

THE RIDGE AT GREENHILL SUBDIVISION OLD GREEN HILL ROAD / ROUTE 125

NOT FOR CONSTRUCTION

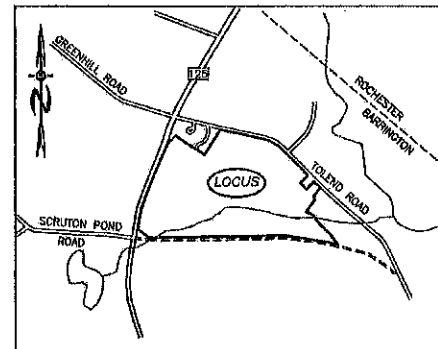
CIVIL ENGINEERS:

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE,
STRATHAM, NEW HAMPSHIRE
PHN. 603-583-4860, FAX. 603-583-4863



LAND SURVEYORS:

DOUCET SURVEY INC.
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857-0163
Voice (603) 656-6560, Data (603) 656-4110



LOCATION MAP
1"=1500'

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WETLAND / SOIL
CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

DEVELOPER:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

SIGNATURE	DATE
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LAND USE OFFICE

MAY 13 2019

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REQUIRED PERMITS

NHDES SUBDIVISION APPROVAL NUMBER: (PENDING)
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: (PENDING)
NHDES WETLANDS PERMIT APPROVAL NUMBER: (PENDING)
NHDDOT DRIVEWAY ACCESS PERMIT (PENDING)

REVISIONS:	DATE:

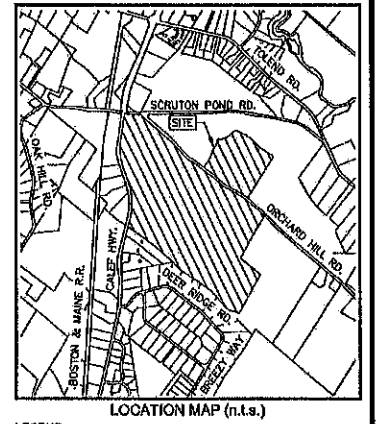
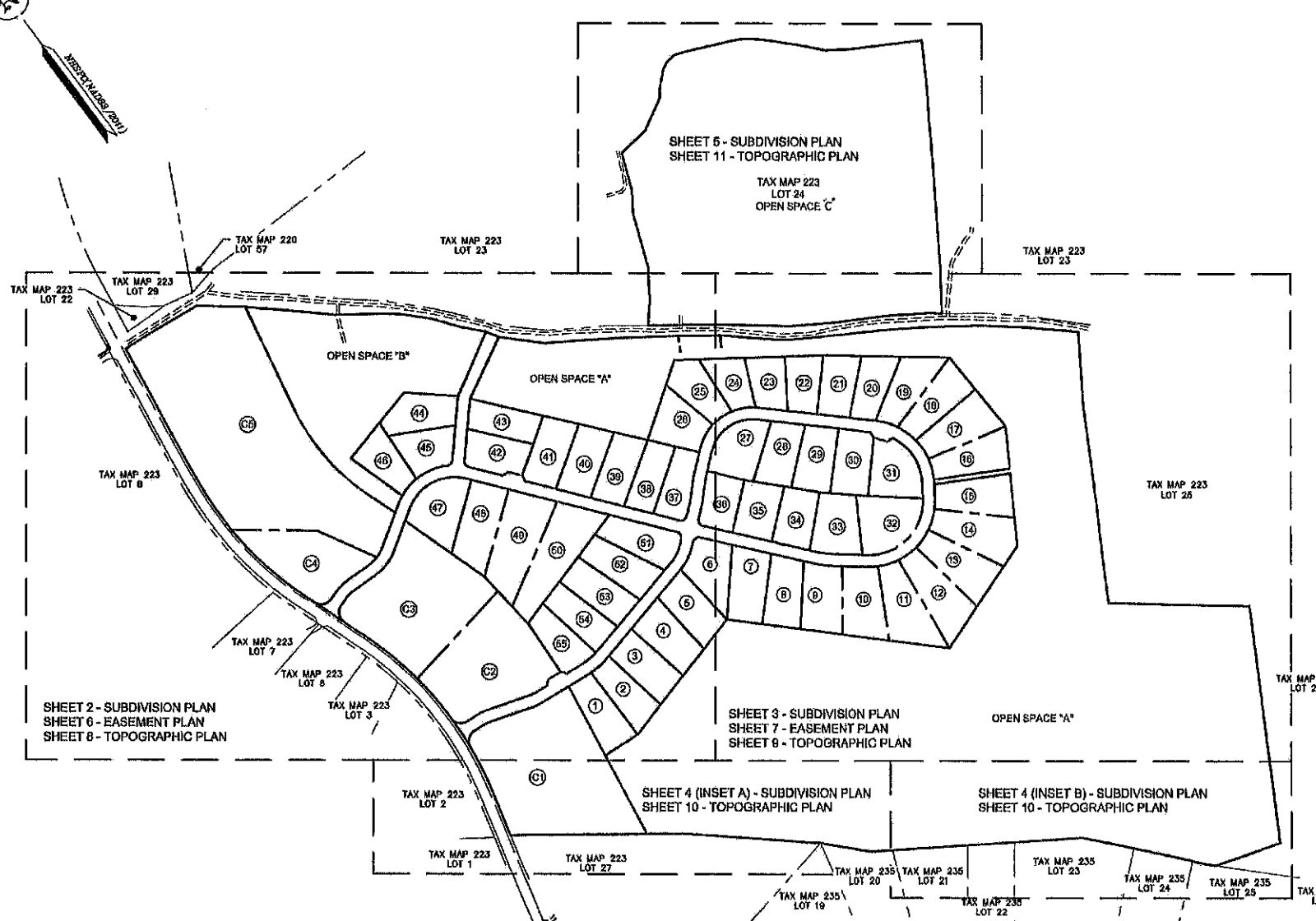
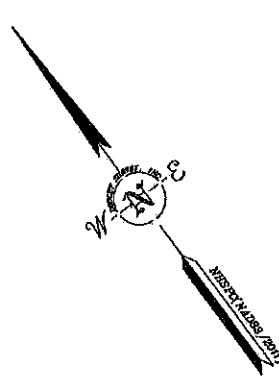
NH-1144 THE RIDGE AT GREENHILL
ISSUED MAY, 2019

SUBDIVISION PLAN NOTES:

1. REFERENCE: TAX MAP 223, LOTS 24 & 26
D.S.I. PROJECT NO. 0760
2. TOTAL PARCEL AREA: LOT 24 - 1,403,000 SQ. FT. OR 32.23 AC.
LOT 26 - 7,820,488 SQ. FT. OR 179.83 AC.
3. OWNER OF RECORD: RINA MYHRE, PAUL C. HELFGOTT & CAROL H. LEDOUX
4218 ALTA VISTA COURT
OCEANSIDE, CA 92057
S.C.R.D. BOOK 4082, PAGE 843
4. ZONE: REGIONAL COMMERCIAL
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA 40,000 sq.ft.
MIN. FRONTAGE 20 ft.
MIN. FRONT SETBACK 75 ft.
MIN. SIDE/REAR SETBACK 30 ft.
MAX. BUILDING HEIGHT 40 ft.
MAX. LOT COVERAGE 80 %
WETLAND SETBACKS 80 ft.
100 ft. (PRIME WETLANDS)
- ZONING INFORMATION LISTED HEREON IS BASED ON THE TOWN OF BARRINGTON ZONING ORDINANCE DATED MARCH 13, 2016 AS AVAILABLE ON THE TOWN WEBSITE ON DECEMBER 10, 2016. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
6. FIELD SURVEY PERFORMED BY G.A.H. & S.A.F. DURING OCTOBER, NOVEMBER & DECEMBER 2019 USING A TRIMBLE S8 TOTAL STATION AND A TRIMBLE R8 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
7. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2019 IN ACCORDANCE TO THE CODES OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CODES OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
8. FLOOD HAZARD ZONE "X", PER FIRM MAP 33017C0305E, DATED 09/30/2016.
9. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE (2000) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
10. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD83(GEOD12A) (+/-2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
11. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
12. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF ROUTE 126 & OLD GREEN HILL ROAD AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE TOWN OF BARRINGTON, STRAFFORD COUNTY REGISTRY OF DEEDS AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
13. ROUTE 126/CALEF HIGHWAY IS A 4 ROD (80' WIDE) RIGHT OF WAY PER REFERENCE PLAN #1. OLD GREEN HILL ROAD IS A CLASS VI ROAD CLOSED SUBJECT TO GATES AND BARS, SEE 1980 WARRANT ARTICLE 20A.
14. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY, INC. FOR CLARIFICATION OF MONUMENTS SET. (A RECORDED PLAN WILL BE PRODUCED AT THE DISCRETION OF DOUCET SURVEY, INC.).
15. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL 800-SAFE AT 1-888-DIG-SAFE.
16. AERIAL TOPOGRAPHY WAS CONDUCTED BY EASTERN TOPOGRAPHICS FROM IMAGES TAKEN DURING MAY 2005 WITH A PHOTO SCALE OF 1"=475'. CONTOURS AND OBJECTS SHOWN WITHIN OBTAINED AREAS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE USE FOR DESIGN OR CONSTRUCTION PURPOSES.
17. TAX MAP 223, LOT 26 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 780, PAGE 171, ACTUAL LOCATION UNKNOWN.
B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 720, PAGE 219, ACTUAL LOCATION UNKNOWN.
18. CEMETERY SUBJECT TO N.H.S.A. 289:3, IF NEW CONSTRUCTION, EXCAVATION, OR BUILDING IN THE AREA OF A KNOWN BURIAL SITE SHALL COMPLY WITH LOCAL ZONING. IN ASSISTANCE OF SUCH REGULATIONS NO NEW CONSTRUCTION, EXCAVATION, OR BUILDING SHALL BE CONDUCTED WITHIN 20' OF THE BOUNDARY OF THE BURIAL GROUND.

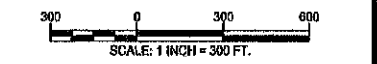
REFERENCE PLANS:

1. "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED UPGRADING PROJECT (CONTRACT DETERMENT) 0-2172, N.H. PROJECT NO. S-2095, CALEF RD. (N.H. 126), DATED 7-22-70, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
2. "BOUNDARY PLAN OF LAND IN BARRINGTON, NEW HAMPSHIRE BELONGING TO M.D. & G.D. HELFGOTT", BY OLE & SINGER LAND SURVEYS, DATED SEPTEMBER 14, 1971, S.C.R.D. POCKET #9, FOLDER #1, PLAN #33, 33A, 33B, 33C & 33D.
3. "SUBDIVISION PLAN PREPARED FOR WCV INC., OF LAND IN THE NAME OF ANTONIO D. RIZZO AND GERYLL M. RIZZO OF MAP 12, LOT 96, LOCATED AT ROUTE 126, COUNTY OF STRAFFORD, BARRINGTON, NH", BY DAVID W. VINCENT LAND SURVEYING SERVICES, DATED MAY 16, 2002, S.C.R.D. PLAN #67-17.
4. "WEDGEWOOD ESTATES PLAN OF LAND IN BARRINGTON, N.H. PREPARED FOR WILFRED G. ALLEN", BY ROBERT G. COLBATH SURVEYOR, DATED JULY 2, 1984, S.C.R.D. PLAN #24A-132 & 24A-133.
5. "SUBDIVISION OF LAND PREPARED FOR JIM AND SUSANNE JAGIELSKI, 17 DEER RIDGE DRIVE, BARRINGTON, NH", BY MICHAEL SURVEY ASSOCIATES, INC., DATED SEPTEMBER 12, 1987, S.C.R.D. PLAN #01-100.
6. "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, F 019-(10), N.H. PROJECT NO. S-2095-A, N.H. ROUTE 126-CALEF ROAD, DATED 9-25-77, ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
7. "SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR VAN E. HERTZEL", BY NORTH COUNTRY SURVEYORS, DATED MAY 16, 1990, S.C.R.D. PLAN #38-131.
8. "SUBDIVISION PLAN OF LAND IN BARRINGTON, NH PREPARED FOR KEITH WESTON & THOMAS DELONG", BY NORTH COUNTRY SURVEYORS, DATED JUNE 30, 1992, S.C.R.D. PLAN #41-70.
9. "SUBDIVISION OF LAND FOR BRUCE WILLIAMS ASSOCIATES, INC.", BY WHITE MOUNTAIN SURVEY COMPANY, DATED APRIL 26, 1993, S.C.R.D. PLAN #24-21 & 22.



- LEGEND**
- LOT LINE
 - PROPOSED LOT LINE
 - BUILDING SETBACK LINE
 - BUILDING SETBACK LINE
 - WETLAND SETBACK LINE
 - ZONE LINE
 - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMANENT STONE WALL
 - EDGE OF WETLAND
 - STREAM
 - BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - 4"x4" GRANITE BOUND TO BE SET
 - 5/8" REBAR 9/16" DIA TO BE SET
 - BOUND FOUND
 - D.H.S.
 - D.H.F.
 - B.W.
 - CONC.
 - GRAN.
 - D.H.
 - WETLAND SYMBOL

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - BRIDGE
 - PAVEMENT OBTSCURED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBTSCURED
 - FENCE OBTSCURED
 - WALL OBTSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT



SUBDIVISION PLAN
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 26)
ROUTE 126/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DOUCET SURVEY
Serving Your Professional Surveying & Mapping Needs
102 Kool Place, Newmarket, NH 03857 (US) 603-850-8500
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Glover Street (Riverview Side) Kennebunk, ME (207) 602-7005
http://www.doucetsurvey.com

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MAY 13 2019

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I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

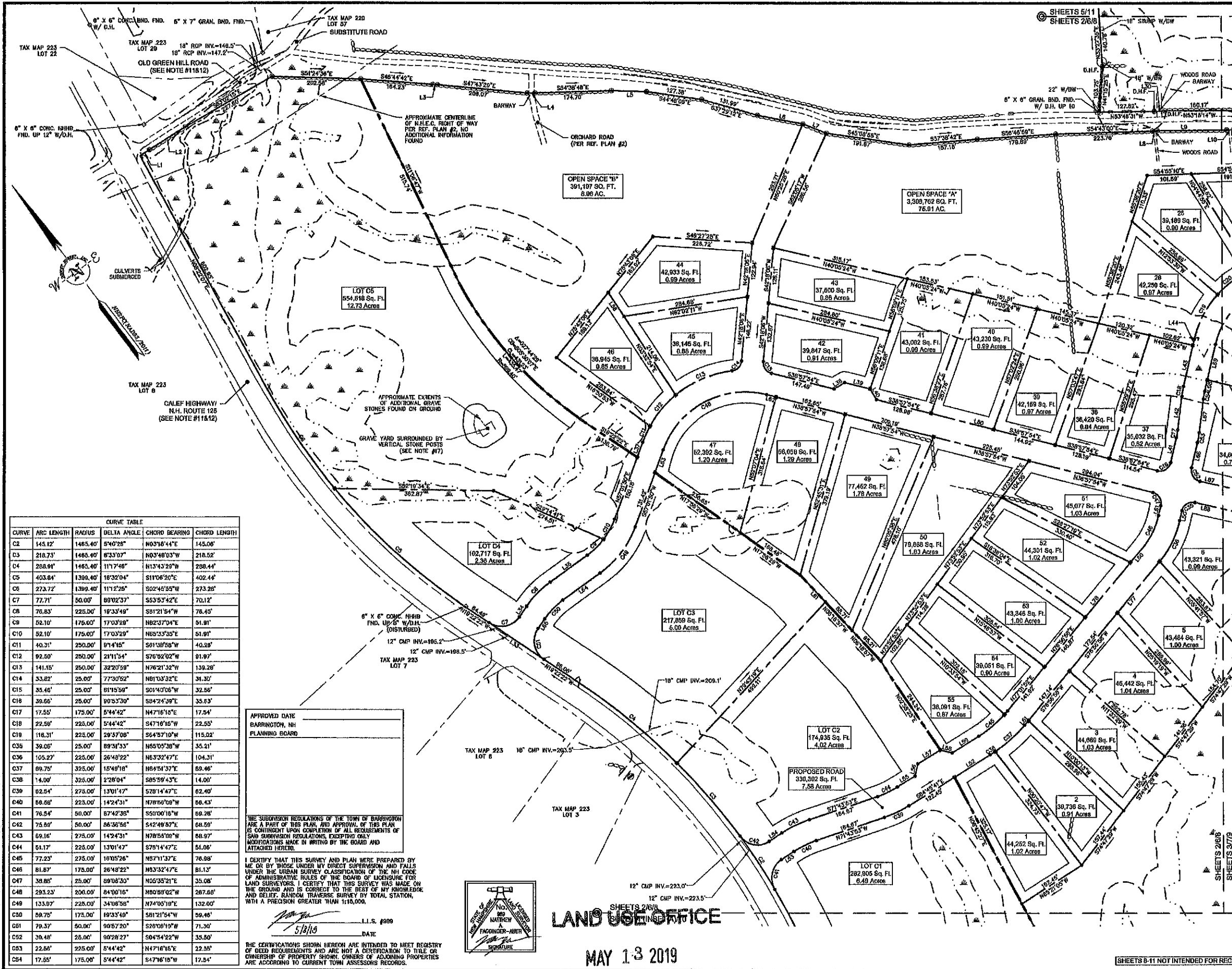


DATE: 5/13/19
L.L.S. #969
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

ADJUTERS LIST:

- | | | | |
|--|---|---|--|
| TAX MAP 220 LOT 67
248 REAL ESTATE HOLDINGS LLC
24 SERENITY WAY
BARRINGTON, NH 03825
S.C.R.D. BOOK 4384 PAGE 439 | TAX MAP 223 LOT 7
LORI PROPERTY HOLDING LLC
24 SERENITY WAY
BARRINGTON, NH 03825
S.C.R.D. BOOK 4310 PAGE 597 | TAX MAP 223 LOT 19
BASIL & DONNA PHOPOLOS
47 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 2108 PAGE 127 | TAX MAP 235 LOT 24
TIMOTHY & SAMANTHA JAMES
93 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 1533 PAGE 262 |
| TAX MAP 223 LOT 1
LOREN BARTON & DARRYL WRIGHT
30 CALIFORNIA ST #3
WATERBURY, MA 02472
S.C.R.D. BOOK 3088 PAGE 128 | TAX MAP 223 LOT 20
JIM & SUSANNE JAGIELSKI
103 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 4578 PAGE 092 | TAX MAP 235 LOT 20
DAVID J & KATHLEEN M SARTORIUS
67 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 4504 PAGE 261 | TAX MAP 235 LOT 25
TISON MEHRMAN & ALLISON ROBERTS
111 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 2834 PAGE 445 |
| TAX MAP 223 LOT 2
52A TONERIS S LLC
805 CONGRESS AVE
BOCA RATON, FL 33487
S.C.R.D. BOOK 3685 PAGE 505 | TAX MAP 223 LOT 25
RAYMOND LAFRANCE
1030 LUCAS WAY
PALMER, AK 99645 | TAX MAP 235 LOT 21
DAVID J & KATHLEEN M SARTORIUS
67 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 4504 PAGE 261 | TAX MAP 235 LOT 22
KIP & KAREN LACHAPPELLE
87 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 1802 PAGE 63 |
| TAX MAP 223 LOT 3
ANTHONY SMITH
252 CALEF HWY
BARRINGTON, NH 03825
S.C.R.D. BOOK 3121 PAGE 186 | TAX MAP 223 LOT 26
BOSTON & MAINE RR & GULFPORT TRANSPORT IND & IRON HORSE PK
NORTH BILLERICA, MA 01862 | TAX MAP 223 LOT 28
CHESTNUT WOODS LLC
70 EMERY LN
STRATHAM, NH 03860 | TAX MAP 235 LOT 23
DAVID BISSON & DOTY MARY
81 DEER RIDGE DR
BARRINGTON, NH 03825
S.C.R.D. BOOK 1444 PAGE 117 |
| TAX MAP 223 LOT 23
240 DALEF HIGHWAY LLC
679 FIRST NH TPK
NORTHWOOD, NH 03201
S.C.R.D. BOOK #482 PAGE 886 | TAX MAP 223 LOT 28
NEW CASTLE, NH 03854
S.C.R.D. BOOK 3743 PAGE 145 | TAX MAP 223 LOT 27
NOT PARCEL INFORMATION AVAILABLE PER THE TOWN OF BARRINGTON | TAX MAP 235 LOT 23
JAMES E & STEVEN E & KATHERLYN D CONNICK
324 DEN QUARRY RD
LYNN, MA 01904
S.C.R.D. BOOK 4307 PAGE 531 |

SHEETS 9 & 11 NOT INTENDED FOR RECORDING



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	145.12'	1485.40'	S40°28'	N03°18'44"E	145.06'
C3	218.73'	1485.40'	S33°07'	N03°48'03"W	218.52'
C4	288.91'	1465.40'	N11°7'48"	N13°43'29"W	288.44'
C5	403.84'	1399.40'	S18°32'04"	S11°06'20"E	402.44'
C6	273.72'	1399.40'	N11°2'26"	S02°45'55"W	273.28'
C7	77.71'	50.00'	S89°02'37"	S63°53'42"E	70.12'
C8	76.83'	225.00'	S19°33'49"	S81°21'54"W	78.45'
C9	52.10'	175.00'	S17°03'29"	N82°37'04"E	51.81'
C10	52.10'	175.00'	S17°03'29"	N65°33'35"E	51.81'
C11	40.31'	250.00'	S71°4'16"	S81°38'38"W	40.28'
C12	92.50'	250.00'	S21°11'54"	S76°52'02"W	91.87'
C13	141.15'	250.00'	S32°05'59"	N76°21'32"W	139.28'
C14	33.82'	25.00'	S77°30'52"	N81°03'32"E	31.30'
C15	35.46'	25.00'	S81°15'59"	S01°40'06"W	32.56'
C16	39.66'	25.00'	S90°53'30"	S84°24'39"E	35.63'
C17	17.55'	175.00'	S44°42'	N47°16'15"E	17.54'
C18	22.58'	225.00'	S44°42'	S47°16'15"W	22.55'
C19	118.31'	225.00'	S29°57'08"	S64°57'10"W	115.02'
C20	39.06'	25.00'	S89°31'33"	N65°05'38"W	35.21'
C21	105.27'	225.00'	S26°48'22"	N63°32'47"E	104.31'
C22	89.75'	325.00'	S15°49'18"	N84°51'37"E	89.46'
C23	14.00'	325.00'	S22°04'	S85°59'43"E	14.00'
C24	82.54'	275.00'	S13°01'47"	S78°14'47"E	82.40'
C25	58.58'	225.00'	S14°24'31"	N78°58'08"W	58.43'
C26	76.54'	50.00'	S74°23'38"	S50°00'16"W	69.28'
C27	75.59'	50.00'	S63°56'56"	S42°49'57"E	68.59'
C28	69.16'	275.00'	S14°24'31"	N78°58'08"W	68.97'
C29	51.17'	225.00'	S13°01'47"	S78°14'47"E	51.06'
C30	77.23'	275.00'	S16°05'26"	N87°11'37"E	76.98'
C31	81.57'	175.00'	S26°48'22"	N83°32'47"E	81.12'
C32	38.86'	25.00'	S89°06'30"	N05°35'21"E	35.08'
C33	293.23'	200.00'	S84°00'16"	N80°88'02"W	287.60'
C34	133.97'	225.00'	S34°08'58"	N74°05'19"E	132.00'
C35	59.75'	175.00'	S19°33'49"	S81°21'54"W	59.46'
C36	79.37'	50.00'	S06°57'20"	S28°08'19"W	71.30'
C37	36.48'	25.00'	S02°28'27"	S04°54'22"W	35.50'
C38	22.58'	225.00'	S44°42'	N47°16'15"E	22.58'
C39	17.55'	175.00'	S44°42'	S47°16'15"W	17.54'

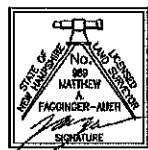
APPROVED DATE
BARRINGTON, NH
PLANNING BOARD

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

DATE: 5/18/19 L.L.S. #909

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



LAND USE OFFICE

MAY 13 2019

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LINE	BEARING	DISTANCE
L1	S89°38'58"E	25.35'
L2	S85°38'58"E	67.05'
L3	S49°28'32"E	10.81'
L4	S54°08'18"E	18.07'
L5	S51°35'36"E	79.80'
L6	S42°27'15"E	106.10'
L7	S31°29'03"E	57.95'
L8	S27°35'26"E	11.15'
L9	S53°26'02"E	160.29'
L10	S55°25'34"E	15.41'
L11	S55°32'10"E	24.16'
L12	N19°22'22"W	150.02'
L13	N19°22'22"W	150.02'
L14	N71°34'59"E	29.27'
L15	N88°51'12"W	104.63'
L16	N57°01'50"E	36.11'
L17	N83°57'54"W	28.28'
L18	S38°57'54"E	60.00'
L19	S08°02'06"W	28.28'
L20	S50°08'38"W	28.54'
L21	S44°23'54"W	77.22'
L22	S80°08'38"W	95.97'
L23	S50°08'38"W	13.74'
L24	S50°08'38"W	22.81'
L25	N78°58'08"E	13.20'
L26	S84°45'41"E	96.89'
L27	S88°08'28"E	33.71'
L28	S88°08'28"E	35.14'
L29	S84°45'41"E	47.13'
L30	S501°4'18"W	28.28'
L31	S84°45'41"E	60.00'
L32	S38°57'54"E	28.28'
L33	S84°45'41"E	72.20'
L34	S78°58'08"W	45.00'
L35	S50°08'38"W	23.17'
L36	S38°57'54"E	22.28'
L37	S50°08'38"W	58.91'
L38	S44°23'54"W	77.22'
L39	S50°08'38"W	25.48'
L40	S60°08'38"W	83.23'
L41	S78°58'08"W	194.82'
L42	N78°58'08"E	164.55'
L43	S38°57'54"E	149.16'
L44	N08°16'57"W	83.88'
L45	N40°16'51"W	124.00'
L46	N40°16'51"W	136.53'



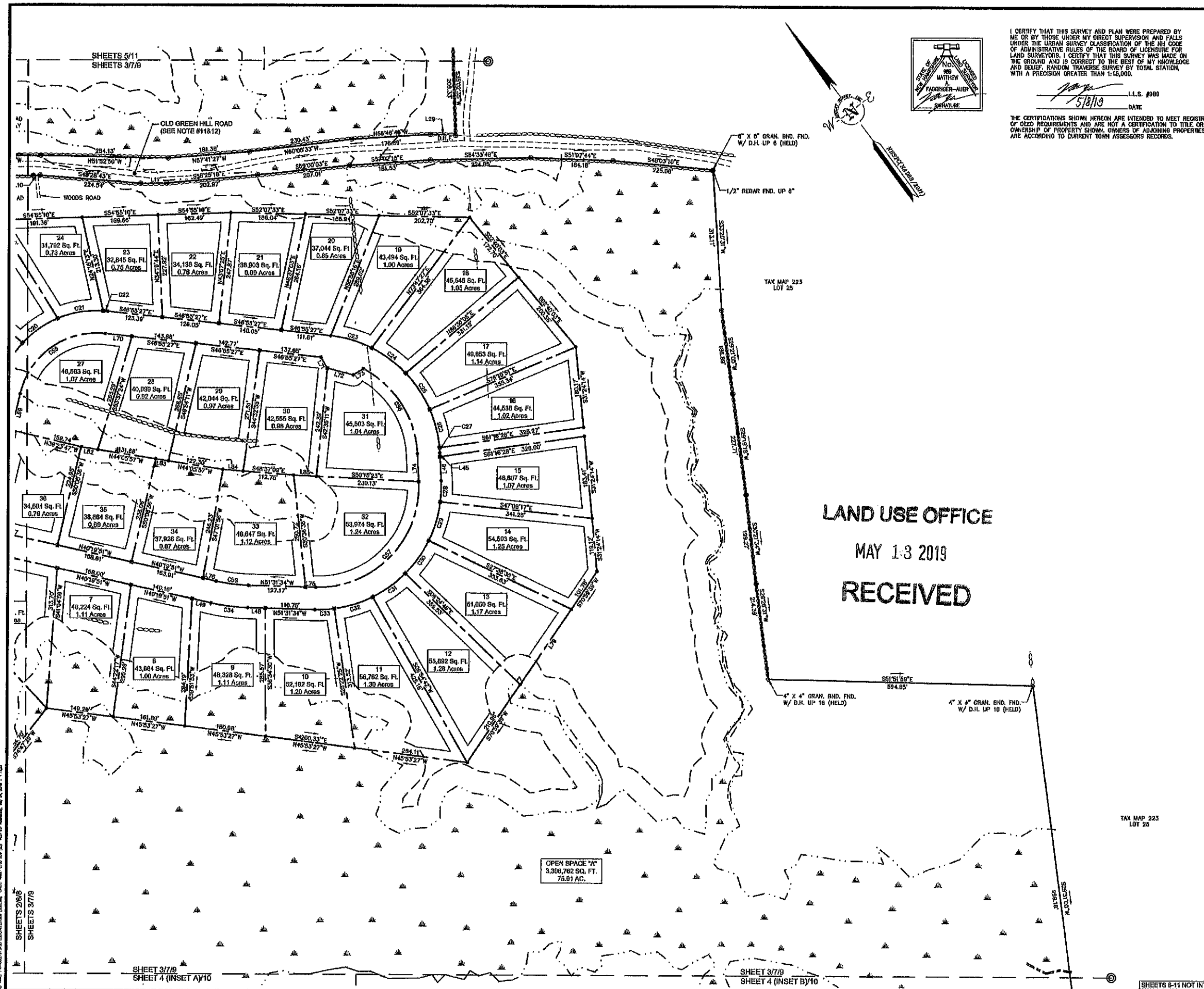
SUBDIVISION PLAN
FOR
HARBOR STREET LIMITED PARTNERSHIP
LAND OF
PAUL C. HELFGOTT, RINA MYHRE &
CAROL H. LEDOUX
(TAX MAP 223, LOTS 24 & 28)
ROUTE 125/CALEF HIGHWAY
BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: E.D.P. DATE: MAY 6, 2019
CHECKED BY: M.W.F. DRAWING NO.: 5750B
JOB NO.: 5750 SHEET 2 OF 11

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http://www.doucetsurvey.com

SHEETS B-11 NOT INTENDED FOR RECORDING



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:10,000.

Matthew A. Padinger-Auer
 L.L.S. #880
 DATE 5/8/19

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C20	98.26'	225.00'	24°30'46"	N87°58'53"W	95.53'
C21	102.58'	225.00'	26°07'14"	N62°39'53"W	101.89'
C22	10.52'	225.00'	2°40'48"	N48°15'51"W	10.52'
C23	98.92'	275.00'	20°11'32"	N36°48'42"W	96.41'
C24	94.86'	275.00'	19°47'05"	N16°50'23"W	94.49'
C25	97.40'	275.00'	20°17'38"	N03°11'58"E	99.60'
C26	88.55'	275.00'	18°27'00"	N22°34'17"E	86.17'
C27	11.09'	275.00'	2°18'40"	N32°57'07"E	11.09'
C28	47.32'	275.00'	9°51'33"	N39°02'14"E	47.26'
C29	90.41'	275.00'	18°50'10"	N53°23'05"E	90.00'
C30	90.41'	275.00'	18°50'10"	N72°13'15"E	90.00'
C31	90.41'	275.00'	18°50'10"	S89°56'35"E	90.00'
C32	90.41'	275.00'	18°50'10"	S70°05'25"E	90.00'
C33	43.98'	275.00'	9°02'46"	S56°06'27"E	43.93'
C34	83.04'	425.00'	11°11'43"	S45°55'43"E	82.91'
C35	253.30'	175.00'	82°58'67"	N85°23'25"W	231.76'
C36	235.16'	225.00'	69°52'68"	N04°09'58"E	224.60'
C37	370.88'	225.00'	94°21'59"	N81°17'27"E	336.09'
C38	73.27'	375.00'	11°11'43"	S45°55'43"E	73.16'

LINE TABLE		
LINE	BEARING	DISTANCE
L10	S65°25'34"E	16.41'
L11	S63°31'39"E	58.19'
L28	S60°46'00"E	56.83'
L45	S34°08'27"W	5.98'
L48	S34°08'27"W	53.60'
L48	N51°31'34"W	38.89'
L49	N40°19'54"W	43.16'
L70	N46°55'27"W	60.01'
L71	N05°17'24"E	28.39'
L72	N35°42'36"W	60.00'
L73	N83°42'38"W	26.82'
L74	S34°08'27"W	62.58'
L75	N51°31'34"W	22.47'
L76	S40°19'51"E	28.70'

LAND USE OFFICE
 MAY 13 2019
 RECEIVED

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.



SUBDIVISION PLAN
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: E.D.P. DATE: MAY 6, 2019
 CHECKER BY: M.W.F. DRAWING NO.: 6750B
 JOB NO.: 5750 SHEET 3 OF 11

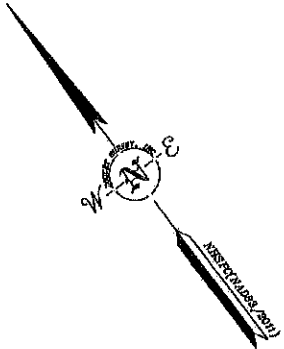
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<http://www.doucetsurvey.com>

SHEETS 6-11 NOT INTENDED FOR RECORDING

SHEET 3/7/9
 SHEET 4 (INSET A)/10

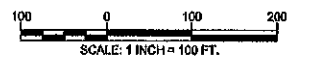
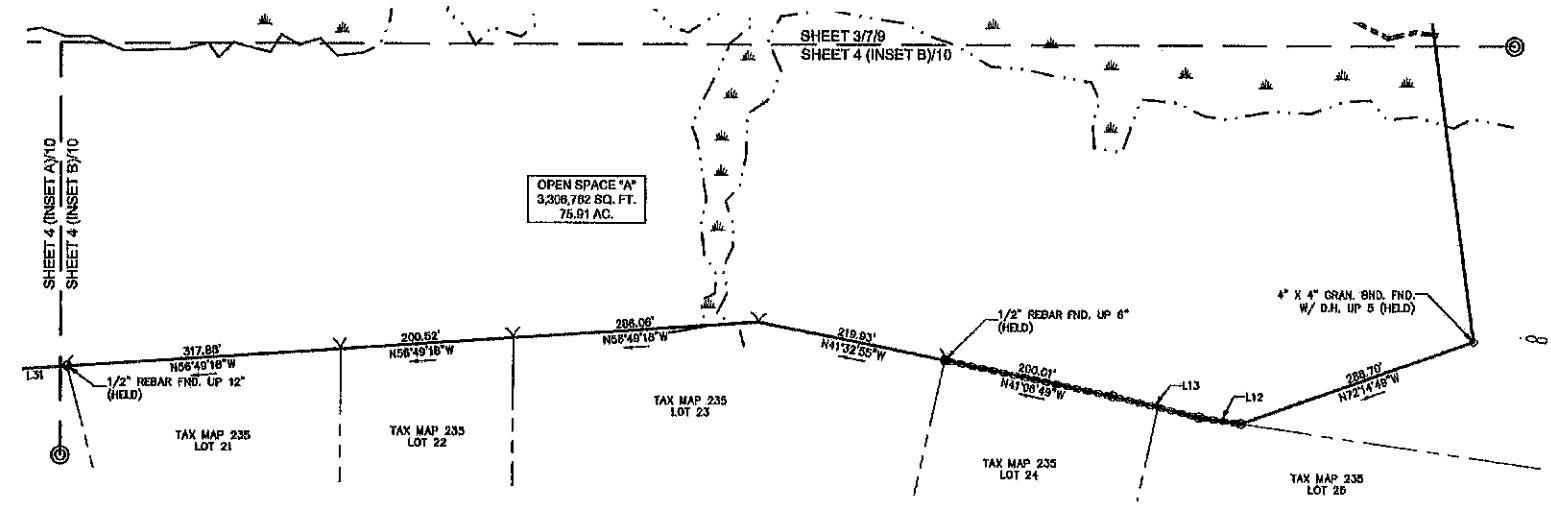
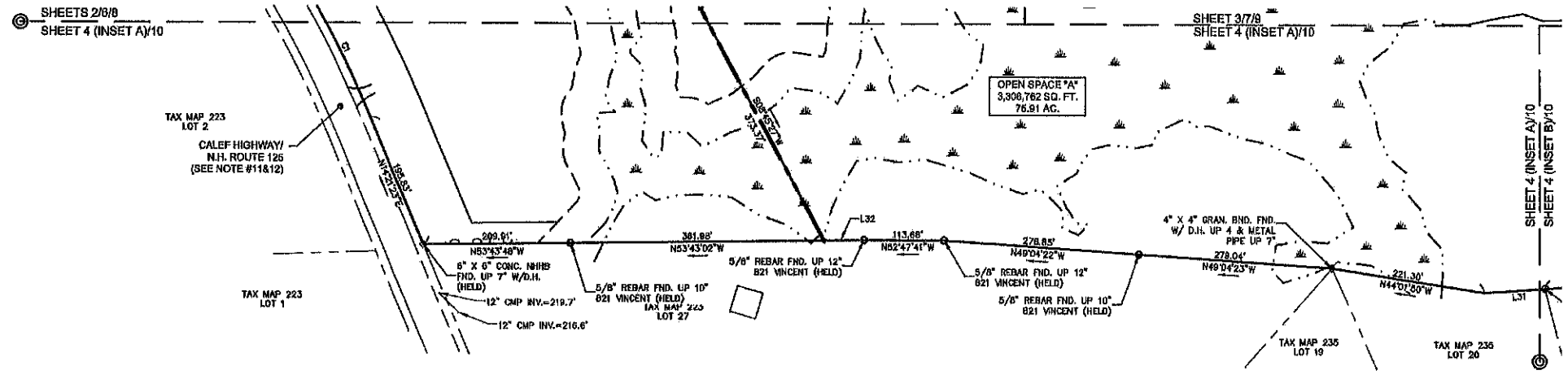
SHEET 3/7/9
 SHEET 4 (INSET B)/10

OPEN SPACE "A"
 3,308,762 SQ. FT.
 75.91 AC.



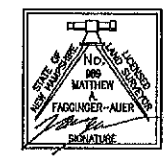
CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	209.91'	1465.40'	81°2'26"	N10°15'10"E	209.73'

LINE TABLE		
LINE	BEARING	DISTANCE
L12	N44°31'27"W	46.88'
L13	N39°35'00"W	104.00'
L31	N60°19'10"W	87.84'
L32	N63°43'02"W	56.09'



SUBDIVISION PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

LAND USE OFFICE
 MAY 13 2019
RECEIVED



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 DATE: 5/8/19
 L.L.S. #980

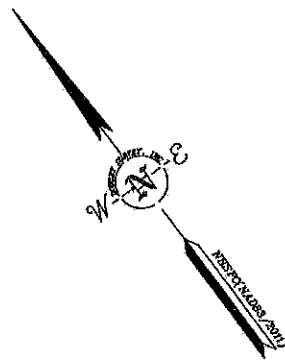
APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

NO.	DATE	DESCRIPTION	BY

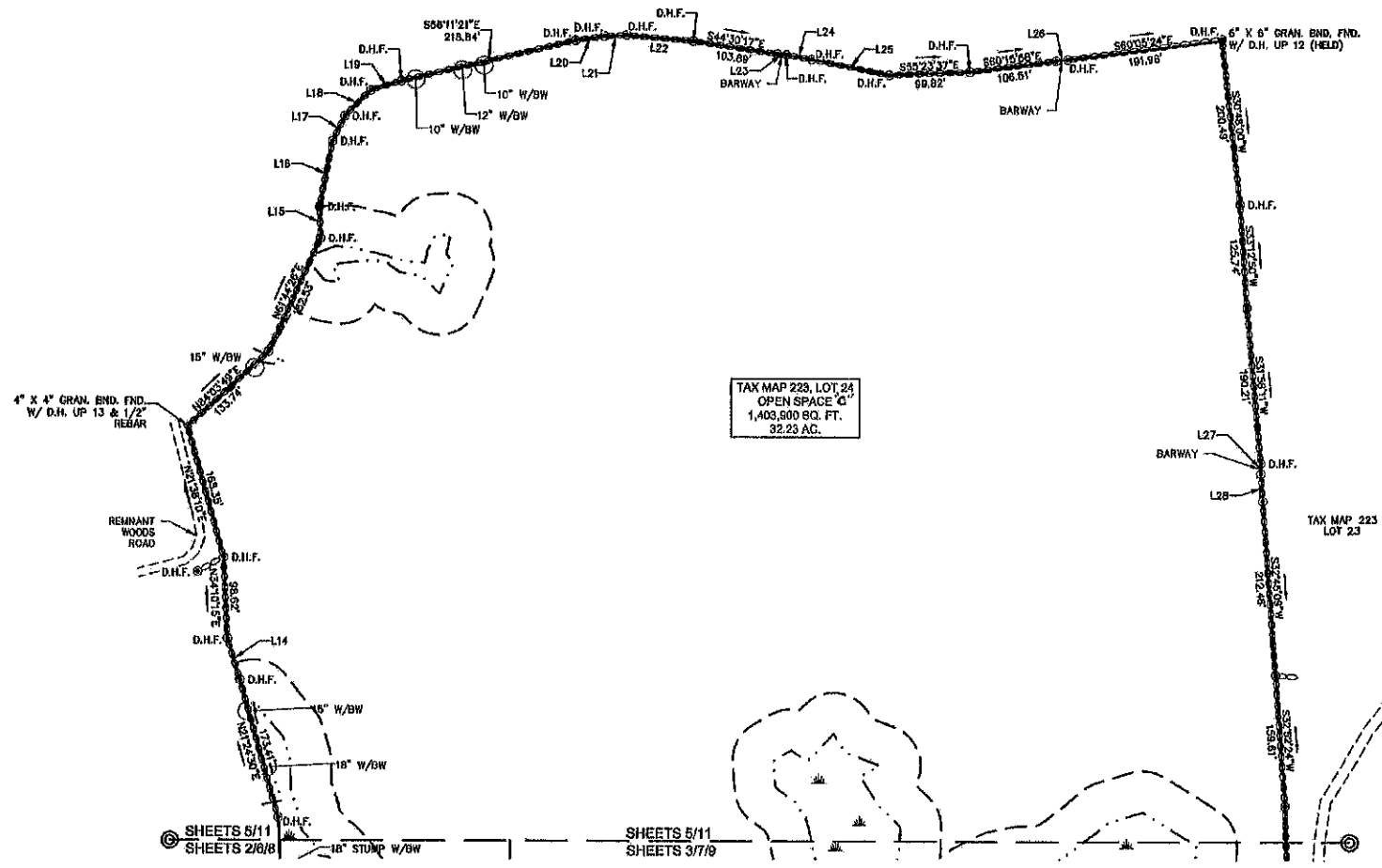
DRAWN BY: E.D.P. DATE: MAY 8, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 6760B
 JOB NO.: 6760 SHEET 4 OF 11

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THE SUBDIVISION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPT ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
 [SHEETS 6-11 NOT INTENDED FOR RECORDING]



LINE TABLE		
LINE	BEARING	DISTANCE
L14	S20°16'44"W	52.77'
L15	S34°57'03"W	37.89'
L16	S48°16'42"W	81.16'
L17	S63°13'54"W	34.02'
L18	S82°45'19"W	44.88'
L19	N70°01'07"W	38.67'
L20	N61°27'24"W	35.09'
L21	N55°44'34"W	27.06'
L22	N48°01'16"W	81.30'
L23	N47°03'41"W	11.30'
L24	N43°07'52"W	31.54'
L25	N41°38'46"W	98.70'
L26	N59°41'00"W	14.23'
L27	N38°36'40"E	12.68'
L28	N32°51'04"E	33.14'



SUBDIVISION PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

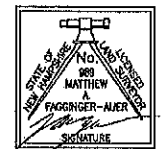
APPROVED DATE _____
 BARRINGTON, NH
 PLANNING BOARD

DRAWN BY: E.D.P. DATE: MAY 6, 2019
 CHECKED BY: M.W.F. DRAWING NO.: 5760B
 JOB NO.: 5760 SHEET 5 OF 11

THE SUBMISSION REGULATIONS OF THE TOWN OF BARRINGTON ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBMISSION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

SHEETS 5-11 NOT INTENDED FOR RECORDING

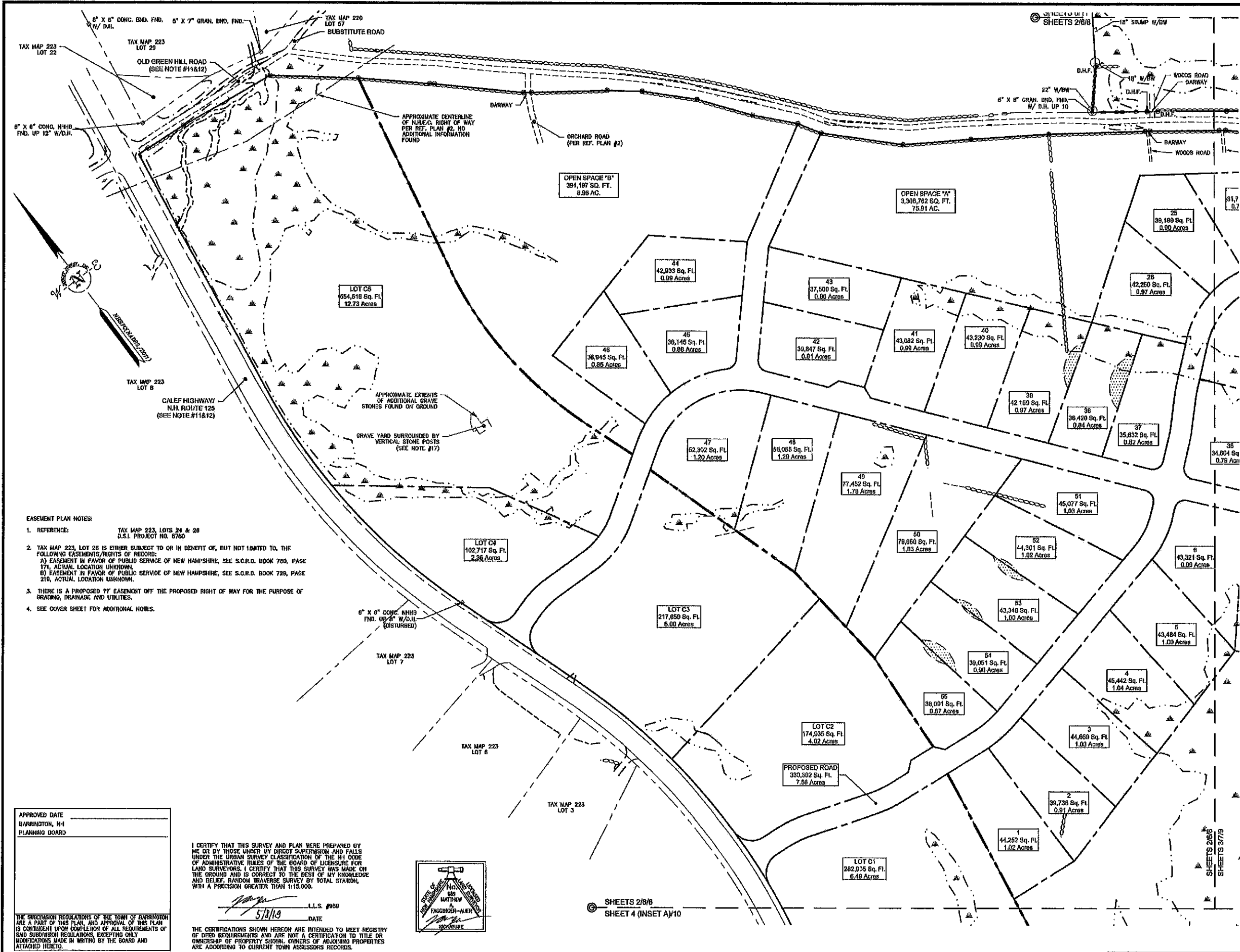
LAND USE OFFICE
 MAY 13 2019
RECEIVED



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 _____ L.L.S. #990
 DATE 5/8/19

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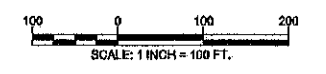
THE WORD "UNPROCESSED" IS PRINTED IN SMALL CAPITAL LETTERS IN THE MARGINS OF THIS PLAN.



- LEGEND**
- LOT LINE
 - PROPOSED LOT LINE
 - PROPOSED EASEMENT LINE
 - ZONE LINE
 - APPROXIMATE ADJUTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - EDGE OF WETLAND
 - STREAM
 - BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - PROPOSED 70' PROTECTIVE WELL RADIUS

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - DRIVE
 - PAVEMENT OBSCURED
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBSCURED
 - FENCE OBSCURED
 - WALL OBSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT

LAND USE OFFICE
MAY 13 2019
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EASEMENT PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: E.D.P.	DATE: MAY 6, 2019
CHECKED BY: M.W.F.	DRAWING NO.: 5750B
JOB NO.: 5750	SHEET 6 OF 11

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- EASEMENT PLAN NOTES:**
- REFERENCE: TAX MAP 223, LOTS 24 & 26 D.S.I. PROJECT NO. 5750
 - TAX MAP 223, LOT 26 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:
 - A) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 780, PAGE 171, ACTUAL LOCATION UNKNOWN.
 - B) EASEMENT IN FAVOR OF PUBLIC SERVICE OF NEW HAMPSHIRE, SEE S.C.R.D. BOOK 729, PAGE 210, ACTUAL LOCATION UNKNOWN.
 - THERE IS A PROPOSED 70' EASEMENT OFF THE PROPOSED RIGHT OF WAY FOR THE PURPOSE OF GRADING, DRAINAGE AND UTILITIES.
 - SEE COVER SHEET FOR ADDITIONAL NOTES.

APPROVED DATE
 BARRINGTON, NH
 PLANNING BOARD

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE RULES OF ADMINISTRATIVE PROCEDURE OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

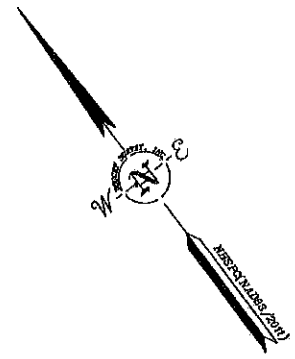
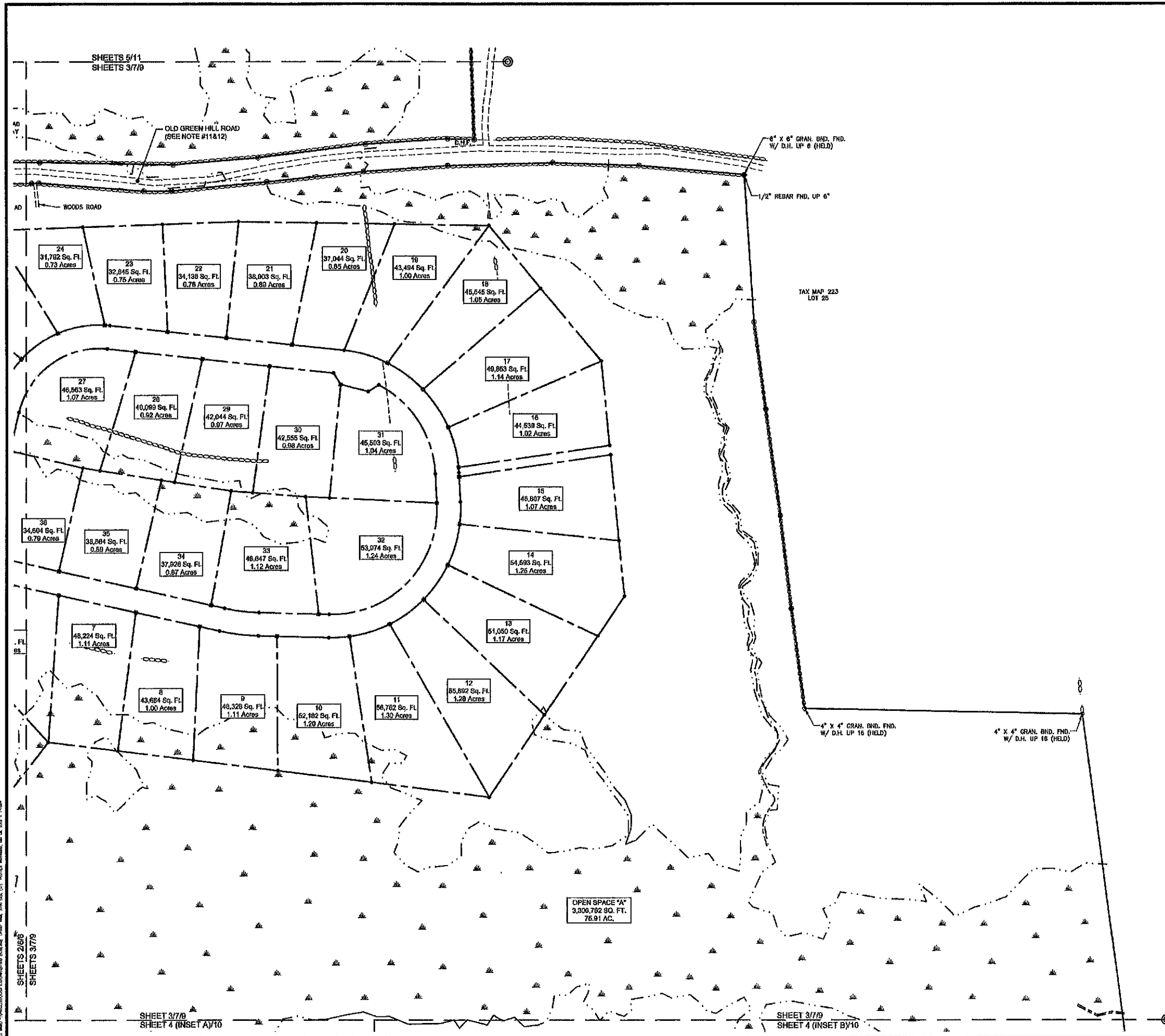
 L.L.S. #990
 DATE: 5/8/19



THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

SHEETS 2/8/8
 SHEET 4 (INSET A)/10

SHEETS 8-11 NOT INTENDED FOR RECORDING



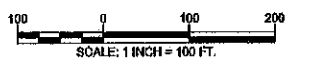
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:16,000.

Matthew A. Focquier-Aliet
 L.L.S. #060
 DATE: 5/8/19

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

APPROVED DATE: _____
 BARRINGTON, NH
 PLANNING BOARD

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EASEMENT PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

TAX MAP 223
 LOT 26
LAND USE OFFICE
 MAY 13 2019
RECEIVED

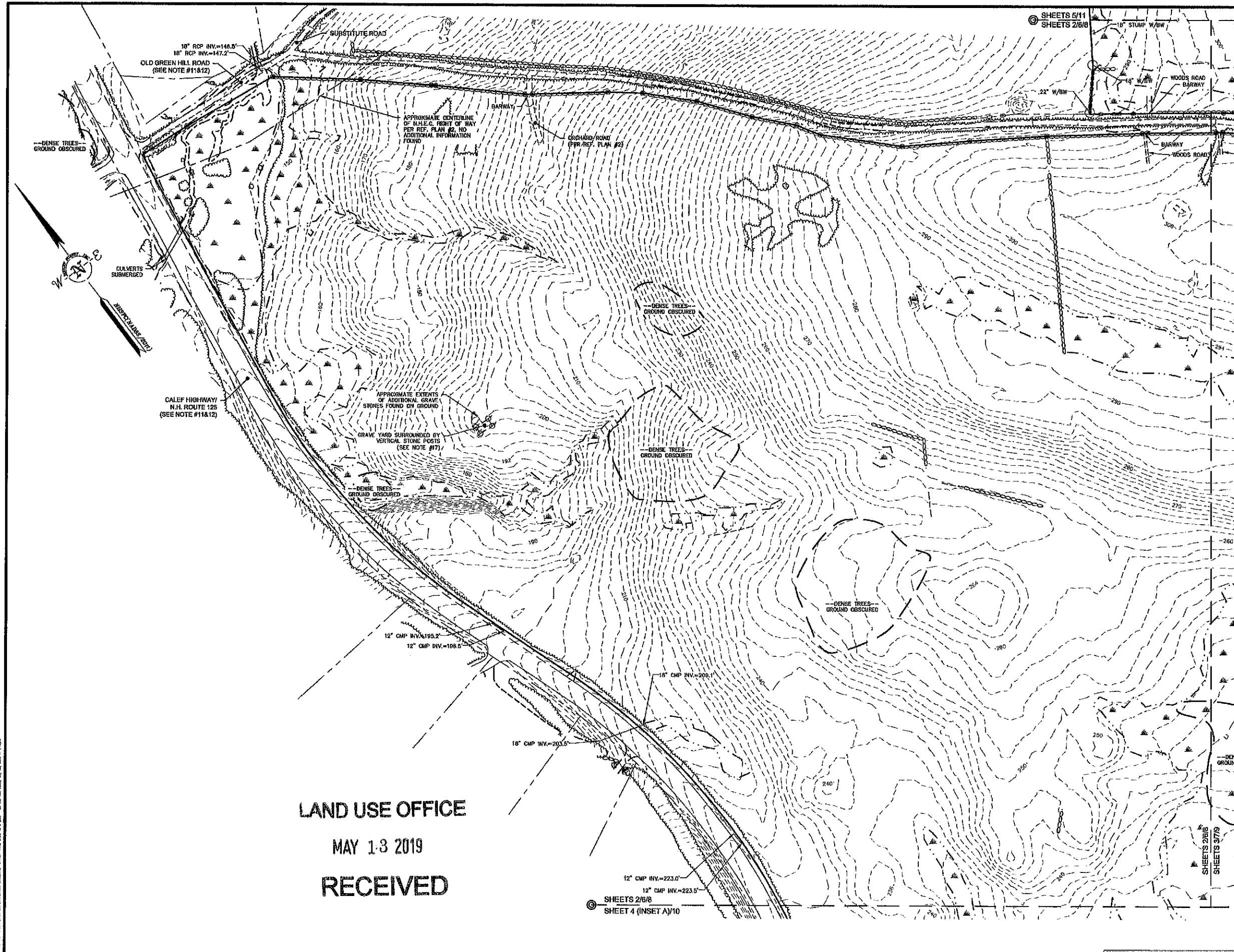
NO.	DATE	DESCRIPTION	BY

DRAWN BY: E.D.P.	DATE: MAY 5, 2019
CHECKED BY: M.W.F.	DRAWING NO.: 5760B
JOB NO.: 6760	SHEET 7 OF 11

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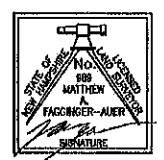
[SHEETS 6-11 NOT INTENDED FOR RECORDING]

SHEETS 2/6/8
 SHEETS 3/7/9
 SHEET 3/7/9
 SHEET 4 (INSET A) 10
 SHEET 3/7/9
 SHEET 4 (INSET B) 10



- LEGEND**
- LOT LINE
 - APPROXIMATE ABUTTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - EDGE OF WETLAND
 - STREAM
 - TREE STUMP
 - DECIDUOUS TREE
 - CATCH BASIN
 - BARBED WIRE
 - CONCRETE
 - GRANITE
 - WETLAND SYMBOL

- LEGEND (EASTERN TOPOGRAPHICS)**
- BUILDING
 - PAVED ROAD
 - GRAVEL ROAD
 - BRIDGE
 - DRIVEWAY
 - DRIVEWAY UNPAVED
 - DRIVEWAY OBTSCURED
 - PAINTED LINE
 - FENCE OBTSCURED
 - WALL OBTSCURED
 - STONEWALL
 - BROOK/STREAM
 - SWAMP LIMIT
 - CULVERT HEADWALL
 - DITCH
 - WATER OBTSCURED
 - TREE LINE
 - BRUSH
 - DENSE WOOD LIMIT
 - ROCK OUTLINE
 - ROCK CULVERT
 - CHAIRRAIL OBTSCURED
 - CULVERT OBTSCURED
 - UTILITY POLE
 - OBTSCURED UPPOLE
 - SWAMP GRASS
 - MEDIUM LONE TREE
 - SPOT ELEVATION



TOPOGRAPHIC PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
PAUL C. HELFGOTT, RINA MYHRE & CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

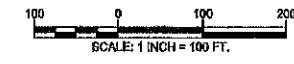
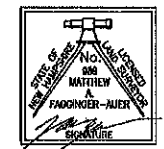
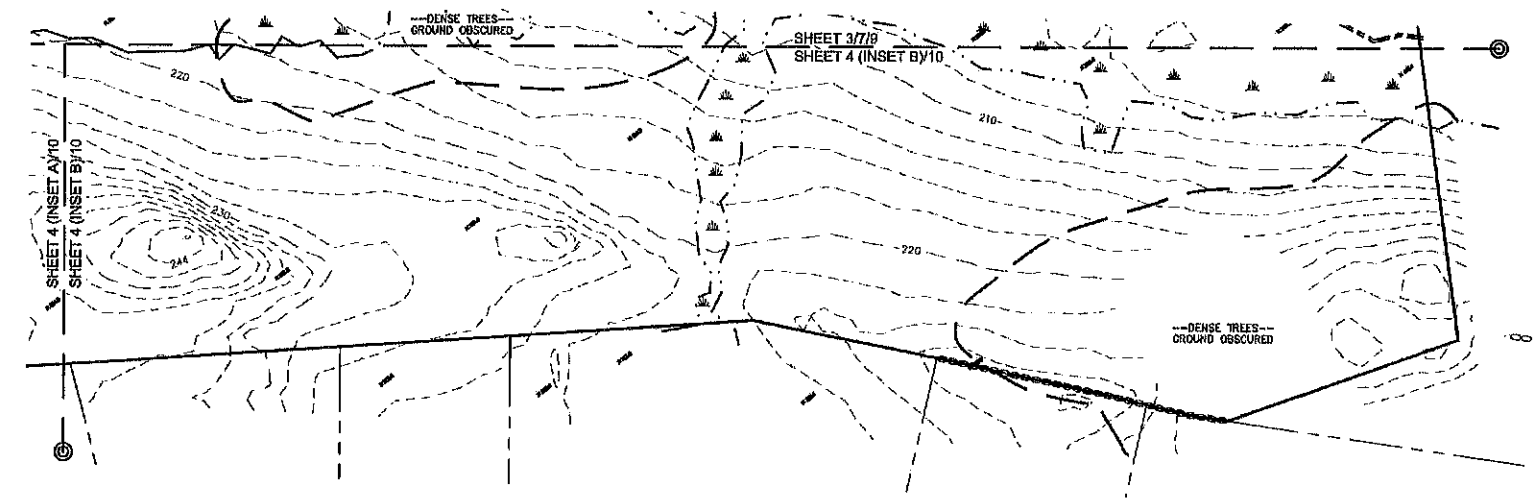
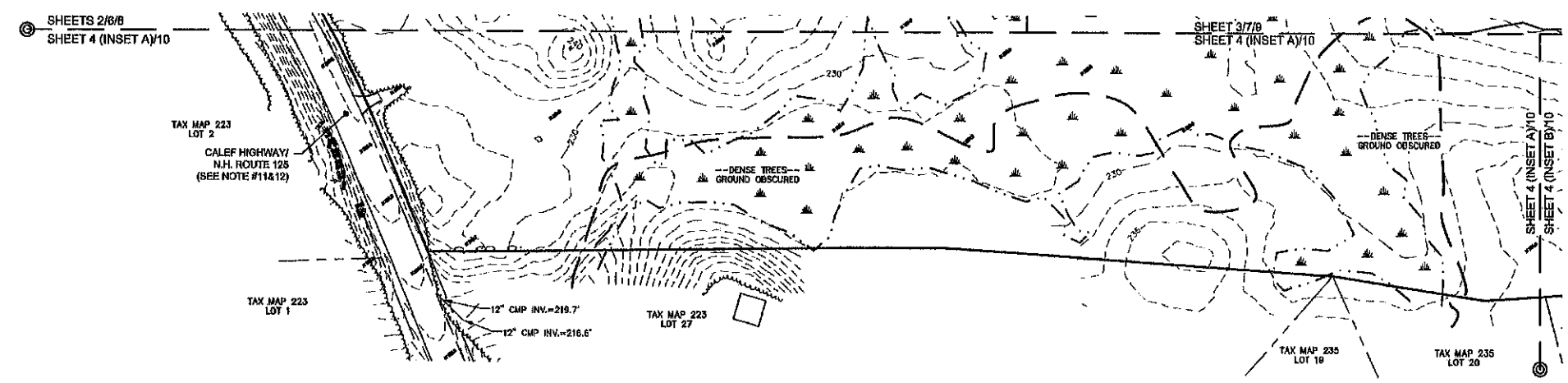
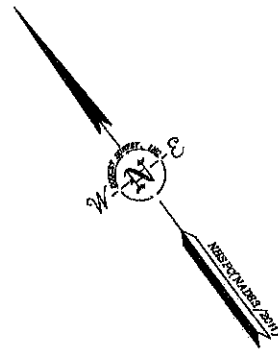
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2010
CHECKED BY:	M.W.F.	DRAWING NO.:	6760B
JOB NO.:	6760	SHEET:	8 OF 11

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 MAY 13 2019
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12" CMP INV.=223.0'
 12" CMP INV.=223.5'
 SHEETS 2/6/8
 SHEET 4 (INSET A)/10



TOPOGRAPHIC PLAN
 FOR
HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
**PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX**
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 125/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

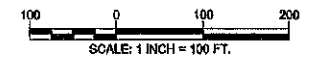
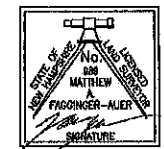
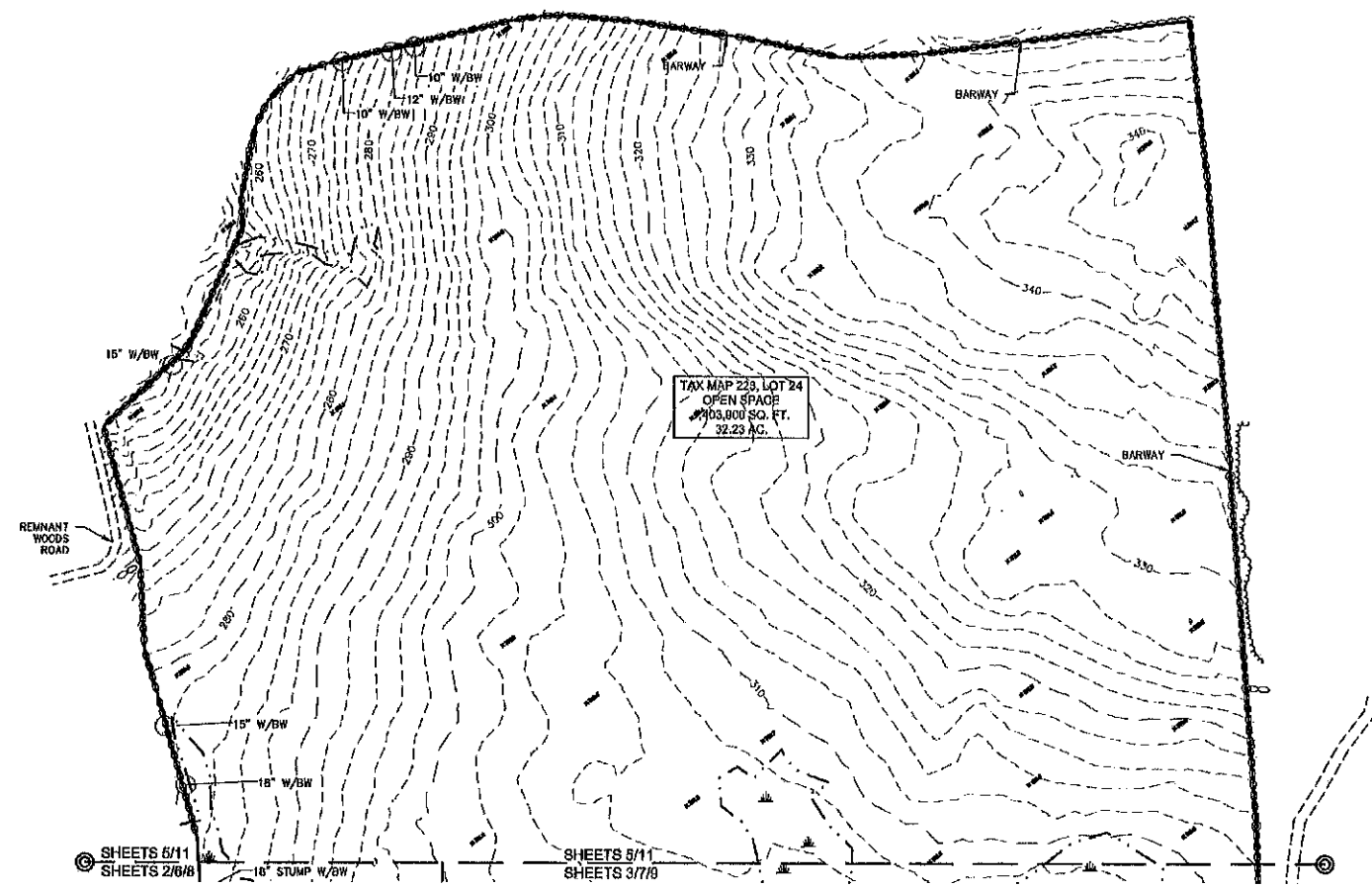
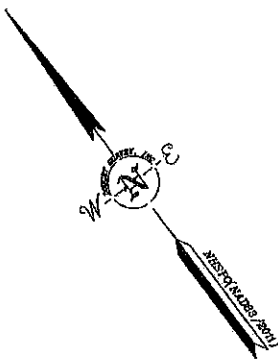
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	5760B
JOB NO.:	5760	SHEET	10 OF 11

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<http://www.doucetsurvey.com>

THE STATE OF NEW HAMPSHIRE, COUNTY OF BELLEVILLE, MAP NO. 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



TOPOGRAPHIC PLAN
 FOR
 HARBOR STREET LIMITED PARTNERSHIP
 LAND OF
 PAUL C. HELFGOTT, RINA MYHRE &
 CAROL H. LEDOUX
 (TAX MAP 223, LOTS 24 & 26)
 ROUTE 126/CALEF HIGHWAY
 BARRINGTON, NEW HAMPSHIRE

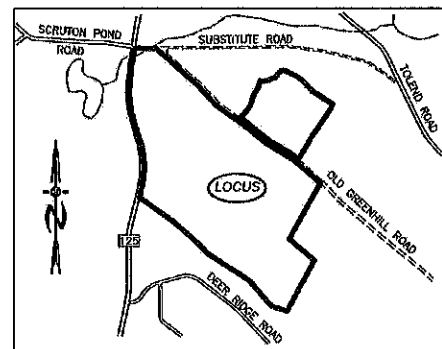
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	MAY 6, 2019
CHECKED BY:	M.W.F.	DRAWING NO.:	6760B
JOB NO.:	5760	SHEET	11 OF 11

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THE STATE OF NEW HAMPSHIRE COMMISSIONERS OF REVENUE
 LAND USE OFFICE 1000 STATE STREET, 3RD FLOOR, NASHUA, NH 03802-1200



LOCATION MAP
1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 4000 SF SEPTIC RESERVE AREA
- PROP. WELL W/
75' PROTECTIVE RAD.

HISS STANDARDS:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.
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SOIL LEGEND:

SOIL SERIES	MAP UNIT	HIGH INTENSITY SOIL TYPES	HYDROLOGIC GROUP
NEWFIELDS	444	(321)	B
PAXTON	66	(223)	C
WOODBIDGE	29	(323)	C
RIDGEBURY	658	(423)	C
WET RIDGEBURY	656/P	(523)	C
WHITNUM	49/VP	(623)	D

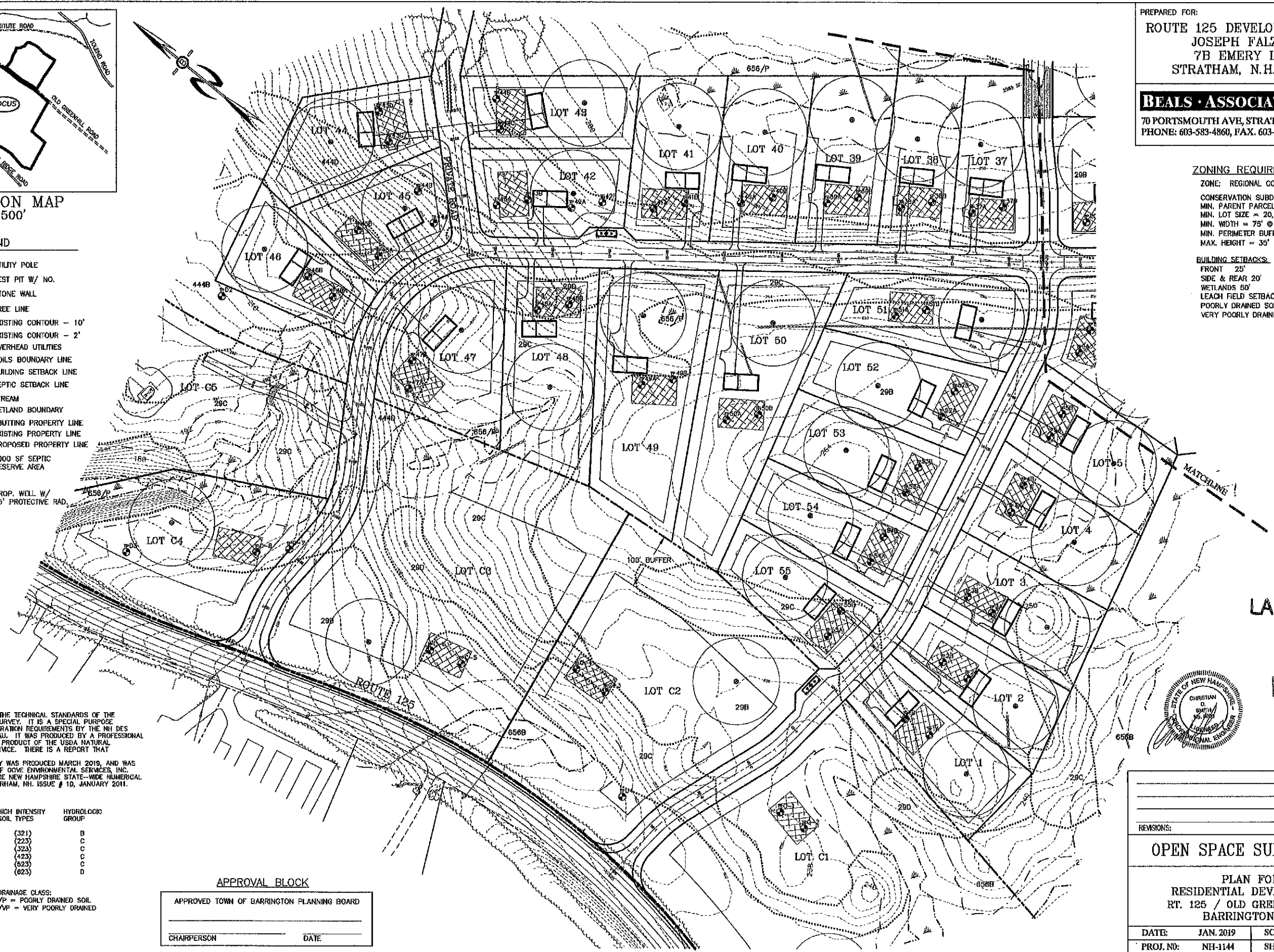
SLOPE CLASS:
0-9% = B
9-15% = C
15-25% = D
25-50% = E
>50% = F

DRAINAGE CLASS:
/P = POORLY DRAINED SOIL
/VP = VERY POORLY DRAINED

APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

- ZONE: REGIONAL COMMERCIAL
- CONSERVATION SUBDIVISION
MIN. PARENT PARCEL = 20.0 AC.
MIN. LOT SIZE = 20,000 SF
MIN. WIDTH = 75' @ FRONT SETBACK
MIN. PERIMETER BUFFER = 100'
MAX. HEIGHT = 35'
- BUILDING SETBACKS:
FRONT 25'
SIDE & REAR 20'
WETLANDS 50'
LEACH FIELD SETBACKS
POORLY DRAINED SOILS 50'
VERY POORLY DRAINED SOILS 75'

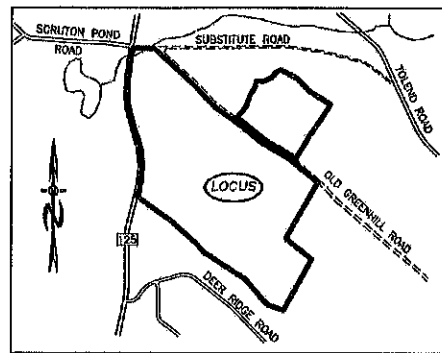
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MAY 13 2019
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REVISIONS:	DATE:
OPEN SPACE SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JAN. 2019	SCALE: 1"=80'
PROJ. NO: NH-1144	SHEET NO. 13 OF 31

PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

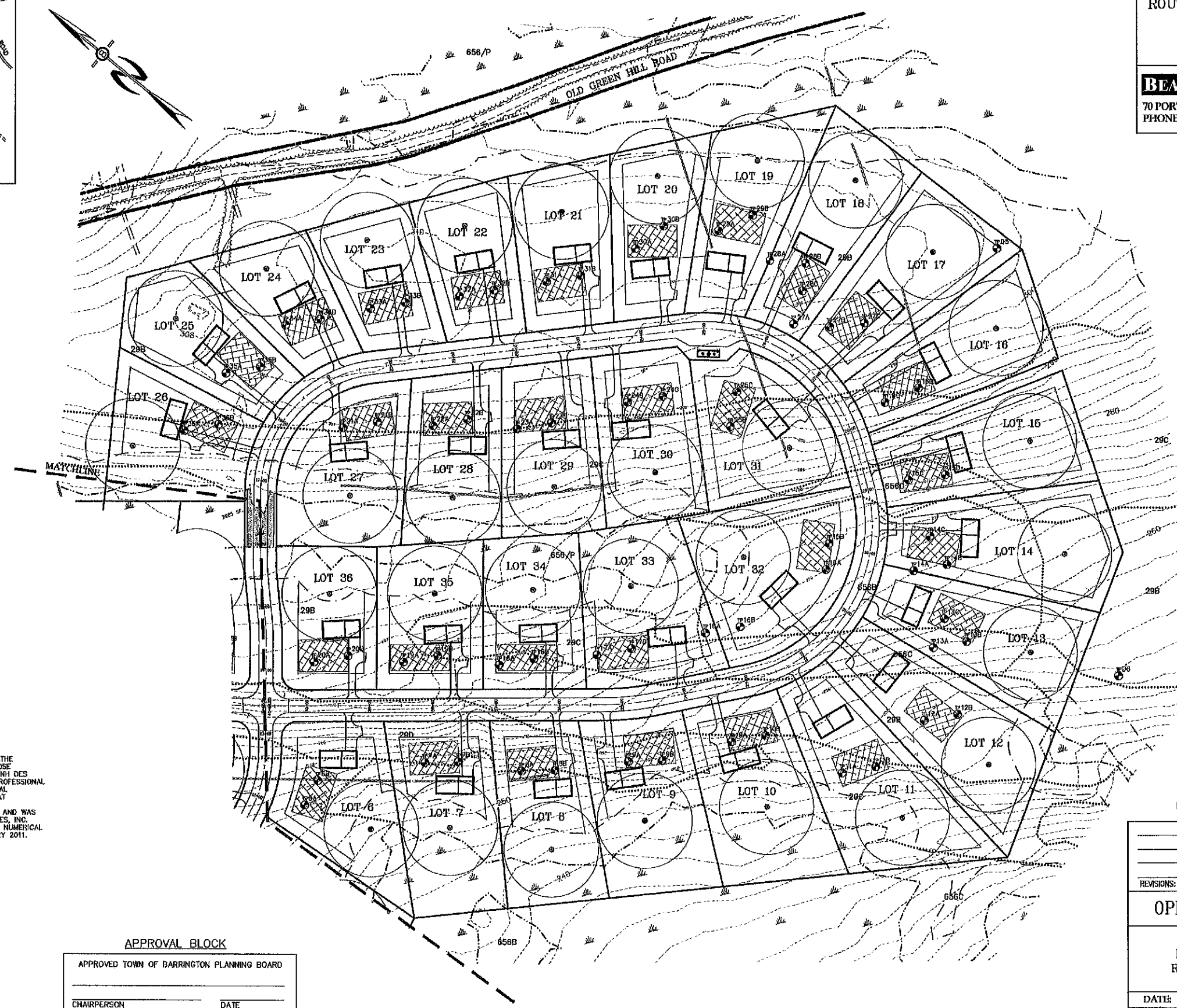
BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LOCATION MAP
 1"=1500'

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- OVERHEAD UTILITIES
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- STREAM
- WETLAND BOUNDARY
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- 4000 SF SEPTIC RESERVE AREA
- PROP. WELL W/ 75' PROTECTIVE RAD.

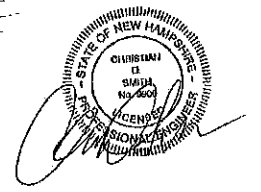


ZONING REQUIREMENTS

ZONE: REGIONAL COMMERCIAL
 CONSERVATION SUBDIVISION
 MIN. PARENT PARCEL = 20.0 AC.
 MIN. LOT SIZE = 20,000 SF
 MIN. WIDTH = 75' @ FRONT SETBACK
 MIN. PERIMETER BUFFER = 100'
 MAX. HEIGHT = 35'

BUILDING SETBACKS:
 FRONT 25'
 SIDE & REAR 20'
 WETLANDS 50'
 LEACH FIELD SETBACKS
 POORLY DRAINED SOILS 50'
 VERY POORLY DRAINED SOILS 75'

LAND USE OFFICE
MAY 13 2019
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MISS STANDARDS:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

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NEWFIELDS	444	(321)	B
PAXTON	66	(223)	C
WOODBRIIDGE	28	(323)	C
RIDGEBURY	656	(423)	C
WET RIDGEBURY	656/P	(231)	C
WHITNUM	49/VP	(623)	D

SLOPE CLASS:
 0-8% = B
 8-15% = C
 15-25% = D
 25-50% = E
 >50% = F

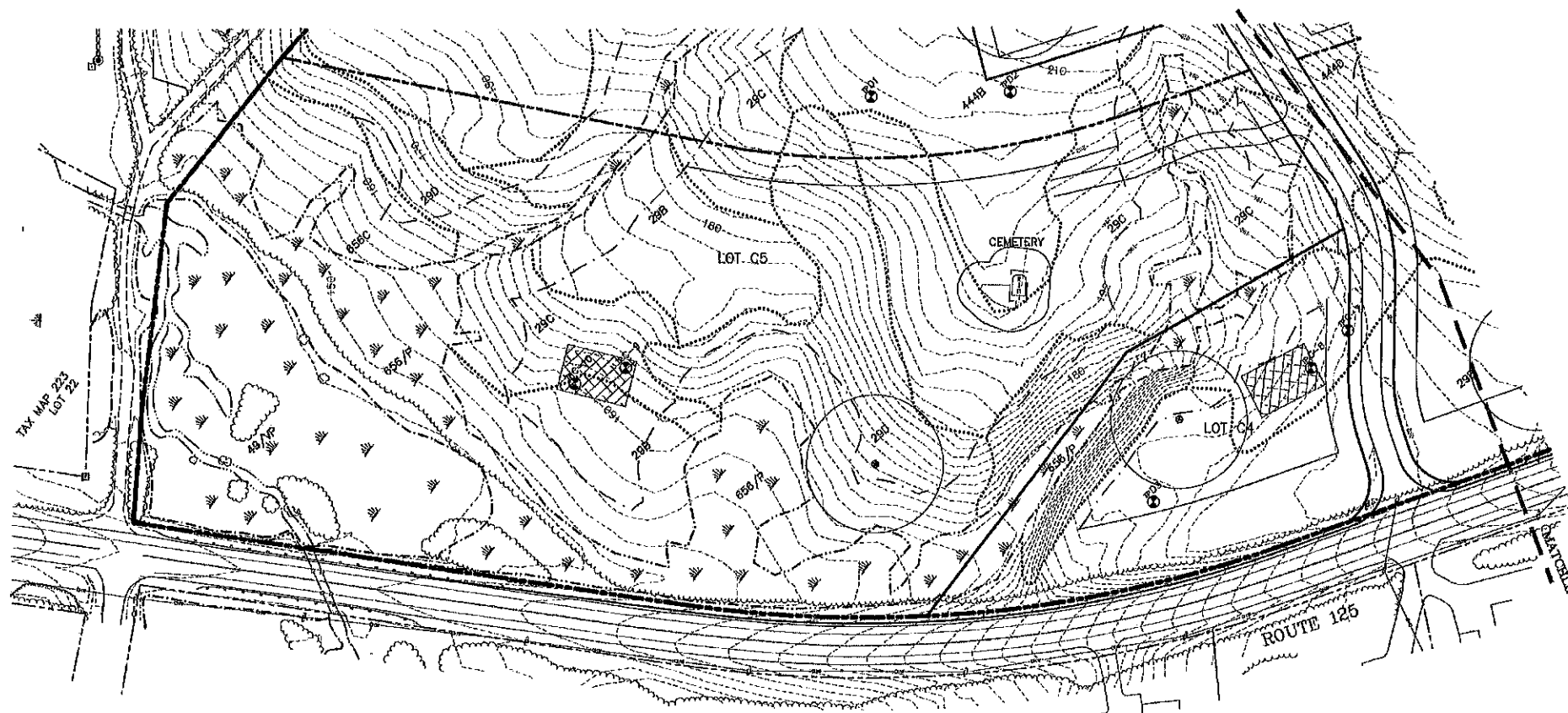
DRAINAGE CLASS:
 /P = POORLY DRAINED SOIL
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APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

REVISIONS:	DATE:
OPEN SPACE SUBDIVISION	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: JAN. 2019	SCALE: 1"=80'
PROJ. NO: NH-1144	SHEET NO. 14 OF 31



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

ZONE: REGIONAL COMMERCIAL

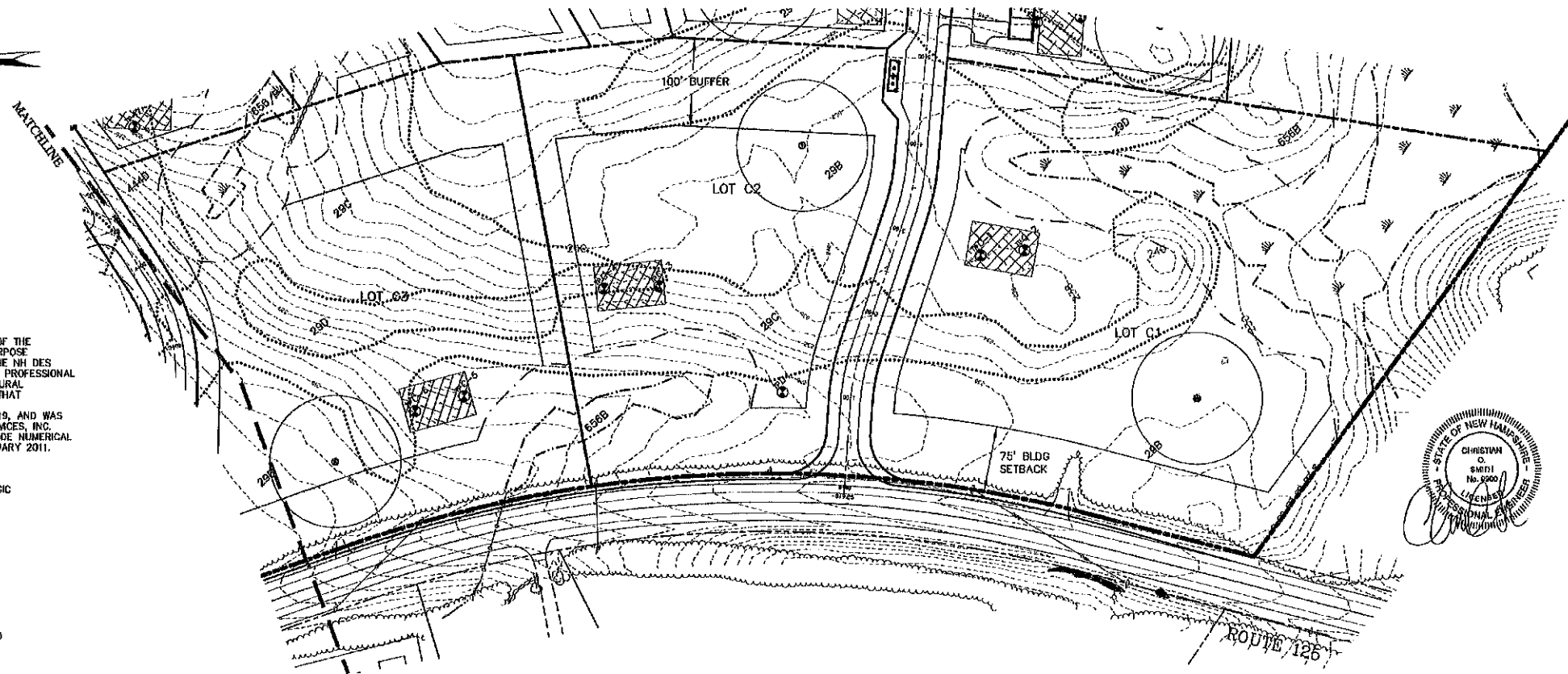
USE:	RESIDENTIAL	COMMERCIAL
MIN. LOT SIZE =	80,000 SF	40,000 SF
MIN. FRONTAGE =	200'	200'
MAX. HEIGHT =	35'	40'

BUILDING SETBACKS:

FRONT	40'	75'
SIDE & REAR	30'	30'
POORLY DRAINED SOILS		50'
VERY POORLY DRAINED SOILS		100'

LEACH FIELD SETBACKS

POORLY DRAINED SOILS	50'
VERY POORLY DRAINED SOILS	100'



HSS STANDARDS:
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WOODBRIDGE	29	(323)	C
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WET RIDGEBURY	658/P	(523)	C
WHITNUM	49/VP	(623)	D

SLOPE CLASS:
 0-8% = B
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 15-25% = D
 25-50% = E
 >50% = F

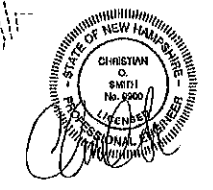
DRAINAGE CLASS:
 /P = POORLY DRAINED SOIL
 /VP = VERY POORLY DRAINED

LAND USE OFFICE
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APPROVAL BLOCK

APPROVED TOWN OF BARRINGTON PLANNING BOARD

CHAIRPERSON _____ DATE _____

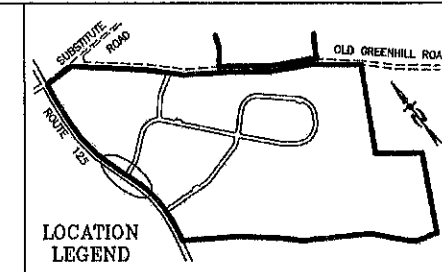
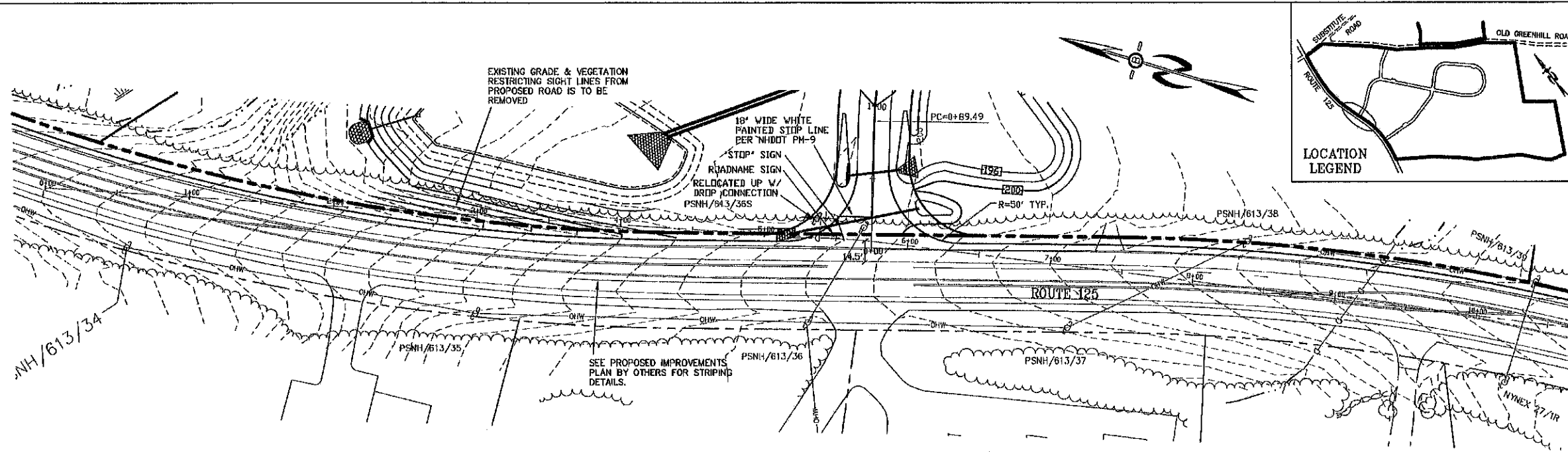


REVISIONS: _____ DATE: _____

COMMERCIAL LOTS SITE PLAN

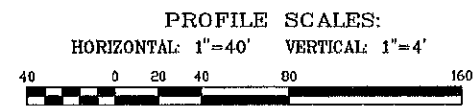
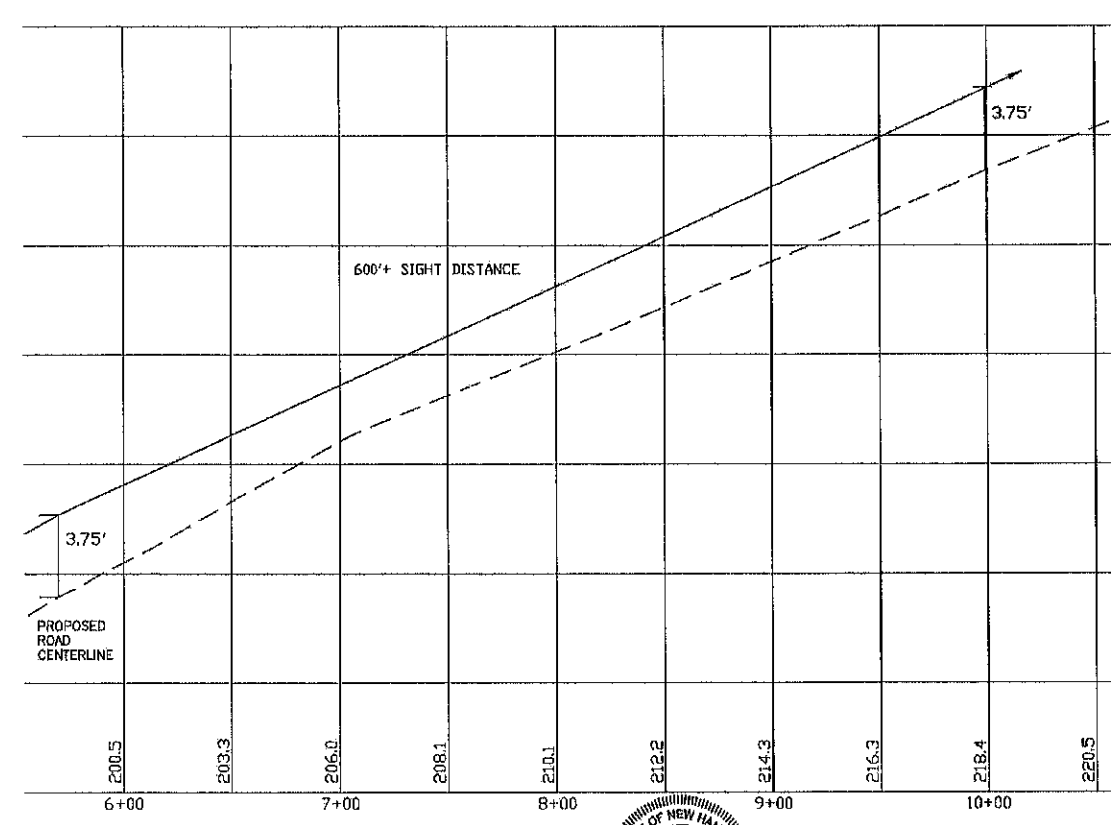
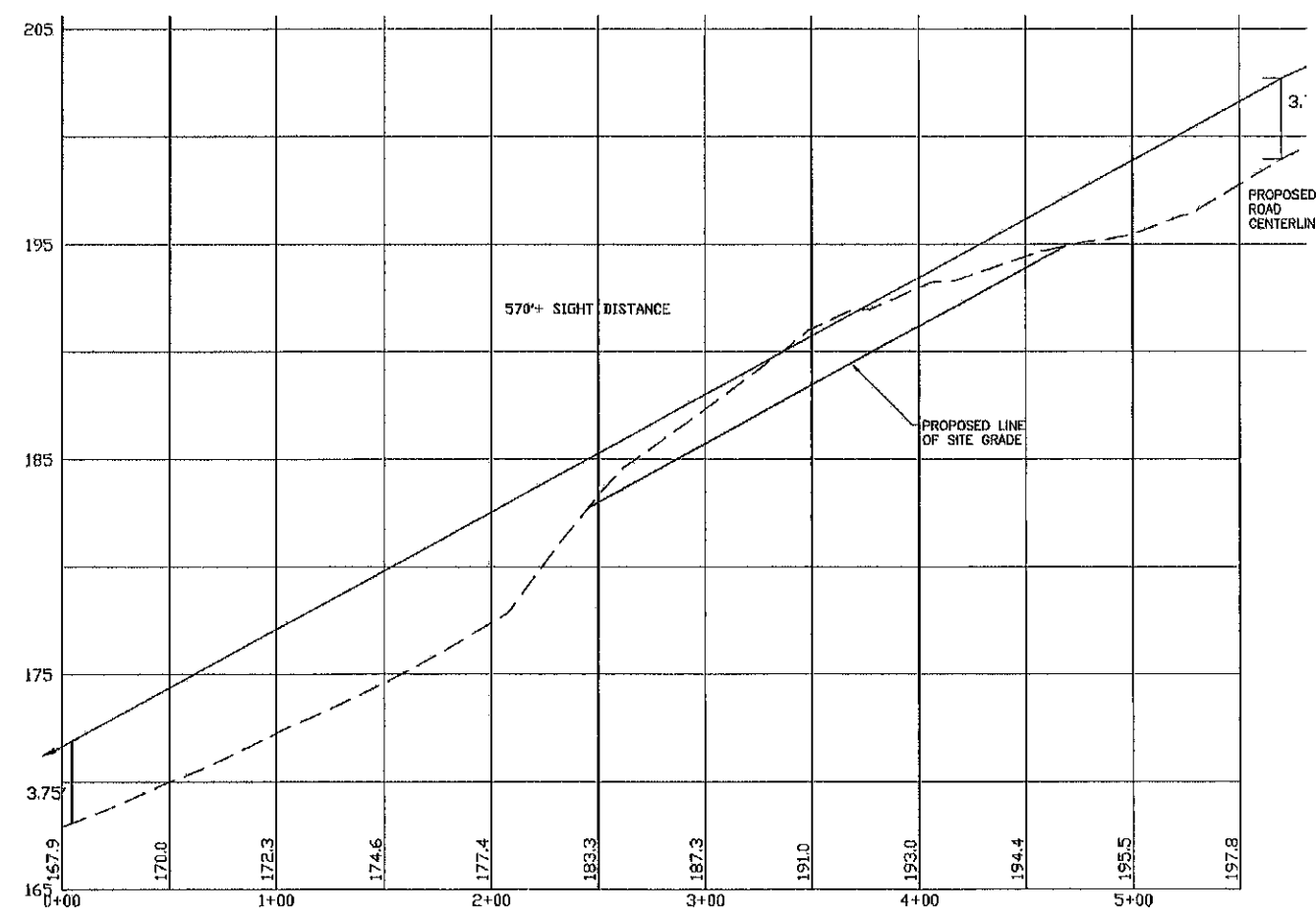
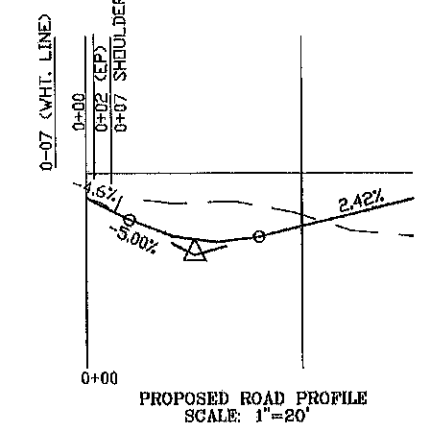
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE:	JAN. 2019	SCALE:	1"=80'
PROJ. NO.:	NH-1144	SHEET NO.:	15 OF 31

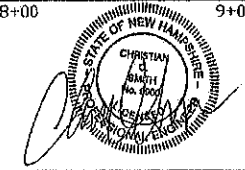


PREPARED FOR:
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 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



REVISIONS:	DATE:



HIGHWAY ACCESS PLAN-H2

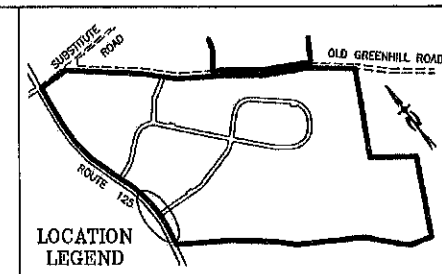
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARCH 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 16 OF 31

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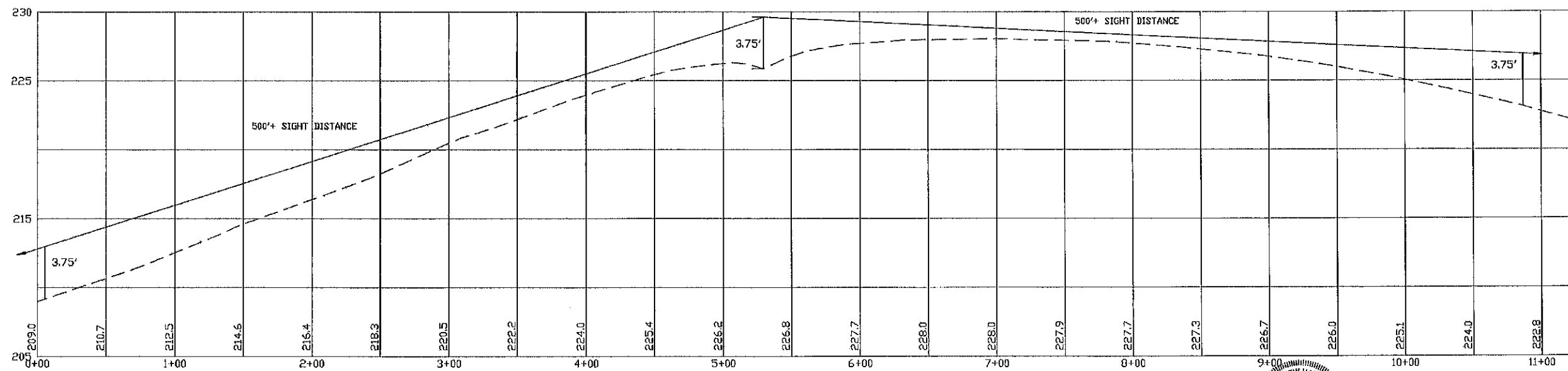
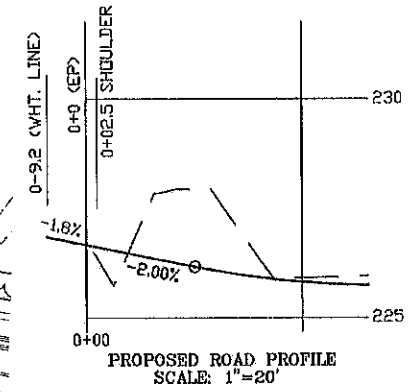
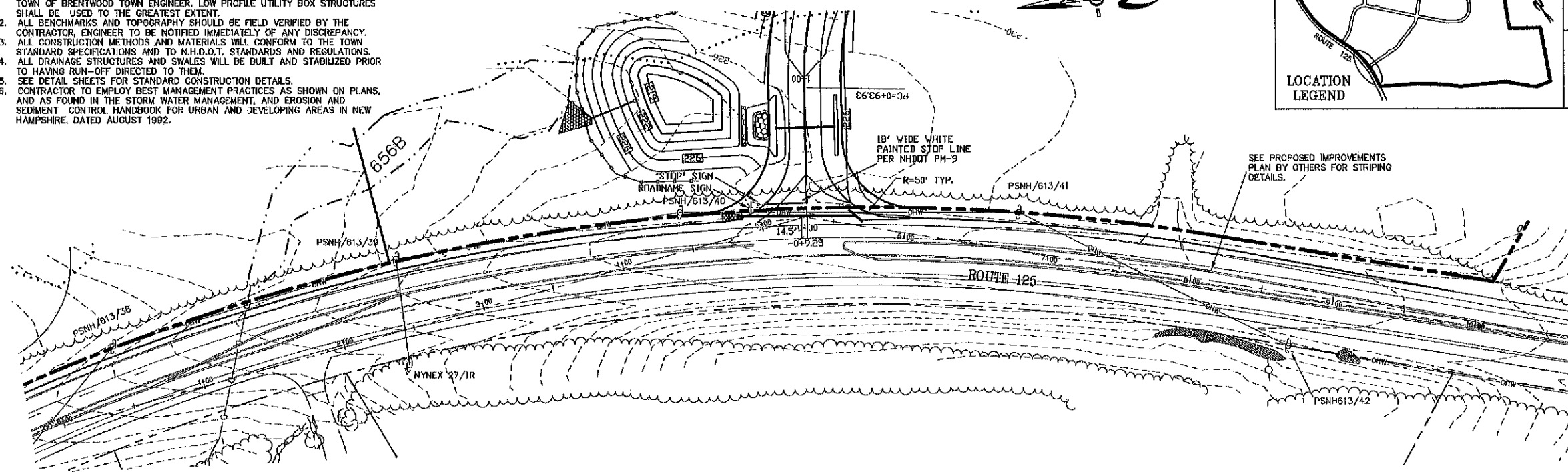
NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE PLACED OUTSIDE OF THE RIGHT-OF-WAY AS PER TOWN OF BRENTWOOD TYP. ROADWAY SECTION ADDENDUM A SUBDIVISION REGULATIONS, WITH REVIEW AND APPROVAL BY THE TOWN OF BRENTWOOD TOWN ENGINEER. LOW PROFILE UTILITY BOX STRUCTURES SHALL BE USED TO THE GREATEST EXTENT.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURES AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION DETAILS.
6. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES AS SHOWN ON PLANS, AND AS FOUND IN THE STORM WATER MANAGEMENT, AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, DATED AUGUST 1992.

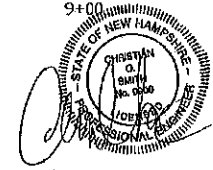
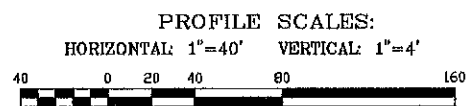


PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



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REVISIONS:	DATE:

HIGHWAY ACCESS PLAN-H1

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARCH 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 17 OF 31

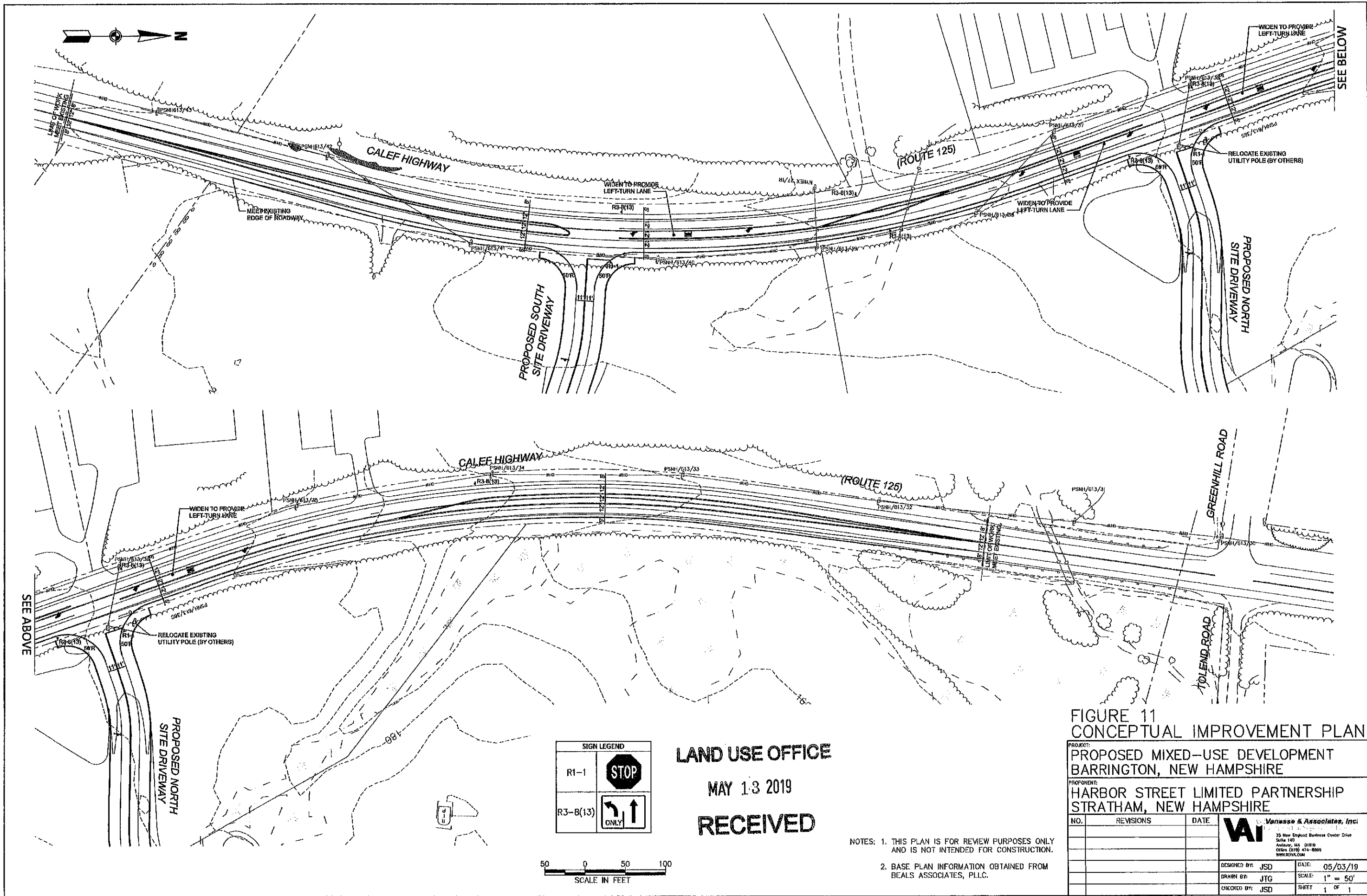


FIGURE 11
CONCEPTUAL IMPROVEMENT PLAN

PROJECT:
PROPOSED MIXED-USE DEVELOPMENT
BARRINGTON, NEW HAMPSHIRE

PROPOSER:
HARBOR STREET LIMITED PARTNERSHIP
STRATHAM, NEW HAMPSHIRE

NO.	REVISIONS	DATE

VAI Varma & Associates, Inc.
 35 New England Business Center Drive
 Suite 140
 Andover, MA 01810
 Office (978) 474-8800
 www.ROVA.com

DESIGNED BY: JSD	DATE: 05/03/19
DRAWN BY: JTG	SCALE: 1" = 50'
CHECKED BY: JSD	SHEET 1 OF 1

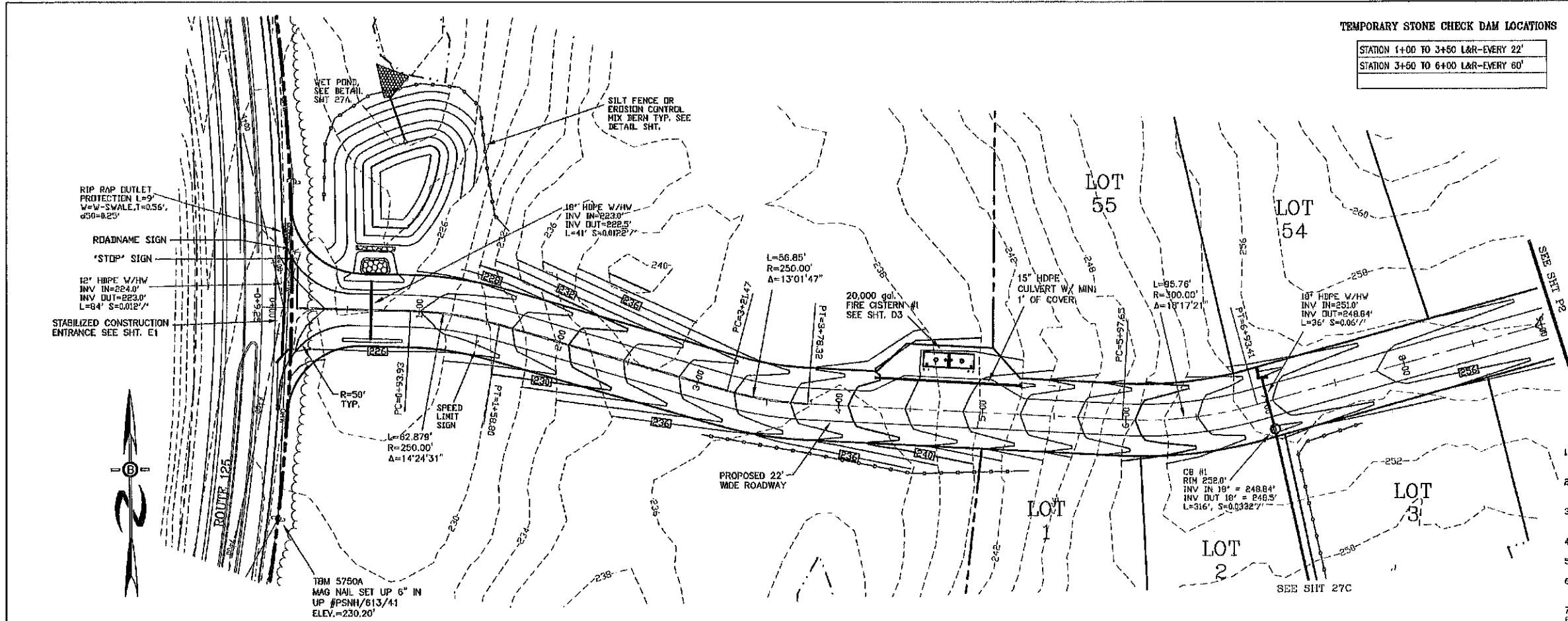
SIGN LEGEND

R1-1	
R3-B(13)	

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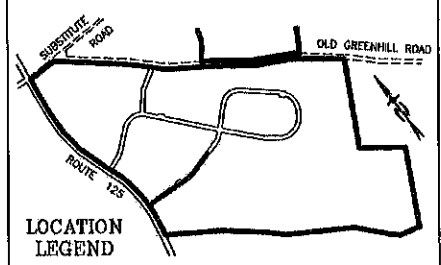


NOTES: 1. THIS PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.
2. BASE PLAN INFORMATION OBTAINED FROM BEALS ASSOCIATES, PLLC.

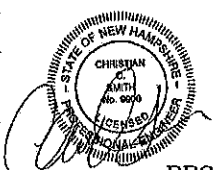
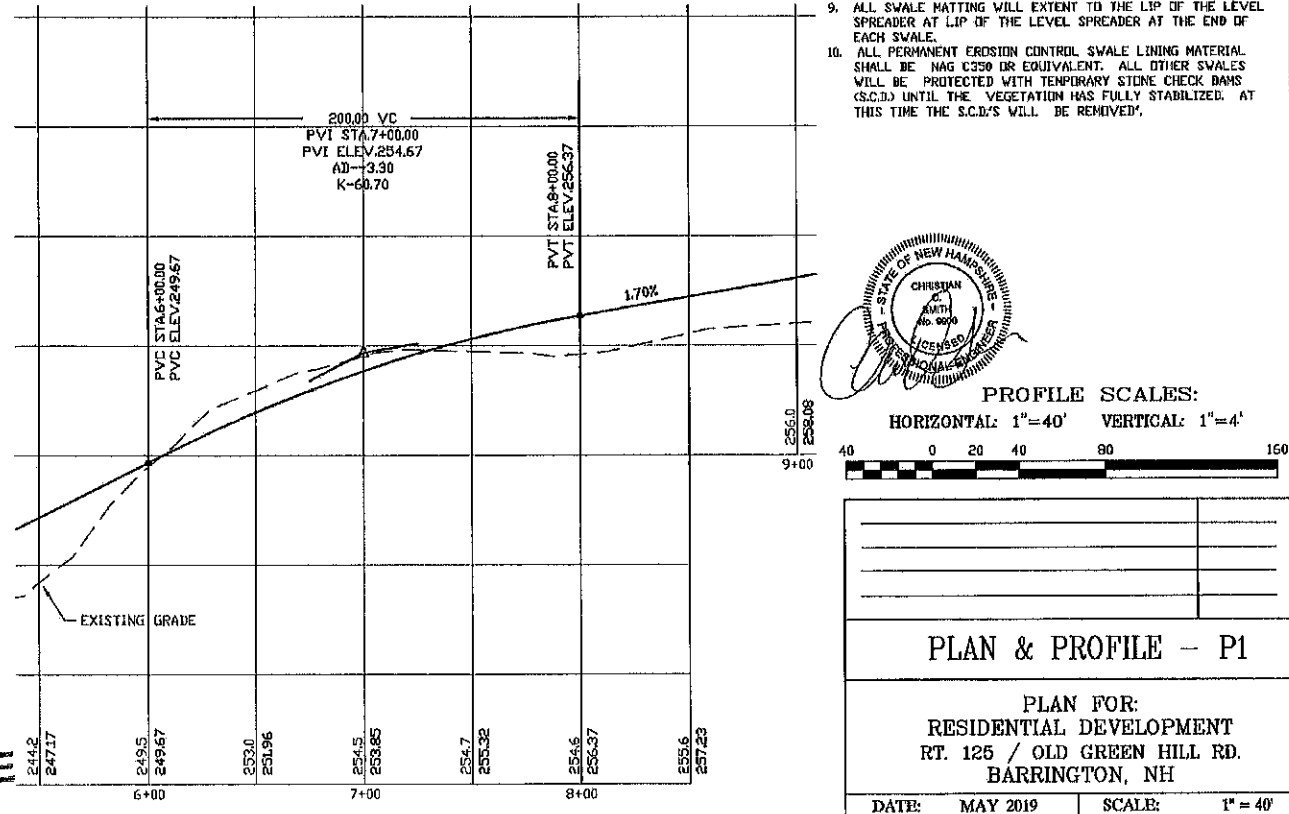
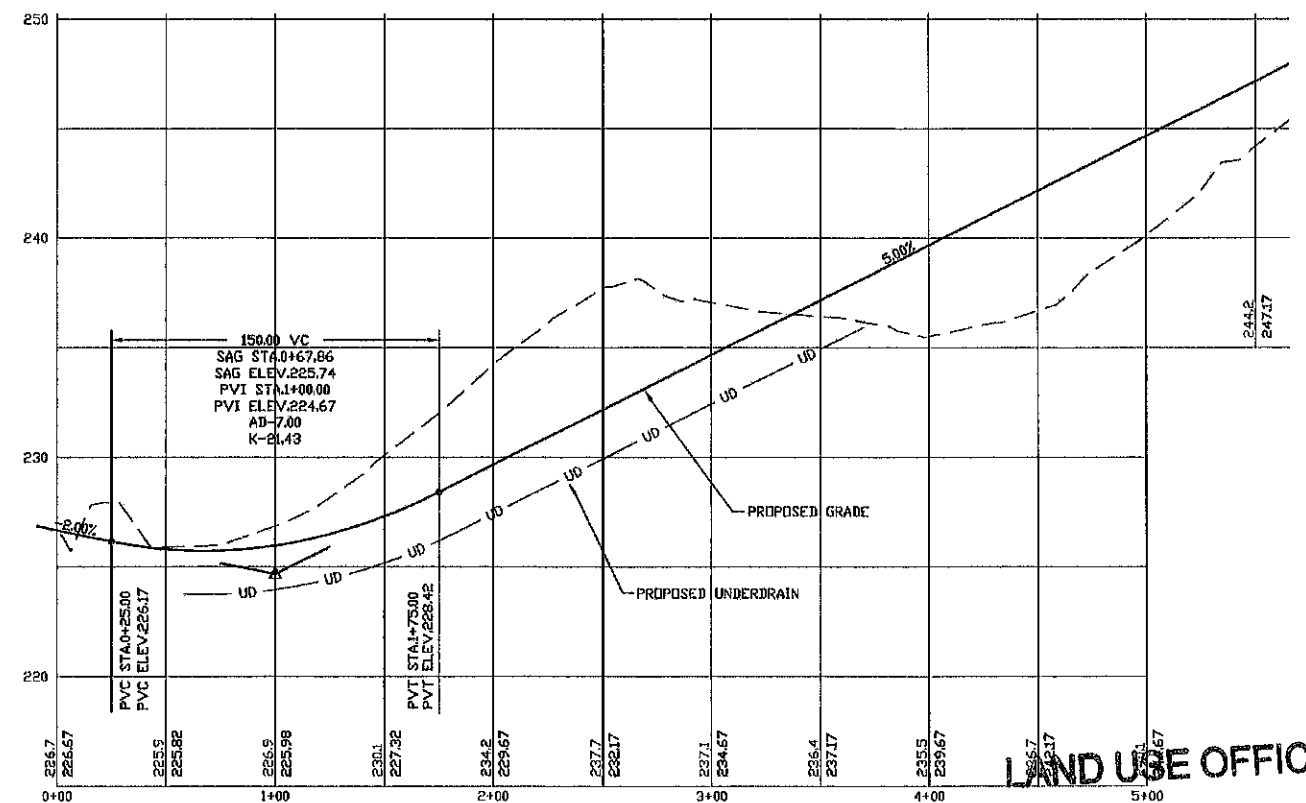


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- NOTES**
1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
 2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
 3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
 4. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
 5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 6. ALL CROSS CULVERTS & DRIVEWAY CULVERTS TO BE MIN. 15" ADS N-12 AND TO HAVE MASONRY HEADWALLS UNLESS FLARED END SECTIONS ARE SPECIFIED ON THE PLANS.
 7. NATURAL VEGETATED FILTER STRIPS ARE TO REMAIN WOODED.
 8. ALL SIDE SLOPES STEEPER THAN 3:1 (WETLAND CROSSINGS) TO BE LINED WITH JUTE MATTING.
 9. ALL SWALE MATTING WILL EXTEND TO THE LIP OF THE LEVEL SPREADER AT LIP OF THE LEVEL SPREADER AT THE END OF EACH SWALE.
 10. ALL PERMANENT EROSION CONTROL SWALE LINING MATERIAL SHALL BE MAG C350 OR EQUIVALENT. ALL OTHER SWALES WILL BE PROTECTED WITH TEMPORARY STONE CHECK DAMS (S.C.D.) UNTIL THE VEGETATION HAS FULLY STABILIZED. AT THIS TIME THE S.C.D.'S WILL BE REMOVED.



PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

40 0 20 40 80 160
 256.0 258.0 9+00

PLAN & PROFILE - P1

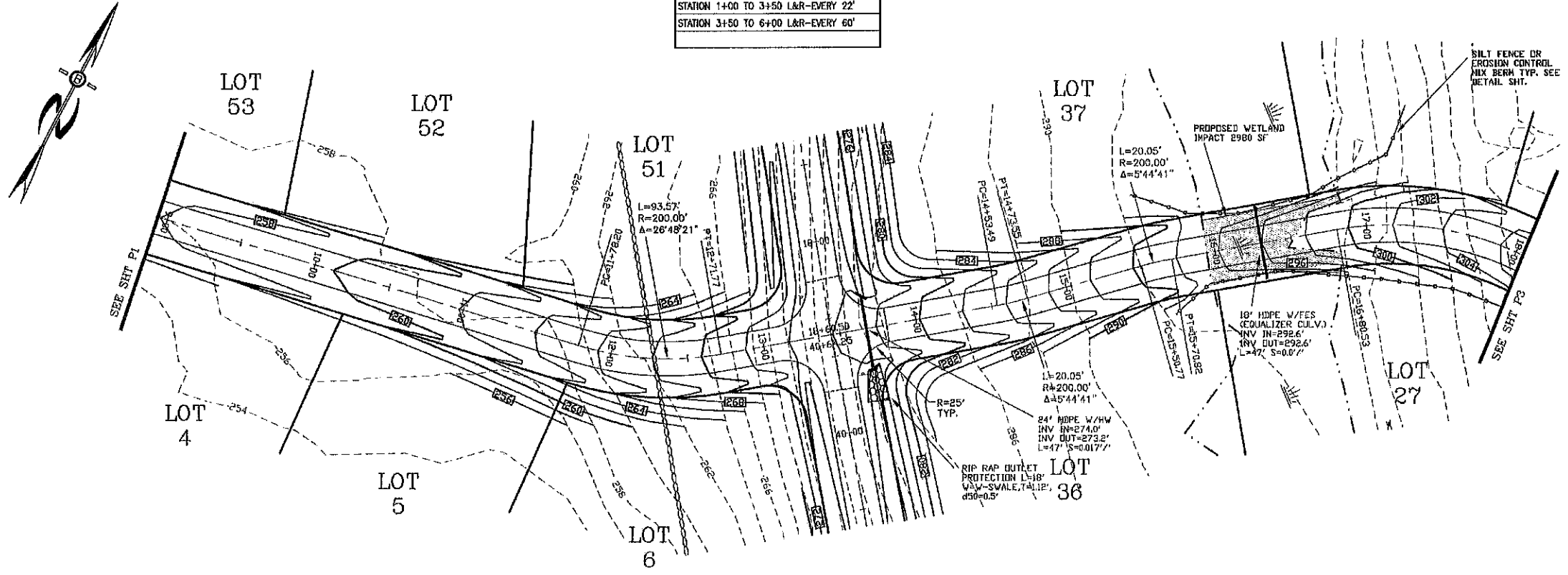
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 19 OF 31

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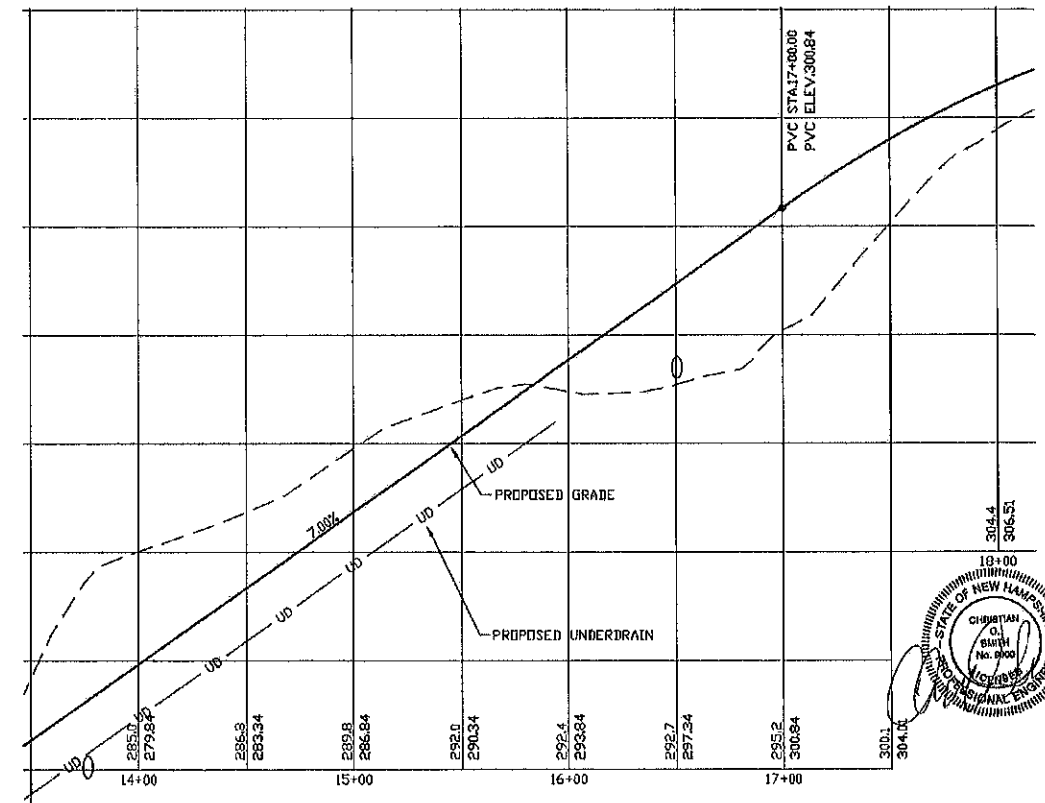
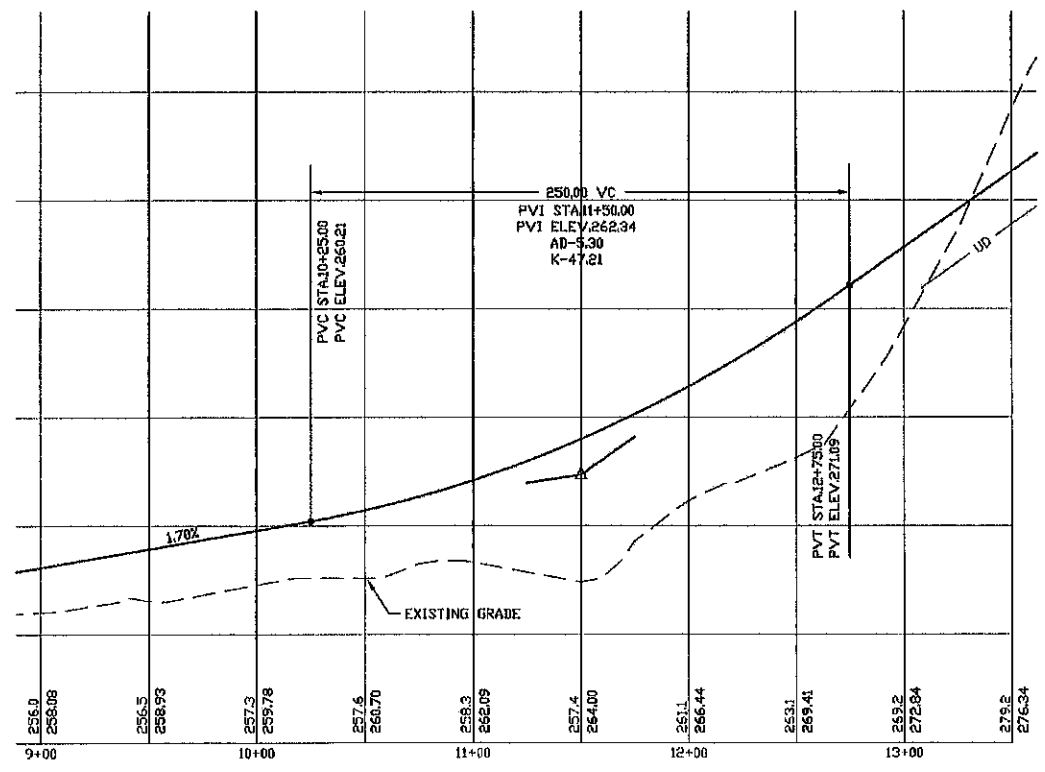
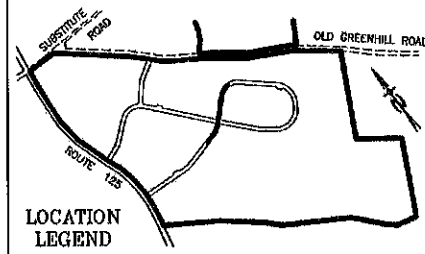
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 1+00 TO 3+50 L&R-EVERY 22'
STATION 3+50 TO 6+00 L&R-EVERY 60'



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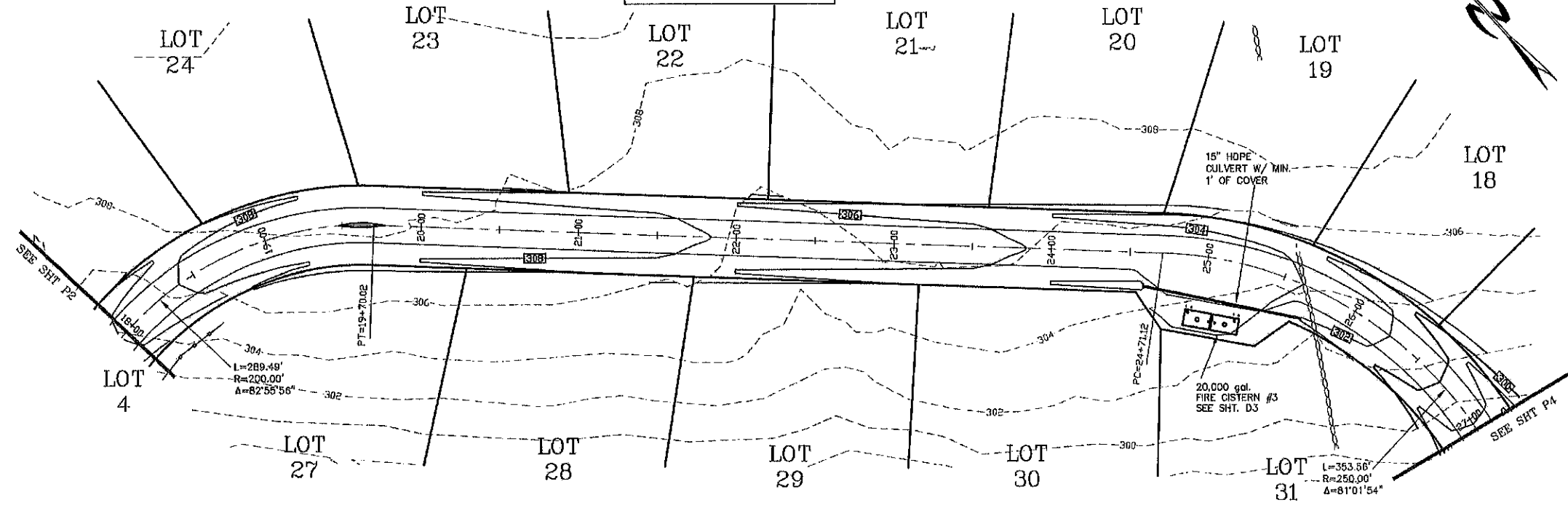
LAND USE OFFICE
 MAY 13 2019
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'



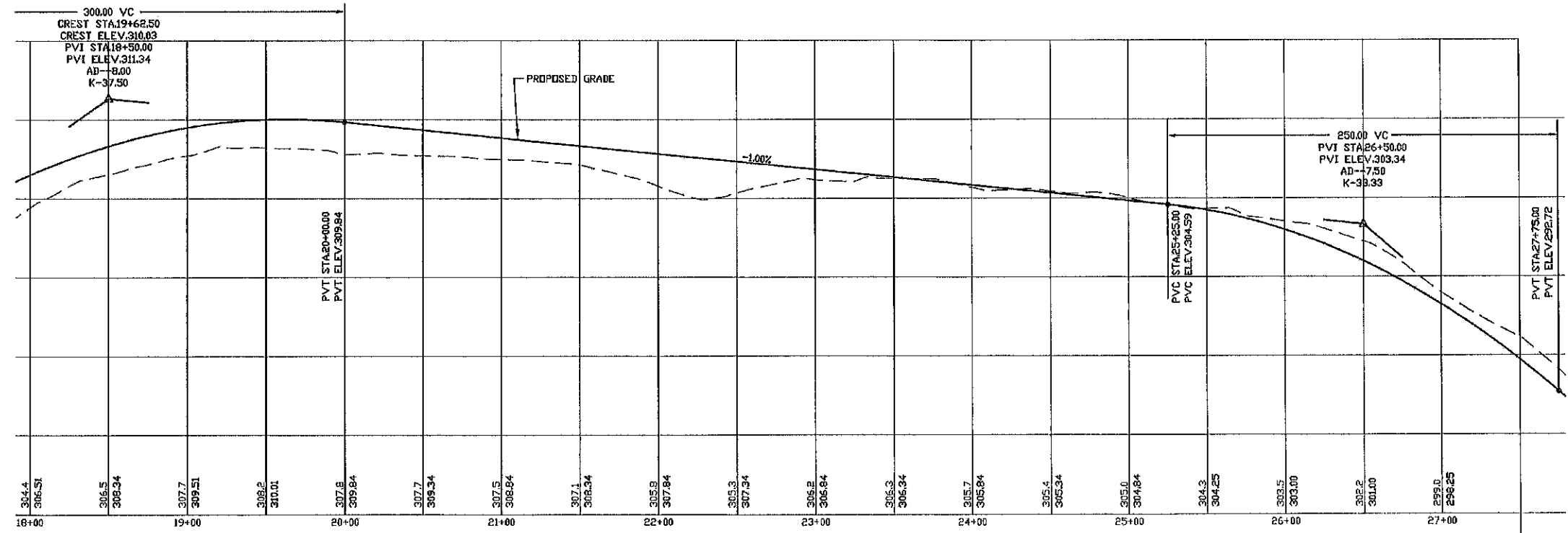
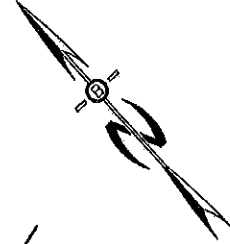
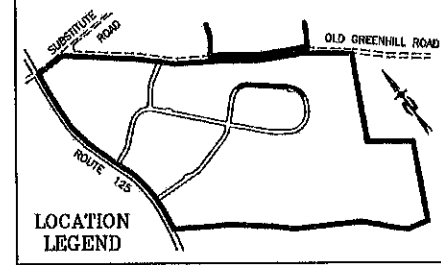
PLAN & PROFILE - P2	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO.: NH-1144	SHEET NO. 20 OF 31

TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 1+00 TO 3+50 L&R-EVERY 22'
 STATION 3+50 TO 6+00 L&R-EVERY 60'

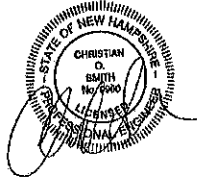


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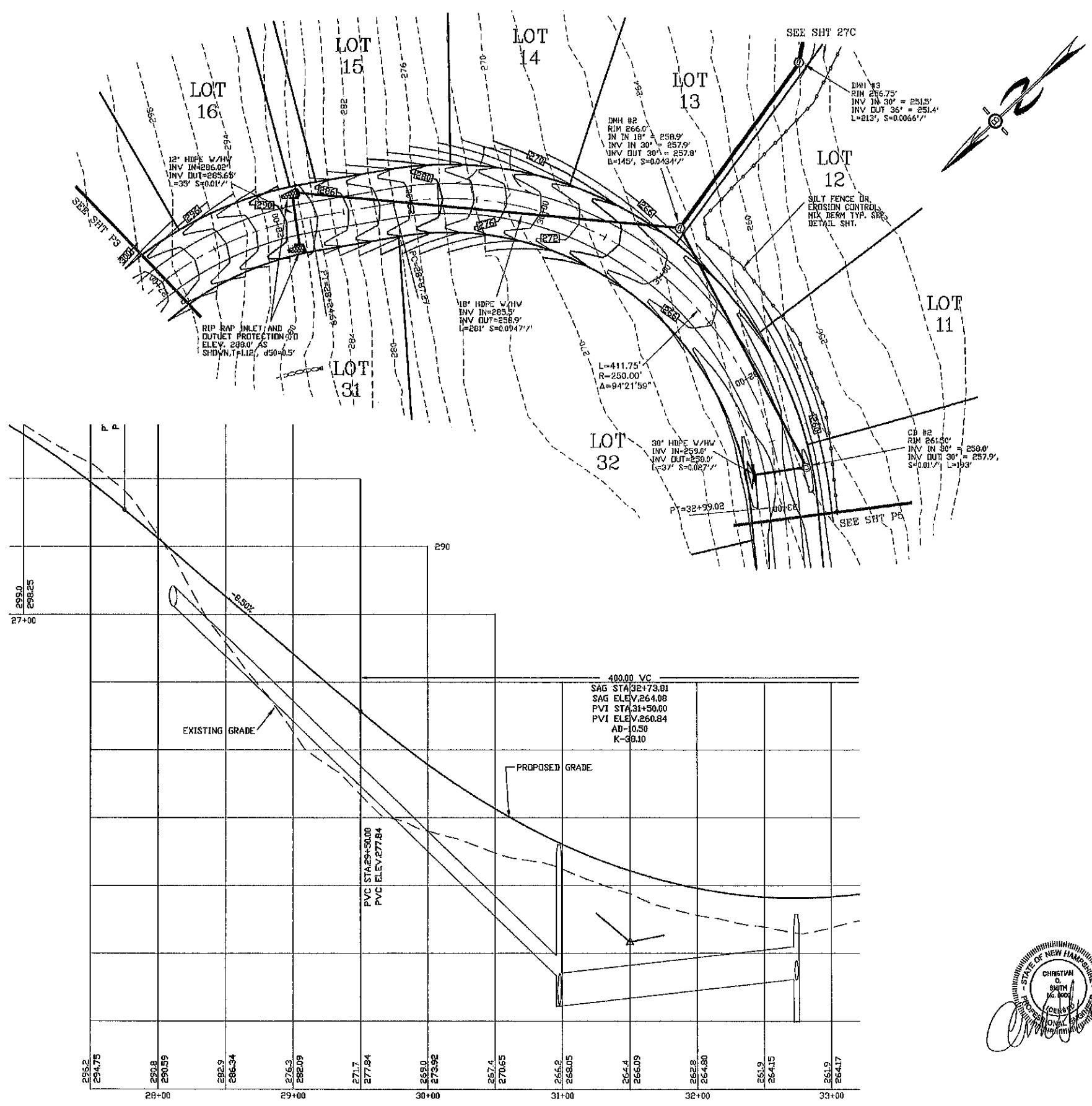


LAND USE OFFICE
 MAY 13 2019
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PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'
 0 20 40 80 160

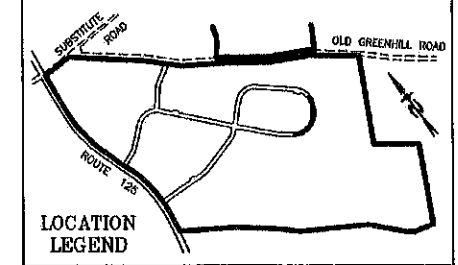
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PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 21 OF 31



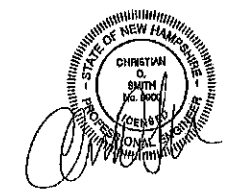
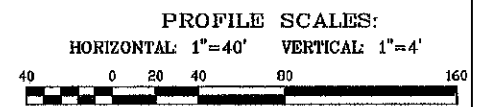
PREPARED FOR:
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BEALS ASSOCIATES PLLC

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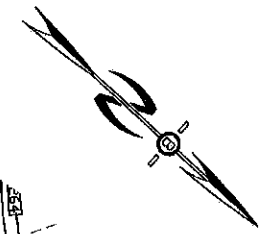
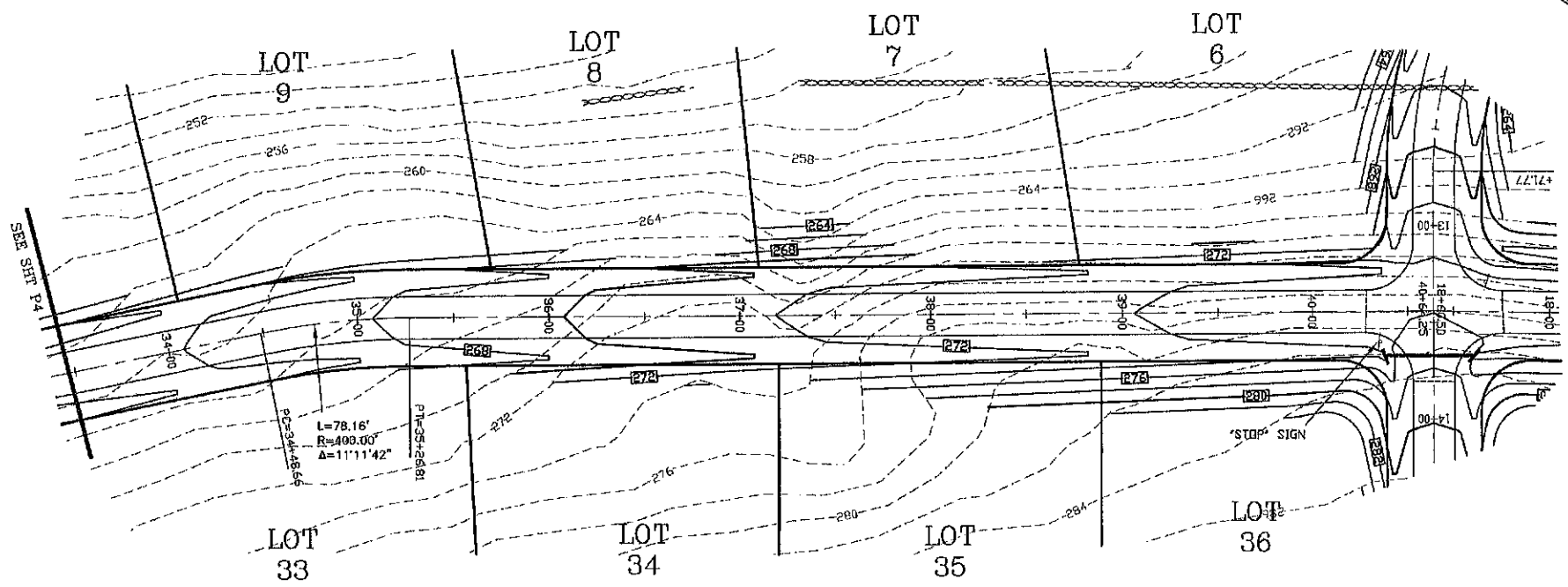
LAND USE OFFICE
 MAY 13 2019
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PLAN & PROFILE - P4

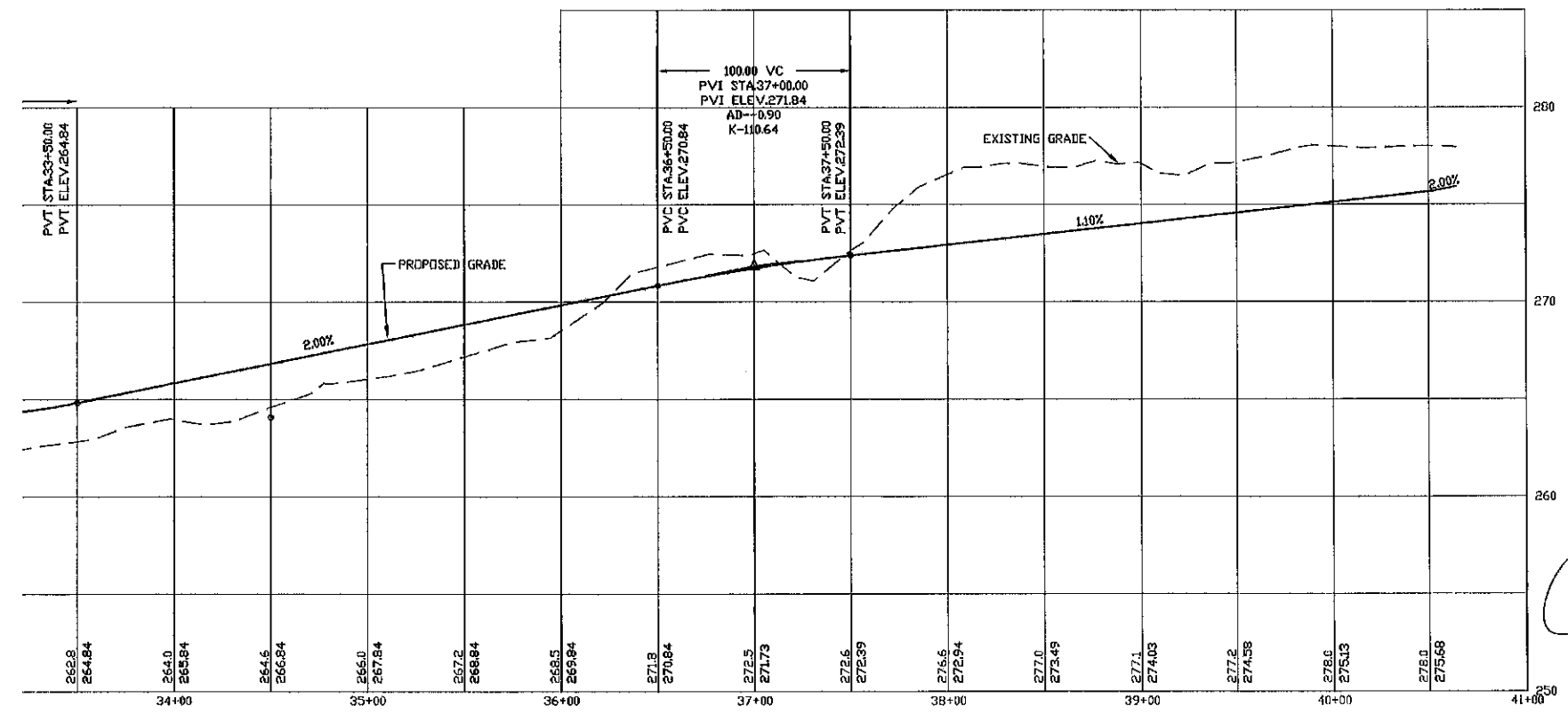
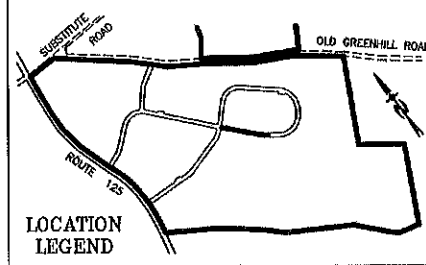
PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 22 OF 31



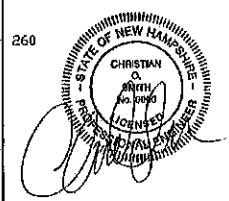
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



LAND USE OFFICE
 MAY 13 2019
RECEIVED

PROF. SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'



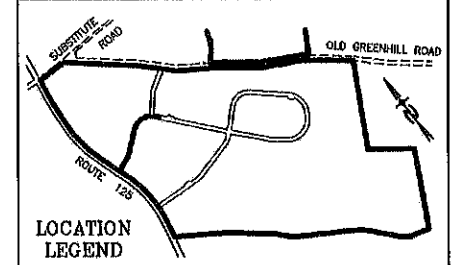
PLAN & PROFILE - P4

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

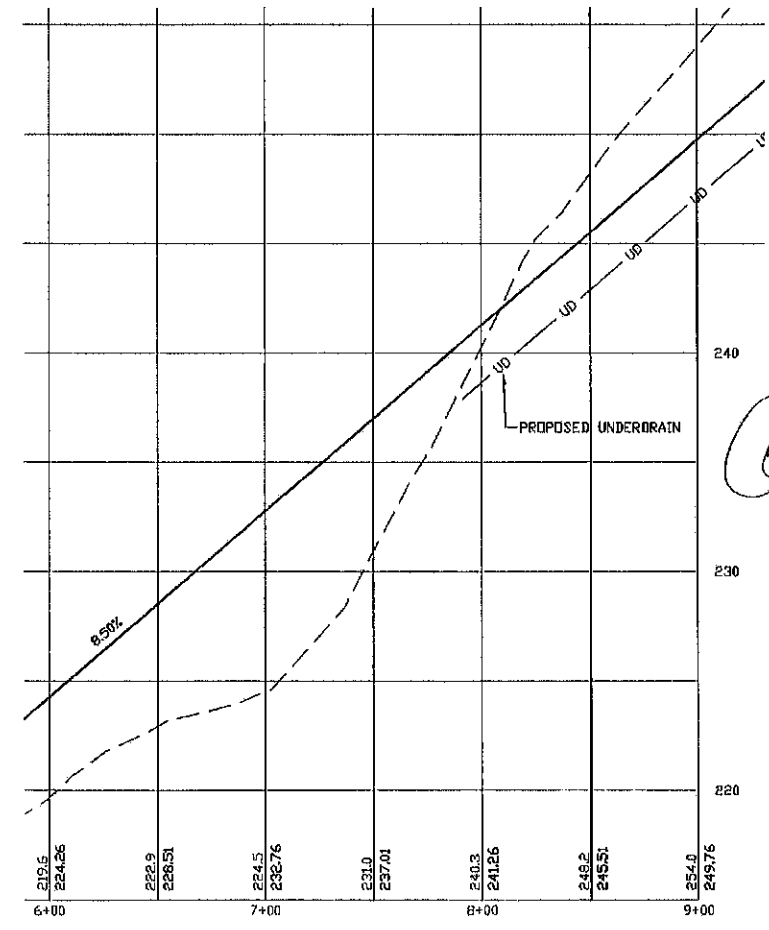
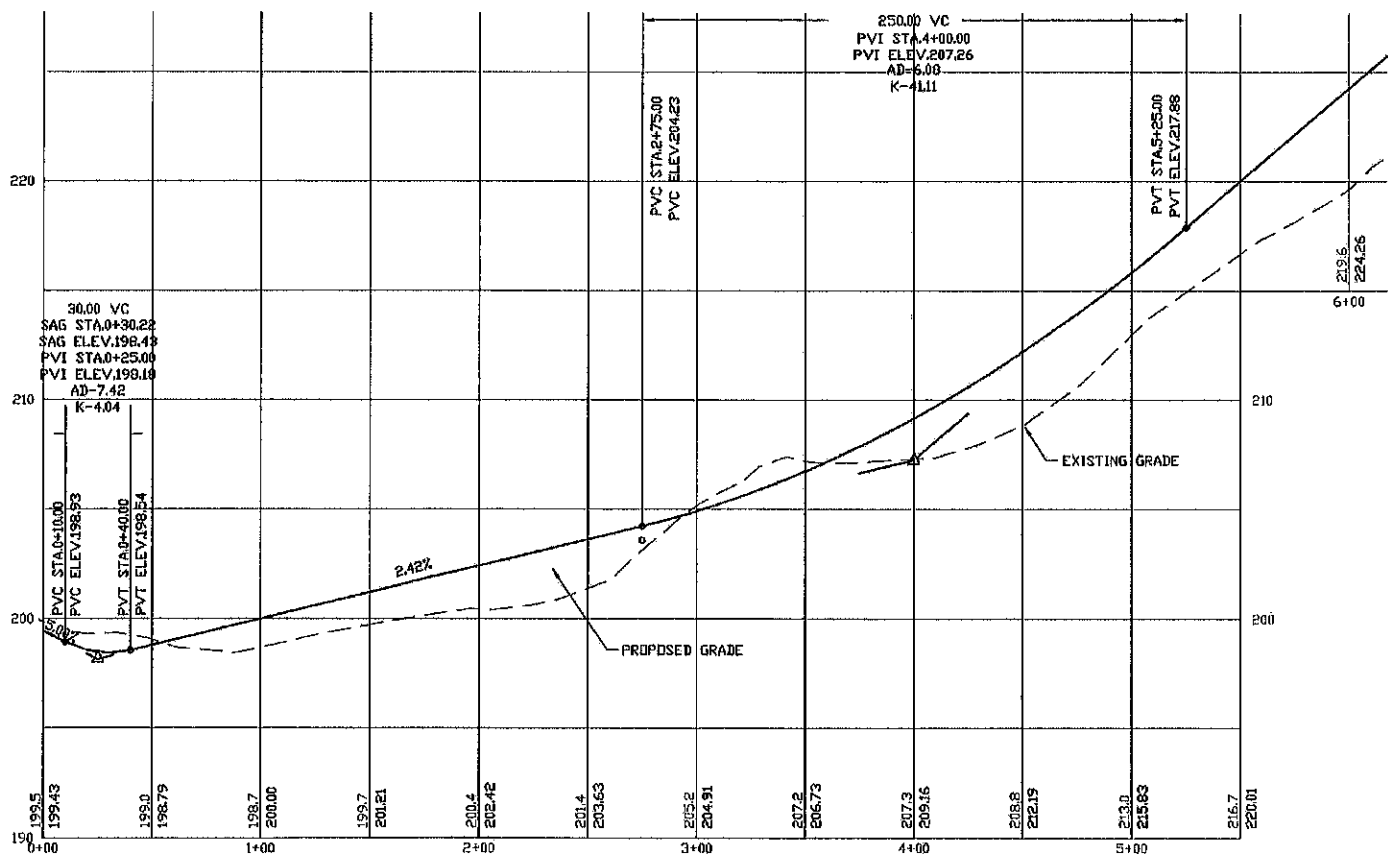
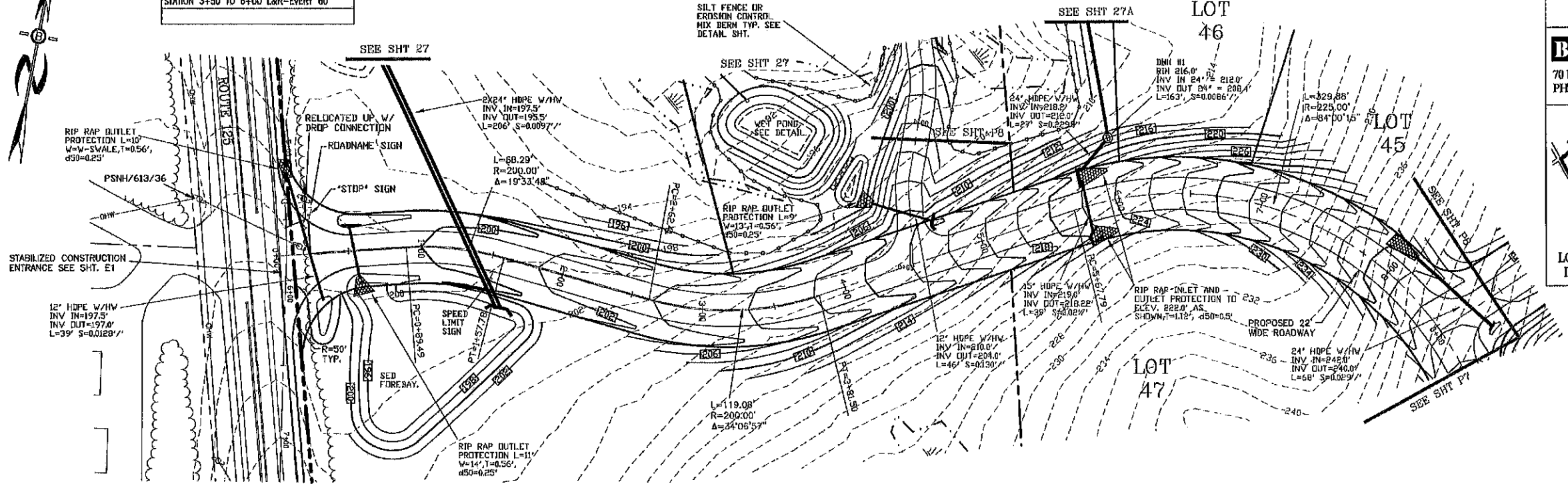
DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 23 OF 31

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

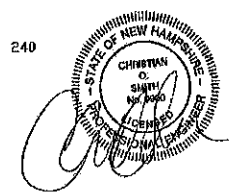
BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



TEMPORARY STONE CHECK DAM LOCATIONS
 STATION 1+00 TO 3+50 L&R-EVERY 22'
 STATION 3+50 TO 6+00 L&R-EVERY 60'



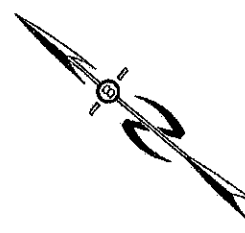
LAND USE OFFICE
 MAY 13 2019
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PROFILE SCALES:
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 0 20 40 80 160

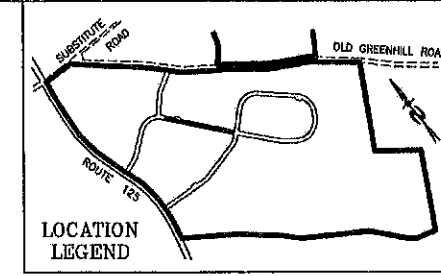
PLAN & PROFILE - P6
 PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MARY 2019 SCALE: 1" = 40'
 PROJ. NO.: NH-1144 SHEET NO. 24 OF 31



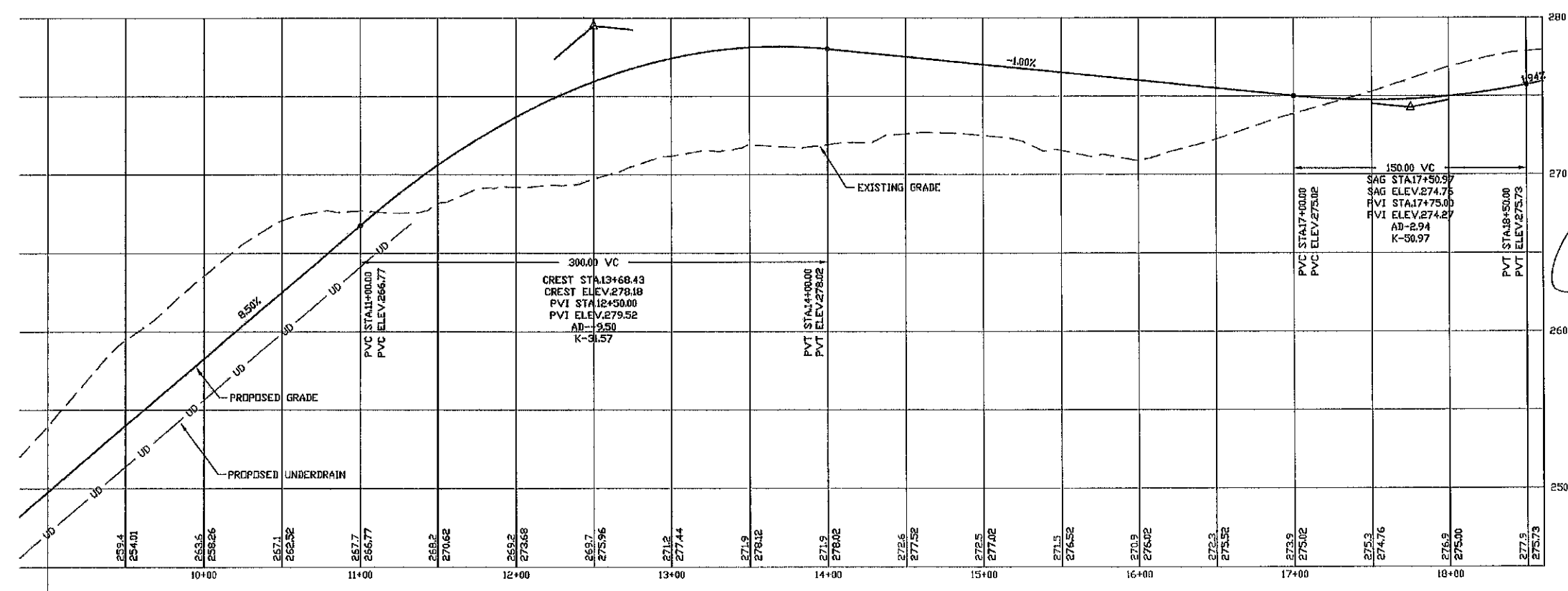
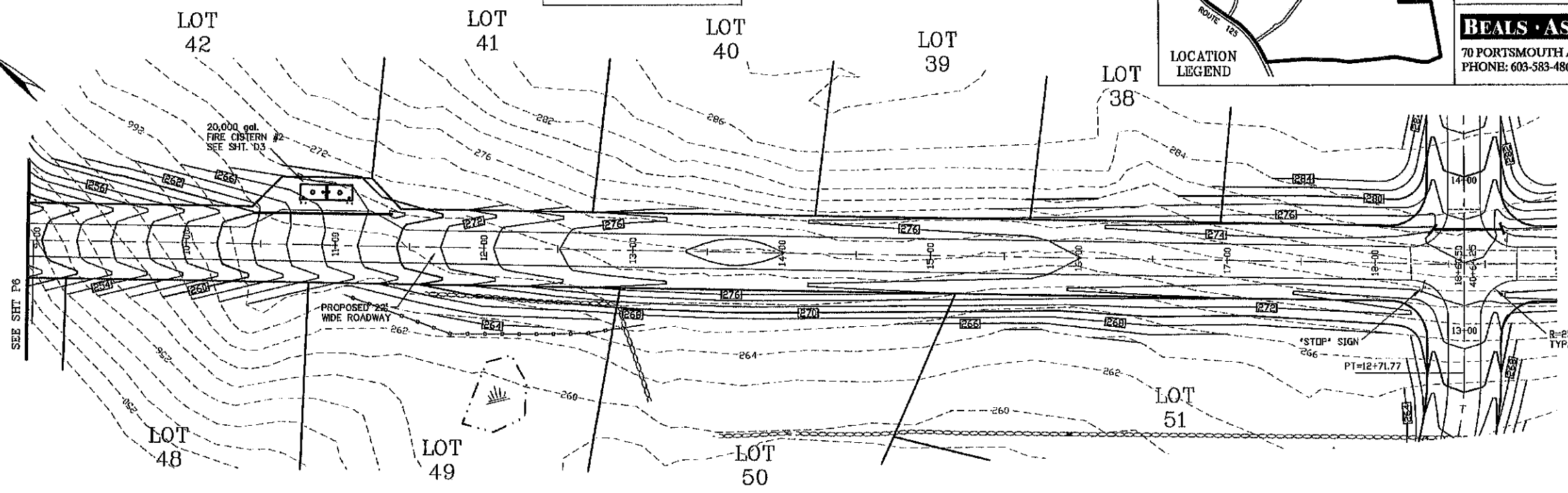
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 1+00 TO 3+50 L&R-EVERY 22'
STATION 3+50 TO 6+00 L&R-EVERY 60'



PREPARED FOR:
ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

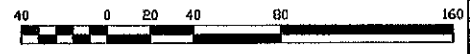
BEALS ASSOCIATES PLLC
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 PHONE: 603-583-4860, FAX: 603-583-4863



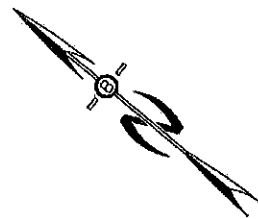
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 MAY 13 2019
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STATE OF NEW HAMPSHIRE
 CHRISTIAN O. SMITH
 No. 6000
 LICENSED PROFESSIONAL ENGINEER

PROFILE SCALES:
 HORIZONTAL: 1"=40' VERTICAL: 1"=4'

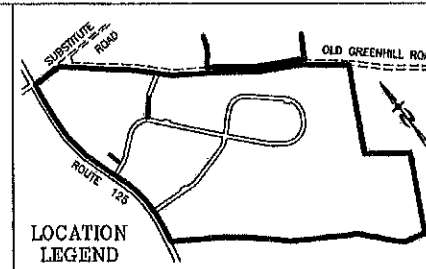


PLAN & PROFILE - P7	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 25 OF 31



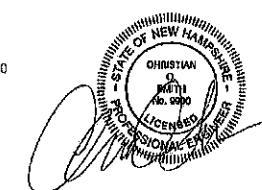
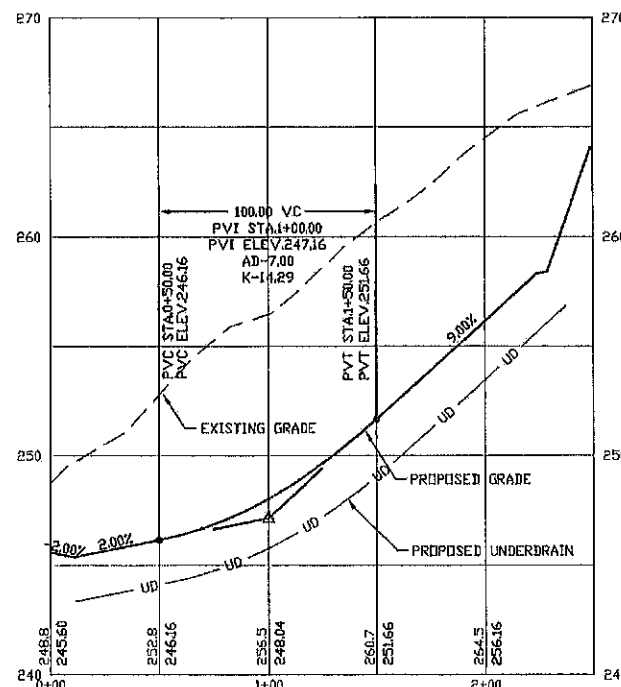
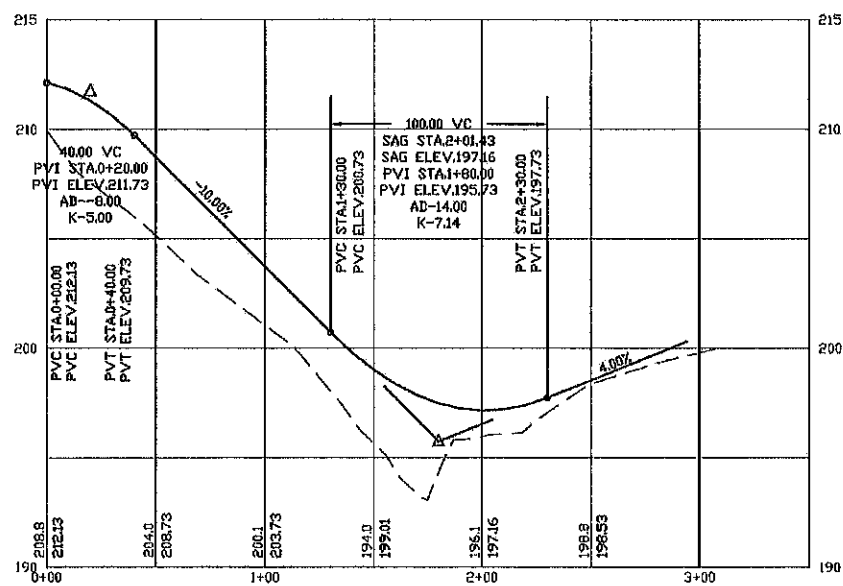
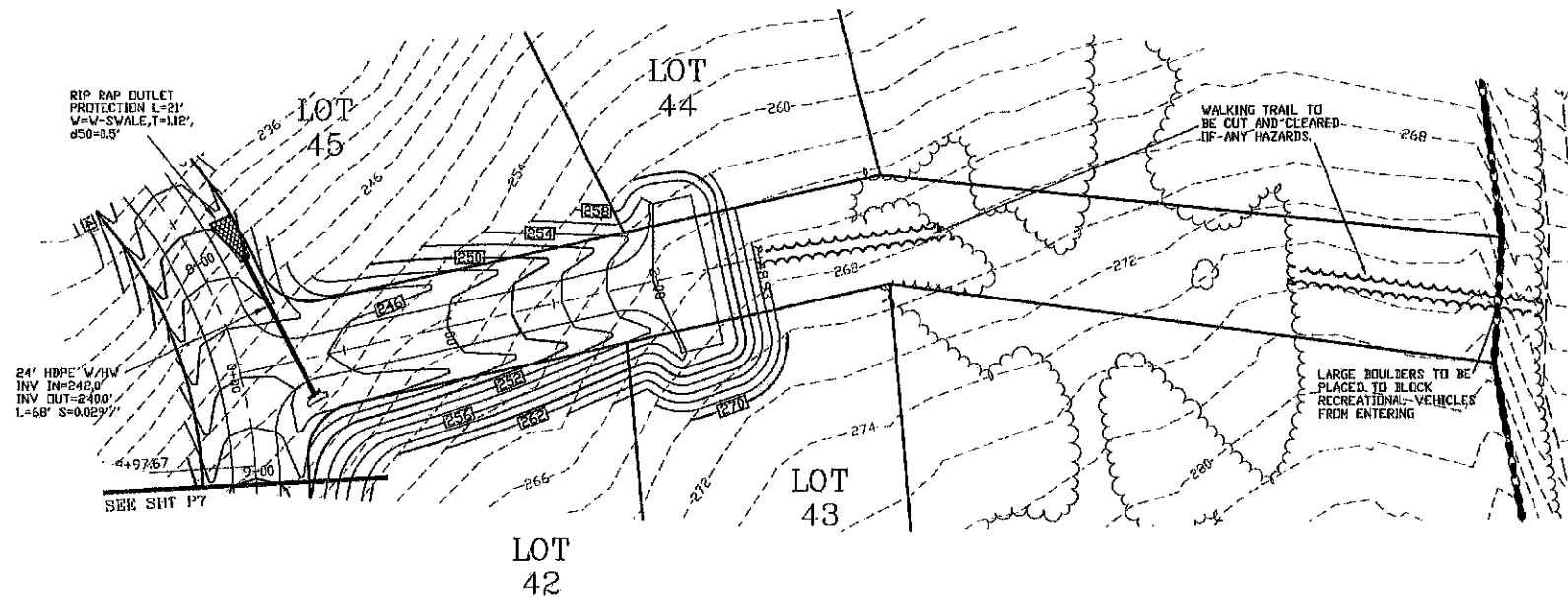
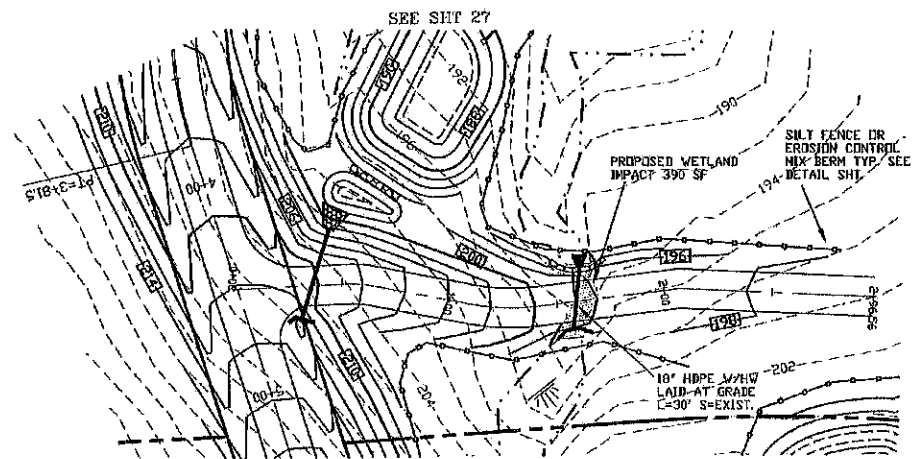
TEMPORARY STONE CHECK DAM LOCATIONS

STATION 1+00 TO 3+50 L&R-EVERY 22'
STATION 3+50 TO 6+00 L&R-EVERY 60'

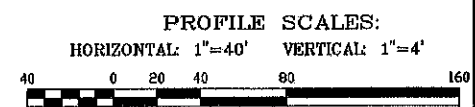


PREPARED FOR:
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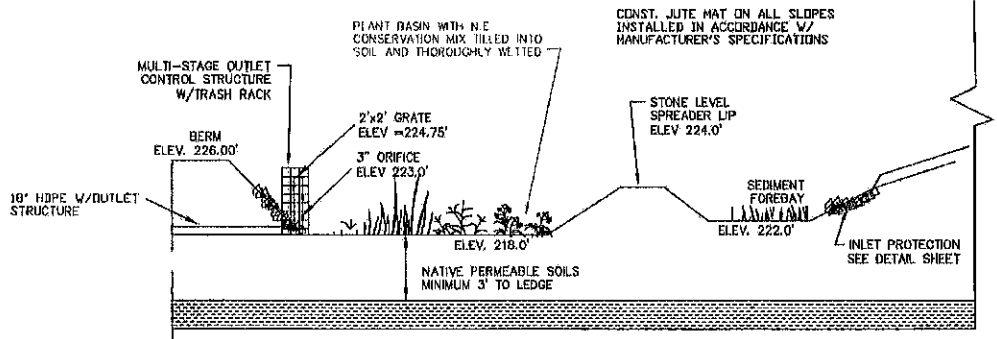
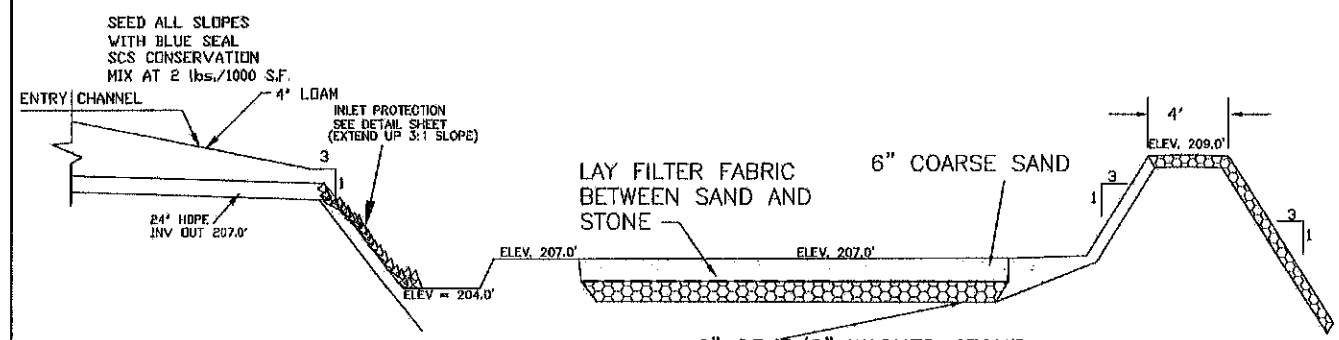
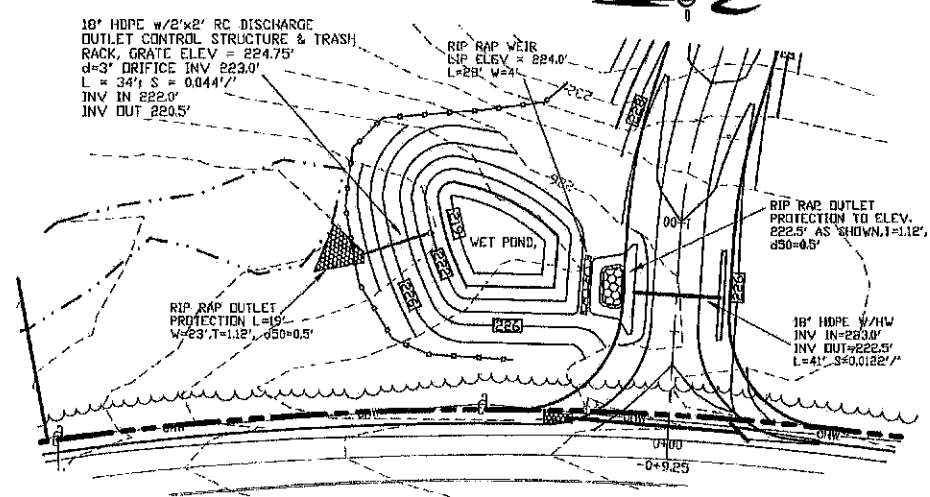
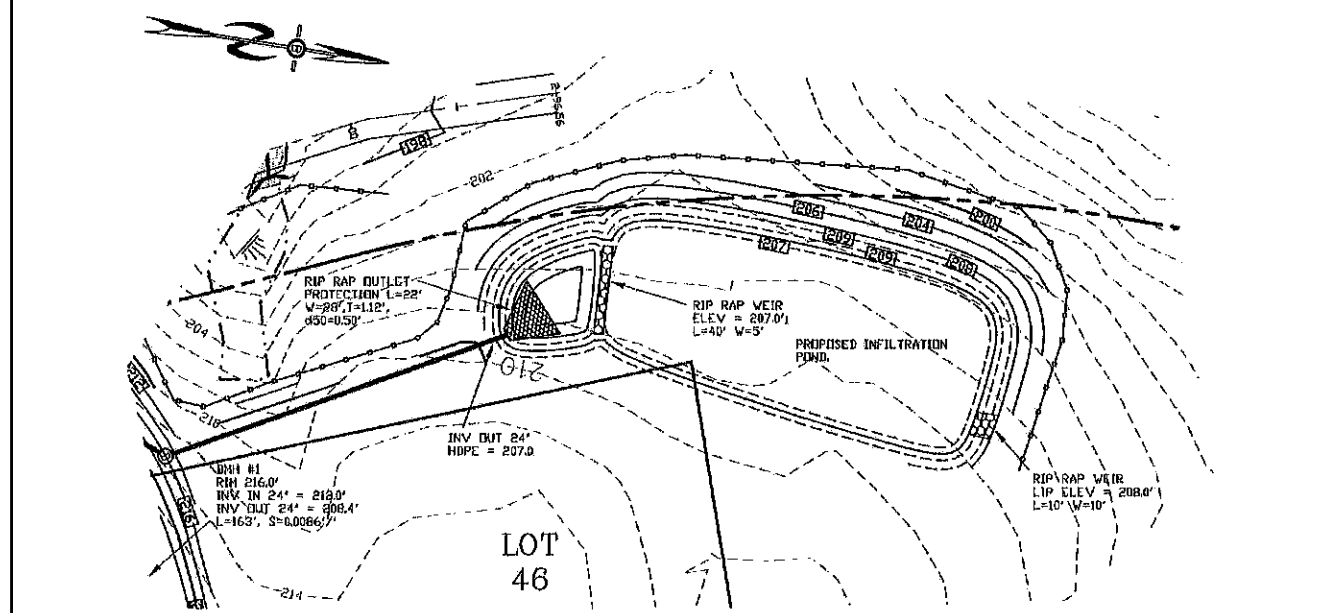
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MAY 18 2019
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PLAN & PROFILE - P8	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 26 OF 31

PREPARED FOR:
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CROSS SECTION OF INFILTRATION BASIN

WET POND BASIN PROFILE
NOT TO SCALE

INFILTRATION BASIN NOTES:
 DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
 AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 DO NOT PLACE INFILTRATION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

Construction Sequence

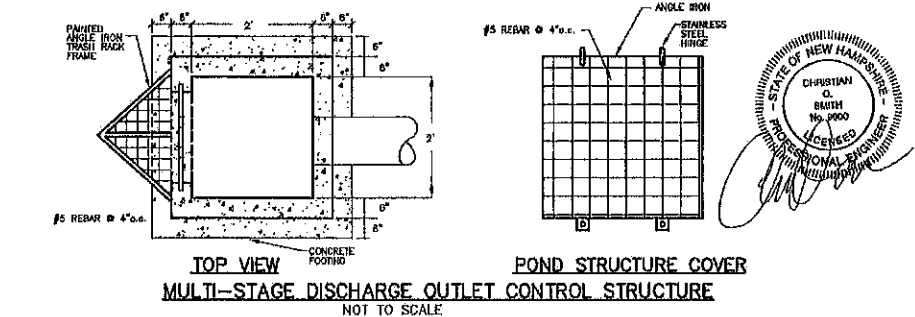
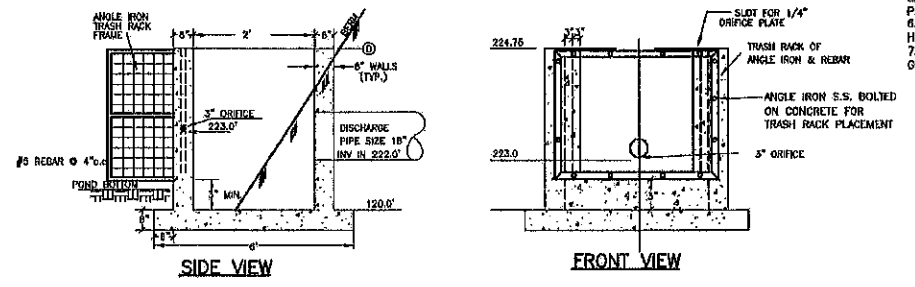
1. Protect infiltration basin area from compaction prior to installation.
2. If possible, install infiltration basin during later phases of site construction to prevent sedimentation and/or damage from construction activity. After installation, protect sediment-laden water from entering inlets and pipes.
3. Install and maintain proper Erosion and Sediment Control Measures during construction.
4. If necessary, excavate infiltration basin bottom to an uncompacted subgrade free from rocks and debris. Do NOT compact subgrade.
5. Install Outlet Control Structures.
6. Seed and stabilize topsoil. (Vegetate if appropriate with native plantings.)
7. Do not remove Inlet Protection or other Erosion and Sediment Control measures until site is fully stabilized.
8. Any sediment that enters inlets during construction is to be removed within 24 hours.

Maintenance and Inspection

- Catch Basins and inlets (upgradient of infiltration basin) should be inspected and cleaned on an annual basis.
- The vegetation along the surface of the infiltration basin should be maintained in good condition, and any bare spots immediately revegetated.
- Vehicles should not be parked or driven on an Infiltration Basin, and care should be taken to avoid excessive compaction by mowers.
- Inspect the completed basin and make sure that runoff drains down within 72 hours.
- Also inspect for accumulation of sediment, damage to outlet control structures, erosion control measures, signs of water contamination/spills, and slope stability in the berms.
- Mosquitoes should not be a problem if the water drains in 72 hours. Mosquitoes require a considerably long breeding period with relatively static water levels.
- Mow only as appropriate for vegetative cover species.
- Remove sediment from basin accumulations. Restore original cross section and infiltration rate. Properly dispose of sediment.

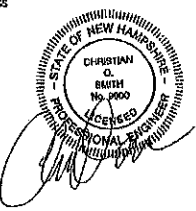
PLANTING NOTES:
 WETLAND PLANTINGS SHOULD INCLUDE:
 1. GROUND COVER (SEED, LOUPOUSE, BLUEBERRY, ETC.)
 2. LTNV GROWING SAROUS (RED BERRY DOGWOOD, WINTERBERRY OR SIMILAR) PLANTED NO CLOSER THAN 10' IN CENTER.

- NOTES**
1. REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZ. AND VERT. PLACED #4 REBAR @ 12" O.C.
 2. CONCRETE BOX TO BE CONSTRUCTED OR PRE-CAST OF EQUAL DIMENSIONS & REINFORCING.
 3. CONCRETE SLAB TO BE CONSTRUCTED ALONG W/ BASE. FOR PRE-CAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 4. SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WITH MORTAR BY CONTRACTOR.
 5. ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
 6. TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
 7. STRUCTURE TO BE PAINTED W/ AN EXTERIOR FOREST GREEN PAINT OR SIMILAR AND SCREENED W/ SHRUBS.



TOP VIEW
POND STRUCTURE COVER
MULTI-STAGE DISCHARGE OUTLET CONTROL STRUCTURE
 NOT TO SCALE

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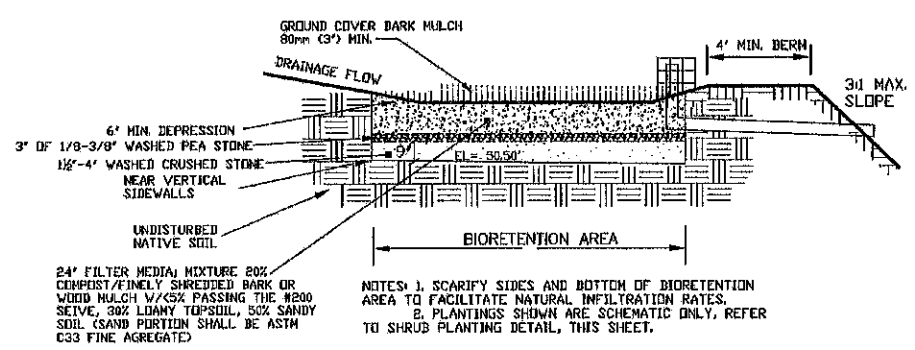
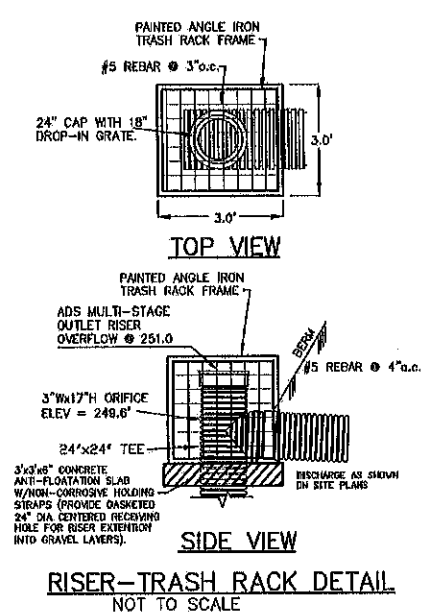
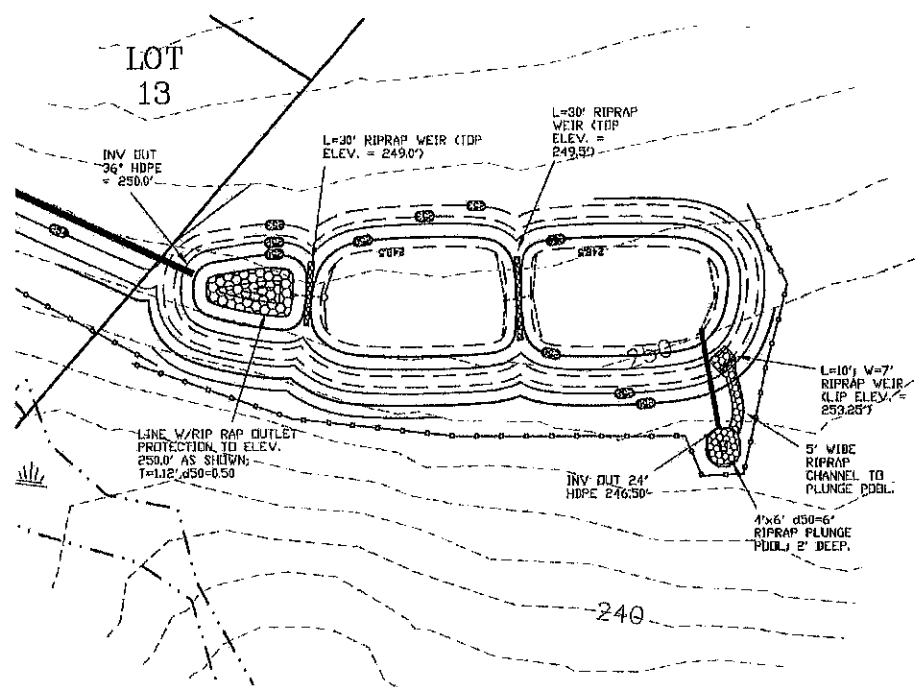
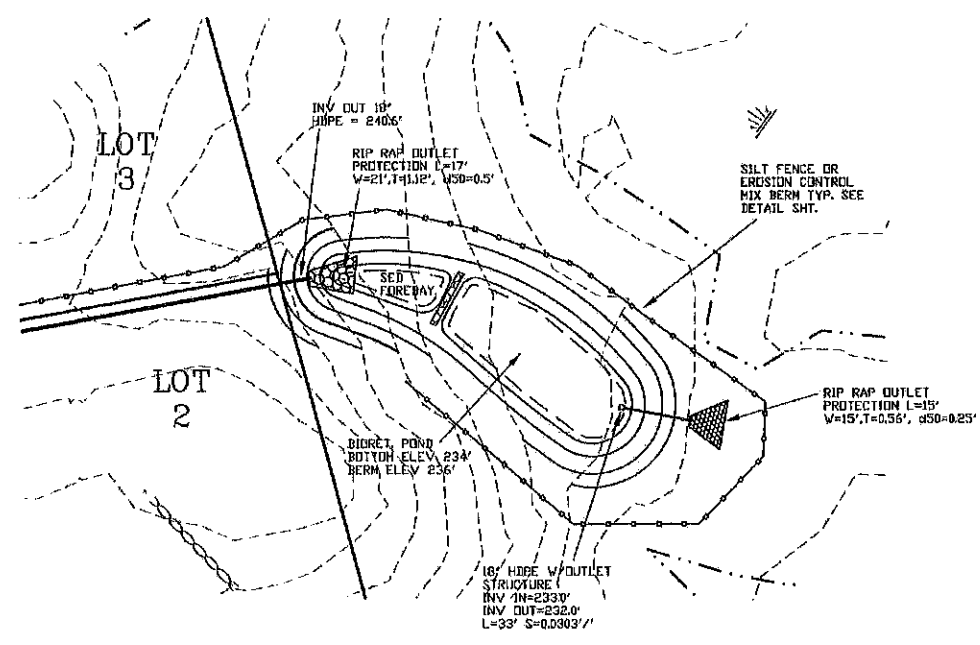
DRAINAGE BASIN PLAN

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019 SCALE: 1" = 40'
 PROJ. NO: NH-1144 SHEET NO. 27A OF 31

PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC
 70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863



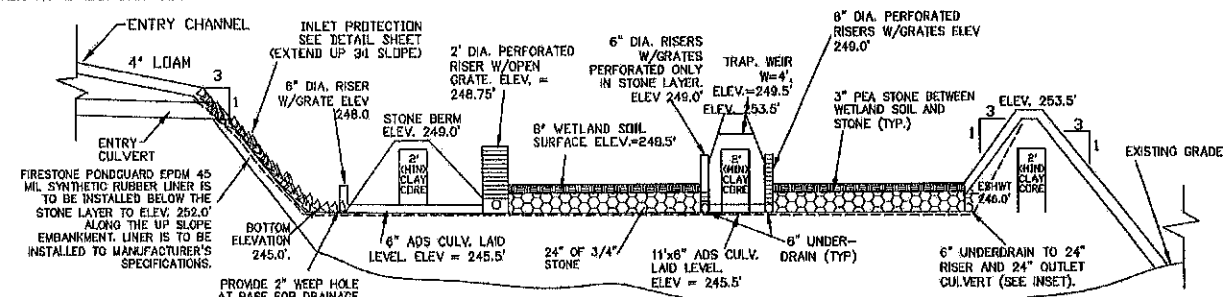
BIORETENTION POND PROFILE DETAIL
 NOT TO SCALE

NOTES: 1. SCARIFY SIDES AND BOTTOM OF BIORETENTION AREA TO FACILITATE NATURAL INFILTRATION RATES.
 2. PLANTINGS SHOWN ARE SCHEMATIC ONLY, REFER TO SHRUB PLANTING DETAIL, THIS SHEET.

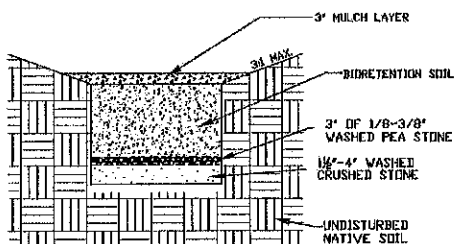
BIORETENTION POND PROFILE DETAIL
 NOT TO SCALE

SEED ALL SLOPES WITH BLUE SEAL SCS CONSERVATION MIX AT 2 lbs./1000 SF.

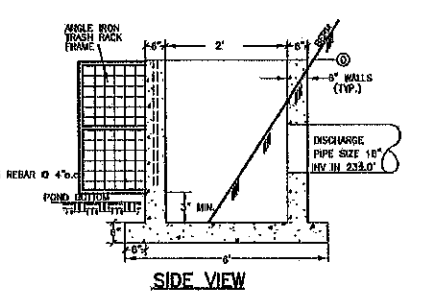
NOTE: BAYS TO BE SEEDED WITH N.E. CONSERVATION MIX.



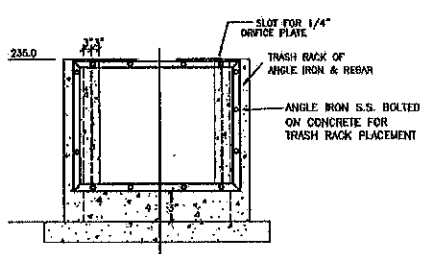
SECTION OF GRAVEL WETLAND
 NOT TO SCALE



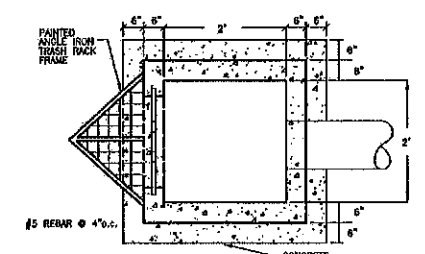
BIORETENTION SECTION
 NOT TO SCALE



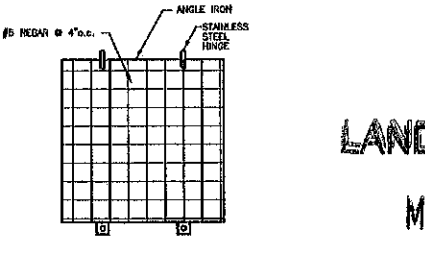
SIDE VIEW



FRONT VIEW

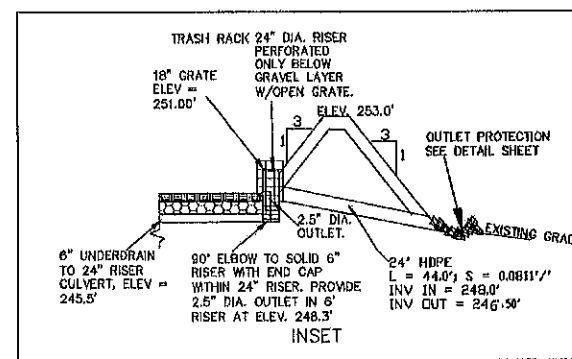


TOP VIEW
MULTI-STAGE DISCHARGE OUTLET CONTROL STRUCTURE
 NOT TO SCALE

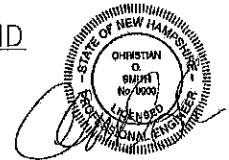


POND STRUCTURE COVER

LAND USE OFFICE
 MAY 13 2019
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INSET



DRAINAGE BASIN PLAN	
PLAN FOR: RESIDENTIAL DEVELOPMENT RT. 125 / OLD GREEN HILL RD. BARRINGTON, NH	
DATE: MAY 2019	SCALE: 1" = 40'
PROJ. NO: NH-1144	SHEET NO. 27B OF 31

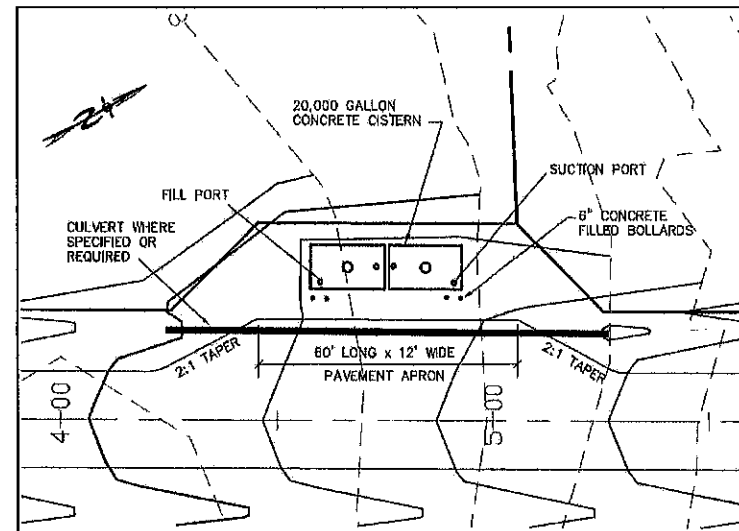
PREPARED FOR:
 ROUTE 125 DEVELOPMENT, LLC
 JOSEPH FALZONE
 7B EMERY LANE
 STRATHAM, N.H. 03885

BEALS ASSOCIATES PLLC

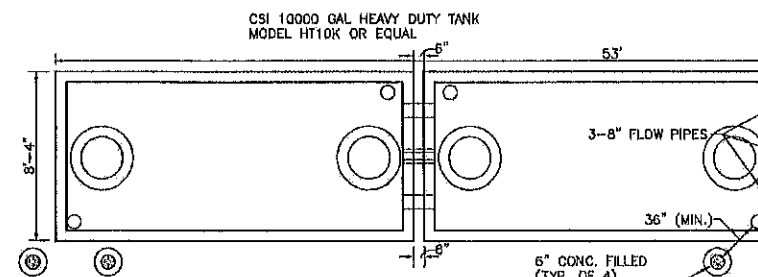
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
 PHONE: 603-583-4860, FAX: 603-583-4863

CISTERN SPECIFICATIONS

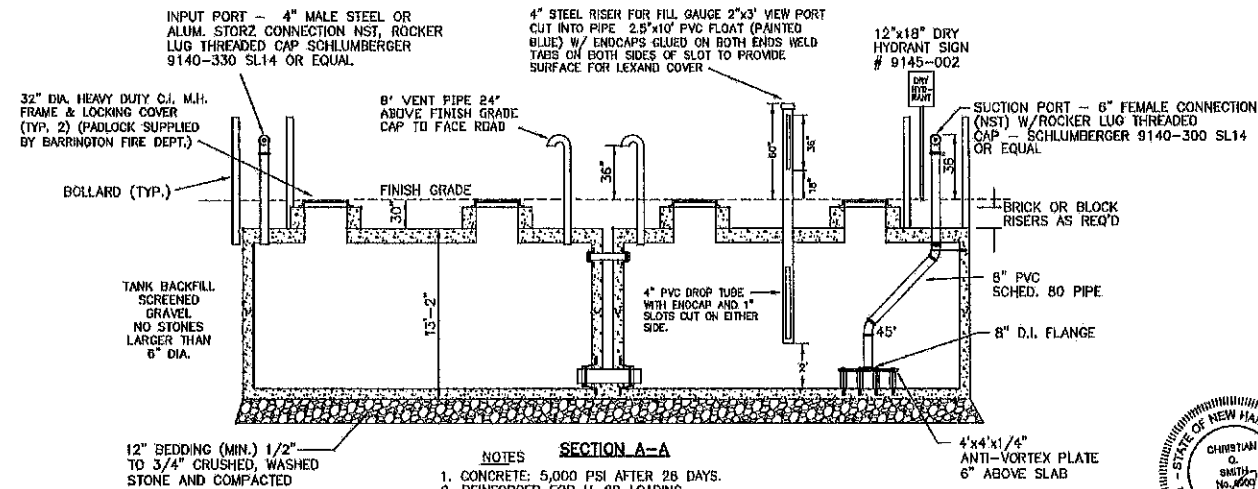
1. THE CISTERN SHALL BE DESIGNED TO BE TROUBLE FREE, AND IT SHALL BE DESIGNED TO LAST 50 YEARS.
2. THE MINIMUM CAPACITY SHALL BE 20,000 GALLONS. DEPENDING ON THE DEVELOPMENT LAYOUT/CONFIGURATION, ADDITIONAL GALLON REQUIREMENTS MAY BE IMPOSED AT THE DISCRETION OF THE FIRE CHIEF. ALL EXCEPTIONS, ADDITIONS, OR DELETIONS WILL BE IN WRITING.
3. THE SUCTION CAPACITY SHALL BE CAPABLE OF DELIVERING 1,000 GALLONS PER MINUTE (GPM) FOR THREE-QUARTERS OF THE CISTERN CAPACITY.
4. THE ENTIRE CISTERN AND APPURTENANCES SHALL BE RATED FOR HS-20 HIGHWAY LOADING.
5. DRAWINGS OF THE DESIGN ARE FOR ESTIMATING GENERAL REQUIREMENT AND DESIGN PURPOSES ONLY AND ARE NOT INTENDED FOR USE AS DESIGN.
6. EACH CISTERN SHALL BE DESIGNED, SITED TO THE PARTICULAR LOCATION, STAMPED BY A REGISTERED ENGINEER, AND APPROVED BY THE FIRE CHIEF.
7. ALL SUCTION AND FILL PIPING SHALL BE AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) SCHEDULE 40 STEEL. ALL VENT PIPING SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LOCATED WITHIN THE TANK SHALL BE ASTM SCHEDULE 40 STEEL WITH WELDED JOINTS. ALL PIPING LEADING FROM THE TANK TO THE HYDRANT SHALL BE ASTM SCHEDULE 40 STEEL.
8. THE FINAL SUCTION CONNECTION SHALL BE FIVE INCH PUMPER NOZZLE WITH A CAP. THE SUCTION PIPE SHALL BE BRACED TO ENSURE DURABILITY DURING PUMPING OPERATIONS. THE FIRE CHIEF SHALL APPROVE BRACE CONFIGURATION AND INSTALLATION. THE SUCTION PIPE CONNECTION SHALL BE TWENTY-FOUR INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
9. THE FILLER CONNECTION SHALL BE 4" MALE STEEL STORZ FITTING. THIS FITTING SHALL BE 24" ABOVE FINISH GRADE AND FACE THE ROAD. A THIRTY-TWO INCH DIAMETER MANHOLE WITH COVER WILL BE LOCATED ON TOP OF THE CISTERN. THE CONFIGURATION OF THIS MANHOLE SHALL ALLOW THE UNIT TO BE SECURED WITH TWO PADLOCKS AND SHALL BE APPROVED BY THE FIRE CHIEF. THE PADLOCKS WILL BE SUPPLIED BY THE FIRE DEPARTMENT.
10. THE DISTANCE FROM THE BOTTOM OF THE SUCTION PIPE TO THE PUMPER CONNECTION SHALL NOT EXCEED FOURTEEN FEET VERTICAL.
11. ALL HORIZONTAL SUCTION PIPING SHALL SLOPE SLIGHTLY UPHILL TOWARD THE PUMPER CONNECTION.
12. BEDDING FOR THE CISTERN SHALL CONSIST OF A MINIMUM OF TWELVE INCHES OF 3/4" TO 1 1/2" WASHED PEA STONE, COMPACTED. NO FILL SHALL BE USED UNDER THE STONE. OVER EXCAVATION SHALL BE FILLED WITH THE SAME STONE BEDDING MATERIAL.
13. ALL BACKFILL MATERIALS SHALL BE SCREENED GRAVEL WITH NO STONES LARGER THAN SIX INCHES AND SHALL BE COMPACTED TO 95 PERCENT OF ITS ORIGINAL VOLUME IN ACCORDANCE WITH ASTM D 1557. 16. THE TOP OF CISTERN SHALL BE INSULATED WITH VERMIN RESISTANT FOAM INSULATION AND TWO FEET OF BACKFILL WITH A MINIMUM WEIGHT OF 120 PCF, COMPACTED. FOAM USED FOR THIS INSTALLATION SHALL BE CLOSED CELL POLYURETHANE FOAM WITH AN INSULATION FACTOR OF R=5 PER INCH. ALL BACKFILL SHALL EXTEND TEN FEET BEYOND THE EDGE OF THE VEHICLE PAD AND THEN HAVE A MAXIMUM OF 3:1 SLOPE, LOAM AND SEEDED.
14. BEFORE ANY BACKFILLING IS DONE THE ENTIRE CISTERN SHALL BE COMPLETED AND INSPECTED BY THE FIRE CHIEF.
15. AFTER BACKFILLING, BOLLARDS OR LARGE STONES SHALL BE PLACED TO PROTECT THE TANK AND APPURTENANCES.
16. THE PITCH OF THE SHOULDER AND VEHICLE PAD FROM THE EDGE OF THE PAVEMENT TO THE PUMPER SUCTION CONNECTION SHALL BE ONE PERCENT TO THREE PERCENT DOWNGRADE.
17. THE SHOULDER AND VEHICLE PAD SHALL BE OF A SUFFICIENT LENGTH TO ALLOW CONVENIENT ACCESS TO THE SUCTION CONNECTION WHEN THE PUMPER IS SET AT 45 DEGREES TO THE ROAD. THE SHOULDER AND VEHICLE PAD SECTION SHALL CONSIST OF 3" BITUMINOUS PAVING, REFER TO SITE PLAN FOR REQUIREMENTS.
18. THE SUCTION FITTING SHALL BE LOCATED BETWEEN 22 AND 24 FEET FROM THE NEAREST RUNNING EDGE OF ROAD PAVEMENT. TWO CONCRETE FILLED STEEL BOLLARDS SHALL BE PLACED IN A MANNER TO PROTECT THE HYDRANT. THE BASE OF THESE BOLLARDS SHALL EXTEND BELOW THE FROST LINE. THE UPPER PORTION OF THE BOLLARDS SHALL EXTEND THIRTY SIX INCHES ABOVE THE LEVEL OF THE VEHICLE PAD WHERE VEHICLE WHEELS WILL BE LOCATED WHEN THE CISTERN IS IN USE.
19. ALL CONSTRUCTION, BACKFILL, AND GRADING MATERIALS SHALL BE IN ACCORDANCE WITH PROPER CONSTRUCTION PRACTICES AND SHALL BE ACCEPTABLE TO THE FIRE CHIEF.
20. THE FIRE CHIEF (OR REPRESENTATIVE) AND THE ENGINEER'S INSPECTOR WILL BE NOTIFIED BY THE CONTRACTOR TO OBSERVE THE FOLLOWING POINTS OF INSTALLATION:
 - A. EXCAVATION COMPLETE.
 - B. CRUSHED STONE INSTALLED AND COMPACTED
 - C. BACKFILLING COMPLETE PRIOR TO PLACEMENT OF INSULATION.
 - D. PLACEMENT OF INSULATION.
 - E. START AND FINISH OF LEAKAGE TEST.
 - F. PIPING MANWAYS AND BOLLARDS IN PLACE AND PAINTED.
 - G. ALL BACKFILLING LOAM, SEED, ETC. COMPLETE WITH TURNOUT GRAVEL IN PLACE AND GRADED.
 - H. PAVEMENT COMPLETE, AND ALL OTHER WORK 100% COMPLETE.
21. THE FIRE CHIEF SHALL BE NOTIFIED OF THE DATE THAT SITE WORK IS TO BEGIN.
22. ANY EXCEPTION, ADDITIONS, OR DELETIONS ARE DATED AND NOTED BELOW.
23. CONCRETE MUST HAVE A MINIMUM OF 150 PCF.
24. STONE AND GRAVEL BACKFILL MUST HAVE A MINIMUM OF 120 PCF.



TYPICAL CISTERN PLAN
1"=20'



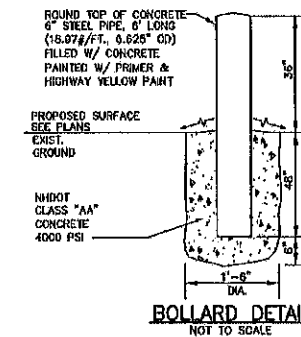
PLAN VIEW



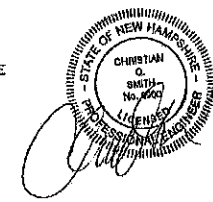
NOTES

1. CONCRETE: 5,000 PSI AFTER 28 DAYS.
2. REINFORCED FOR H-20 LOADING.
3. JOINTS SEALED WATER TIGHT.
4. ALL BELOW GRADE EXTERIOR SURFACES OF THE TANK SHALL BE COATED WITH KOL-TAR'S BLACK SHIELD ASPHALT COATING, OR APPROVED EQUAL.
5. CISTERN INSTALLATION MUST CONFORM WITH ALL LOCAL FIRE DEPARTMENT REQUIREMENTS.

PROPOSED 20,000 GAL. FIRE CISTERN DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



LAND USE OFFICE

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REVISIONS: _____ DATE: _____

CISTERN DETAIL SHEET - D3

PLAN FOR:
 RESIDENTIAL DEVELOPMENT
 RT. 125 / OLD GREEN HILL RD.
 BARRINGTON, NH

DATE: MAY 2019 SCALE: AS NOTED
 PROJ. NO: NH-1144 SHEET NO. 28 OF 31

STONE BERM LEVEL SPREADER

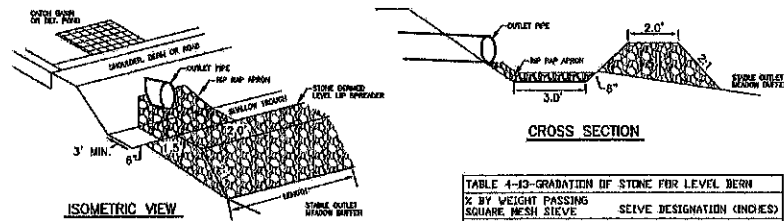
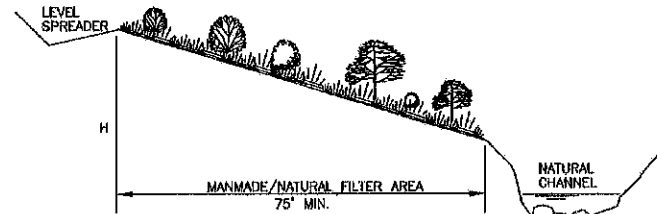


TABLE 4-13-GRADATION OF STONE FOR LEVEL BERM

% BY WEIGHT PASSING SQUARE MESH SIEVE	SEIVE DESIGNATION (INCHES)
100%	12
84%-100%	6
64%-82%	3
48%-55%	1
0%-12%	No. 4

LEVEL SPREADER

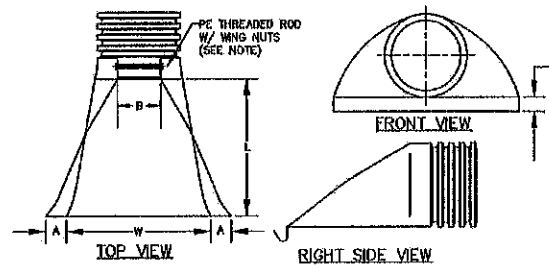
1. CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.



MAINTENANCE

1. FILTER STRIPS SHOULD BE MAINTAINED AS NATURAL AREAS ONCE THE VEGETATION IS ESTABLISHED. THE FILTER STRIP SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO COMPLETE THE ESTABLISHMENT OF THE STRIP SINCE MOST SPECIES TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
2. THE FILTER STRIP SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR RAINSTORM TO DETERMINE IF THE ENTRANCE CONDITIONS ARE STILL UNIFORM AND LEVEL AND TO SEE IF RILLS HAVE FORMED. ANY PROBLEM AREAS SHOULD BE REPAIRED PROMPTLY TO PREVENT FURTHER DETERIORATION.

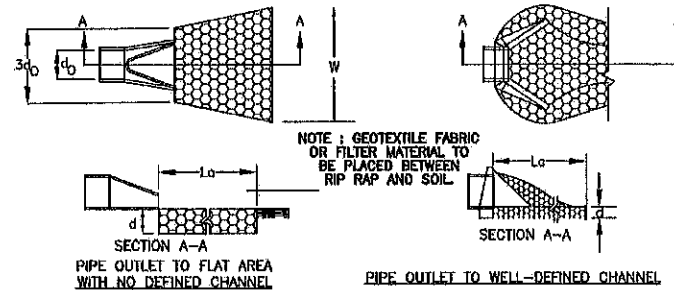
DEVELOPED AREA BUFFER DETAIL



PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.6"	25"	29"
	375 mm	165 mm	254 mm	168 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	35"
	450 mm	190 mm	380 mm	166 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
	750 mm	266 mm		178 mm	1345 mm	1725 mm
3610-NP	36"	10.5"	N/A	7.0"	53"	68"
	900 mm	266 mm		178 mm	1345 mm	1725 mm

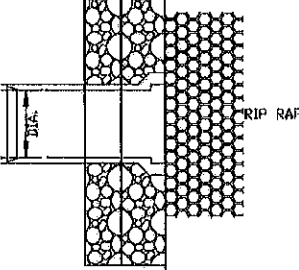
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



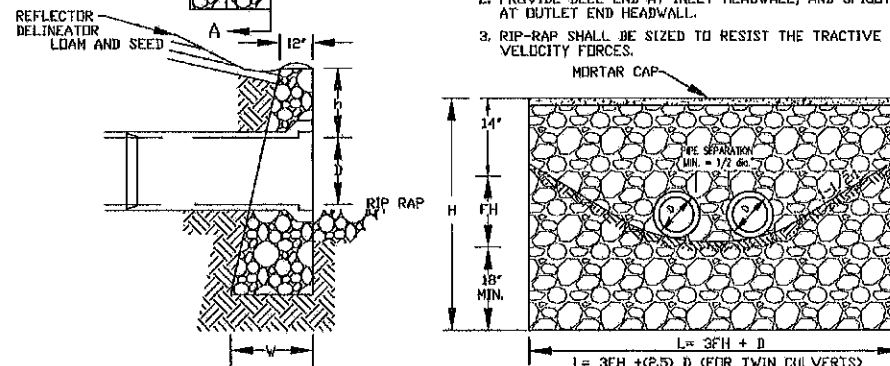
- CONSTRUCTION SPECIFICATIONS**
1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. STONE FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
 6. FLAT ROCKS SHALL NOT USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.
- MAINTENANCE**
1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

PIPE OUTLET PROTECTION

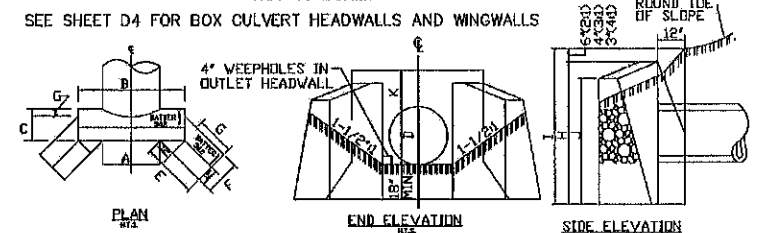


DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
18"	8-0	4-3	1-7	1-6	2-1
18"	7-0	4-6	1-10	1-6	2-2
24"	9-0	5-0	2-4	1-6	3-3
30"	11-0	5-6	2-10	1-6	2-5
36"	13-0	6-0	3-4	1-6	2-6
42"	15-0	6-9	4-1	1-9	2-9
48"	17-9	7-3	4-7	1-9	3-10

- NOTE:
1. ALL DIMENSIONS GIVEN IN FEET AND INCHES EXCEPT PIPE DIAMETER.
 2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
 3. RIP-RAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.



MORTAR RUBBLE, MASONRY HEADWALL DETAIL
NOT TO SCALE

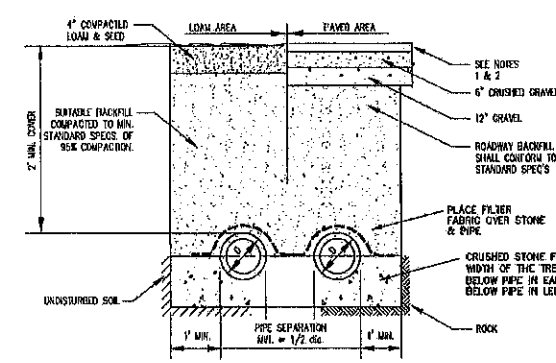


DIMENSIONS SHOWN ARE TO PAVEMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED OUTSIDE PAVEMENT LINES ON SLOPING FACES.

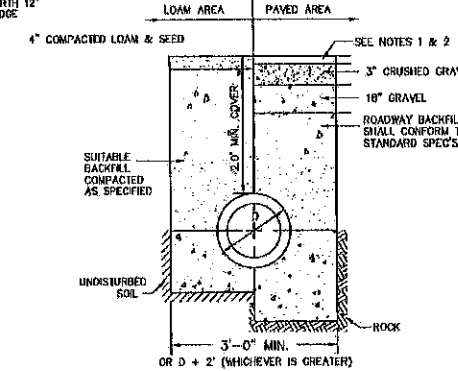
D	A	B	C	E	F	G	H	I	J	K
24"	2-6	5-4	2-3	2-11	1-11	0-6	5-0	4-6	3-10	1-6
30"	3-1	5-11	2-5	3-6	2-9	0-5	5-6	5-0	4-1	1-6
36"	3-8	6-6	2-6	4-1	2-1	0-4	6-0	5-6	4-4	1-6
42"	4-3	7-1	2-9	5-0	2-2	0-3	6-9	6-3	4-10	1-9
48"	4-10	7-8	2-10	5-9	2-9	0-2	7-3	6-3	5-1	1-9

MORTAR RUBBLE, MASONRY HEADWALL W/ 45° WINGWALLS
NOT TO SCALE

TYPICAL DRAINAGE TRENCH DETAIL

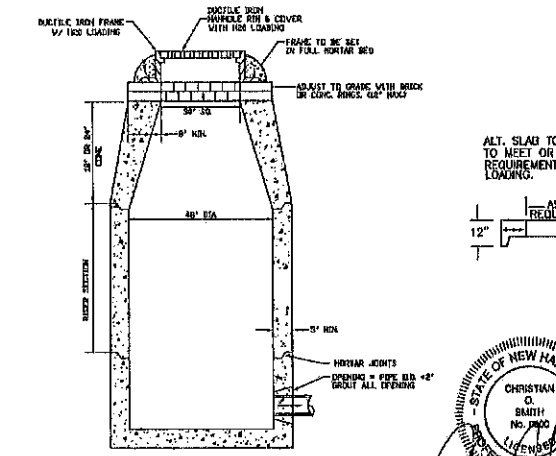


1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

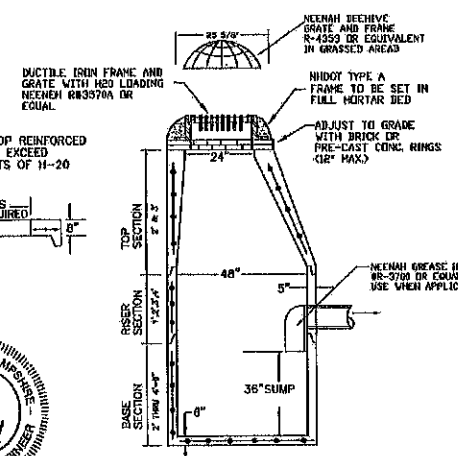


- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.

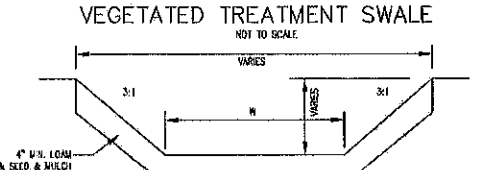
TYPICAL DRAINAGE TRENCH
NOT TO SCALE



PRECAST DRAIN MANHOLE
NOT TO SCALE



PRECAST CATCH BASIN
NOT TO SCALE



VEGETATED TREATMENT SWALE
NOT TO SCALE

VEGETATED CHANNELS DURING THE INITIAL ESTABLISHMENT PERIOD, FLOW SHOULD BE DIVERTED OUT OF THE CHANNEL IF AT ALL POSSIBLE TO ALLOW FOR A GOOD STAND OF GRASS. IF THIS IS NOT POSSIBLE USE MATTING. IN ANY CASE DURING THE ESTABLISHMENT PERIOD, THE CHANNEL SHOULD BE CHECKED PERIODICALLY TO DETERMINE IF THE GRASS IS STILL IN GOOD CONDITION AND IN PLACE. THE VEGETATION SHOULD BE MAINTAINED ON AN "AS-NEEDED" BASIS. THE CHANNEL SHOULD BE MOWED FREQUENTLY ENOUGH TO KEEP THE GRASS WORKING AND TO CONTROL THE ENCROACHMENT OF WEEDS AND WOODY VEGETATION. AFTER VEGETATION HAS BECOME ESTABLISHED, THE CHANNEL SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO SEE IF DAMAGE HAS OCCURRED. ANY DAMAGED AREAS SHOULD BE REPAIRED AND RE-VEGETATED IMMEDIATELY.

REVISIONS:	DATE:

CONSTRUCTION DETAILS D1

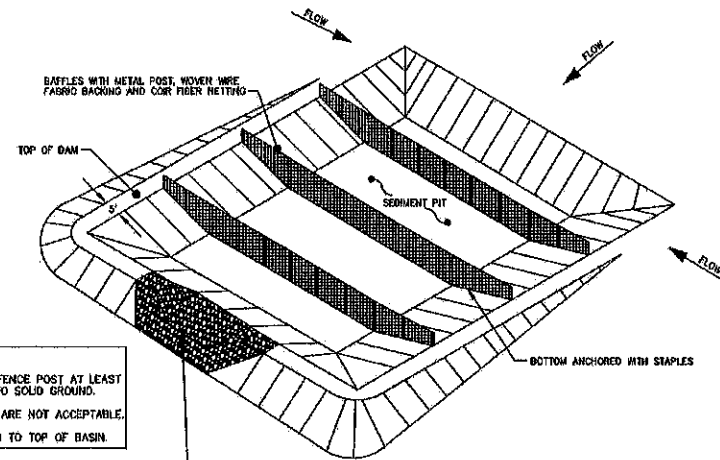
PLAN FOR:	
RESIDENTIAL DEVELOPMENT	
RT. 125 / OLD GREEN HILL RD.	
BARRINGTON, NH	
DATE:	MAY 2019
SCALE:	1"=10'
PROJ. NO:	NH-1144
SHEET NO.	29 OF 31

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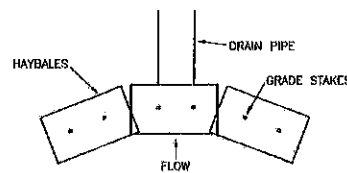
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- NOTES:**
1. DRIVE STEEL FENCE POST AT LEAST 18 INCHES INTO SOLID GROUND.
 2. WOOD POSTS ARE NOT ACCEPTABLE.
 3. DIRECT WATER TO TOP OF BASIN.



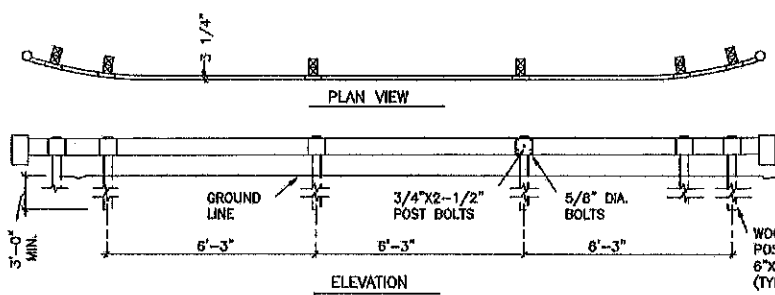
PERSPECTIVE VIEW
TEMPORARY SEDIMENT BASIN



PIPE INLET PROTECTION

SPECIFICATIONS

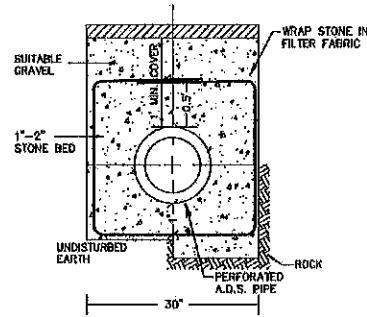
SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTIGUOUS DRAINAGE AREA ACROSS THE BASIN. BARRIERS SHOULD BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER. THE ENDS OF THE BARRIER SHOULD BE PLACED UP SLOPE. BARRIERS SHOULD NOT BE CONSTRUCTED MORE THAN ONE BALE HIGH. ALL BARRIERS SHOULD BE EITHER WIRE-BOUND OR STRING-TIED. BARRIERS SHOULD BE INSTALLED SO THAT ENDINGS ARE CHECKED AROUND THE SIDES, PARALLEL TO THE GROUND SURFACE TO PREVENT BUCKLING OF THE ENDINGS. THE BARRIER SHOULD BE DIMENSIONED AND BACKFILLED A TRENCH SHOULD BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BARRIERS ARE STAKED AND CHECKED, THE EXCAVATED SOIL SHOULD BE BACKFILLED AGAINST THE BARRIERS. BACKFILL SOIL SHOULD CONFORM TO THE GROUND LEVEL ON THE DOWN-SIDE AND SHOULD BE BUILT UP 4 INCHES AGAINST THE UP-SIDE OF THE BARRIER. IDEALLY, BARRIERS SHOULD BE PLACED 10 FEET AWAY FROM THE TOP OF SLOPE. AT LEAST TWO STAKES SHOULD BE DRIVEN THROUGH THE BALE AND PENETRATING AT LEAST 18 INCHES INTO THE GROUND. SHOULD SECURELY ANCHOR EACH BALE. THE FIRST STAKE IN EACH BALE SHOULD BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALE TOGETHER. STAKES SHOULD BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES. THE GAPS BETWEEN BARRIERS SHOULD BE CHINKED (FILLED BY BEDDING) WITH HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BARRIERS. INSPECTION SHOULD BE FREQUENT AND REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED. BALE BARRIERS SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UP-SLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.



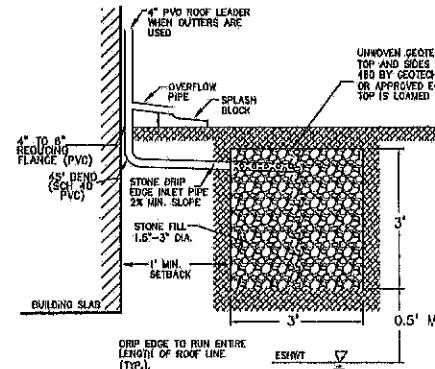
STANDARD SECTION-WOOD POSTS
NOT TO SCALE

NOTES:

1. USE IN HEAVY TRAFFIC AREAS.
2. STEEL BRACKET TO BE 10 OR 12 GAGE STEEL.
3. USE 6"-8" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER.
4. ALL TIMBER POSTS TO BE TREATED WITH PRESERVATIVE MATERIAL CONFORMING TO AASHTO M133.
5. POST BOLTS TO BE 18" W/MIN. 2 1/2" THREAD LENGTH.
6. RAIL SHEET THICKNESS TO BE 12 GA.

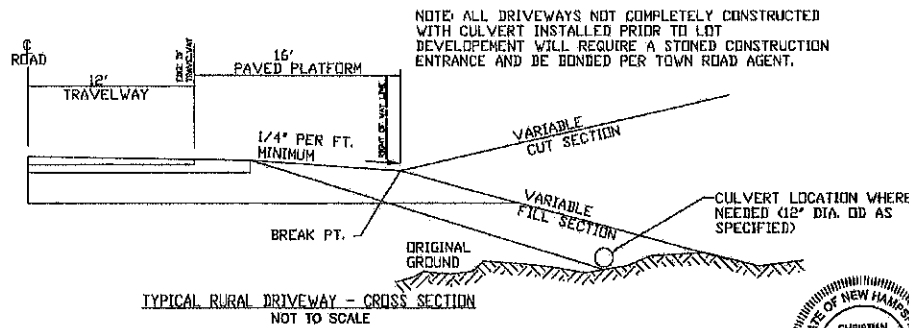


UNDERDRAIN TRENCH DETAIL
NOT TO SCALE

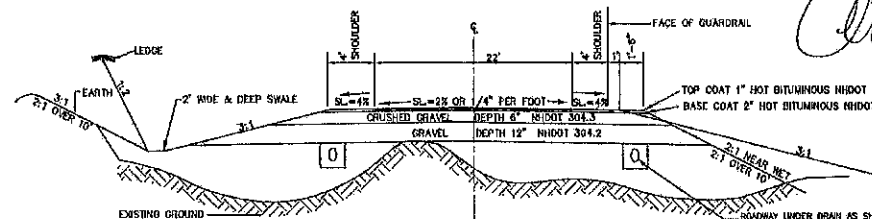


STONE DRIP EDGE SECTION
NOT TO SCALE

NOTE: ALL NEW RESIDENTIAL BUILDINGS SHALL HAVE STONE TRENCHES FOR ROOF RUNOFF MITIGATION (SEE DETAIL THIS SHEET). TRENCHES SHALL BE 3" IN WIDTH AND EXTEND THE ENTIRE LENGTH OF THE ROOF EAVES (BOTH SIDES OF HOUSE) AS REQUIRED PER THE RULES AND PERMITS. STONE DRIP EDGE MAINTENANCE: THE DRIP EDGES WILL BE INSPECTED WITHIN THE FIRST THREE MONTHS AFTER CONSTRUCTION. THEREAFTER THE DRIP EDGES WILL BE INSPECTED 2 TIMES PER YEAR TO ENSURE THAT THEY ARE DRAINING WITHIN 72 HOURS OF A RAIN EVENT EQUIVALENT TO 2.5" OR MORE. REMOVE AND DISPOSE OF SEDIMENTS OR DEBRIS AS NEEDED. TOTAL REHABILITATION OF A DRIP EDGE SHOULD BE CONDUCTED TO MAINTAIN STORAGE CAPACITY WITHIN 2/3 OF THE DESIGN VOLUME, AND 72-HOUR INFILTRATION RATE UNTIL TRENCH WALLS SHOULD BE EXCAVATED TO EXPOSE CLEAN SOIL UPON FAILURE, AND THE SOIL SCOURED PRIOR TO REPLACEMENT OF CLEAN STONE.



TYPICAL RURAL DRIVEWAY - CROSS SECTION
NOT TO SCALE



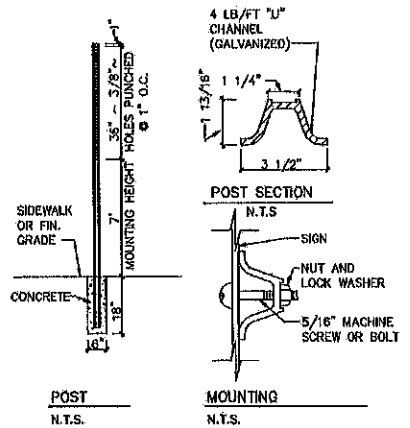
NOTES: GRAVEL DEPTHS MAY NEED TO BE INCREASED IN AREAS OF POOR SOILS. GRAVEL MAY BE PLACED AT 12" LIFTS, DENSITY TESTING IS REQUIRED.

TYPICAL CROSS SECTION
NOT TO SCALE

TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R2-1	SPEED LIMIT 25	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
W14-2	NO OUTLET	24" 24"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
W16-8P	PREPARED BY	VARIES	WHITE ON GREEN	CHANNEL	7'-0"	REFLECTORIZED SIGN
31-0650(D)	NO TRUCKS	12" 18"	RED ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN (MODIFIED WORDING)

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STREET SIGN DETAIL
STOP SIGN (R1-1) 30" x 30"
SPEED LIMIT SIGN (R2-1) 24" x 30"

RISER-TRASH RACK DETAIL
NOT TO SCALE

CONSTRUCTION CRITERIA

SUB GRADE PREPARATION: AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOIL AND RUBBISH. SUB GRADE SURFACE TO BE ROLLED BEFORE PLACEMENT OF FILL MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE SUBGRADE MATERIAL.

FILL PLACEMENT: FILL SHALL BE FREE OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIA. AND OTHER OBJECTS/DEBRIS MATERIAL. FILL TO BE PLACED EQUALLY AROUND SUBSURFACE STRUCTURES & PIPES TO PREVENT DAMAGE FROM UNEQUAL LOADING. PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT SUBGRADE ELEVATION AND BROUGHT UP IN HORIZONTAL LAYERS OF THICKNESS ALLOWING ADEQUATE COMPACTION. DISTRIBUTION AND ORIENTATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STRAINS, OR LAYERS OF MATERIAL OFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM SURROUNDING MATERIAL. -MAXIMUM THICKNESS OF GRAVEL LIFTS TO 1 FOOT (12 INCHES).

MOISTURE CONTROL: MOISTURE CONTENT OF THE FILL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. IF THE MATERIAL IS TOO WET IT SHALL BE DROED TO MEET THIS REQUIREMENT, IF THE MATERIAL IS TOO DRY IT SHALL HAVE WATER ADDED AND MIXED UNTIL REQUIREMENT IS MET.

COMPACTION: CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. EACH LAYER SHALL BE COMPACTED TO OBTAIN 95% OF THE PROCTOR VALUE (ASTM 1557 OR AASHTO T199). FILL ADJACENT TO STRUCTURES, PIPES, ETC. SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY THE MEANS OF HAND TAMPERING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.

EROSION PROTECTION: A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT (CUT/FILL) SLOPE. SPILLWAY AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATION MEANS, SUCH AS EROSION BLANKETS OR RIP RAP SLOPE PROTECTION, MAY BE USED. SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATION BMP'S.

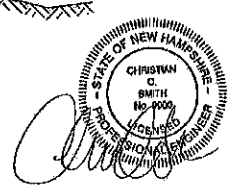
REVISIONS:	DATE:

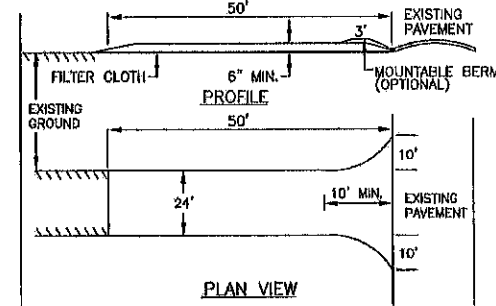
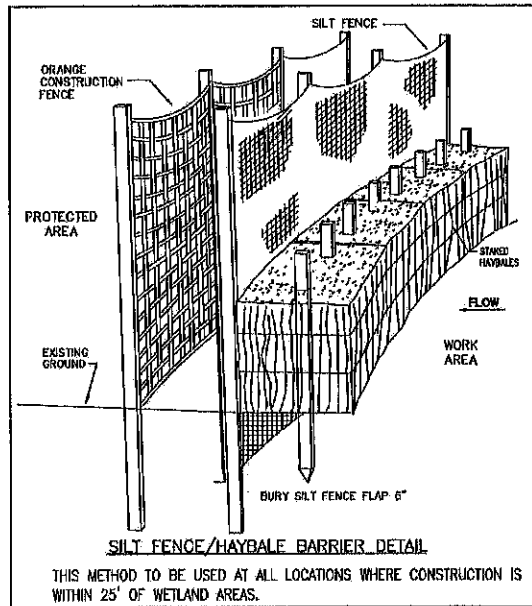
CONSTRUCTION DETAILS D2

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE:	MAY 2019	SCALE:	NONE
PROJ. NO:	NH-1144	SHEET NO.	30 OF 31

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1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER. 5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

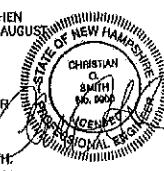
STABILIZED CONSTRUCTION ENTRANCE

WINTER MAINTENANCE

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SWALED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 504.5, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

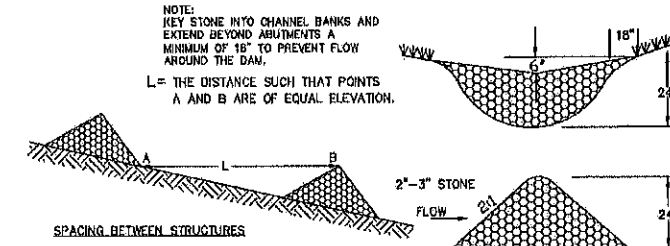
SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
 - A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
 - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
 - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT.
 - NITROGEN(N), 50 LBS PER ACRE OR 1.1 LBS PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 8-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY GULP/PACKING OR RAKING.
 - C. REFER TO TABLE(C-E1) THIS SHEET FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1) THIS SHEET FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFLOIL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
 - D. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
4. MULCH
 - A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 SQ. FT.
5. MAINTENANCE TO ESTABLISH A STAND
 - A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.



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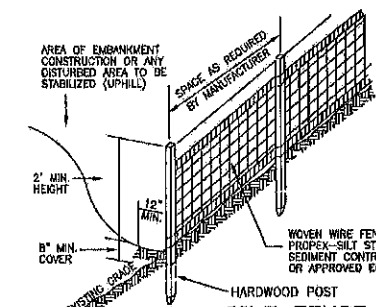
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MAINTENANCE
TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED STORMS. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDING AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

REMOVAL
AFTER VEGETATION HAS STABILIZED, THESE TEMPORARY STRUCTURES SHALL BE REMOVED WITH SPECIAL CARE AS TO AVOID DISTURBING ANY UNDERLYING EROSION CONTROL FABRIC AND/OR EXISTING VEGETATION

TEMPORARY STONE CHECK DAM



- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8". THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 18" INTO THE GROUND.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF.
 4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
 5. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.

- MAINTENANCE**
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING GUIDE

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILL SLOPES	A	POOR	GOOD	GOOD	FAIR
	B	POOR	GOOD	GOOD	FAIR
	C	POOR	GOOD	GOOD	EXCELLENT
	D	FAIR	FAIR	GOOD	EXCELLENT
	E	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING AND DRIVEWAYS	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	FAIR
LOW INTENSITY USE RECREATION SITES	A	FAIR	GOOD	GOOD	EXCELLENT
	B	FAIR	GOOD	GOOD	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)	F	FAIR	EXCELLENT	EXCELLENT	2/
	G	FAIR	EXCELLENT	EXCELLENT	2/

GRANUL. PLS. SEE NH-DM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

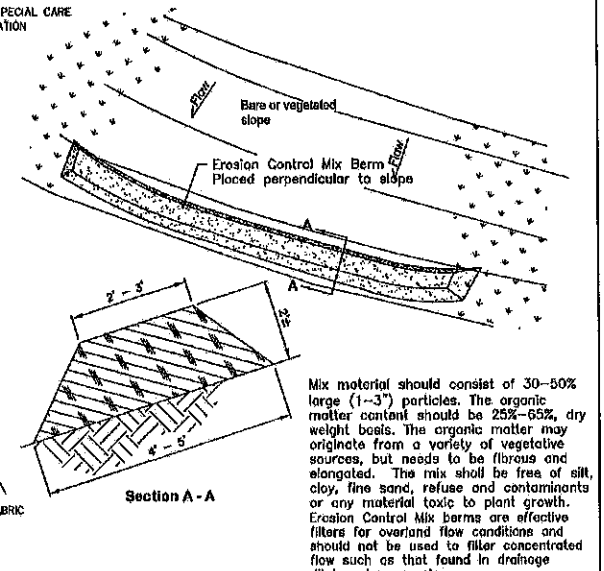
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.

2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR DATS AT A RATE OF 2.5 LBS. PER 1000 SF. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

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70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
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Erosion Control Mix Berm

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
CREEPING RED FESCUE	20	0.45
RED TOP	42	0.93
TOTAL		
B. TALL FESCUE	15	0.33
CREEPING RED FESCUE	10	0.22
CROWN VETCH	15	0.33
OR FLAT PEA	30	0.66
TOTAL	40 OR 35	0.88 OR 1.35
C. TALL FESCUE	20	0.45
CREEPING RED FESCUE	20	0.45
BIRDS FOOT TREFLOIL	8	0.18
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.66
TOTAL	50	1.20
E. CREEPING RED FESCUE 1/	50	1.10
KENTUCKY BLUEGRASS 1/2	50	1.10
TOTAL	100	2.20
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

REVISIONS: _____ DATE: _____

EROSION & SEDIMENTATION

PLAN FOR:
RESIDENTIAL DEVELOPMENT
RT. 125 / OLD GREEN HILL RD.
BARRINGTON, NH

DATE: MAY 2013 SCALE: NONB
PROJ. NO: NH-1144 SHEET NO. 31 OF 31