

Town of Barrington  
PO Box 660/333 Calef Hwy  
Barrington, NH 03825  
[www.barrington.nh.gov](http://www.barrington.nh.gov)  
(603) 664-5183

# APPLICATION FOR CLASS VI/PRIVATE ROAD BUILDING PERMIT

OWNER INFORMATION	
<i>Please include a separate e-mail address for each owner to avoid processing delays.</i>	
Name: <del>Derek</del> Melissa Ceppetelli	Address: 100 Small Rd
Phone: 603-969-5925	E-Mail: MBDCEPP@MetroCast.net
Name: Melissa Ceppetelli	Address: 100 Small Rd
Phone: 603 817 0395	E-Mail: MBDCEPP@MetroCast.net

PROPERTY & ASSOCIATION DETAILS	
Address/Road: 100 Small Rd	Map/Lot/Sublot: 106 4
Ownership Deed: Book: 4564 Page: 900	Road Classification: <input type="checkbox"/> Class VI Rd or <input checked="" type="checkbox"/> Private Rd
Is There a Road Association: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Are You a Member? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Road Association & Contact: Sharin Sansoucie	
Association Email: Mrs Soup2000@outlook.com	Association Phone: 603 234-9343

PROJECT NARRATIVE
<i>Describe additional details of the building project.</i>
We are building a garage 22x22,
<input type="checkbox"/> Copy of Building Permit Application Attached - Required

PERMIT CATEGORY		
<i>Review the Class VI/Private Road Building Policy at <a href="http://www.barrington.nh.gov/classviprivateroadbuildingpolicy">www.barrington.nh.gov/classviprivateroadbuildingpolicy</a> to apply the correct requirements to your project. Use the checkboxes to indicate completed/attached information.</i>		
<input type="checkbox"/> <b>Category 1</b> <input type="checkbox"/> Class VI & Private Road Building Policy Application <ul style="list-style-type: none"><li>Municipal Disclaimer of Maintenance and Liability<ul style="list-style-type: none"><li>Generated by Town staff upon receipt of completed application</li><li>Recording required by applicant after approval and prior to issuance of permit</li></ul></li></ul>	<input checked="" type="checkbox"/> <b>Category 2</b> <i>Category 1 requirements and:</i> <ul style="list-style-type: none"><li>Planning Board Review and Comment</li><li>Select Board Decision - Consent Agenda</li></ul>	<input type="checkbox"/> <b>Category 3</b> <i>Category 1 requirements and:</i> <ul style="list-style-type: none"><li><input type="checkbox"/> Detailed Property Map</li><li><input type="checkbox"/> Road Improvements<ul style="list-style-type: none"><li><input type="checkbox"/> Option 1 or <input type="checkbox"/> Option 2</li></ul></li><li><input type="checkbox"/> Road Maintenance Agreement<ul style="list-style-type: none"><li>Permit and Bond for Improvements (if applicable per Select Board decision)</li><li>Department Head Recommendations</li><li>Planning Board Review and Comment</li><li>Select Board Public Hearing and Decision</li><li>Application Fee (if approved, plus building permit fee)</li></ul></li></ul>
<input type="checkbox"/> Waiver Requested (see policy requirements, include waiver narrative on a separate sheet)		

Applicant Signature: <i>D.J. Ceppo</i>	Date: 5/4/23
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**TOWN OF BARRINGTON, NEW HAMPSHIRE**  
**Agreement and Release Regarding**  
**Building Permit for Property Abutting a Private/Class VI Road**

NOW COME Derek & Melissa Ceppetelli

(Hereinafter referred to jointly or severally as "owner") with a residential address of 100 Small Road, Barrington, NH 03825, and

The Town of Barrington, New Hampshire (hereinafter referred to as "town"), a municipal corporation existing under the laws of the State of New Hampshire with an address of 4 Signature Drive, and agree as follows:

WHEREAS, owner owns certain real property (Tax Map 106, Lot 4 Plot     ) which abuts Small Road Road, conveyed to said owner by a Deed recorded at Book 4564, Page 900 at the Strafford County Registry of Deeds: and

WHEREAS, the relevant portion of said Small Road Road upon which owner's real property fronts is a private/Class VI road that has not been approved by the Barrington Planning Board, so that the owner's property is therefore subject to the building restrictions imposed under RSA 674:41;

NOW THEREFORE, the town and owner on behalf of themselves, their heirs, legal representatives, successors and assigns, covenant and agree as follows:

1. The town shall allow owner a building permit to construct a single family residence on the property identified above subject to the terms and conditions of a building permit to be issued by the town and the Policy of the Board of Selectmen Regarding Construction on Class VI and Private Roads as amended on July 20, 2015.
2. The parties understand and agree that town assumes no responsibility for maintenance, including but not limited to snowplowing, of said Small Road Road, and no liability for any damages arising from the use of said road.
3. Owner agrees to be responsible for maintaining access to the subject property and does hereby forever release and discharge the town, its officers, agents and employees: (1) from the obligation of maintaining said Small Road Road; and (2) from any loss, damage, claim or expense of any kind or nature whatsoever arising directly or indirectly from the condition of said road, including but not limited to any loss damage, claim or expense arising from failure to provide any municipal services such as police, fire and ambulance services.
4. Owner hereby assumes responsibility for transporting any children who may now or in the future reside on the property to the nearest regular school bus stop.
5. The parties understand and agree that this Agreement and Release shall be recorded at the Strafford County Registry of Deeds before the building permit is issued, as required under RSA 674:41, I (c)(3).
6. The owner(s) agree to stipulate and pass this Agreement at any transfer of this property.

\_\_\_\_\_  
Witness Print Name  
(not needed if e-signed)

\_\_\_\_\_  
Owner Print Name

\_\_\_\_\_  
Witness Sign/Date  
(not needed if e-signed)

\_\_\_\_\_  
Owner Signature/Date

\_\_\_\_\_  
Witness Print Name  
(not needed if e-signed)

\_\_\_\_\_  
Owner Print Name

\_\_\_\_\_  
Witness Sign/Date  
(not needed if e-signed)

\_\_\_\_\_  
Owner Signature/Date

TOWN OF Barrington

\_\_\_\_\_  
Witness Print Name  
(not needed if e-signed)

By: \_\_\_\_\_  
Select person, Chair or Vice Chair

\_\_\_\_\_  
Witness Sign/Date  
(not needed if e-signed)

\_\_\_\_\_  
Select person Signature/Date

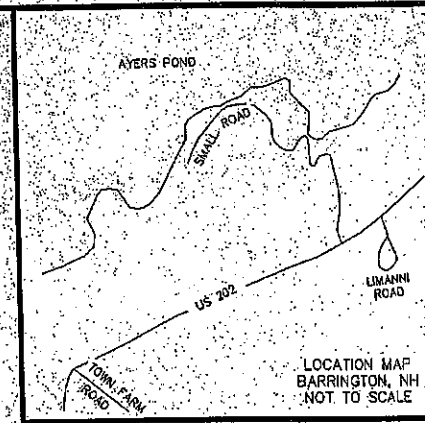
**PLAN REFERENCES:**

- 1.) SUBDIVISION OF CAMP LOTS, AYERS POND-BARRINGTON, NH F.E. SMALL, ROCHESTER, NH BY: J. W. JONES & CO. ENGINEERS DATED: SEPTEMBER 15, 1922 S.C.R.D.: POCKET 4 FOLDER 1 PLAN #1

**EXISTING IMPERVIOUS CALCULATIONS:**

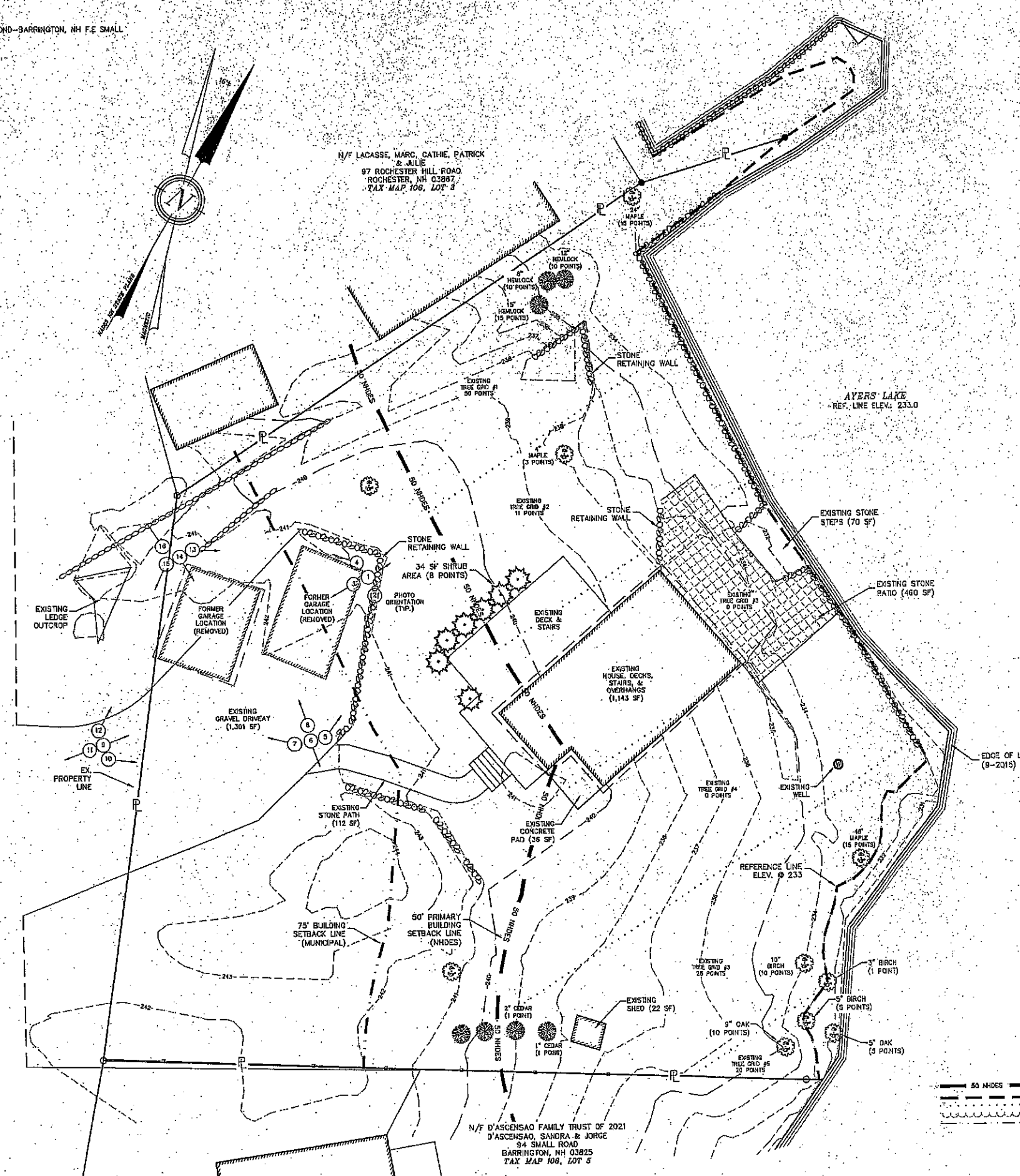
TOTAL LOT AREA WITHIN 250'	13,290 Sq.Ft.
TOTAL EXISTING IMPERVIOUS	3,144 Sq.Ft.
TOTAL EXISTING % IMPERV.	23.66%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL EXISTING UN-ALTERED	0 Sq.Ft.
TOTAL EXISTING % UN-ALTERED	0%

**SOILS:**  
H10 - HOLLIS-GLOUCESTER, EXTREMELY ROCKY FINE SANDY LOAMS, 8 TO 25% SLOPES  
SEE WEBSOIL.USDA-NRCS

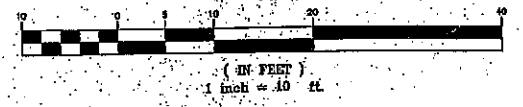


- NOTES:**
- 1.) OWNER: DEREK & MELISSA CEPPETELLI 100 SMALL ROAD BARRINGTON, NH 03825
  - 2.) TAX MAP 106, LOT 4.
  - 3.) LOT AREA: 13,290 Sq.Ft. ±, 0.31 Ac. ±
  - 4.) S.C.R.D., BOOK 2664, PAGE 900
  - 5.) ZONING: GEN. RES. FRONT SETBACK: 40.0' SIDE SETBACK: 30.0' REAR SETBACK: 30.0' LAKE SETBACK (BUILDING): 75'
  - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330222, MAP# - 33017C0105D, DATED: MAY 17, 2005.
  - 7.) VERTICAL DATUM BASED ON USGS NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
  - 8.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 106, LOT 4 AS OF THE DATE OF THE SURVEY: 12-15-22.

THIS IS NOT A BOUNDARY SURVEY.



**RECEIVED**  
APR 25 2023  
**LAND USE OFFICE**



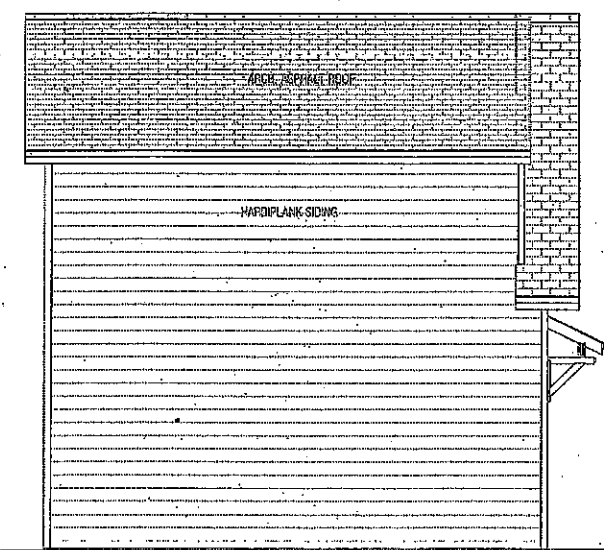
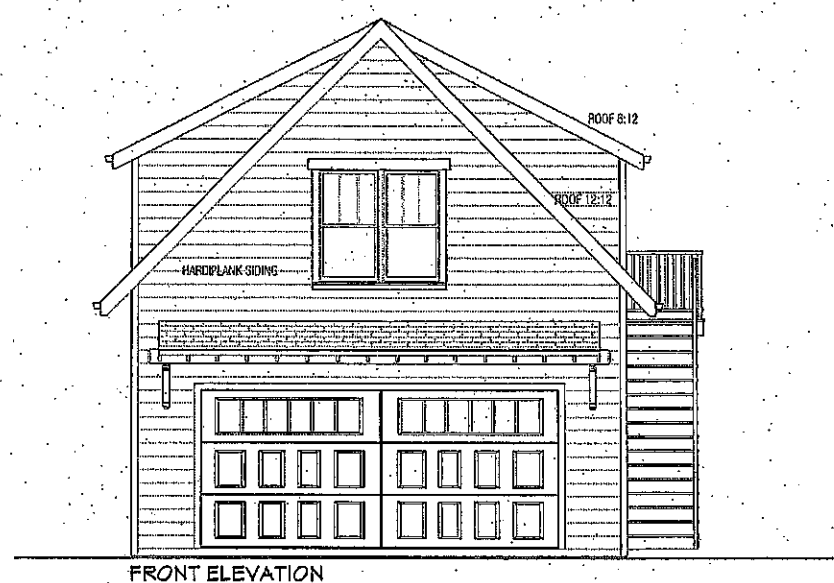
**LEGEND:**

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- ⊙ PHOTO POINT
- ⊕ PROPERTY LINE
- ⊕ BENCHMARK
- TREE
- 50' PRIMARY BUILDING SETBACK LINE (NHDES)
- REFERENCE LINE
- TREE GRID
- TREELINE
- BUILDING SETBACK LINE
- FND FOUND
- TYP TYPICAL
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

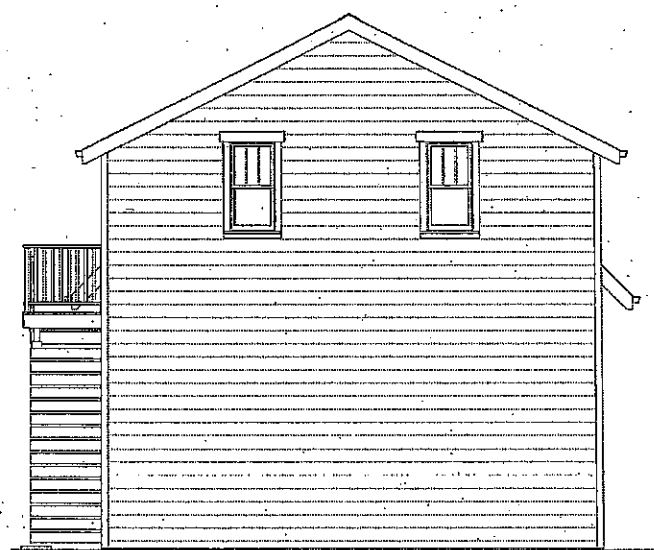
REVISION	DATE	DESCRIPTION
		EXISTING CONDITIONS FROM LAND OF DEREK & MELISSA CEPPETELLI 100 SMALL ROAD BARRINGTON, N.H. TAX MAP 106, LOT 4
		BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863
		SCALE: 1 IN. EQUALS 10 FT.
		DATE: DECEMBER 30, 2022
		FILE NO.: DB 2022-104



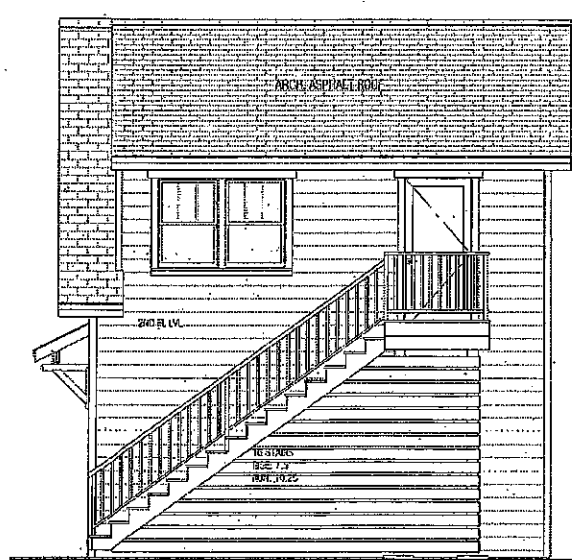
- ROOF NOTES**
1. DESIGN COMPLETE OVER SHEETING AND INSULATION AND FINISH WITH SHINGLES.
  2. FINISH WITH HARDPLANK SIDING.
  3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
  4. PROVIDE 2" MINIMUM INSULATION OVER SHEETING AND FINISH WITH GYPSONUM BOARD OR OTHER APPROVED FINISH.
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SIDE ELEVATION 1



BACK ELEVATION



SIDE ELEVATION 2

- STAIRS TO 2ND FL. W.**
1. 1" MINIMUM RISE TO 4" MAXIMUM RUN PER IBC.
  2. 2" MINIMUM CLEARANCE UNDER STAIRS.
  3. 3" MINIMUM CLEARANCE UNDER STAIRS.
  4. 1" MINIMUM RISE TO 4" MAXIMUM RUN PER IBC.
  5. 2" MINIMUM CLEARANCE UNDER STAIRS.

GARAGE ELEVATIONS

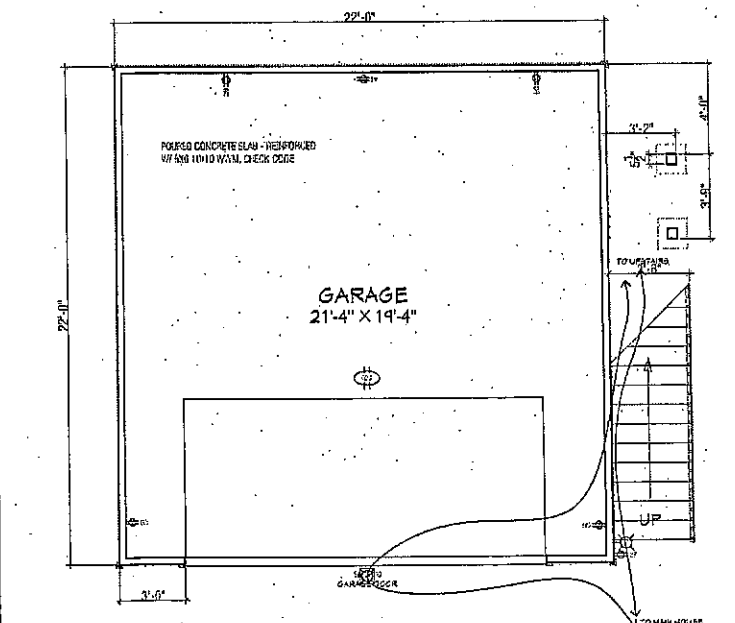
1/4" = 1'-0"

**ELECTRICAL SYMBOLS KEY**

SWITCH	RECESSED WALL SWITCH	RECESSED WALL SWITCH WITH DIMMER	RECESSED WALL SWITCH WITH DIMMER AND DIMMER CONTROL
LED RECESSED CAN	RECESSED WALL W/ WASH. LIGHT	UNDER CABINET LIGHT	SURFACE MOUNTED
INCANDESCENT RECESSED W/ WASH. LIGHT	SURFACE MOUNTED LED	VANITY LIGHT FIXTURE	WALL SWITCH
RECESSED WALL W/ WASH. LIGHT	VANITY LIGHT FIXTURE	WALL SWITCH	INCANDESCENT WALL MOUNTED W/ WASH. LIGHT
SURFACE MOUNTED	WALL SWITCH	INCANDESCENT WALL MOUNTED W/ WASH. LIGHT	FULL CROWN LIGHT
SURFACE MOUNTED LED	WALL SWITCH	FULL CROWN LIGHT	CLEAR FAN - LIGHT COMBO
VANITY LIGHT FIXTURE	WALL SWITCH	CLEAR FAN - LIGHT COMBO	POSSIBLE FIXTURE
WALL SWITCH	WALL SWITCH	POSSIBLE FIXTURE	BATH EXHAUST
INCANDESCENT WALL MOUNTED W/ WASH. LIGHT	WALL SWITCH	BATH EXHAUST	LIGHT & BATH EXHAUST
FULL CROWN LIGHT	WALL SWITCH	LIGHT & BATH EXHAUST	STANDARD WALL OUTLET
CLEAR FAN - LIGHT COMBO	WALL SWITCH	STANDARD WALL OUTLET	GROUND FAULT INTERRUPTER OUTLET
POSSIBLE FIXTURE	WALL SWITCH	GROUND FAULT INTERRUPTER OUTLET	FLOOR OUTLET
BATH EXHAUST	WALL SWITCH	FLOOR OUTLET	W/ 1/2" W/ WASH. LIGHT
LIGHT & BATH EXHAUST	WALL SWITCH	W/ 1/2" W/ WASH. LIGHT	220 VOLT OUTLET
STANDARD WALL OUTLET	WALL SWITCH	220 VOLT OUTLET	WEATHERPROOF EXT. GFI OUTLET
GROUND FAULT INTERRUPTER OUTLET	WALL SWITCH	WEATHERPROOF EXT. GFI OUTLET	GARAGE DOOR OPENER / LIGHT
FLOOR OUTLET	WALL SWITCH	GARAGE DOOR OPENER / LIGHT	EXTERIOR FLOOD LIGHTS
W/ 1/2" W/ WASH. LIGHT	WALL SWITCH	EXTERIOR FLOOD LIGHTS	GARBAGE DISPOSAL
220 VOLT OUTLET	WALL SWITCH	GARBAGE DISPOSAL	SMOKE DETECTOR
WEATHERPROOF EXT. GFI OUTLET	WALL SWITCH	SMOKE DETECTOR	GARAGE FIRE/SMOKE DETECTOR
GARAGE DOOR OPENER / LIGHT	WALL SWITCH	GARAGE FIRE/SMOKE DETECTOR	ELECTRIC VEHICLE CHARGE POINT
EXTERIOR FLOOD LIGHTS	WALL SWITCH	ELECTRIC VEHICLE CHARGE POINT	REPRESENT
GARBAGE DISPOSAL	WALL SWITCH	REPRESENT	
SMOKE DETECTOR	WALL SWITCH		
GARAGE FIRE/SMOKE DETECTOR	WALL SWITCH		
ELECTRIC VEHICLE CHARGE POINT	WALL SWITCH		
REPRESENT	WALL SWITCH		

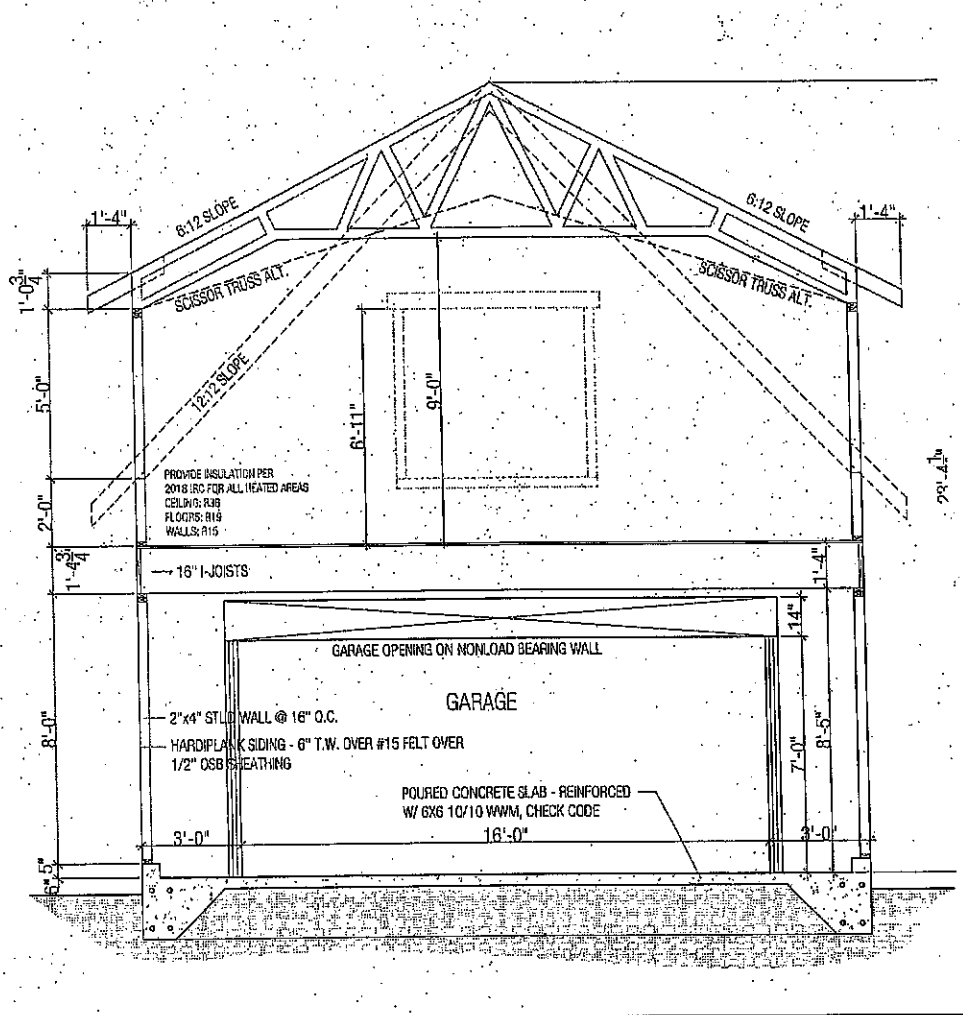
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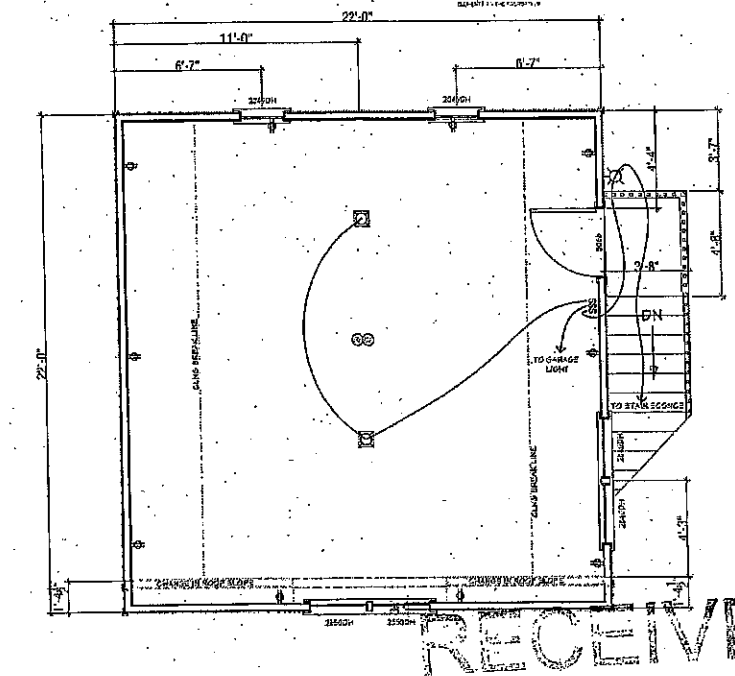
GARAGE PLAN - FIRST AND SECOND FLOORS

1/4" = 1'-0"



GARAGE SECTION

3/16" = 1'-0"



**HOME PATTERNS** crafted simplicity  
 30 Elm Place, Hastings on Hudson, NY 10706  
 (864) 278 0068 INFO@HOMEPATTERNS.COM

Revisions/Additions By Others:  
 Date of issue: April 9, 2023

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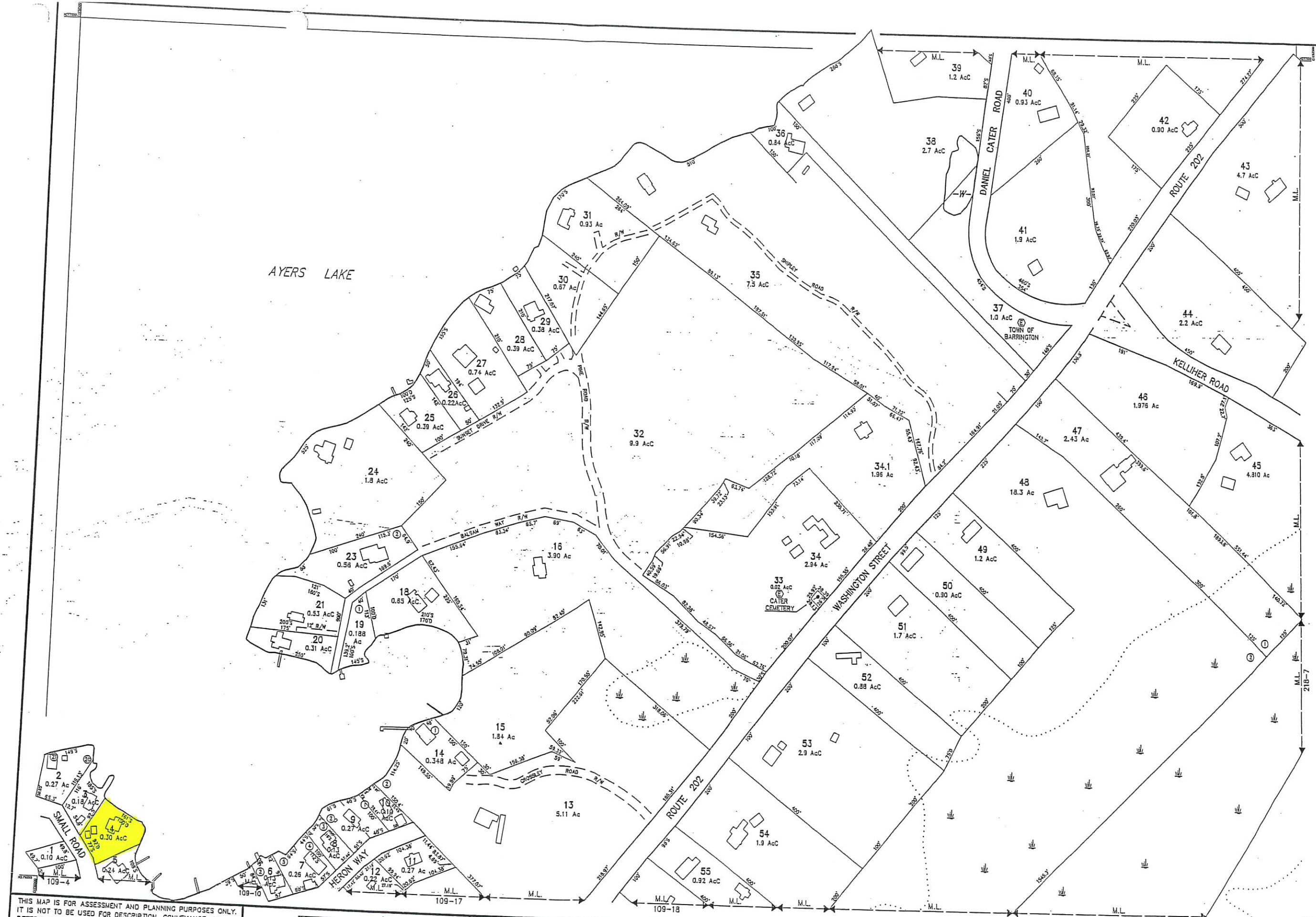
License Use #23-057  
 DO NOT COPY  
 Licensed Location:  
 100 Small Rd,  
 Barrington, NH 03825

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APR 25 2023

sheet no.

G1



THIS MAP IS FOR ASSESSMENT AND PLANNING PURPOSES ONLY.  
 IT IS NOT TO BE USED FOR DESCRIPTION, CONVEYANCE, OR  
 DETERMINATION OF LEGAL TITLE.

THE HORIZONTAL DATUM IS THE NEW HAMPSHIRE STATE  
 PLANE COORDINATE SYSTEM, NAD 83.

PHOTOGRAPHY DATE: APRIL 25, 2003      COMPLETION DATE: NOVEMBER 2003



AREA SURVEYED	Ac
AREA CALCULATED	AcC
RECORD DIMENSION	100'
SCALED DIMENSION	100'
MATCH LINE	M.L.
WATER	W

**LEGEND**

- EXCEPT PROPERTY. (Symbol)
- SUBDIVISION LOT NO. (Symbol)
- BUILDING. (Symbol)
- RIGHT OF WAY/ACCESS. (Symbol)
- COMMON OWNERSHIP. (Symbol)
- WETLANDS. (Symbol)

SCALE 1" = 100'

REVISOR TO: APRIL 1, 2019

PROPERTY MAPS

# BARRINGTON

NEW HAMPSHIRE

INDEX DIAGRAM

208	105	207
107	109	211
108	109	

MAP NO. 106

NO PARCEL 17, 22





# Minor Building Permit Application

Town of Barrington, New Hampshire  
 Building Department  
 P.O. Box 660, Barrington, NH  
 Telephone: (603) 664-5183

Issue Date: \_\_\_\_\_  
 Permit #: \_\_\_\_\_  
 (This area for office use only)

Map #: \_\_\_\_\_  
 Lot #: \_\_\_\_\_  
 Block #: \_\_\_\_\_  
 Zoning: \_\_\_\_\_

Location of Construction (Address): 100 Small Rd

Property Owner: Derek & Melissa Ceppetelli Home Phone: 603-969-5925

Mailing Address: 100 Small Rd Cell Phone: 603-969-5925

City: Barrington State: NH Zip Code: 03825 Daytime Phone: 603-969-5925

Email Address: MBDCepp@metrocast.net

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Contractor: Derek Ceppetelli Phone: 603-969-5925

Mailing Address: 100 Small Rd Cell #: 603 969 5925

City: Barrington State: NH Zip Code: 03825

Email Address: MBDCepp@metrocast.net

Cost of Construction: 150,000 Building Inspectors Estimated Cost of Construction: \_\_\_\_\_

Permit Fee: \_\_\_\_\_ Permit fee is based on \$8.50 per \$1,000.00 of Construction Cost (\$50.00 Minimum)

AND \$25 flat application fee, \$50 electric permit fee, \$50 plumbing permit fee, \$50 mechanical permit fee.

Primary Use of Property Is:  Residential  Commercial  Mixed Use (both Res. & Com)

Proposed Construction is for:  Deck  Door  Garage  Exterior Renovations

(Please Check all that Apply)  Enclose Deck/Porch  Shed  Siding  Interior Renovations

Pool / Hot Tub  Roof  Windows  Residential Addition

Other \_\_\_\_\_

Description of work to be performed: Building a 22x22 garage

Proposed Use: Park cars in the garage.

Property & Setback Information		
Setbacks from Lot Line to Construction:	Subsurface Disposal Information:	Total Square Footage of Proposed Building:
Front: <u>40.0'</u> Right: <u>30.0'</u>	Septic System Design: More Than 20 Years Old Circle One: Yes <input checked="" type="radio"/> Unknown	<u>22x22</u>
Rear: <u>30.0'</u> Left: <u>30.0'</u>		Site Located In "Special Flood Hazard Area": Yes <input type="radio"/> No <input checked="" type="radio"/>
<u>Lake setback 75' (Building)</u>	Shoreland Water Quality Protection Zone: Circle One: Yes <input type="radio"/> No <input type="radio"/>	Site Located In Shoreland Protection Zone: Yes <input type="radio"/> No <input checked="" type="radio"/>
Lot Size: <u>13,290 sq-ft</u>		Subdivision Approval # _____ Subdivision Name: _____

Applicant Signature: Derek Ceppetelli Date: 5/4/23

Revised: 01-2021 Page 3

**PLAN REFERENCES:**

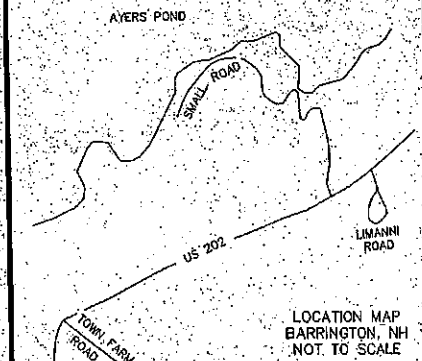
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 BY: I.W. JONES & CO. ENGINEERS  
 DATED: SEPTEMBER 15, 1922  
 S.C.R.D.: "POCKET 4 FOLDER 1 PLAN #1"

**EXISTING IMPERVIOUS CALCULATIONS:**

TOTAL LOT AREA WITHIN 250' 13,290 Sq.Ft.  
 TOTAL EXISTING IMPERVIOUS 3,144 Sq.Ft.  
 TOTAL EXISTING % IMPERV. 23.66%  
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**SOILS:**

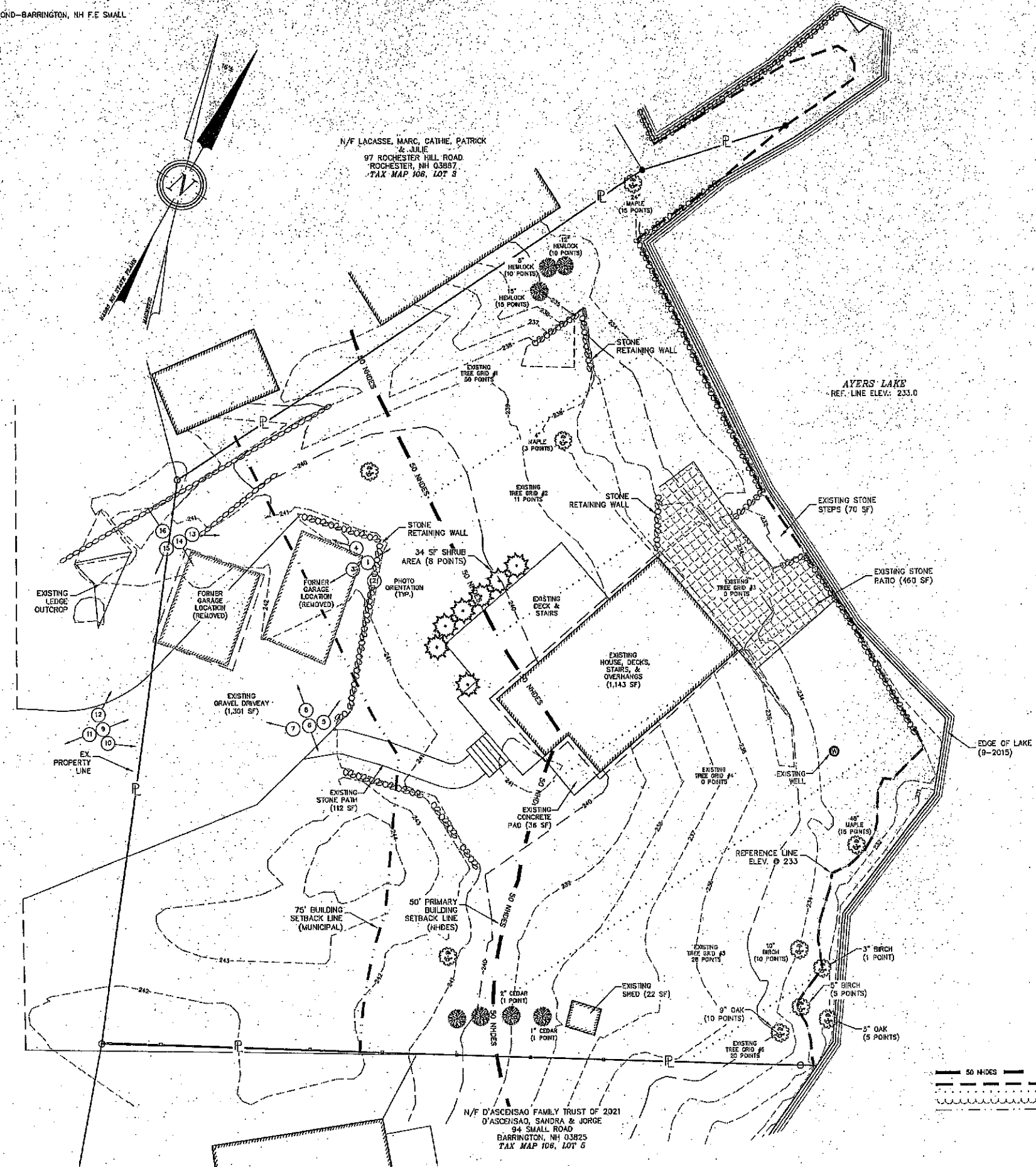
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 LOAMS, 8 TO 28% SLOPES  
 SEE WEBSOL USDA-NRCS



**NOTES:**

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100 SMALL ROAD  
BARRINGTON, NH 03825
- TAX MAP 106, LOT 4
- LOT AREA: 13,290 Sq.Ft., 0.31 Ac.±
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FRONT SETBACK: 40.0'  
SIDE SETBACK: 30.0'  
REAR SETBACK: 30.0'  
LAKE SETBACK (BUILDING): 75'
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- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 106, LOT 4 AS OF THE DATE OF THE SURVEY: 12-15-22.

THIS IS NOT A BOUNDARY SURVEY



**RECEIVED**

APR 25 2023

**LAND USE OFFICE**

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

**LEGEND:**

- IRON PIPE -FIND- UTILITY POLE
- ⊙ PHOTO POINT
- ⊔ PROPERTY LINE
- ⊕ BENCHMARK
- TREE
- 50' PRIMARY BUILDING SETBACK LINE (NHDES)
- REFERENCE LINE
- TREE GRID
- TREELINE
- BUILDING SETBACK LINE
- FOUND TYPICAL STRAFFORD COUNTY REGISTRY OF DEEDS

REVISION	DATE	DESCRIPTION
		EXISTING CONDITIONS PLAN
LAND OF DEREK & MELISSA CEPPEJELLI 100 SMALL ROAD BARRINGTON, N.H. TAX MAP 106, LOT 4		
<b>BERRY SURVEYING &amp; ENGINEERING</b> 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863		
SCALE : 1 IN. EQUALS 10 FT.		
DATE : DECEMBER 30, 2022		
FILE NO. : DB 2022-104		

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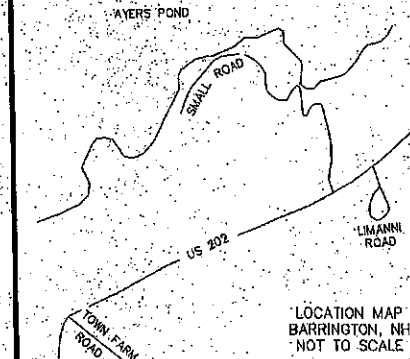
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TOTAL EXISTING IMPERVIOUS	3,144 Sq.Ft.
TOTAL EXISTING % IMPERV.	23.66%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL EXISTING UN-ALTERED	0 Sq.Ft.
TOTAL EXISTING % UN-ALTERED	0%

**PROPOSED IMPERVIOUS CALCULATIONS:**

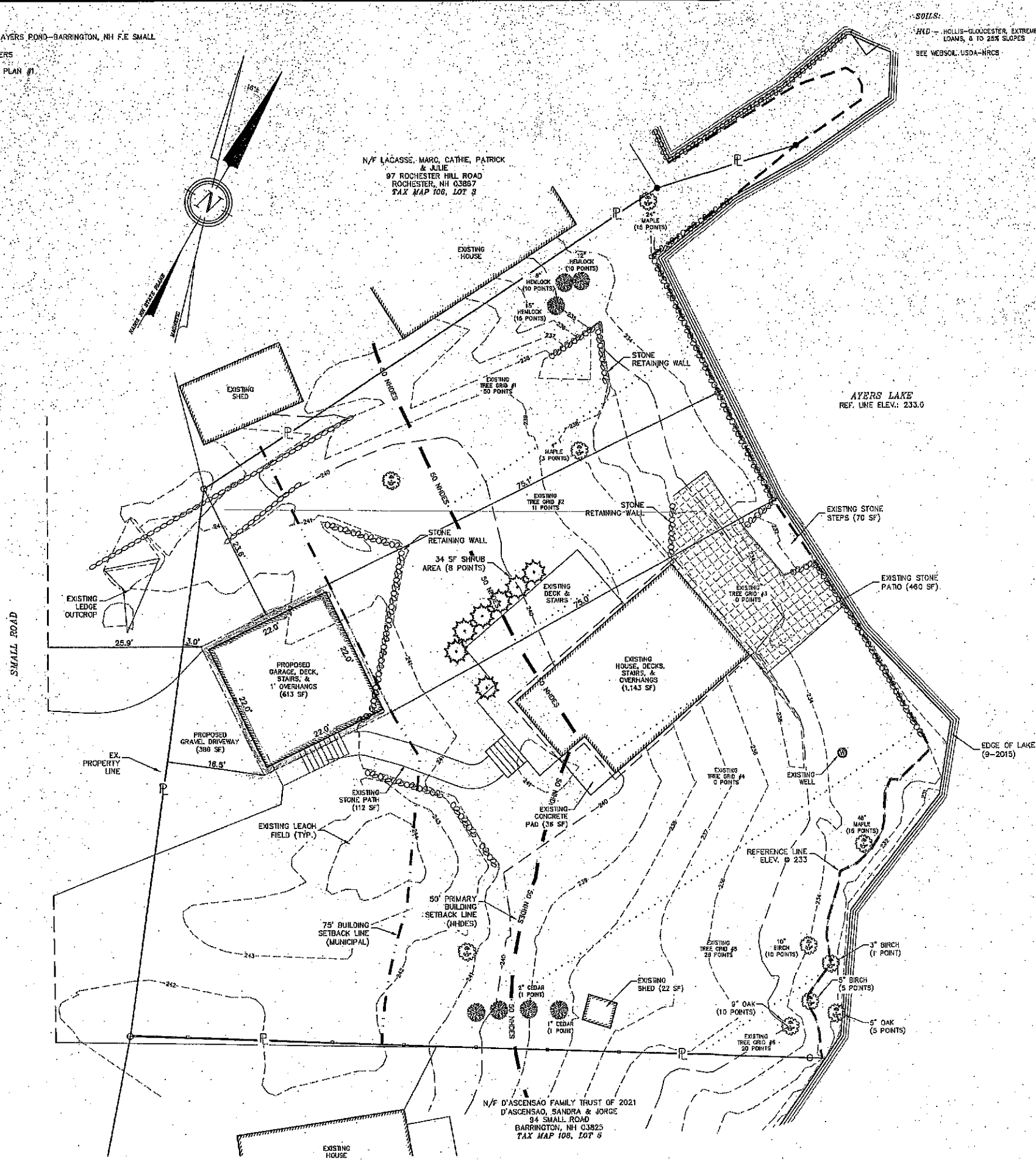
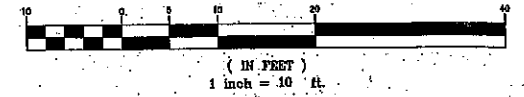
TOTAL LOT AREA WITHIN 250'	13,290 Sq.Ft.
TOTAL PROPOSED IMPERVIOUS	2,842 Sq.Ft.
TOTAL PROPOSED % IMPERV.	21.38%
TOTAL LOT AREA BETWEEN 50'-150'	5,950 Sq.Ft.
TOTAL PROPOSED UN-ALTERED	0 Sq.Ft.
TOTAL PROPOSED % UN-ALTERED	0%



- NOTES:**
- 1) OWNER: DEREK & MELISSA CEPPELELLI  
100 SMALL ROAD  
BARRINGTON, NH 03825
  - 2) TAX MAP 106, LOT 4
  - 3) LOT AREA: 13,290 Sq.Ft.; 0.31 Ac.±
  - 4) S.C.R.D. BOOK 4584, PAGE 900
  - 5) ZONING: GEN. RES.  
FRONT SETBACK: 40.0'  
SIDE SETBACK: 30.0'  
REAR SETBACK: 30.0'  
LAKE SETBACK (BUILDING): 75'
  - 6) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330222, MAP# - 33017C0103D, DATED: MAY 17, 2005.
  - 7) VERTICAL DATUM BASED ON USCS NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
  - 8) THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED CONDITIONS OF TAX MAP 106, LOT 4.

THIS IS NOT A BOUNDARY SURVEY

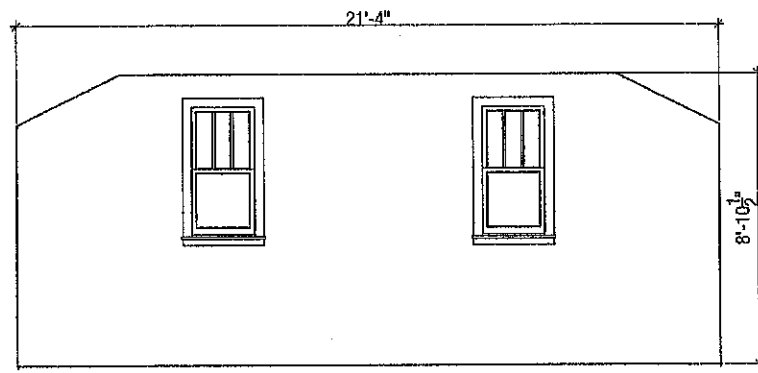
**RECEIVED**  
APR 25 2023  
**LAND USE OFFICE**  
GRAPHIC SCALE



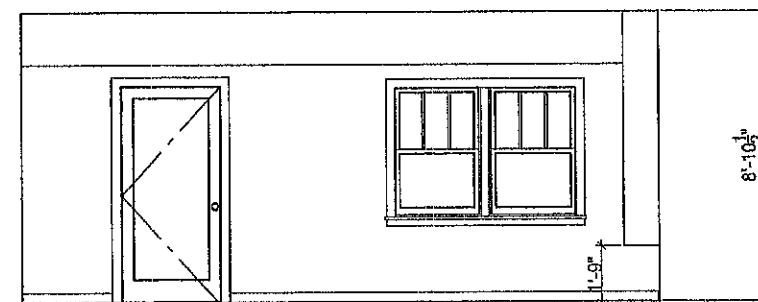
REVISION	DATE	DESCRIPTION
PROPOSED CONDITIONS PLAN LAND OF DEREK & MELISSA CEPPELELLI 100 SMALL ROAD BARRINGTON, N.H. TAX MAP 106, LOT 4		
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863		
SCALE : 1 IN. EQUALS 10 FT.		
DATE : DECEMBER 30, 2022		
FILE NO. : DB 2022-104		

N/F D'ASCENSAO FAMILY TRUST OF 2021  
D'ASCENSAO, SANDRA & JORGE  
94 SMALL ROAD  
BARRINGTON, NH 03825  
TAX MAP 106, LOT 6





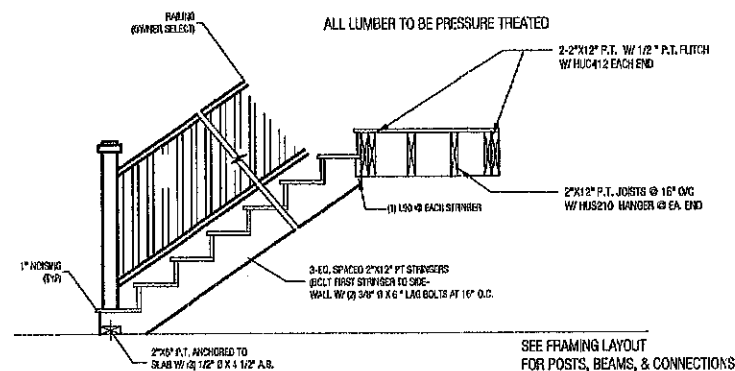
SECTION



SIDE ENTRY WALL

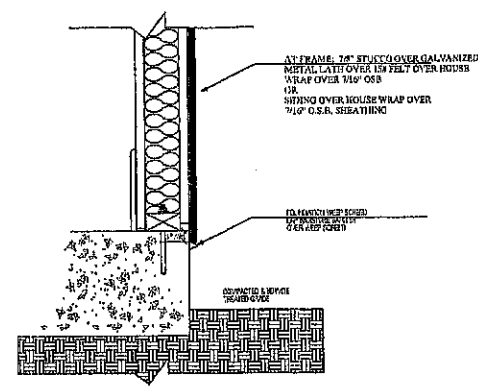
INTERIOR ELEVATIONS

3/8" = 1'-0"



TYPICAL STAIR DETAIL

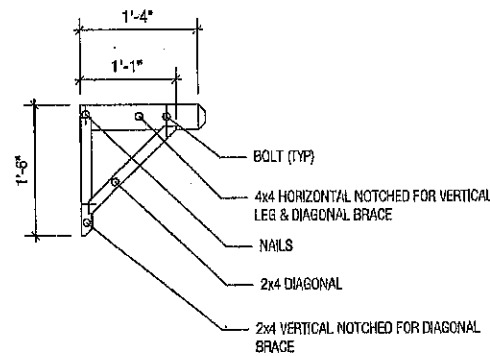
N.T.S.



WEEP SCREEN DETAIL AT SILL PLATE

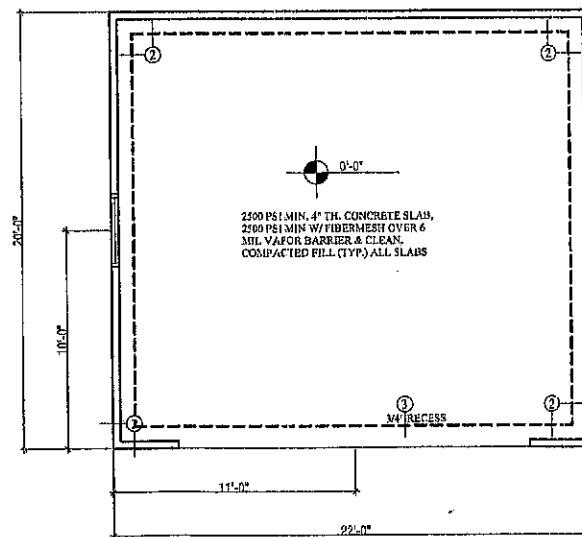
WEEP SCREEN

N.T.S.



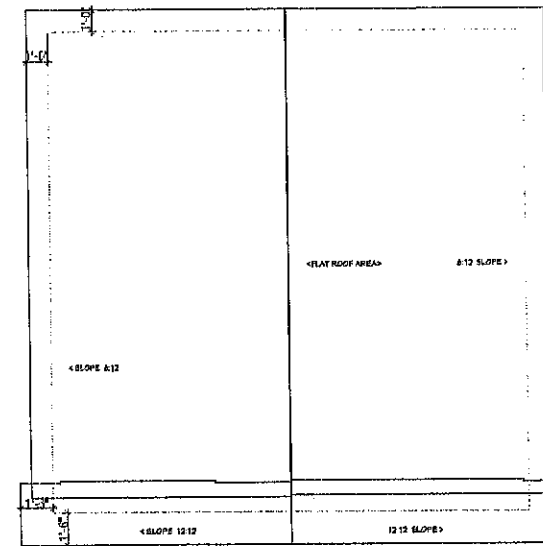
GARAGE BRACKET DETAIL

1" = 1'-0"



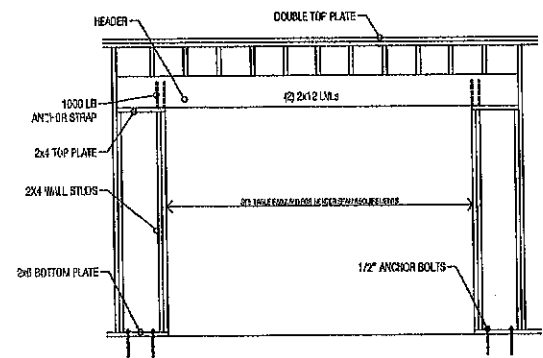
GARAGE - FOUNDATION PLAN

1/4" = 1'-0"



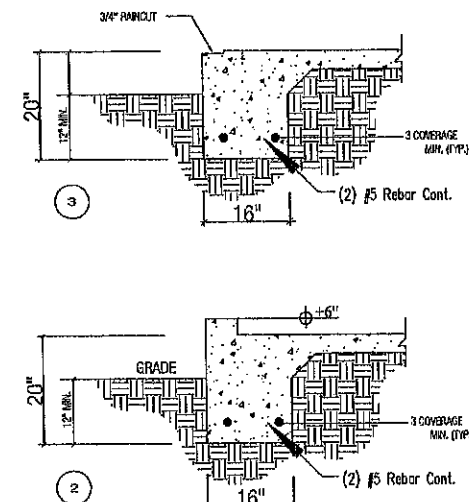
ROOF PLAN

1/4" = 1'-0"



GARAGE DOOR OPENING

3/8" = 1'-0"



GARAGE FOUNDATION DETAIL

3/4" = 1'-0"

**HOME PATTERNS** crafted simplicity  
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 (864) 278 0068 INFO@HOMEPATTERNS.COM

Revisions/Additions By Others:

Date of Issue: April 9, 2023

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