°33'04"W	26.11'
L123	N10°33'04"W	78.82'
L124	N10°34'23"W	1.55'
L125	N10°33'04"W	82.89'
L126	N18°38'07"W	153.90'
L127	N18°40'52"W	6.09'
L128	N18°40'52"W	58.33'
L129	N18°40'52"W	20.17'
L130	N18°40'52"W	65.08'
L131	N18°38'04"W	138.20'
L132	N18°38'04"W	28.46'

LINE	BEARING	DISTANCE
L133	N10°38'04"W	94.12'
L134	N18°38'04"W	6.70'
L135	N18°38'04"W	80.13'
L136	N74°47'29"E	30.00'
L137	N10°00'13"W	298.78'
L138	N78°40'58"E	13.20'
L139	S10°00'13"E	248.98'
L140	N67°03'47"E	103.54'
L141	N67°03'47"E	113.99'
L142	N67°03'47"E	46.35'
L143	N67°03'47"E	116.37'
L144	N59°29'37"E	128.75'
L145	N65°29'37"E	50.35'
L146	N41°04'58"E	88.01'
L147	N41°04'58"E	115.01'
L148	N41°04'58"E	105.69'
L149	S09°24'48"E	167.36'
L150	S33°22'49"E	191.30'
L151	S70°04'30"W	105.24'
L152	N09°24'48"W	358.53'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C60	155.16'	1465.40'	8°03'58"	N08°02'37"W	155.08'
C61	63.57'	1485.40'	2°29'08"	N09°40'03"W	63.62'
C62	75.59'	60.00'	86°38'50"	S45°49'57"E	48.89'
C63	286.01'	1465.40'	11°17'49"	N17°43'29"W	286.44'
C64	75.37'	50.00'	80°57'01"	S28°08'19"W	71.30'
C65	68.72'	175.00'	18°33'49"	S01°21'54"W	68.48'
C66	230.93'	1399.40'	9°27'18"	S14°38'43"E	230.67'
C67	172.91'	1399.40'	7°04'47"	S08°22'41"E	172.80'
C68	24.80'	235.00'	6°19'28"	S89°23'58"W	24.78'
C69	52.10'	175.00'	17°03'29"	N69°33'35"E	51.91'
C70	122.71'	75.00'	85°44'49"	N10°33'58"W	109.46'
C71	82.09'	75.00'	85°13'53"	S10°23'04"E	78.82'
C72	85.06'	75.00'	75°18'31"	N15°40'57"W	88.85'
C73	59.01'	75.00'	45°45'52"	S15°40'57"E	58.33'
C74	107.20'	75.00'	81°53'37"	N18°38'04"W	98.30'
C75	38.25'	75.00'	50°36'40"	N18°38'04"W	64.12'
C76	5.83'	325.00'	1°12'33"	N77°33'04"E	6.83'
C77	129.42'	75.00'	85°52'17"	S57°03'47"W	113.99'
C78	488.77'	75.00'	119°48'00"	S59°29'37"W	328.78'
C79	157.45'	75.00'	105°00'09"	N17°04'59"E	119.01'
C80	20.01'	275.00'	4°10'07"	N78°33'17"E	20.00'



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSING FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:16,000.

APPROVED DATE: 7/10/19
 L.L.S. #988
 THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

THE SUPERVISOR REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUPERVISOR REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

SCALE: 1 INCH = 100 FT.

EASEMENT PLAN
"THE RIDGE AT GREEN HILL"
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/GALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

LAND USE OFFICE
 JUL 30 2019
 RECEIVED

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DATE	BY
1	7/10/19			

DRAWN BY: E.D.P.	DATE: MAY 8, 2019
CHECKED BY: M.W.F.	DRAWING NO.: 67506
JOB NO.: 6760	SHEET 7 OF 11

DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Noosmarket, NH 03897 (603) 854-6660
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 814-4900
 10 State Street (Newport Spine) Portsmouth, NH (603) 866-7500
 http://www.doucetsurvey.com

SHEETS 8-11 NOT INTENDED FOR RECORDING

SHEET 3/7/9
 SHEET 4 (INSET A)10

SHEET 3/7/9
 SHEET 4 (INSET B)10



- LEGEND**
- LOT LINE
 - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - EDGE OF WETLAND
 - STREAM
 - TREE STUMP
 - DECIDUOUS TREE
 - CATCH BASH
 - BARBED WIRE
 - CONCRETE
 - GRANITE
 - WETLAND SYMBOL

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - GUARDRAIL
 - BRIDGE
 - PAVEMENT OBTAINED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBTAINED
 - PAINTED LINE
 - FENCE OBTAINED
 - WALL OBTAINED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT
 - CULVERT HEADWALL
 - DITCH
 - WATER OBTAINED
 - TREELINE
 - BRUSH
 - DENSE WOOD LIMIT
 - ROCK OUTLINE
 - ROCK OUTCROP
 - GUARDRAIL OBTAINED
 - CULVERT OBTAINED
 - UTILITY POLE
 - OBTAINED UTILITY POLE
 - SWAMP GRASS
 - MEDIUM LONG TREE
 - SPOT ELEVATION

LAND USE OFFICE
 JUL 30 2019
RECEIVED



SCALE: 1 INCH = 100 FT.

TOPOGRAPHIC PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 128/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

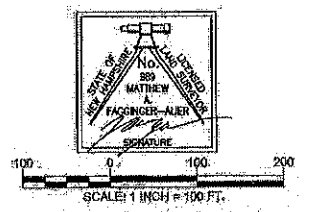
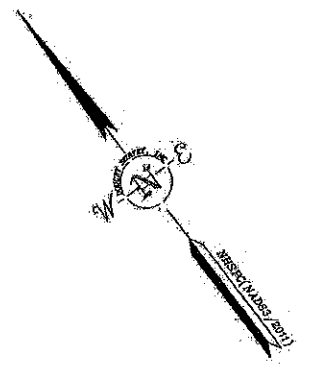
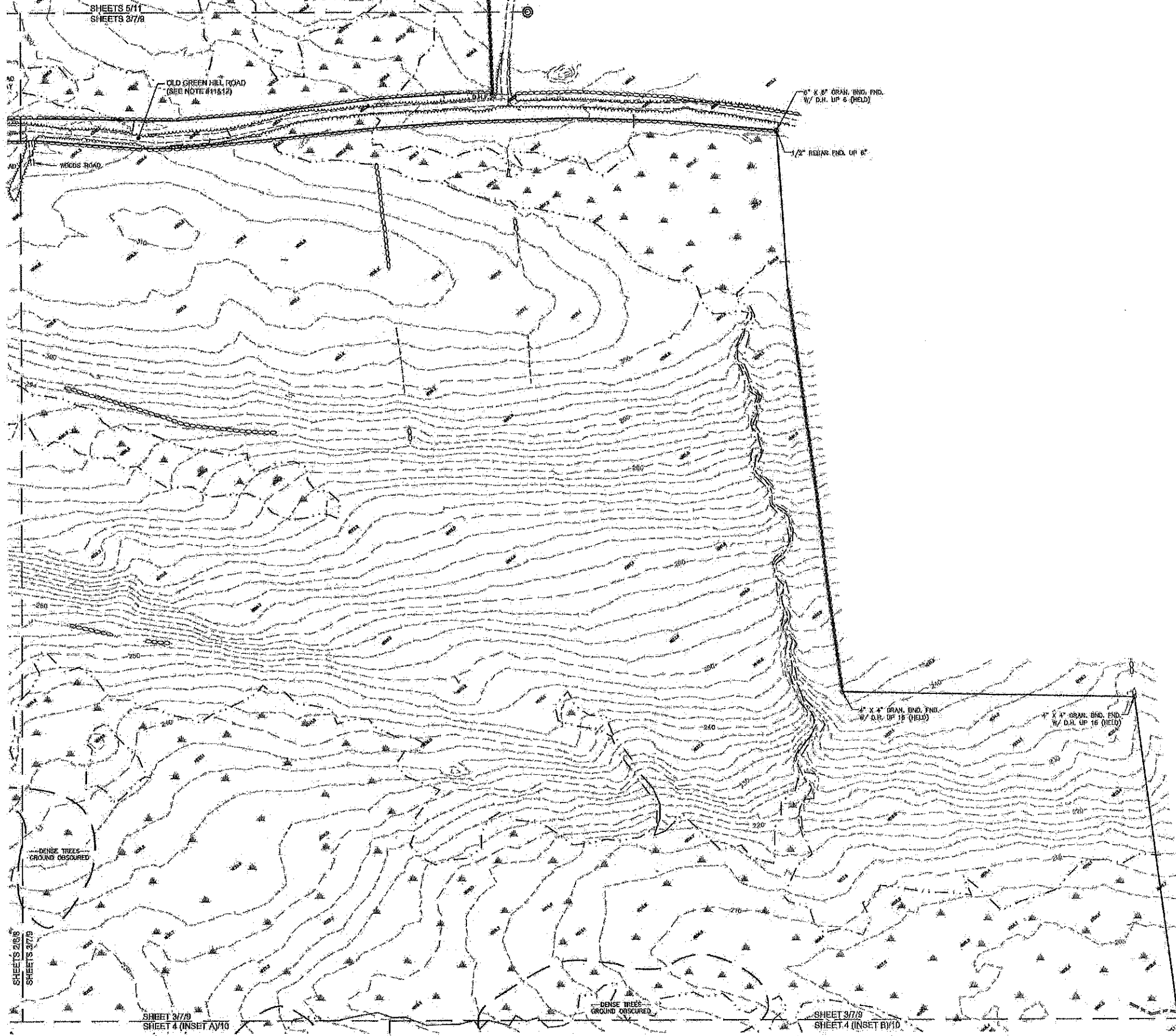
NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DATE
1	7/10/19		

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750B
JOB NO.:	5750	SHEET	OF 11

DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs.
 102 Kent Place, Naumkeag, NH 03857 (603) 658-6580
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 814-4000
 10 Store Street (Riverview Plaza) Keene, NH 03431 (603) 352-7000
<http://www.doucetsurvey.com>

SHEETS 7-10 NOT INTENDED FOR RECORDING

SHEETS 2/8/8
 SHEET 4 (INSET A) 10



TOPOGRAPHIC PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

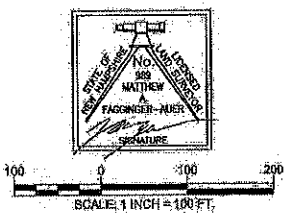
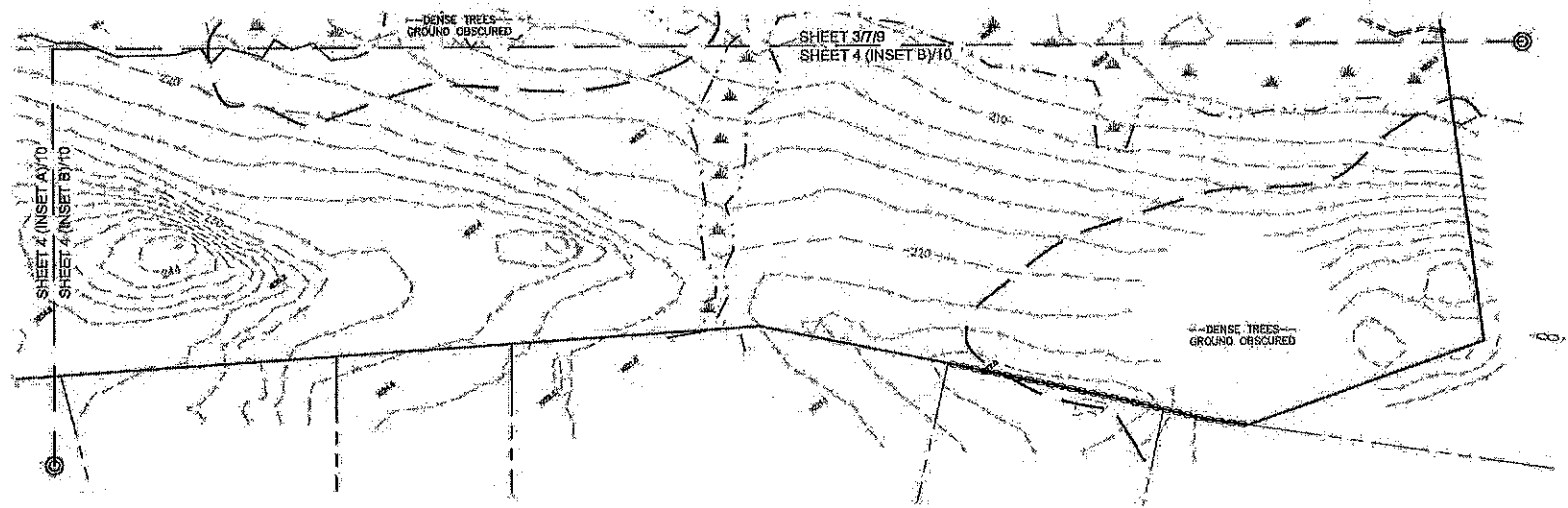
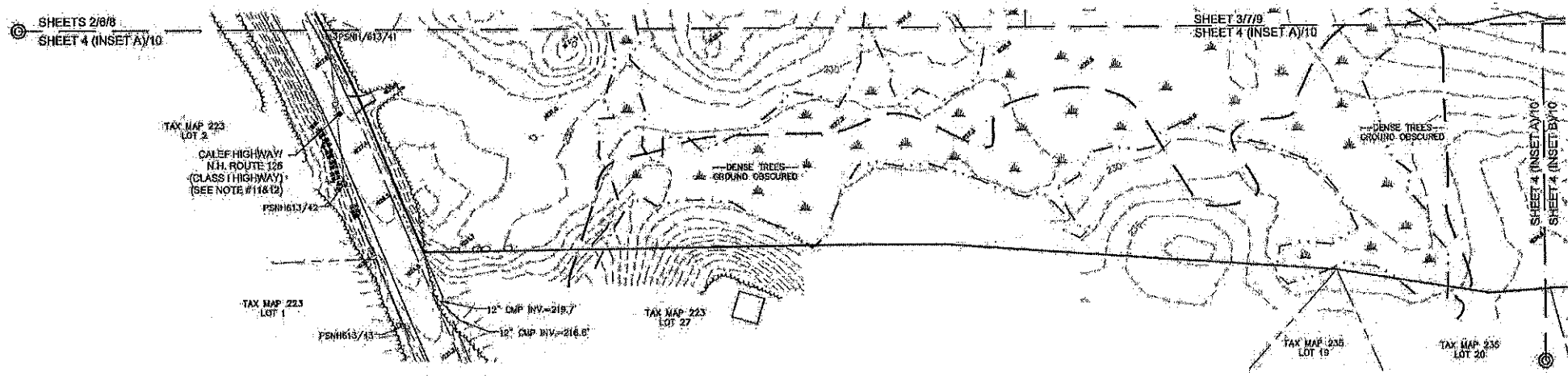
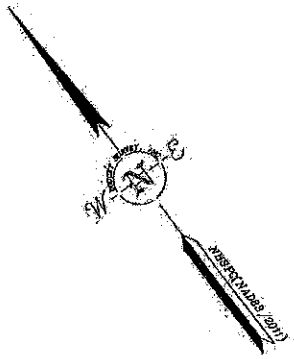
NO.	DATE	REVISIONS PER PLANNERS' COMMENTS	DATE	BY
1	7/10/19			

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750B
JOB NO.:	5750	SHEET:	9 OF 11

DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 659-6580
 2 Commerce Drive (Bldg 202) Bedford, NH 03110 (603) 614-4060
 10 River Street (Opposite Sells) Portsmouth, NH (603) 820-7009
<http://www.doucetsurvey.com>

LAND USE OFFICE
 JUL 30
RECEIVED

THE LAND SURVEYING PROFESSIONAL BOARD OF NEW HAMPSHIRE, 1000 State Street, Concord, NH 03301



SCALE 1 INCH = 100 FT.

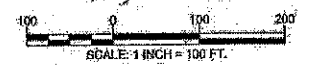
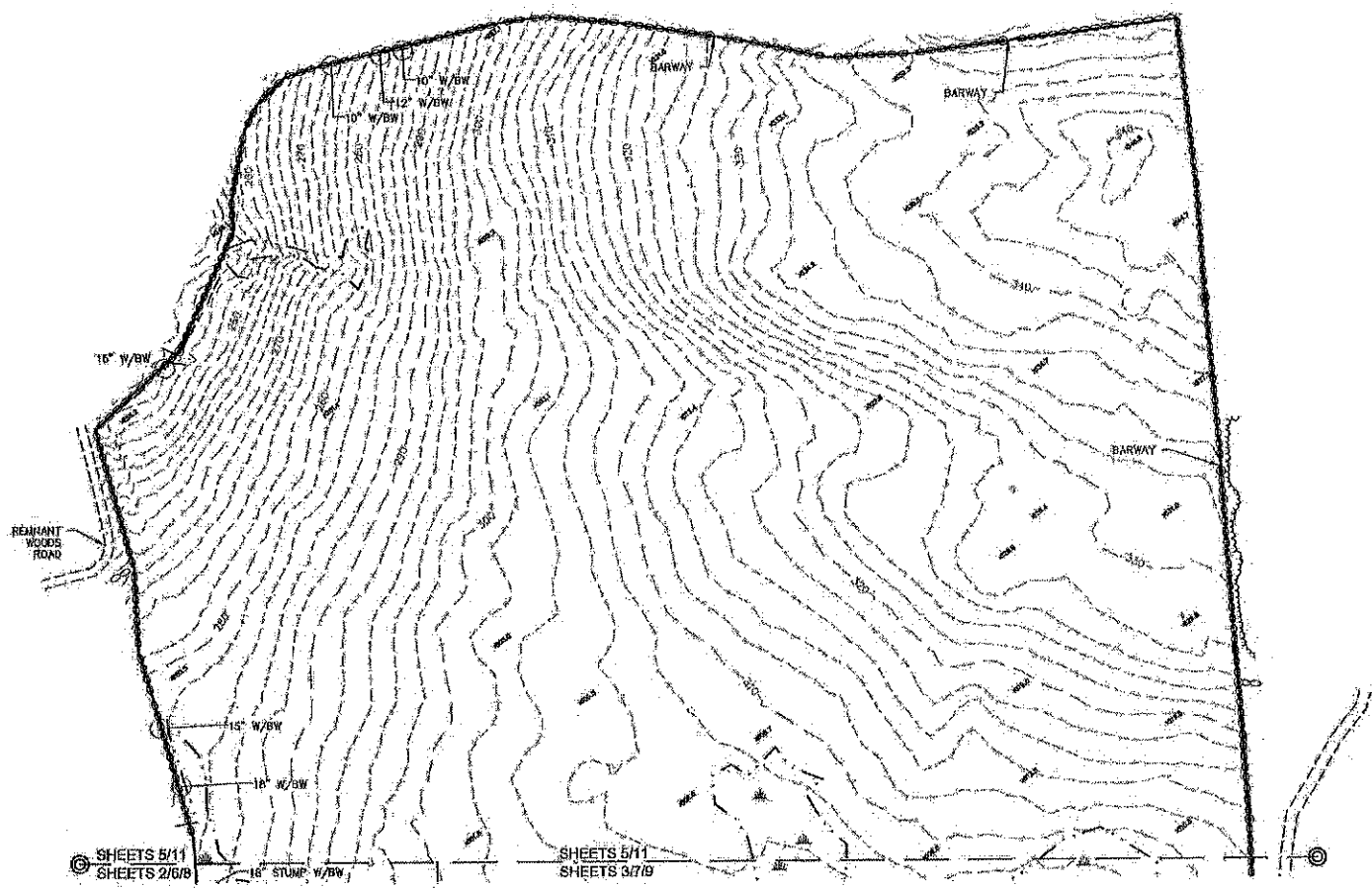
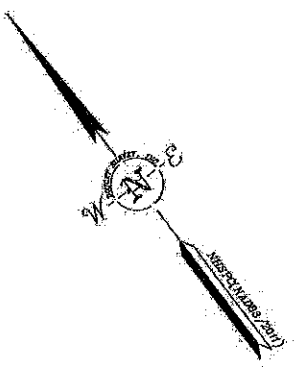
TOPOGRAPHIC PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

LAND USE OFFICE
JUL 30 2019
RECEIVED

NO.	DATE	REVISIONS PER PLANNERS COMMENTS DESCRIPTION	DATE	BY
1	7/10/19	REVISIONS PER PLANNERS COMMENTS		

DRAWN BY:	E.D.F.	DATE:	MAY 8, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	57503
JOB NO.:	5750	SHEET:	10 OF 11

DOUCET SURVEY
 Saving Your Professional Surveying & Mapping Needs
 107 Kook Place, Newmarket, NH 03857 (603) 559-5500
 2 Commerce Drive (Suite 203) Bedford, NH 03110 (603) 614-4060
 10 Spicer Street (3rd Floor Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>



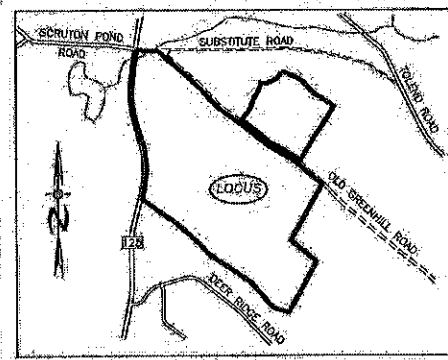
TOPOGRAPHIC PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	REVISIONS PER PLANNERS COMMENTS	DESCRIPTION	MWF	BY
1	7/10/19				

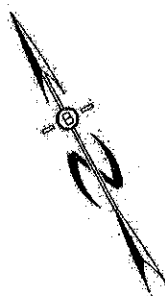
DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	6760B
JOB NO.:	6760	SHEET:	11 OF 11

LAND USE OFFICE
JUL 30 2019
RECEIVED

DOUCET SURVEYING INC.
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Plaza, Newmarket, NH 03857 (603) 659-6560
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
 10 Starer Street (Riverside Suite) Kennebunk, ME (207) 662-7005
<http://www.doucetsurvey.com>



LOCATION MAP
1"=1500'



ZONING REQUIREMENTS

- ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'
- BUILDING SETBACKS:**
 FRONT - 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'

PREPARED FOR:

ROUTE 126 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

NOTES

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN. THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
- THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNDESIRABLE CONDITIONS, SUBSURREPTICE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
- PROJECT IS BASED ON USGS DATUM NAVD 1988. REFERENCE BENCHMARK:
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
- DISTURBANCE IS OVER 100,000 SQ. FT. ALTERATION OF TERRAIN PERMIT RSA 485-A:17 IS REQUIRED.
- ALL FERTILIZER SHALL BE NO-PHOSPHATE, SLOW-RELEASE NITROGEN AND SHALL NOT INCREASE ANY FERTILIZER LOADING OF THE PRIME WETLAND.



LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

OPEN SPACE CALCS:

TOTAL RESIDENTIAL LOT AREA = 179.91 AC.
 REQUIRED OPEN SPACE = 50% OR 89.9 AC.
 MIN. REQUIRED UPLAND AREA = 50% OR 44.9 AC.
 OPEN SPACE PROVIDED = 117.1 AC.
 UPLAND AREA PROVIDED = 85.66 AC.

APPROVAL BLOCK

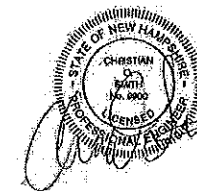
APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

LAND USE OFFICE

JUL 30 2019

RECEIVED



TOWN NOTES

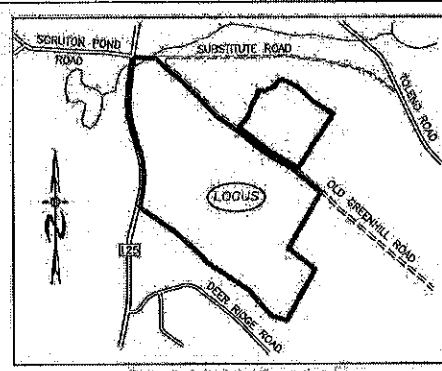
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SUBDIVISION REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE
OPEN SPACE SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 126 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1"=150'
PROJ. NO: NH-1144	SHEET NO: 12 OF 37

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

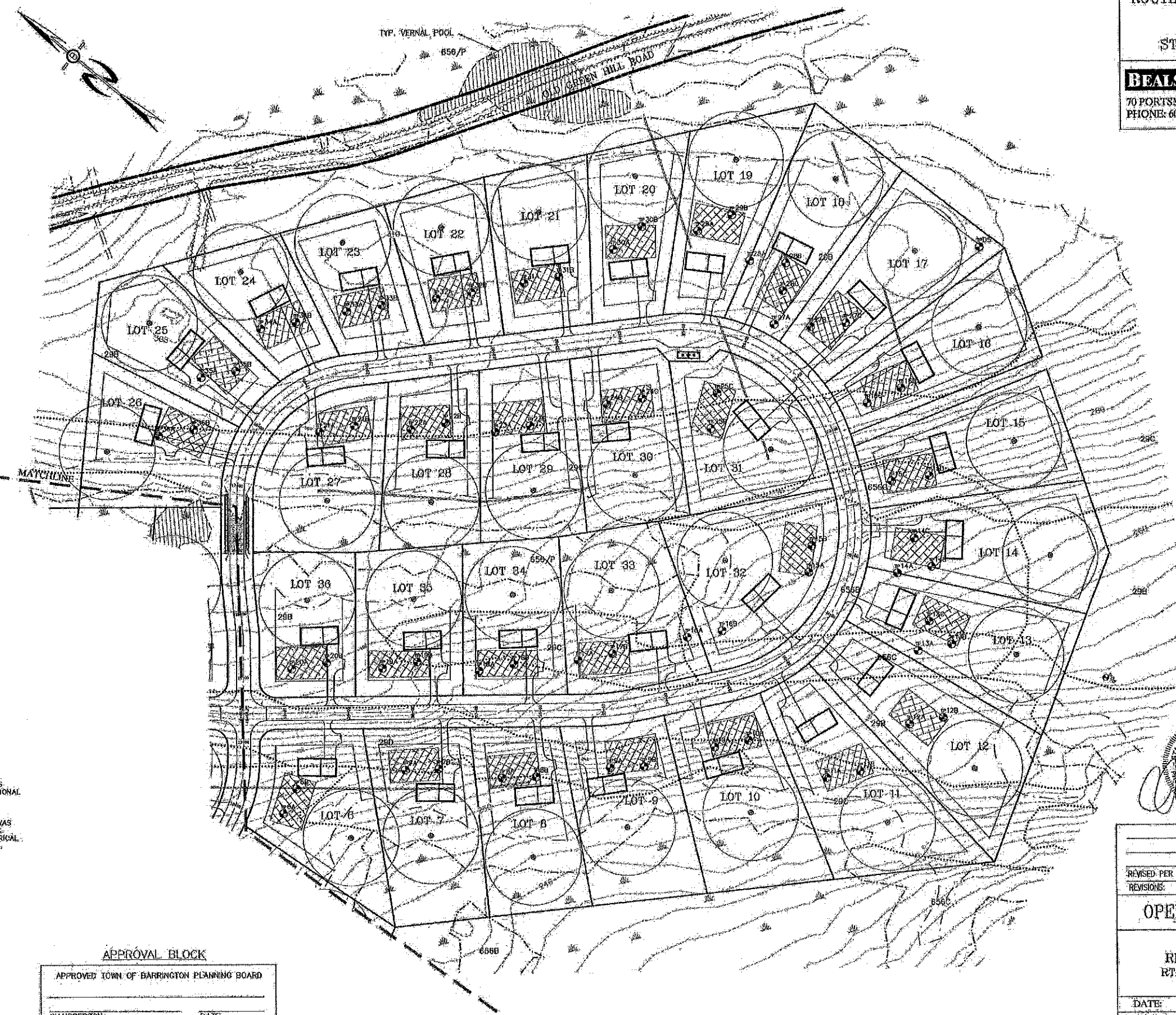
ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'
BUILDING SETBACKS:
 FRONT: 25'
 SIDE & REAR: 20'
 WETLANDS: 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS: 50'
 VERY POORLY DRAINED SOILS: 75'



LOCATION MAP
 1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT w/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4000 SF SEPTIC RESERVE AREA
- PROP. WELL w/ 75' PROTECTIVE RAD.



LAND USE OFFICE
 JUL 3 2019
RECEIVED

THIS STANDARD:
 THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DEPARTMENT OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.
 THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED MARCH 2019, AND WAS PREPARED BY LUKE HURLEY, OF COVE ENVIRONMENTAL SERVICES, INC. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-NHC NUMERICAL SOILS LEGEND, USDA-NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011.

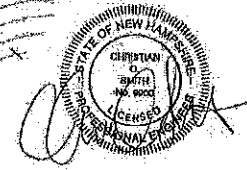
SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAVTON	66	(225)	C
WOODBRIDGE	29	(323)	C
RIDGEBURY	606	(453)	C
WET RIDGEBURY	656/P	(523)	C
WHITMAN	49/P	(623)	D

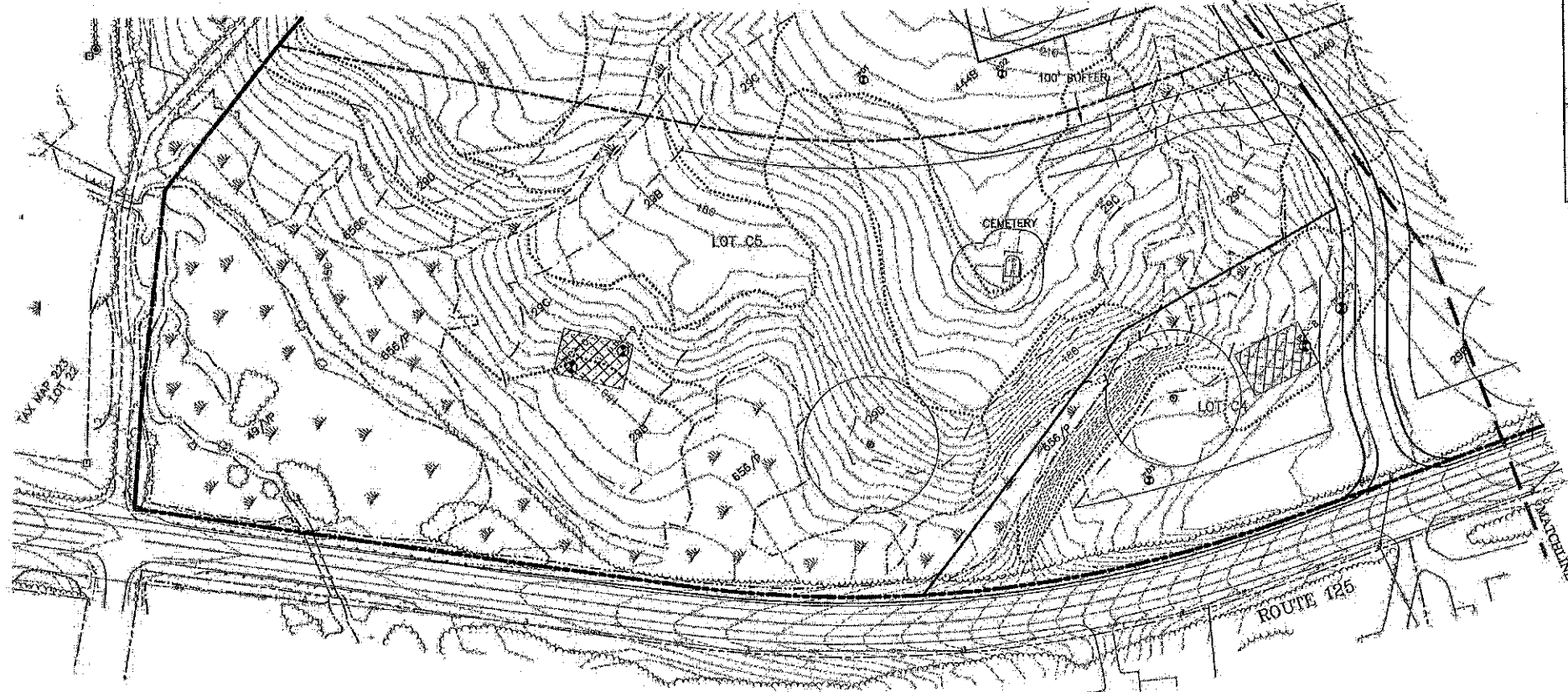
SLOPE CLASS:
 0-5% = B
 6-15% = C
 15-25% = D
 25-50% = E
 >50% = F

DRAINAGE CLASS:
 /H = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED

APPROVAL BLOCK
 APPROVED TOWN OF BARRINGTON PLANNING BOARD
 CHAIRPERSON _____ DATE _____



REVISED PER REVIEW COMMENTS	6-20-19
REVISIONS:	DATE:
OPEN SPACE SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JAN. 2019	SCALE: 1"=80'
PROJ. NO: NH-1144	SHEET NO. 14 OF 37

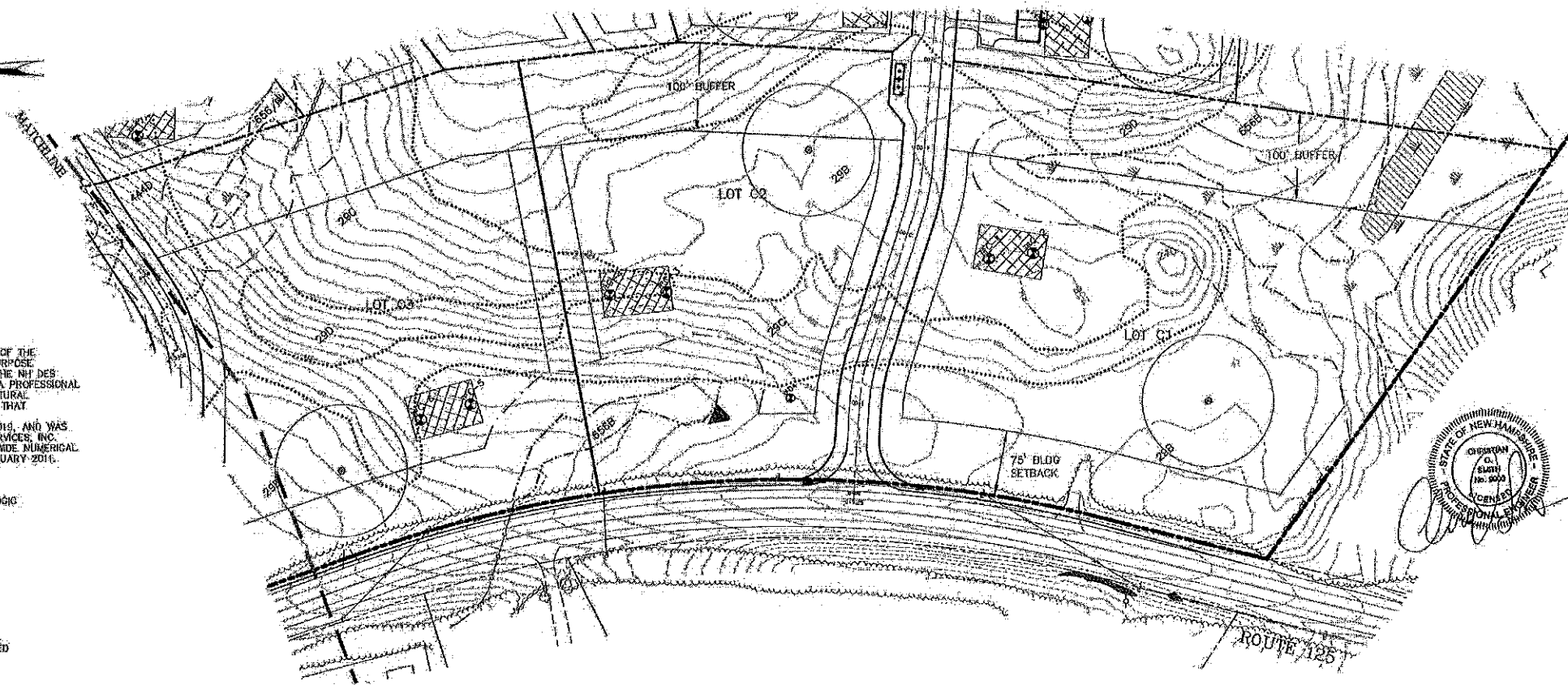


PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

ZONE:	REGIONAL COMMERCIAL	RESIDENTIAL	COMMERCIAL
USE:			
MIN. LOT SIZE =	80,000 SF	40,000 SF	
MIN. FRONTAGE =	200'	200'	
MAX. HEIGHT =	35'	40'	
BUILDING SETBACKS:			
FRONT:	40'	75'	
SIDE & REAR:	30'	30'	
POORLY DRAINED SOILS		50'	
VERY POORLY DRAINED SOILS		100'	
LEACH FIELD SETBACKS:			
POORLY DRAINED SOILS		50'	
VERY POORLY DRAINED SOILS		100'	



LAND USE OFFICE
 JUL 30 2019
RECEIVED

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON: _____ DATE: _____

REVISED PER REVIEW COMMENTS	DATE
	6-20-19

COMMERCIAL LOTS SITE PLAN

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE:	JAN. 2019	SCALE:	1"=60'
PROJ. NO.:	NH-1144	SHEET NO.:	15 OF 37

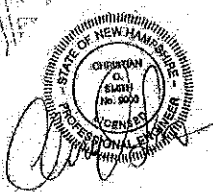
MISS STANDARDS:
 THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALIENATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.
 THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED MARCH 2019, AND WAS PREPARED BY LUKE HURLEY, OF GOVE ENVIRONMENTAL SERVICES, INC. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2016.

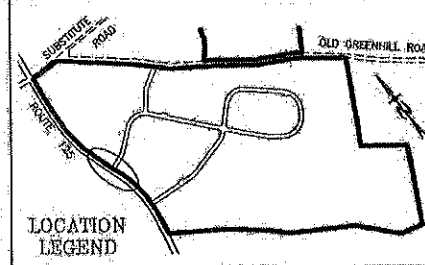
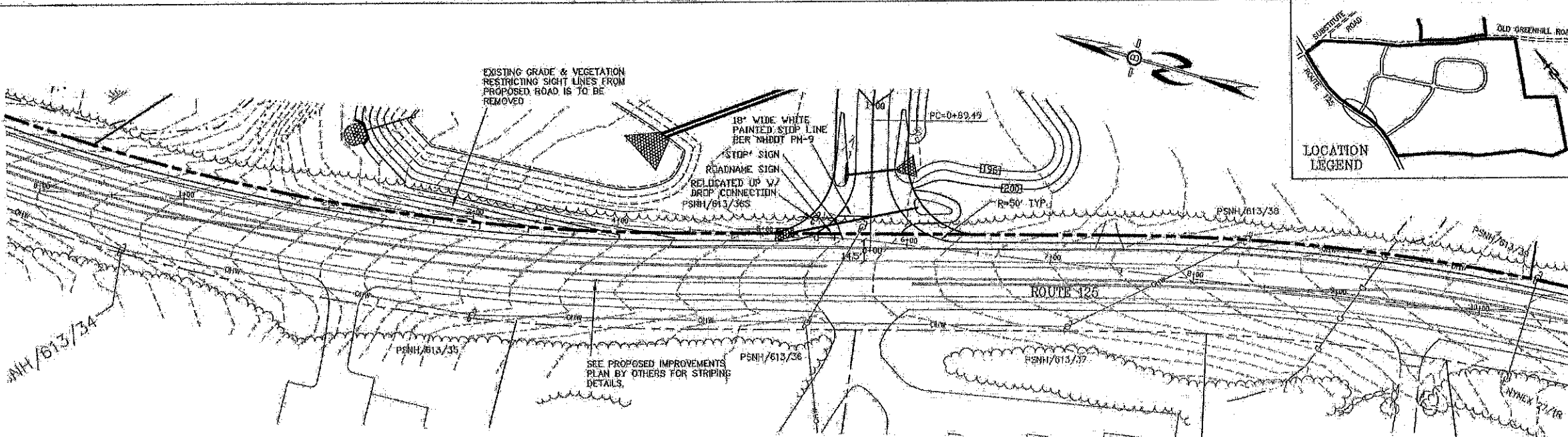
SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	.444	(321)	B
PAXTON	.86	(223)	C
WOODBRIDGE	.29	(323)	C
RIDGEBURY	.656	(423)	C
WET RIDGEBURY	.656/F	(523)	C
WHITNUM	.69/VP	(623)	D

SLOPE CLASS:
 0-8% = B
 8-15% = C
 15-25% = D
 25-50% = E
 >50% = F

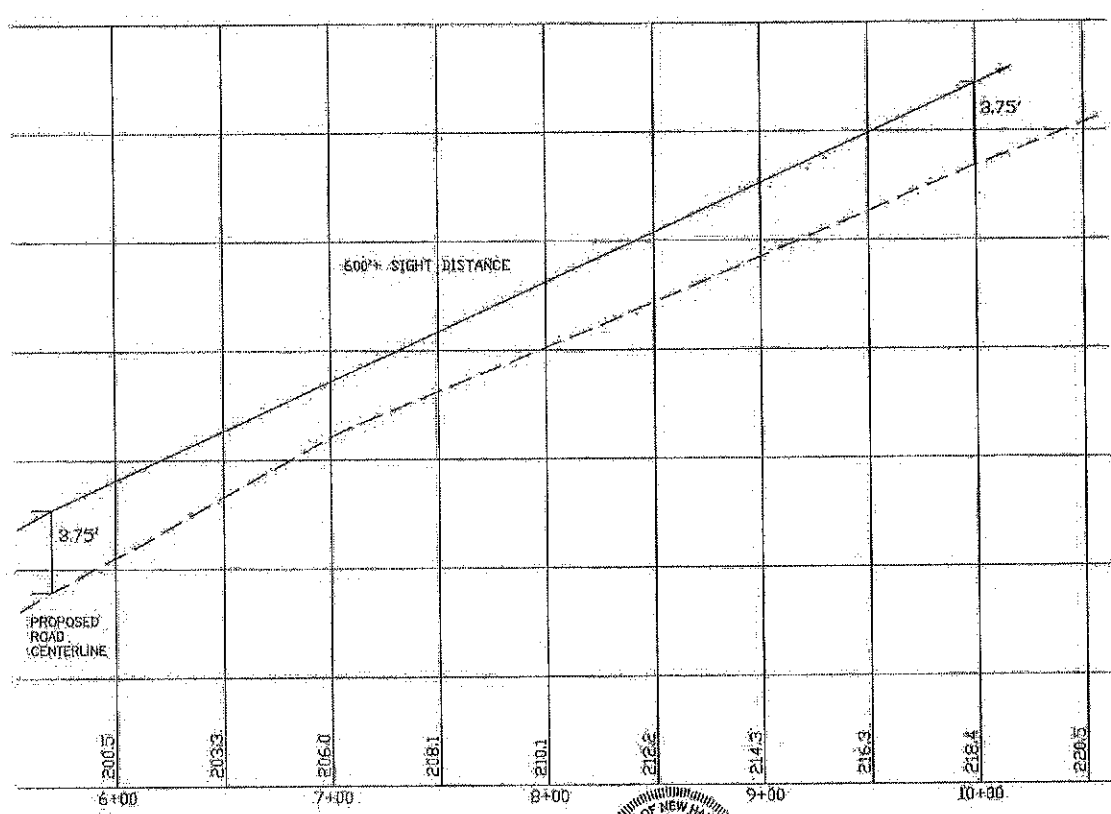
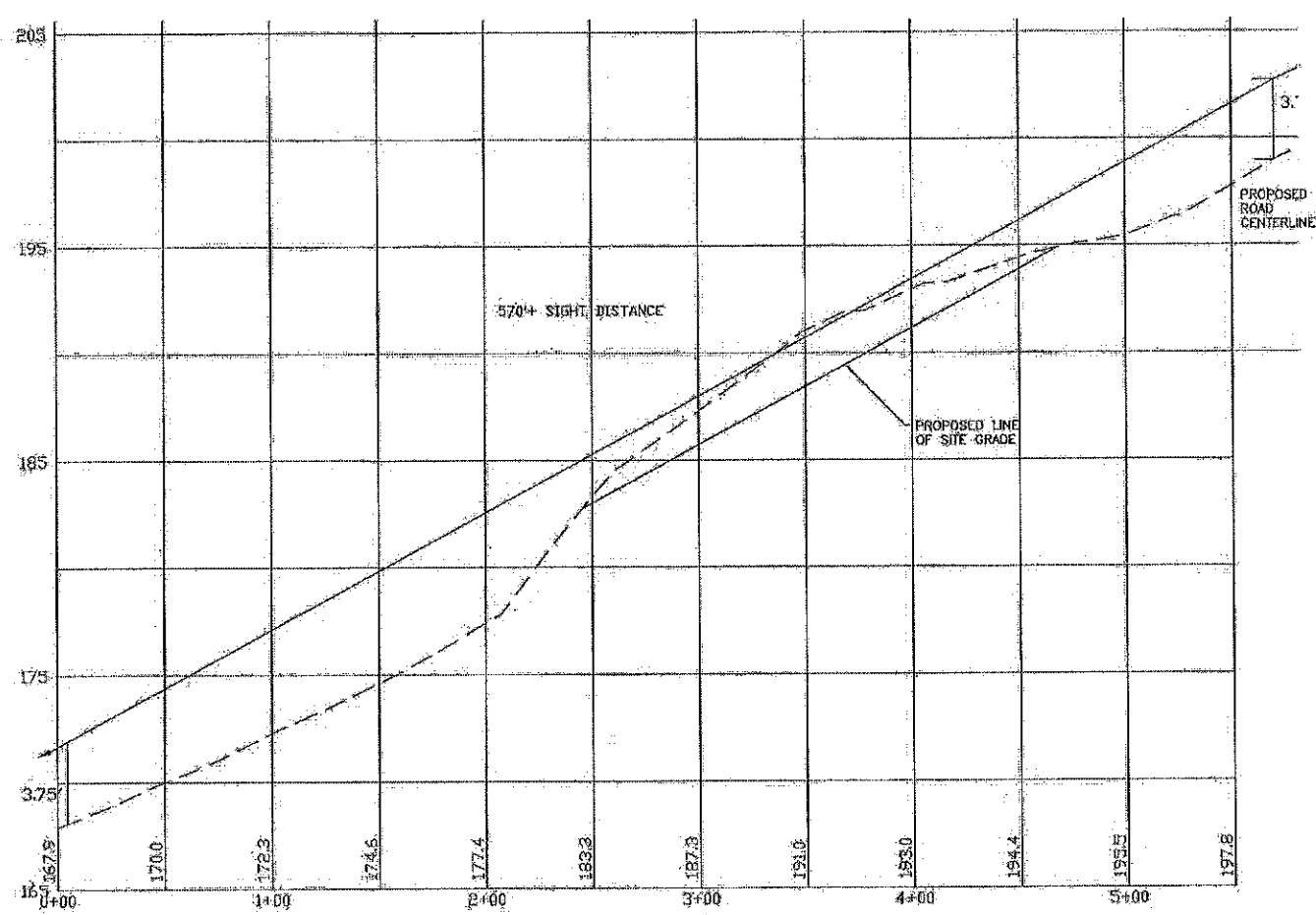
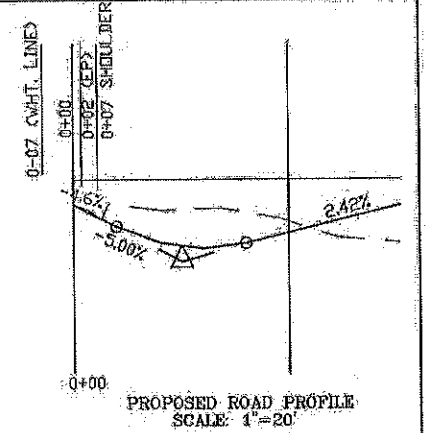
DRAINAGE CLASS:
 /P = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED





PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

LAND USE OFFICE

REVISIONS: _____ DATE: _____

HIGHWAY ACCESS PLAN-H2

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARCH 2019 SCALE: 1"=40'

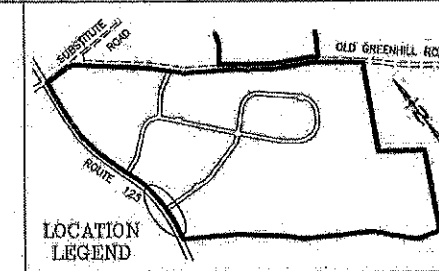
PROJ. NO: NH-1144 SHEET NO. 16 OF 37

JUL 30 2019

RECEIVED

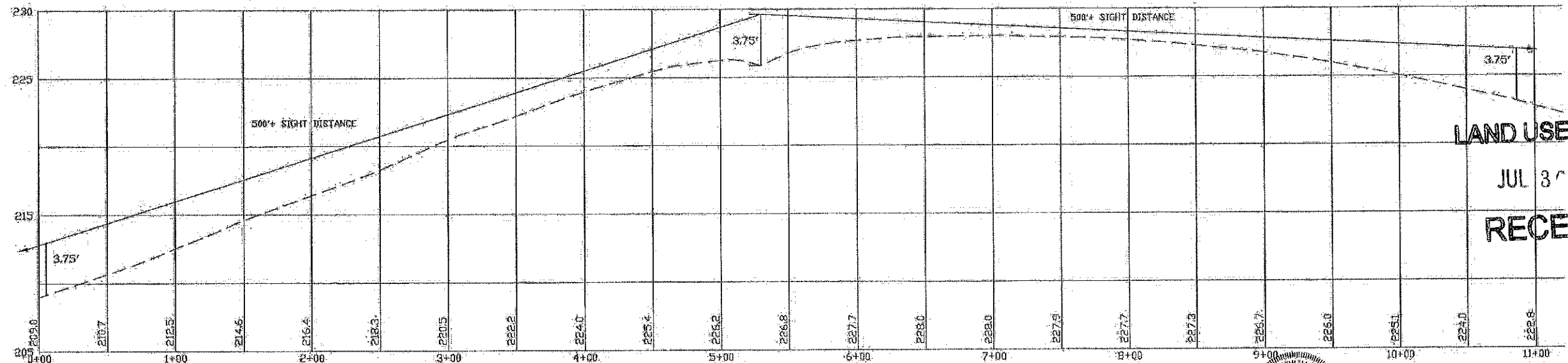
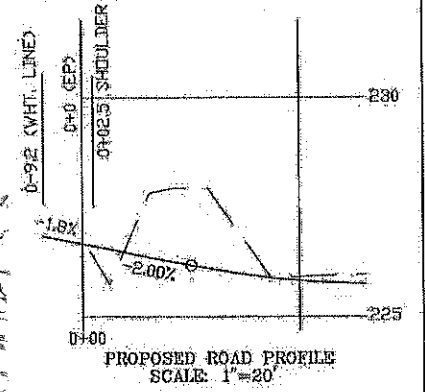
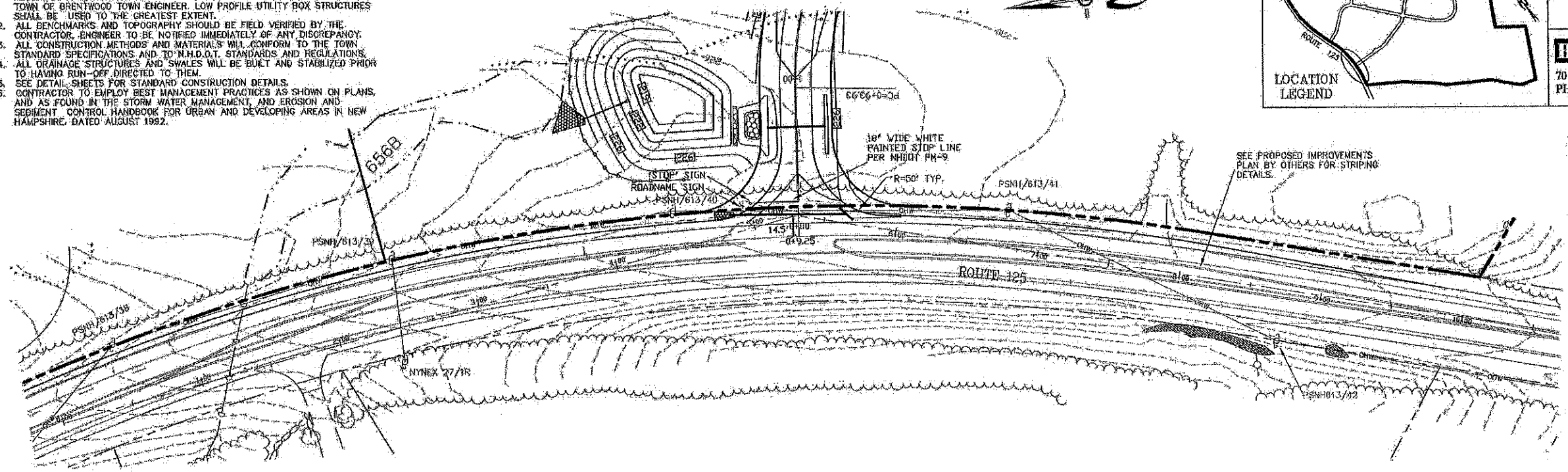
NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE PLACED OUTSIDE OF THE RIGHT-OF-WAY AS PER TOWN OF BRENTWOOD TYP. ROADWAY SECTION APPENDUM A SUBMISSION REGULATIONS. WITH REVIEW AND APPROVAL BY THE TOWN OF BRENTWOOD TOWN ENGINEER. LOW PROFILE UTILITY BOX STRUCTURES SHALL BE USED TO THE GREATEST EXTENT.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURES AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION DETAILS.
6. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES AS SHOWN ON PLANS AND AS FOUND IN THE STORM WATER MANAGEMENT, AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DATED AUGUST 1992.

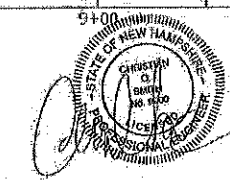
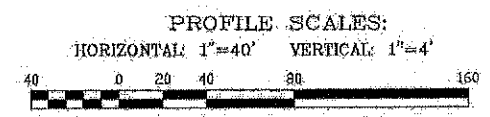


PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LAND USE OFFICE
 JUL 31 2019
RECEIVED

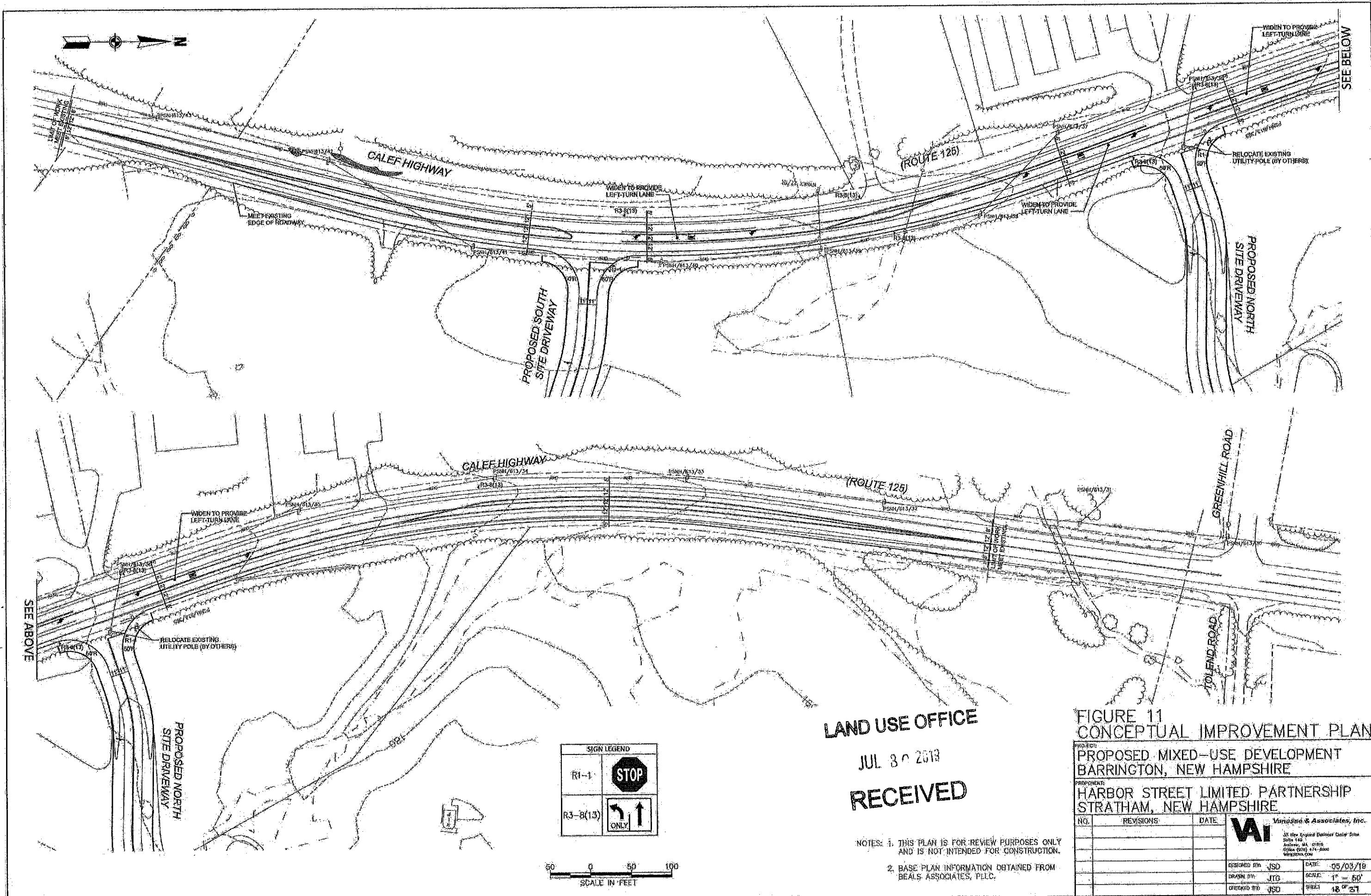


HIGHWAY ACCESS PLAN-H1

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARCH 2019 SCALE: 1" = 40'
 PROJ. NO.: NH-1144 SHEET NO.: 17 OF 37

REVISIONS:	DATE:



LAND USE OFFICE

JUL 30 2013

RECEIVED

FIGURE 11
CONCEPTUAL IMPROVEMENT PLAN

PROJECT:
PROPOSED MIXED-USE DEVELOPMENT
BARRINGTON, NEW HAMPSHIRE

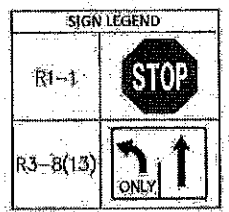
PROPOSER:
HARBOR STREET LIMITED PARTNERSHIP
STRATHAM, NEW HAMPSHIRE

NO.	REVISIONS	DATE

VAI Varied & Associates, Inc.
35 New England Business Center Drive
Andover, MA 01810
Office (978) 474-8000
www.vai.com

DESIGNED BY: JSD DATE: 05/03/19
DRAWN BY: JTG SCALE: 1" = 60'
CHECKED BY: JSD SHEET: 18 OF 27

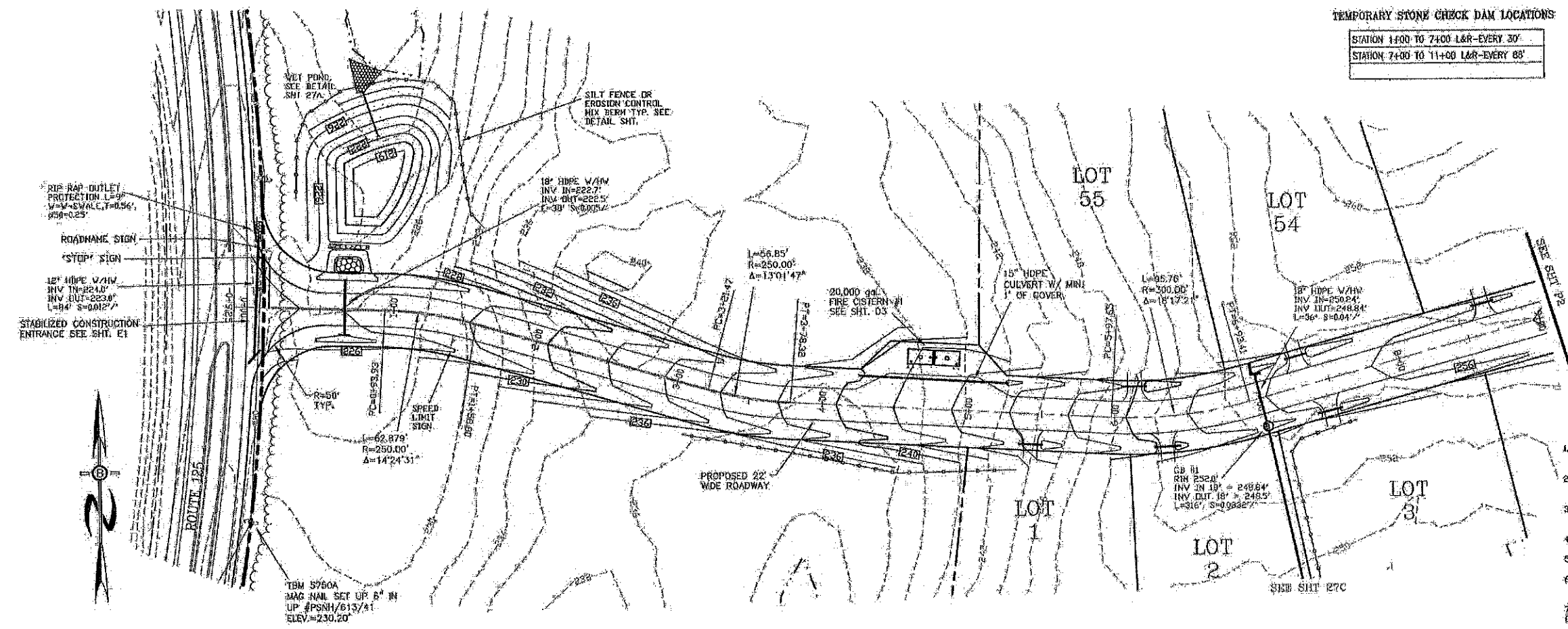
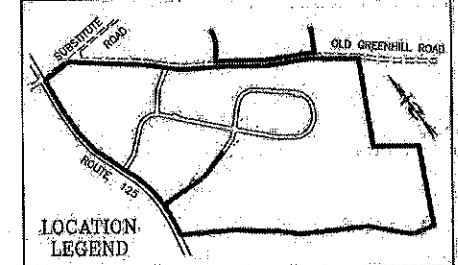
NOTES: 1. THIS PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.
2. BASE PLAN INFORMATION OBTAINED FROM BEALS ASSOCIATES, PLLC.



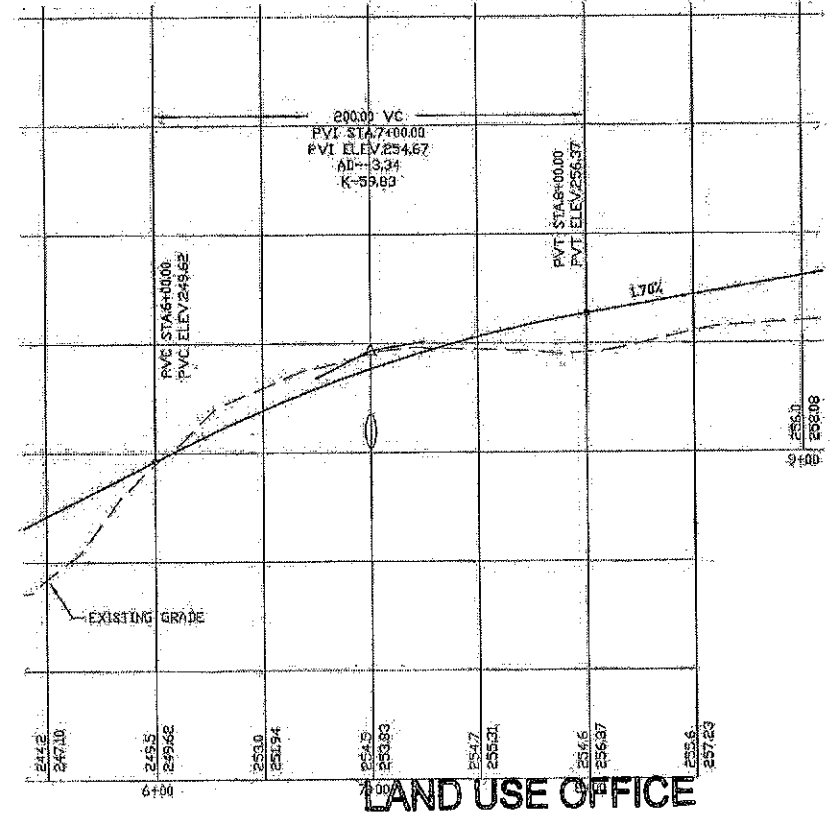
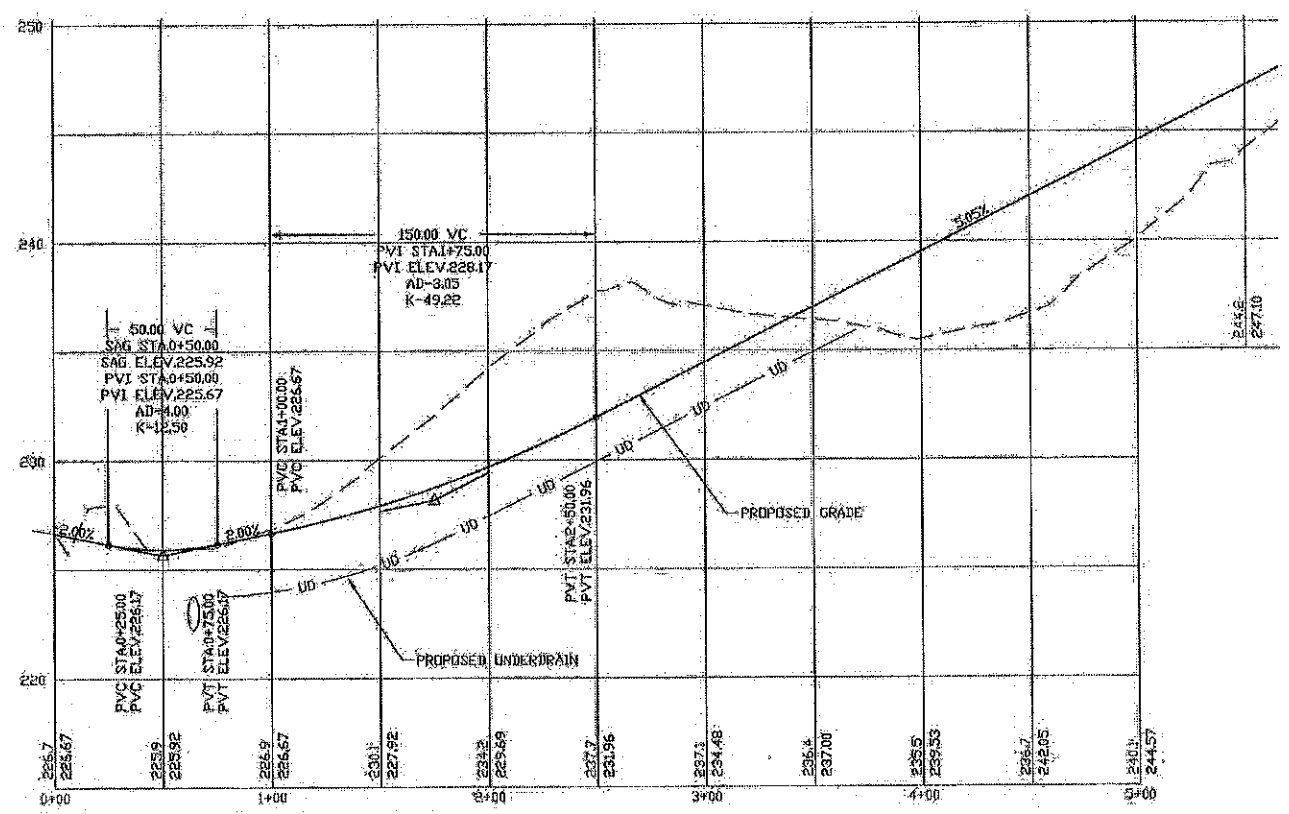
TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 1+00 TO 7+00 L&R EVERY 30'
 STATION 7+00 TO 11+00 L&R EVERY 80'

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



- NOTES**
1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
 2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
 3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO NH DOT STANDARDS AND REGULATIONS.
 4. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
 5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 6. ALL CROSS CULVERTS & DRIVEWAY CULVERTS TO BE MIN. 15" ADS N-12 AND TO HAVE MASONRY HEADWALLS UNLESS FLARED END SECTIONS ARE SPECIFIED IN THE PLANS.
 7. NATURAL VEGETATED FILTER STRIPS ARE TO REMAIN WOODED.
 8. ALL SIDE SLOPES STEEPER THAN 3:1 (WETLAND CROSSINGS) TO BE LINED WITH JUTE MATTING.
 9. ALL SWALE MATTING WILL EXTEND TO THE LIP OF THE LEVEL SPREADER AT LIP OF THE LEVEL SPREADER AT THE END OF EACH SWALE.
 10. ALL PERMANENT EROSION CONTROL SWALE LINING MATERIAL SHALL BE BAG COCO-IR EQUIVALENT. ALL OTHER SWALES WILL BE PROTECTED WITH TEMPORARY STONE CHECK DAMS (S.C.D.) UNTIL THE VEGETATION HAS FULLY STABILIZED. AT THIS TIME THE S.C.D.'S WILL BE REMOVED.



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 0 20 40 60 80 100 120 140 160

REVISED PER REVIEW COMMENTS	7-21-19
REVISED PER REVIEW COMMENTS	8-20-19
REVISED ROAD GRADES PER PR COMMENTS	8-5-19

PLAN & PROFILE - P1

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1"=40'
PROJ. NO: NH-1144	SHEET NO: 19 OF 37

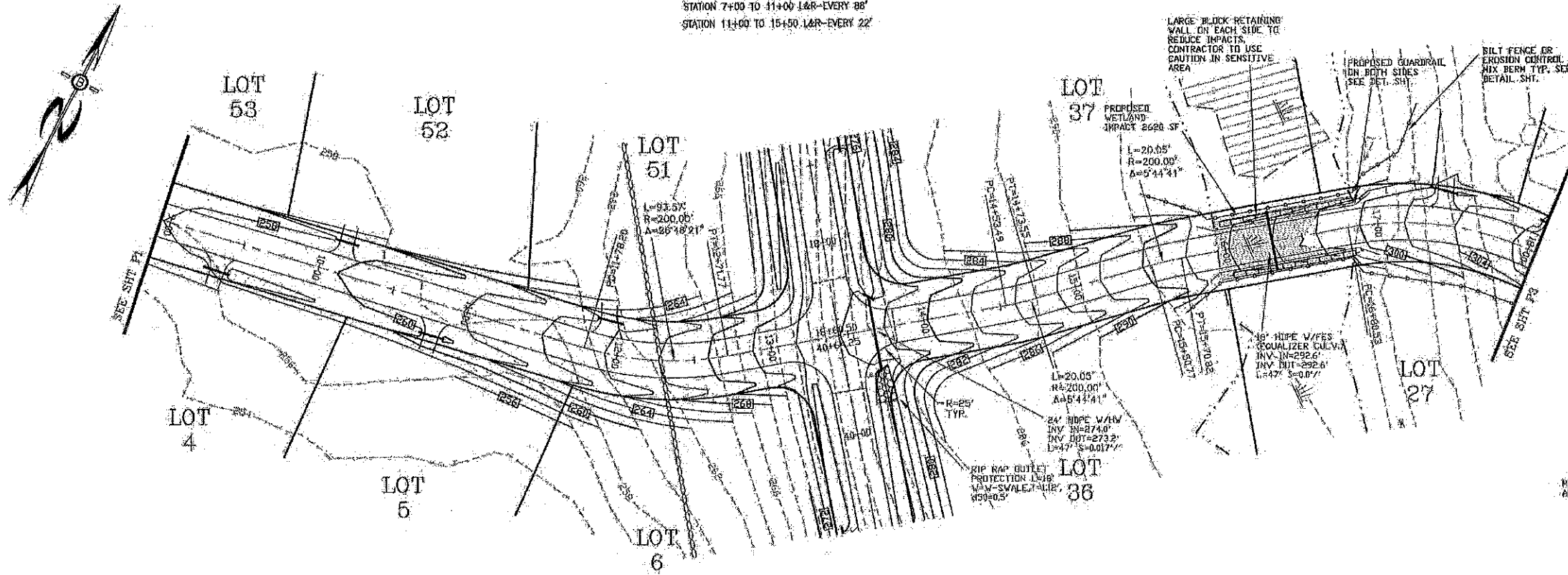
LAND USE OFFICE

JUL 3 2019

RECEIVED

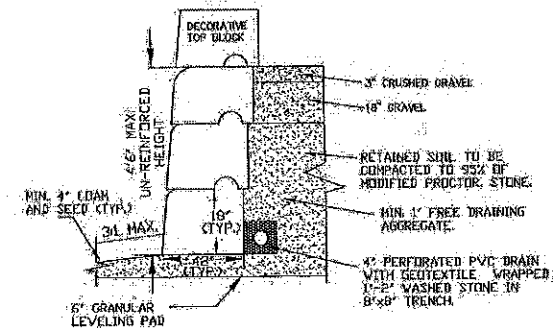
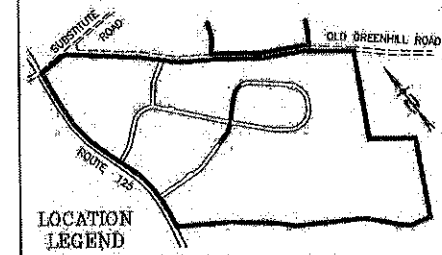
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 7+00 TO 11+00 1&R-EVERY 88'
STATION 11+00 TO 15+50 1&R-EVERY 22'

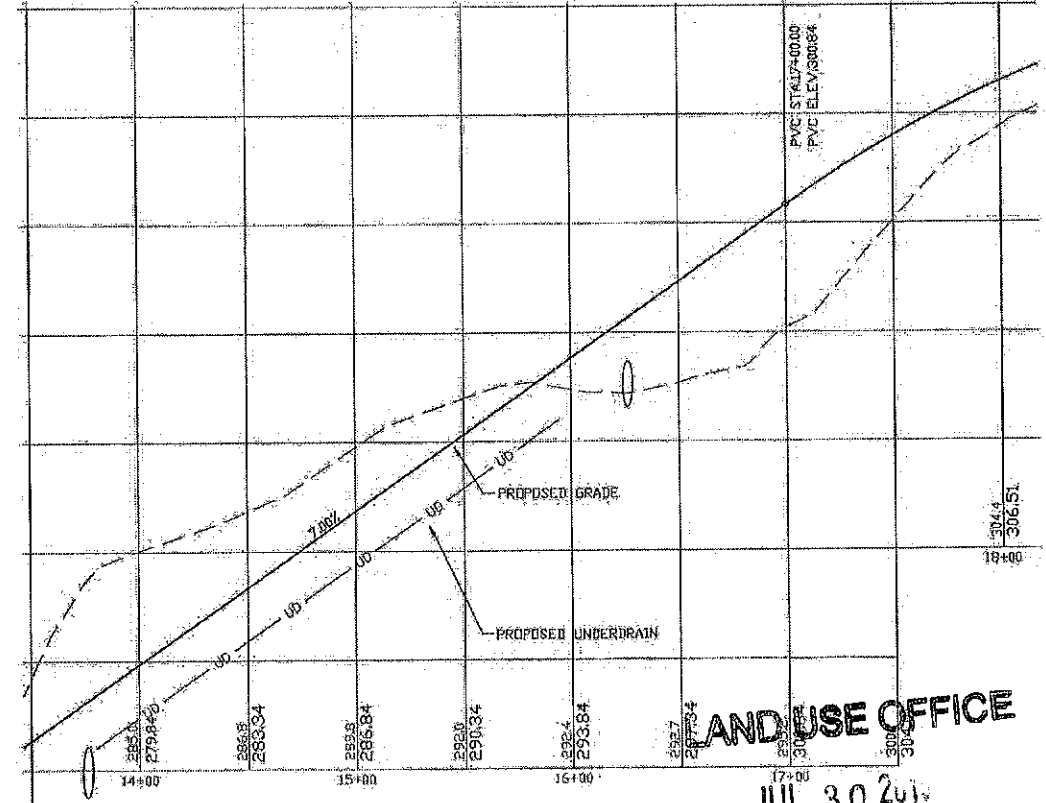
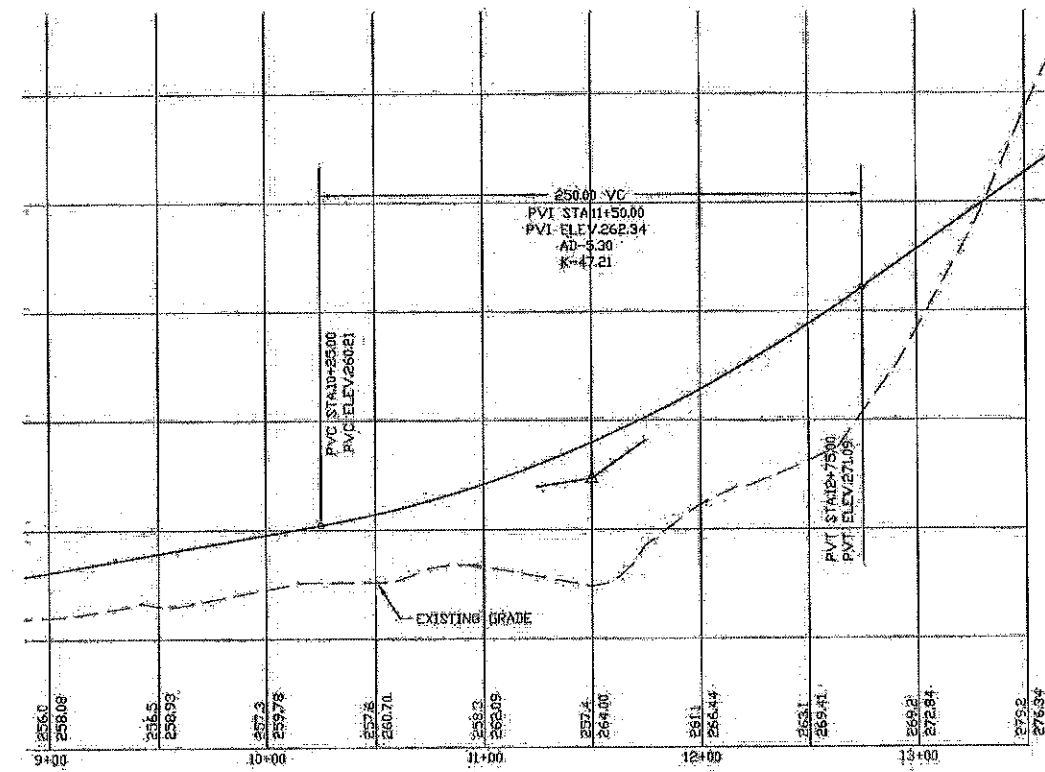


PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



TYPICAL CROSS-SECTION
"RED-ROCK" 42\"/>



PROFILE SCALES:
HORIZONTAL 1"=40' VERTICAL 1"=4'
10 0 20 40 60 80 100 120 140 160

REVISED PER REVIEW COMMENTS	7-21-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER FB COMMENTS	6-5-18

PLAN & PROFILE - P2

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

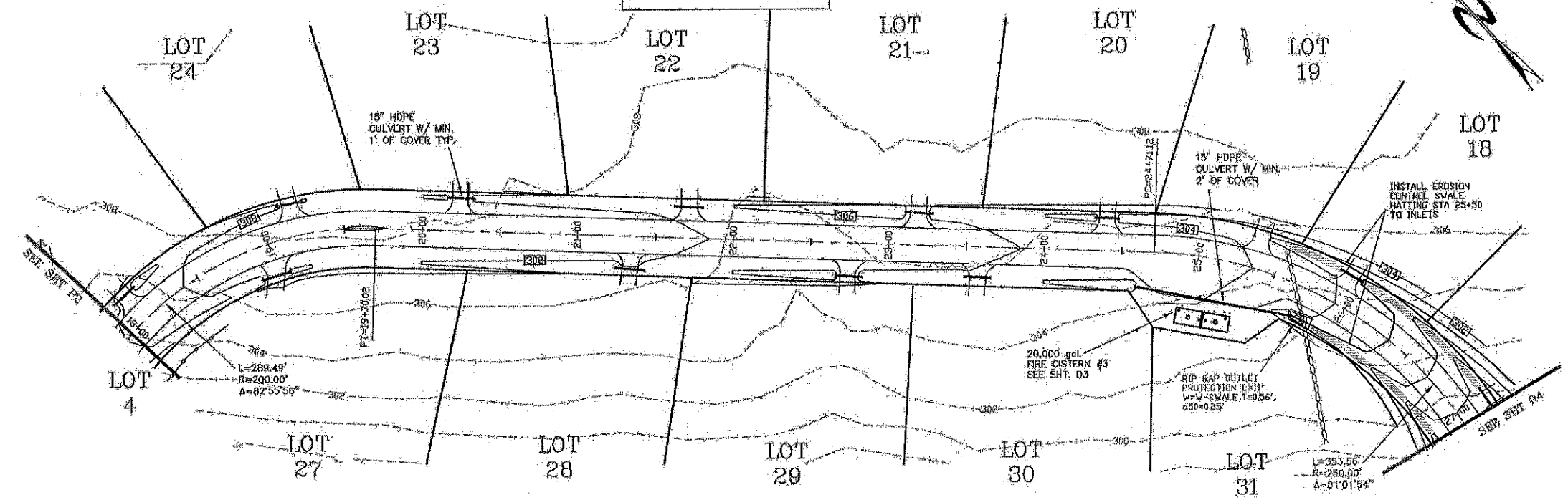
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO.: NH-1144	SHEET NO.: 20 OF 37

LAND USE OFFICE
JUL 30 2019

RECEIVED

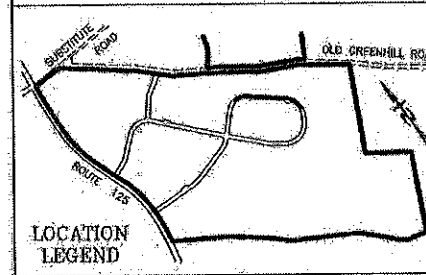
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 18+00 TO 26+00 L&R-EVERY 150'
STATION 26+00 TO 32+00 L&R-EVERY 19'

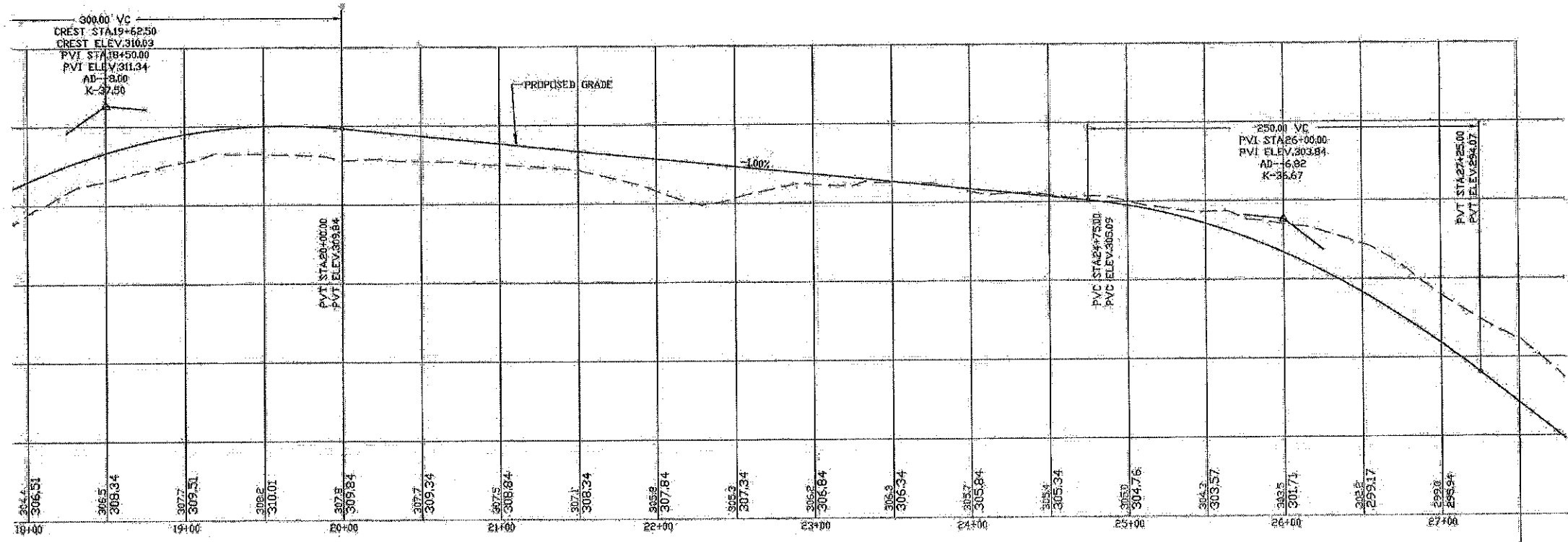
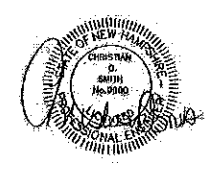


PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



LAND USE OFFICE
JUL 3 2019
RECEIVED



PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'
0 20 40 80 160

REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-26-19
REVISED ROAD GRADES PER FB COMMENTS	6-5-19

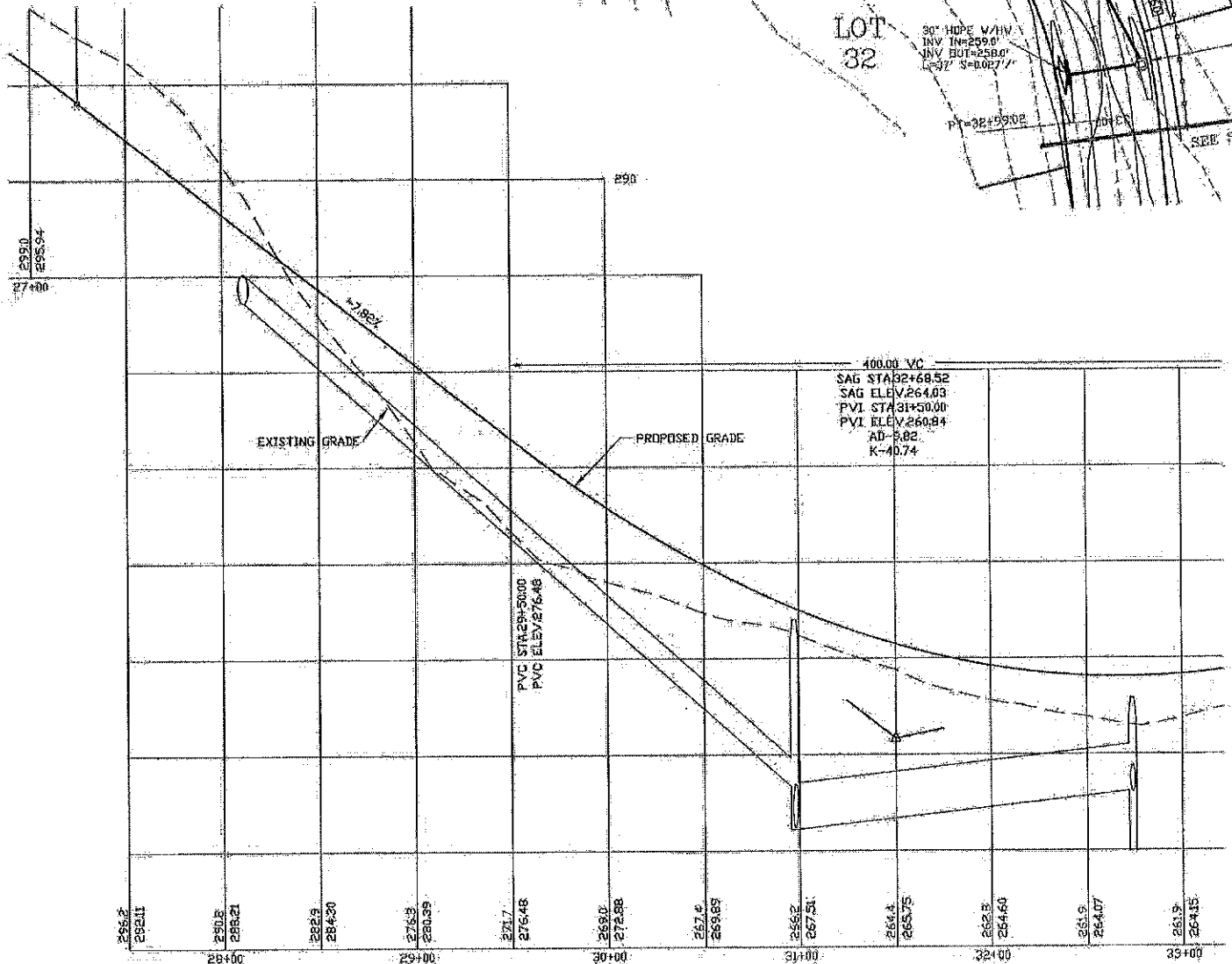
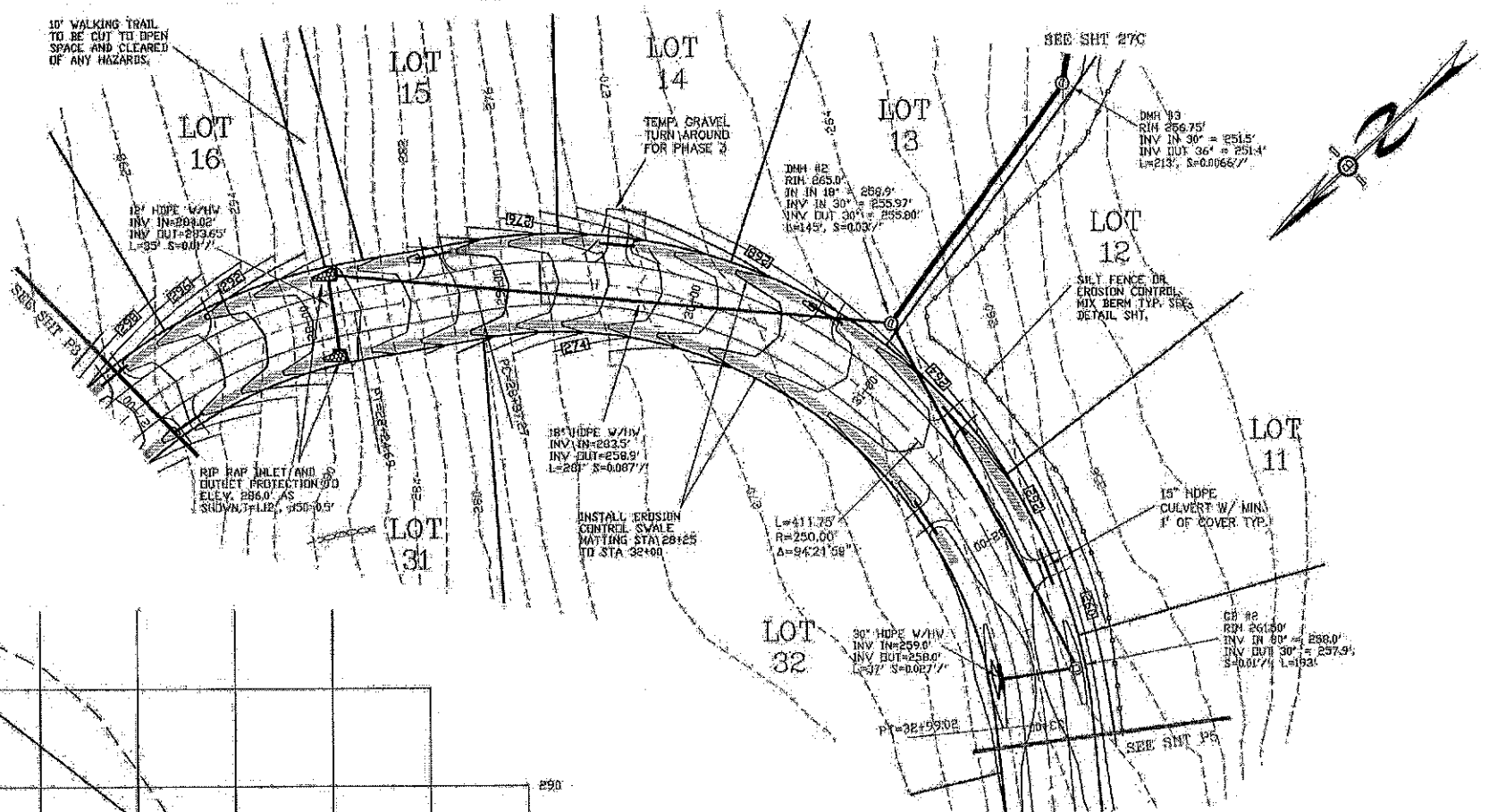
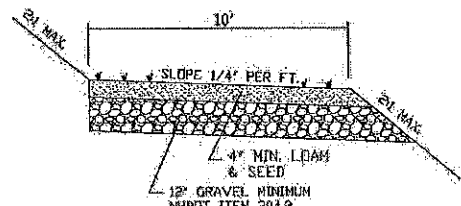
PLAN & PROFILE - P3

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: MAY 2019	SCALE: 1"=40'
PROJ. NO: NH-1144	SHEET NO. 21 OF 37

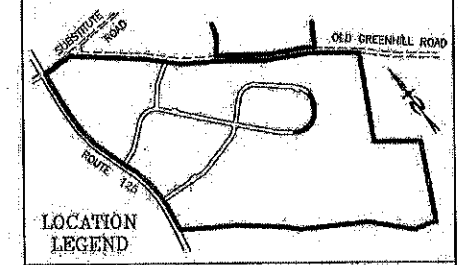
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 28+00 TO 32+00 L&R-EVERY 19'
STATION 32+00 TO 40+00 L&R-EVERY 75'



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



LAND USE OFFICE
JUL 8 2019
RECEIVED

PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'
0 20 40 60 80 100 120 140 160

REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PG COMMENTS	8-5-19



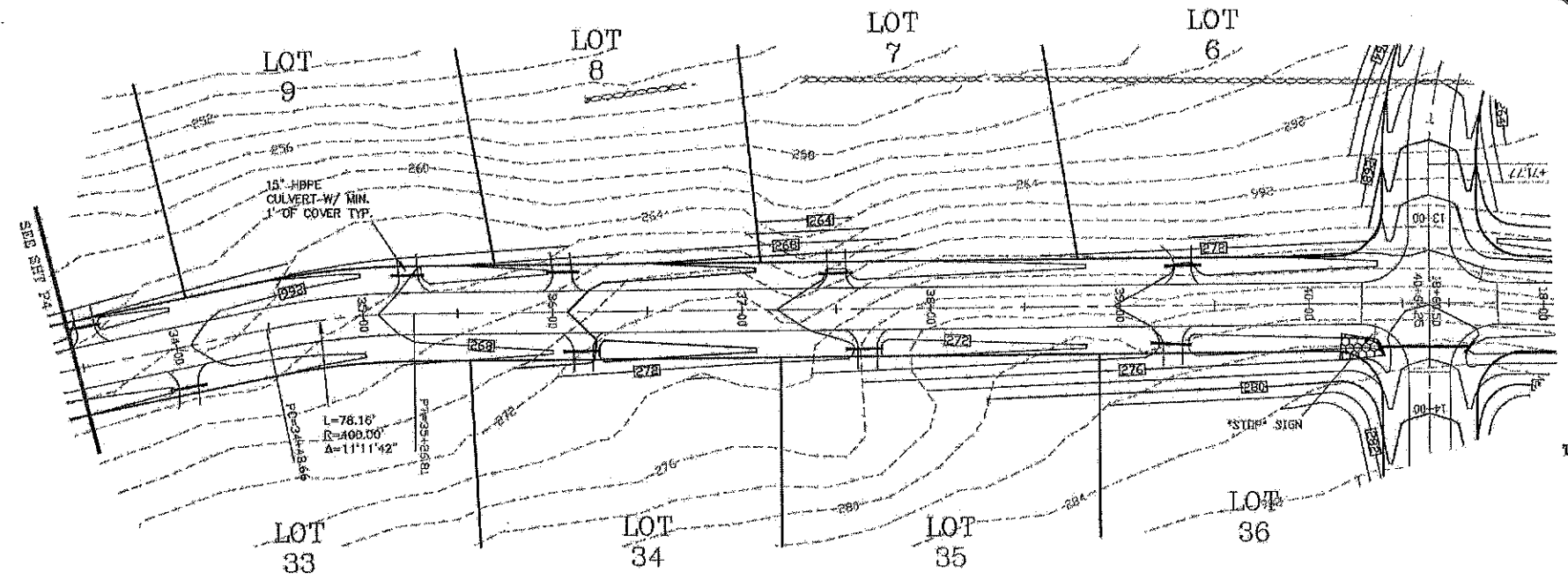
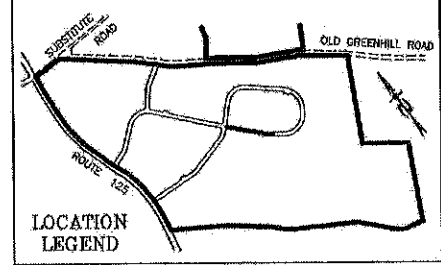
PLAN & PROFILE - P4

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

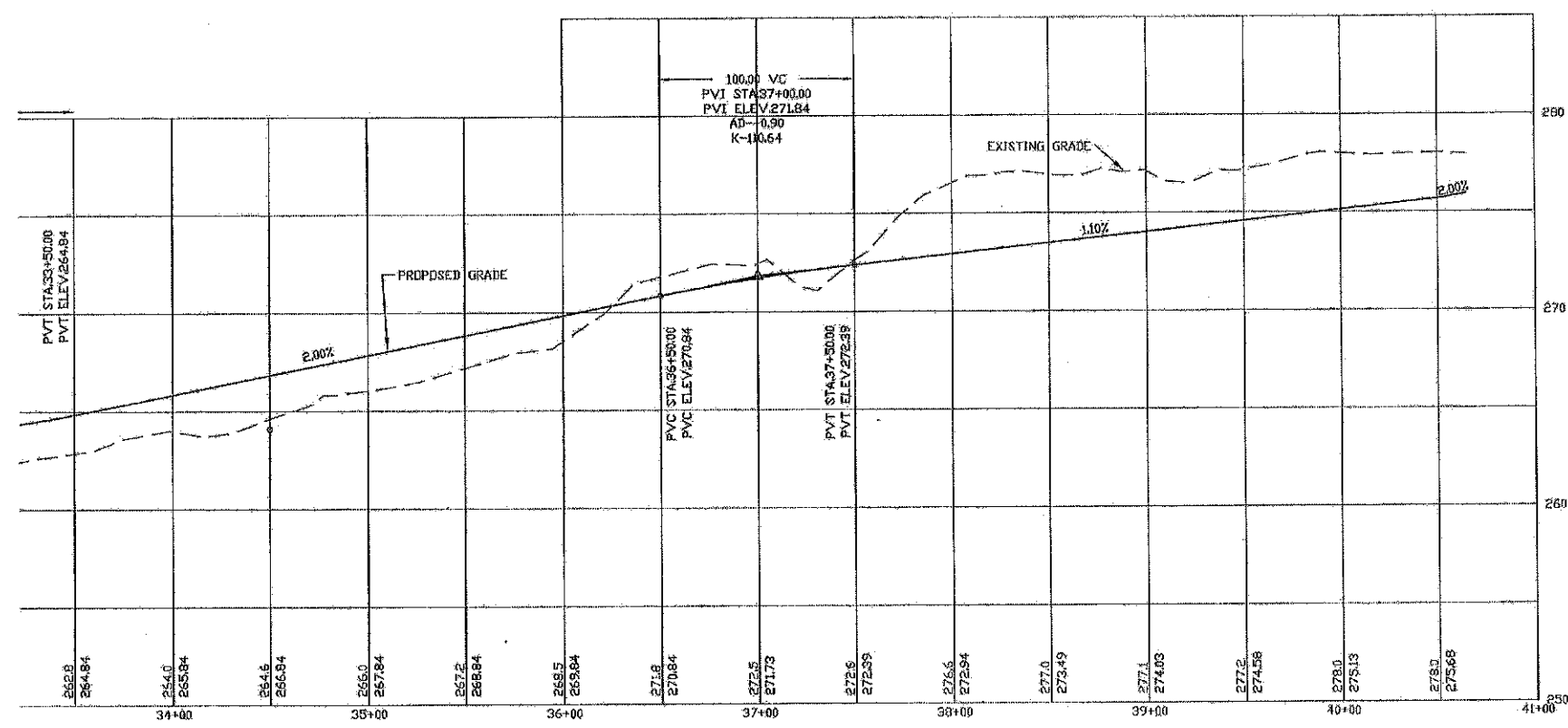
DATE: MAY 2019	SCALE: 1"=40'
PROJ. NO: NH-1144	SHEET NO: 22 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 32+00 TO 40+00 L&R-EVERY 75'



LAND USE OFFICE
 JUL 8th 2019
 RECEIVED

PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160



REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

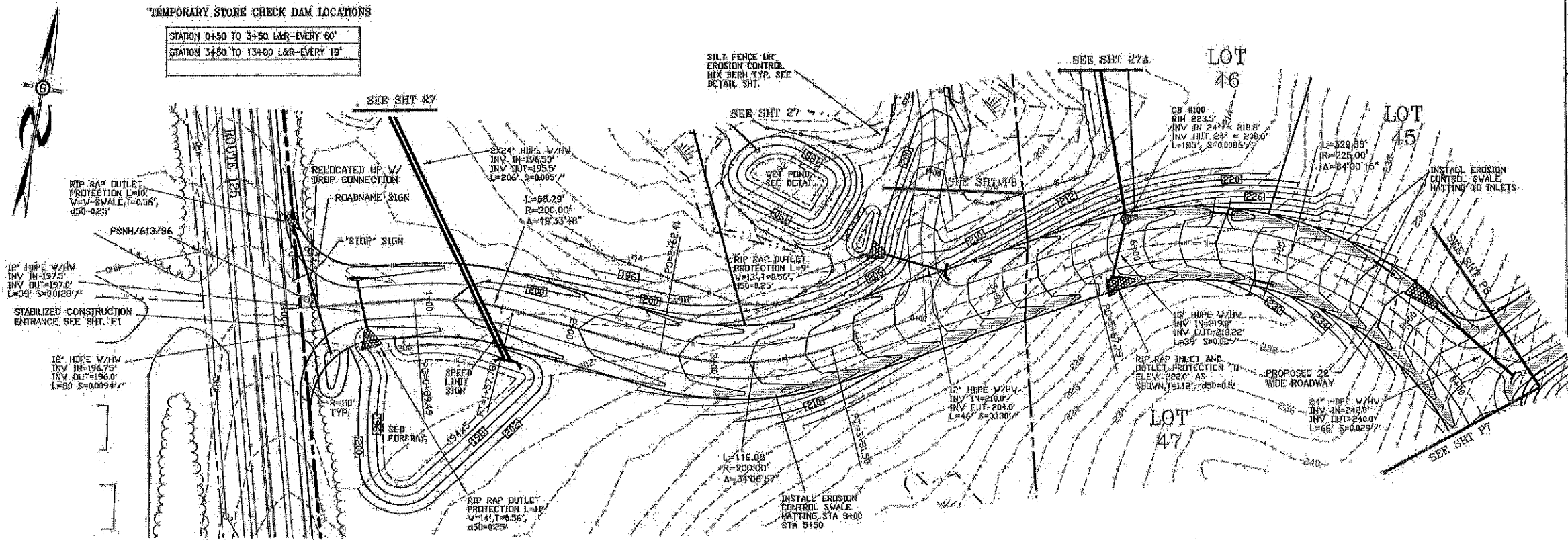
PLAN & PROFILE - P5

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NEI-1144	SHEET NO. 23 OF 37

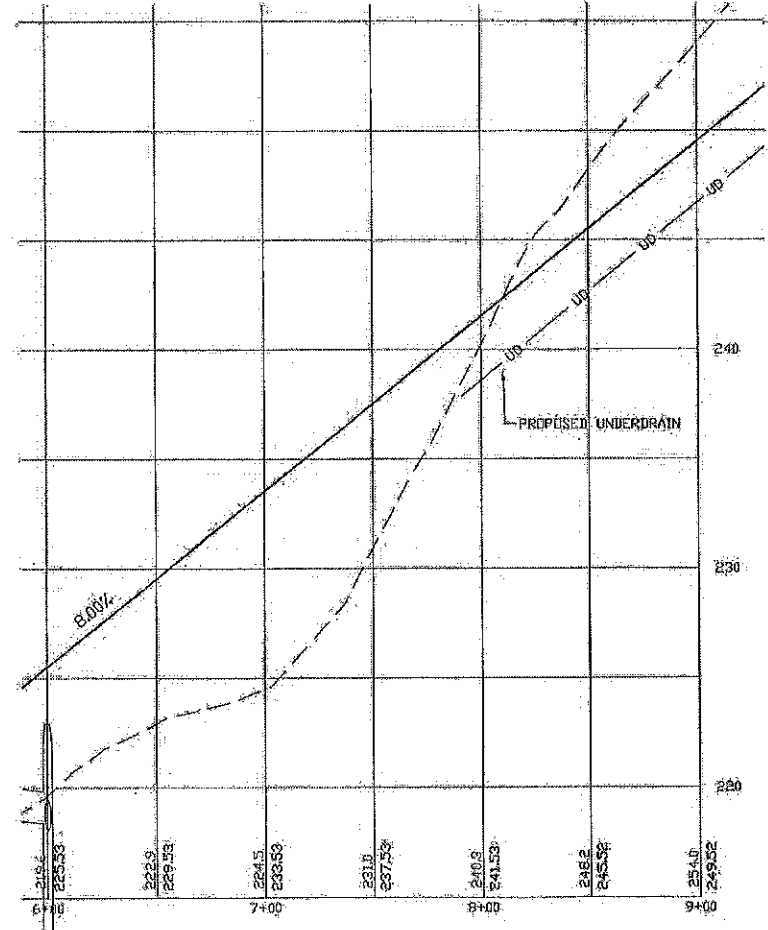
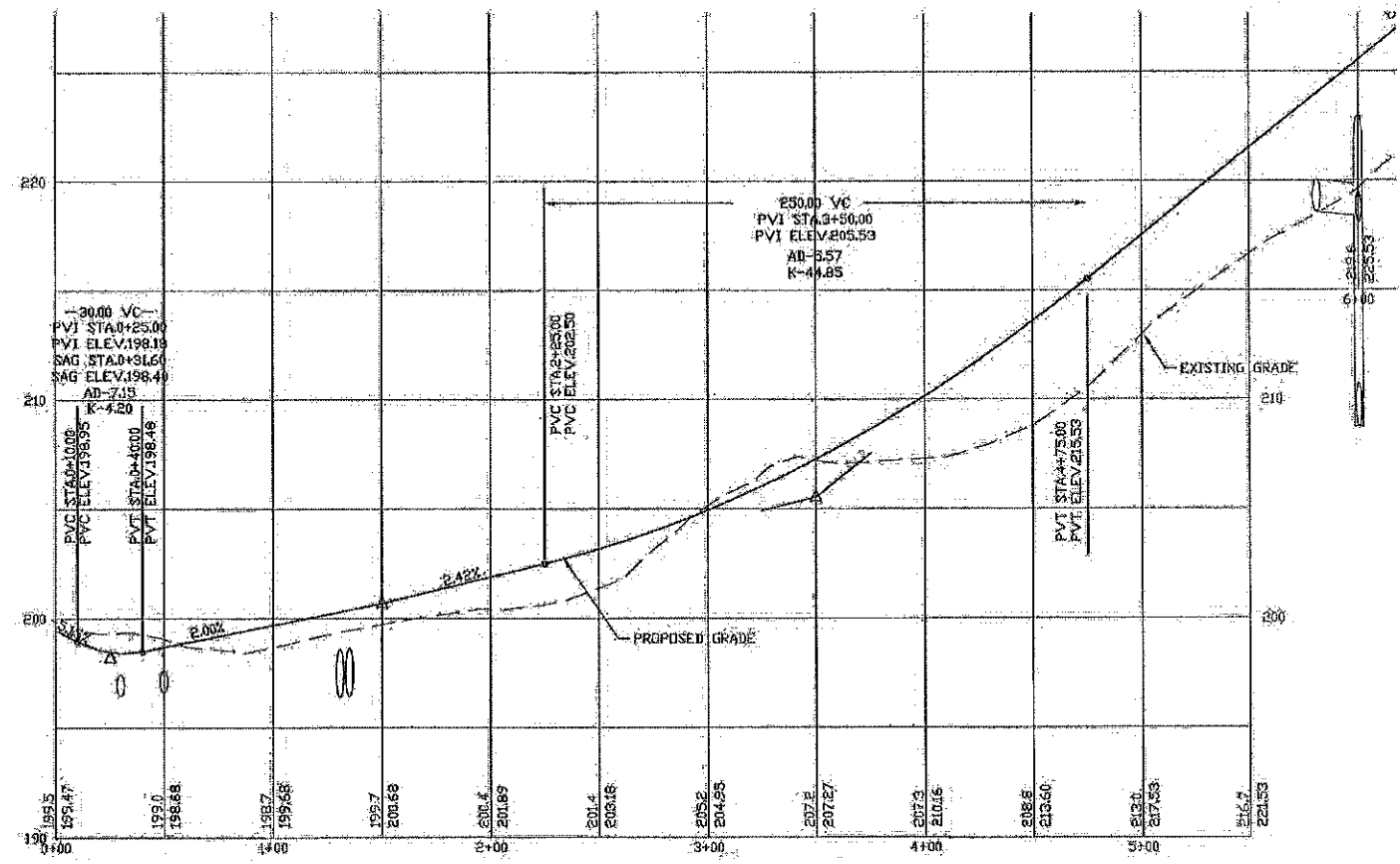
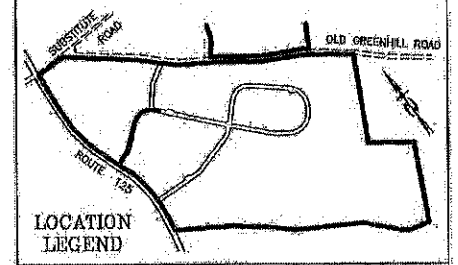
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 0+50 TO 3+50 L&R-EVERY 60'
STATION 3+50 TO 13+00 L&R-EVERY 19'



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-383-4860, FAX: 603-583-4863



LAND USE OFFICE
JUL 30 2019
RECEIVED



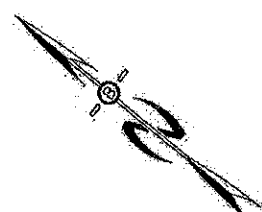
PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'
0 20 40 80 160

REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PG COMMENTS	6-5-19

PLAN & PROFILE - P6

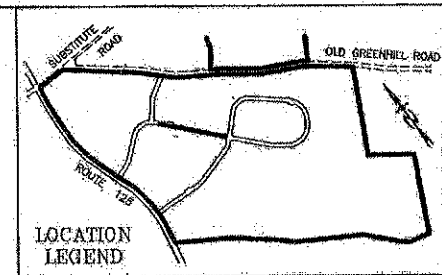
PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: MARY 2019 SCALE: 1"=40'
PROJ. NO: NH-1144 SHEET NO. 24 OF 37



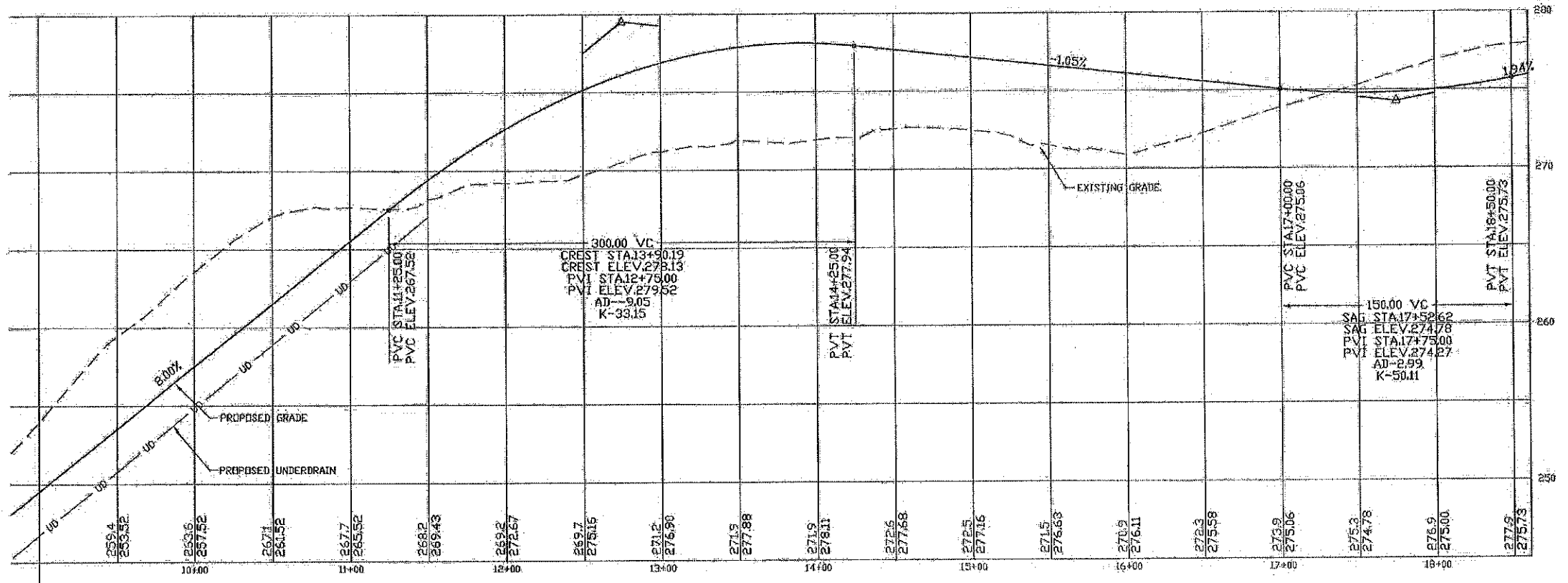
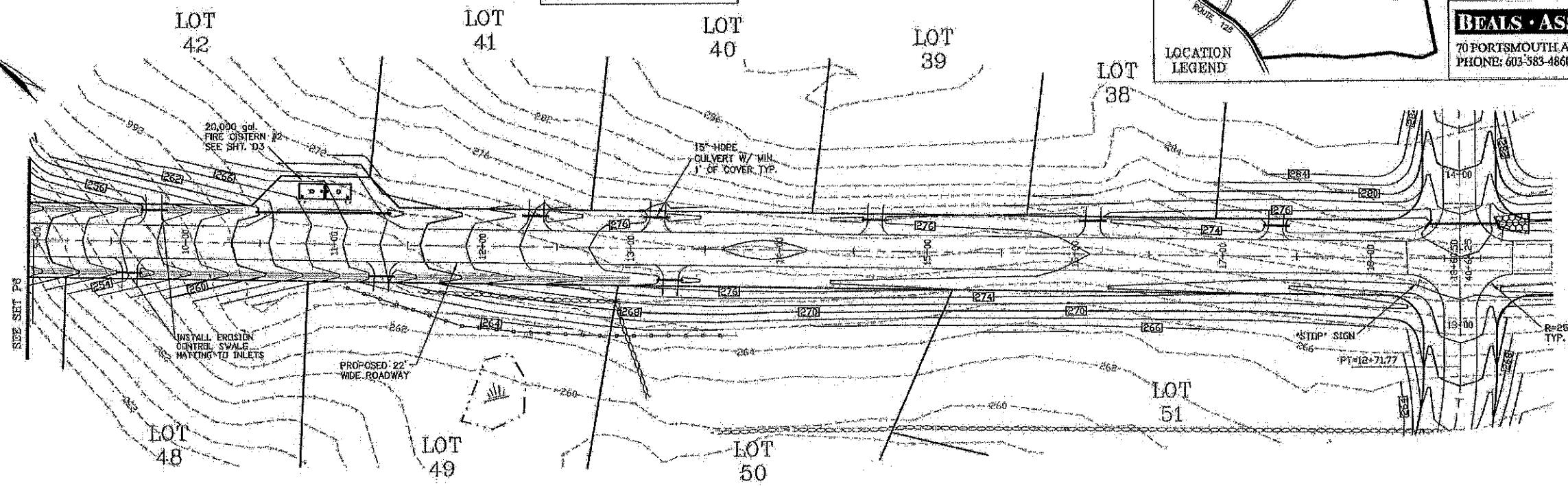
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 3+50 TO 13+00 L&R-EVERY 10'
 STATION 13+00 TO 18+00 L&R-EVERY 150'



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LAND USE OFFICE

JUL 30 2019

RECEIVED



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

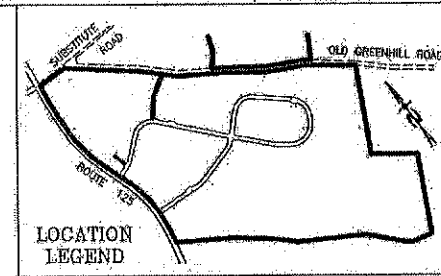
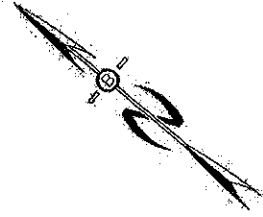


REVISED PER REVIEW COMMENTS	7-24-19
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	8-5-19

PLAN & PROFILE - P7

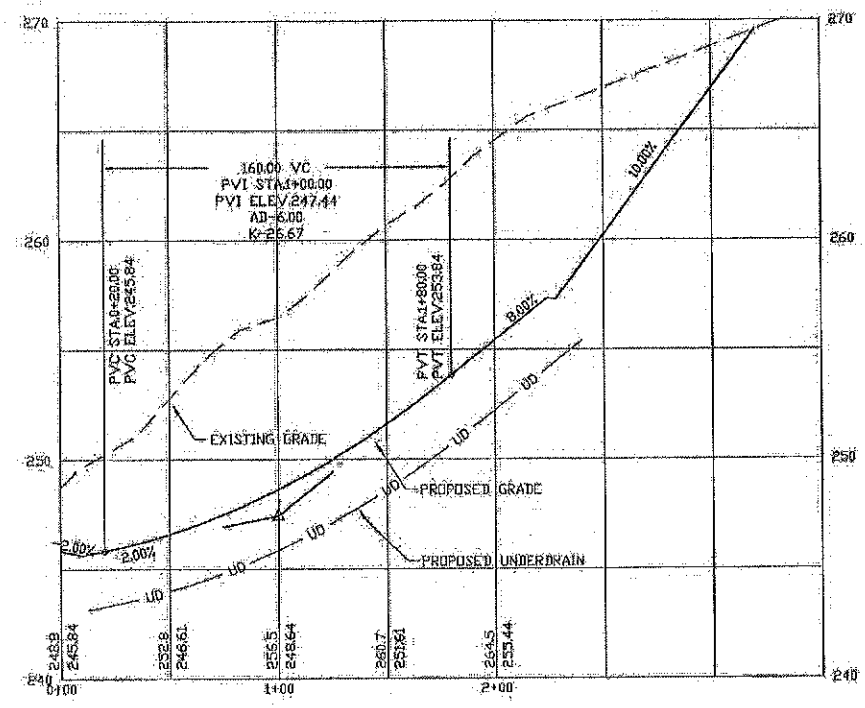
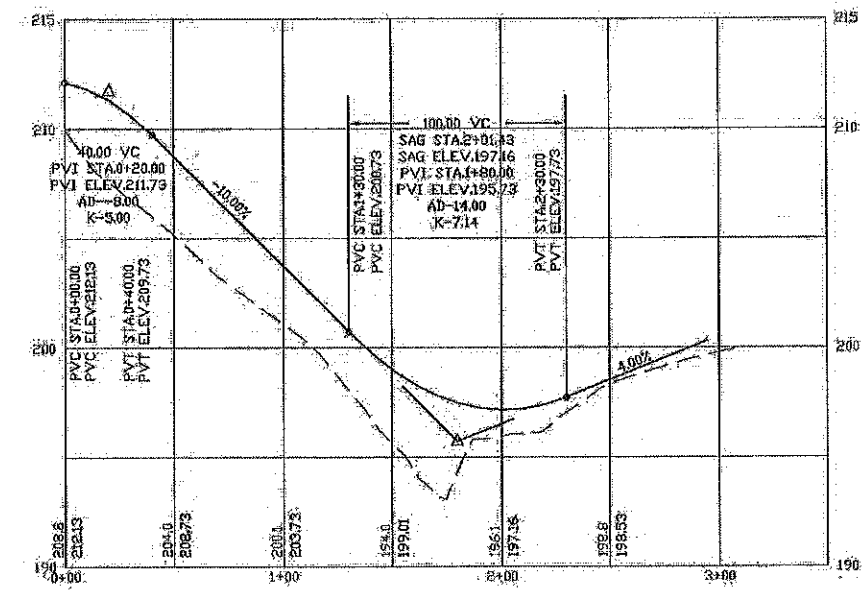
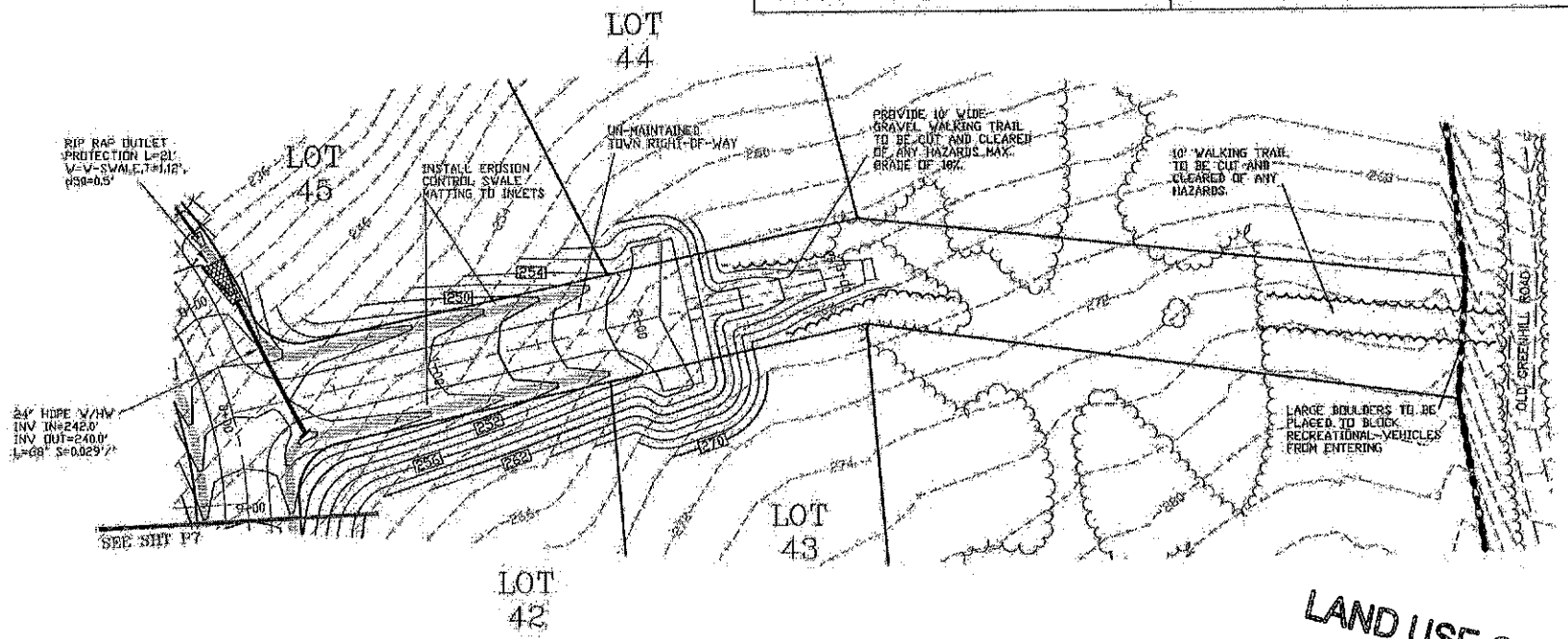
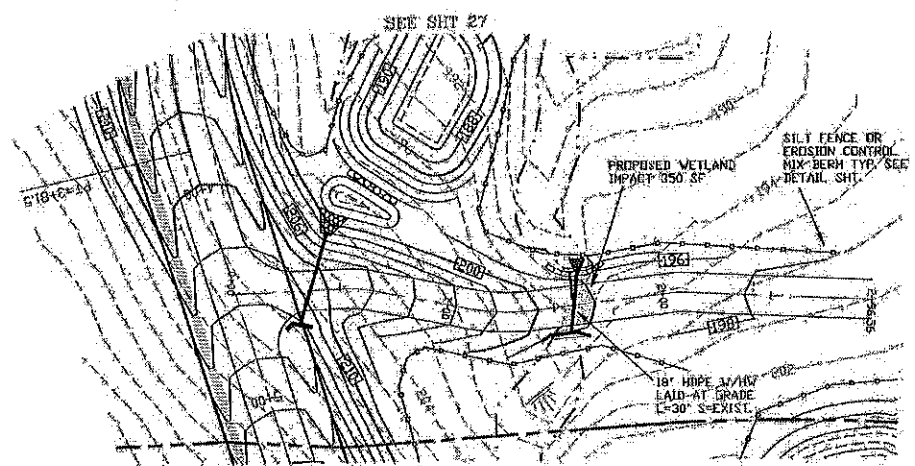
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 25 OF 37



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LAND USE OFFICE
 JUL 30 2019
 RECEIVED

PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

REVISED PER REVIEW COMMENTS	7-24-18
REVISED PER REVIEW COMMENTS	8-20-19
REVISED ROAD GRADES PER PB COMMENTS	8-5-19

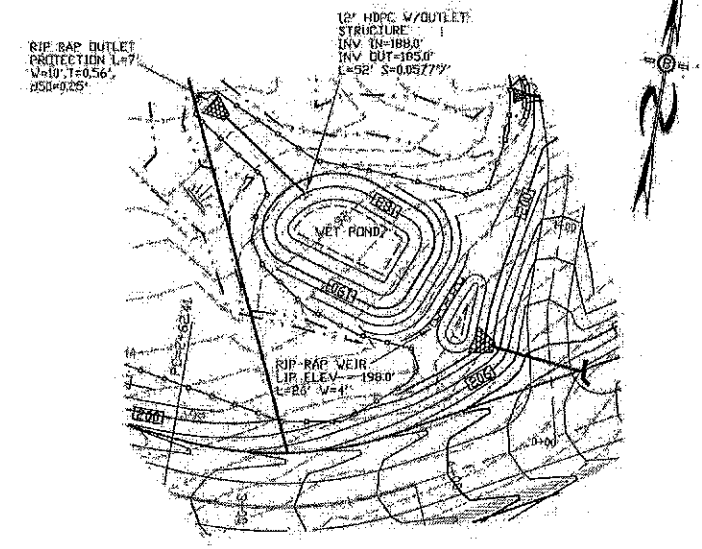
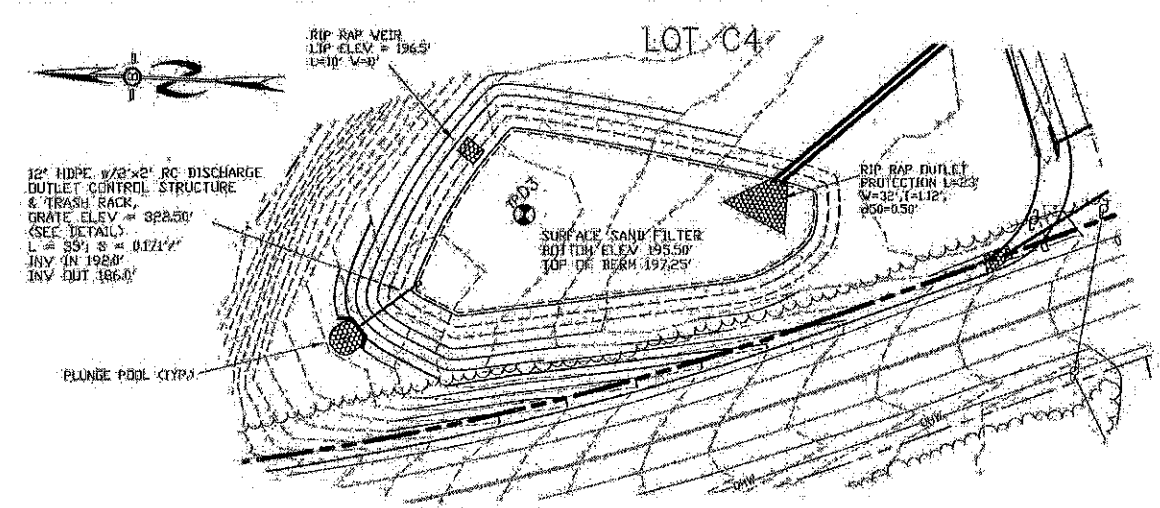
PLAN & PROFILE - P8

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

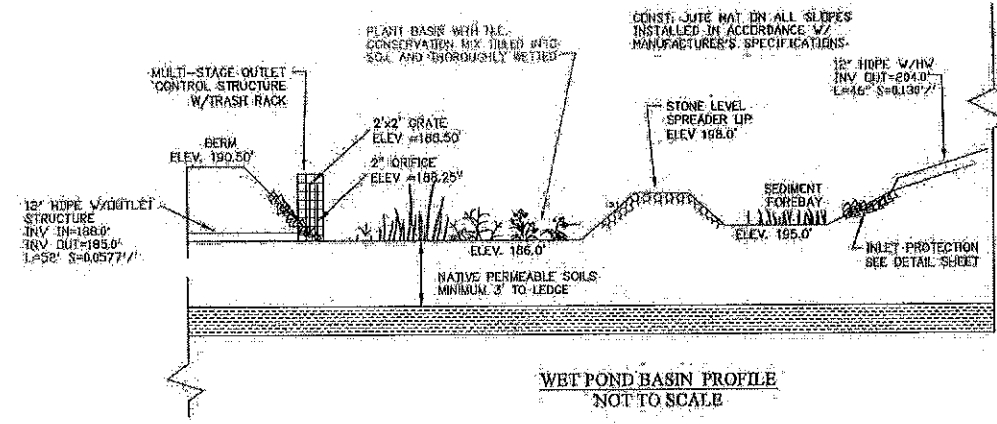
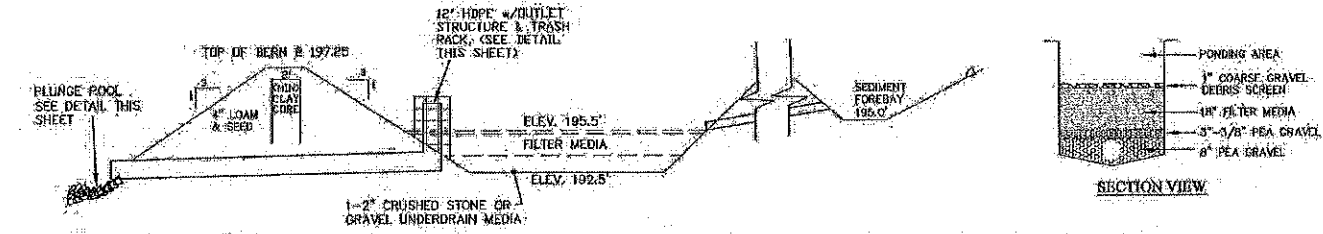
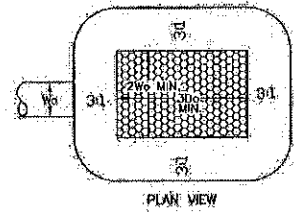
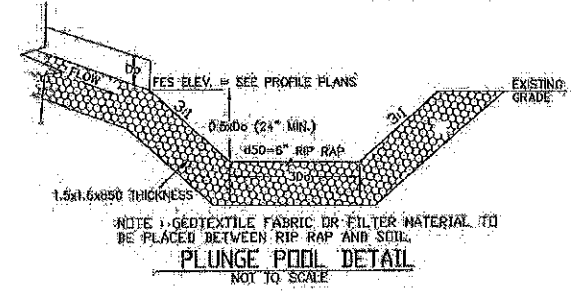
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO.: NH-1144	SHEET NO. 26 OF 37

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



- GENERAL NOTES:**
1. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES (IN ACCORDANCE WITH ERM-W-1500) PRIOR TO THE START OF ANY CONSTRUCTION OPERATION THAT MAY CAUSE ANY SEDIMENTATION OR SILTATION AT THE SITE.
 2. INSTALL STORM DRAIN INLET PROTECTION TO PREVENT CLOGGING OF THE STORM SEWER AND SEDIMENT LOADS TO DOWNSTREAM STORM WATER FACILITIES OR WATERBODIES.
 3. IF THE STORMWATER BMP IS BEING DESIGNED TO SERVE AS A TEMPORARY SEDIMENT BASIN, GRADE THE BASIN TO WITHIN THREE (3) FEET OF FINAL GRADE TO PROTECT THE UNDERLYING MATERIAL FROM CLOGGING. ONCE CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETED AND THE SITE IS STABILIZED, EXCAVATE THE BASIN TO FINAL GRADE AND COMPLETE CONSTRUCTION OF THE BMP.
 4. GRADING OF THE BASIN SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOGCATS WITH RUNNER TRACKS ARE RECOMMENDED.
 5. EXCAVATE THE BASIN TO THE SPECIFIED DEPTH (ELEVATION). IT IS RECOMMENDED THAT ALL SUB MATERIAL BELOW THE SPECIFIED ELEVATION SHALL BE LEFT UNDISTURBED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 6. GRADE TO THE DEPTH (ELEVATION) SPECIFIED IN THE CONSTRUCTION DOCUMENTS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 7. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL WILL NEED TO BE REMOVED FROM THE BASIN PRIOR TO INITIATING THE NEXT STEP IN THE CONSTRUCTION PROCESS. SEDIMENT THAT HAS BEEN WASHED INTO THE BASIN DURING THE EXCAVATION PROCESS CAN SEAL THE PERMEABLE MATERIAL, SIGNIFICANTLY REDUCING THE INFILTRATION CAPACITY OF THE SOILS.
 8. SEEDING AND INSTALLATION OF EROSION CONTROL BLANKET IF REQUIRED SHALL BE COMPLETED WITHIN 48 HOURS OF FINAL GRADING.
 9. AREA SHALL BE STAYED OFF DURING CONSTRUCTION TO RESTRICT HEAVY EQUIPMENT TRAFFIC FROM COMPACTING NATIVE SOILS.



- PLANTING NOTES:**
 WETLAND PLANTINGS SHOULD INCLUDE:
1. GRASS COVER (SEBERG, LUVARSH, BLUEBERRY, ETC.)
 2. LOW GROWING SHRUBS (RED OILER DOGWOOD, WINTERBERRY OR SIMILAR) PLANTED NO CLOSER THAN 10\"/>

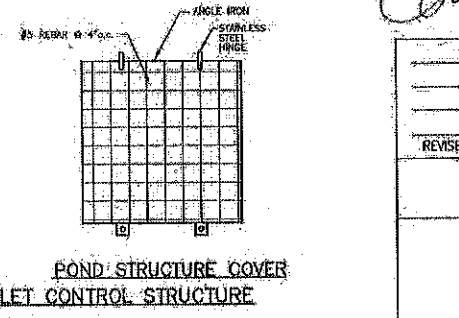
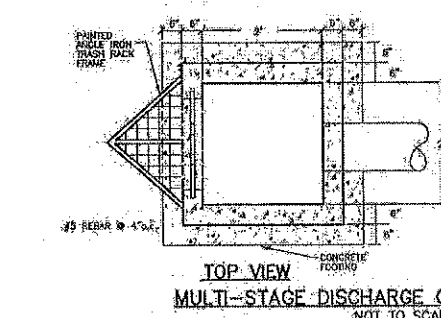
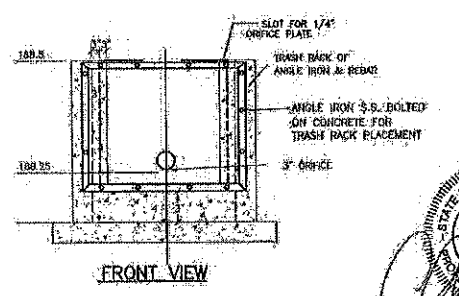
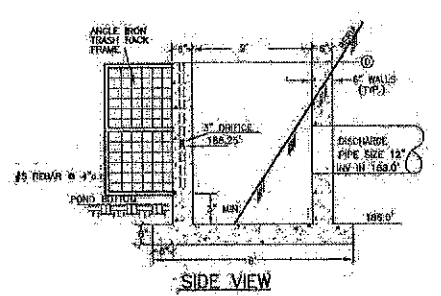
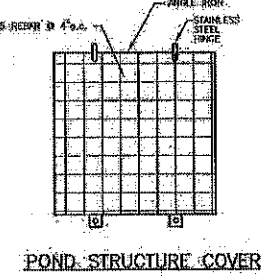
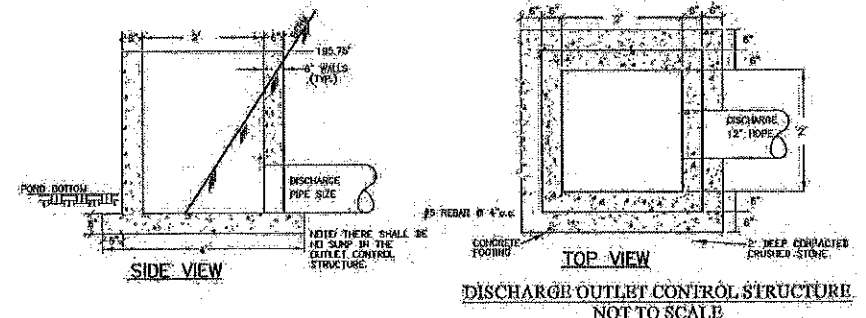
FILL MATERIAL FOR EMBANKMENT SHALL BE TAKEN FROM APPROVED BORROW AREAS. IT SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER (6) INCHES IN DIMENSION, AND NOT MORE THAN FIFTEEN PERCENT (15%) OF THE ROCKS OR LUMPS SHALL BE GREATER THAN 2 1/2 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. ALL MATERIAL SHALL MEET MHOT ITEM 304.2: 6\"/>

1. THE CORE FOR THE DETENTION BASIN EMBANKMENT SHALL BE CONSTRUCTED OF SILTY CLAY BORROW. THIS MATERIAL SHALL CONTAIN AT LEAST 75% BY WEIGHT PARTICLES PASSING A #200 SIEVE. IT SHALL CONTAIN NO PARTICLES LARGER THAN 3 INCHES. THIS MATERIAL SHALL HAVE A PLASTIC INDEX OF 8 OR GREATER. THE ENTIRE EMBANKMENT AREA SHALL BE STRIPPED OF ALL ORGANIC SOILS PRIOR TO PLACEMENT OF CLAY BORROW. THE CLAY BORROW SHALL BE PLACED IN LIFTS OF 12 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. THE CLAY SHALL BE PLACED AND COMPACTED AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%. NO ORGANIC SOILS OR FROZEN MATERIAL SHALL BE PLACED IN THE CLAY BORROW. MINIMUM CORE THICKNESS SHALL BE (3) FEET.

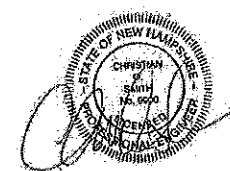
SAND FILTER POND PROFILE NOTES

- NOTES:**
1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12\"/>
 - 2. CONCRETE BOX TO BE CONSTRUCTED OR PRE-CAST OF EQUAL DIMENSIONS & REINFORCING.
 - 3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE. FOR PRE-CAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 - 4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED W/ MORTAR BY CONTRACTOR.
 - 5. ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
 - 6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNING, RFD. #1-803 --28-3218) OR EQUAL.
 - 7. STRUCTURE TO BE PAINTED W/ AN EXTERIOR FOREST GREEN PAINT OR SIMILAR AND SCREENED W/ SHRUBS.

- LIST OF MATERIALS:**
1. 5000 PSI CONCRETE
 2. ANGLE IRONS @ 2\"/>
 - 3. REQUIRED S.S. BOLTS & FASTENERS
 - 4. 1/4\"/>
 - 5. 1/2 O.Y. = CRUSHED STONE FOR BASE



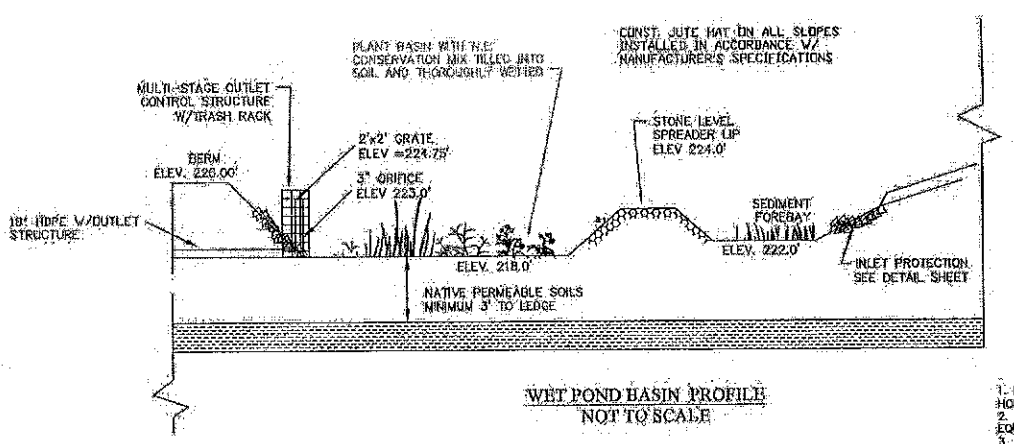
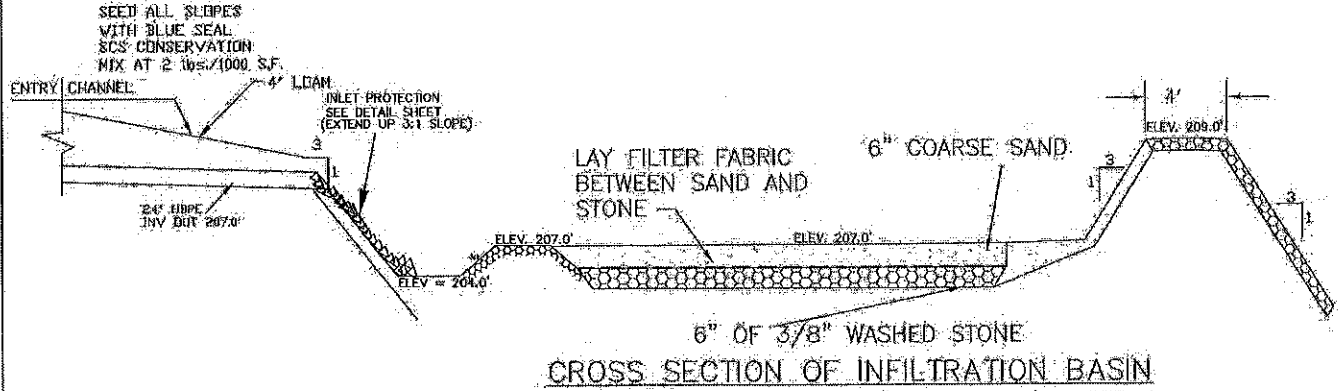
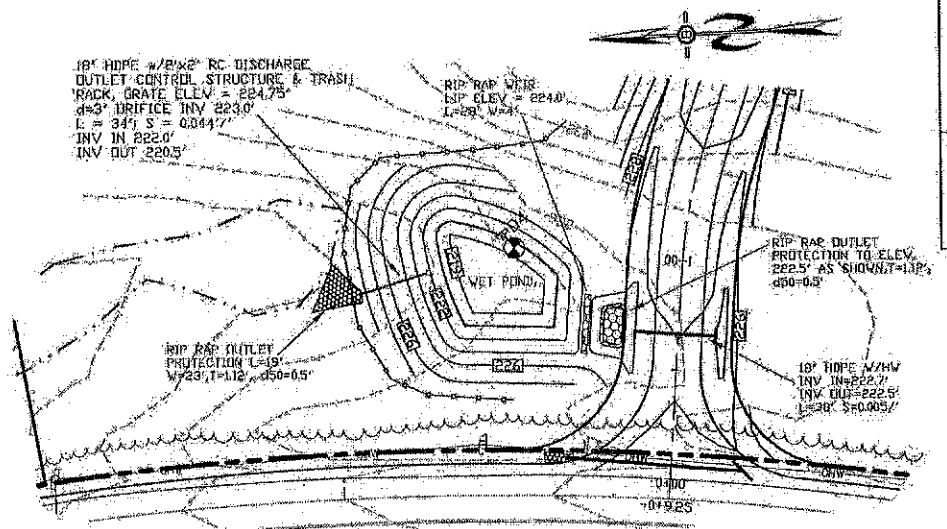
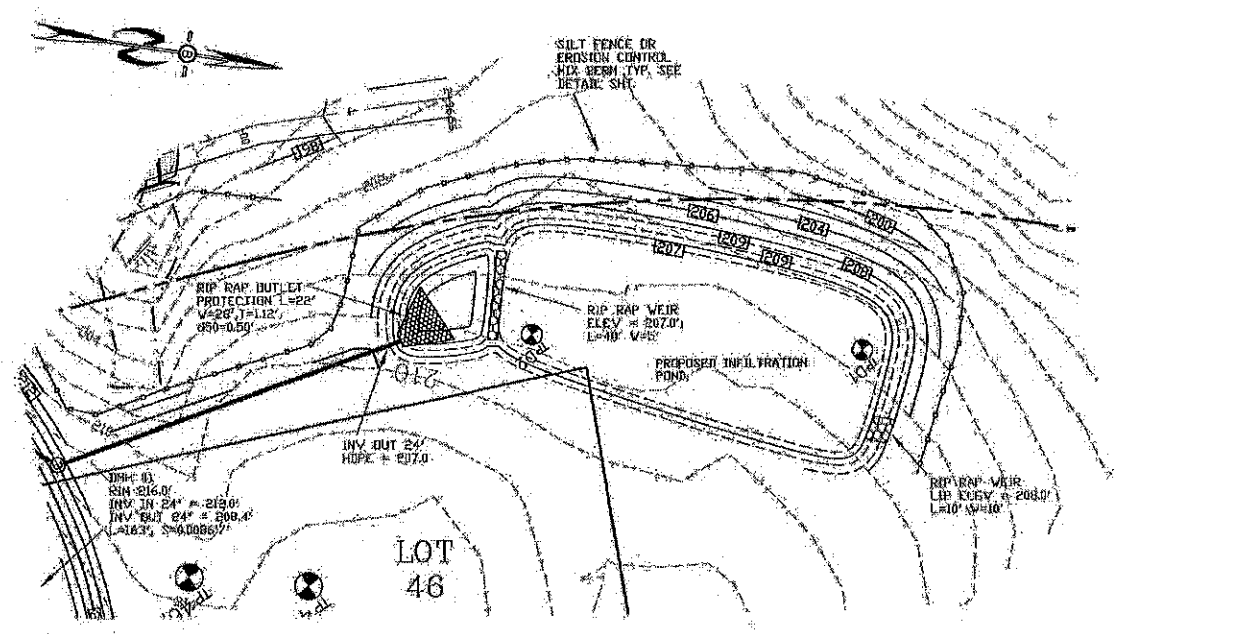
LAND USE OFFICE
 JUL 30 2019
RECEIVED



REVISED PER REVIEW COMMENTS:	6-20-19
DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 27 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



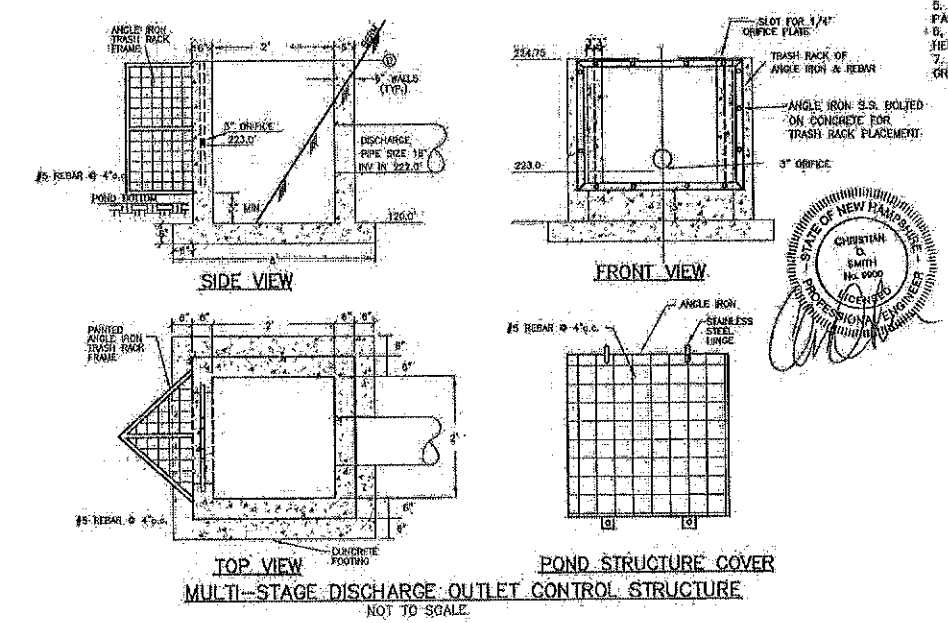
PLANTING NOTES:
 WETLAND PLANTINGS SHOULD INCLUDE:
 1. GRASS COVER (SEED: LUDWIG'S SLABGRASS, ETC.)
 2. LOW GROWING SHRUBS (RED BISTAR BOGDORF, WINTERBERRY OR SIMILAR) PLANTED NO CLOSER THAN 40" IN CENTER.

NOTES:
 1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12" O.C.
 2. CONCRETE BOX TO BE CONSTRUCTED OR PRE-CAST OF EQUAL DIMENSIONS & REINFORCING.
 3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE. FOR PRE-CAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WITH MORTAR BY CONTRACTOR.
 5. ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
 6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF DENNISTON, N.H. (1-800-425-3218) OR EQUAL.
 7. STRUCTURE TO BE PAINTED W/ AN EXTERIOR FOREST GREEN PAINT OR SIMILAR AND SCREENED W/ SHRUBS.

INFILTRATION BASIN NOTES
 DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
 AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 DO NOT PLACE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

- Construction Sequence:**
1. Protect infiltration basin area from compaction prior to installation.
 2. After installation, protect sediment-laden water from entering inlets and pipes.
 3. Install and maintain proper Erosion and Sediment Control Measures during construction.
 4. If necessary, excavate infiltration basin bottom to an uncompacted subgrade free from rocks and debris. Do NOT compact subgrade.
 5. Install Outlet Control Structures.
 6. Seed and stabilize topsoil. (Vegetate if appropriate with native plantings.)
 7. Do not remove Inlet Protection or other Erosion and Sediment Control measures until site is fully stabilized.
 8. Any sediment that enters inlets during construction is to be removed within 24 hours.

- Maintenance and Inspection**
- Catch Basins and Inlets (upgradient of Infiltration Basin) should be inspected and cleaned on an annual basis.
 - The vegetation along the surface of the Infiltration Basin should be maintained in good condition, and any bare spots immediately revegetated.
 - Vehicles should not be parked or driven on an Infiltration Basin, and care should be taken to avoid excessive compaction by mowers.
 - Inspect the completed basin and make sure that runoff drains down within 72 hours.
 - Also inspect for accumulation of sediment, damage to outlet control structures, erosion control measures, signs of water contamination/spills, and slope stability in the basins.
 - Mosquitoes should not be a problem if the water drains in 72 hours. Mosquitoes require a considerably long breeding period with relatively static water levels.
 - Mow only as appropriate for vegetative cover species.
 - Remove sediment from basin accumulations. Restore original cross section and infiltration rate. Properly dispose of sediment.



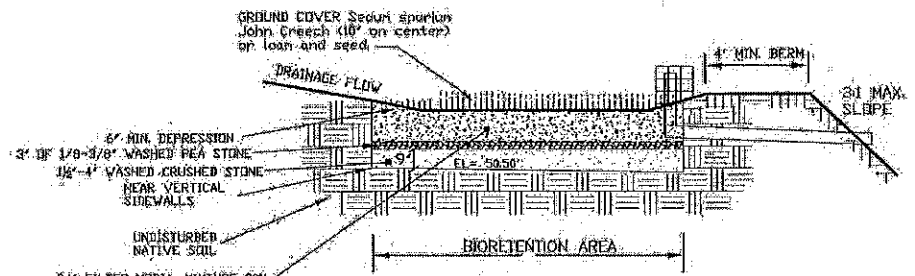
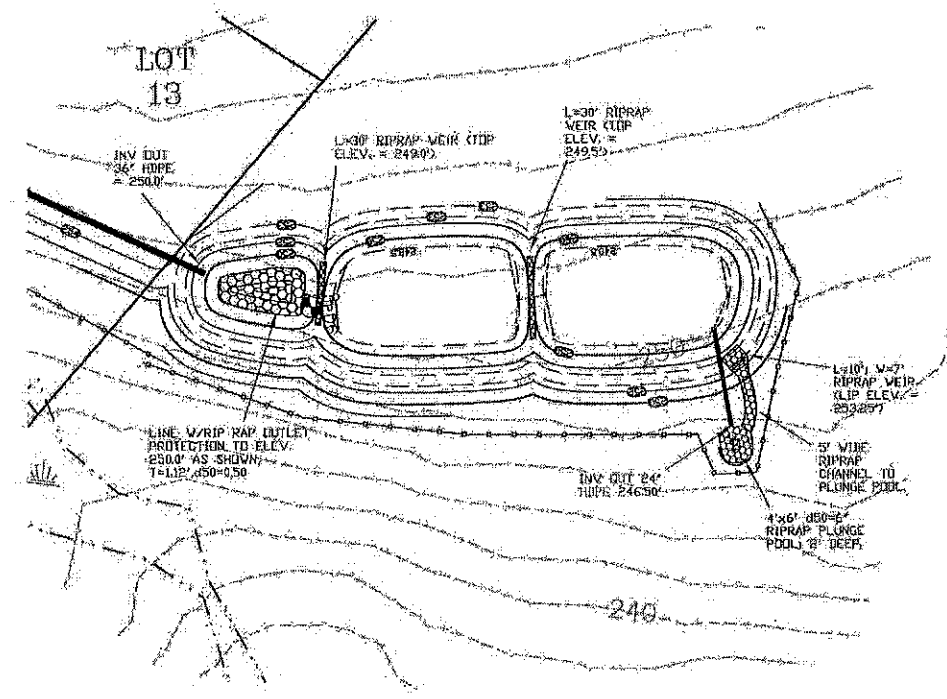
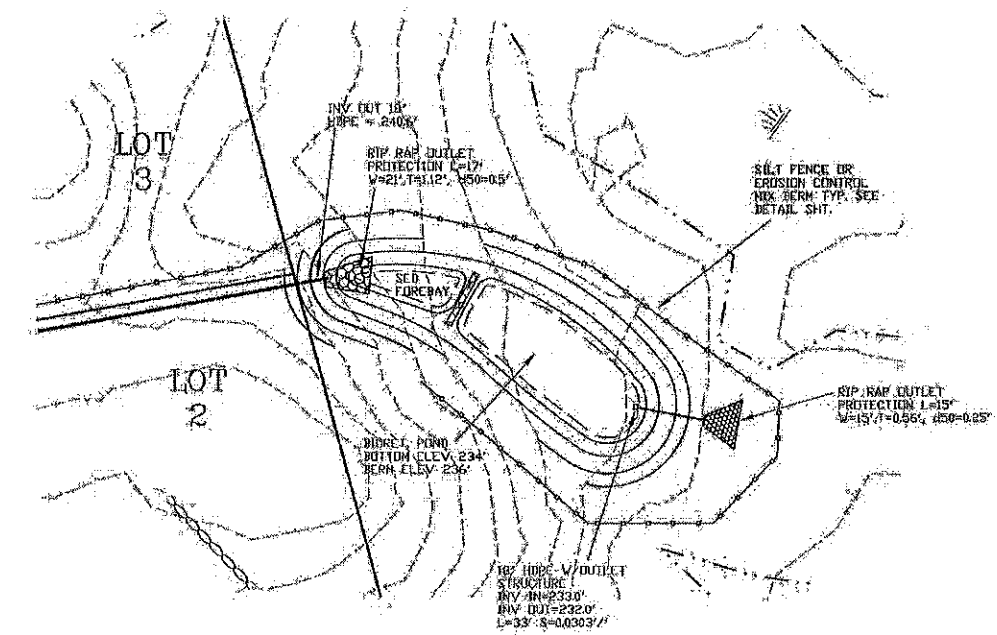
STATE OF NEW HAMPSHIRE
 CHRISTIAN D. SMITH
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 10000

LAND USE OFFICE
 JUL 30 2019
 RECEIVED

REVISED PER REVIEW COMMENTS	8-20-19
DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 28 OF 37

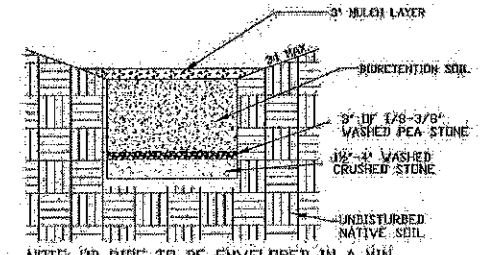
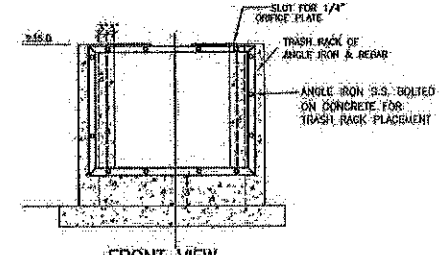
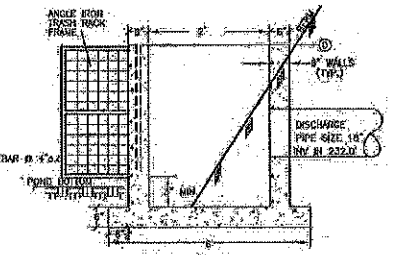
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

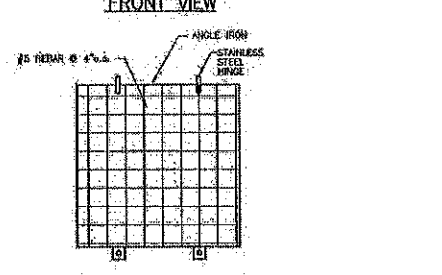
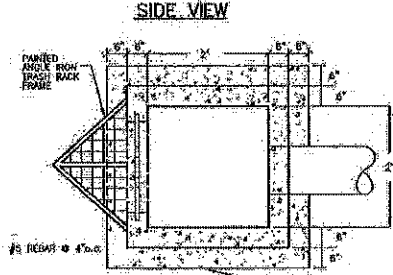


NOTES:
 1. SCARIFY SIDES AND BOTTOM OF BIORETENTION AREA TO FACILITATE NATURAL INFILTRATION RATES.
 2. POND SURFACE TO BE FINISHED WITH 3\"/>

DRAINAGE NOTES:
 DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 DO NOT PLACE SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 DO NOT DISCHARGE SEDIMENT-LOADED WATERS FROM CONSTRUCTION ACTIVITIES (DUMP, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

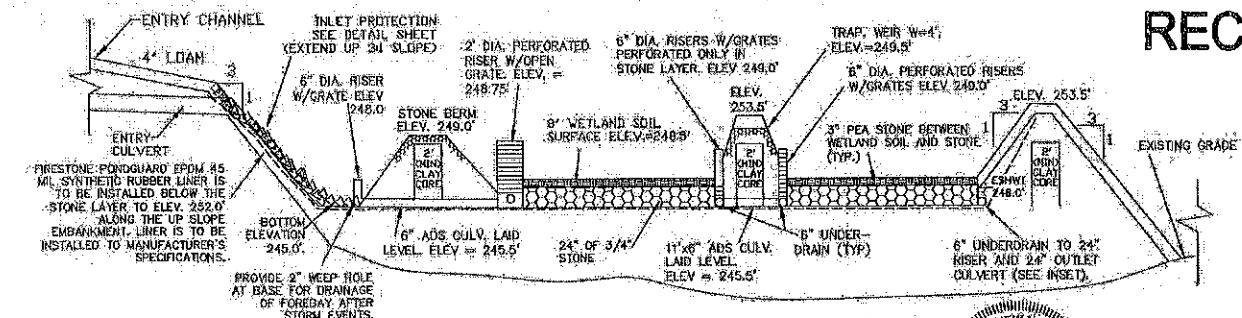


NOTE: UD PIPE TO BE ENVELOPED IN A MIN. OF 3\"/>

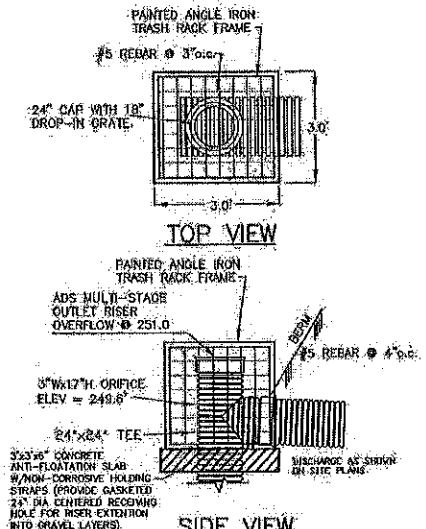
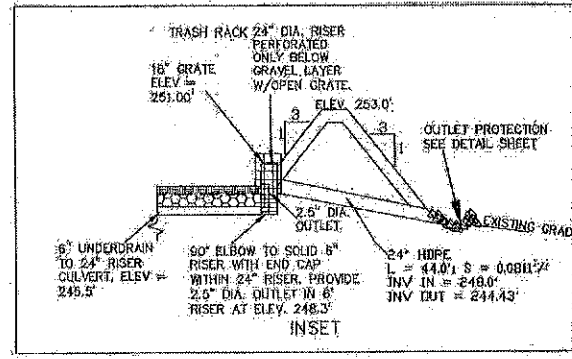


SEED ALL SLOPES WITH BLUE SEAL SGS CONSERVATION MIX AT 2-165/1000 SF.

NOTE: BAYS TO BE SEEDDED WITH M.E. CONSERVATION MIX.

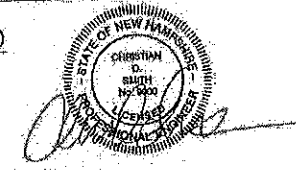


SECTION OF GRAVEL WETLAND NOT TO SCALE



RISER-TRASH RACK DETAIL NOT TO SCALE

JUL 3 2019
 RECEIVED



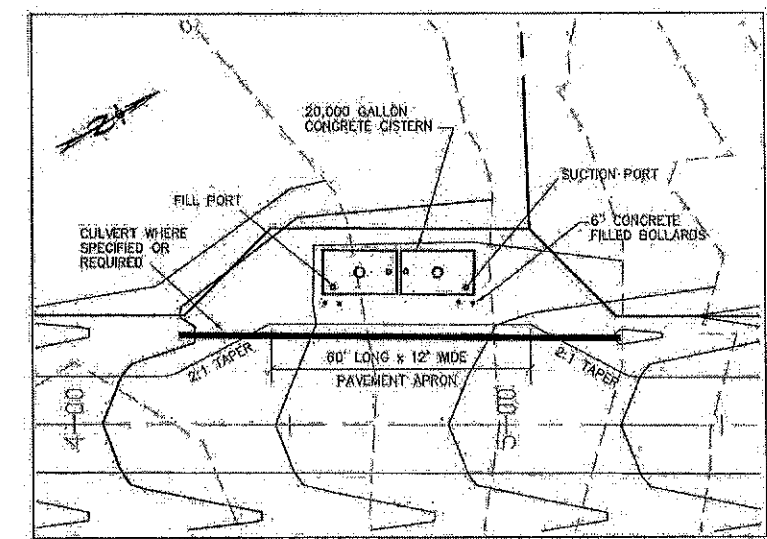
REVISION PER REVIEW COMMENTS	8-20-19
DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO: 29 OF 37

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

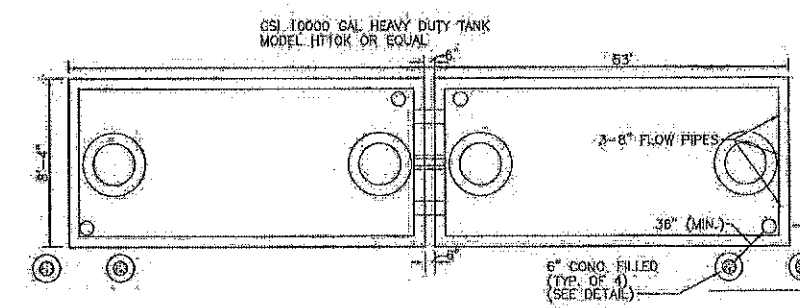
BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

CISTERN SPECIFICATIONS

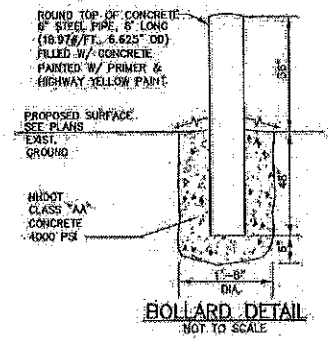
1. THE CISTERN SHALL BE DESIGNED TO BE TROUBLE FREE, AND IT SHALL BE DESIGNED TO LAST 50 YEARS.
2. THE MINIMUM CAPACITY SHALL BE 20,000 GALLONS, DEPENDING ON THE DEVELOPMENT LAYOUT/CONFIGURATION, ADDITIONAL GALLON REQUIREMENTS MAY BE IMPOSED AT THE DISCRETION OF THE FIRE CHIEF. ALL EXCEPTIONS, ADDITIONS, OR DELETIONS WILL BE IN WRITING.
3. THE SUCTION CAPACITY SHALL BE CAPABLE OF DELIVERING 1,000 GALLONS PER MINUTE (GPM) FOR THREE-QUARTERS OF THE CISTERN CAPACITY.
4. THE ENTIRE CISTERN AND APPURTENANCES SHALL BE RATED FOR HS-20 HIGHWAY LOADING.
5. DRAWINGS OF THE DESIGN ARE FOR ESTIMATING GENERAL REQUIREMENT AND DESIGN PURPOSES ONLY AND ARE NOT INTENDED FOR USE AS DESIGN.
6. EACH CISTERN SHALL BE DESIGNED, SITED TO THE PARTICULAR LOCATION, STAMPED BY A REGISTERED ENGINEER, AND APPROVED BY THE FIRE CHIEF.
7. ALL SUCTION AND FILL PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 40 STEEL. ALL VENT PIPING SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LEADING FROM THE TANK TO THE HYDRANT SHALL BE ASTM SCHEDULE 40 STEEL.
8. THE FINAL SUCTION CONNECTION SHALL BE FIVE INCH PUMPER NOZZLE WITH A CAP. THE SUCTION PIPE SHALL BE BRACED TO ENSURE DURABILITY DURING PUMPING OPERATIONS. THE FIRE CHIEF SHALL APPROVE BRACE CONFIGURATION AND INSTALLATION. THE SUCTION PIPE CONNECTION SHALL BE TWENTY-FOUR INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
9. THE FILLER CONNECTION SHALL BE 4" MALE STEEL STORZ FITTING. THIS FITTING SHALL BE 24" ABOVE FINISH GRADE AND FACE THE ROAD. A THIRTY-TWO INCH DIAMETER MANHOLE WITH COVER WILL BE LOCATED ON TOP OF THE CISTERN. THE CONFIGURATION OF THIS MANHOLE SHALL ALLOW THE UNIT TO BE SECURED WITH TWO PADLOCKS AND SHALL BE APPROVED BY THE FIRE CHIEF. THE PADLOCKS WILL BE SUPPLIED BY THE FIRE DEPARTMENT.
10. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE PUMPER CONNECTION SHALL NOT EXCEED FOURTEEN FEET VERTICAL.
11. ALL HORIZONTAL SUCTION PIPING SHALL SLOPE SLIGHTLY UPHILL TOWARD THE PUMPER CONNECTION.
12. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE INCHES OF 3/4" TO 1 1/2" WASHED PEA STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE OVER EXCAVATION SHALL BE FILLED WITH THE SAME STONE BEDDING MATERIAL.
13. ALL BACKFILL MATERIALS SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN SIX INCHES AND SHALL BE COMPACTED TO 95 PERCENT OF ITS ORIGINAL VOLUME IN ACCORDANCE WITH ASTM D 1557. 16. THE TOP OF CISTERN SHALL BE INSULATED WITH VERMIN RESISTANT FOAM INSULATION AND TWO FEET OF BACKFILL WITH A MINIMUM WEIGHT OF 120 PCF, COMPACTED. FOAM USED FOR THIS INSTALLATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R=5 PER INCH. ALL BACKFILL SHALL EXTEND TEN FEET BEYOND THE EDGE OF THE VEHICLE PAD AND THEN HAVE A MAXIMUM OF 3:1 SLOPE, LOAM AND SEEDED.
14. BEFORE ANY BACKFILLING IS DONE THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BY THE FIRE CHIEF.
15. AFTER BACKFILLING, BOLLARDS OR LARGE STONES SHALL BE PLACED TO PROTECT THE TANK AND APPURTENANCES.
16. THE PITCH OF THE SHOULDER AND VEHICLE PAD FROM THE EDGE OF THE PAVEMENT TO THE PUMPER SUCTION CONNECTION SHALL BE ONE PERCENT TO THREE PERCENT DOWNGRADE.
17. THE SHOULDER AND VEHICLE PAD SHALL BE OF A SUFFICIENT LENGTH TO ALLOW CONVENIENT ACCESS TO THE SUCTION CONNECTION WHEN THE PUMPER IS SET AT 45 DEGREES TO THE ROAD. THE SHOULDER AND VEHICLE PAD SECTION SHALL CONSIST OF 3" BITUMINOUS PAVING, REFER TO SITE PLAN FOR REQUIREMENTS.
18. THE SUCTION FITTING SHALL BE LOCATED BETWEEN 22 AND 24 FEET FROM THE NEAREST RUNNING EDGE OF ROAD PAVEMENT. TWO CONCRETE FILLED STEEL BOLLARDS SHALL BE PLACED IN A MANNER TO PROTECT THE HYDRANT. THE BASE OF THESE BOLLARDS SHALL EXTEND BELOW THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
19. ALL CONSTRUCTION, BACKFILL, AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND SHALL BE ACCEPTABLE TO THE FIRE CHIEF.
20. THE FIRE CHIEF (OR REPRESENTATIVE) AND THE ENGINEER'S INSPECTOR WILL BE NOTIFIED BY THE CONTRACTOR TO OBSERVE THE FOLLOWING POINTS OF INSTALLATION:
 A. EXCAVATION COMPLETE.
 B. CRUSHED STONE INSTALLED AND COMPACTED.
 C. BACKFILLING COMPLETE PRIOR TO PLACEMENT OF INSULATION.
 D. PLACEMENT OF INSULATION.
 E. START AND FINISH OF LEAKAGE TEST.
 F. PIPING MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
 G. ALL BACKFILLING WITH GRAVEL, SEED, ETC. COMPLETE WITH TURNOUT GRAVEL IN PLACE AND GRADED.
 H. PAVEMENT COMPLETE, AND ALL OTHER WORK 100% COMPLETE.
21. THE FIRE CHIEF SHALL BE NOTIFIED OF THE DATE THAT SITE WORK IS TO BEGIN.
22. ANY EXCEPTION, ADDITIONS, OR DELETIONS ARE DATED AND NOTED BELOW.
23. CONCRETE MUST HAVE A MINIMUM OF 150 PCF.
24. STONE AND GRAVEL BACKFILL MUST HAVE A MINIMUM OF 120 PCF.



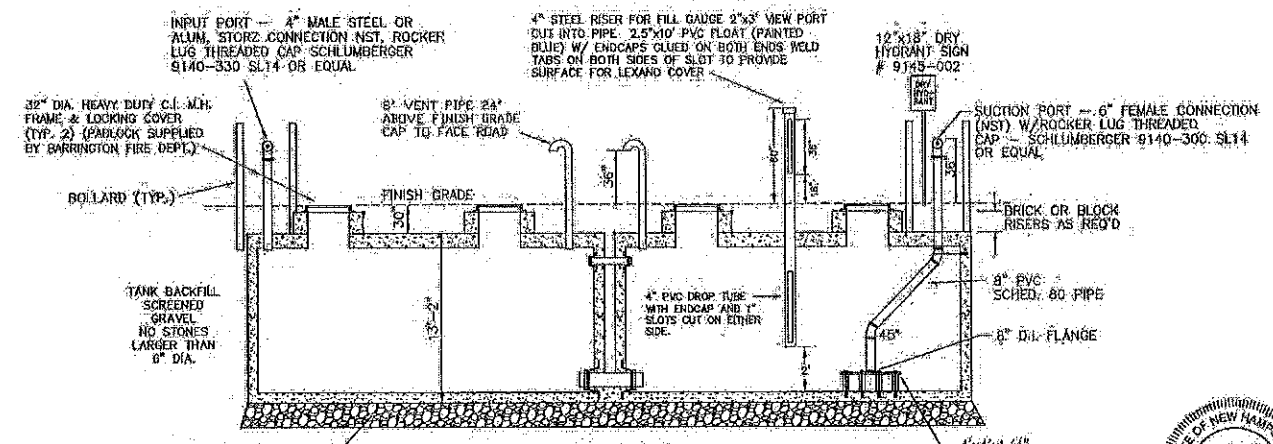
TYPICAL CISTERN PLAN
1"=20'



PLAN VIEW



BOLLARD DETAIL
NOT TO SCALE

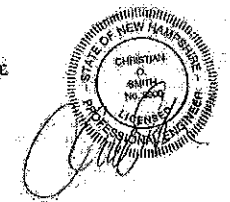


NOTES SECTION A-A

1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
2. REINFORCED FOR H-20 LOADING.
3. JOINTS SEALED WATER TIGHT.
4. ALL BELOW GRADE EXTERIOR SURFACES OF THE TANK SHALL BE COATED WITH KOL-TAK'S BLACK SHIELD ASPHALT COATING OR APPROVED EQUAL.
5. CISTERN INSTALLATION MUST CONFORM WITH ALL LOCAL FIRE DEPARTMENT REQUIREMENTS.

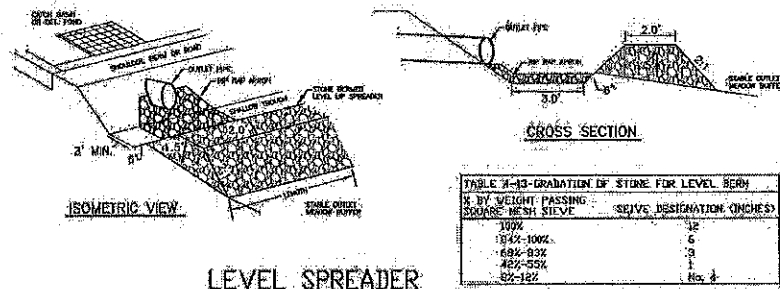
PROPOSED 20,000 GAL. FIRE CISTERN DETAIL
NOT TO SCALE

LAND USE OFFICE
 JUL 30 2019
 RECEIVED



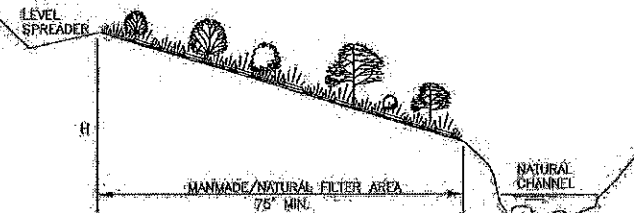
REVISIONS:	DATE:
CISTERN DETAIL SHEET - D3	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. HARRINGTON, NH	
DATE: MAY 2019	SCALE: AS NOTED
PROJ. NO: NH-1144	SHEET NO. 30 OF 37

STONE BERM LEVEL SPREADER



LEVEL SPREADER

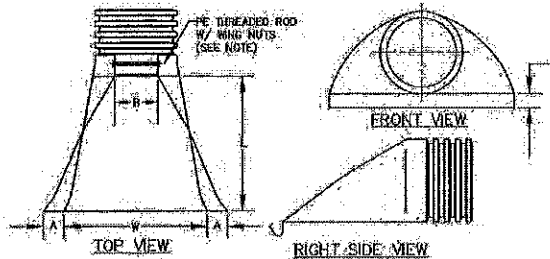
1. CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCORSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.



MAINTENANCE

1. FILTER STRIPS SHOULD BE MAINTAINED AS NATURAL AREAS. ONCE THE VEGETATION IS ESTABLISHED, THE FILTER STRIP SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO COMPLETE THE ESTABLISHMENT OF THE STRIP SINCE MOST SPECIES TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
2. THE FILTER STRIP SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR RAINSTORM TO DETERMINE IF THE ENTRANCE CONDITIONS ARE STILL UNIFORM AND LEVEL AND TO SEE IF RILLS HAVE FORMED. ANY PROBLEM AREAS SHOULD BE REPAIRED PROMPTLY TO PREVENT FURTHER DETERIORATION.

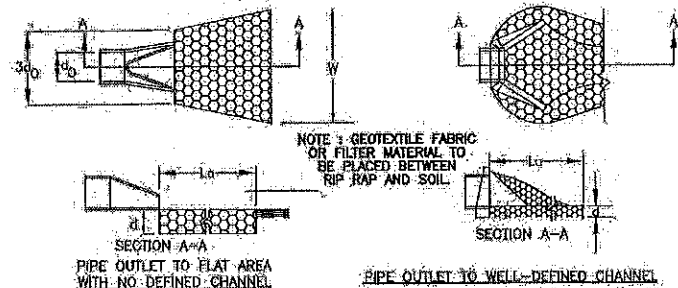
DEVELOPED AREA BUFFER DETAIL



PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1610-NP	15"	6.5"	10"	6.5"	25"	29"
	375 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	35"
	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3010-NP	30"	10.5"	N/A	7.0"	63"	88"
	750 mm	266 mm	N/A	178 mm	1345 mm	1725 mm
3610-NP	36"	10.5"	N/A	7.0"	63"	88"
	900 mm	266 mm	N/A	178 mm	1345 mm	1725 mm

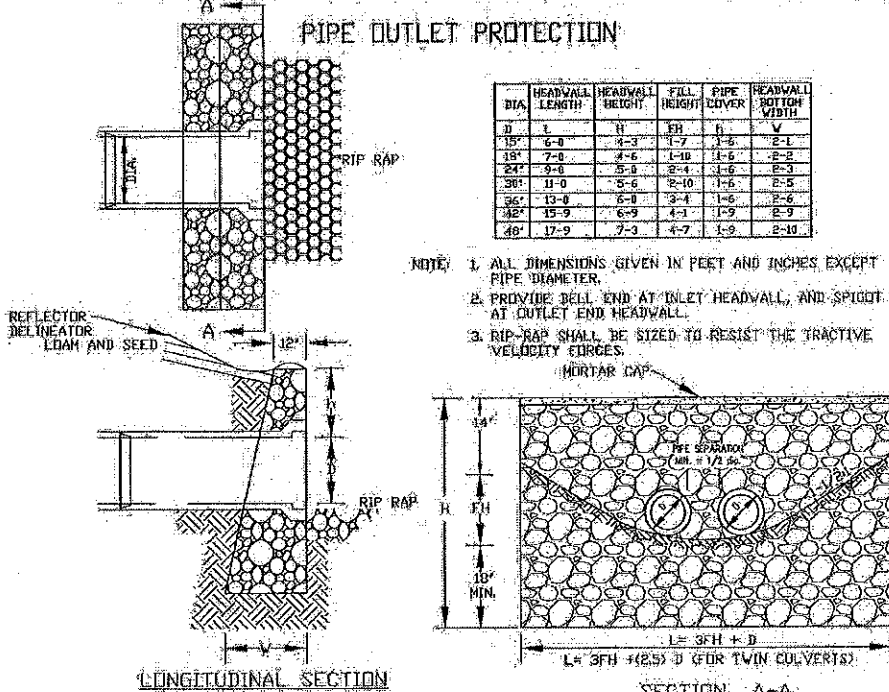
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24", 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



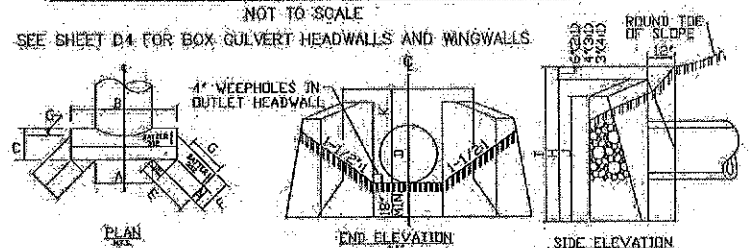
- CONSTRUCTION SPECIFICATIONS**
1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 3. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 4. STONE FOR RIP RAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
 5. STONE FRAGMENTS SHALL NOT BE LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
 6. FLAT ROCKS SHALL NOT BE USED FOR RIP RAP. VOIDS IN THE ROCK RIP RAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.
- MAINTENANCE**
1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

PIPE OUTLET PROTECTION



- NOTE: 1. ALL DIMENSIONS GIVEN IN FEET AND INCHES EXCEPT PIPE DIAMETER.
2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
3. RIP-RAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.

MORTAR RUBBLE MASONRY HEADWALL DETAIL

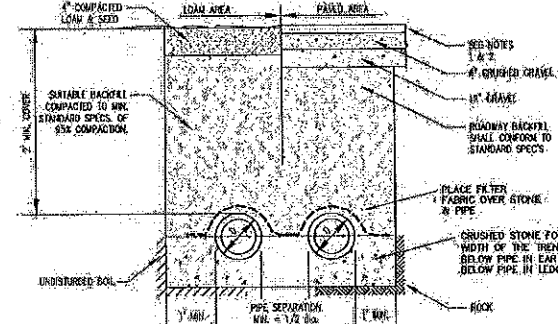


NOTE: DIMENSIONS SHOWN ARE TO PAVEMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAVEMENT LINES ON SLOPING FACES.

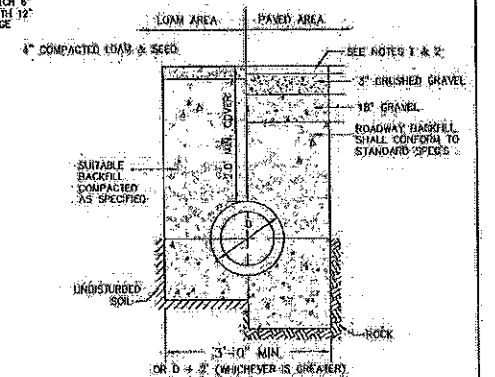
PIPE DIA.	A	B	C	D	E	F	G	H	I	J	K
24"	2-6	5-4	2-3	1-11	0-5	5-0	4-5	3-0	1-5		
30"	3-1	6-11	2-5	2-6	2-0	6-5	5-0	4-1	1-6		
36"	3-6	6-6	2-6	4-1	2-1	6-4	6-0	4-4	1-6		
42"	4-3	7-1	2-9	5-0	2-2	6-9	6-5	4-8	1-9		
48"	4-10	7-9	2-10	6-0	2-3	6-2	7-5	6-9	2-1	1-9	

MORTAR RUBBLE MASONRY HEADWALL W/ 45° WINGWALLS
NOT TO SCALE

TYPICAL DRAINAGE TRENCH DETAIL



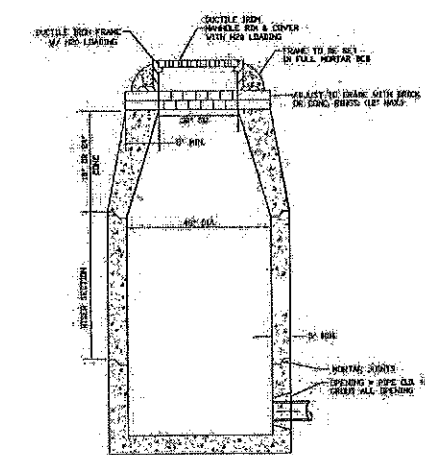
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.



- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.

TYPICAL DRAINAGE TRENCH

NOT TO SCALE

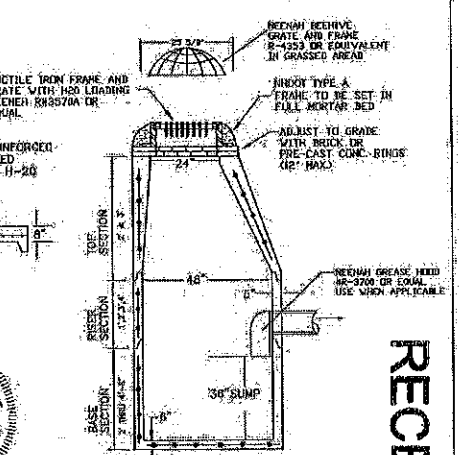


PRECAST DRAIN MANHOLE

NOT TO SCALE



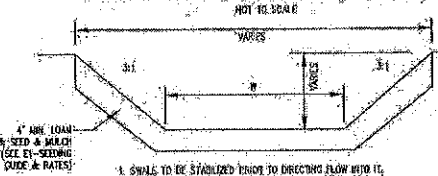
STATE OF NEW HAMPSHIRE
REGISTERED PROFESSIONAL ENGINEER
No. 10000
EXPIRES 12/31/2019



PRECAST CATCH BASIN

NOT TO SCALE

VEGETATED TREATMENT SWALE



MAINTENANCE

VEGETATED CHANNELS
DURING THE INITIAL ESTABLISHMENT PERIOD, FLOW SHOULD BE DIVERTED OUT OF THE CHANNEL IF AT ALL POSSIBLE TO ALLOW FOR A GOOD STAND OF GRASS. IF THIS IS NOT POSSIBLE USE MATTING. IN ANY CASE DURING THE ESTABLISHMENT PERIOD, THE CHANNEL SHOULD BE CHECKED PERIODICALLY TO DETERMINE IF THE GRASS IS STILL IN GOOD CONDITION AND IN PLACE. THE VEGETATION SHOULD BE FERTILIZED ON AN "AS-NEEDED" BASIS. THE CHANNEL SHOULD BE MOWED FREQUENTLY ENOUGH TO KEEP THE VEGETATION WOOLY AND TO CONTROL THE ENCROACHMENT OF WEEDS AND WOODY VEGETATION. AFTER THE VEGETATION HAS BECOME ESTABLISHED, THE CHANNEL SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO SEE IF DAMAGE HAS OCCURRED. ANY DAMAGED AREAS SHOULD BE REPAIRED AND RE-VEGETATED IMMEDIATELY.

REVISIONS:	DATE:

CONSTRUCTION DETAILS D1

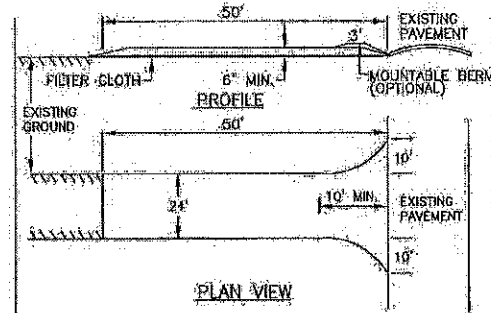
PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: MAY 2019 SCALE: 1"=100'
PROJ. NO.: NH-1144 SHEET NO.: 20 OF 37

RECEIVED

JUL 30 2019

LAND USE OFFICE



- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE-RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- TEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

TEMPORARY EROSION CONTROL MEASURES

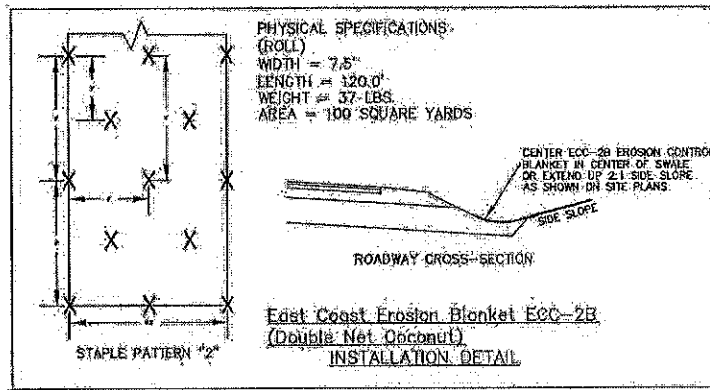
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT NO MORE THAN 6 ACRES OF LAND SHALL BE EXPOSED BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS.
- DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN 1.00 POUNDS OF SEED PER 1000 SQUARE FEET OF AREA. (48 POUNDS PER ACRE) SEE SPECIFICATIONS THIS SHEET.
- SILT FENCES AND OTHER EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT GREATER THAN 0.5" DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA RESTORED BY THE METHOD SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED WITHIN 3 DAYS OF FINAL GRADING. PERMANENTLY STABILIZED WITHIN 45 DAYS OF FINAL GRADING OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 65% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS RIPRAP HAS BEEN INSTALLED.
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION SPECIFICATIONS

- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- WHEN HAY BALES ARE USED, THE BALES SHALL BE EMBEDDED AT LEAST 4 INCHES INTO THE SOIL. WHEN TIMBER STRUCTURES ARE USED, THE TIMBER SHALL EXTEND AT LEAST 18" INTO THE SOIL.
- HAY OR STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAPLES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL TO THE BOTTOM.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
- STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED. THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
- THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
- THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSLATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

CONSTRUCTION SEQUENCE

- CUT AND REMOVE TREES IN CONSTRUCTION AREAS AS REQUIRED OR DIRECTED.
- CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED. EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY EARTH MOVING OPERATION AND PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE AND DISPOSED OF PER STATE AND LOCAL REGULATIONS.
- EXCAVATE AND STOCKPILE TOPSOIL/LOAM. ALL AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- CONSTRUCT TEMPORARY CULVERTS AS REQUIRED OR DIRECTED.
- CONSTRUCT THE ROADWAY/DRIVEWAYS AND ITS ASSOCIATED DRAINAGE STRUCTURES. ALL ROADWAYS, PARKING AREAS, AND CUT/FILL SLOPES SHALL BE STABILIZED AND/OR LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE AS APPLICABLE.
- INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED.
- DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY DRAINAGE CHECK DAMS, DITCHES, SEDIMENT TRAPS, ETC.
- PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS OR PROPERTY.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
- ALL INFILTRATION BASINS, GRAVEL WETLANDS, SWALES AND DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AND FULLY STABILIZED (INCLUDING STABILIZATION OF ALL AREAS CONTRIBUTING STORMWATER TO EACH GIVEN STRUCTURE) PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
- FINISH PAVING ALL ROADWAYS/DRIVEWAYS.
- LOI DISTURBANCE OTHER THAN THAT SHOWN ON THE APPROVED PLANS SHALL NOT COMMENCE UNTIL THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.



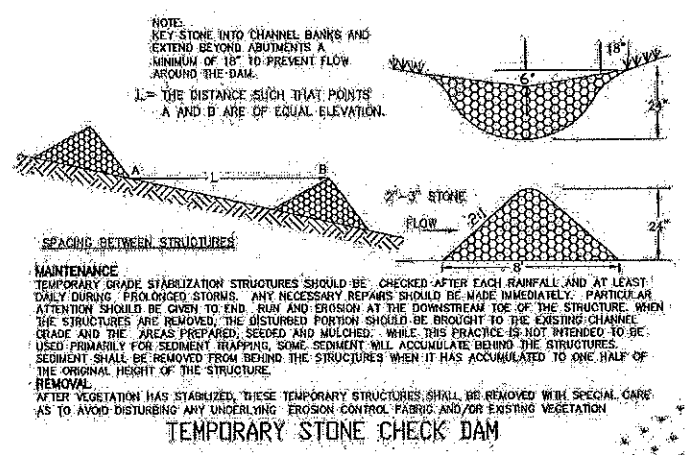
East Coast Erosion Blanket EOC-2B (Double Net Onconul) INSTALLATION DETAIL

WINTER MAINTENANCE

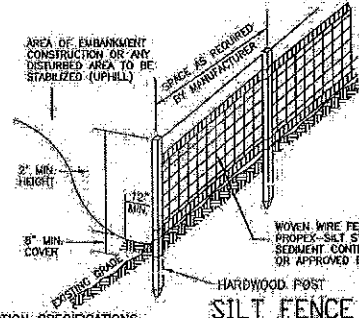
- ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED PRIOR TO SPRING THAW. ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
- ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
- PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO M1 DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE BETWEEN OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
- AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED AREAS SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING
 - SLOPES SHALL NOT BE STEEPER THAN 2:1:3:1 SLOPES OR FLATTER ARE PREFERRED, WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDING PREPARATION
 - SURFACE AND SEepage WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. RATES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT.
 - NITROGEN(N), 50 LBS PER ACRE OR 1.1 LBS PER 1,000 SQ. FT.
 - PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ. FT.
 - POTASH(K2O), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ. FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 25 INCH OF SOIL OR LESS, BY OUTPACKING OR RAKING.
 - REFER TO TABLE(E-1) THIS SHEET FOR APPROPRIATE SEED MIXTURES AND TABLE(E-2) THIS SHEET FOR SEEDING RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFLOE, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
 - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
- MULCH
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 80 LBS PER 1000 SQ. FT.
- MAINTENANCE TO ESTABLISH A STAND
 - PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON-SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.



TEMPORARY STONE CHECK DAM



SILT FENCE

- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8". THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 18" INTO THE GROUND.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF.
 - PLACE THE ENDS OF THE SILT FENCE UP CONTIGUOUS TO PROVIDE FOR SEDIMENT STORAGE.
 - SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

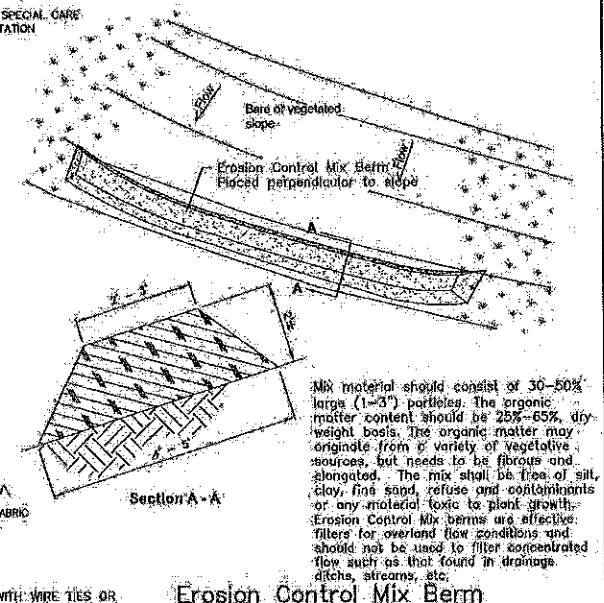
SEEDING GUIDE

USE	SEEDING MIXTURE 1/2	ROUGHLY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEP CUTS AND FILLS, BORROW AREAS	A	FAIR	GOOD	GOOD	FAIR
ROADWAYS AND DRIVEWAYS	B	POOR	GOOD	EXCELLENT	GOOD
WATERWAYS, EMERGENCY SPILLWAYS AND OTHER CHANNELS WITH FLOWING WATER	C	FAIR	FAIR	EXCELLENT	EXCELLENT
WATERWAYS, EMERGENCY SPILLWAYS AND OTHER CHANNELS WITH FLOWING WATER	D	GOOD	GOOD	GOOD	POOR
LIGHTLY USED PARKING AREAS AND LOW INTENSITY USE AREAS	E	GOOD	GOOD	EXCELLENT	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR SOO TURF)	F	FAIR	EXCELLENT	EXCELLENT	EXCELLENT

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR BATS AT A RATE OF 2.5 LBS PER 1000 SQ. FT. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



Erosion Control Mix Berm

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
GREENING RED FESCUE	20	0.45
RED TOP	2	0.02
TOTAL	42	0.92
B. TALL FESCUE	15	0.35
GREENING RED FESCUE	15	0.35
CROWN VETCH	15	0.35
OR FLAT PEA	30	0.75
TOTAL	60 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
GREENING RED FESCUE	20	0.45
BIRDS FOOT TREFLOE	5	0.25
TOTAL	45	1.15
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. GREENING RED FESCUE 1/2	30	0.75
WINTER BLUEGRASS 1/2	30	0.75
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.50

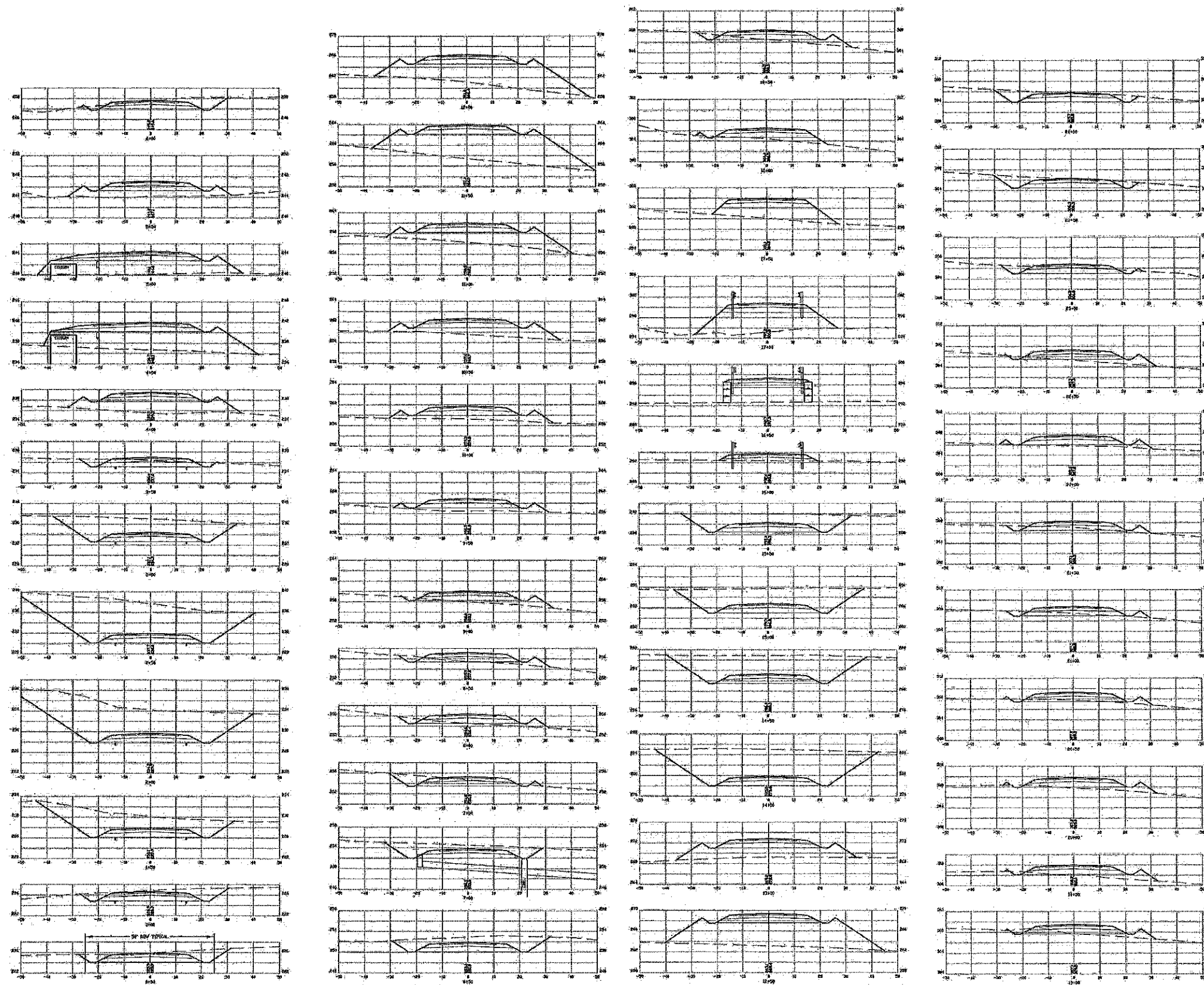
1/2 FOR LEAN USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT WIRELESS AND SEEDING RATES.

REVISED ROAD GRADES PER PER COMMENTS: 8-5-16
 REVISIONS: DATE:

EROSION & SEDIMENTATION
 PLAN FOR:
RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

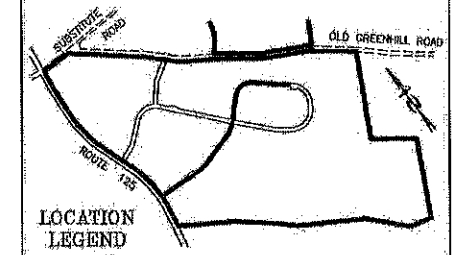
DATE: MAY 2019 SCALE: NONE
 PROJ. NO: NH-1144 SHEET NO: 31 OF 31

RECEIVED
 JUL 3 2019
 LAND USE OFFICE



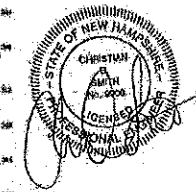
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860; FAX: 603-583-4863



NOTES
 1. FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS PLEASE REFER TO THE ROADWAY PROFILES.
 2. FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE SHEET 02.

LAND USE OFFICE
 JUL 3 2019
 RECEIVED

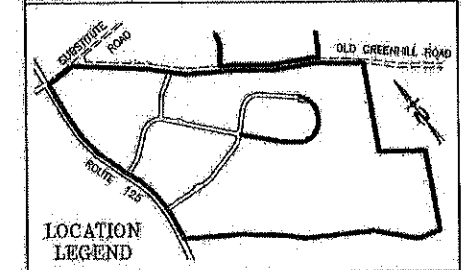


X-SECTION SCALES:
 HORIZONTAL: 1"=20' VERTICAL: 1"=40'

REVISED PER REVIEW COMMENTS	7-24-19
CROSS-SECTIONS XI	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1"=20'
PROJ. NO.: NH-1144	SHEET NO. 34 OF 37

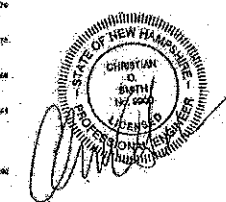
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

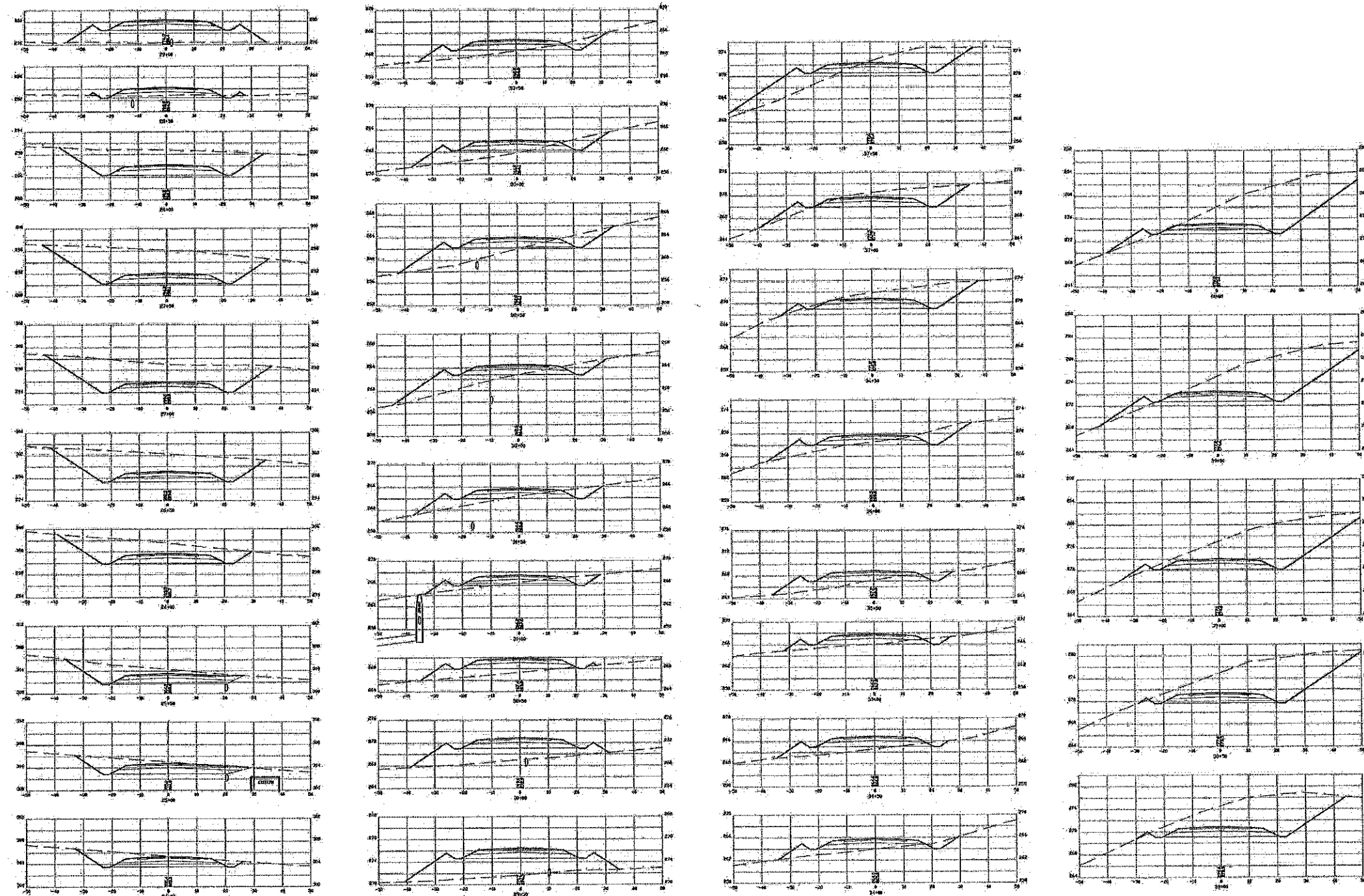


- NOTES
1. FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS PLEASE REFER TO THE ROADWAY PROFILES.
 2. FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE SHEET 30.

LAND USE OFFICE
 JUL 30
 RECEIVED



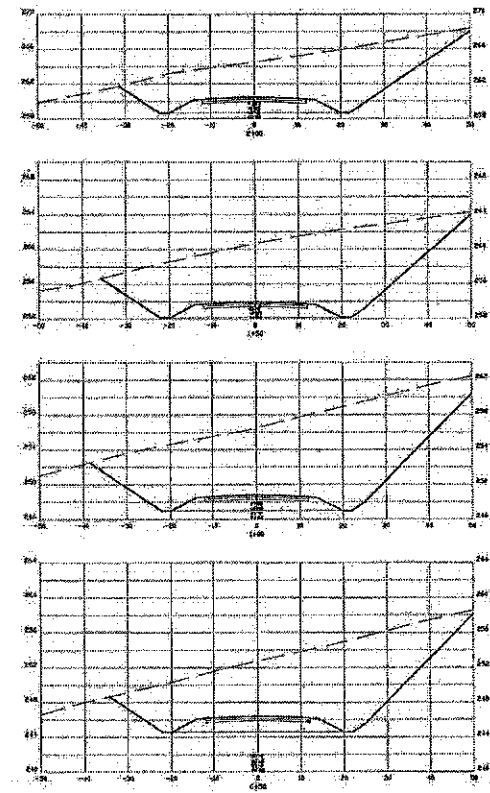
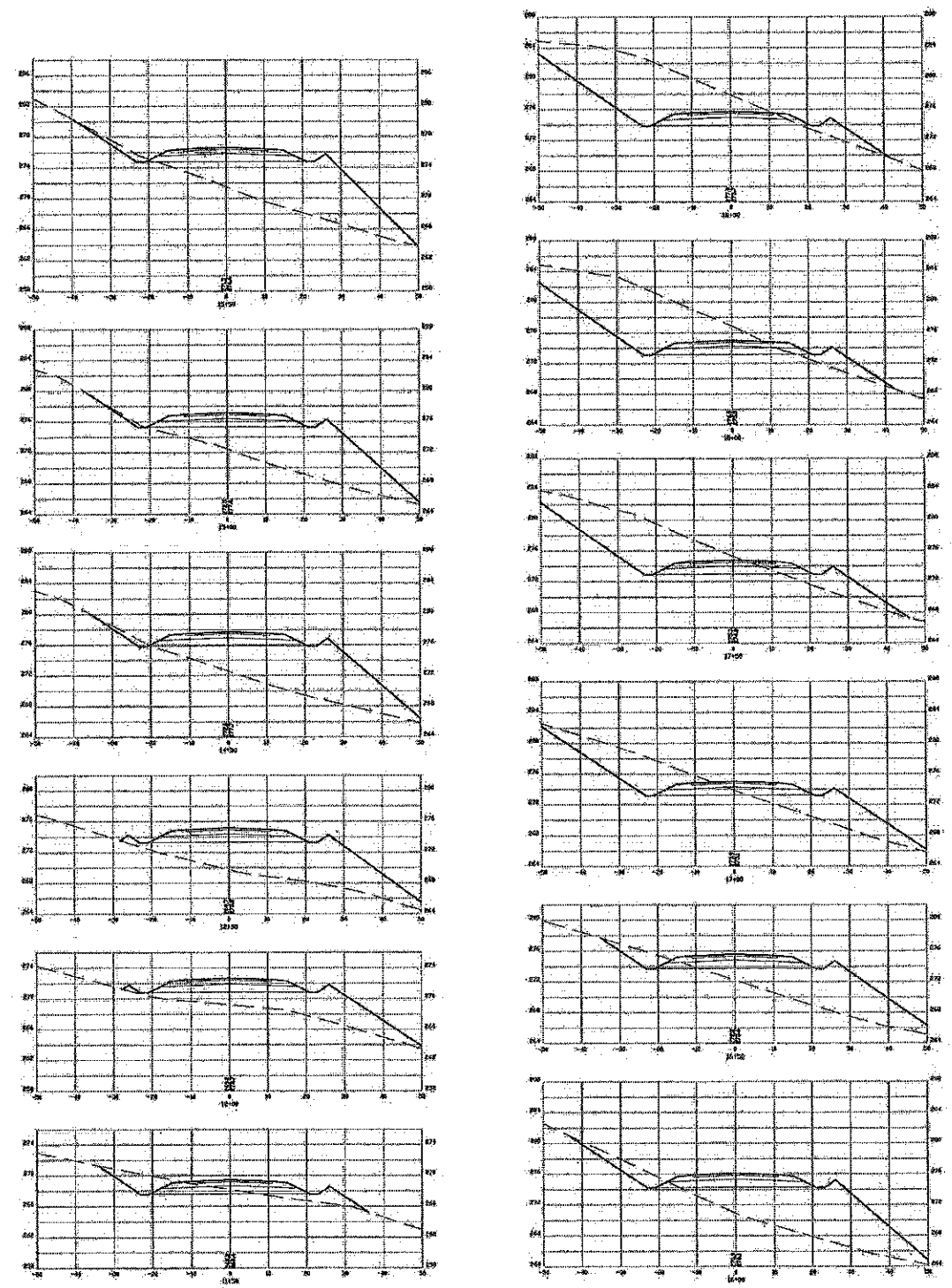
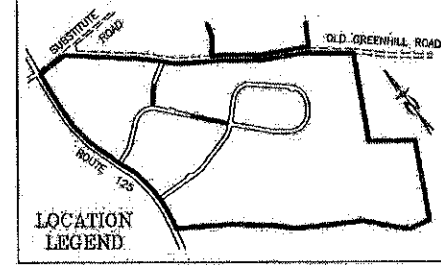
X-SECTION SCALES:
 HORIZONTAL: 1"=20' VERTICAL: 1"=10'



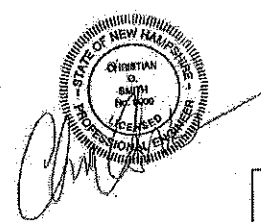
CROSS-SECTIONS X2	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 35 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LAND USE OFFICE
 JUL 3 -
 RECEIVED



X-SECTION SCALES:
 HORIZONTAL: 1"=10' VERTICAL: 1"=5'

CROSS-SECTIONS X4	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 37 OF 37