

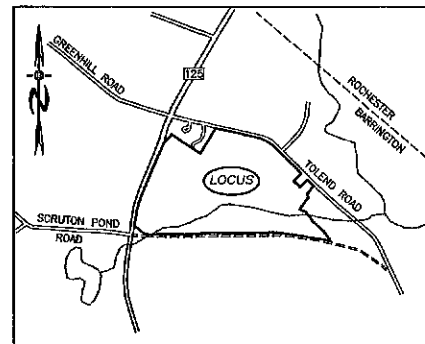
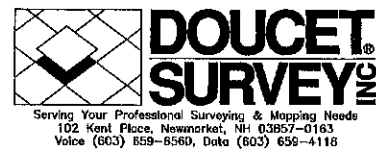
THE RIDGE AT GREENHILL SUBDIVISION OLD GREEN HILL ROAD/ROUTE 125

NOT FOR CONSTRUCTION

CIVIL ENGINEERS:



LAND SURVEYORS:



LOCATION MAP
1"=1500'

LAND USE OFFICE

JUN 27 2019

RECEIVED

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WETLAND / SOIL
CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

DEVELOPER:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

SIGNATURE	DATE
-----------	------

REQUIRED PERMITS

NHDES SUBDIVISION APPROVAL NUMBER: (PENDING)
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: (PENDING)
NHDES WETLANDS PERMIT APPROVAL NUMBER: (PENDING)
NHDOT DRIVEWAY ACCESS PERMIT (PENDING)

REVISIONS:	DATE:
REVISED ROAD GRADES PER PB COMMENTS	6-5-19
REVISED PER ENG. REVIEW COMMENTS	6-20-19

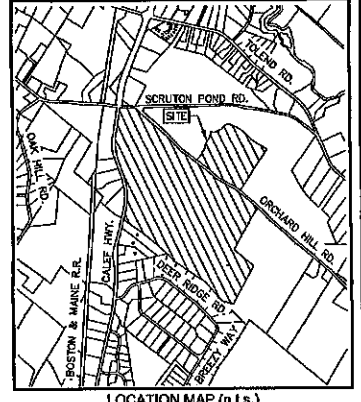
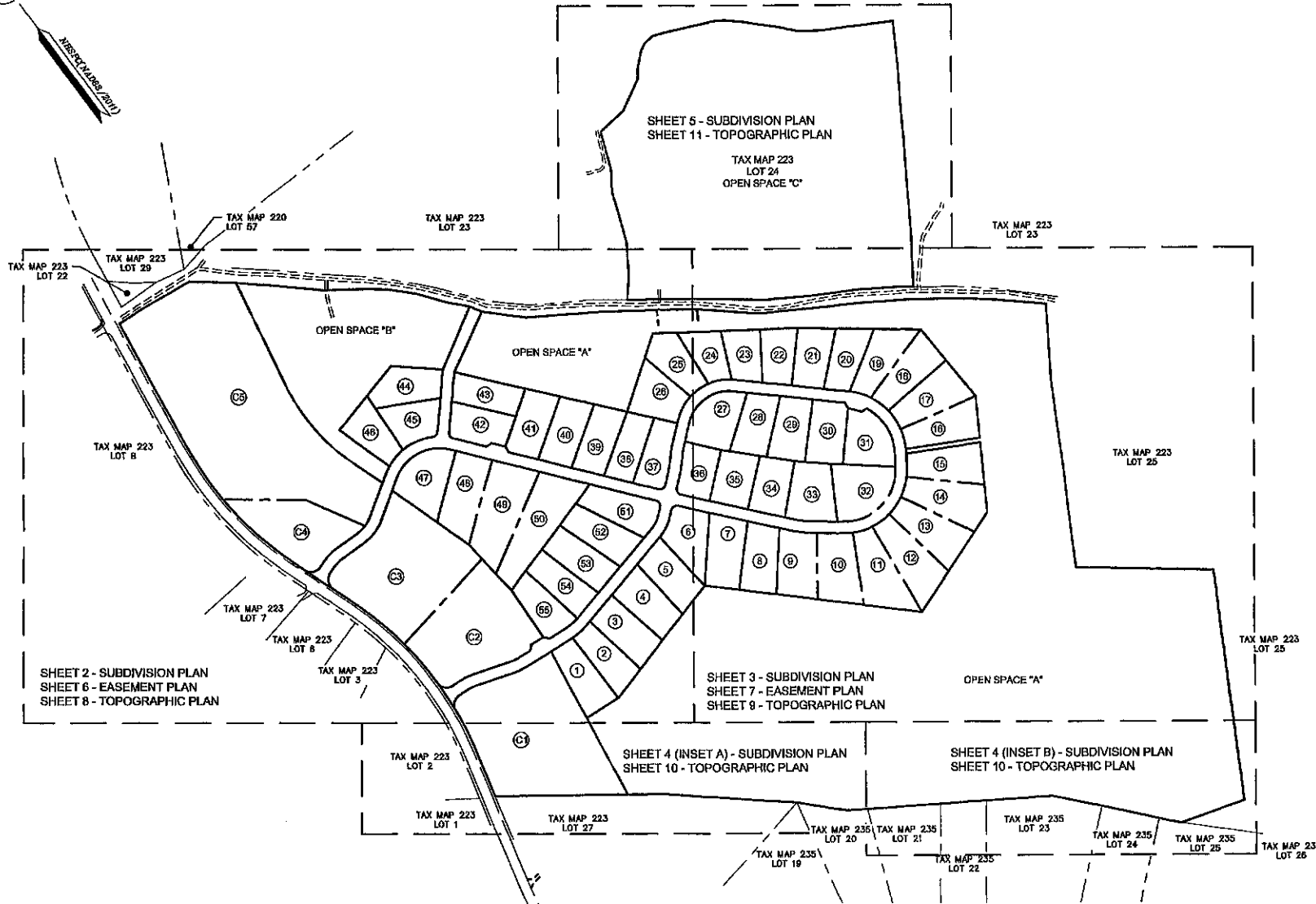
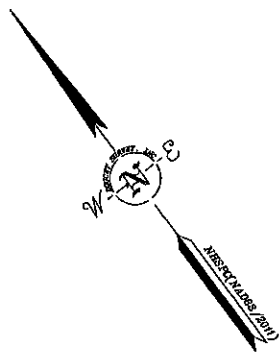
NH-1144 THE RIDGE AT GREENHILL
ISSUED MAY, 2019

SUBDIVISION PLAN NOTES:

1. REFERENCE: TAX MAP 223, LOTS 24 & 28
D.S.I. PROJECT NO. 5750
2. TOTAL PARCEL AREA: LOT 24-1,403,900 SQ. FT. OR 32.23 AC.
LOT 28-7,020,498 SQ. FT. OR 179.53 AC.
3. OWNER OF RECORD: RINA MYHRE, PAUL C. HELFGOTT & CAROL H. LEDOUX
4219 ALTA VISTA COURT
OCEANSHORE, CA 92057
S.C.R.D. BOOK 4082, PAGE 843
4. ZONE: REGIONAL COMMERCIAL
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA 40,000 sq.ft.
MIN. FRONTAGE 20 ft.
MIN. FRONT SETBACK 75 ft.
MIN. SIDE/REAR SETBACK 30 ft.
MAX. BUILDING HEIGHT 40 ft.
MAX. LOT COVERAGE 50 %
WETLAND SETBACKS 50 ft. (PRIME WETLANDS)
100 ft. (FRIME WETLANDS)
5. ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF BARRINGTON ZONING ORDINANCE DATED MARCH 13, 2018 AS AVAILABLE ON THE TOWN WEBSITE ON DECEMBER 18, 2018. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
6. FIELD SURVEY PERFORMED BY G.A.N. & S.M.F. DURING OCTOBER, NOVEMBER & DECEMBER 2018 USING A TRIMBLE 58 TOTAL STATION AND A TRIMBLE R10 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
7. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2018 IN ACCORDANCE TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
8. FLOOD HAZARD ZONE "X", PER FIRM MAP 33017C0305E, DATED 09/30/2016.
9. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS NETWORK.
10. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(GEOD12A) (+2.7) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS NETWORK.
11. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
12. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCOMPLETE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF ROUTE 125 & OLD GREEN HILL ROAD AS OBLITERATED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE TOWN OF BARRINGTON, STRAFFORD COUNTY REGISTRY OF DEEDS AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
13. ROUTE 125/CALEF HIGHWAY IS A 4 ROD (60' WIDE) RIGHT OF WAY PER REFERENCE PLAN #1. OLD GREEN HILL ROAD IS A CLASS V ROAD CLOSED SUBJECT TO DATES AND BARS, SEE 1989 WARRANT ARTICLE 20A.
14. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY, INC. FOR CLARIFICATION OF MONUMENTS SET. (A RECORDED PLAN WILL BE PRODUCED AT THE DISCRETION OF DOUCET SURVEY, INC.).
15. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH, CALL DIG-SAFE AT 1-800-486-5846.
16. AERIAL TOPOGRAPHY WAS CONDUCTED BY EASTERN TOPOGRAPHS FROM IMAGES TAKEN DURING MAY 2003 WITH A PHOTO SCALE OF 1"=475'. LOCATIONS SHOWN WITHIN OBLITERATED AREAS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE USE FOR DESIGN OR CONSTRUCTION PURPOSES.
17. TAX MAP 223, LOT 28 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 750, PAGE 171, ACTUAL LOCATION UNKNOWN.
B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 729, PAGE 219, ACTUAL LOCATION UNKNOWN.
18. CEMETERY SUBJECT TO N.H.R.S.A. 288:3, IF NEW CONSTRUCTION, EXCAVATION, OR BUILDING IN THE AREA OF A KNOWN BURIAL SITE SHALL COMPLY WITH LOCAL ZONING. IN ABSENCE OF SUCH REGULATIONS NO NEW CONSTRUCTION, EXCAVATION, OR BUILDING SHALL BE CONDUCTED WITHIN 25' OF THE BOUNDARY OF THE BURIAL GROUND.

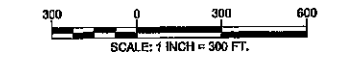
REFERENCE PLANS:

1. "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED UPGRADE PROJECT (CONTRACT BETTERMENT) S-2172, N.H. PROJECT NO. S-2095, CALEF RD. (N.H. 125), DATED 7-22-76, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
2. "BOUNDARY PLAN OF LAND IN BARRINGTON, NEW HAMPSHIRE BELONGING TO M.D. & G.D. HELFGOTT", BY GLE & SINGER LAND SURVEYS, DATED SEPTEMBER 14, 1971, S.C.R.D. POCKET #9, FOLDER #1, PLAN #33, 33A, 33B, 33C & 33D.
3. "SUBDIVISION PLAN PREPARED FOR WCV INC., OF LAND IN THE NAME OF ANTONIO G. RIZZO AND CHERYL M. RIZZO OF MAP 12, LOT 06, LOCATED AT ROUTE 125, COUNTY OF STRAFFORD, BARRINGTON, NH", BY DAVID W. VINCENT LAND SURVEYING SERVICES, DATED MAY 16, 2002, S.C.R.D. PLAN #97-17.
4. "WEDGEWOOD ESTATES PLAN OF LAND IN BARRINGTON, NH. PREPARED FOR WILBUR G. ALLEN", BY ROBERT G. COLBATH SURVEYOR, DATED JULY 2, 1994, S.C.R.D. PLAN #24A-132 & 24A-133.
5. "SUBDIVISION OF LAND PREPARED FOR JIM AND SUSANNE JAGIELSKI, 17 DEER RIDGE DRIVE, BARRINGTON, NH, BY MCCOENEY SURVEY ASSOCIATES, INC., DATED SEPTEMBER 12, 1997, S.C.R.D. PLAN #51-100.
6. "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 019-1(0), N.H. PROJECT NO. S-2095-A, N.H. ROUTE 125-CALEF ROAD", DATED 9-28-77, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
7. "SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR VAN E. HERTTEL", BY NORTH COUNTRY SURVEYORS, DATED MAY 16, 1990, S.C.R.D. PLAN #38-131.
8. "SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR KEITH WESTON & THOMAS OELONG", BY NORTH COUNTRY SURVEYORS, DATED JUNE 30, 1992, S.C.R.D. PLAN #41-70.
9. "SUBDIVISION OF LAND FOR BRUCE WILLIAMS ASSOCIATES, INC.", BY WHITE MOUNTAIN SURVEY COMPANY, DATED APRIL 28, 1983, S.C.R.D. PLAN #24-21 & 22.



- LEGEND**
- LOT LINE
 - PROPOSED LOT LINE
 - BUILDING SETBACK LINE
 - WETLAND SETBACK LINE
 - ZONE LINE
 - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMAINT STONE WALL
 - EDGE OF WETLAND
 - STREAM
 - BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - 4"x4" GRANITE BOUND TO BE SET
 - 6"x6" REBAR W/O CAP TO BE SET
 - BOUND FOUND
 - DRILL HOLE SET
 - DRILL HOLE FOUND
 - BARGED WIRE
 - CONCRETE
 - GRANITE
 - DRILL HOLE
 - WETLAND SYMBOL

- LEGEND (EASTERN TOPOGRAPHS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - BRIDGE
 - PAVEMENT OBLITERATED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBLITERATED
 - FENCE OBLITERATED
 - WALL OBLITERATED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT

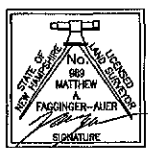


SUBDIVISION PLAN
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 28)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

LAND USE OFFICE
JUN 27 2019
RECEIVED

ADJUTERS LIST:

- | | | | | | | | | | | | | | | | | |
|---|---|--|--|--|---|---|---|--|---|---|---|--|---|---|---|--|
| TAX MAP 228 LOT 57
TOWN OF BARRINGTON
PO BOX 680
BARRINGTON, NH 03825
S.C.R.D. BOOK 4384 PAGE 430 | TAX MAP 223 LOT 8
ATLANTIC TRADE PARK LLC
PO BOX 451
NEW CASTLE, NH 03854
S.C.R.D. BOOK 3743 PAGE 145 | TAX MAP 223 LOT 12
LIT PROPERTY MGMT LLC
PO BOX 703
BARRINGTON, NH 03825
S.C.R.D. BOOK 3780 PAGE 989 | TAX MAP 223 LOT 24
246 REAL ESTATE HOLDINGS LLC
24 SERENITY WAY
BARRINGTON, NH 03825
S.C.R.D. BOOK 3028 PAGE 750 | TAX MAP 223 LOT 25
RAYMOND LAFRANCE
1030 LUCAS WAY
PALMER, AK 99645 | TAX MAP 223 LOT 27
NOT PARCEL INFORMATION
AVAILABLE FOR THE TOWN
OF BARRINGTON | TAX MAP 223 LOT 28
BOSTON & MAINE RR &
GULFPORT TRANSPORT INC &
IRON HORSE PK
NORTH BILLERICA, MA 01862 | TAX MAP 223 LOT 29
CHESTNUT WOODS LLC
79 EMERY LN
STRATHAM, NH 03880 | TAX MAP 235 LOT 19
RINA MYHRE & PAUL C HELFGOTT &
CAROL H LEDOUX (1/3 EA)
4219 ALTA VISTA CT
OCEANSHORE, CA 92057
S.C.R.D. BOOK 4082 PAGE 843 | TAX MAP 235 LOT 20
CALLUM COCHRAN
53 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 4579 PAGE 982 | TAX MAP 235 LOT 21
DAVID J & KATHLEEN M SARTORIUS
63 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 4506 PAGE 281 | TAX MAP 235 LOT 22
KEP & KAREN LACHAPPELLE
87 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 1902 PAGE 63 | TAX MAP 235 LOT 23
JAMES E & STEVEN E &
KIMBERLY D CONNICK
324 DEN QUARRY RD
LYNN, MA 01904
S.C.R.D. BOOK 4307 PAGE 531 | TAX MAP 235 LOT 24
BASIL & DONNA PHOPOLOS
47 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 4310 PAGE 127 | TAX MAP 235 LOT 25
JIM & SUSANNE JAGIELSKI
103 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 1539 PAGE 252 | TAX MAP 235 LOT 26
TOSON NEHRMAN & ALLISON ROBERTS
111 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 2834 PAGE 445 | TAX MAP 235 LOT 27
DAMIEN & MARY ELLEN
87 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 1444 PAGE 117 |
|---|---|--|--|--|---|---|---|--|---|---|---|--|---|---|---|--|



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

M.A. FAGUNDES-ALIER
DATE 6/7/19 L.L.S. #989

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

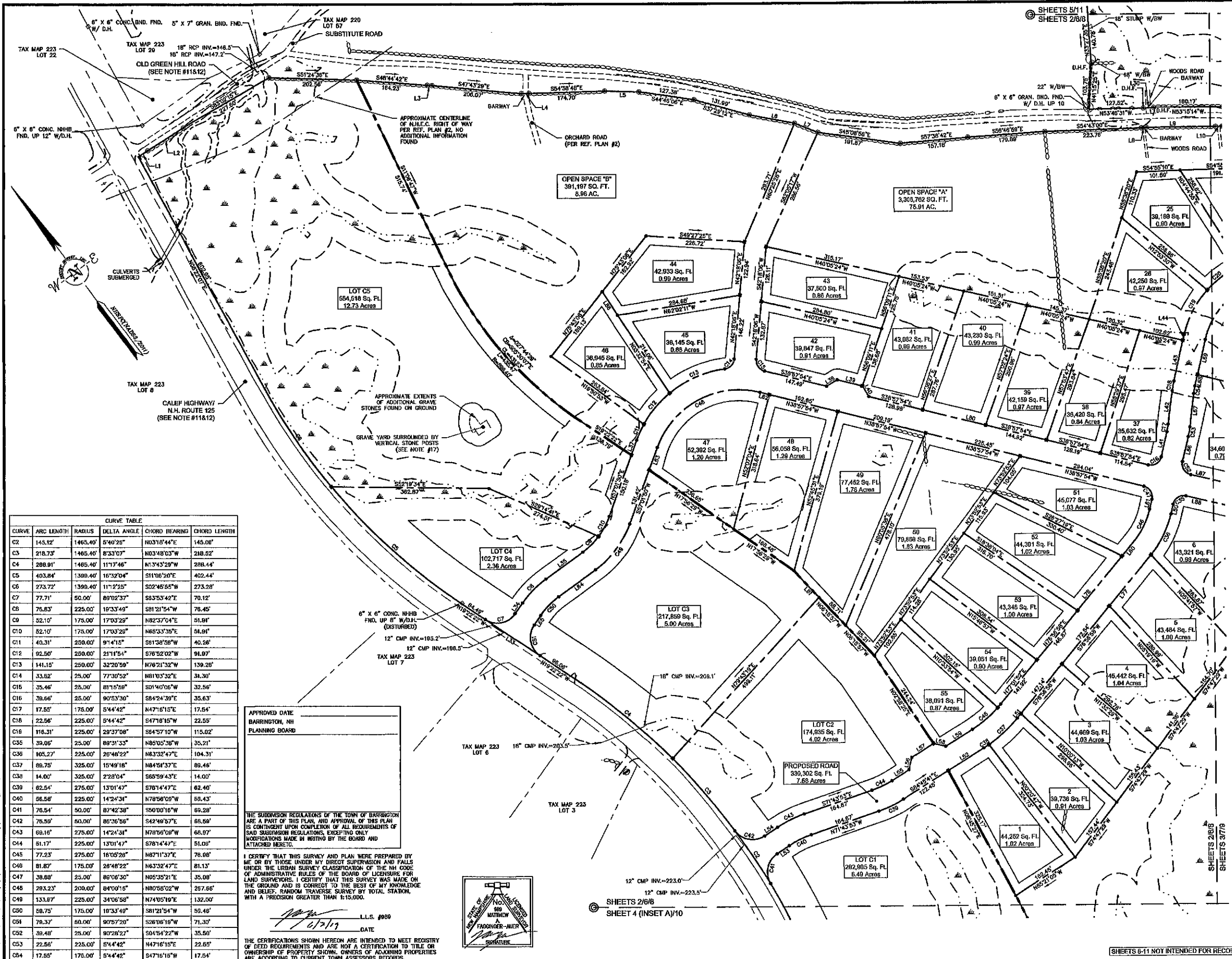
APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750B
JOB NO.:	6750	SHEET	1 OF 11

DOUCET SURVEY
Sending Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6580
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storers Street (Riverway Bldg) Kennebunk, ME (207) 662-7006
http://www.doucetsurvey.com

SHEETS 8-11 NOT INTENDED FOR RECORDING



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	145.12'	1465.40'	5°40'25"	N0318°44'E	145.06'
C3	218.73'	1465.40'	8°33'07"	N0348°03'W	218.52'
C4	288.91'	1465.40'	11°17'46"	N1343°29'W	288.44'
C5	403.84'	1398.40'	16°32'04"	S1106°20'E	402.44'
C6	273.72'	1398.40'	11°22'25"	S0246°58'W	273.28'
C7	77.71'	50.00'	89°02'37"	S83°53'42'E	70.12'
C8	76.83'	225.00'	15°33'49"	S81°21'54'W	76.45'
C9	32.10'	175.00'	17°03'29"	N82°57'04'E	51.91'
C10	52.10'	175.00'	17°03'29"	N85°33'35'E	51.91'
C11	40.31'	250.00'	9°14'15"	S81°38'58'W	40.26'
C12	92.50'	250.00'	21°11'54"	S76°52'02'W	91.97'
C13	141.15'	250.00'	32°20'59"	N78°21'32'W	139.20'
C14	33.82'	25.00'	77°30'52"	N81°03'32'E	31.30'
C15	35.46'	25.00'	81°15'28"	S01°40'06'W	32.56'
C16	39.66'	25.00'	90°53'30"	S84°24'39'E	35.63'
C17	17.55'	175.00'	5°44'42"	N47°16'15'E	17.54'
C18	22.56'	225.00'	5°44'42"	S47°16'15'W	22.55'
C18	116.31'	225.00'	29°37'08"	S84°57'10'W	115.02'
C35	39.06'	25.00'	89°31'33"	N85°05'38'W	35.21'
C36	105.27'	225.00'	28°48'22"	N83°32'47'E	104.31'
C37	89.75'	325.00'	15°49'18"	N84°51'37'E	89.46'
C38	14.00'	325.00'	2°28'04"	S85°59'43'E	14.00'
C39	82.54'	275.00'	13°01'47"	S78°14'47'E	82.40'
C40	86.58'	225.00'	14°24'31"	N78°58'09'W	86.43'
C41	76.54'	50.00'	87°42'38"	S90°00'16'W	69.28'
C42	76.59'	50.00'	86°36'56"	S42°46'57'E	66.59'
C43	69.15'	275.00'	14°24'31"	N78°58'09'W	68.97'
C44	51.17'	225.00'	13°01'47"	S78°14'47'E	51.05'
C45	77.23'	275.00'	16°05'28"	N87°11'37'E	76.98'
C46	81.87'	175.00'	28°48'22"	N83°32'47'E	81.13'
C47	38.68'	25.00'	89°06'30"	N05°35'21'E	35.08'
C48	293.23'	200.00'	84°00'15"	N80°58'02'W	287.66'
C49	133.87'	225.00'	34°06'58"	N74°05'19'E	132.00'
C50	59.75'	175.00'	18°33'49"	S81°21'54'W	59.40'
C51	78.37'	60.00'	90°57'20"	S26°06'19'W	71.30'
C52	39.48'	25.00'	80°28'27"	S04°54'22'W	35.50'
C53	22.56'	225.00'	5°44'42"	N47°16'15'E	22.55'
C54	17.55'	175.00'	5°44'42"	S47°16'15'W	17.54'

APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

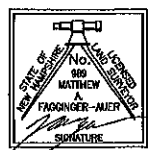
THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN REPLYING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

DATE 01/27/19

L.L.S. #899

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



LINE	BEARING	DISTANCE
L1	S85°35'58"E	25.38'
L2	S65°38'58"E	97.05'
L3	S48°28'32"E	80.81'
L4	S54°09'18"E	18.07'
L5	S51°25'30"E	78.00'
L6	S42°27'16"E	106.10'
L7	S31°29'03"E	57.95'
L8	S57°56'29"E	11.15'
L9	S83°28'02"E	160.20'
L10	S55°25'34"E	15.41'
L30	S55°32'10"E	24.15'
L33	N19°22'22"W	150.02'
L34	N71°34'59"W	29.27'
L35	N88°51'12"W	104.63'
L37	N57°04'50"E	36.11'
L38	N83°57'54"W	28.26'
L39	S38°57'64"E	60.00'
L40	S06°02'05"W	28.28'
L41	S50°06'36"W	58.54'
L42	S44°23'54"W	77.22'
L43	S50°06'36"W	95.97'
L44	S50°06'36"W	13.74'
L50	S50°06'36"W	22.81'
L51	N78°58'58"W	13.20'
L52	S84°45'41"E	96.89'
L53	S86°08'25"E	33.71'
L54	S86°08'25"E	35.14'
L55	S84°45'40"E	47.13'
L56	S50°14'18"W	28.38'
L57	S84°45'41"E	60.00'
L58	S39°45'41"E	28.28'
L59	S84°45'41"E	72.20'
L60	S76°56'58"W	45.00'
L61	S50°06'36"W	23.17'
L62	S38°57'54"E	22.28'
L66	S50°06'36"W	58.91'
L67	S44°23'54"W	77.22'
L68	S50°06'36"W	26.48'
L69	S50°06'36"W	63.23'
L77	S76°56'58"W	151.92'
L78	N76°56'58"W	161.55'
L80	S38°57'54"E	149.16'
L81	N06°18'57"W	83.88'
L87	N40°18'11"W	124.80'
L88	N40°18'11"W	124.80'

LAND USE OFFICE

JUN 27 2019

RECEIVED

SCALE: 1 INCH = 100 FT.

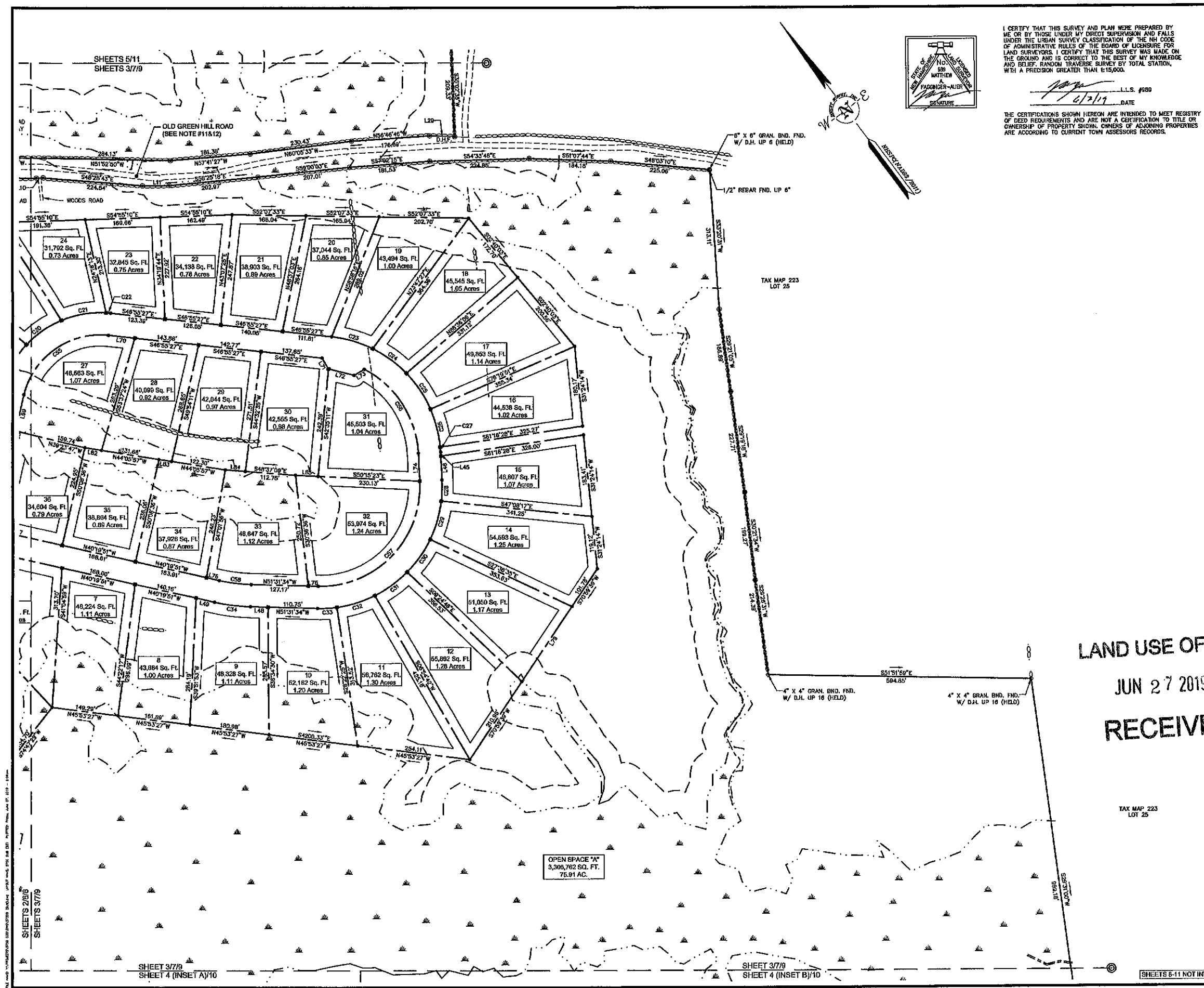
SUBDIVISION PLAN
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 26)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5760B
JOB NO.:	8750	SHEET	2 OF 11

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SHEETS 6-11 NOT INTENDED FOR RECORDING



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

DATE: 6/2/19 L.L.S. #989

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C20	96.28'	225.00'	24°30'46"	N87°58'53"W	95.53'
C21	102.58'	225.00'	26°07'14"	N82°39'53"W	101.69'
C22	10.52'	225.00'	2°40'45"	N49°15'51"W	10.52'
C23	95.82'	275.00'	20°11'32"	N36°49'42"W	88.41'
C24	84.96'	275.00'	19°47'05"	N16°50'23"W	84.48'
C25	97.40'	275.00'	20°17'38"	N03°11'58"E	96.90'
C26	88.55'	275.00'	18°27'00"	N22°34'17"E	85.17'
C27	11.08'	275.00'	2°18'40"	N32°57'07"E	11.09'
C28	47.32'	275.00'	8°51'33"	N39°02'14"E	47.28'
C29	90.41'	275.00'	18°50'10"	N53°23'05"E	90.00'
C30	90.41'	275.00'	18°50'10"	N72°13'15"E	90.00'
C31	90.41'	275.00'	18°50'10"	S85°36'35"E	90.00'
C32	90.41'	275.00'	18°50'10"	S70°05'29"E	90.00'
C33	43.98'	275.00'	9°09'46"	S55°06'27"E	43.93'
C34	83.04'	425.00'	11°11'43"	S45°55'43"E	82.91'
C35	253.30'	175.00'	82°55'57"	N88°23'28"W	231.76'
C36	235.16'	225.00'	59°52'58"	N04°09'58"E	224.60'
C37	370.98'	225.00'	94°21'59"	N81°17'27"E	330.09'
C38	73.27'	375.00'	11°11'43"	S45°55'43"E	73.16'

LINE TABLE		
LINE	BEARING	DISTANCE
L10	S55°25'34"E	15.41'
L11	S53°31'39"E	59.19'
L29	S50°45'00"E	55.83'
L45	S34°06'27"W	8.98'
L46	S34°06'27"W	53.60'
L48	N51°31'34"W	38.82'
L49	N40°19'51"W	43.18'
L70	N46°55'27"W	60.01'
L71	N06°17'24"E	28.35'
L72	N38°42'36"W	60.00'
L73	N83°42'36"W	26.97'
L74	S34°06'27"W	62.58'
L75	N51°31'34"W	22.47'
L76	S40°19'51"E	28.70'

APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONJUNCT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

SCALE: 1 INCH = 100 FT.

LAND USE OFFICE
JUN 27 2019
RECEIVED

SUBDIVISION PLAN
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 26)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: E.D.P. DATE: MAY 6, 2019
CHECKED BY: M.W.F. DRAWING NO.: 5750B
JOB NO.: 5750 SHEET 3 OF 11

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SHEETS 8-11 NOT INTENDED FOR RECORDING

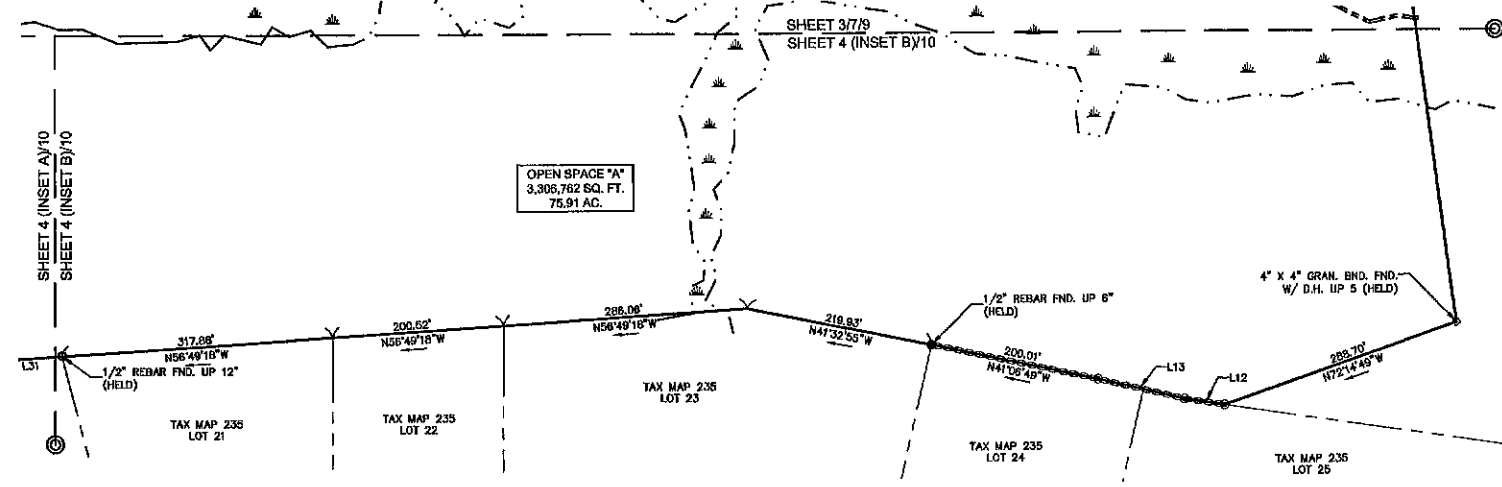
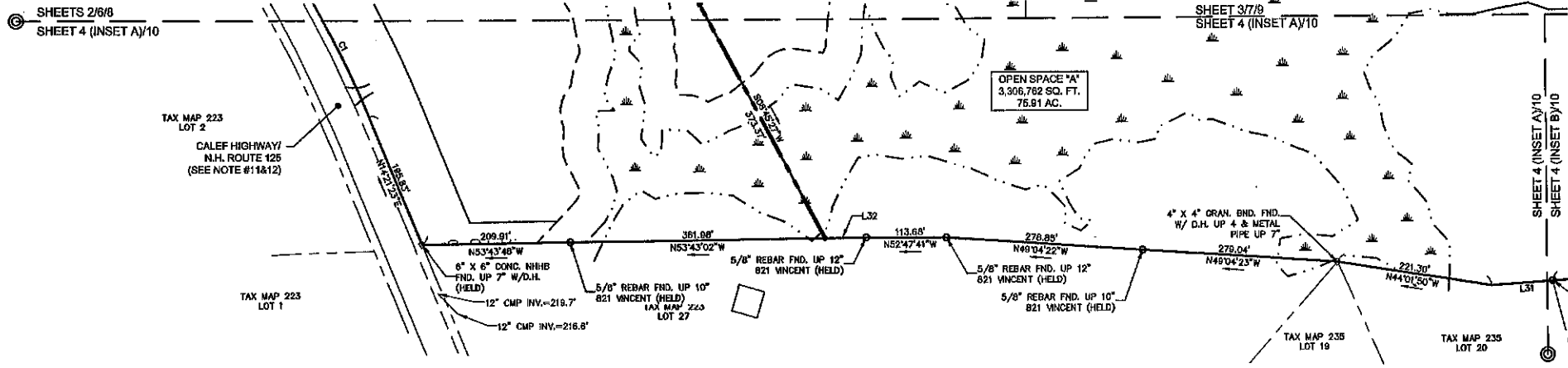
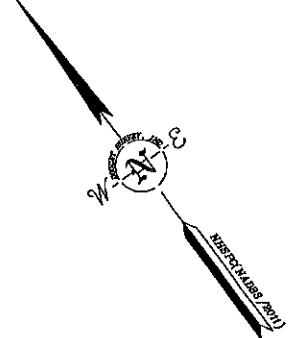
SHEETS 2/9/9
SHEETS 3/7/9

SHEET 3/7/9
SHEET 4 (INSET A)/10

SHEET 3/7/9
SHEET 4 (INSET B)/10

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	209.91'	1465.40'	81°2'26"	N101°9'10"E	209.73'

LINE TABLE		
LINE	BEARING	DISTANCE
L12	N44°31'27"W	48.66'
L13	N39°36'05"W	104.00'
L31	N56°49'18"W	87.94'
L32	N53°43'02"W	56.06'



LAND USE OFFICE
 JUN 27 2019
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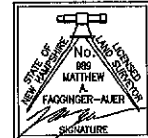


SUBDIVISION PLAN
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750B
JOB NO.:	5750	SHEET	4 OF 11

APPROVED DATE
 BARRINGTON, NH
 PLANNING BOARD



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Matthew A. Fagnier-Alex
 L.L.S. #980
 DATE: 6/2/19

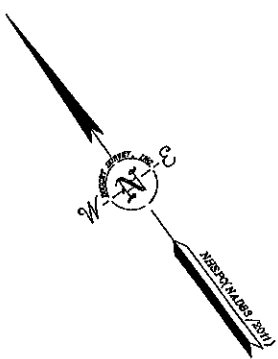
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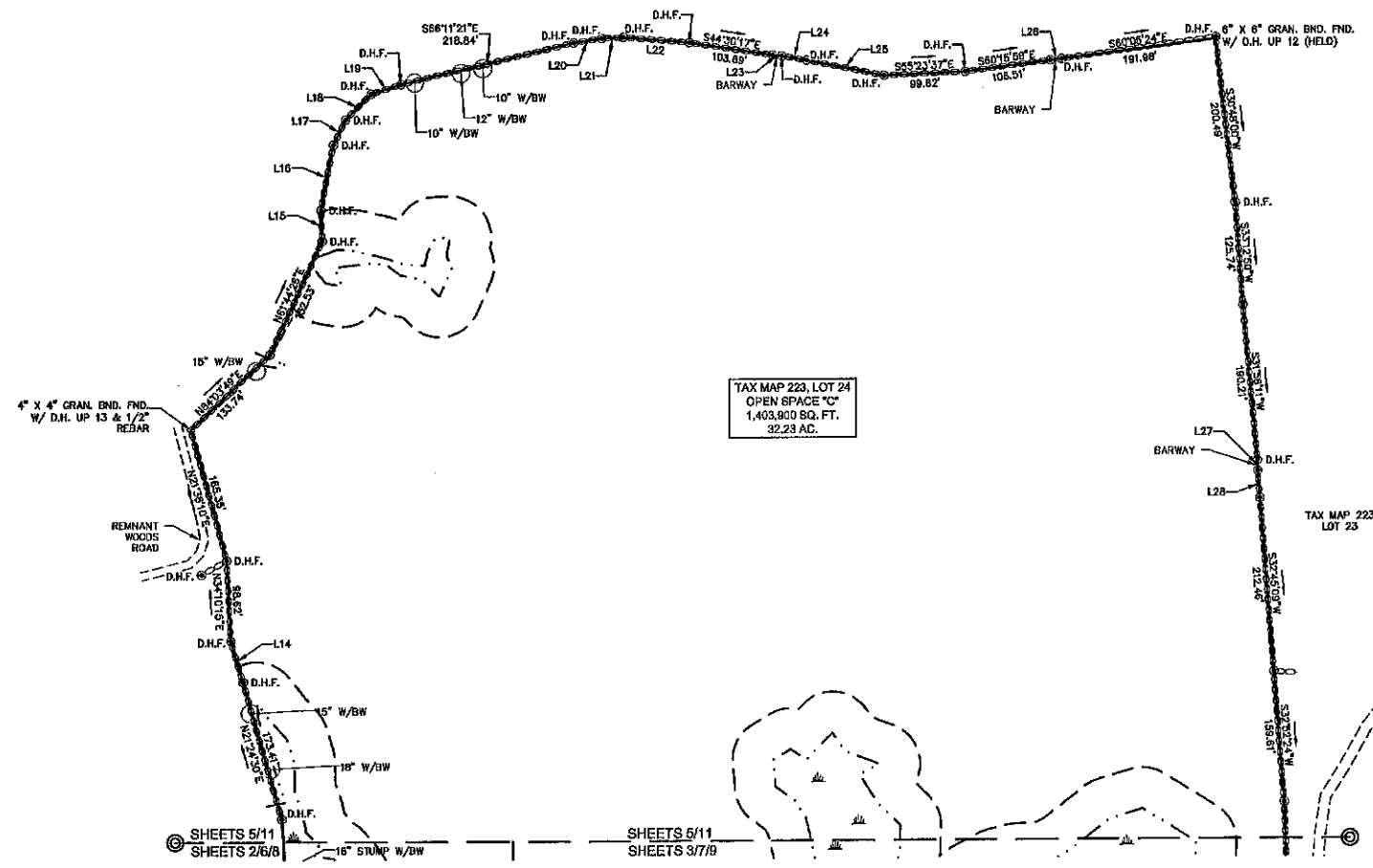
SHEETS 6-11 NOT INTENDED FOR RECORDING

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PLANNING BOARD APPROVED DATE: MAY 6, 2019. DRAWN BY: E.D.P. CHECKED BY: M.W.F. DATE: 6/2/19. L.L.S. #980.



LINE TABLE		
LINE	BEARING	DISTANCE
L14	S20°16'44"W	52.77'
L15	S34°57'03"W	37.69'
L16	S48°16'42"W	81.16'
L17	S63°13'54"W	34.02'
L18	S82°48'18"W	44.89'
L19	N70°01'07"W	38.87'
L20	N61°27'24"W	36.09'
L21	N55°44'34"W	27.60'
L22	N48°01'16"W	81.30'
L23	N47°03'41"W	11.30'
L24	N43°07'52"W	31.54'
L25	N41°38'46"W	98.76'
L26	N59°41'00"W	14.23'
L27	N36°38'48"E	12.68'
L28	N32°51'04"E	33.14'



LAND USE OFFICE
 JUN 27 2019
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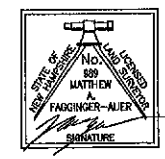
SUBDIVISION PLAN
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 28)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: E.D.P.	DATE: MAY 6, 2019
CHECKED BY: M.W.F.	DRAWING NO.: 6760B
JOB NO.: 6760	SHEET 6 OF 11

APPROVED DATE
 BARRINGTON, NH
 PLANNING BOARD

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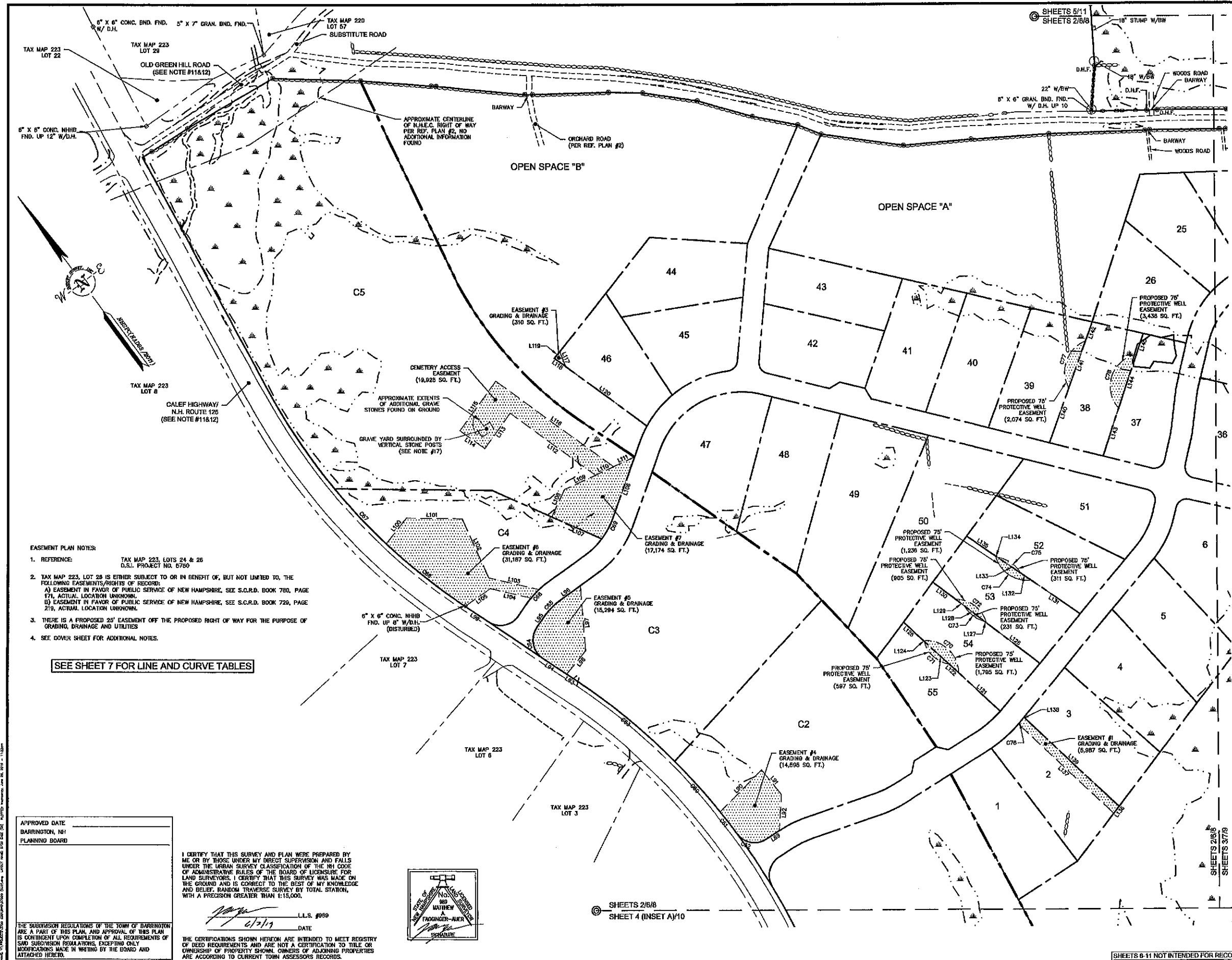
 MATHIEW FADINGER-AUER
 L.L.S. #989
 DATE 6/2/19

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[SHEETS 6-11 NOT INTENDED FOR RECORDING]

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- LEGEND**
- LOT LINE
 - - - PROPOSED LOT LINE
 - - - PROPOSED EASEMENT LINE
 - - - ZONE LINE
 - - - APPROXIMATE ABUTTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - - - EDGE OF WETLAND
 - - - STREAM
 - BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - PROPOSED 75' PROTECTIVE WELL RADIUS
 - LOT #
- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - BRIDGE
 - PAVEMENT OBSCURED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSCURED
 - FENCE OBSCURED
 - WALL OBSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT

LAND USE OFFICE
 JUN 27 2019
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EASEMENT PLAN
"THE RIDGE AT GREEN HILL"
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	67508
JOB NO.:	5760	SHEET:	6 OF 11

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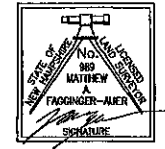
- EASEMENT PLAN NOTES:**
- REFERENCE: TAX MAP 223, LOTS 24 & 26 D.S.L. PROJECT NO. 6760
 - TAX MAP 223, LOT 28 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
 A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 780, PAGE 171, ACTUAL LOCATION UNKNOWN.
 B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 729, PAGE 219, ACTUAL LOCATION UNKNOWN.
 - THERE IS A PROPOSED 25' EASEMENT OFF THE PROPOSED RIGHT OF WAY FOR THE PURPOSE OF GRADING, DRAINAGE AND UTILITIES
 - SEE COVER SHEET FOR ADDITIONAL NOTES.

SEE SHEET 7 FOR LINE AND CURVE TABLES

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

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 L.L.S. #990
 DATE: 6/2/19

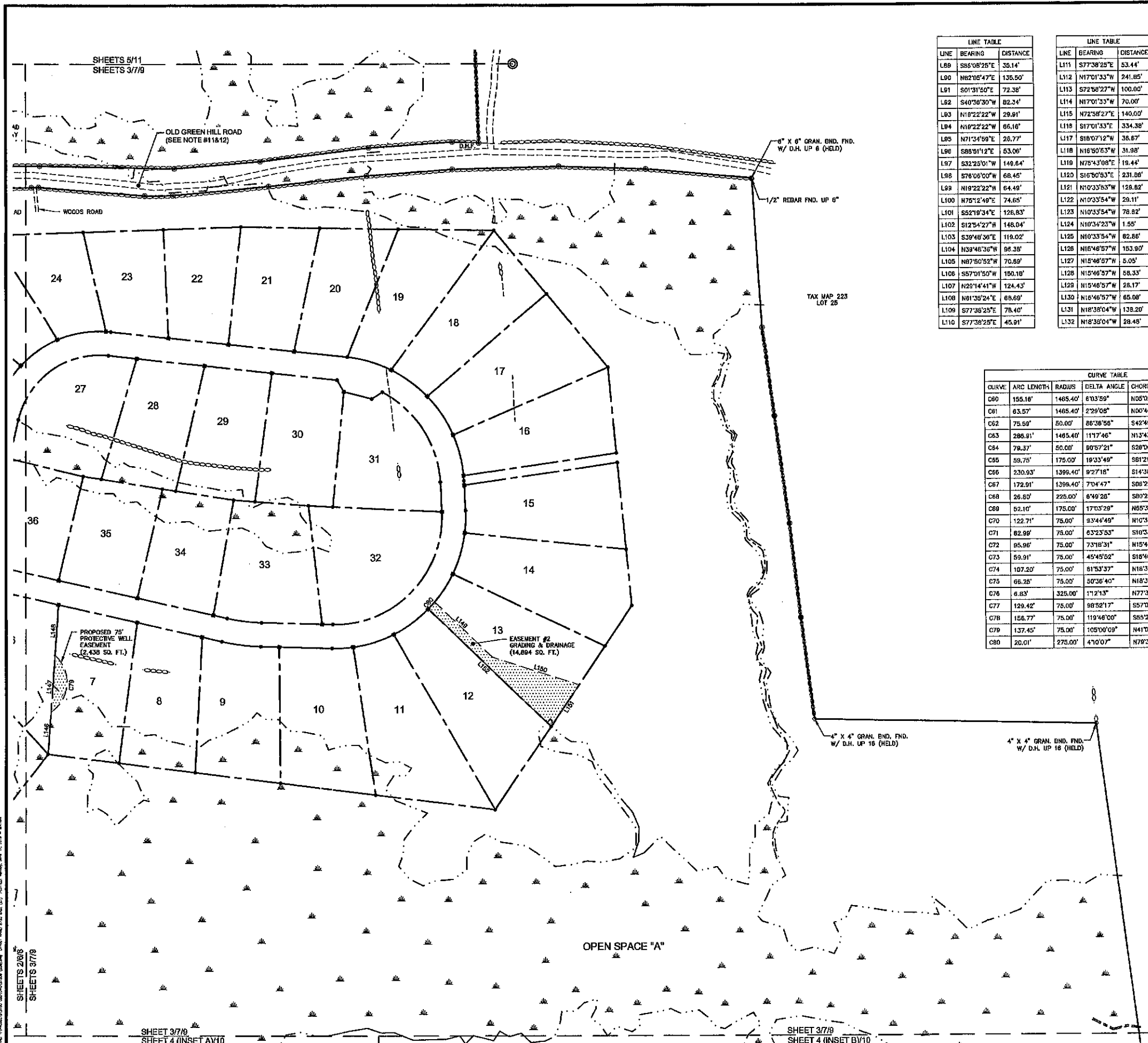


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SHEETS 2/6/8
 SHEET 4 (INSET A)/10

SHEETS 6-11 NOT INTENDED FOR RECORDING

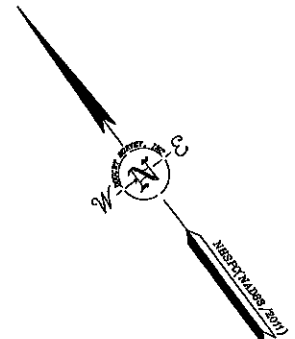


LINE	BEARING	DISTANCE
L88	S85°06'26"E	33.14'
L89	N82°05'47"E	135.50'
L91	S01°31'50"E	72.38'
L92	S40°36'30"W	82.34'
L93	N18°22'22"W	29.91'
L94	N18°22'22"W	66.16'
L95	N71°34'59"E	26.77'
L96	S85°01'12"E	53.06'
L97	S32°25'01"W	149.64'
L98	S76°06'00"W	68.45'
L99	N18°22'22"W	64.49'
L100	N75°12'49"E	74.65'
L101	S52°19'34"E	126.83'
L102	S12°54'27"W	148.04'
L103	S39°46'36"E	119.02'
L104	N39°46'36"W	96.35'
L105	N87°50'52"W	70.85'
L106	S57°01'50"W	190.18'
L107	N25°14'41"W	124.43'
L108	N81°35'24"E	65.66'
L109	S77°38'25"E	78.40'
L110	S77°38'25"E	45.91'

LINE	BEARING	DISTANCE
L111	S77°38'28"E	53.44'
L112	N17°01'33"W	241.85'
L113	S72°58'27"W	100.00'
L114	N17°01'33"W	70.00'
L115	N72°58'27"E	140.00'
L116	S17°01'33"E	334.38'
L117	S18°07'12"W	38.67'
L118	N16°50'53"W	31.98'
L119	N75°43'08"E	19.44'
L120	S16°50'53"E	231.80'
L121	N10°33'53"W	128.82'
L122	N10°33'54"W	29.11'
L123	N10°33'54"W	78.82'
L124	N10°33'53"W	1.55'
L125	N10°33'54"W	82.86'
L126	N16°46'57"W	153.90'
L127	N15°46'57"W	5.05'
L128	N15°46'57"W	58.33'
L129	N15°46'57"W	28.17'
L130	N16°46'57"W	85.08'
L131	N18°38'04"W	138.20'
L132	N18°38'04"W	28.48'

LINE	BEARING	DISTANCE
L133	N18°38'04"W	64.12'
L134	N18°38'04"W	5.70'
L135	N18°38'04"W	80.19'
L136	N74°47'29"E	20.08'
L137	N10°00'13"W	299.79'
L138	N76°58'58"E	13.20'
L139	S10°00'13"E	298.86'
L140	N57°03'47"E	133.64'
L141	N57°03'47"E	113.95'
L142	N57°03'47"E	46.35'
L143	N55°28'37"E	115.37'
L144	N55°28'37"E	129.75'
L145	N55°28'37"E	50.35'
L146	N41°04'59"E	98.01'
L147	N41°04'59"E	119.01'
L148	N41°04'59"E	105.69'
L149	S09°24'46"E	167.38'
L150	S35°22'48"E	191.30'
L151	S70°59'38"W	105.24'
L152	N09°24'46"W	356.53'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C60	155.16'	1465.40'	8°03'59"	N05°02'37"W	155.08'
C61	63.57'	1465.40'	2°29'08"	N00°46'03"W	63.57'
C62	75.59'	50.00'	86°38'56"	S42°49'57"E	68.59'
C63	286.91'	1465.40'	11°17'46"	N13°43'29"W	288.44'
C64	78.37'	50.00'	80°57'21"	S28°06'19"W	71.30'
C65	59.75'	175.00'	18°33'49"	S81°21'54"W	59.49'
C66	230.93'	1399.40'	9°27'18"	S14°38'43"E	230.87'
C67	172.91'	1399.40'	7°04'47"	S06°22'41"E	172.80'
C68	26.80'	225.00'	6°49'28"	S89°23'58"W	26.79'
C69	52.10'	175.00'	17°03'28"	N65°33'35"E	51.91'
C70	122.71'	75.00'	33°44'49"	N10°33'55"W	109.48'
C71	82.99'	75.00'	63°23'53"	S10°33'54"E	78.82'
C72	95.96'	75.00'	73°18'31"	N15°46'57"W	89.55'
C73	59.91'	75.00'	45°45'52"	S18°46'57"E	56.33'
C74	107.20'	75.00'	81°53'37"	N18°38'04"W	98.30'
C75	66.26'	75.00'	50°36'40"	N18°38'04"W	64.12'
C76	6.83'	325.00'	1°12'13"	N77°33'04"E	6.83'
C77	129.42'	75.00'	98°52'17"	S57°03'47"W	113.95'
C78	156.77'	75.00'	119°46'00"	S55°28'37"W	129.75'
C79	137.45'	75.00'	105°00'09"	N41°04'59"E	119.01'
C80	20.01'	275.00'	4°10'07"	N79°33'17"E	20.00'



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

Matthew A. Fagnano
 L.L.S. #899
 DATE: 6/27/19

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY. SIGNED OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



LAND USE OFFICE
 JUN 27 2019
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TAX MAP 223
 LOT 25

EASEMENT PLAN
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: E.D.P. DATE: MAY 6, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 5750R
 JOB NO.: 5750 SHEET 7 OF 11

DOUCET SURVEY
 Solving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 859-8550
 2 Commadore Drive (Suite 202) Bedford, NH 03110 (603) 614-0060
 10 Storers Street (River View Suits) Kennebunk, ME (207) 602-7005
<http://www.doucetsurvey.com>

SHEETS 8-11 NOT INTENDED FOR RECORDING

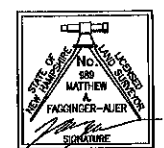
SHEETS 2/8/8
 SHEETS 3/7/8
 SHEET 3/7/8
 SHEET 4 (INSET A)/10
 SHEET 3/7/8
 SHEET 4 (INSET B)/10



- LEGEND**
- LOT LINE
 - - - - - APPROXIMATE ABUTTERS LOT LINE
 - STONE WALL
 - - - - - REMNANT STONE WALL
 - - - - - EDGE OF WETLAND
 - STREAM
 - TREE STUMP
 - DECIDUOUS TREE
 - CATCH BASIN
 - BARBED WIRE
 - CONCRETE
 - GRANITE
 - WETLAND SYMBOL

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - GUARDRAIL
 - BRIDGE
 - PAVEMENT OBSCURED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSCURED
 - PAINTED LINE
 - FENCE OBSCURED
 - WALL OBSCURED
 - STONEMALL
 - BROOK/STREAM
 - SWAMP LAKE
 - CULVERT HEADWALL
 - DITCH
 - WATER OBSCURED
 - TREE LINE
 - BRUSH
 - DENSE WOOD LIMIT
 - ROCK OUTLINE
 - ROCK OUTCROP
 - GUARDRAIL OBSCURED
 - CULVERT OBSCURED
 - UTILITY POLE
 - OBSCURED UPOLE
 - SWAMP GRASS
 - MEDIUM LONE TREE
 - SPOT ELEVATION

LAND USE OFFICE
 JUN 27 2010
 RECEIVED



TOPOGRAPHIC PLAN
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2010
CHECKED BY:	M.W.F.	DRAWING NO.:	5750S
JOB NO.:	5750	SHEET:	8 OF 11

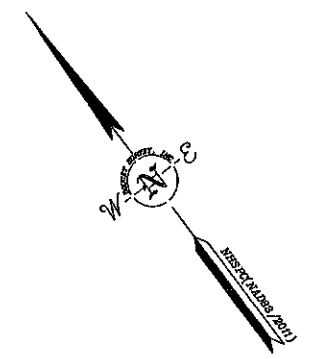


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 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4680
 10 Starer Street (RiverView Salls) Kennebunk, ME (207) 602-7005
<http://www.doucetsurveying.com>

SHEETS 7-10 NOT INTENDED FOR RECORDING

SHEETS 2/6/8
 SHEET 4 (INSET A)/10

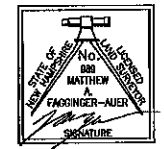
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LAND USE OFFICE

JUN 27 2019

RECEIVED



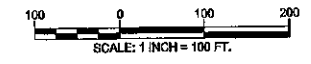
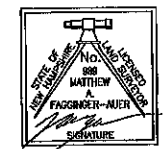
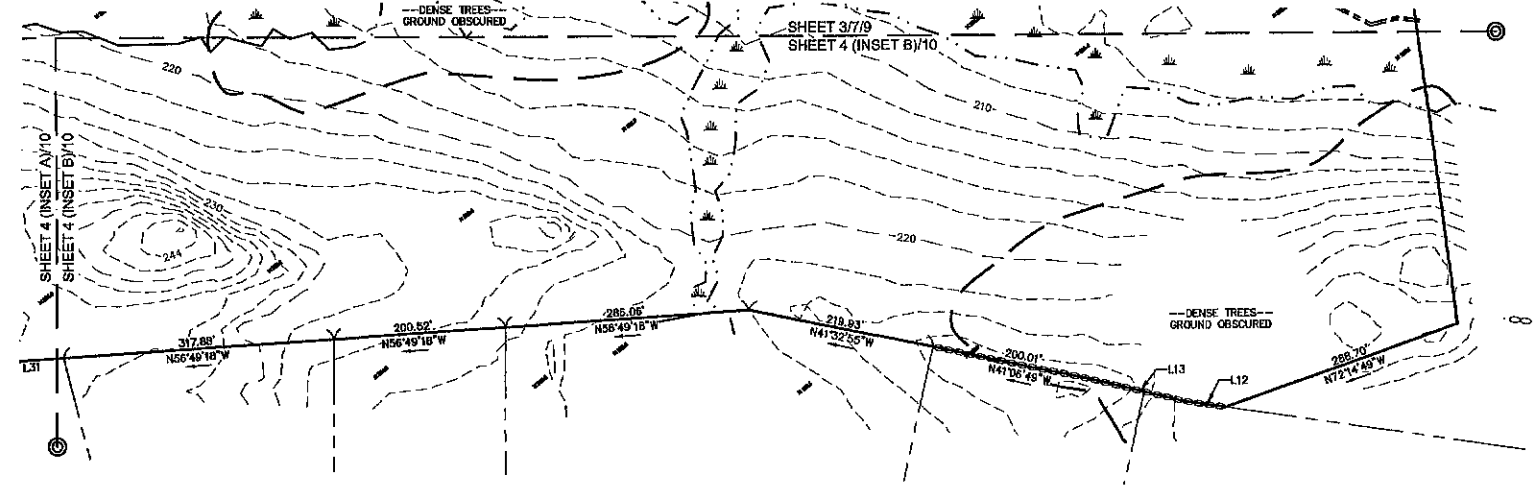
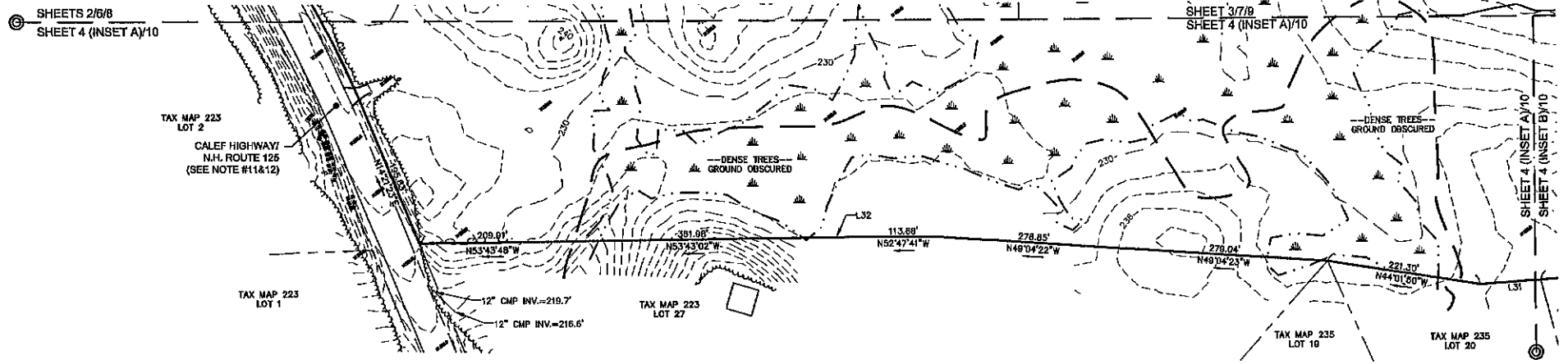
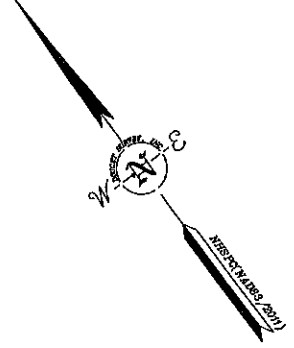
TOPOGRAPHIC PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
**PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX**
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750B
JOB NO.:	5750	SHEET	9 OF 11

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 102 Kent Plaza, Newmarket, NH 03857 (503) 859-6630
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 814-4060
 10 Siora Street (Riverview Suite) Kennebunk, ME (207) 592-7005
<http://www.doucetsurvey.com>

DATE PLOTTED: 05/20/19 11:58 AM
 PLOTTER: HP DesignJet T1100PS
 PLOT SCALE: 1" = 100'
 PLOT SHEET: 9 OF 11



TOPOGRAPHIC PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

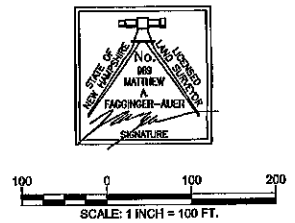
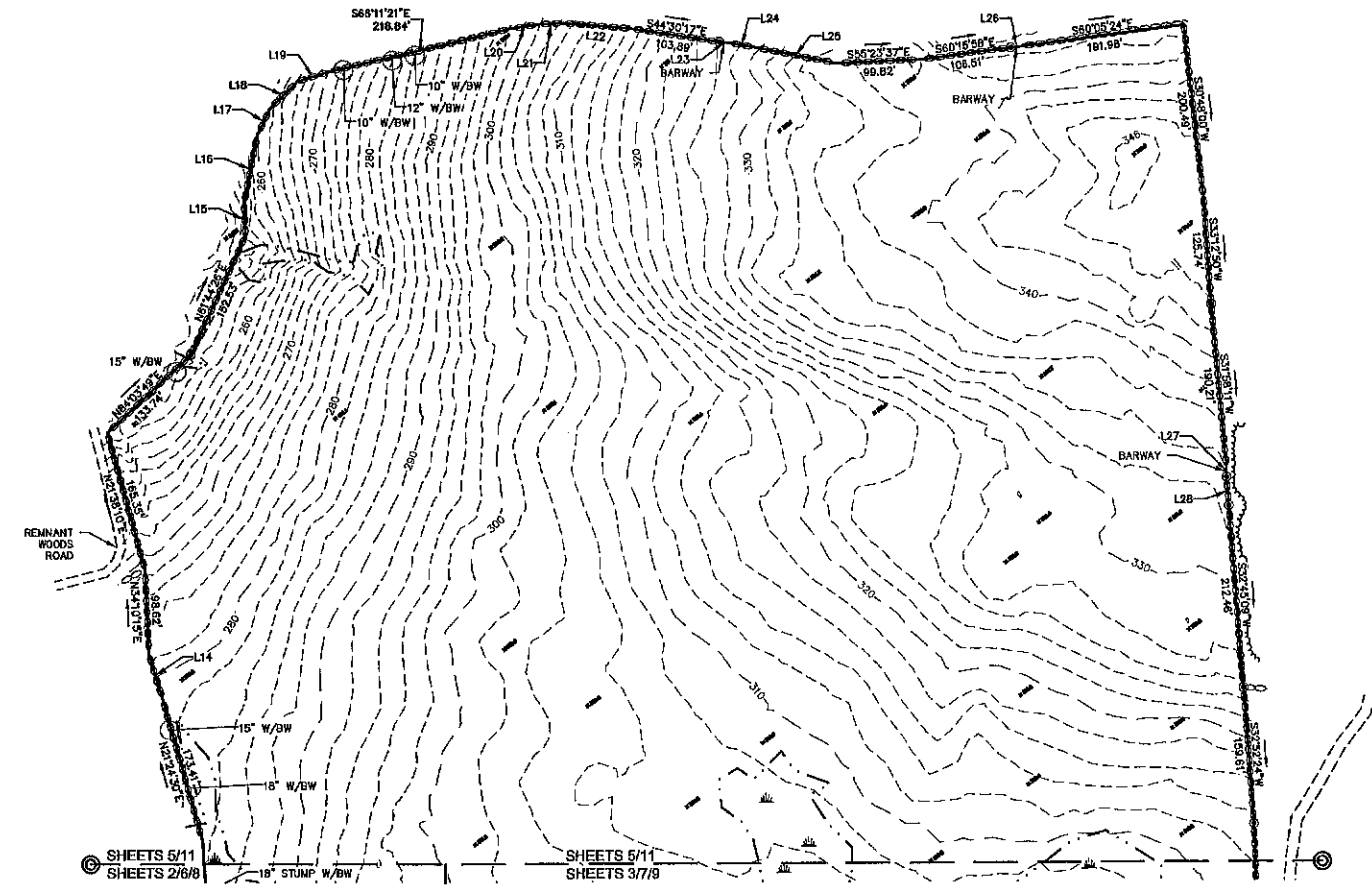
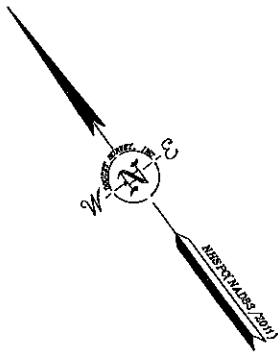
DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	6760B
JOB NO.:	6750	SHEET:	10 OF 11

LAND USE OFFICE
 JUN 27 2019
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 102 Kent Plaza, Portsmouth, NH 03857 (603) 850-8500
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 814-4060
 10 Stone Street (Riverview Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>

P:\2019\6750\6750.dwg (1/1) 6/11/2019 10:00:00 AM



TOPOGRAPHIC PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

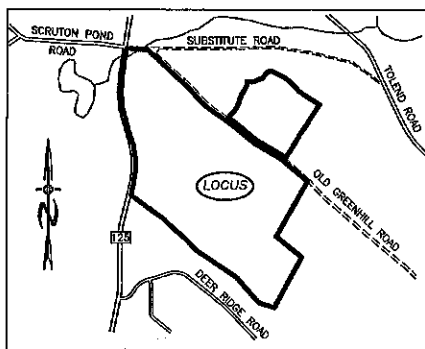
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.O.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5750B
JOB NO.:	5750	SHEET	11 OF 11

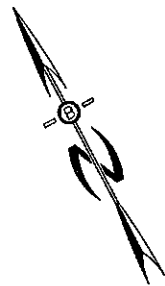
LAND USE OFFICE
JUN 27 2019
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DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 659-0559
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 10 Stover Street (Riverview Station) Kennebunk, ME (207) 602-7006
<http://www.doucetsurvey.com>

THE MASS SURVEYING BOARD HAS REVIEWED THIS PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE MASS SURVEYING ACT, CHAPTER 270A, SECTION 10B(1).



LOCATION MAP
1"=1500'



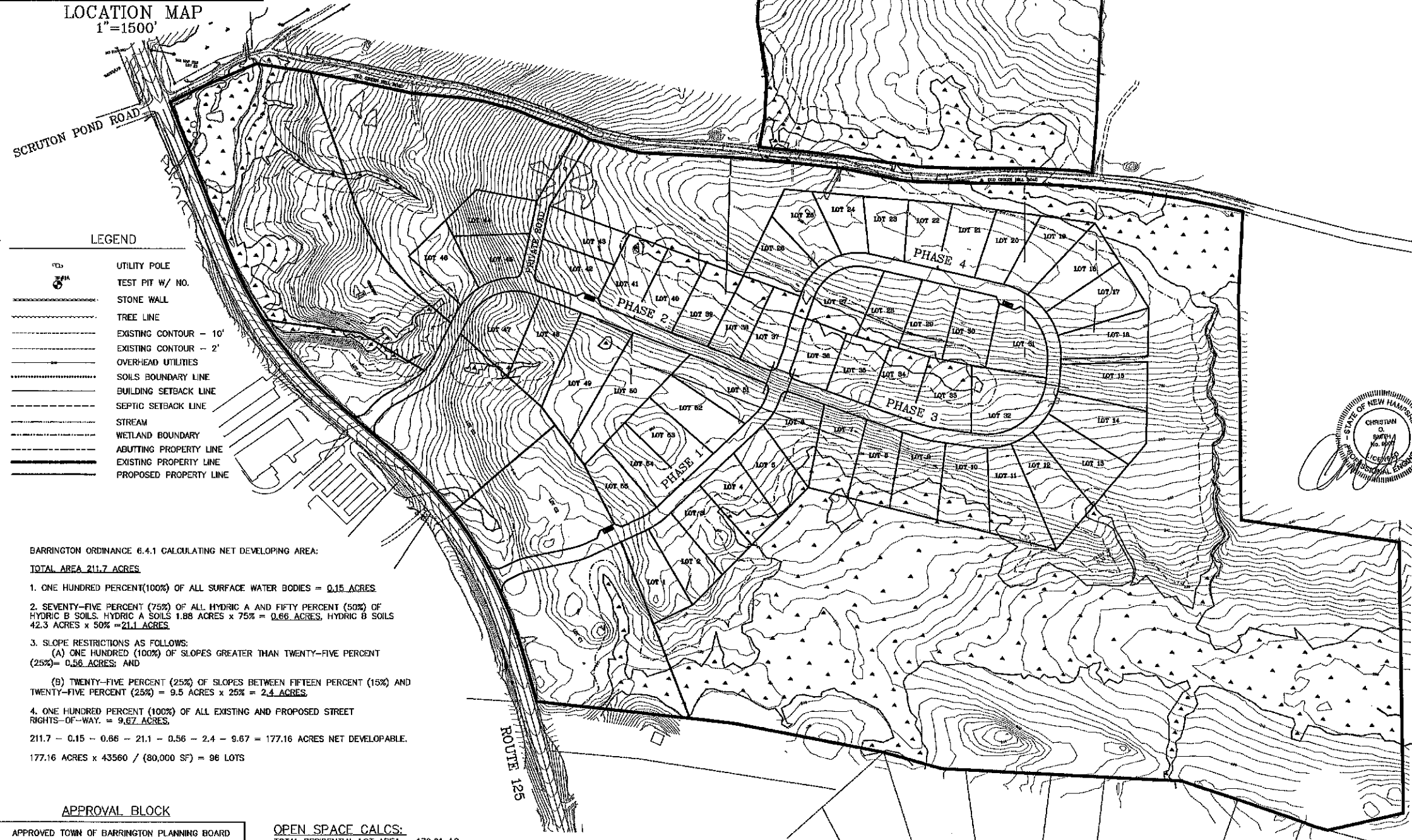
ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'

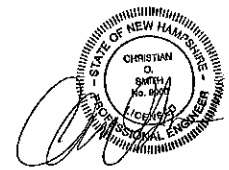
PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

- NOTES**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK, BY CALLING 1-888-909-SAFE.
 - THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
 - ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
 - PROJECT IS BASED ON USGS DATUM NAVD 1986. REFERENCE BENCHMARK:
 - THE DOWNGRADER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 - DISTURBANCE IS OVER 100,000 SQ. FT. ALTERATION OF TERRAIN PERMIT RSA 485-A:17 IS REQUIRED.



- LEGEND**
- UTILITY POLE
 - TEST PIT W/ NO.
 - STONE WALL
 - TREE LINE
 - EXISTING CONTOUR - 10'
 - EXISTING CONTOUR - 2'
 - OVERHEAD UTILITIES
 - SOILS BOUNDARY LINE
 - BUILDING SETBACK LINE
 - SEPTIC SETBACK LINE
 - STREAM
 - WETLAND BOUNDARY
 - ADJUTING PROPERTY LINE
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE



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TOWN NOTES

IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF BARRINGTON SUBDIVISION REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

BARRINGTON ORDINANCE 6.4:1 CALCULATING NET DEVELOPING AREA:
TOTAL AREA 211.7 ACRES

- ONE HUNDRED PERCENT(100%) OF ALL SURFACE WATER BODIES = 0.15 ACRES
- SEVENTY-FIVE PERCENT (75%) OF ALL HYDRIC A AND FIFTY PERCENT (50%) OF HYDRIC B SOILS. HYDRIC A SOILS 1.88 ACRES x 75% = 0.66 ACRES, HYDRIC B SOILS 42.3 ACRES x 50% = 21.1 ACRES
- SLOPE RESTRICTIONS AS FOLLOWS:
 (A) ONE HUNDRED (100%) OF SLOPES GREATER THAN TWENTY-FIVE PERCENT (25%) = 0.56 ACRES; AND
 (B) TWENTY-FIVE PERCENT (25%) OF SLOPES BETWEEN FIFTEEN PERCENT (15%) AND TWENTY-FIVE PERCENT (25%) = 9.5 ACRES x 25% = 2.4 ACRES
- ONE HUNDRED PERCENT (100%) OF ALL EXISTING AND PROPOSED STREET RIGHTS-OF-WAY. = 9.67 ACRES

211.7 - 0.15 - 0.66 - 21.1 - 0.56 - 2.4 - 9.67 = 177.16 ACRES NET DEVELOPABLE.
 177.16 ACRES x 43560 / (80,000 SF) = 96 LOTS

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

OPEN SPACE CALCS:
 TOTAL RESIDENTIAL LOT AREA = 179.81 AC.
 REQUIRED OPEN SPACE = 50% OR 89.9 AC.
 MIN. REQUIRED UPLAND AREA = 50% OR 44.9 AC.
 OPEN SPACE PROVIDED = 117.1 AC.
 UPLAND AREA PROVIDED = 85.65 AC.

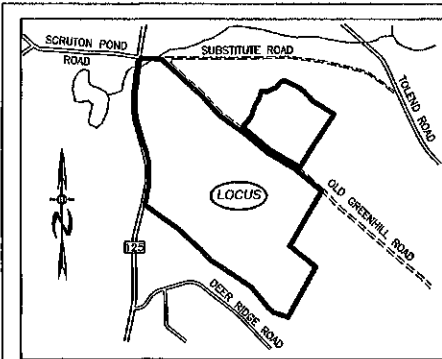
REVISIONS:	DATE:
OPEN SPACE SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1"=150'
PROJ. NO: NH-1144	SHEET NO. 12 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

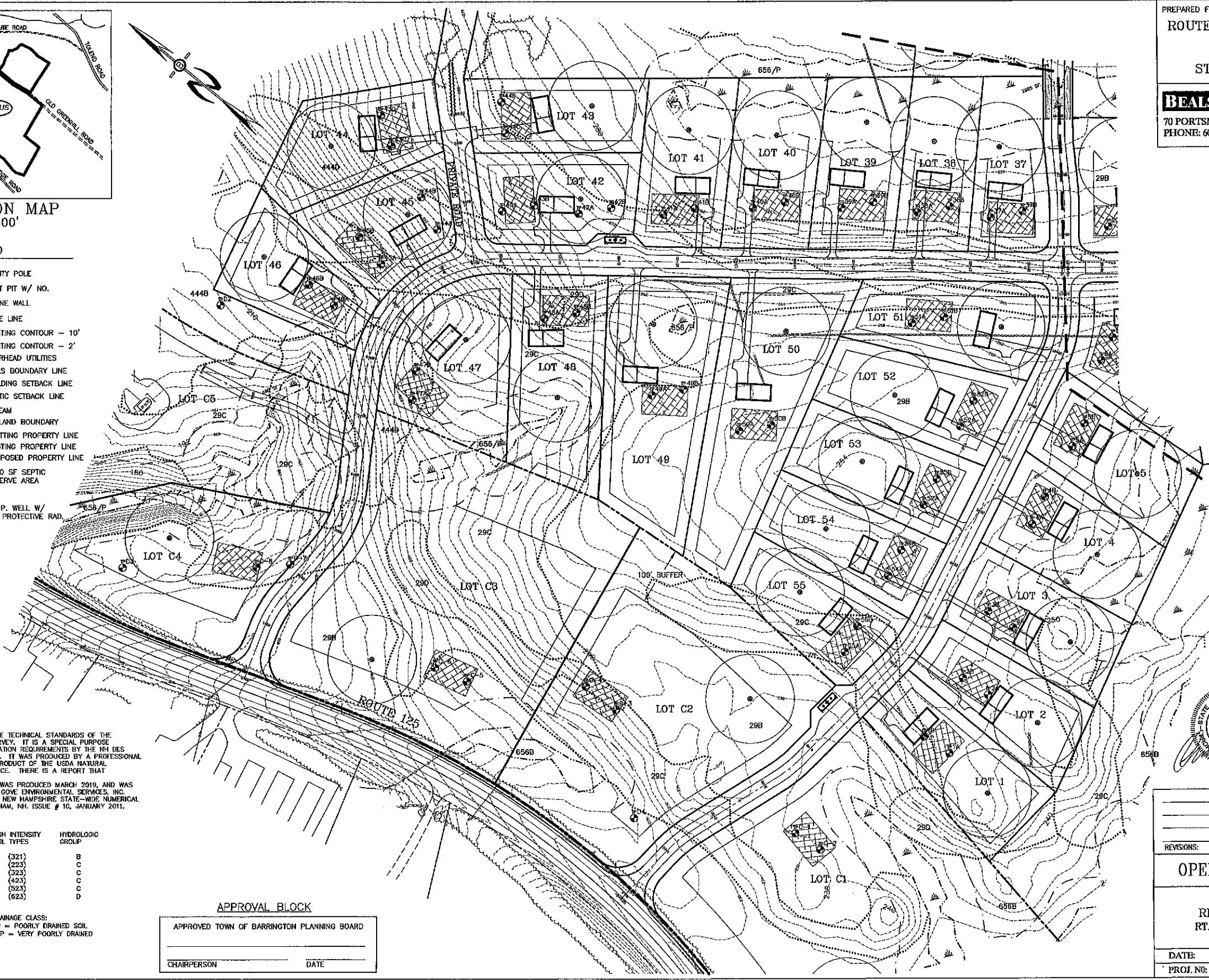
BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'



LOCATION MAP
 1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4000 SF SEPTIC RESERVE AREA
- PROP. WELL W/ 75' PROTECTIVE RAD.



HISS STANDARDS:
 THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.
 THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED MARCH 2019, AND WAS PREPARED BY LUKE HURLEY, OF SOME ENVIRONMENTAL SERVICES, INC. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011.

SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	66	(223)	C
WOODBRIDGE	29	(323)	C
RIDGEBURY	656	(423)	C
WET RIDGEBURY	656/P	(523)	C
WHITNUM	49/VP	(623)	D

SLOPE CLASS:
 0-8% = B
 8-15% = C
 15-25% = D
 25-50% = E
 >50% = F

DRAINAGE CLASS:
 /P = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

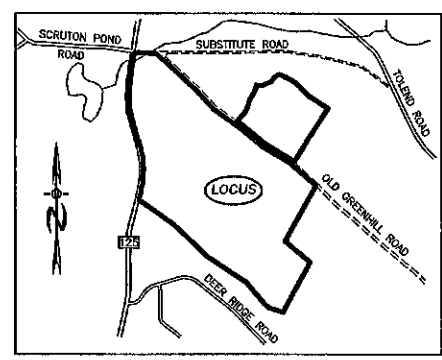
LAND USE OFFICE
 JUN 27 2019
 RECEIVED



REVISIONS:	DATE:
OPEN SPACE SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JAN. 2019	SCALE: 1"=80'
PROJ. NO: NH-1144	SHEET NO. 13 OF 37

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LOCATION MAP
 1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
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- STREAM
- WETLAND BOUNDARY
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- EXISTING PROPERTY LINE
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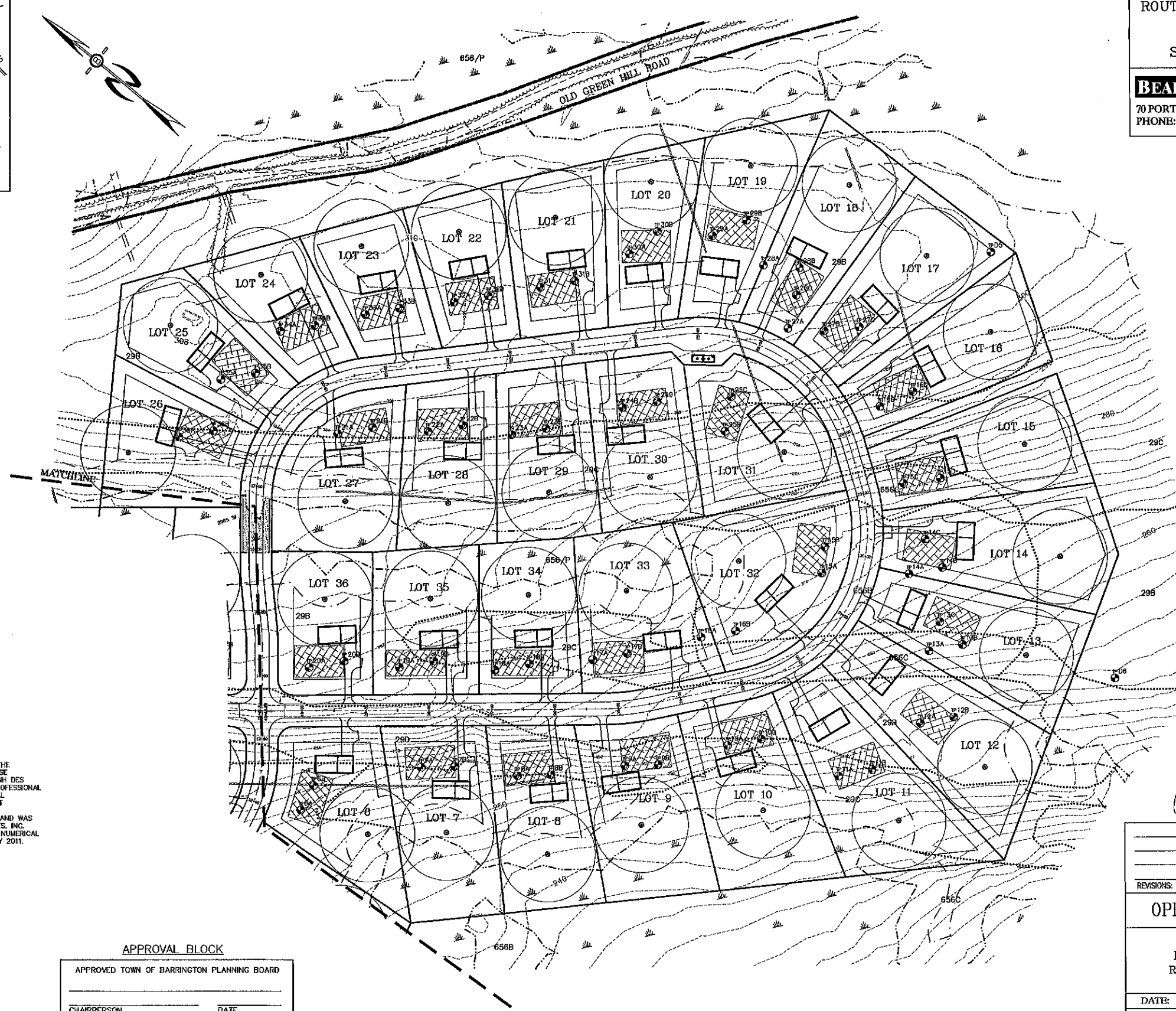
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RIDGEBURY	656	(423)	C
WET RIDGEBURY	656/P	(623)	C
WHITNUM	49/VP	(623)	D

SLOPE CLASS:
 0-8% = B
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 15-25% = D
 25-50% = E
 >50% = F

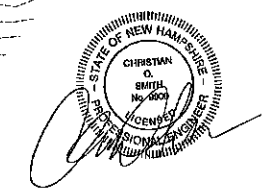
DRAINAGE CLASS:
 /P = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED



ZONING REQUIREMENTS
 ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'

LAND USE OFFICE
 JUN 27 2019
RECEIVED

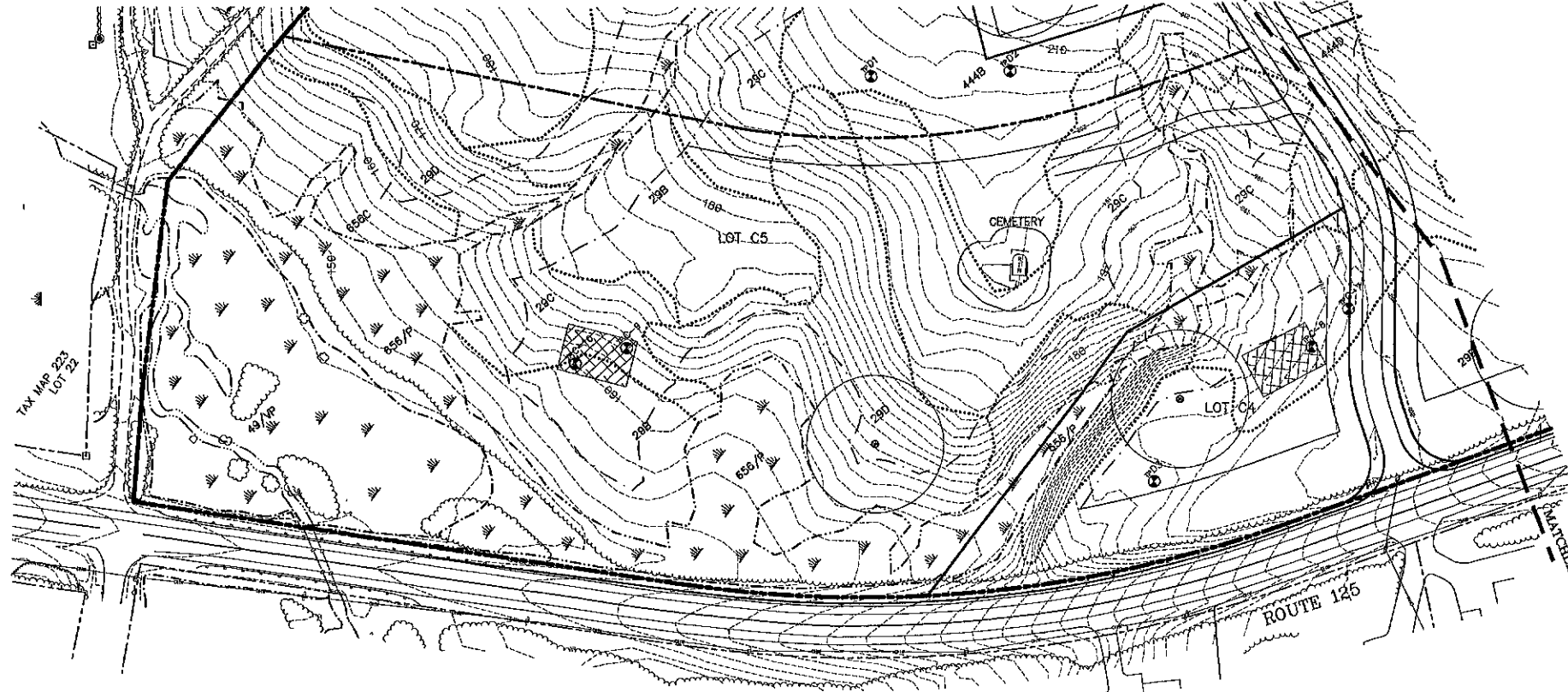


APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

REVISIONS:	DATE:
OPEN SPACE SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JAN. 2019	SCALE: 1"=80'
PROJ. NO: NH-1144	SHEET NO. 14 OF 37



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

ZONE: REGIONAL COMMERCIAL		
USE:	RESIDENTIAL	COMMERCIAL
MIN. LOT SIZE =	80,000 SF	40,000 SF
MIN. FRONTAGE =	200'	200'
MAX. HEIGHT =	35'	40'
BUILDING SETBACKS:		
FRONT	40'	75'
SIDE & REAR	30'	30'
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		100'
LEACH FIELD SETBACKS:		
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		100'

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HSS STANDARDS:

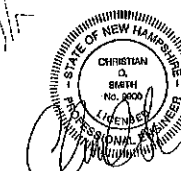
THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES. ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED MARCH 2016, AND WAS PREPARED BY LUKE HURLEY, OF GOVE ENVIRONMENTAL SERVICES, INC. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011.

SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	66	(223)	C
WOODBIDGE	28	(323)	C
RIDGEBURY	656	(423)	C
WET RIDGEBURY	656/P	(523)	C
WHITNUM	49/AP	(623)	D

SLOPE CLASS:
 0-3% = B
 3-12% = C
 12-25% = D
 25-50% = E
 >50% = F

DRAINAGE CLASS:
 /P = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED



APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

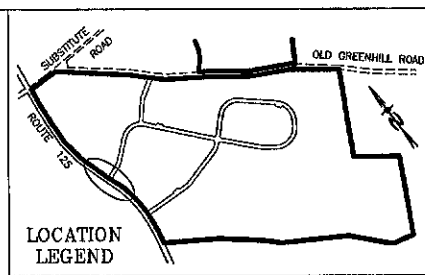
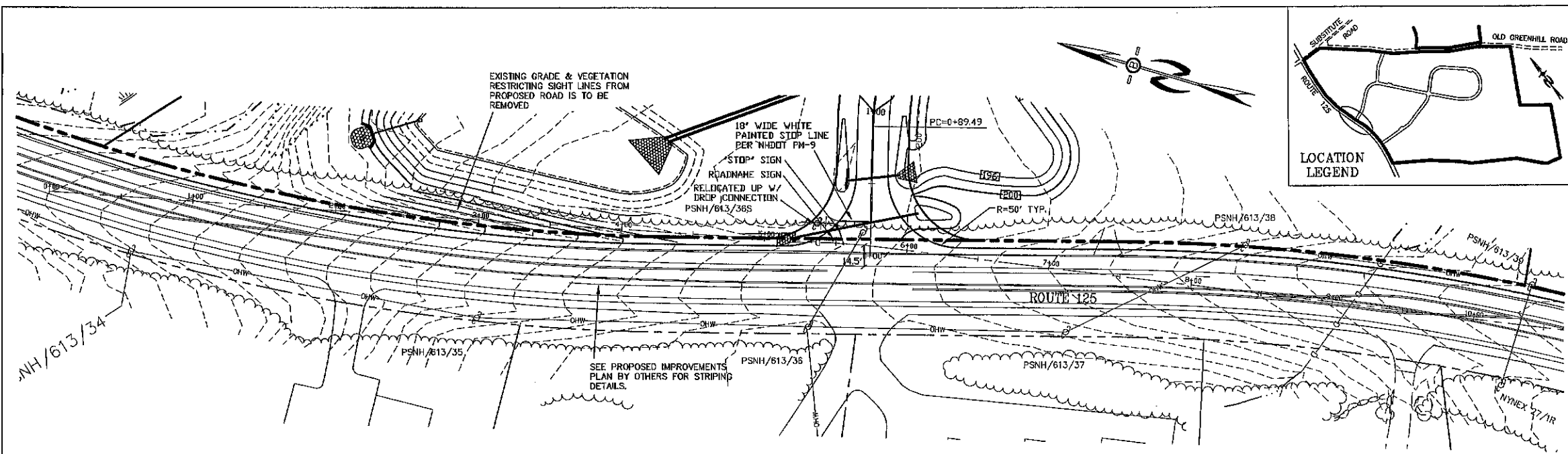
CHAIRPERSON _____ DATE _____

REVISIONS:	DATE:

COMMERCIAL LOTS SITE PLAN

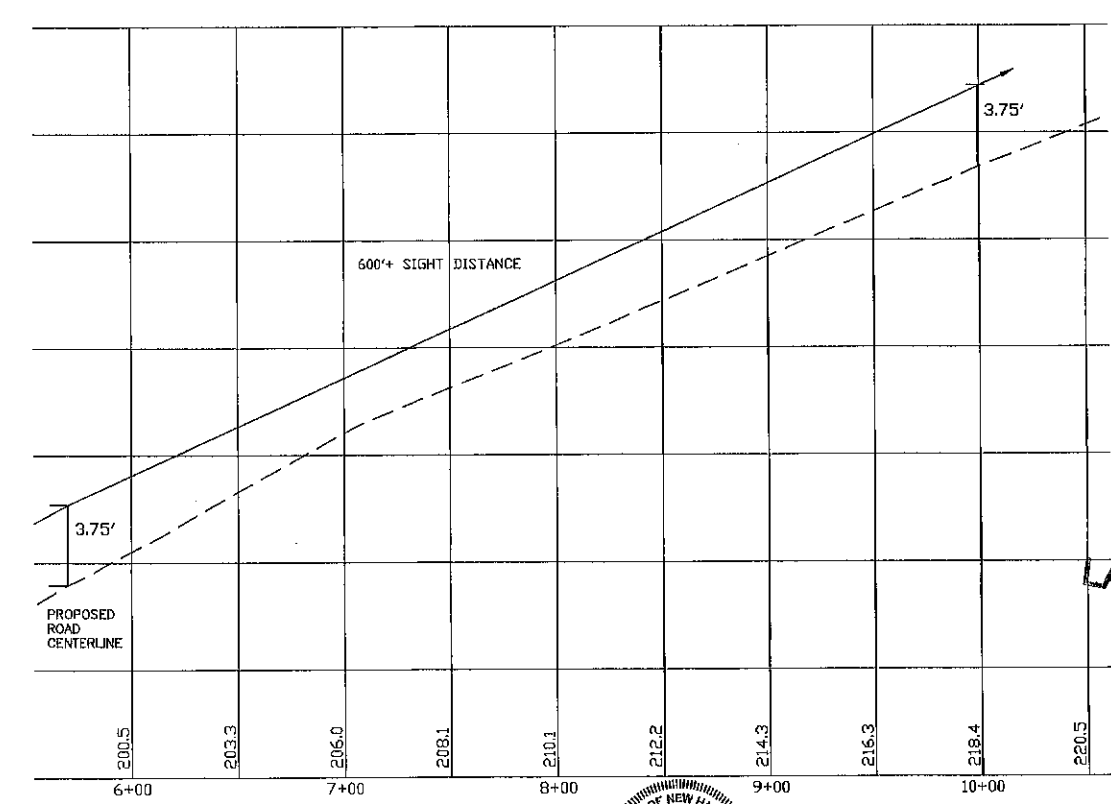
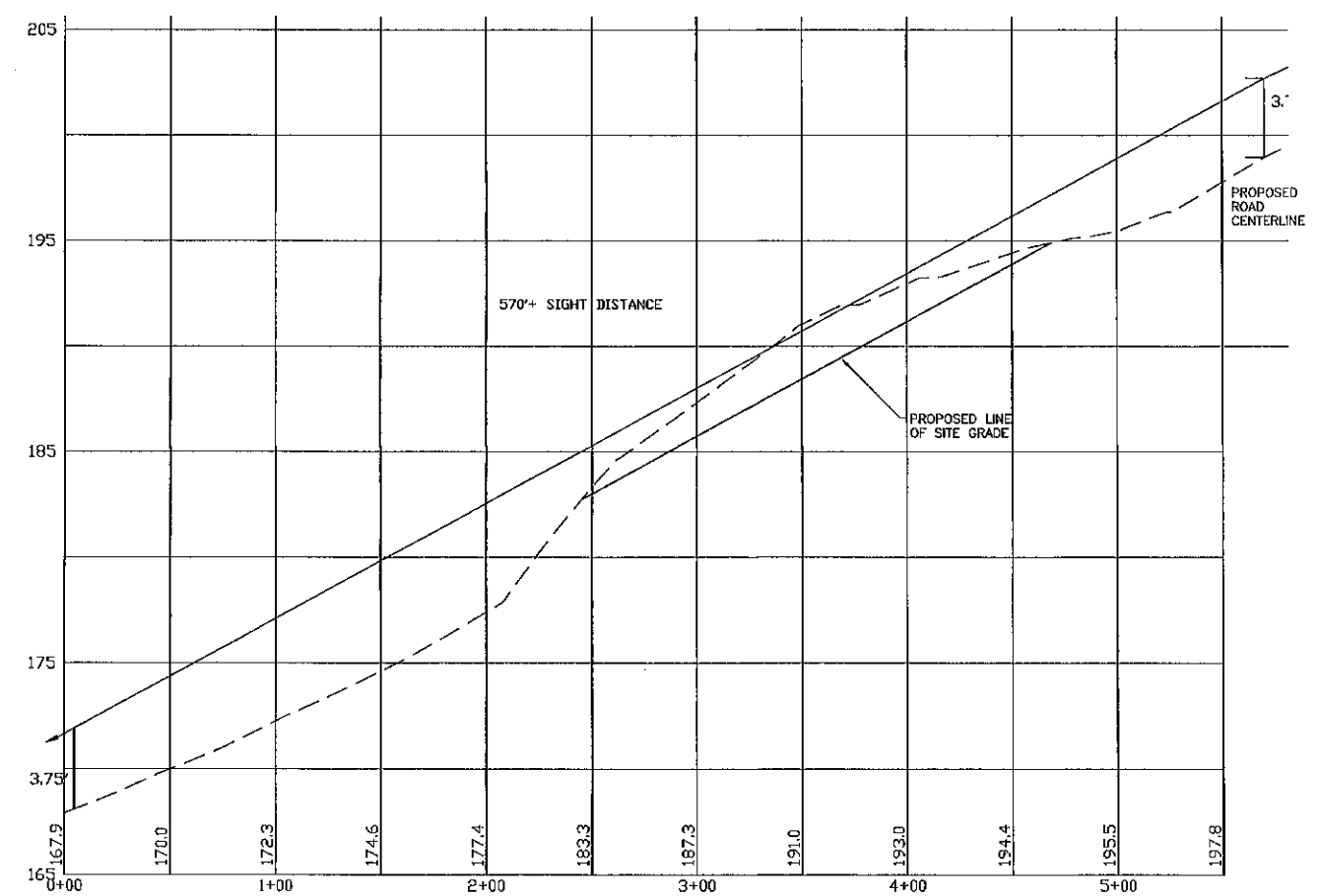
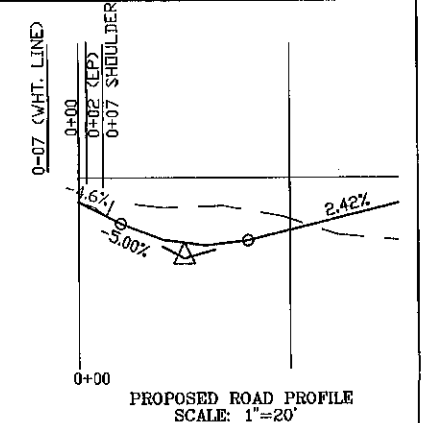
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: JAN. 2019 SCALE: 1"=80'
 PROJ. NO: NH-1144 SHEET NO. 15 OF 32

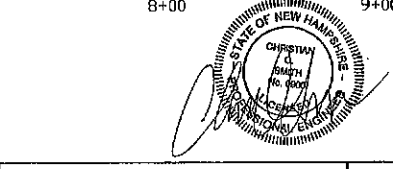
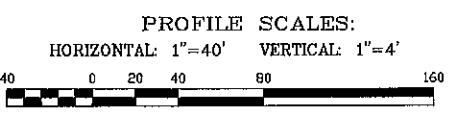


PREPARED FOR:
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BEALS ASSOCIATES PLLC
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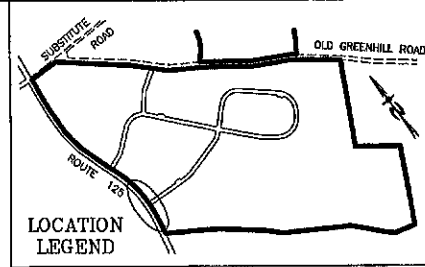
HIGHWAY ACCESS PLAN-H2

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARCH 2019	SCALE: 1"=40'
PROJ. NO: NH-1144	SHEET NO. 16 OF 37

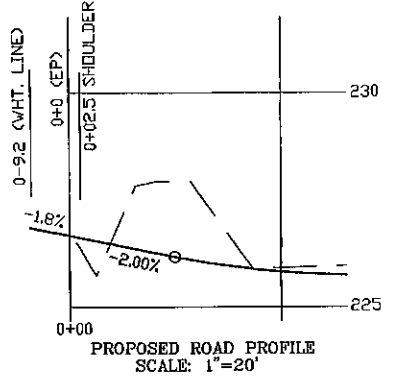
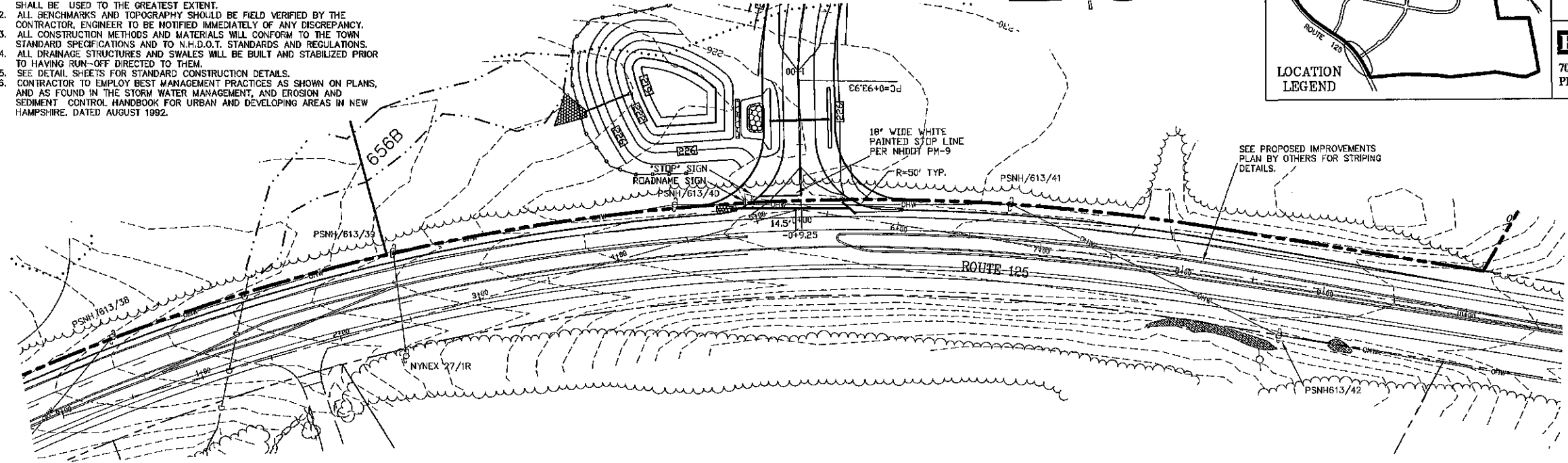
NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE PLACED OUTSIDE OF THE RIGHT-OF-WAY AS PER TOWN OF BRENTWOOD TYP. ROADWAY SECTION ADDENDUM A SUBDIVISION REGULATIONS, WITH REVIEW AND APPROVAL BY THE TOWN OF BRENTWOOD TOWN ENGINEER. LOW PROFILE UTILITY BOX STRUCTURES SHALL BE USED TO THE GREATEST EXTENT.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURES AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION DETAILS.
6. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES AS SHOWN ON PLANS, AND AS FOUND IN THE STORM WATER MANAGEMENT, AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DATED AUGUST 1992.

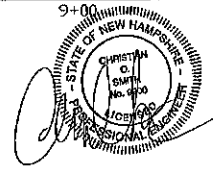
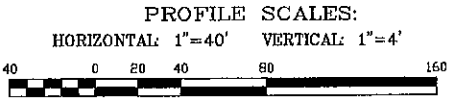
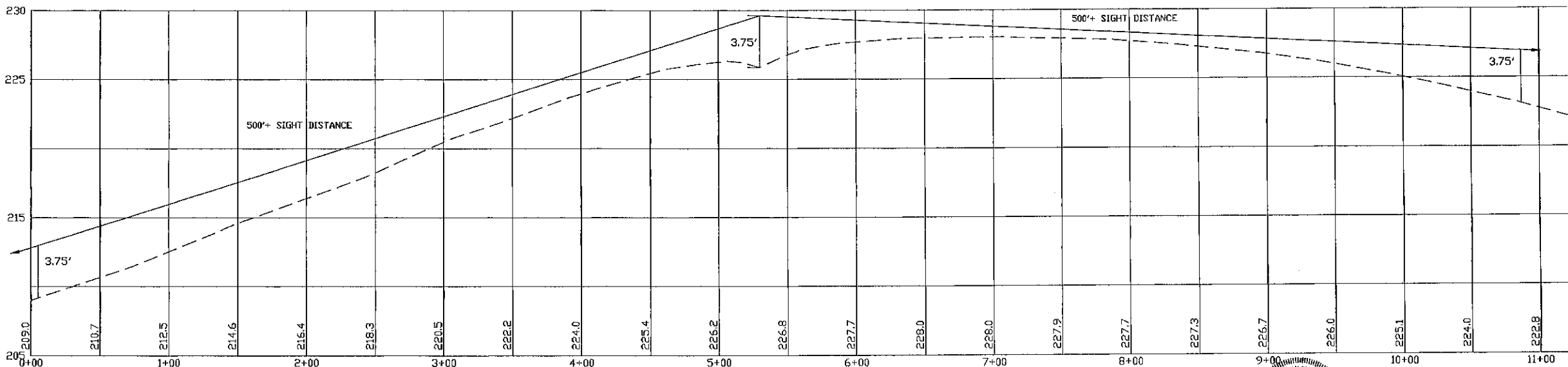


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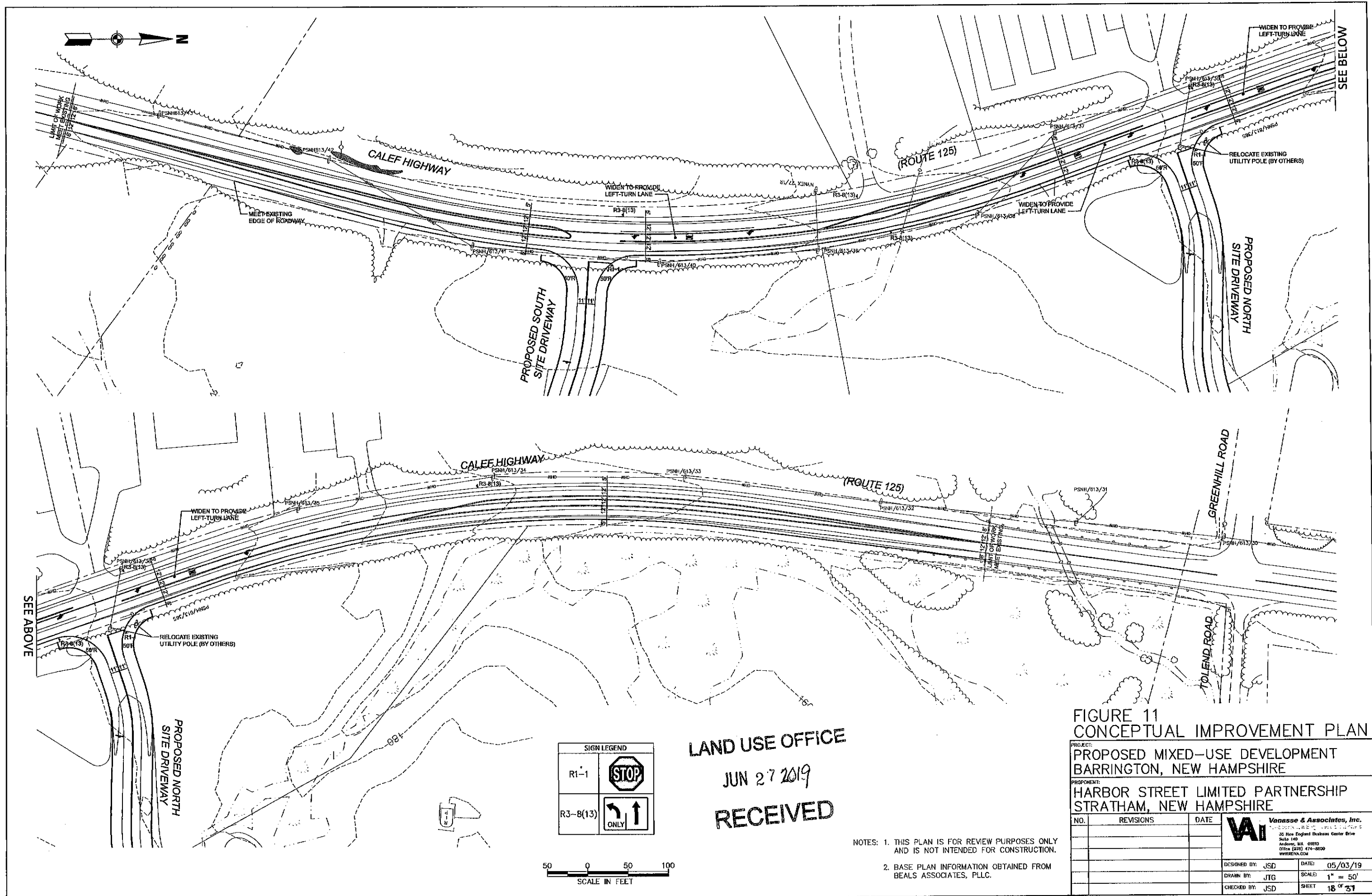


HIGHWAY ACCESS PLAN-H1

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

REVISIONS:	DATE:

DATE: MARCH 2019	SCALE: 1"=40'
PROJ. NO: NH-1144	SHEET NO. 17 OF 37



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SIGN LEGEND	
R1-1	
R3-B(13)	

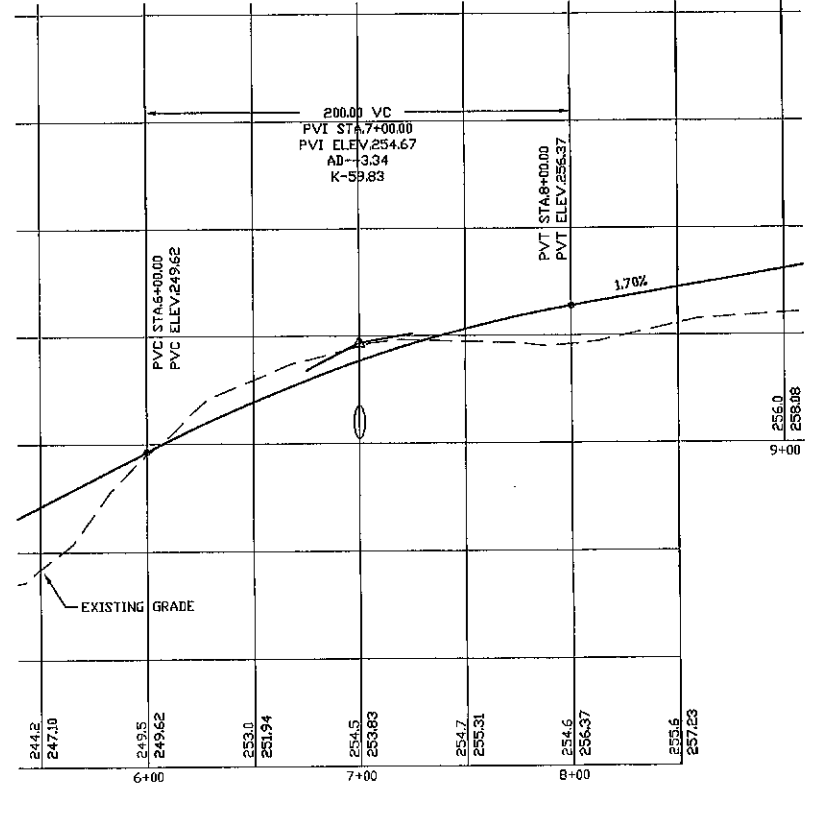
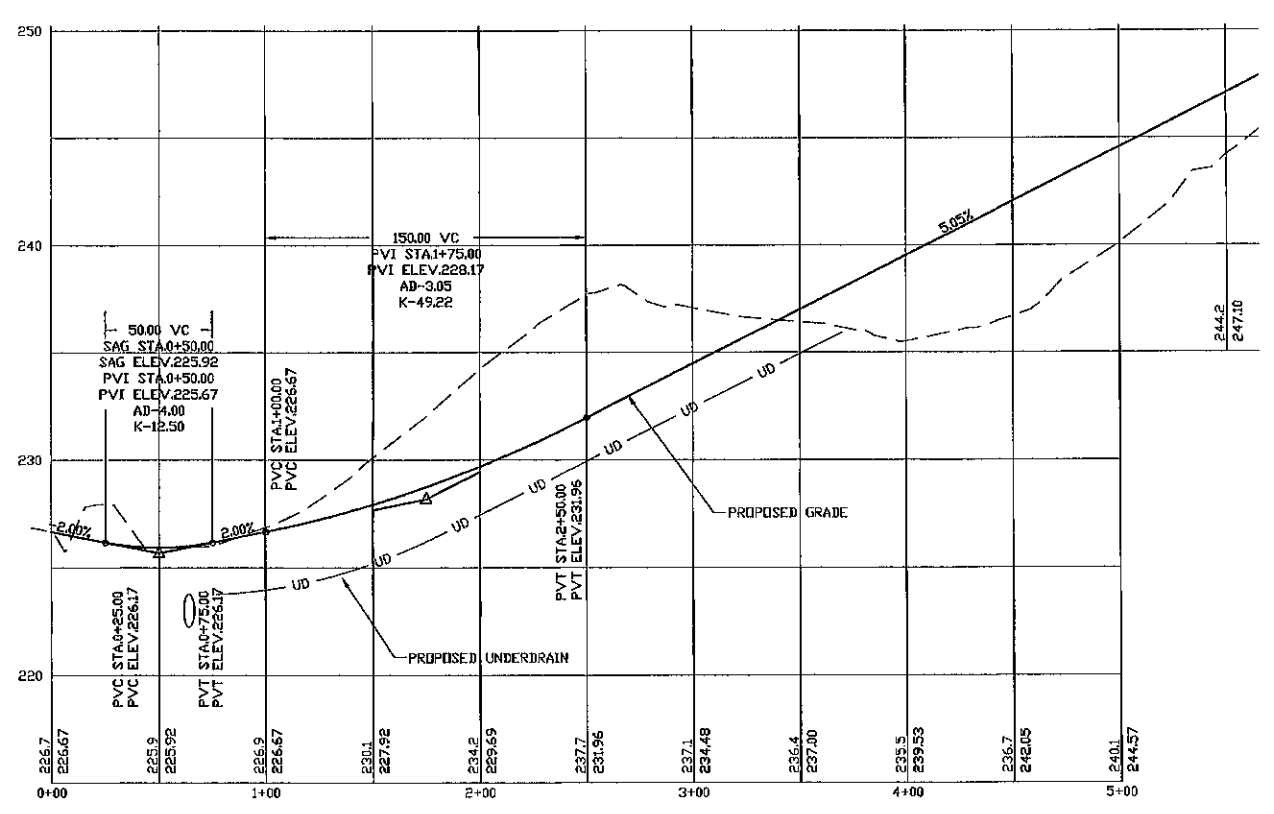
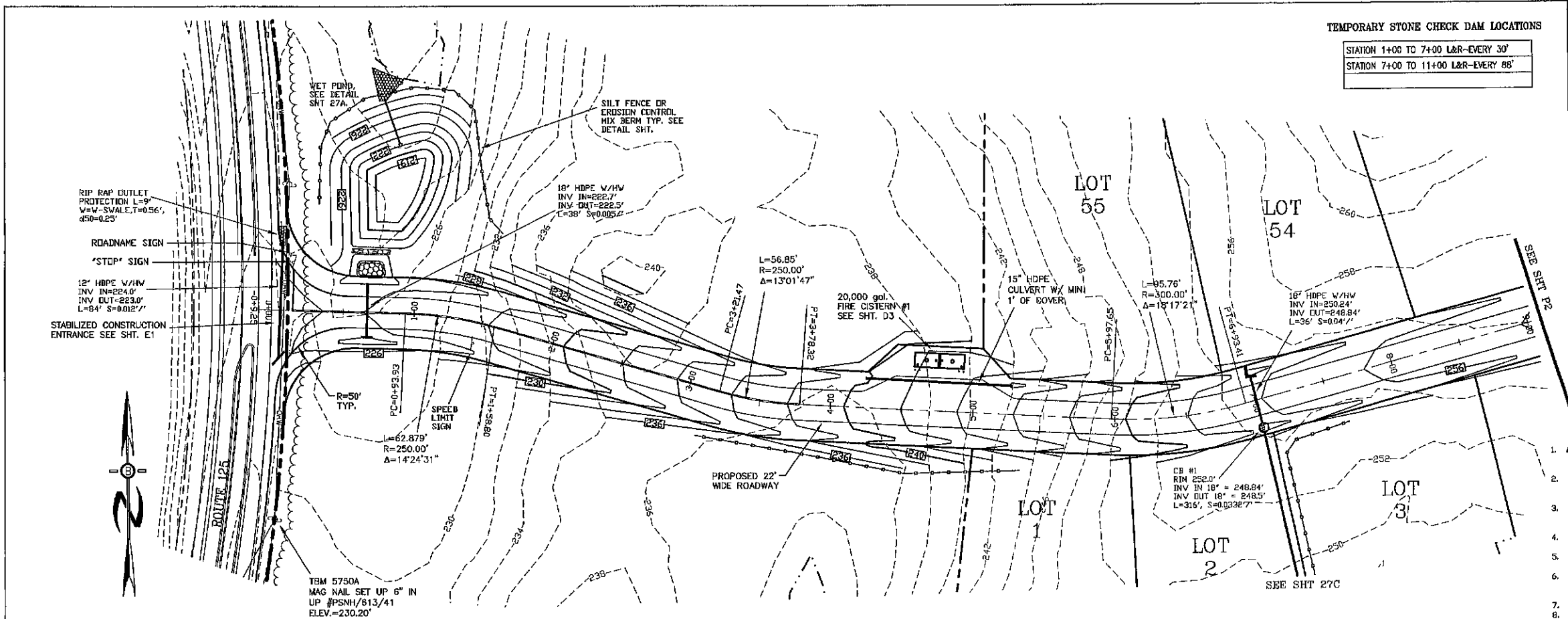


NOTES: 1. THIS PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.
 2. BASE PLAN INFORMATION OBTAINED FROM BEALS ASSOCIATES, PLLC.

FIGURE 11
 CONCEPTUAL IMPROVEMENT PLAN

PROJECT: PROPOSED MIXED-USE DEVELOPMENT BARRINGTON, NEW HAMPSHIRE		
PROPOSITOR: HARBOR STREET LIMITED PARTNERSHIP STRATHAM, NEW HAMPSHIRE		
NO.	REVISIONS	DATE
DESIGNED BY:	JSD	DATE: 05/03/19
DRAWN BY:	JTG	SCALE: 1" = 50'
CHECKED BY:	JSD	SHEET 18 OF 31

VA Vanasse & Associates, Inc.
 35 New England Business Center Drive
 Suite 140
 Andover, MA 01810
 Office (978) 474-8000
 www.vanasse.com



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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

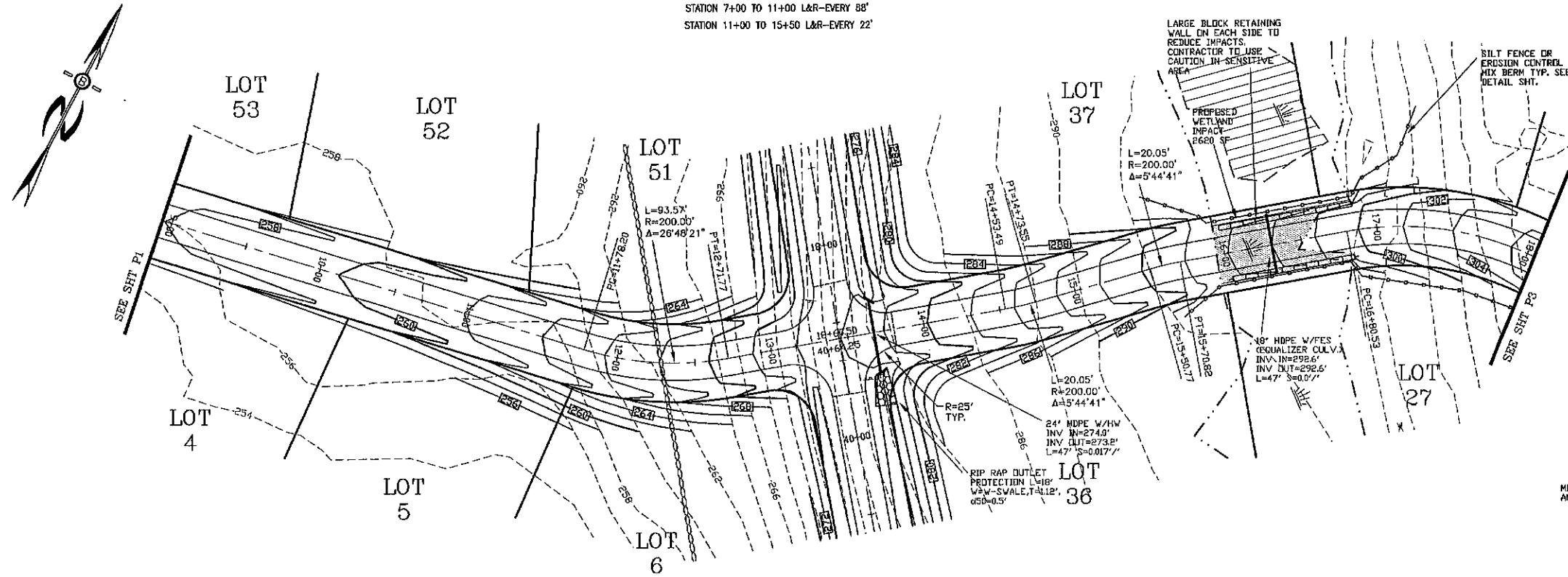
REVISED PER REVIEW COMMENTS 6-20-19
 REVISED ROAD GRADES PER PD COMMENTS 6-5-19

PLAN & PROFILE - P1

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

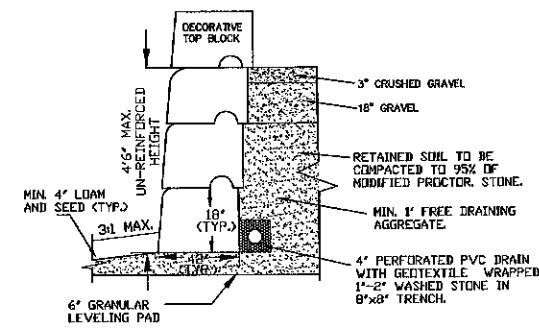
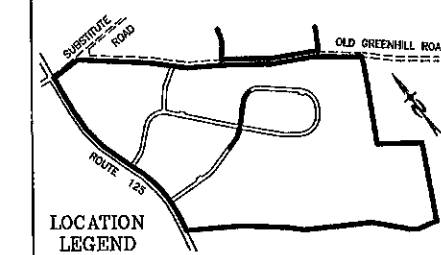
DATE: MAY 2019	SCALE: 1"=40'
PROJ. NO: NH-1144	SHEET NO. 19 OF 37

TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 7+00 TO 11+00 L&R-EVERY 88'
 STATION 11+00 TO 15+50 L&R-EVERY 22'

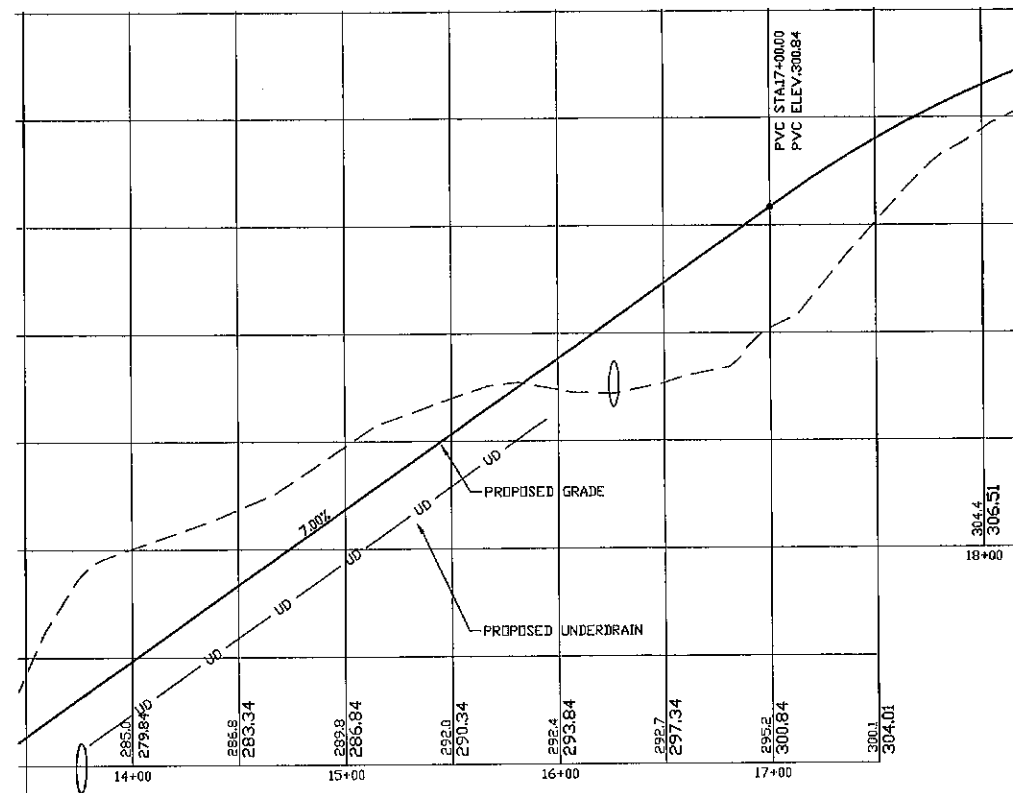
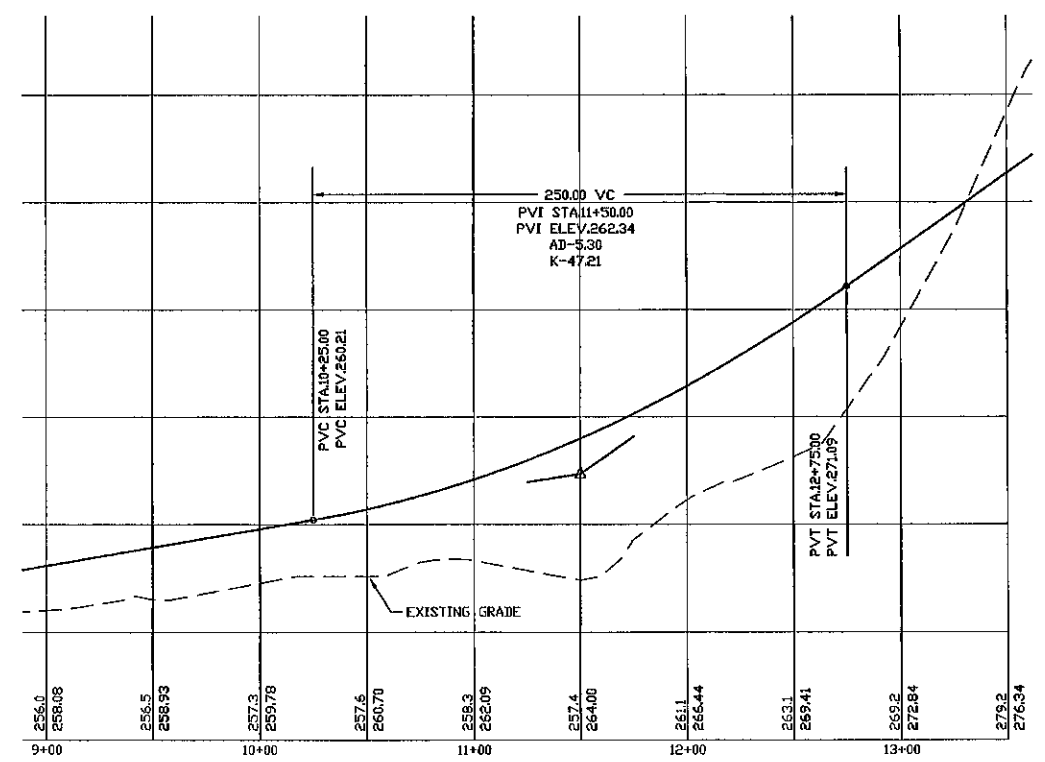


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TYPICAL CROSS-SECTION
 "REDI-ROCK" 42" DEEP
 BLOCK RETAINING WALL
 NOT TO SCALE



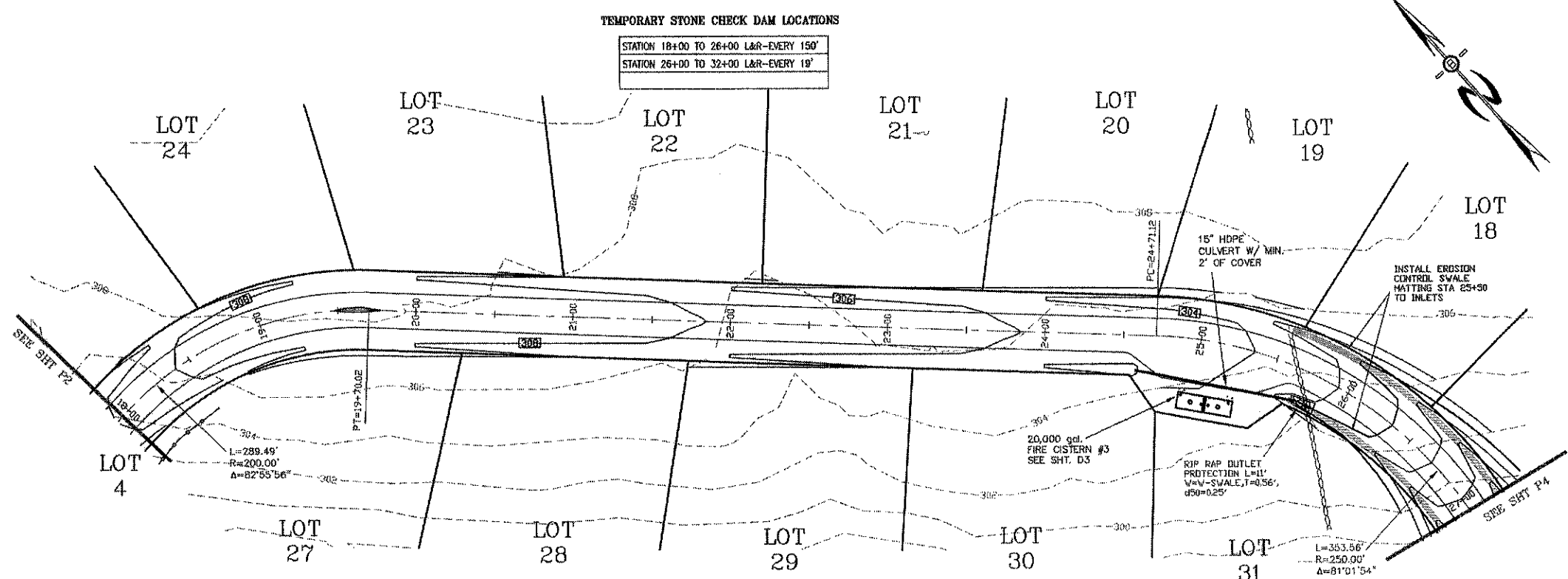
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 JUN 27 2019
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160

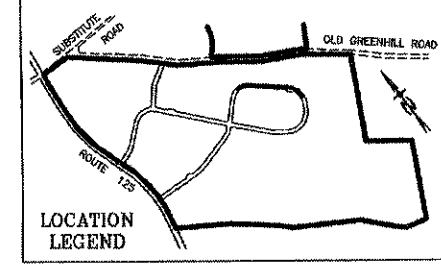
REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

PLAN & PROFILE - P2
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH
 DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 20 OF 37

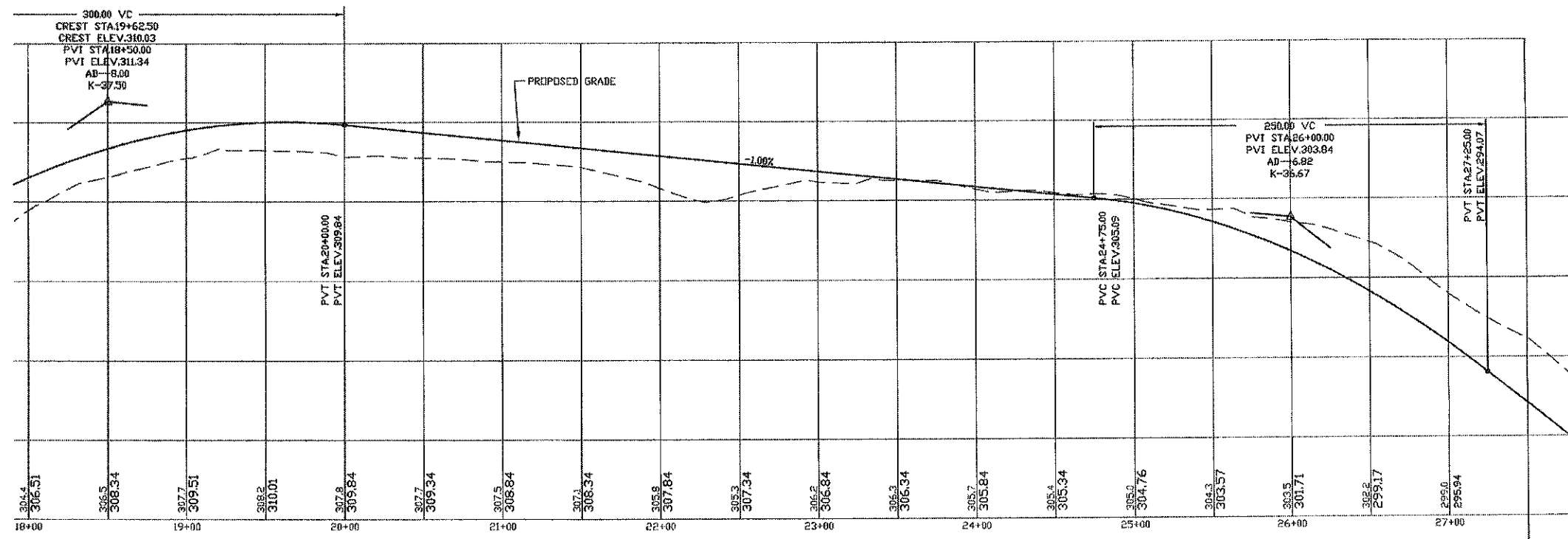


PREPARED FOR:
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160

REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PB COMMENTS	6-5-19

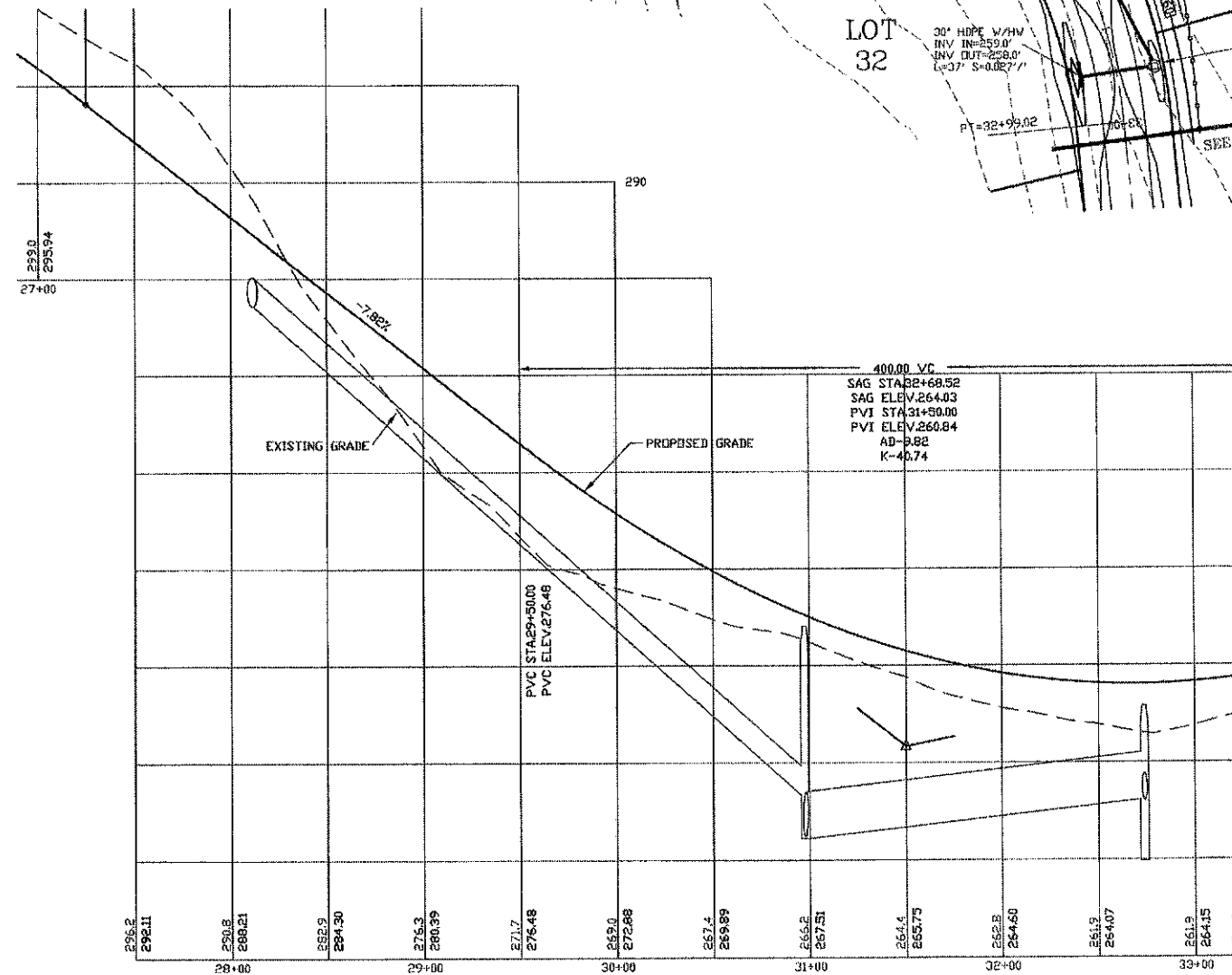
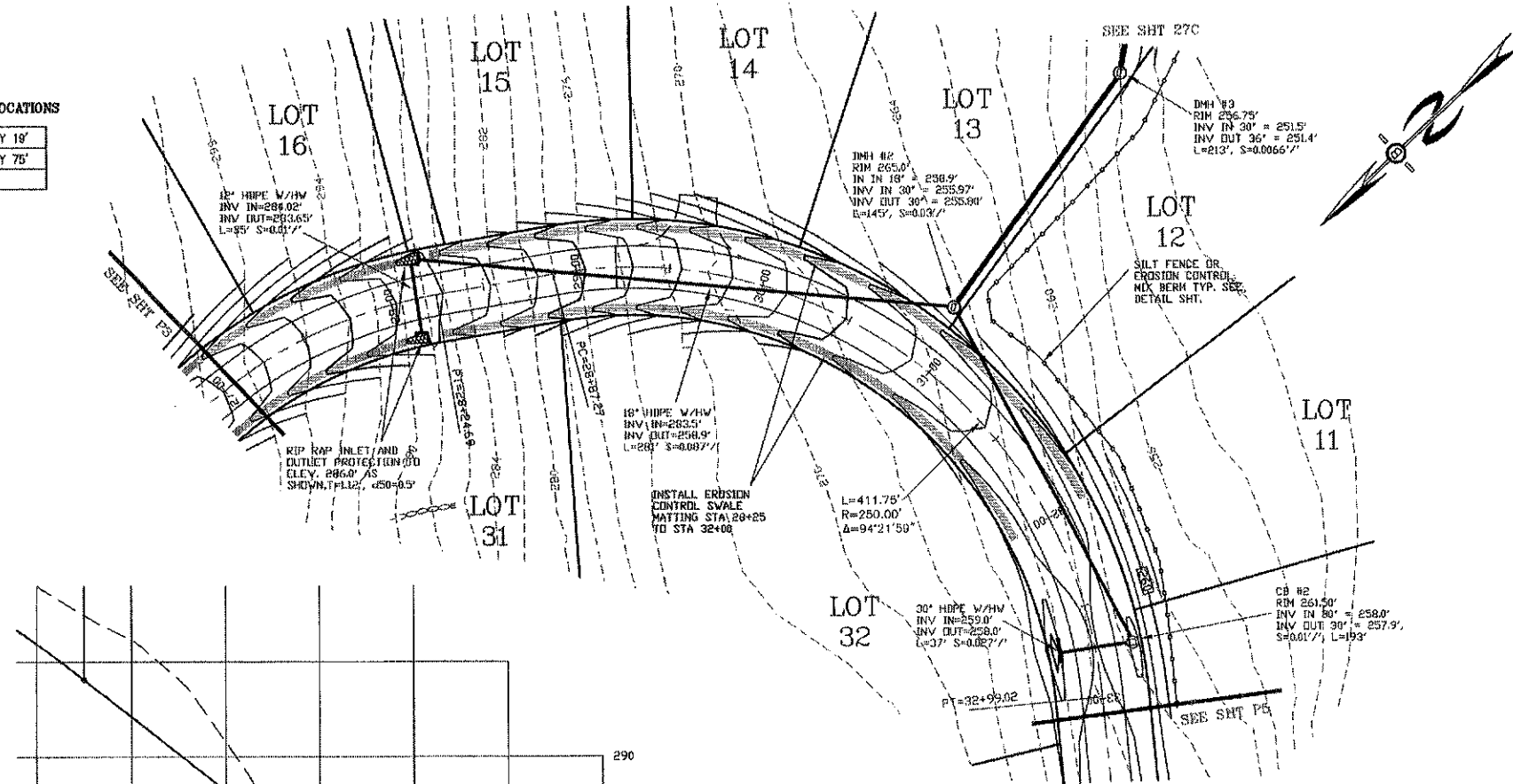
PLAN & PROFILE - P3

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 21 OF 37

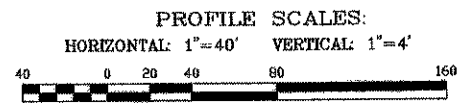
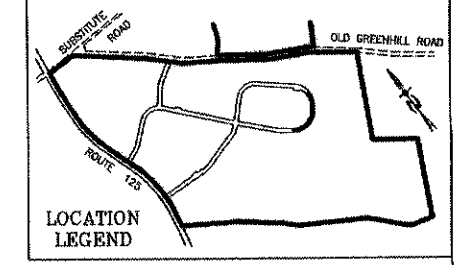
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 26+00 TO 32+00 L&R-EVERY 19'
STATION 32+00 TO 40+00 L&R-EVERY 75'



PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
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 PHONE: 603-583-4860, FAX: 603-583-4863



REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER FB COMMENTS	6-5-19

PLAN & PROFILE - P4

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

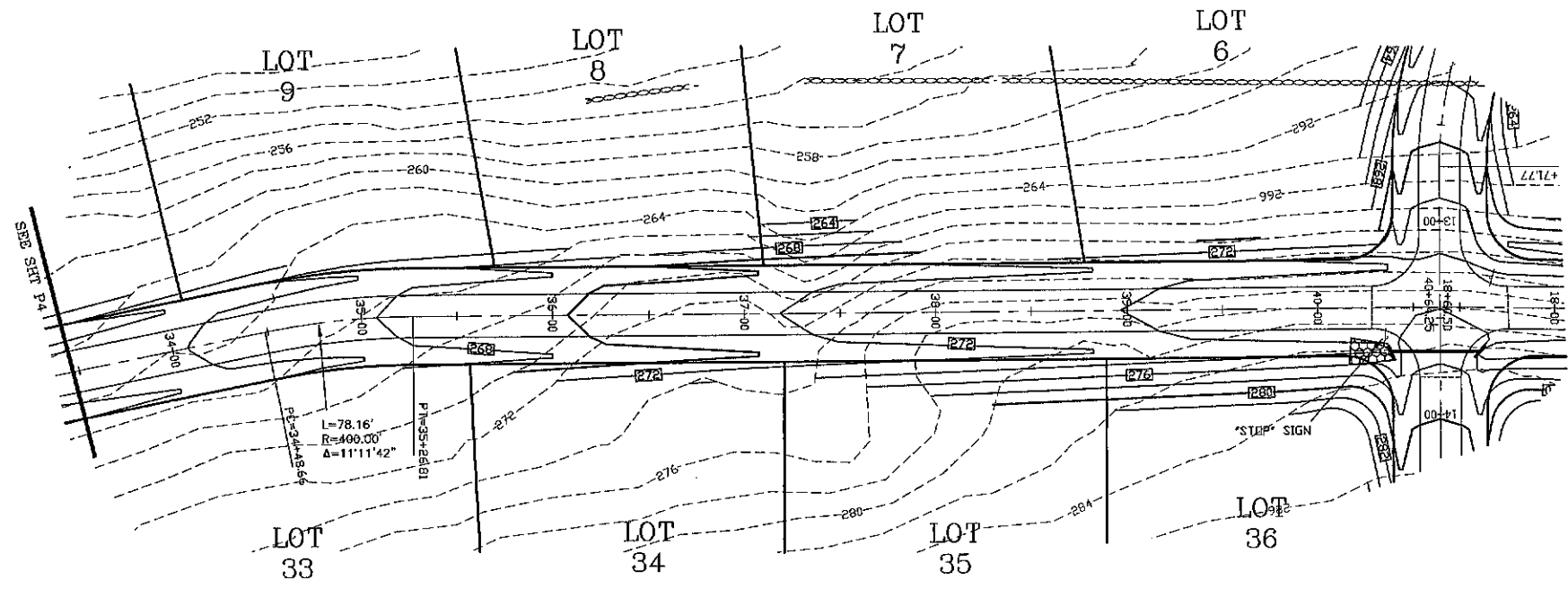
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 22 OF 37



LAND USE OFFICE

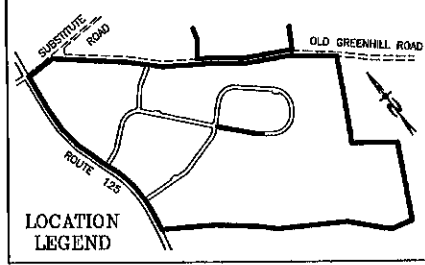
JUN 27 2019

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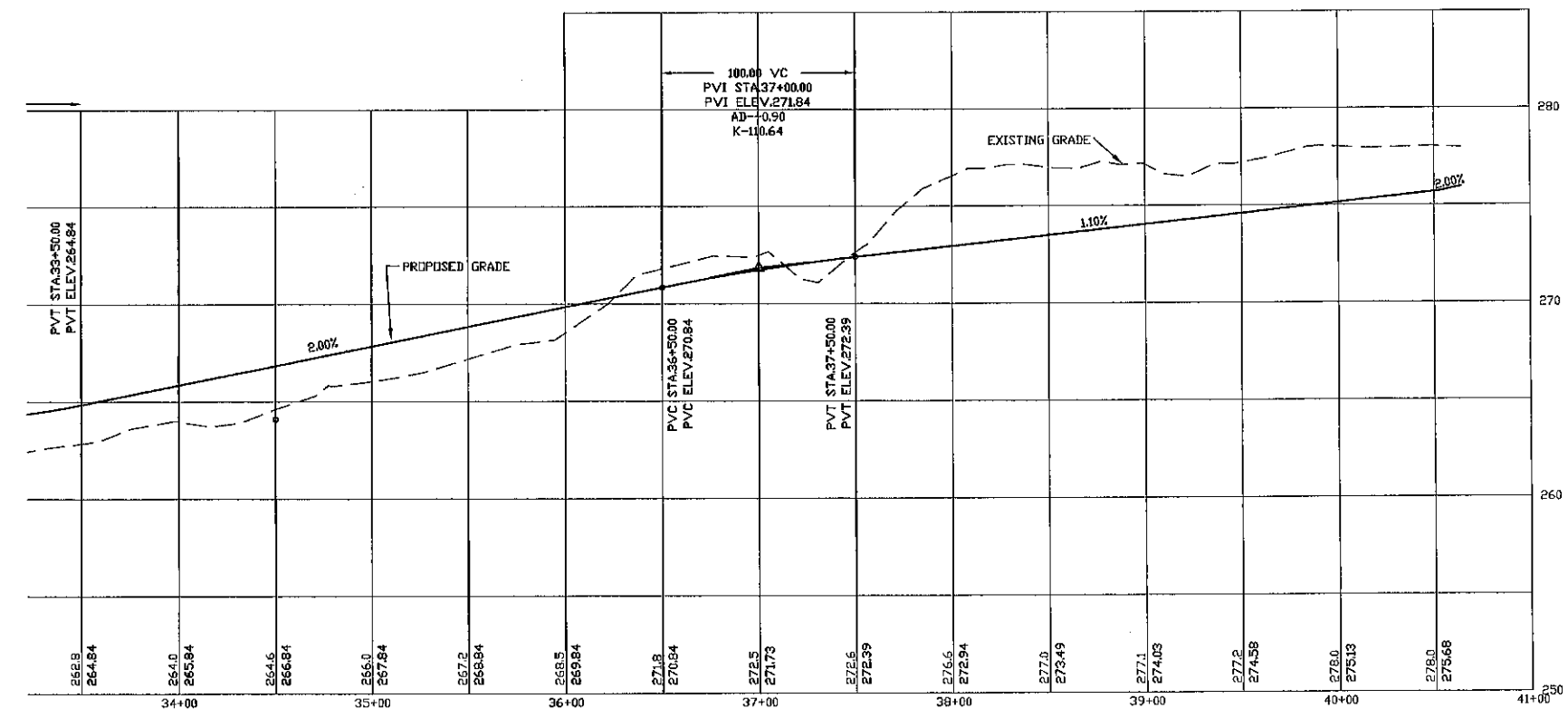


PREPARED FOR:
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TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 32+00 TO 40+00 L&R - EVERY 75'



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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 40 0 20 40 80 160



REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER FB COMMENTS	6-5-19

PLAN & PROFILE - P5

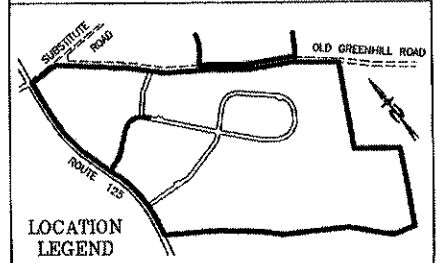
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019 SCALE: 1"=40'
 PROJ. NO: NH-1144 SHEET NO. 23 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

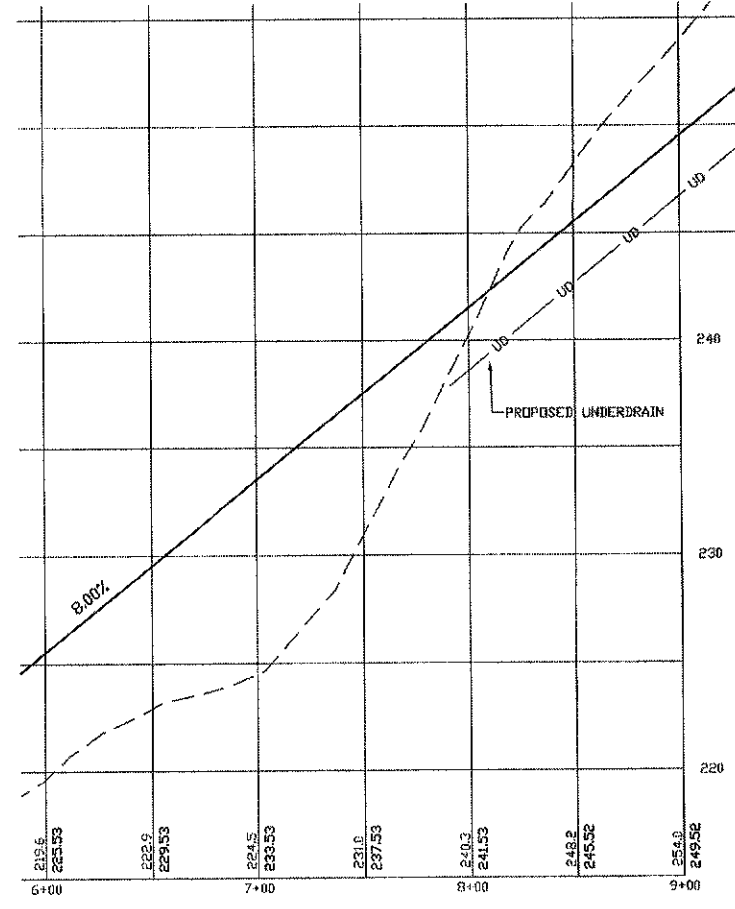
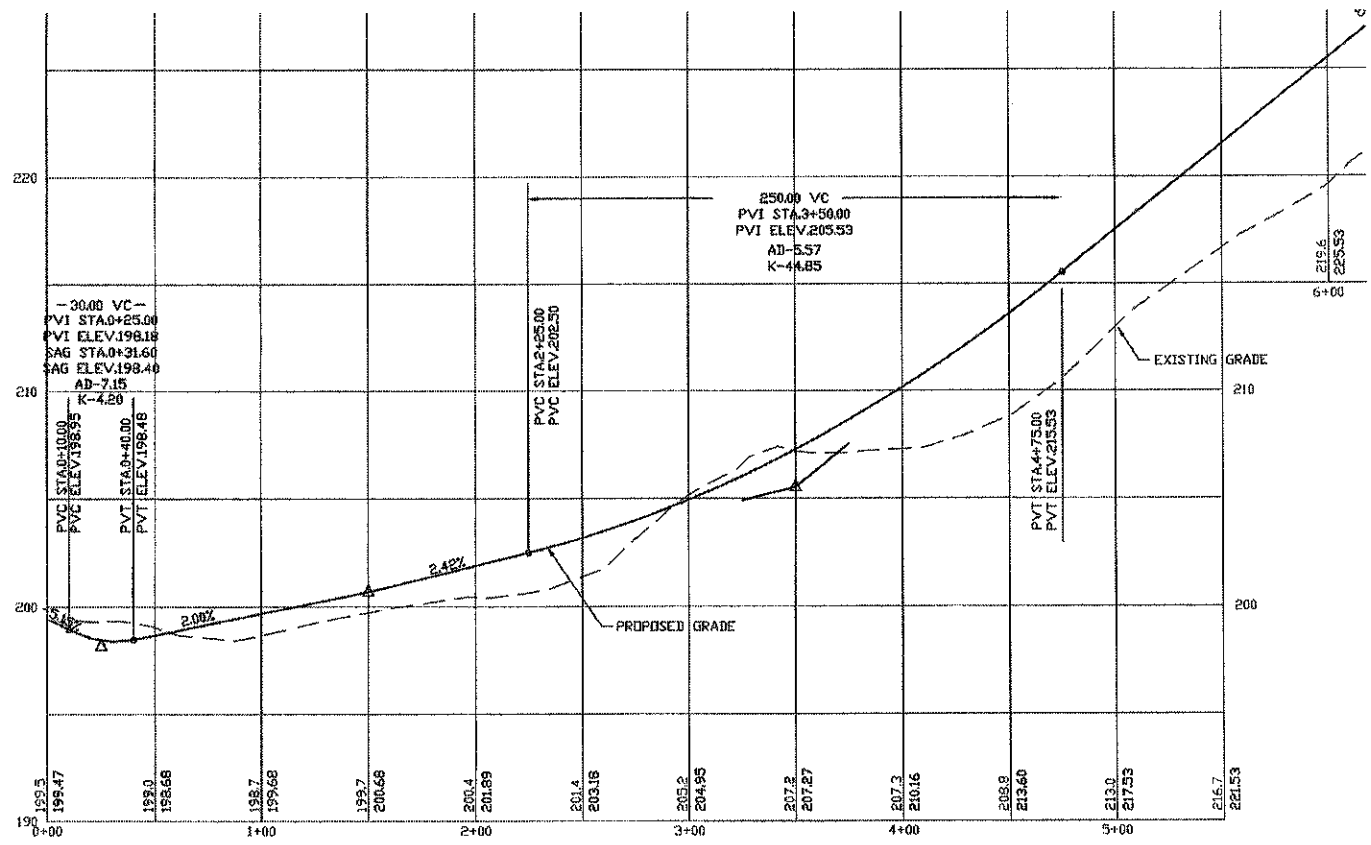
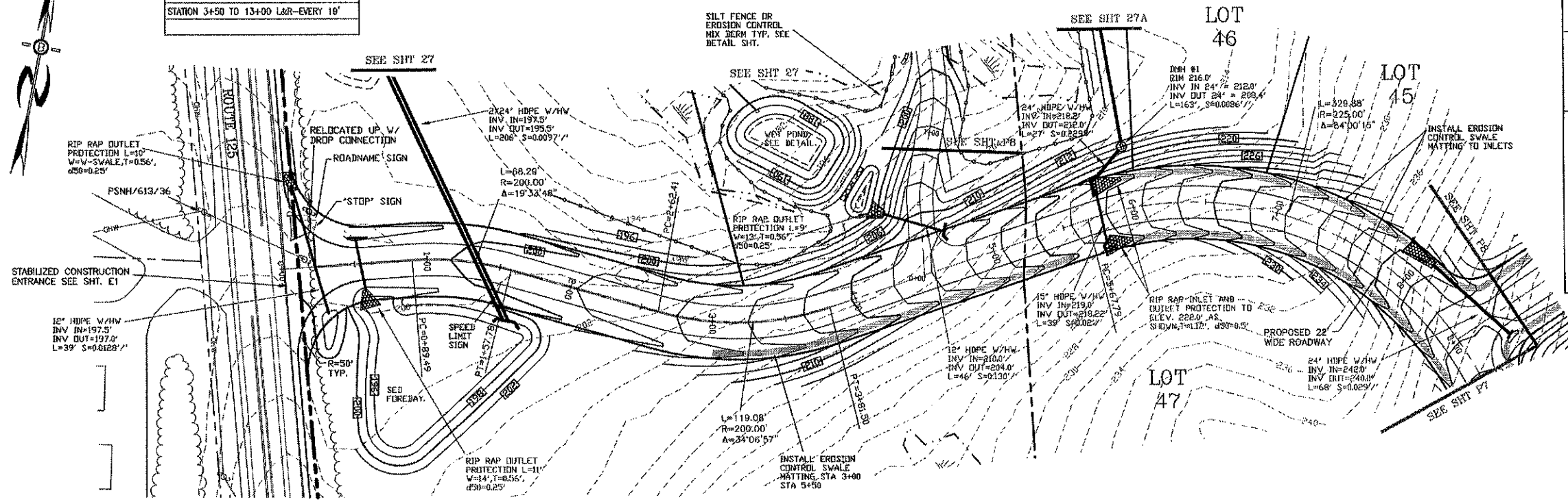
BEALS ASSOCIATES PLLC

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TEMPORARY STONE CHECK DAM LOCATIONS

STATION 0+50 TO 3+50 L&R-EVERY 60'
 STATION 3+50 TO 13+00 L&R-EVERY 19'



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 JUN 27 2019
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 0 20 40 80 160

REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER FB COMMENTS	6-5-19

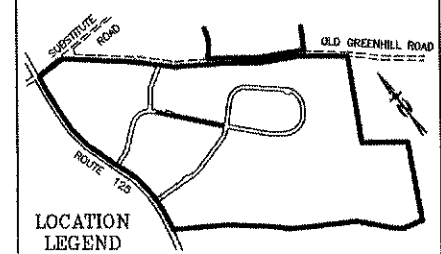
PLAN & PROFILE - P6

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 24 OF 37

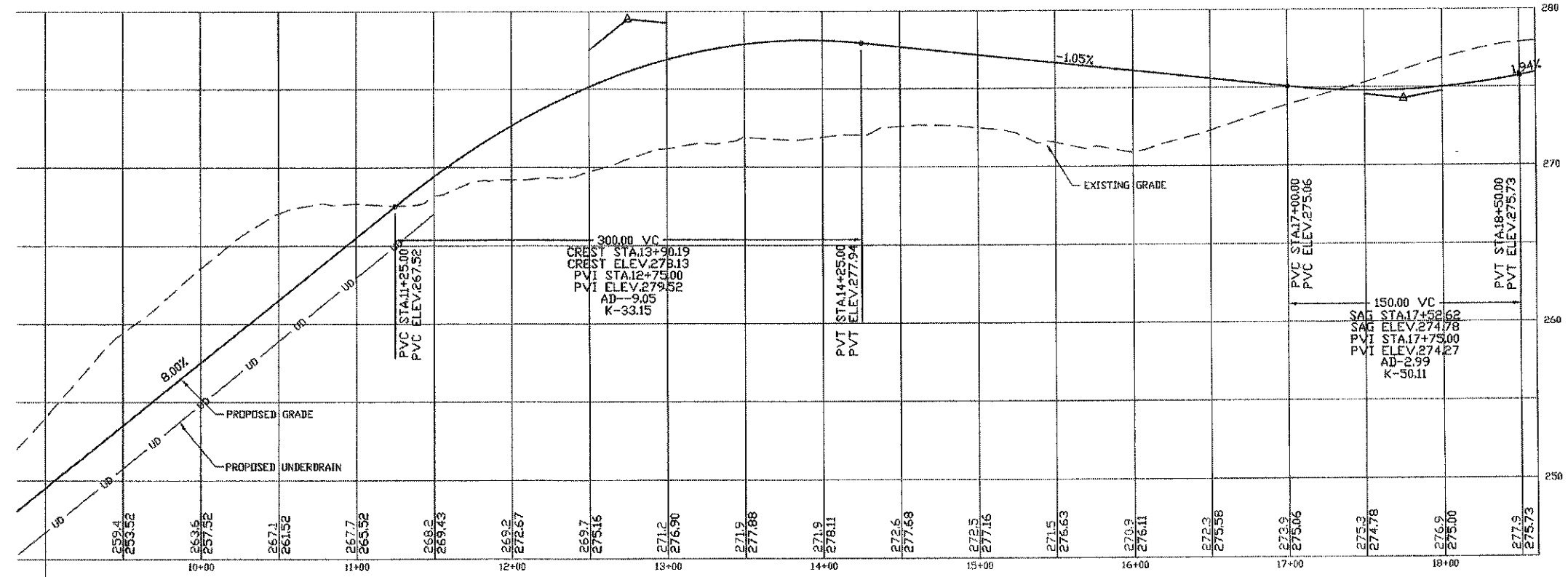
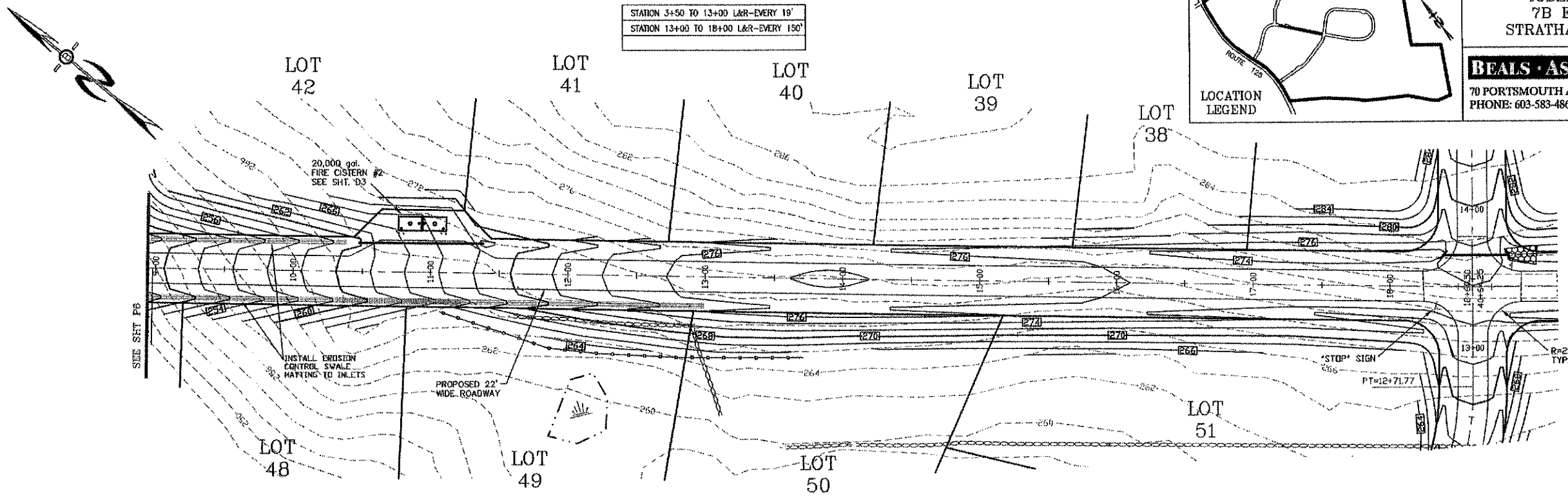
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 3+50 TO 13+00 L&R-EVERY 15'
 STATION 13+00 TO 18+00 L&R-EVERY 150'



PREPARED FOR:
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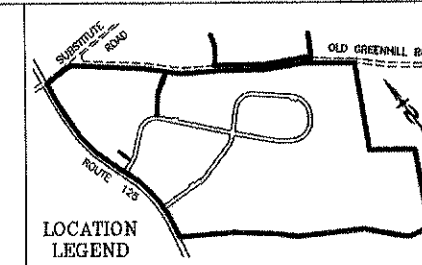
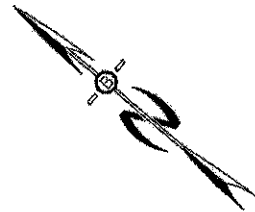
PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
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REVISED PER REVIEW COMMENTS	6-20-19
REVISED ROAD GRADES PER PG COMMENTS	6-5-19

PLAN & PROFILE - P7

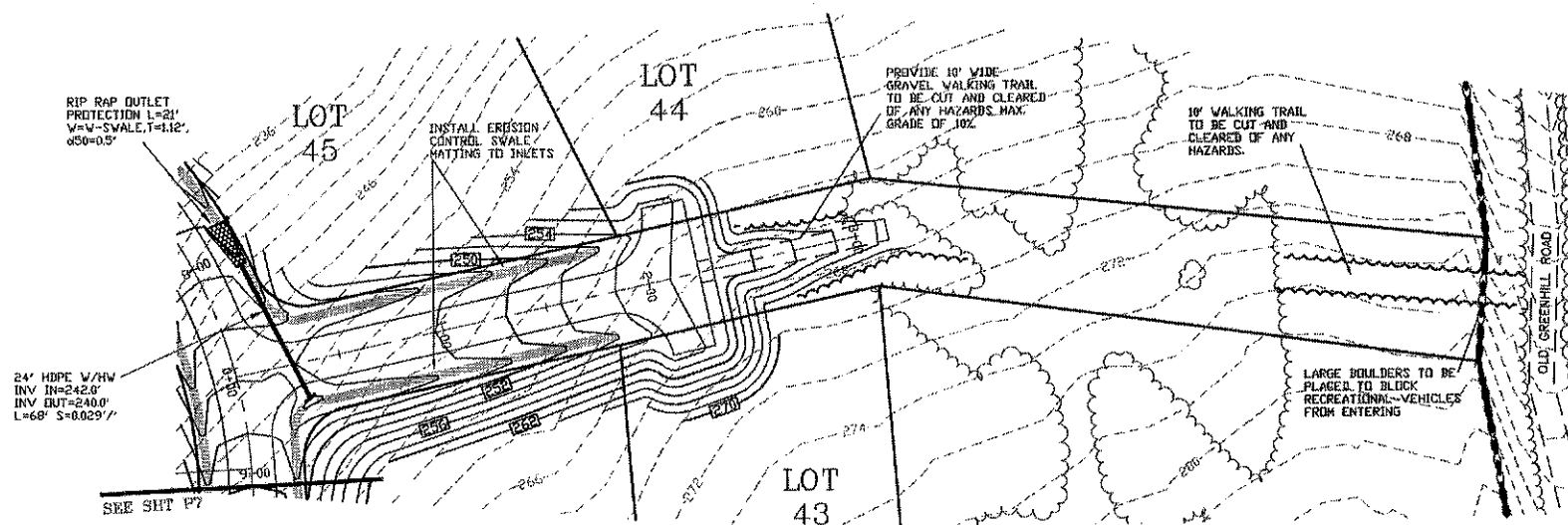
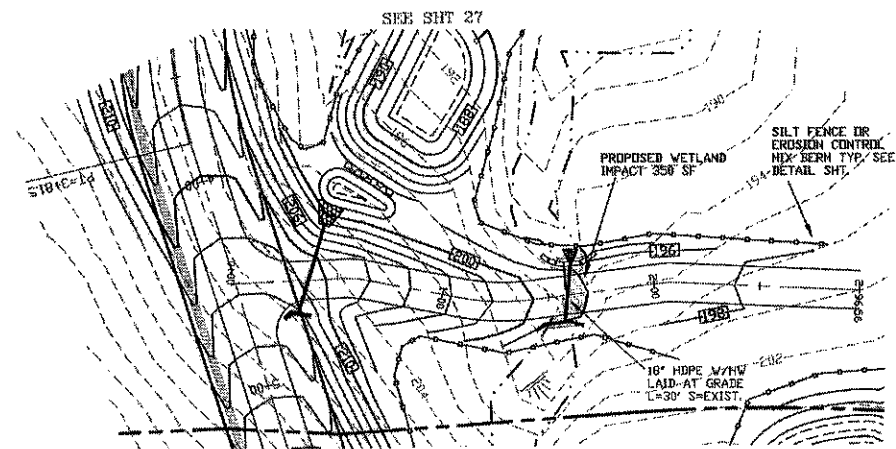
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 25 OF 37



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
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 STRATHAM, N.H. 03885

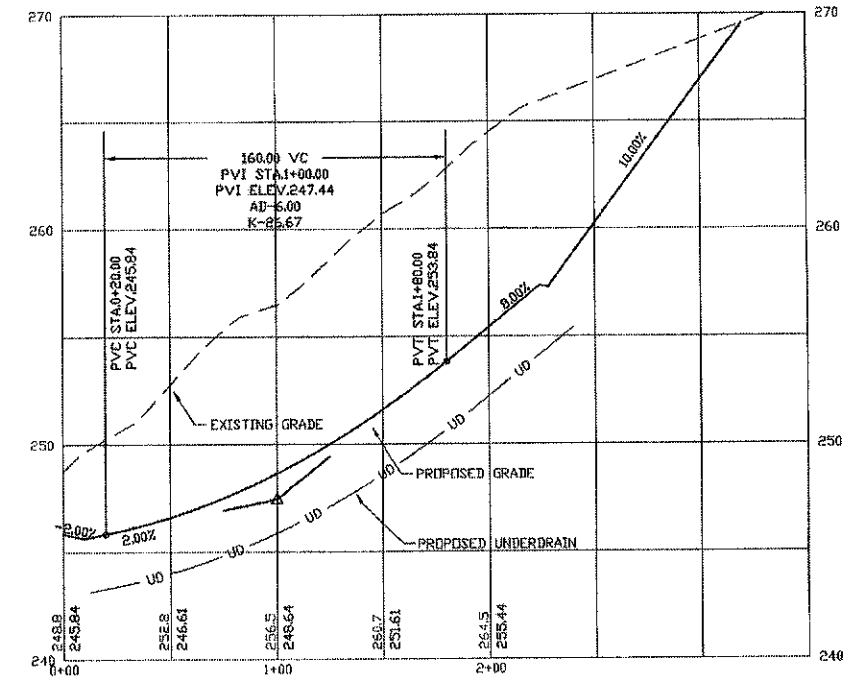
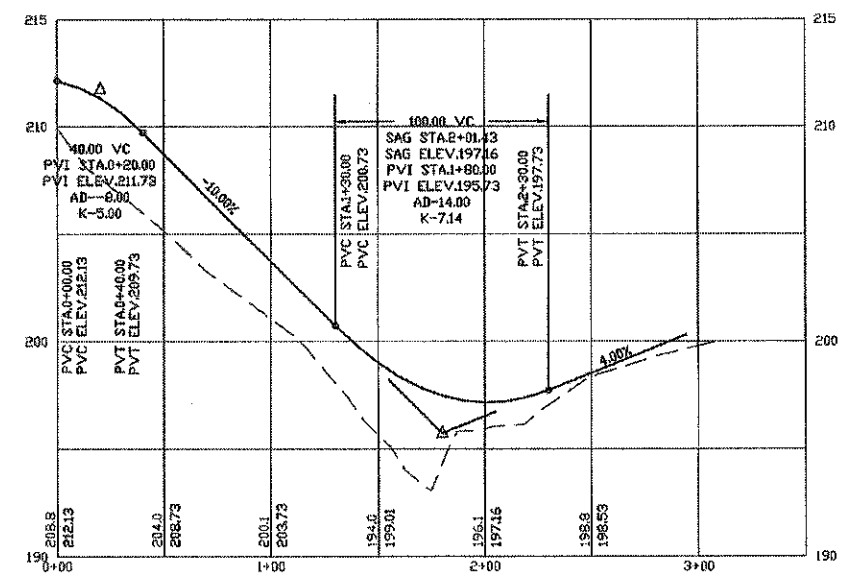
BEALS ASSOCIATES PLLC
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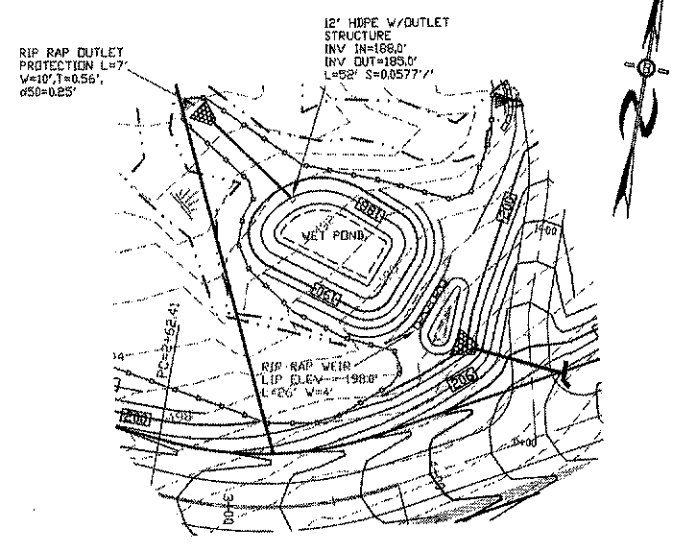
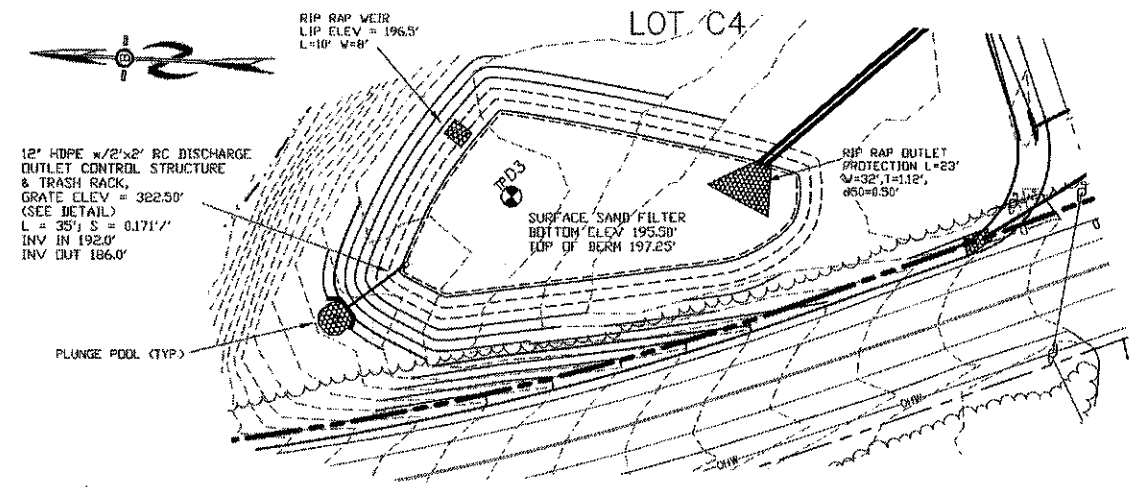


PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 0 20 40 80 160

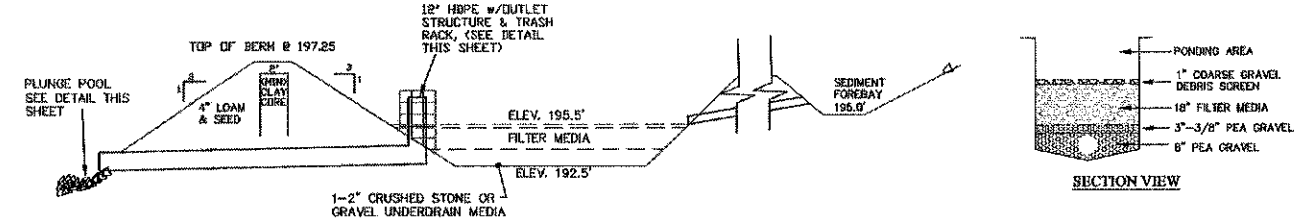
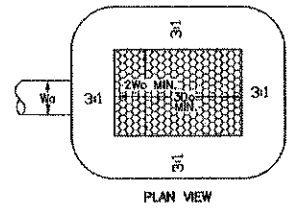
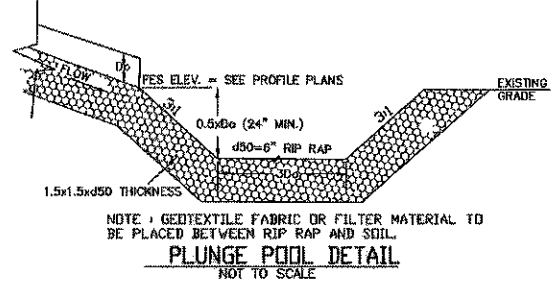
REVISED PER REVIEW COMMENTS		6-20-19
REVISED ROAD GRADES PER PB COMMENTS		6-5-19
PLAN & PROFILE - P8		
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH		
DATE:	MAY 2019	SCALE: 1" = 40'
PROJ. NO.:	NH-1144	SHEET NO. 26 OF 37

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



- GENERAL NOTES:**
1. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES (IN ACCORDANCE WITH ERM-10 1500) PRIOR TO THE START OF ANY CONSTRUCTION OPERATION THAT MAY CAUSE ANY SEDIMENTATION OR SILTATION AT THE SITE.
 2. INSTALL STORM DRAIN INLET PROTECTION TO PREVENT CLOGGING OF THE STORM SEWER AND SEDIMENT LOADS TO DOWNSTREAM STORM WATER FACILITIES OR WATERBODIES.
 3. IF THE STORMWATER BMP IS BEING DESIGNED TO SERVE AS A TEMPORARY SEDIMENT BASIN, GRADE THE BMP TO WITHIN THREE (3) FEET OF FINAL GRADE TO PROTECT THE UNDERLYING MATERIAL FROM CLOGGING. ONCE CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETED AND THE SITE IS STABILIZED, EXCAVATE THE BASIN TO FINAL GRADE AND COMPLETE CONSTRUCTION OF THE BMP.
 4. GRADING OF THE BASIN SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
 5. EXCAVATE THE BASIN TO THE SPECIFIED DEPTH (ELEVATION). IT IS RECOMMENDED THAT ALL SUB MATERIAL BELOW THE SPECIFIED ELEVATION SHALL BE LEFT UNDISTURBED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 6. GRADE TO THE DEPTH (ELEVATION) SPECIFIED IN THE CONSTRUCTION DOCUMENTS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 7. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL WILL NEED TO BE REMOVED FROM THE BASIN PRIOR TO INITIATING THE NEXT STEP IN THE CONSTRUCTION PROCESS. SEDIMENT THAT HAS BEEN WASHED INTO THE BASIN DURING THE EXCAVATION PROCESS CAN SEAL THE PERMEABLE MATERIAL, SIGNIFICANTLY REDUCING THE INFILTRATION CAPACITY OF THE SOILS.
 8. SEEDING AND INSTALLATION OF EROSION CONTROL BLANKET IF REQUIRED SHALL BE COMPLETED WITHIN 48 HOURS OF FINAL GRADING.
 9. AREA SHALL BE STAKED OFF DURING CONSTRUCTION TO RESTRICT HEAVY EQUIPMENT TRAFFIC FROM COMPACTING NATIVE SOILS.

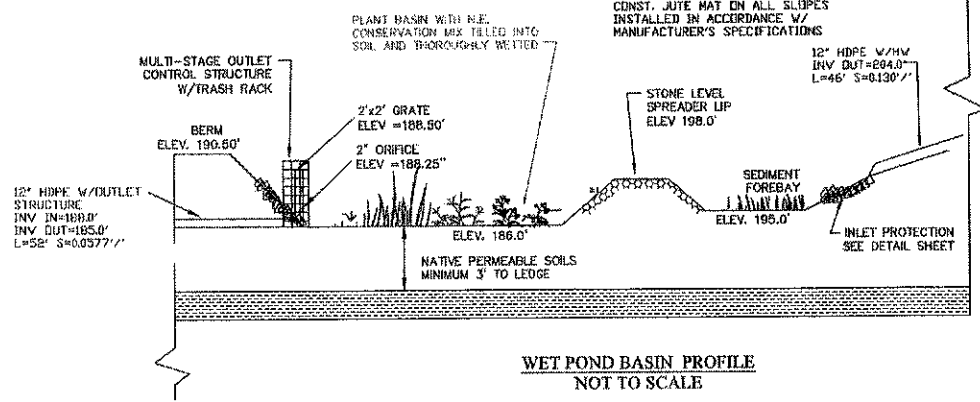
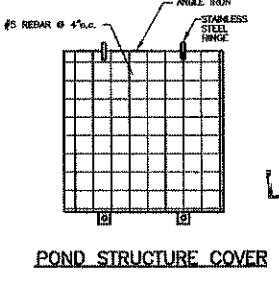
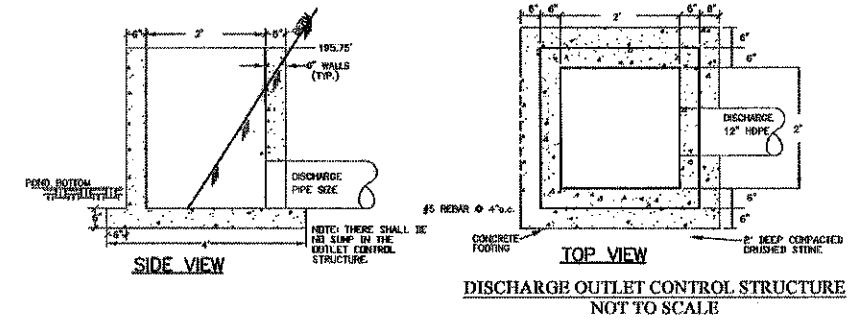


FILL MATERIAL FOR EMBANKMENT SHALL BE TAKEN FROM APPROVED BORROW AREAS. IT SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER (6) INCHES IN DIMENSION, AND NOT MORE THAN FIFTEEN PERCENT (15%) OF THE ROCKS OR LUMPS SHALL BE GREATER THAN 2 1/2 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. FILL MATERIAL SHALL MEET MHDOT ITEM 304.2: 6" PASSING 100%, #4 SIEVE 70-100%, #200 SIEVE 0-12%.

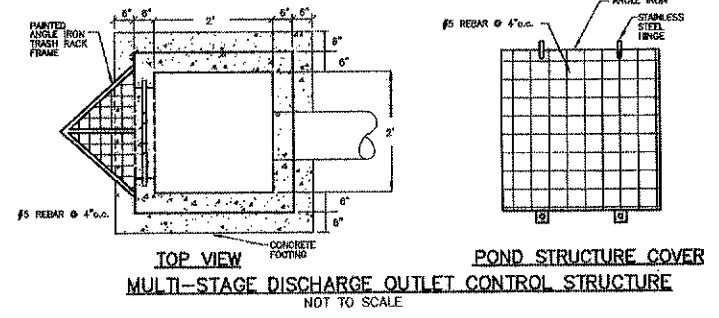
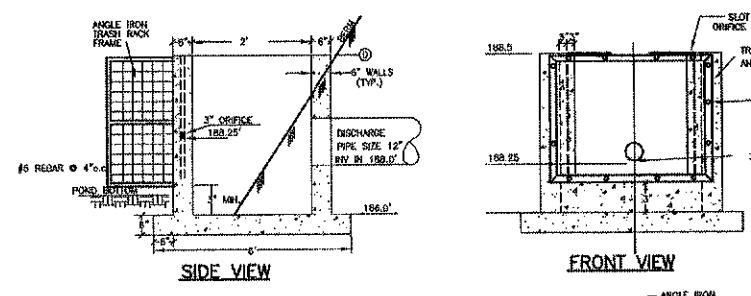
1. THE CORE FOR THE DETENTION BASIN EMBANKMENT SHALL BE CONSTRUCTED OF SILTY CLAY BORROW. THIS MATERIAL SHALL CONTAIN AT LEAST 75% BY WEIGHT PARTICLES PASSING A #200 SIEVE. IT SHALL CONTAIN NO PARTICLES LARGER THAN 3 INCHES. THIS MATERIAL SHALL HAVE A PLASTIC INDEX OF 8 OR GREATER. THE ENTIRE EMBANKMENT AREA SHALL BE STRIPPED OF ALL ORGANIC SOILS PRIOR TO PLACEMENT OF CLAY BORROW. THE CLAY BORROW SHALL BE PLACED IN LIFTS OF 12 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. THE CLAY SHALL BE PLACED AND COMPACTED AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS .5% NO ORGANIC SOILS OR FROZEN MATERIAL SHALL BE PLACED IN THE CLAY BORROW. MINIMUM CORE THICKNESS SHALL BE (2) FEET.

- NOTES**
1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12" O.C.
 2. CONCRETE BOX TO BE CONSTRUCTED OR PRE-CAST OF EQUAL DIMENSIONS & REINFORCING
 3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE. FOR PRE-CAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WITH MORTAR BY CONTRACTOR.
 5. ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
 6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-803-428-3218) OR EQUAL.
 7. STRUCTURE TO BE PAINTED W/ AN EXTERIOR FOREST GREEN PAINT OR SIMILAR AND SCREENED W/ SHRUBS

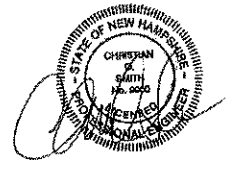
- LIST OF MATERIALS**
1. 5000 PSI CONCRETE
 2. ANGLE IRONS @ 2' LENGTH
 3. REQUIRED S.S. BOLTS & FASTENERS
 4. 1/4" STEEL PLATE W/ DRILLED ORIFICES
 5. 1/2 C.Y. - CRUSHED STONE FOR BASE



- PLANTING NOTES:**
 WETLAND PLANTINGS SHOULD INCLUDE:
1. ORLAND COVER (SEED, LOWBUSH, BLUEBERRY, ETC.)
 2. LOW GROWING SHRUBS (RED OSIER DOGWOOD, WATERBERRY OR SIMILAR) PLANTED IN CLOSER THAN 10' IN CENTER.



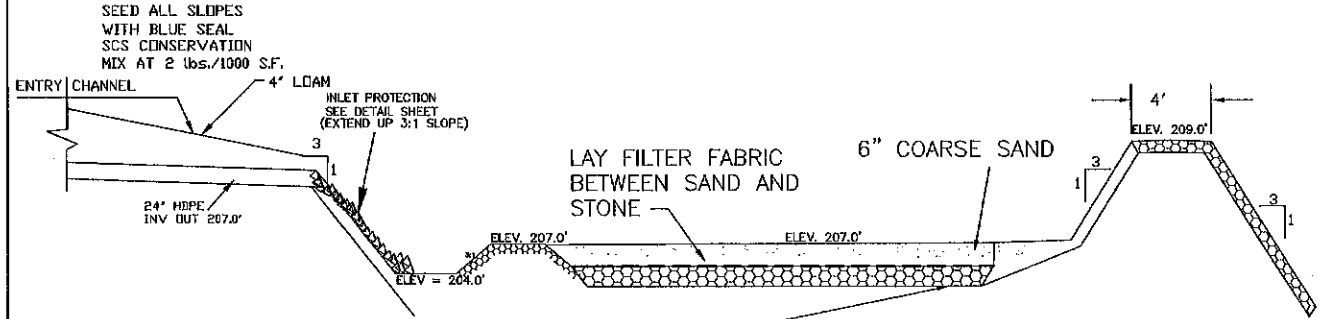
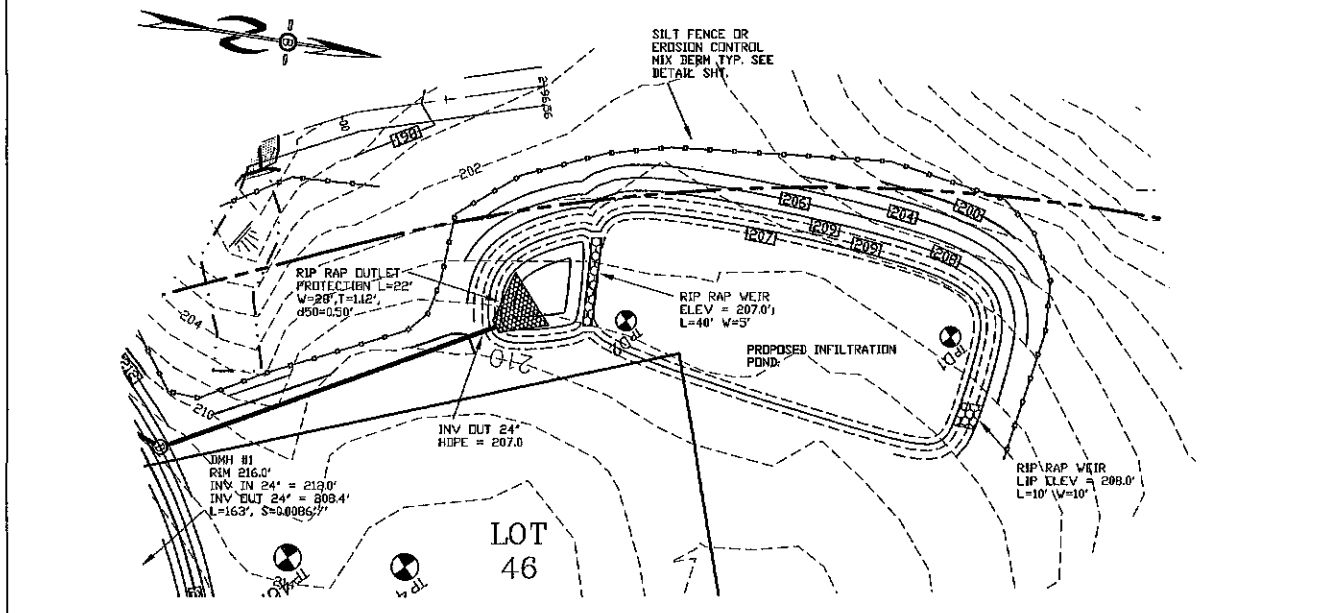
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REVISED PER REVIEW COMMENTS		6-20-19
DRAINAGE BASIN PLAN		
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH		
DATE: MAY 2019	SCALE: 1" = 40'	
PROJ. NO: NH-1144	SHEET NO: 27 OF 37	

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
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6" OF 3/8" WASHED STONE
 CROSS SECTION OF INFILTRATION BASIN

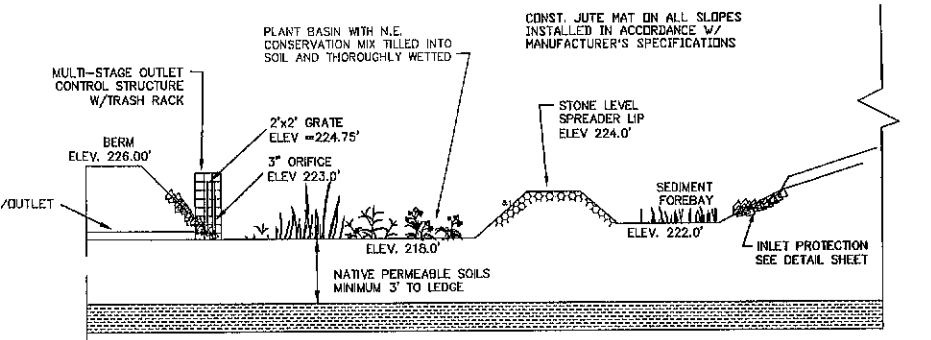
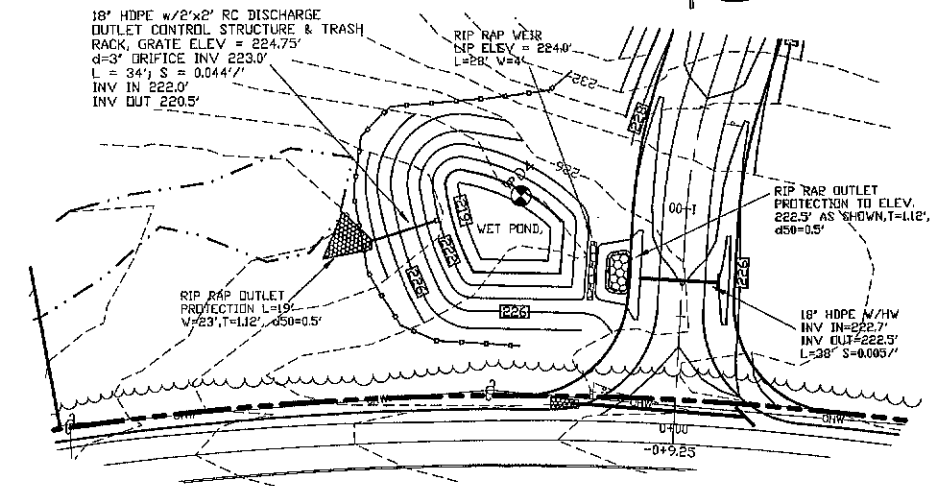
INFILTRATION BASIN NOTES:
 DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
 AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 DO NOT PLACE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

Construction Sequence

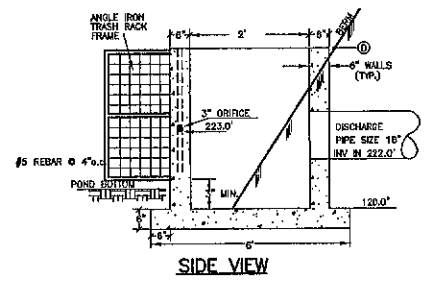
1. Protect infiltration basin area from compaction prior to installation.
2. After installation, protect sediment-laden water from entering inlets and pipes.
3. Install and maintain proper Erosion and Sediment Control Measures during construction.
4. If necessary, excavate infiltration basin bottom to an uncompacted subgrade free from rocks and debris. Do NOT compact subgrade.
5. Install Outlet Control Structures.
6. Seed and stabilize topsoil. (Vegetate if appropriate with native plantings.)
7. Do not remove Inlet Protection or other Erosion and Sediment Control measures until site is fully stabilized.
8. Any sediment that enters inlets during construction is to be removed within 24 hours.

Maintenance and Inspection

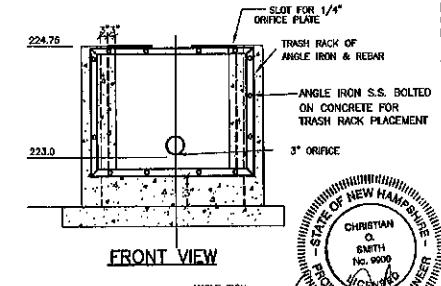
- Catch Basins and Inlets (upgradient of infiltration basin) should be inspected and cleaned on an annual basis.
- The vegetation along the surface of the Infiltration basin should be maintained in good condition, and any bare spots immediately revegetated.
- Vehicles should not be parked or driven on an Infiltration Basin, and care should be taken to avoid excessive compaction by mowers.
- Inspect the completed basin and make sure that runoff drains down within 72 hours.
- Also inspect for accumulation of sediment, damage to outlet control structures, erosion control measures, signs of water contamination/spills, and slope stability in the berms.
- Mosquito's should not be a problem if the water drains in 72 hours. Mosquitoes require a considerably long breeding period with relatively static water levels.
- Mow only as appropriate for vegetative cover species.
- Remove sediment from basin accumulations. Restore original cross section and infiltration rate. Properly dispose of sediment.



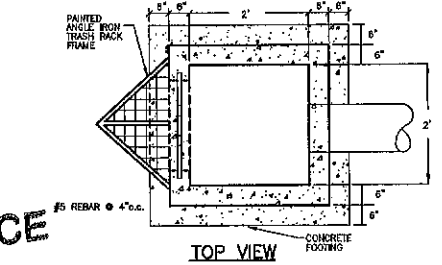
WET POND BASIN PROFILE
 NOT TO SCALE



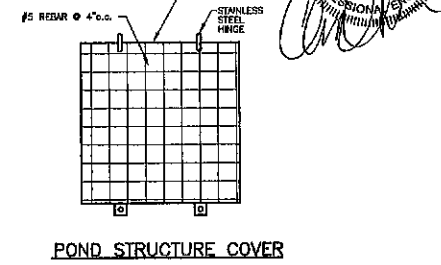
SIDE VIEW



FRONT VIEW



TOP VIEW
 MULTI-STAGE DISCHARGE OUTLET CONTROL STRUCTURE
 NOT TO SCALE

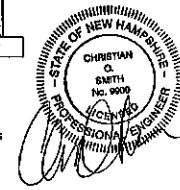


POND STRUCTURE COVER

PLANTING NOTES:
 WETLAND PLANTINGS SHOULD INCLUDE:
 1. GROUND COVER (SCGE, LOWBUSH, BLUEBERRY, ETC.)
 2. LOW GROWING SHRUBS (RED OSTER BIRCHWOOD, WINTERBERRY OR SIMILAR) PLANTED NO CLOSER THAN 10' IN CENTER.

NOTES

1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12" O.C.
2. CONCRETE BOX TO BE CONSTRUCTED OR PRE CAST OF EQUAL DIMENSIONS & REINFORCING
3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE. FOR PRE CAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
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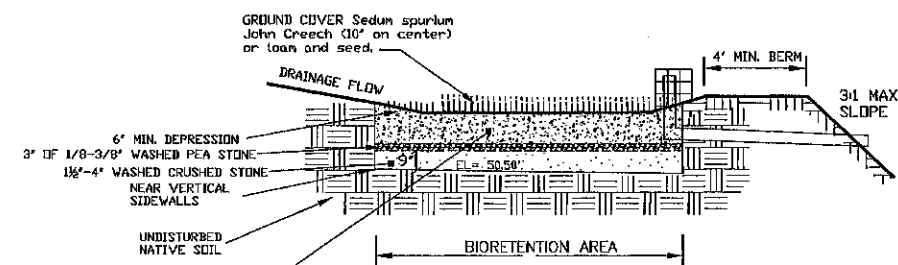
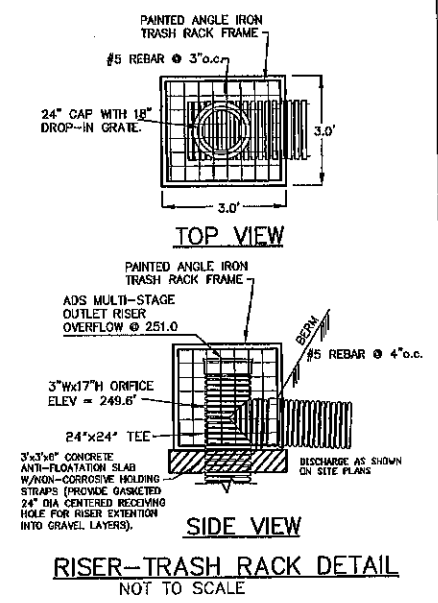
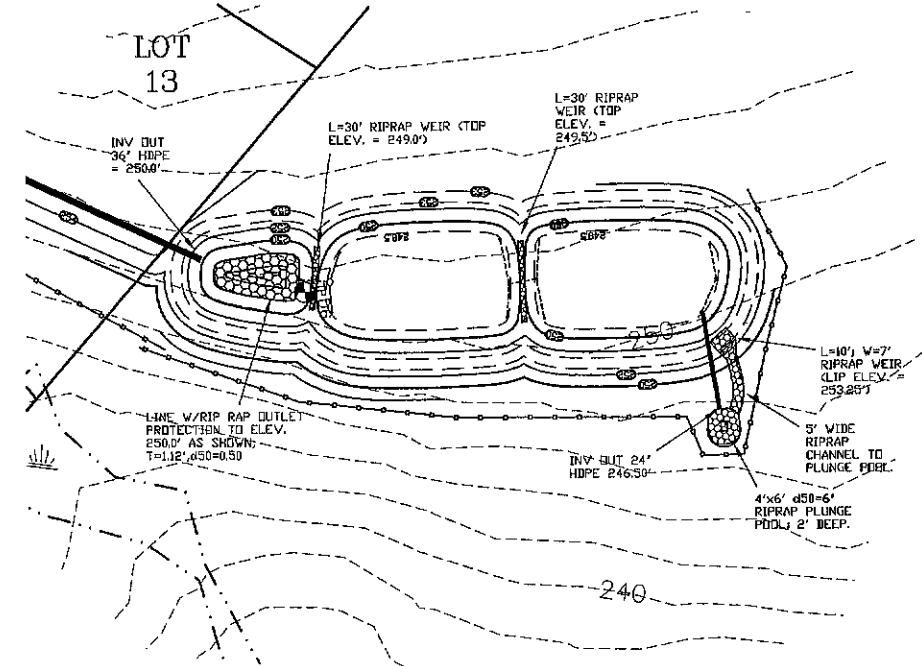
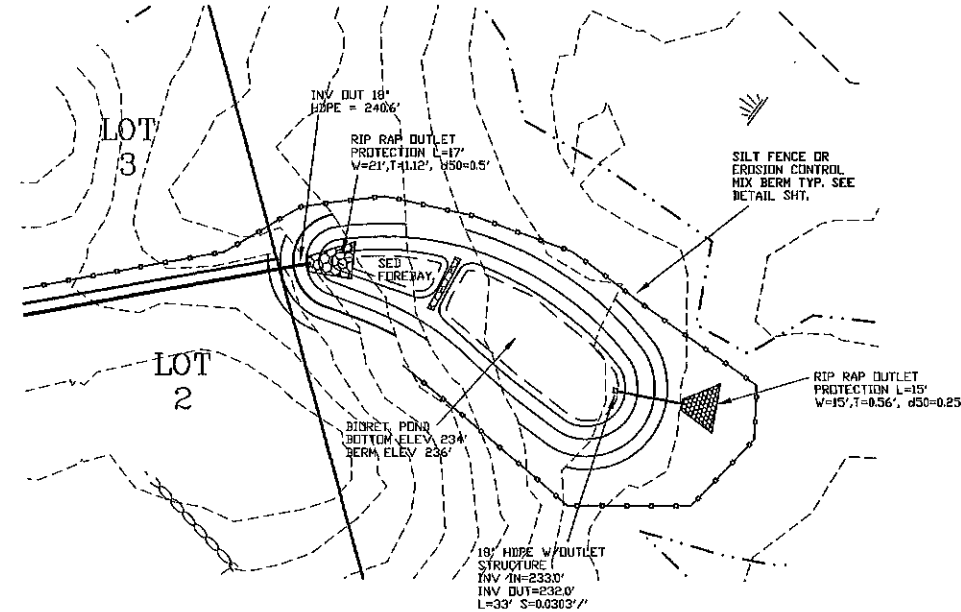


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REVISED PER REVIEW COMMENTS	6-20-19
DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 28 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
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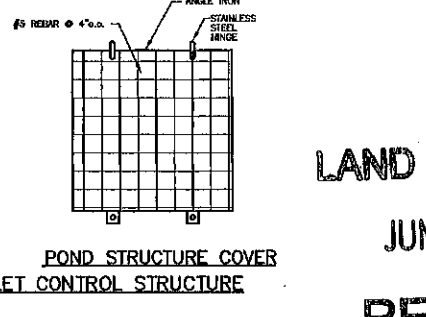
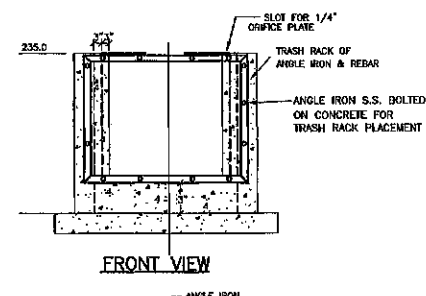
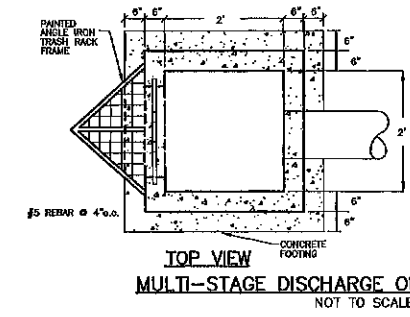
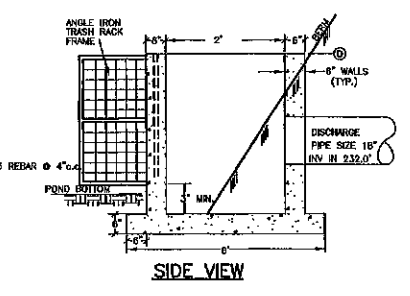
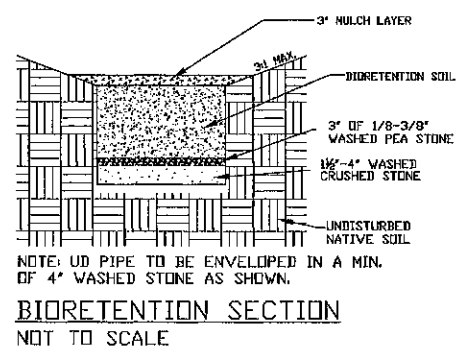


24" FILTER MEDIA MIXTURE 20% COMPOST/FINELY SHREDDED BARK OR WOOD MULCH 1/4" PASSING THE #20 SIEVE, 30% LOAMY TOPSOIL, 50% SANDY SOIL (SAND PORTION SHALL BE ASTM C33 FINE AGGREGATE)

NOTES:
 1. SCARIFY SIDES AND BOTTOM OF BIORETENTION AREA TO FACILITATE NATURAL INFILTRATION RATES.
 2. POND SURFACE TO BE FINISHED WITH 3" BARK MULCH OR 4" LOAM & SEED

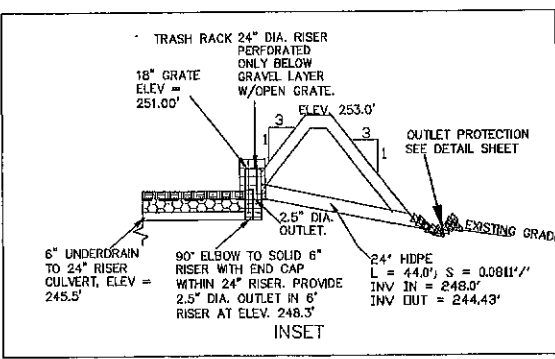
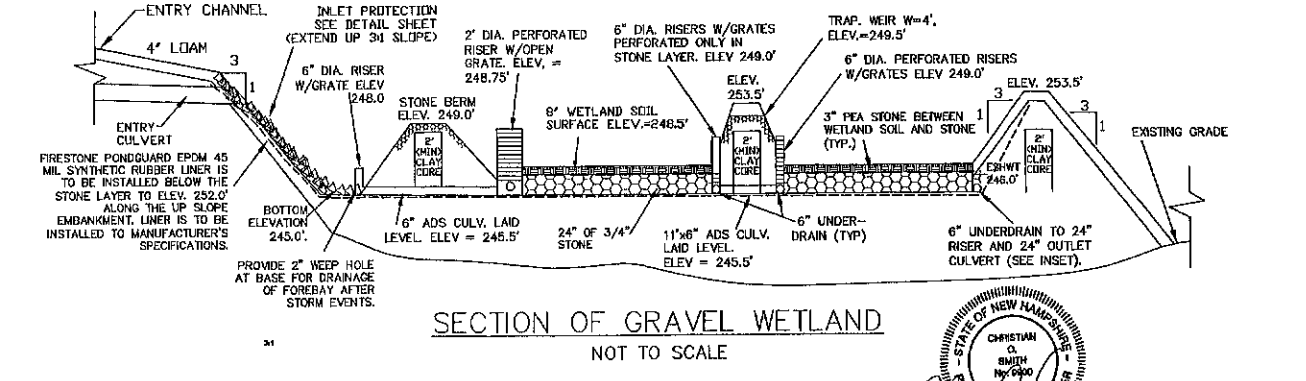
BIORETENTION SECTION NOT TO SCALE

NOTE: UD PIPE TO BE ENVELOPED IN A MIN. OF 4" WASHED STONE AS SHOWN.



SEED ALL SLOPES WITH BLUE SEAL SCS CONSERVATION MIX AT 2 lbs./1000 SF.

NOTE: BAYS TO BE SEEDDED WITH N.E. CONSERVATION MIX.



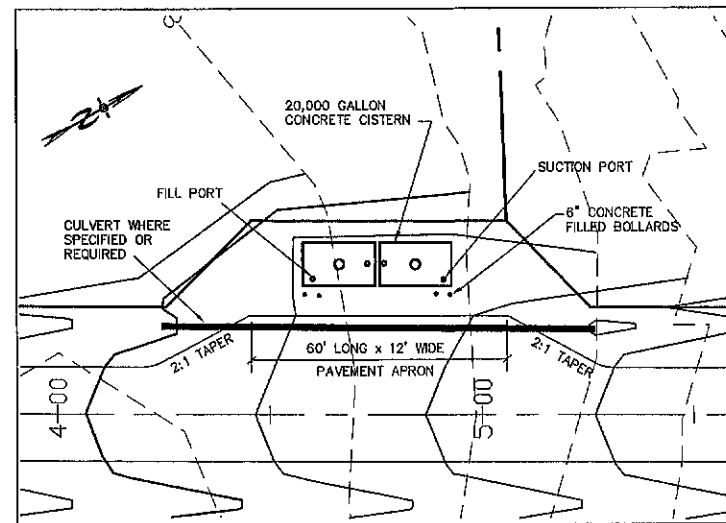
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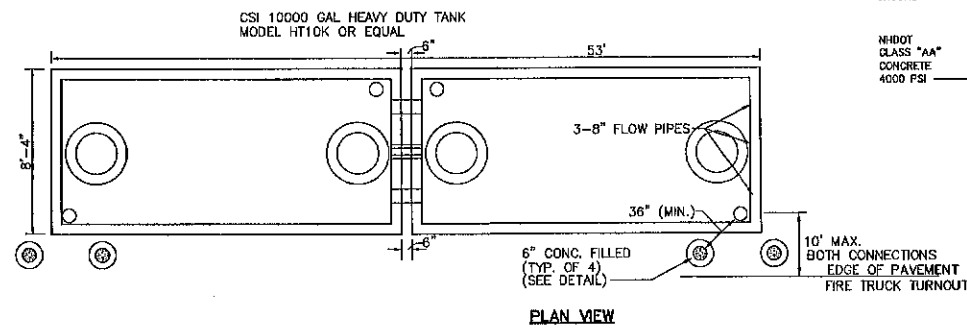
REVISED PER REVIEW COMMENTS	8-20-19
DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NE-1144	SHEET NO. 29 OF 37

CISTERN SPECIFICATIONS

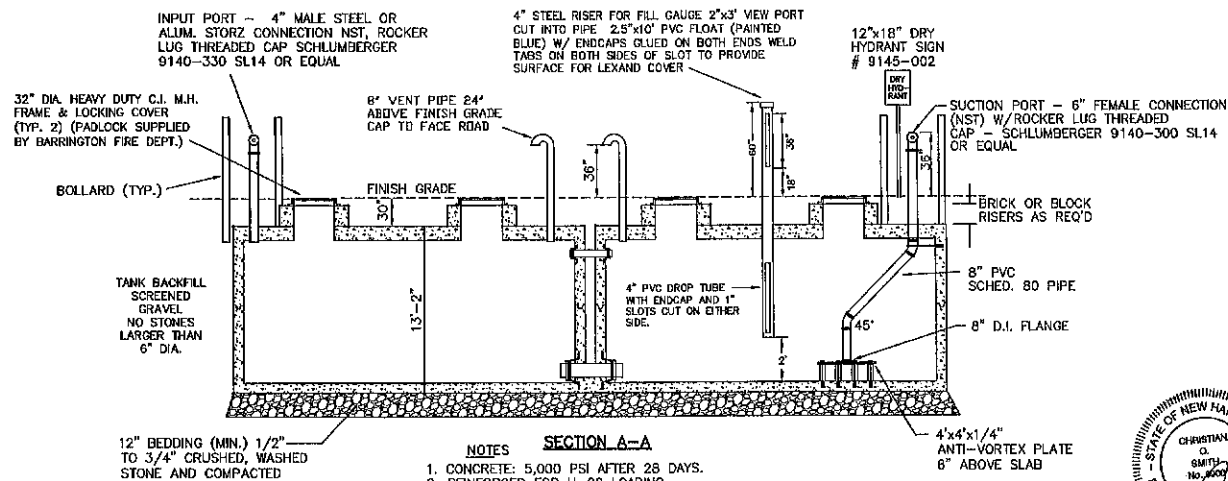
1. THE CISTERN SHALL BE DESIGNED TO BE TROUBLE FREE, AND IT SHALL BE DESIGNED TO LAST 50 YEARS.
2. THE MINIMUM CAPACITY SHALL BE 20,000 GALLONS, DEPENDING ON THE DEVELOPMENT LAYOUT/CONFIGURATION, ADDITIONAL GALLON REQUIREMENTS MAY BE IMPOSED AT THE DISCRETION OF THE FIRE CHIEF. ALL EXCEPTIONS, ADDITIONS, OR DELETIONS WILL BE IN WRITING.
3. THE SUCTION CAPACITY SHALL BE CAPABLE OF DELIVERING 1,000 GALLONS PER MINUTE (GPM) FOR THREE-QUARTERS OF THE CISTERN CAPACITY.
4. THE ENTIRE CISTERN AND APPURTENANCES SHALL BE RATED FOR HS-20 HIGHWAY LOADING.
5. DRAWINGS OF THE DESIGN ARE FOR ESTIMATING GENERAL REQUIREMENT AND DESIGN PURPOSES ONLY AND ARE NOT INTENDED FOR USE AS DESIGN.
6. EACH CISTERN SHALL BE DESIGNED, SITED TO THE PARTICULAR LOCATION, STAMPED BY A REGISTERED ENGINEER, AND APPROVED BY THE FIRE CHIEF.
7. ALL SUCTION AND FILL PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 40 STEEL. ALL VENT PIPING SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LEADING FROM THE TANK TO THE HYDRANT SHALL BE ASTM SCHEDULE 40 STEEL.
8. THE FINAL SUCTION CONNECTION SHALL BE FIVE INCH PUMPER NOZZLE WITH A CAP. THE SUCTION PIPE SHALL BE BRACED TO ENSURE DURABILITY DURING PUMPING OPERATIONS. THE FIRE CHIEF SHALL APPROVE BRACE CONFIGURATION AND INSTALLATION. THE SUCTION PIPE CONNECTION SHALL BE TWENTY-FOUR INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
9. THE FILLER CONNECTION SHALL BE 4" MALE STEEL STORZ FITTING. THIS FITTING SHALL BE 24" ABOVE FINISH GRADE AND FACE THE ROAD. A THIRTY-TWO INCH DIAMETER MANHOLE WITH COVER WILL BE LOCATED ON TOP OF THE CISTERN. THE CONFIGURATION OF THIS MANHOLE SHALL ALLOW THE UNIT TO BE SECURED WITH TWO PADLOCKS AND SHALL BE APPROVED BY THE FIRE CHIEF. THE PADLOCKS WILL BE SUPPLIED BY THE FIRE DEPARTMENT.
10. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE PUMPER CONNECTION SHALL NOT EXCEED FOURTEEN FEET VERTICAL.
11. ALL HORIZONTAL SUCTION PIPING SHALL SLOPE SLIGHTLY UPHILL TOWARD THE PUMPER CONNECTION.
12. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE INCHES OF 3/4" TO 1 1/2" WASHED PEA STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE. OVER EXCAVATION SHALL BE FILLED WITH THE SAME STONE BEDDING MATERIAL.
13. ALL BACKFILL MATERIALS SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN SIX INCHES AND SHALL BE COMPACTED TO 95 PERCENT OF ITS ORIGINAL VOLUME IN ACCORDANCE WITH ASTM D 1557. 16. THE TOP OF CISTERN SHALL BE INSULATED WITH VERMIN RESISTANT FOAM INSULATION AND TWO FEET OF BACKFILL WITH A MINIMUM WEIGHT OF 120 PCF, COMPACTED. FOAM USED FOR THIS INSTALLATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R=5 PER INCH. ALL BACKFILL SHALL EXTEND TEN FEET BEYOND THE EDGE OF THE VEHICLE PAD AND THEN HAVE A MAXIMUM OF 3:1 SLOPE, LOAM AND SEEDED.
14. BEFORE ANY BACKFILLING IS DONE THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BY THE FIRE CHIEF.
15. AFTER BACKFILLING, BOLLARDS OR LARGE STONES SHALL BE PLACED TO PROTECT THE TANK AND APPURTENANCES.
16. THE PITCH OF THE SHOULDER AND VEHICLE PAD FROM THE EDGE OF THE PAVEMENT TO THE PUMPER SUCTION CONNECTION SHALL BE ONE PERCENT TO THREE PERCENT DOWNGRADE.
17. THE SHOULDER AND VEHICLE PAD SHALL BE OF A SUFFICIENT LENGTH TO ALLOW CONVENIENT ACCESS TO THE SUCTION CONNECTION WHEN THE PUMPER IS SET AT 45 DEGREES TO THE ROAD. THE SHOULDER AND VEHICLE PAD SECTION SHALL CONSIST OF 3" BITUMINOUS PAVING, REFER TO SITE PLAN FOR REQUIREMENTS.
18. THE SUCTION FITTING SHALL BE LOCATED BETWEEN 22 AND 24 FEET FROM THE NEAREST RUNNING EDGE OF ROAD PAVEMENT. TWO CONCRETE FILLED STEEL BOLLARDS SHALL BE PLACED IN A MANNER TO PROTECT THE HYDRANT. THE BASE OF THESE BOLLARDS SHALL EXTEND BELOW THE FROST LINE. THE UPPER PORTION OF THE BOLLARDS SHALL EXTEND THIRTY SIX INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
19. ALL CONSTRUCTION, BACKFILL, AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND SHALL BE ACCEPTABLE TO THE FIRE CHIEF.
20. THE FIRE CHIEF (OR REPRESENTATIVE) AND THE ENGINEER'S INSPECTOR WILL BE NOTIFIED BY THE CONTRACTOR TO OBSERVE THE FOLLOWING POINTS OF INSTALLATION:
 - A. EXCAVATION COMPLETE
 - B. CRUSHED STONE INSTALLED AND COMPACTED
 - C. BACKFILLING COMPLETE PRIOR TO PLACEMENT OF INSULATION.
 - D. PLACEMENT OF INSULATION.
 - E. START AND FINISH OF LEAKAGE TEST.
 - F. PIPING MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
 - G. ALL BACKFILLING LOAM, SEED, ETC. COMPLETE WITH TURNOUT GRAVEL IN PLACE AND GRADED.
 - H. PAVEMENT COMPLETE, AND ALL OTHER WORK 100% COMPLETE.
21. THE FIRE CHIEF SHALL BE NOTIFIED OF THE DATE THAT SITE WORK IS TO BEGIN.
22. ANY EXCEPTION, ADDITIONS, OR DELETIONS ARE DATED AND NOTED BELOW.
23. CONCRETE MUST HAVE A MINIMUM OF 150 PCF.
24. STONE AND GRAVEL BACKFILL MUST HAVE A MINIMUM OF 120 PCF.



TYPICAL CISTERN PLAN
1"=20'



PLAN VIEW



SECTION A-A

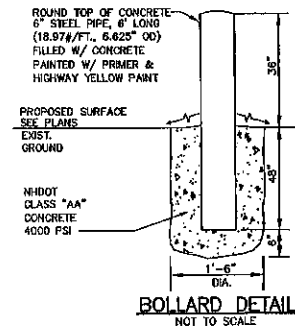
- NOTES**
1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
 2. REINFORCED FOR HS-20 LOADING.
 3. JOINTS SEALED WATER TIGHT.
 4. ALL BELOW GRADE EXTERIOR SURFACES OF THE TANK SHALL BE COATED WITH KOL-TAR'S BLACK SHIELD ASPHALT COATING, OR APPROVED EQUAL.
 5. CISTERN INSTALLATION MUST CONFORM WITH ALL LOCAL FIRE DEPARTMENT REQUIREMENTS.

PROPOSED 20,000 GAL. FIRE CISTERN DETAIL
NOT TO SCALE

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
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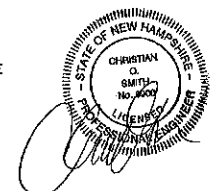
BOLLARD DETAIL
NOT TO SCALE

LAND USE OFFICE

JUN 27 2019

RECEIVED

REVISIONS:	DATE:
CISTERN DETAIL SHEET - D3	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: AS NOTED
PROJ. NO: NH-1144	SHEET NO. 38 OF 37



STONE BERM LEVEL SPREADER

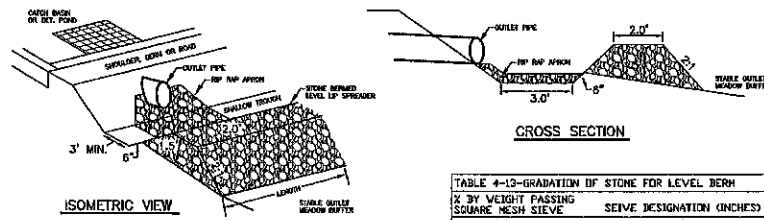
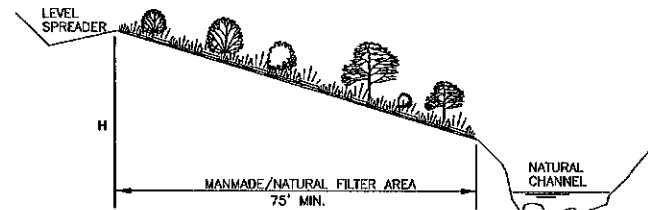


TABLE 4-13-GRADATION OF STONE FOR LEVEL BERM

% BY WEIGHT PASSING SQUARE MESH SIEVE	SIEVE DESIGNATION (INCHES)
100%	12
94%-100%	6
60%-83%	3
40%-50%	No. 4
0%-12%	

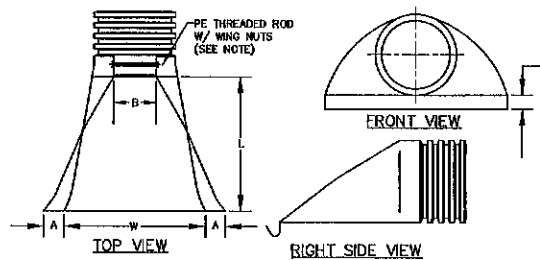
LEVEL SPREADER

1. CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCLUSION ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.



- MAINTENANCE**
1. FILTER STRIPS SHOULD BE MAINTAINED AS NATURAL AREAS ONCE THE VEGETATION IS ESTABLISHED. THE FILTER STRIP SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO COMPLETE THE ESTABLISHMENT OF THE STRIP SINCE MOST SPECIES TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 2. THE FILTER STRIP SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR RAINSTORM TO DETERMINE IF THE ENTRANCE CONDITIONS ARE STILL UNIFORM AND LEVEL AND TO SEE IF RILLS HAVE FORMED. ANY PROBLEM AREAS SHOULD BE REPAIRED PROMPTLY TO PREVENT FURTHER DETERIORATION.

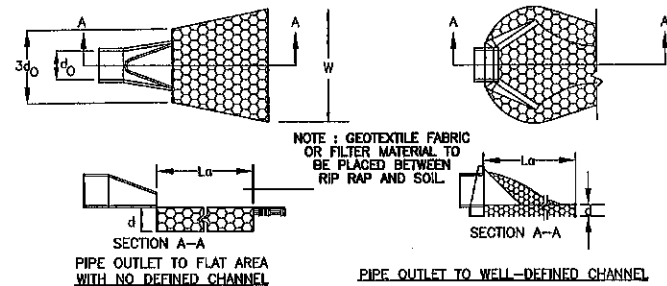
DEVELOPED AREA BUFFER DETAIL



PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

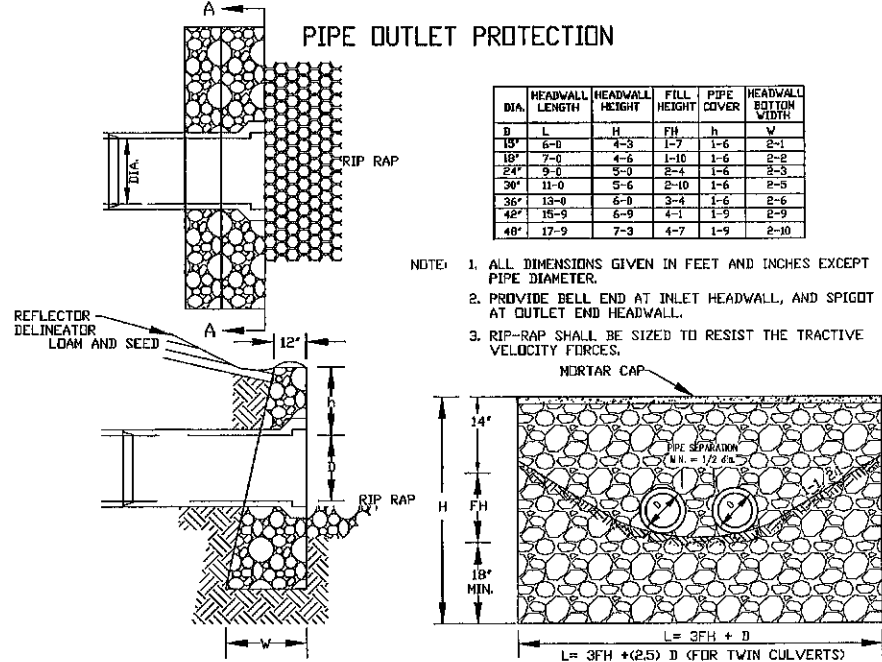
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



- CONSTRUCTION SPECIFICATIONS**
1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. STONE FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
 6. FLAT ROCKS SHALL NOT USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.
- MAINTENANCE**
1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

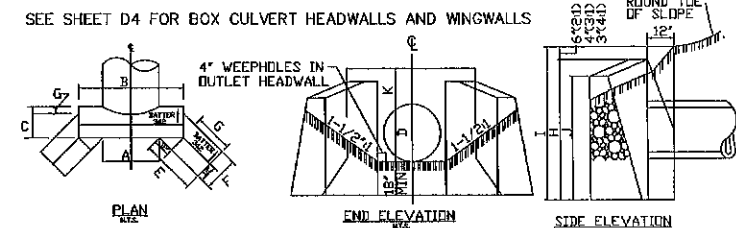
PIPE OUTLET PROTECTION



DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
15"	6-0	4-3	1-7	1-6	2-1
18"	7-0	4-6	1-10	1-6	2-2
24"	9-0	5-0	2-4	1-6	2-3
30"	11-0	5-6	2-10	1-6	2-5
36"	13-0	6-0	3-4	1-6	2-6
42"	15-0	6-9	4-1	1-9	2-9
48"	17-9	7-3	4-7	1-9	2-10

- NOTE: 1. ALL DIMENSIONS GIVEN IN FEET AND INCHES EXCEPT PIPE DIAMETER.
2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
3. RIP-RAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.

MORTAR RUBBLE, MASONRY HEADWALL DETAIL
NOT TO SCALE

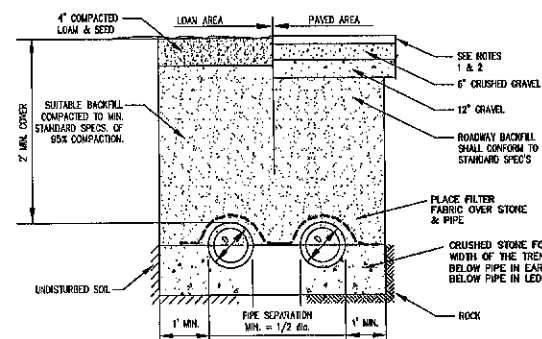


DIMENSIONS SHOWN ARE TO PAVEMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAVEMENT LINES ON SLOPING FACES.

D	A	B	C	E	F	G	H	I	J	K
24"	2-6	5-4	2-3	2-11	1-11	0-6	5-0	4-6	3-10	1-6
30"	3-1	5-11	2-5	2-6	2-0	0-5	5-6	5-0	4-1	1-6
36"	3-8	6-6	2-6	4-1	2-1	0-4	6-0	5-6	4-4	1-6
42"	4-3	7-1	2-9	5-0	2-2	0-3	6-9	6-3	4-10	1-9
48"	4-10	7-8	2-10	5-8	2-3	0-2	7-3	6-9	5-1	1-9

MORTAR RUBBLE, MASONRY HEADWALL W/ 45° WINGWALLS
NOT TO SCALE

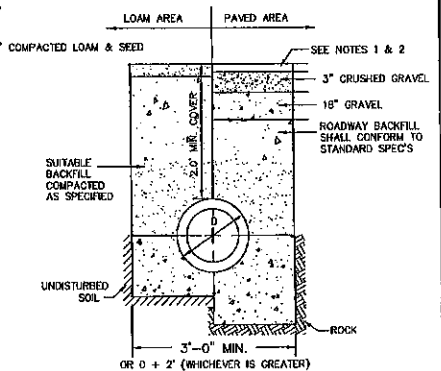
TYPICAL DRAINAGE TRENCH DETAIL



1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

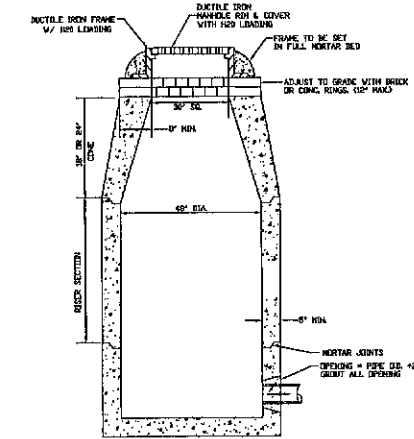
PREPARED FOR:
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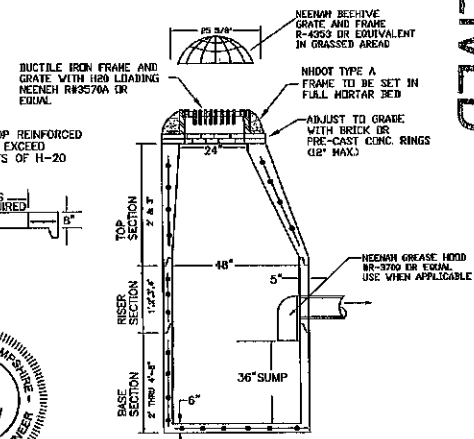


- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.

TYPICAL DRAINAGE TRENCH
NOT TO SCALE

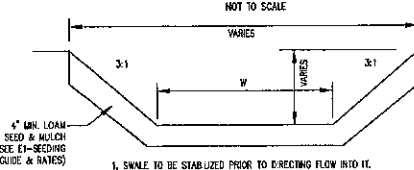


PRECAST DRAIN MANHOLE
NOT TO SCALE



PRECAST CATCH BASIN
NOT TO SCALE

VEGETATED TREATMENT SWALE
NOT TO SCALE



- MAINTENANCE
1. SWALE TO BE STABILIZED PRIOR TO DIRECTING FLOW INTO IT.
- VEGETATED CHANNELS
DURING THE INITIAL ESTABLISHMENT PERIOD, FLOW SHOULD BE DIVERTED OUT OF THE CHANNEL IF AT ALL POSSIBLE TO ALLOW FOR A GOOD STAND OF GRASS. IF THIS IS NOT POSSIBLE USE MATING. IN ANY CASE DURING THE ESTABLISHMENT PERIOD, THE CHANNEL SHOULD BE CHECKED PERIODICALLY TO DETERMINE IF THE GRASS IS STILL IN GOOD CONDITION AND IN PLACE. THE VEGETATION SHOULD BE FERTILIZED ON AN "AS-NEEDED" BASIS. THE CHANNEL SHOULD BE MOWED FREQUENTLY ENOUGH TO KEEP THE VEGETATION VIGOROUS AND TO CONTROL THE ENCRUSTMENT OF WEEDS AND WOODY VEGETATION. AFTER THE VEGETATION HAS BECOME ESTABLISHED, THE CHANNEL SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO SEE IF DAMAGE HAS OCCURRED. ANY DAMAGED AREAS SHOULD BE REPAIRED AND BE VEGETATED IMMEDIATELY.

REVISIONS:	DATE:

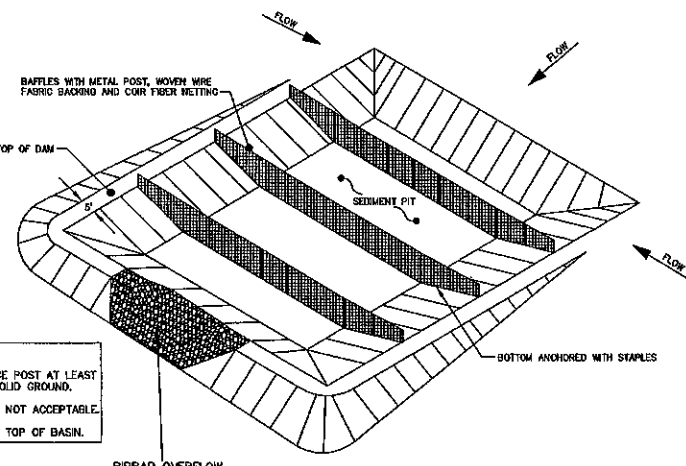
CONSTRUCTION DETAILS D1

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: MAY 2019 SCALE: 1"=10'
PROJ. NO: NH-1144 SHEET NO. 30 OF 37

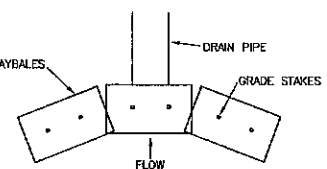
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- NOTES:**
1. DRIVE STEEL FENCE POST AT LEAST 18 INCHES INTO SOLID GROUND.
 2. WOOD POSTS ARE NOT ACCEPTABLE.
 3. DIRECT WATER TO TOP OF BASIN.

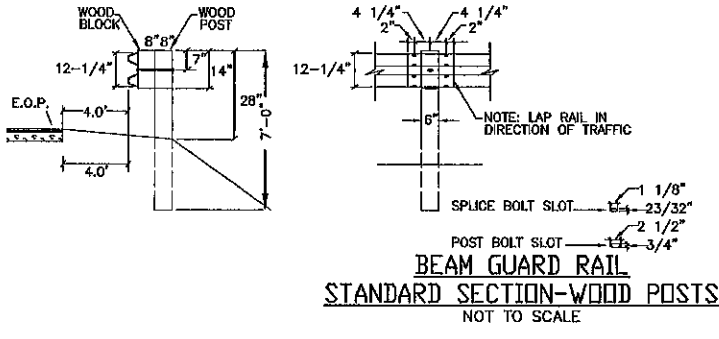
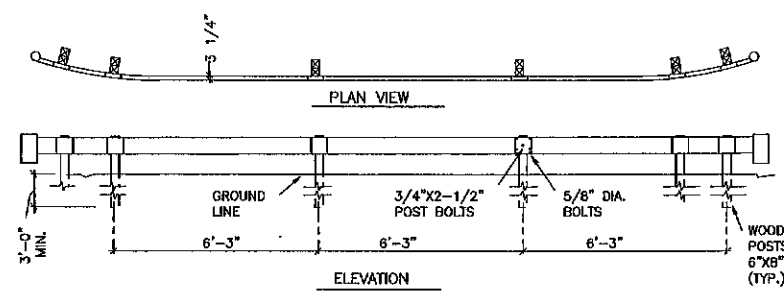
**PERSPECTIVE VIEW
TEMPORARY SEDIMENT BASIN**



PIPE INLET PROTECTION

SPECIFICATIONS

SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. BALES SHOULD BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ADJUTING ONE ANOTHER. THE ENDS OF THE BARRIER SHOULD BE FLARED UP SLOPE. BARRIERS SHOULD NOT BE CONSTRUCTED MORE THAN ONE BALE HIGH. ALL BALES SHOULD BE EITHER WIRE-BOUND OR SPRING-TIED. BALES SHOULD BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES, PARALLEL TO THE GROUND SURFACE TO PREVENT DETERIORATION OF THE BARRIERS. THE BARRIER SHOULD BE ENTRENCHED AND BACKFILLED. A TRENCH SHOULD BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHOULD BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHOULD CONFORM TO THE GROUND LEVEL ON THE DOWNWIND SIDE AND SHOULD BE BUILT UP 4 INCHES AGAINST THE UPWIND SIDE OF THE BARRIER. IDEALLY, BALES SHOULD BE PLACED TO FEET AWAY FROM THE TOP OF SLOPE. AT LEAST TWO STAKES SHOULD BE DRIVEN THROUGH THE BALE AND PENETRATING AT LEAST 18 INCHES INTO THE GROUND. SHOULD SECURELY ANCHOR EACH BALE. THE FIRST STAKE IN EACH BALE SHOULD BE DRIVEN TOWARD THE PREVIOUSLY Laid DALE TO FORCE THE DALES TOGETHER. STAKES SHOULD BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE DALES. THE GAPS BETWEEN BALES SHOULD BE CHINKED (FILLED BY WEDGING) WITH HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES. INSPECTION SHOULD BE FREQUENT AND REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED. BALE BARRIERS SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

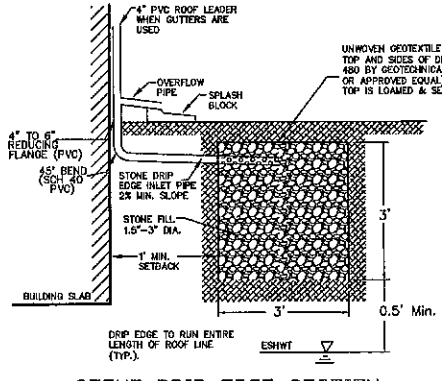


**BEAM GUARD RAIL
STANDARD SECTION-WOOD POSTS
NOT TO SCALE**

- NOTES:**
1. USE IN HEAVY TRAFFIC AREAS.
 2. STEEL BRACKET TO BE 10 OR 12 GAGE STEEL.
 3. USE 6'-0" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER
 4. ALL TIMBER POSTS TO BE TREATED WITH PRESERVATIVE MATERIAL CONFORMING TO AASHTO M133
 5. POST BOLTS TO BE 18" W/MIN. 2 1/2" THREAD LENGTH.
 6. RAIL SHEET THICKNESS TO BE 12 GA.

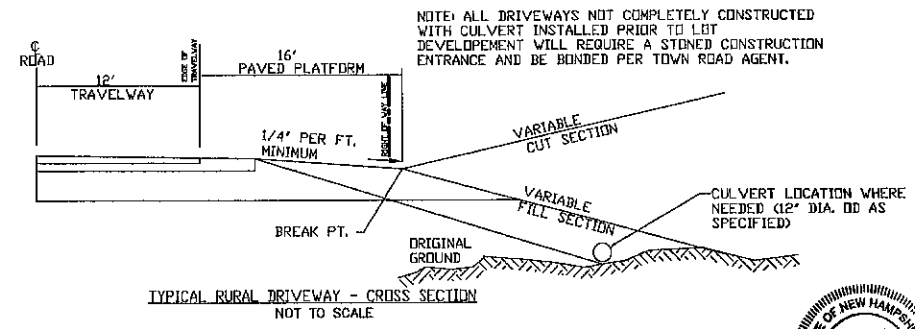
**LAND USE OFFICE
JUN 27 2019
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TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R2-1	SPEED LIMIT 25	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
W14-2	NO OVERTAKE	24" 24"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
W16-BP	Proposed Rd.	VARIES 8"	WHITE ON GREEN	CHANNEL	7'-0"	REFLECTORIZED SIGN
31-0650(D)	NO STOPPING	12" 18"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN (MODIFIED WORDING)

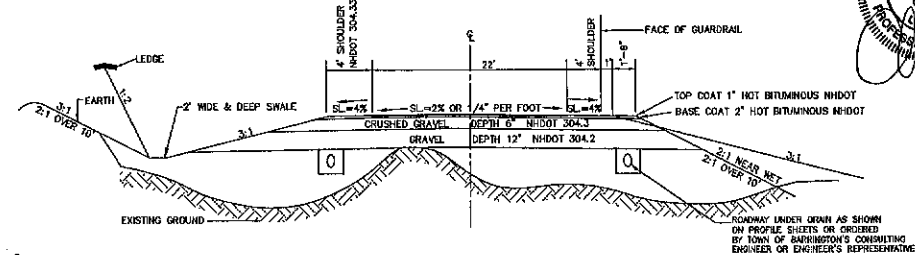


**STONE DRIP EDGE SECTION
NOT TO SCALE**

NOTE: ALL NEW RESIDENTIAL BUILDINGS SHALL HAVE STONE TRENCHES FOR ROOF RUNOFF MITIGATION (SEE DETAIL 18'S SHEET). TRENCHES SHALL BE 3" IN WIDTH AND EXTEND THE ENTIRE LENGTH OF THE ROOF EAVES (BOTH SIDES OF HOUSE) AS REQUIRED PER THE WHITES ACT PERMIT. THE DRIP EDGES WILL BE INSPECTED WITHIN THE FIRST THREE MONTHS AFTER CONSTRUCTION. THEREAFTER THE DRIP EDGES WILL BE INSPECTED 2 TIMES PER YEAR TO ENSURE THAT THEY ARE DRAINING WITHIN 72 HOURS OF A RAIN EVENT EQUIVALENT TO 2.5" OR MORE. REMOVE AND DISPOSE OF SEDIMENTS OR DEBRIS AS NEEDED. TOTAL REHABILITATION OF A DRIP EDGE SHOULD BE CONDUCTED TO MAINTAIN STORAGE CAPACITY WITHIN 2/3 OF THE DESIGN VOLUME AND 72-HOUR EXPIRATION RATE LIMIT. TRENCH WALLS SHOULD BE EXCAVATED TO EXPOSE CLEAN SOIL UPON FAILURE, AND THE SOIL SCARIFIED PRIOR TO REPLACEMENT OF CLEAN STONE.



**TYPICAL RURAL DRIVEWAY - CROSS SECTION
NOT TO SCALE**

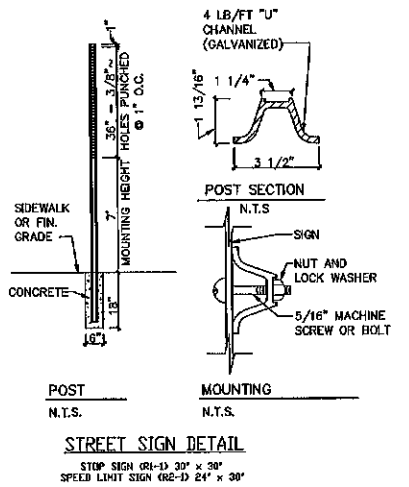


NOTES: ALL DISTURBED AREAS TO HAVE 4" MIN. LOAM & SEED. GRAVEL DEPTHS MAY NEED TO BE INCREASED IN AREAS OF POOR SOILS. GRAVEL MAY BE PLACED AT 12" LIFTS. COMPACTION SHALL BE PERFORMED UNTIL 92% OF MAXIMUM DRY DENSITY. DENSITY TESTING IS REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE ROADBED PER TOWN REGULATIONS.

**TYPICAL CROSS SECTION
NOT TO SCALE**

PREPARED FOR:
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 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



**RISER-TRASH RACK DETAIL
NOT TO SCALE**

CONSTRUCTION CRITERIA

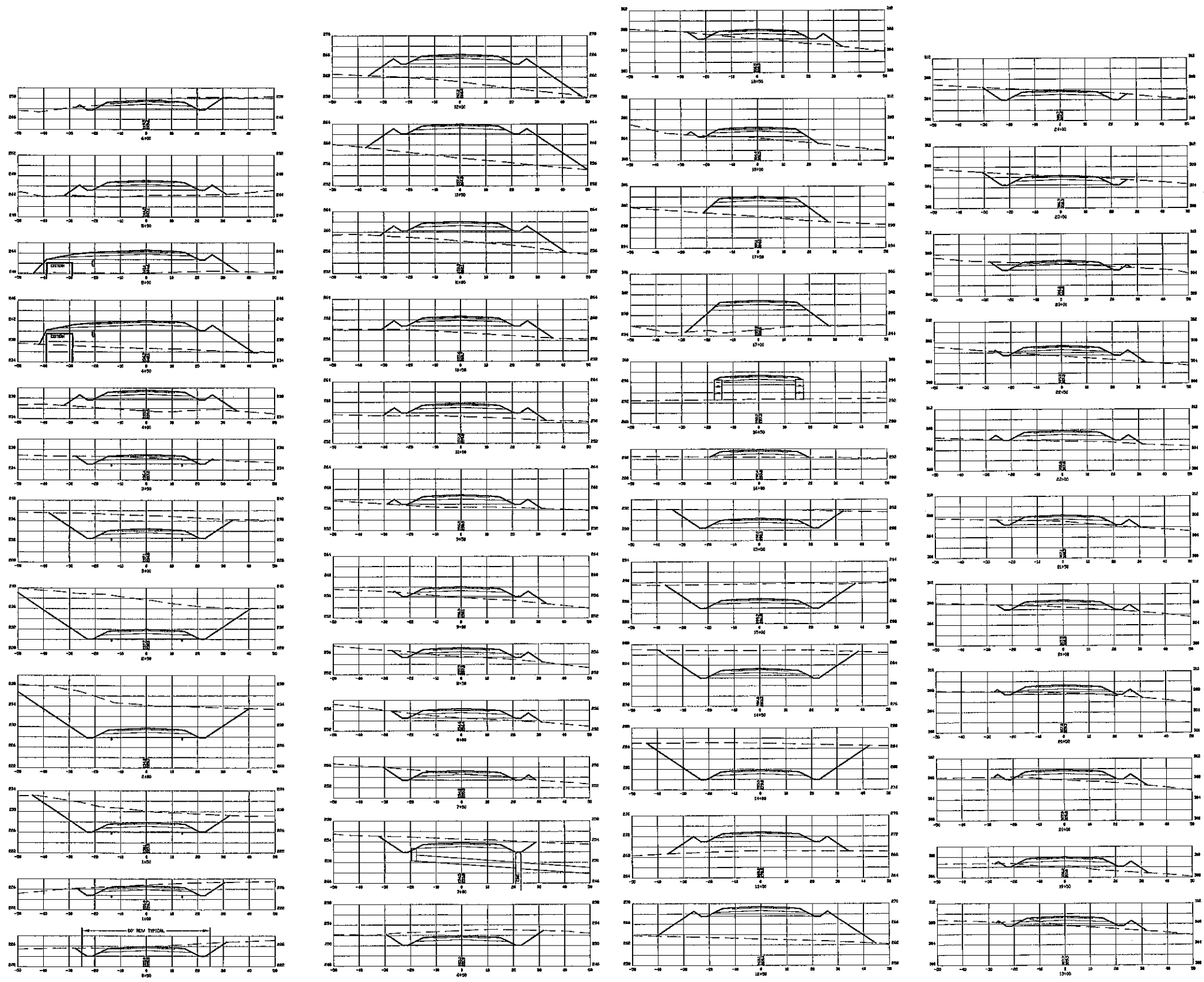
SUB GRADE PREPARATION: AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOIL AND RUBBISH. SUB GRADE SURFACE TO BE ROLLED BEFORE PLACEMENT OF FILL MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE LOWER LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE SUBGRADE MATERIAL.

FILL PLACEMENT: FILL SHALL BE FREE OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIA. AND OTHER OBJECTIONABLE MATERIAL. -FILL TO BE PLACED EQUALLY AROUND SUBSURFACE STRUCTURES & PIPES TO PREVENT DAMAGE FROM UNEQUAL LOADING. -PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT SUBGRADE ELEVATION AND BROUGHT UP IN HORIZONTAL LAYERS OF THICKNESS ALLOWING ADEQUATE COMPACTION. -DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM SURROUNDING MATERIAL. -MINIMUM THICKNESS OF GRAVEL LIFTS TO 1 FOOT (12 INCHES).

MOISTURE CONTROL: MOISTURE CONTENT OF THE FILL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. IF THE MATERIAL IS TOO WET IT SHALL BE DRIED TO MEET THIS REQUIREMENT. IF THE MATERIAL IS TOO DRY IT SHALL HAVE WATER ADDED AND MIXED UNTIL REQUIREMENT IS MET.

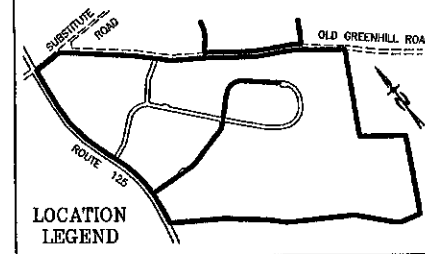
COMPACTION: CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. -EACH LAYER SHALL BE COMPACTED TO OBTAIN 95% OF THE PROCTOR VALUE (ASTM 1557 OR AASHTO T100). -FILL ADJACENT TO STRUCTURES, PIPES, ETC. SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY THE MEANS OF HAND TAMPERING OR MANUALLY OPERATED POWER TAMPER OR PLATE VIBRATORS. PROTECTION, MAY BE USED. -SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE EMPS.

REVISIONS PER REVIEW COMMENTS		6-20-18
REVISIONS:	DATE:	
CONSTRUCTION DETAILS D2		
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH		
DATE: MAY 2019	SCALE: NONE	
PROJ. NO: NH-1144	SHEET NO: 32 OF 37	



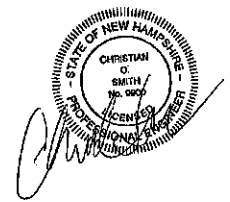
PREPARED FOR:
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BEALS ASSOCIATES PLLC
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 PHONE: 603-583-4860, FAX: 603-583-4863



NOTES
 1. FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS PLEASE REFER TO THE ROADWAY PROFILES.
 2. FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE SHEET 32.

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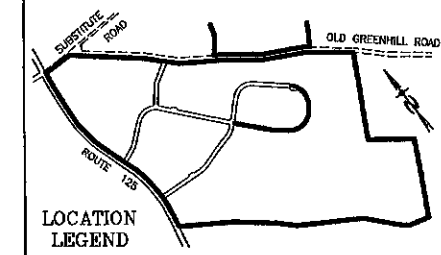


X-SECTION SCALES:
 HORIZONTAL: 1"=20' VERTICAL: 1"=10'

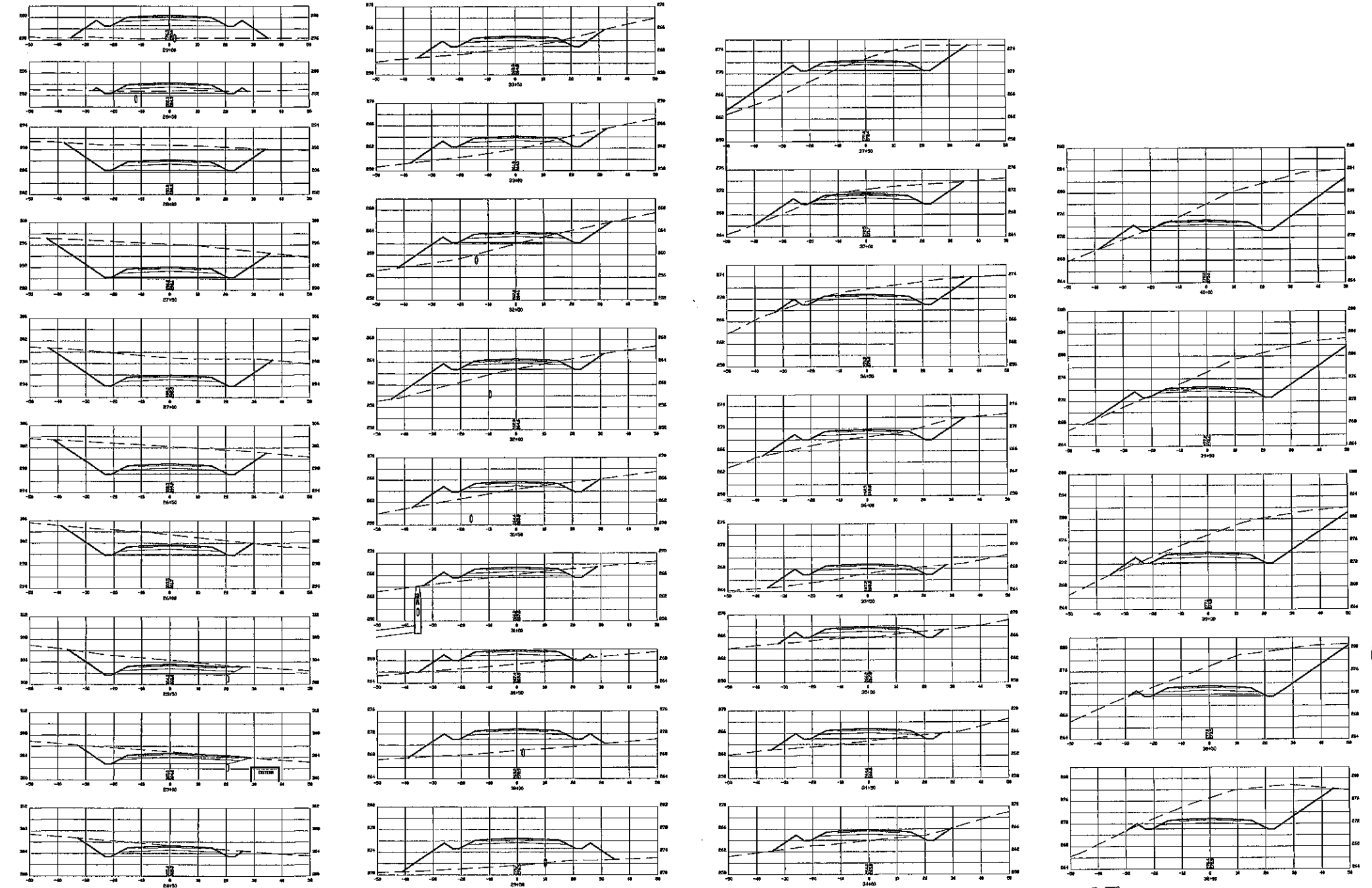
CROSS-SECTIONS XI	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1"=20'
PROJ. NO: NH-1144	SHEET NO. 34 OF 37

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



NOTES
 1. FOR ALL DRAINAGE LOCATIONS AND ELEVATIONS PLEASE REFER TO THE ROADWAY PROFILES.
 2. FOR ROADWAY TYPICAL CROSS SECTION PLEASE SEE SHEET 30.



X-SECTION SCALES:
 HORIZONTAL: 1"=20' VERTICAL: 1"=10'

CROSS-SECTIONS X2		
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH		
DATE: JUNE 2019	SCALE: 1"=20'	
PROJ. NO: NH-1144	SHEET NO. 35 OF 37	

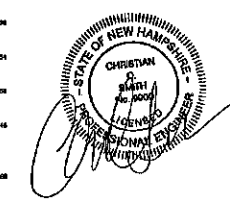
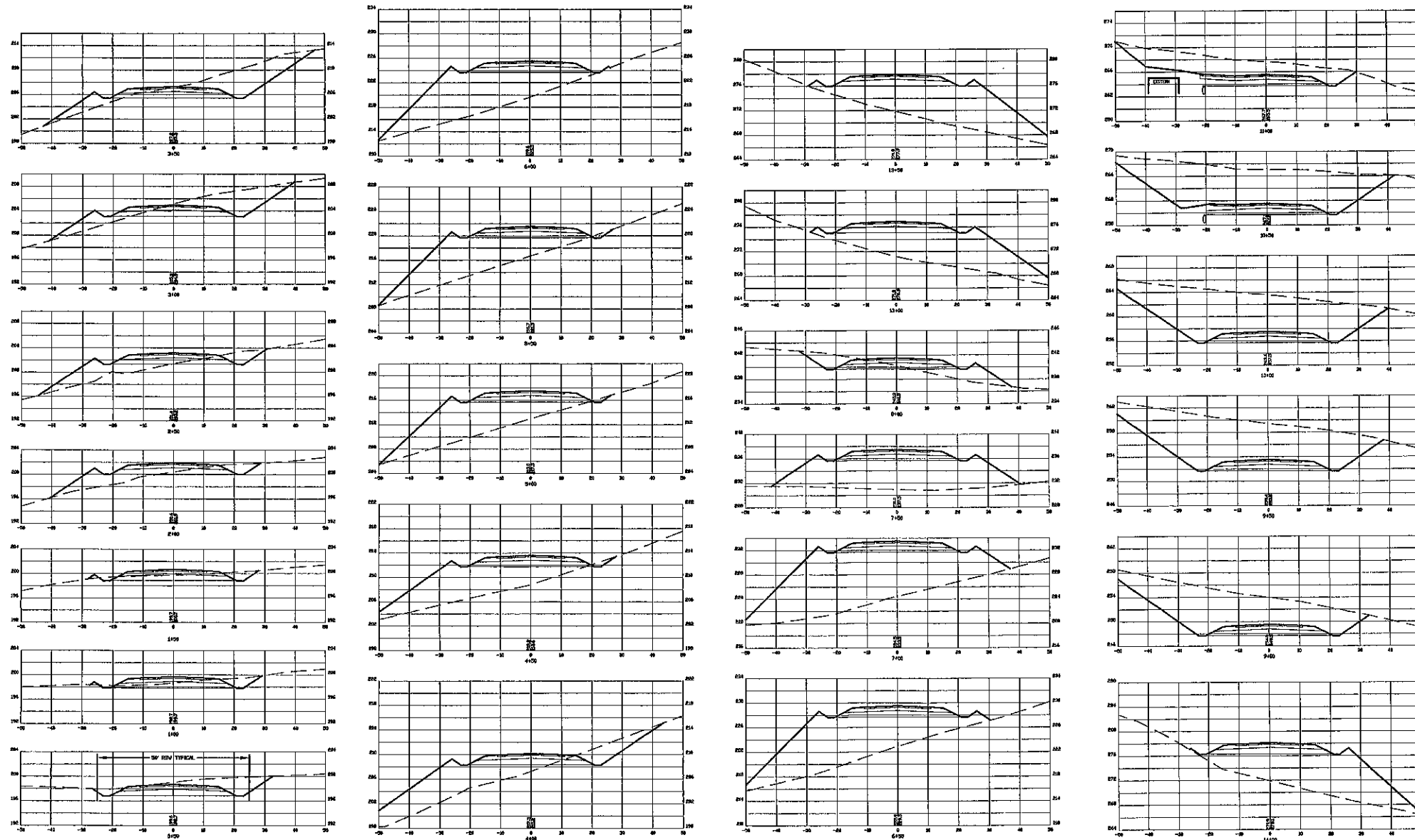
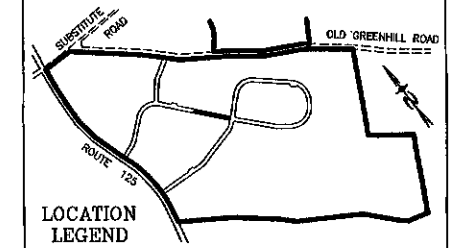
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X-SECTION SCALES:
 HORIZONTAL: 1"=10' VERTICAL: 1"=5'

LAND USE OFFICE

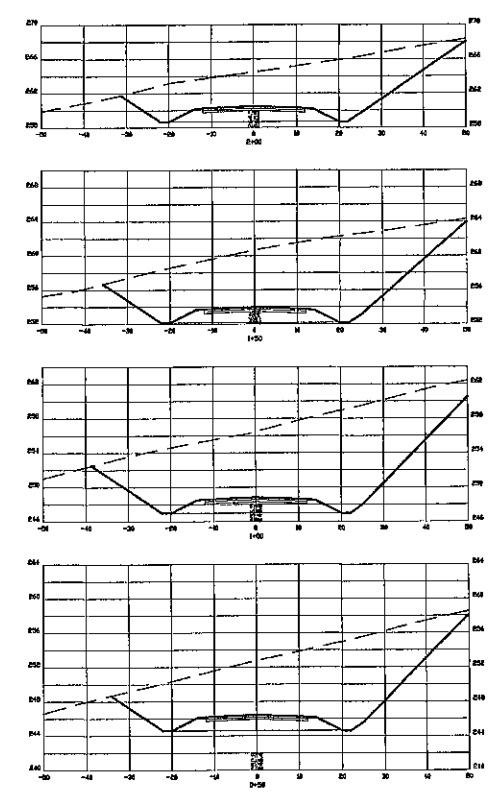
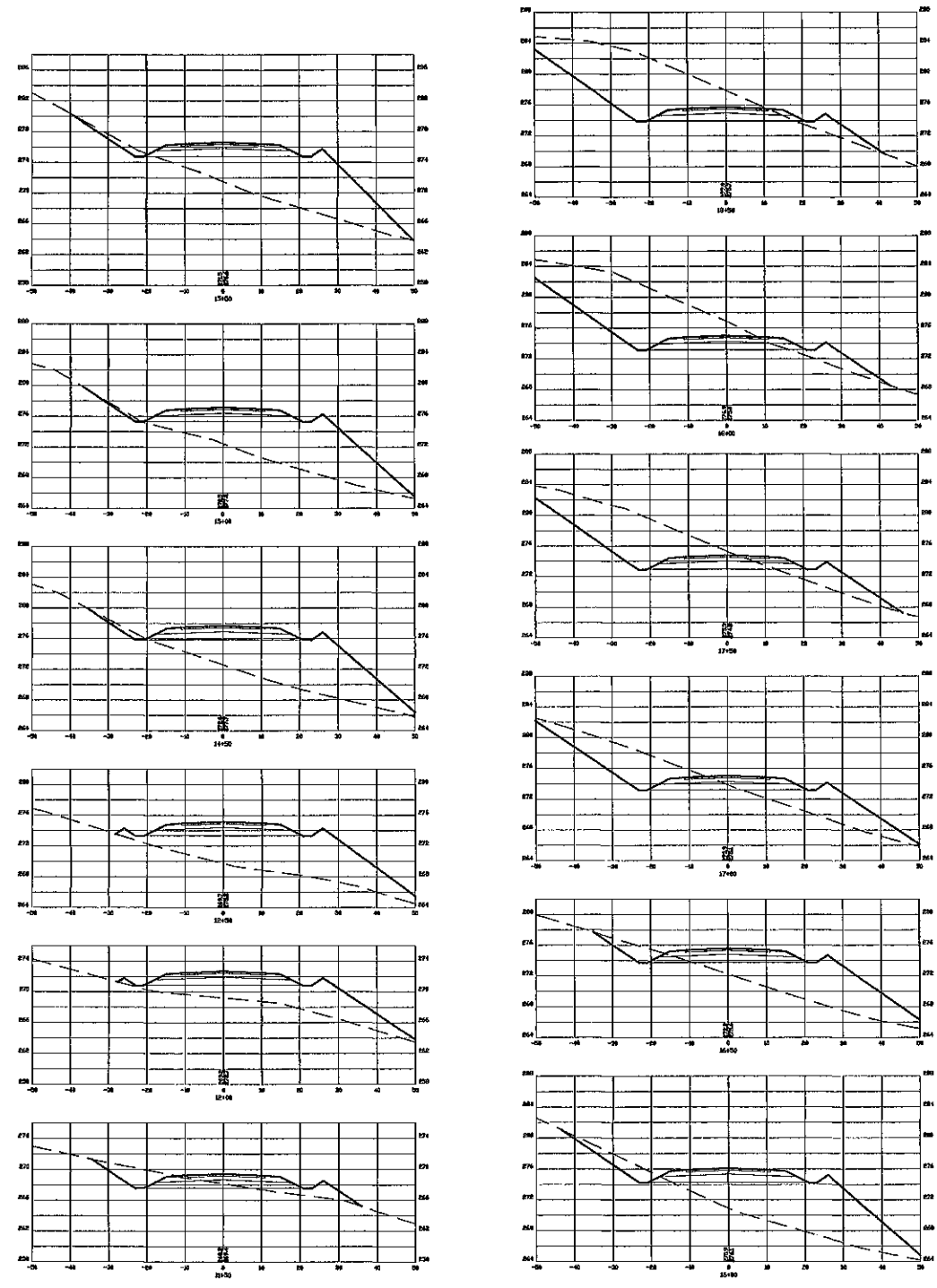
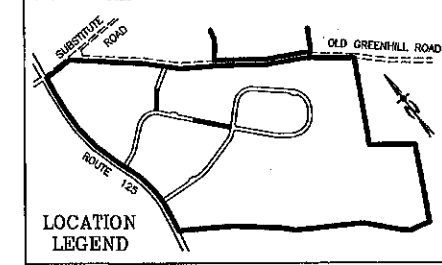
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CROSS-SECTIONS X3	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 36 OF 37

PREPARED FOR:
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 JOSEPH FALZONE
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X-SECTION SCALES:
 HORIZONTAL: 1"=10' VERTICAL: 1"=5'

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CROSS-SECTIONS X4	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JUNE 2019	SCALE: 1" = 20'
PROJ. NO: NH-1144	SHEET NO. 37 OF 37