



# MERIDIAN

## LAND SERVICES, INC.

CIVIL ENGINEERING | LAND SURVEYING | PERMITTING | SOIL & WETLAND MAPPING | SEPTIC DESIGN | ENVIRONMENTAL

Office: 31 Old Nashua Road, Suite 2, Amherst, NH 03031

Mailing: PO Box 118, Milford, NH 03055

Phone: 603-673-1441 \* Fax 603-673-1584

[www.MeridianLandServices.com](http://www.MeridianLandServices.com)

February 1, 2021

Town of Barrington – “Qualifications for Barrington Engineering Services”

333 Calef Highway – P.O. Box 660

Barrington, New Hampshire 03825

To Whom it May Concern,

Meridian Land Services, Inc. (Meridian) is pleased to respond to your Request for Qualifications (RFQ) for Professional Engineering Services for the Town of Barrington. As demonstrated in the following pages, Meridian is well qualified to provide the requested services. Since 1992, Meridian has provided engineering, surveying, and environmental services to the public and private sectors throughout New Hampshire, with an emphasis in the southern portion of the state. We are confident that you will find us to be leaders in our profession when considering our experience, knowledge, and work product.

Due to Meridian’s vast experience, we understand the review and approval process, and the importance of receiving timely project reviews. Therefore, having several disciplines in-house, we feel that we have a unique ability to be able to provide the town the full spectrum review service it is seeking.

We have reviewed the RFQ in detail, understand its background and scope of services, and consider ourselves extremely well qualified to perform the requested services. This package contains and addresses the required documentation stated in the RFQ.

We look forward to the opportunity to meet with you to answer your questions and to further describe our services and qualifications in more detail.

Respectfully,

Bradley J. Casperson, PE



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## **QUALIFICATIONS FOR BARRINGTON ENGINEERING SERVICES**

February 1, 2021

Prepared for:  
Town of Barrington  
333 Calef Highway – P.O. Box 660  
Barrington, New Hampshire 03825



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# **Profile**





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## **CLIENT SERVICE**

Since 1992, ***Meridian Land Services, Inc.***, has been providing professional Civil Engineering, Land Surveying and Environmental services to our clients. We are committed to the highest quality and the most efficient professional services using the most up-to-date technology and equipment. The firm's practice concentrates on providing a full range of services for site development projects and designs to both our private clients and governmental agencies.

## **CORPORATE ORGANIZATION**



***Meridian Land Services, Inc.***, is a wholly owned corporation of its principals and associates, maintaining an office at 31 Old Nashua Road in Amherst, New Hampshire.

Current staff consists of Professional Civil Engineers, Licensed Land Surveyors, Certified Soil Scientists, Permitted Septic System Designers, OSHA Certified HazMat Technicians, and Administrative Personnel.

***Meridian Land Services, Inc.***, enjoys full membership in the New Hampshire GPS Consortium.

The services provided by ***Meridian Land Services, Inc.*** typically involve the collection of field data, interpretation and conversion of the data, determination and analysis of environmental site limitations, definition of property boundaries and the preparation of engineering design, reports and permit submissions.







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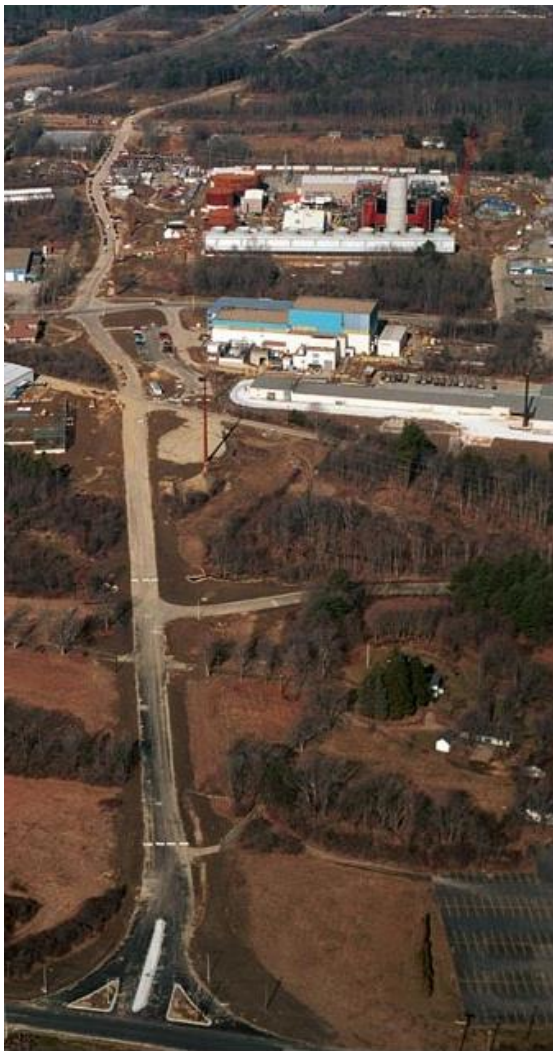
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## ENGINEERING

Meridian Land Services, Inc. provides civil engineering, site planning, permitting application coordination, and construction management services. Using state-of-the-art technology, engineers and designers have a proven record of developing, designing and assisting with the construction of many successful projects for our clients.



**Services  
include:**

### Land Planning

- Site/Subdivision Concept & Design
- Drainage, Water, Sanitary Sewer & Utility Design
- Permitting Preparation & Coordination
- Highway & Roadway Design
- Estimating & Specifications Contract Management
- Material Resource Evaluation
- Permit Assistance





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### LAND SURVEYING

Meridian Land Services, Inc. provides a full range of professional land surveying services using the most technically advanced equipment and software to meet the current high precision standards required for today's boundary and construction needs. Experience, local knowledge, accuracy, integrity and speed are the key to providing comprehensive land surveying services.

#### *Services include:*

**Land Subdivisions**  
**Construction Control & Layout**  
**Site As-Built Certifications**  
**Mortgage Certifications**  
**Global Positioning System (GPS)**  
**Control/Location**  
**Property Boundary Surveys and Research**

**Topographic and Hydrographic Surveys**  
**Photogrammetric Control Surveys**  
**Property Monumentation**  
**Legal Descriptions**  
**ALTA/ACSM Title Surveys**  
**Hazardous Materials Surveys**

Meridian Land Services, Inc. is a member of the NH GPS Consortium, a collaboration of New Hampshire land surveying firms, which own and maintain a system of the most up to date global positioning equipment in the state. The survey staff provides technical assistance and survey support to many projects such as:

- Control surveys, compliance plans and layout for extensive hazardous waste remediation projects
- Ground control, topographic surveys, layout, construction earthwork verification and control tower construction assistance for many large airports in New England
- Boundary control surveys, registry of deeds research and evaluation, topographic surveys, subdivision lot determination, deed preparation, construction control, and layout and final as-built surveys of residential, commercial and industrial projects
- Provide aerial control surveys for private and municipal survey projects using the state-of-the-art TOPCON Dual Frequency/ 72 Channel, G3 Enabled GNSS GPS Receivers





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## ENVIRONMENTAL SERVICES

Meridian Land Services, Inc. has a team of highly trained and fully qualified wetland and soils scientists. Preparation of accurate and detailed wetlands and soils delineations and mapping has become an integral part of the site development process and essential in the preparation of environmental permit applications for local state and federal agencies.

### *Services include:*



**Wetland Delineation and Classification**  
**Preliminary Site Feasibility**  
**Wetland Restoration and Mitigation**  
**Site Specific Soil Survey**  
**High Intensity Soil Services**  
**Wildlife Assessments and Baseline Reports**  
**Vernal Pool Identification**  
**Residential and Commercial Septic System Design**  
**Certified Septic Inspections**  
**Commercial Septic Use Assessments**  
**Shoreland Protection Permits and Compliance**  
**Lake Front Site Assessments**

In addition, Meridian's environmental scientists have many years of experience in the design of subsurface sanitary sewer disposal systems from a simple single-family residential system to complex multi-family and large commercial and industrial disposal systems. The environmental staff has undertaken and/or provided support services to many projects such as:

- Delineation of existing resources, evaluation of existing site development capabilities, evaluation of impacts, permitting and ordinance reviews, preparation of mitigation/replication, and assist with the permit compliance and periodic reporting.
- Development of subsurface sanitary sewer disposal systems using conventional system construction or the most up to date environmental solutions
- Assist clients with compliance fact finding and reporting to local, state and federal agencies



# **Project Team**





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## Engineering Department Key Personnel

### **Douglas V. Brodeur, PE – Project Team Manager**

Project Manager

*New Hampshire Professional Engineer #12986*

*New Hampshire Permitted Designer of Subsurface Disposal Systems #1619*

*Local Public Agency (LPA) Certificate*

*Certified PADI Diver*

*Hydraulic Engineering College River Analysis System (HEC-RAS) Certified*

*Surveyor in Training Certificate*

### **Samuel R. Foisie, PE**

Project Manager

*New Hampshire Professional Engineer #16537*

### **Bradley J. Casperson, PE**

Project Technician

*New Hampshire Professional Engineer #16673*

### **Trevor R. Yandow, EIT**

Project Technician

*New Hampshire Engineer in Training #6697*

## Landing Surveying Department Key Personnel

### **Kenneth C. Clinton, LLS / PLS**

President

*New Hampshire Licensed Land Surveyor #871*

*Massachusetts Professional Land Surveyor #48650*

## Environmental Department Key Personnel

### **Thomas E. Carr, CSS/CWS**

Treasurer & Environmental Department Manager

*New Hampshire Certified Wetland Scientist #42*

*New Hampshire Certified Soil Scientist #18*

*New Hampshire Permitted Designer of Subsurface Disposal Systems #931*

*New Hampshire Certified Septic System Evaluator #13*

*Massachusetts Title 5 Soil Evaluator #SE13261*

*Massachusetts Title 5 Septic System Inspector #SI13195*



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## **Douglas V. Brodeur, PE**

**Project Manager**

### **Profile**

Mr. Brodeur is a Project Manager at Meridian Land Services, Inc., responsible for all aspects of commercial and residential site design, including preparation of site, grading, drainage, erosion control, and utility plans, storm water management designs, and the preparation of applications for municipal, state, and federal permits. Additional responsibilities include interacting with clients, tasking technicians, and representing projects before municipal boards and state agencies. Mr. Brodeur is also responsible for maintaining engineering quality within the corporation.

Mr. Brodeur provides over 20 years of experience in the civil engineering field. The following are recent examples of his work.

### **Recent Project Examples**

Amherst Subaru Relocation; Amherst, NH

35,000 square foot dealership with 5.5-acre (411 space) parking lot

Lower Bay Road; Sanbornton, NH

4500 linear foot roadway reconstruction and rehabilitation

Tenney Place Apartments; Lowell, MA

144-unit, 4 building apartment complex

FM Global Corporate Headquarters; Wawick, RI

367,000 sf corporate campus

St Paul's School Flood Remediation Study; Concord, NH

Hydrology and Hydraulics Study for flood damage reduction and design of Hargate Dam

The Northern Pass; NH

Land and Right-of-Way acquisition management

Vermont Gas Systems Addison County Natural Gas Project, VT

41-mile pipeline design

### **Education**

University of New Hampshire

Bachelor's Degree in Civil Engineering



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## Registrations

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New Hampshire Permitted Designer of Subsurface Disposal Systems #1619

Local Public Agency (LPA) Certificate

Certified PADI Diver

Hydraulic Engineering College River Analysis System (HEC-RAS) Certified

Surveyor in Training Certificate





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## **Samuel R. Foisie, PE**

**Project Manager**

### **Profile**

Mr. Foisie is a Project Manager at Meridian Land Services, Inc., responsible for all aspects of commercial and residential site design, including preparation of site, grading, drainage, erosion control, and utility plans, storm water management designs, and the preparation of applications for municipal, state, and federal permits. Additional responsibilities include interacting with clients, tasking technicians, and representing projects before municipal boards and state agencies.

Mr. Foisie provides 6 years of experience in the civil engineering field. The following are recent examples of his work.

### **Recent Project Examples**

#### New Hope Christian Fellowship

Tax Map 31 Lot 44-1

445 NH Route 101

Bedford, New Hampshire 03310

- Preparation preliminary design plans.
- Preparation of construction and permitting plans and documents for local and state approval for the construction of a 482 square foot building addition, driveway widening, parking expansion and other associated site improvements.
- Performed pre-development and post-development stormwater calculations.
- Designed the stormwater management system to control stormwater runoff rates and volumes in compliance with the Town of Bedford. Stormwater conveyance was achieved using collection swale. Stormwater quality and quantity was provided with a detention basin.

#### Crosby Townhouses

Tax Map 19 Lot 5

159 Elm Street

Milford, New Hampshire 03055

- Preparation of construction and permitting plans and documents for local approval for the construction of a 6-unit townhome, driveway, parking, utility connections, and water management and other associated site improvements.
- Performed pre-development and post-development stormwater calculations.
- Designed the stormwater management system to control stormwater runoff rates and volumes in compliance with the Town of Milford. Stormwater quality and quantity was provided with a detention basin with a settlement forebay.



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### Old County Farm Road Bridge

Owner: Town of Wilton

Old County Farm Road

Wilton, NH 03086

- Preparation of construction plans and documents for reconstruction of the Old County Farm Road Bridge.
- Create bid documents for contractors to place a bid for the project.
- Review bids for the town and provide them with an appropriate contractor to complete the project.

### Billy Bowlegs Park

Owner: City of Fort Myers

STRAP: 084425P3000670020

951 Marsh Ave

Fort Myers, FL 33905

- Preparation of construction and permitting plans and documents for local approval and state for the reconstruction of a city park consisting of a soccer field, football field, playground, concession stand, parking, stormwater management and associated site improvements.
- Performed pre-development and post-development stormwater calculations.
- Perform justification that the FEMA floodway is not impacted by the proposed improvements.
- Designed the stormwater management system to control stormwater runoff rates and volumes in compliance with the state. Stormwater quality and quantity several interconnected dry retention ponds.

### Hanson Street Sidewalk

Owner: City of Fort Myers

Hanson Street

Fort Myers, FL 33905

- Preparation of construction and permitting plans and documents for local approval and state for construction a sidewalk along the north side Hanson street from Mont Claire Ave to Cleveland Ave.
- Improve the existing drainage conveyance via open drainage and closed drainage.
- Utility adjustments when there are conflicts with surface features and drainage pipes.

### **Education**

Florida Gulf Coast University  
Bachelor's Degree in Civil Engineering

### **Registrations**

New Hampshire Professional Engineer #12986  
Florida Professional Engineer #88625



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## **Bradley J. Casperson, PE**

**Project Technician**

### **Profile**

Mr. Casperson is a Project Technician at Meridian Land Services, Inc., responsible for all aspects of commercial and residential site design, including preparation of site, grading, drainage, erosion control, and utility plans, storm water management designs, and the preparation of applications for municipal, state, and federal permits under the supervision of an experienced professional engineer.

Mr. Casperson provides 4 years of experience in the civil engineering field. The following are recent examples of his work.

### **Recent Project Examples**

#### Timber Owners of New England

#### Tax Map 63 Lot 1

#### Alstead, New Hampshire 03602

- Preparation preliminary design plans.
- Preparation of construction and permitting plans and documents for the design of the dam reconstruction of Cranberry Pond Dam (NH Dam #D005012) for state approval, which is classified as a low-hazard classification dam.
- Performed pre-development calculations as well as prepared stormwater watershed plans.
- Preparation and assistance in state permit application documents required for dam (NH DES Wetlands Standard Dredge & Fill permit & NH DES Dam Bureau Permit to Construct or Reconstruct a Dam), which have been obtained.
- Calculation of construction quantities and estimate.

#### Quinn Management

#### Tax Map 10 Lot 45-1

#### Hillsborough, New Hampshire 03244

- Preparation of concept plans.
- Preparation of construction and permitting plans and documents for local and state approval, including the site design for a 1,040± square foot footprint drive thru only Dunkin' Donuts and parking lot as well as a stormwater management design.
- Performed pre-development and post-development stormwater calculations as well as prepared stormwater watershed plans.
- Designed the stormwater management system to control stormwater runoff rates and volumes in compliance with the Town of Hillsborough regulations. Stormwater conveyance was achieved using swales and culverts. Stormwater runoff was mitigated utilizing an infiltration basin.



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Razzaboni Home Builders, Inc. – Mary B. Fessenden Revocable Trust

Tax Map C Lots 4-8, 20, 21 and 24

Brookline, New Hampshire 03033

- Preparation of construction and permitting plans and documents for local and state approval, including the design of a 3,800± linear foot roadway extension and 1,200± linear foot roadway upgrade as well as stormwater management system, for a 35-lot single-family residential subdivision.
- Performed pre-development and post-development stormwater calculations as well as prepared stormwater watershed plans.
- Designed the stormwater management system to control stormwater runoff rates and volumes in compliance with the Town of Brookline and NH DES Alteration of Terrain regulations. Stormwater conveyance was achieved using stone lined roadside ditches and swales. Stormwater was mitigated utilizing a wet pond and two detention basins.
- Preparation of state permit application documents required for subdivision (NH DES Alteration of Terrain permit and NH DES Wetlands Standard Dredge & Fill permit), which have been obtained.

The Stabile Companies

Tax Map 48 Lot 48

Milford, New Hampshire 03055

- Preparation of construction and permitting plans and documents for local and state approval, including improvements to the original stormwater management design necessary to re-permit an existing NH DES Alteration of Terrain permit for the 3<sup>rd</sup> phase of this project with a total of 24 additional planned residential detached condominiums as well as modification to the original sewer design.
- Performed pre-development and post-development stormwater calculations as well as prepared stormwater watershed plans.
- Designed the stormwater management system to control stormwater runoff rates and volumes in compliance with the Town of Milford and NH DES Alteration of Terrain regulations. Stormwater conveyance was achieved using an open and closed drainage system and swales. Stormwater runoff was mitigated utilizing a detention basin.
- Preparation of state permit application documents required for subdivision (NH DES Alteration of Terrain permit), which has been obtained.
- Site inspections and preparation of EPA Stormwater Pollution Prevention Plans (SWPPP) reports.

### Education

University of New Hampshire  
Bachelor's Degree in Civil Engineering  
Minor in Architectural Studies

### Registrations

New Hampshire Professional Engineer #16673



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## **Trevor R. Yandow, EIT** Project Technician

### Profile

Mr. Yandow is a Project Technician at Meridian Land Services, Inc., responsible for all aspects of commercial and residential site design, including preparation of site, grading, drainage, erosion control, and utility plans, storm water management designs, and the preparation of applications for municipal, state, and federal permits under the supervision of an experienced professional engineer.

Mr. Yandow provides 4 years of experience in the civil engineering field. The following are recent examples of his work.

### Recent Project Examples

#### Lymo Construction Company, Inc.

##### Tax Map 14 Lot 44-34

##### Londonderry, New Hampshire 03053

- Prepared multiple conceptual site layouts for the client to review.
- Preparing site plans for submission to town boards and state agencies for review and approval.
- Prepared grading plans for parking areas to meet the needs of the client and meet local regulations as well as federal ADA requirements.
- Designed project to meet Alteration of Terrain (AoT) permit requirements for approval from the NH Department of Environmental Services.
- Prepared and designed a stormwater wet pond to provide treatment and attenuation of stormwater.
- Evaluated and designed a sewer pump station and force main to connect to an existing manhole structure.

#### Pendleton Farms

##### Tax Map 1 Lots 12, 13-2 & 13-3

##### Amherst, NH 03031

- Design and permitting of a 28-unit condominium development and 1,600 feet of road.
- Prepared multiple concept plans for discussions with the client.
- Designed the roadway and associated infrastructure.
- Analyzed the offsite drainage area upstream of a wetland crossing to size the culvert.
- Designed the gravel wetland utilizing the specifications published by the UNH Stormwater Center.



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### Merrimack Townhomes

#### Tax Map 4D-4 Lot 43-1

#### Merrimack, New Hampshire 03054

- Design and permitting of nine multifamily buildings, approximately 800 linear feet of roadway, municipal sewer and water distribution systems, stormwater infiltration systems, closed drainage and associated parking areas.
- Prepared multiple concept plans for discussions with our client and the town of Merrimack.
- Prepared pre- and post-development drainage area plans and stormwater runoff calculations.
- Assisted with the design of the municipal sewer system.
- Designed the closed drainage system to convey stormwater to an onsite infiltration system.
- Designed treatment swales to capture and treat runoff from smaller areas of the development.
- Prepared site grading plans to minimize disturbance.
- Performed periodic inspections of the drainage system and site grading to ensure it was being constructed per plan.

### Merrimack Traffic Circle

#### Baboosic Lake Road & Turkey Hill Road

#### Merrimack, New Hampshire 03054

- Prepared several concept plans for a roundabout and tee intersection for municipal review.
- Prepared detailed grading and drainage plans to tie into the existing drainage systems.
- Evaluated utility separation concerns.
- Prepared detailed erosion control and construction plans.
- Prepared road plan and profiles required to tie into existing grade at critical locations of residential driveways and town roadways.

### Olson Subdivision

#### Tax Map 2 Lot 44

#### Hollis, New Hampshire 03049

- Prepared driveway profile and grading plans to meet local requirements and access the lots.
- Prepared pre- and post-development drainage area plans and stormwater runoff calculations.
- Designed a series of conveyance swales to direct runoff to an existing pond on the lot.
- Designed a detention basin to mitigate flows from the 2, 5, 10 and 25-year storm events.
- Designed outlet protection at stormwater discharge locations to dissipate flows during the design storm events.

### **Education**

University of New Hampshire  
Bachelor's Degree in Civil Engineering

### **Registrations**

New Hampshire Engineer in Training #6697



## **Related Experience**







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### Civil Engineering Services

Meridian Land Services, Inc. provides professional Civil Engineering Services for commercial, industrial, residential, and institutional projects. We work through all phases of the design and development of a project, from the formulation of concepts to the issuance of final engineering plans and reports. This includes the preparation of municipal, state, and federal permit applications and representing your project before municipal and state officials. Our Staff includes Licensed Professionals, Project Managers, and Technicians. Services provided by the engineering staff include:

#### Site Design

- Commercial and Retail
- Industrial
- Municipal
- Schools
- Residential Developments
- Grading Plans
- Erosion Control
- Parking Plans
- Lighting Plans
- Utility Connections and Extensions
- Storm Water Management Systems
- Subsurface Septic Disposal Systems

#### Subdivisions

- Road Design
- Drainage Systems
- Sanitary Sewers
- Erosion Control

#### Reports

- Stormwater Management
- Traffic Impact

#### Construction Services

- Storm Water Pollution Prevention Plans
- EPA Notice of Intention
- Preparation and Inspections



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## Surveying Services

Meridian Land Services, Inc. provides a full range of professional land surveying services to meet the high precision standards required for today's boundary and construction needs. Experience, local knowledge, accuracy, integrity, and efficiency are the key to providing comprehensive land surveying services. Our Staff includes Licensed Professionals, Project Managers, Technicians and Field Crew Personnel. Services provided by the survey staff include:

### Boundary

- Standard Boundary Plans
- ALTA / ACSM Land Title Survey Plans
- Boundary Line Agreement Plans
- Deeds & Records Research
- Lot Corner Monuments & Lot Line Marking
- Encroachment / Dispute Consulting
- Expert Witness Testimony

### Subdivision

- Subdivision Plans
- Lot Line Adjustment Plans
- Condominium

### Easements

- Subdivision Plans
- Lot Line Adjustment Plans
- Condominium

### Topographic

- Subdivision Plans
- Lot Line Adjustment Plans
- Condominium

### GPS (Global Positioning System)

- Topographic Surveys
- Aerial Target Locations
- Horizontal & Vertical Control

### Construction Services

- Road & Improvement Layout
- Right of Way Monuments
- Plot Plans
- As-built Plans

### Other Services

- Deed Descriptions
- Tax Map Updates
- FEMA – Elevation Certificates & LOMAs



# MERIDIAN

## LAND SERVICES, INC.

CIVIL ENGINEERING | LAND SURVEYING | PERMITTING | SOIL & WETLAND MAPPING | SEPTIC DESIGN | ENVIRONMENTAL

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Mailing: PO Box 118, Milford, NH 03055

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### Permitting Services

Meridian Land Services, Inc. provides a full range of permitting services to meet the regulatory requirements of Municipal, State and Federal Agencies, Boards, & Commissions. We pride ourselves in our understanding the layered regulations and being able to navigate our client's project through to completion. Common Municipal Boards, Commissions, and State/Federal Departments with typical permits and approvals required include:

#### Municipal Permitting

- Planning Board
  - Subdivision
  - Site Plan
  - Conditional Use
  - Scenic Road Impacts
- Zoning Board of Adjustment
  - Variances
  - Special Exceptions
  - Equitable Waivers
- Conservation Commission – Environmental Endorsements
- Historic Heritage Commission – Project Review
- Selectmen / Town Council
  - Road Acceptance & Discontinuance
  - Class VI Driveway Waiver Agreement
- Department of Public Work
  - Driveway Permit
  - Sanitary Sewer Extension

#### New Hampshire Permitting

- Department of Environmental Services Permitting
  - Subsurface Systems Bureau
    - Subdivision Approval
    - Septic System Design Approval
  - Wetlands Bureau – Dredge and Fill Permit
  - Alteration of Terrain Bureau – Alteration of Terrain Permit
  - Dam Bureau – Dam Construction / Reconstruction
  - Shoreland Program – Shoreland Water Quality Protection Act
- Department of Transportation – Driveway Permits

#### Federal Government Permitting

- EPA
  - Construction General Permit
  - Notice of Intent (NOI)
- Army Corps of Engineers
- FEMA – Elevation Certificates & Letter of Map Amendments (LOMA)
- US Fish and Wildlife



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### Soils and Wetlands Services

Meridian Land Services, Inc. offers a full scope of professional Soil and Wetland related services. Our Certified Soil Scientists prepare High Intensity Soil Maps and Site Specific Soil Maps for a variety of uses, including lot sizing, septic system location, and hydrologic groups for storm water runoff calculation. Similarly, our Certified Wetlands Scientist delineate wetlands to prepare maps for identifying higher value wetlands on a property to help avoid environmentally sensitive areas and develop a better project design. Through experience, regulatory knowledge, and foresight, we provide our clients with a smoother permitting process. Our Staff includes Licensed Professionals for MA, NH & ME, Apprentices and Project Managers. Services provided by the soil and wetland staff include:

#### Wetland Delineation

- Delineation of Jurisdictional Wetlands
- Permit Narratives and Mitigation Evaluation & Proposals
- Functional Assessments, Monitoring and Ranking of Wetlands based on Functions and Values
  - Vernal Pool Identification, Documentation and Ranking
  - US Fish and Wildlife Classification of Wetlands and Wetland Systems

#### Soil Mapping

- Site Specific Soil Mapping and Reporting
- High Intensity Soil Mapping and Reporting
- Soil Evaluations for Septic Systems, Recharge Basins, and Infiltration Basins
  - Permeability Testing for Drainage Recharge Design (Ksat)

#### Permitting

- Wetlands Permits
- Shoreland Water Quality Protection Act Permitting
- Water Resource Management Plans and Reports

#### General Consulting

- Site Walks to Evaluate Development Potential
- Meetings to Discuss Permitting Needs and Regulatory Hurdles
- Concept Evaluations Based on Site Conditions and Permitting
- Requirements

#### Construction Services

- Erosion Control Monitoring
- Construction Inspections and Reporting as Required
- Bid Document Preparation, Solicitation and Management for Restoration and Creation Sites

#### Other

- Expert Witness Testimony



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### Septic System Design Services

Meridian Land Services, Inc. has extensive experience in the design and permitting of a full range of septic treatment systems for homeowners, builders, and developers. We have prepared hundreds of subsurface sewage disposal systems for single-family homes and many disposal systems for multi-unit residential complexes, retail and commercial buildings and institutional facilities. Our Septic System Designers have a comprehensive knowledge of state and local regulations and the integrity to accurately assess the complexity of your site to determine the most appropriate design. Our Staff includes Permitted Designers in NH, MA, and ME. Services provided by the septic system design staff include:

#### Septic System Design

- New Construction
- Failed System Replacement Designs
- P.E. Permitted Designer On-Staff for Flows Exceeding 2,500 Gallons Per Day
- Replacement In-Kind Testing and Application Preparation
- Comprehensive Septic System Inspection by GSDI Certified Inspectors
- Soil Testing for Septic System Placement (Test Pit and Percolation Test)
- Licensed Consultants in Both NH and MA (Title 5) for Soil Evaluation and System Inspection
- Expert Witness Testimony

#### Wetland Delineation

- Identification and Location of Jurisdictional Wetlands for Septic System and/or Home Setback

#### Permitting

- Commercial and Residential Septic Permitting
- Wetlands Permits for Driveway Access to Your Lot
- Shoreland Water Quality Protection Act Permitting for New and Redevelopment Projects
- Water Resource Management Plans and Reports for additions, etc.

#### General Consulting

- Site Walks to Evaluate Development Potential
- Meetings to Discuss Permitting Needs and Regulatory Hurdles
- Concept Evaluations Based on Site Conditions and Permitting Requirements

#### Construction Services

- Installation Assistance and Inspection
- Amended Plan Preparation (As-Built)
- Construction Inspections and Reporting as Required for Municipal, State and Federal projects
- Bid Document Preparation, Solicitation and Management for Commercial Projects



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### Environmental Services

Meridian Land Services, Inc. provides a full range of professional Environmental Services to help with evaluating land for potential site improvements or development. Our on-staff Certified Soil Scientist and Wetlands Scientist possess extensive up to date knowledge of the regulatory requirements and maintain a clear understanding of all aspects of the permitting process. Based on the results of our evaluation of your site, we will provide a practical, economical, and sound environmental recommendations to help develop land within the constraints of the regulations. Our Staff includes Licensed Professionals in NH, MA & ME, and Project Managers. Services provided by the environmental staff include:

#### Commercial Property Transactions

- Evaluations of existing operational septic systems, on plan and in ground, to assess use potential and functional relationship to your intended use by a GSDI Certified System Evaluator.
- Haz-mat (Hawopper) Certified Wetland & Soil Scientists On-Staff
- Soil Testing for Septic System Placement (Test Pit and Perc. Test)
- Licensed Consultants in Both NH and MA (Title 5) for Soil Evaluation and System Inspection
- Expert Witness Testimony

#### Wetland Delineation (See Soils and Wetlands Services)

#### Soil Mapping (See Soils and Wetlands Services)

#### Permitting

- Wetlands Permits
- Shoreland Water Quality Protection Act Permitting
- Commercial and Residential Septic Permitting
- Water Resource Management Plans and Reports

#### General Consulting

- Site Walks to Evaluate Development Potential
- Meetings to Discuss Permitting Needs and Regulatory Hurdles
- Concept Evaluations Based on Site Conditions and Permitting Requirements



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## Swartz Pond Dam (NH Dam #D147031)



**Client:** Harry Flemming

**Location:** Tax Map 219 Lot 1  
Lyndeborough, New Hampshire 03082

### **Project Scope and Summary:**

Develop a design for the reconstruction of Swartz Pond Dam to replace an existing 20-foot-wide concrete spillway.

The approved dam design for the dam reconstruction includes a drop inlet pond control and a 20-foot-wide riprap lined emergency spillway. This project required obtaining a NHDES Dam Bureau Permit to Construct or Reconstruct a Dam and NHDES Wetlands Dredge and Fill Permit. This project obtained a construction extension through the state and construction has not begun.





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## Cranberry Pond Dam (NH Dam #D005012)



**Client:** Timber Owners of New England

**Location:** Tax Map 63 Lot 1  
Alstead, New Hampshire 03602

### **Project Scope and Summary:**

Develop a design for the reconstruction of Cranberry Pond Dam to replace an existing mortar with stone spillway between ledge outcropping and natural spillway.

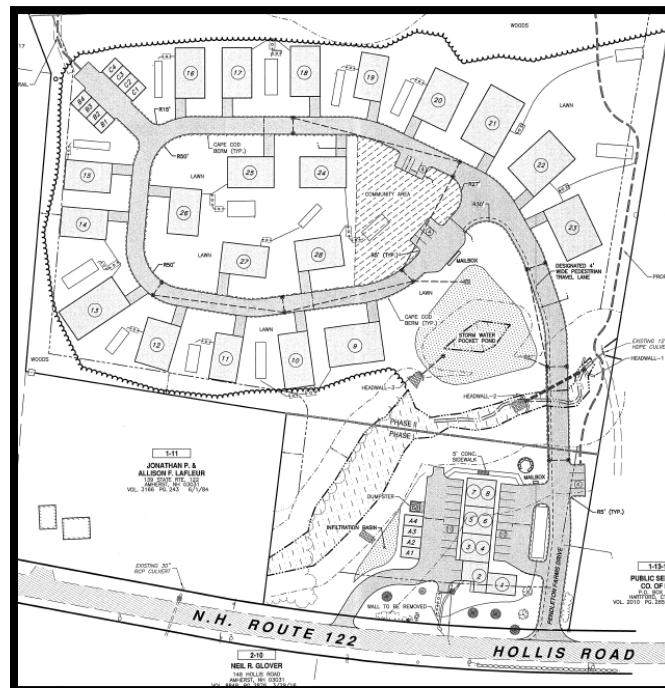
The approved dam design for the dam reconstruction includes a drop inlet pond control and a 15-foot-wide riprap lined emergency spillway. This project required obtaining a NHDES Dam Bureau Permit to Construct or Reconstruct a Dam and a NHDES Wetlands Dredge and Fill Permit. This project has started construction and has been stabilized to continue construction in the Spring.



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## Pendleton Farms



**Client:** Ducal Development, LLC.

**Location:** Tax Map 1 Lots 12, 13-2 & 13-3  
137 Hollis Road  
Amherst, New Hampshire 03031

### **Project Scope and Summary:**

Develop a 28-unit condominium housing development and associated 1,600± linear foot roadway to access the property.

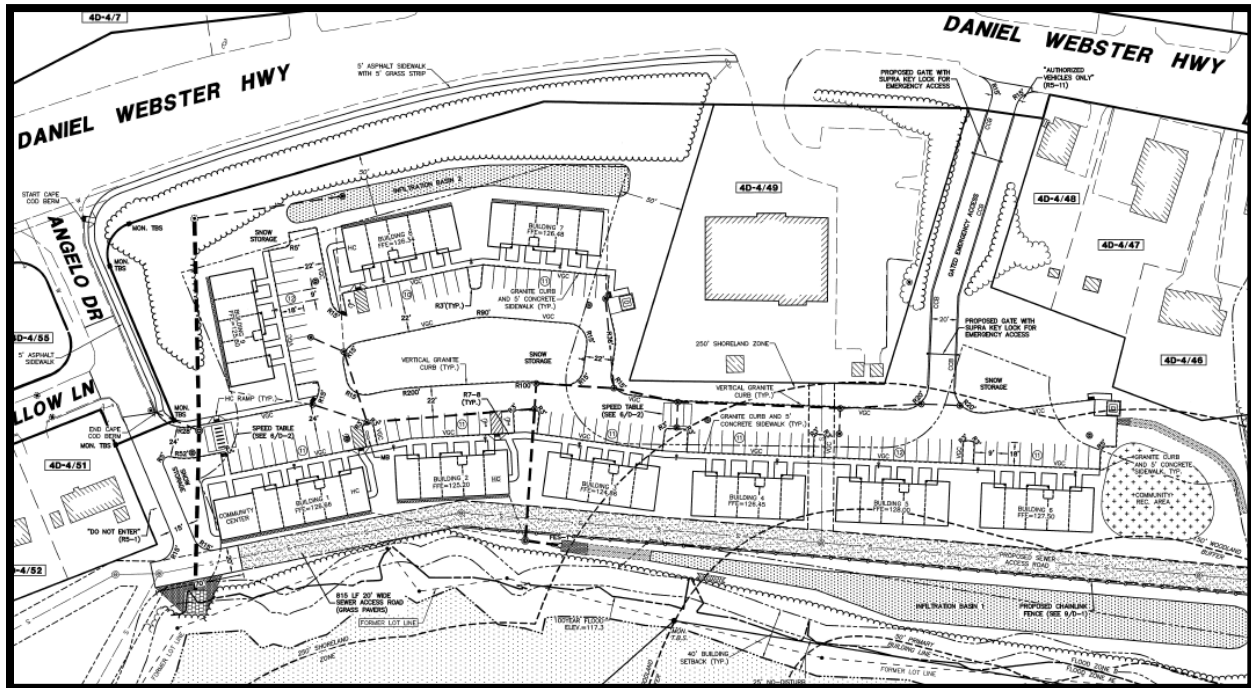
This project required the design of a tier 1 stream crossing, which resulted in a 42" reinforced concrete pipe. Stormwater was mitigated utilizing a closed drainage system discharging to a gravel wetland to the specifications published by the UNH Stormwater Center as well as a small infiltration basin to treat the front portion of the development. This project required obtaining a local approvals, NHDES Subdivision Approval, NHDES Alteration of Terrain Permit, NHDES Wetlands Dredge and Fill Permit and a NHDOT Driveway Permit. This project was successful, and the roadway has been fully constructed.



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## Merrimack Townhomes



**Client:** NeighborWorks Southern NH  
**Location:** Tax Map 4D-4 Lot 43-1  
315 Daniel Webster Highway  
Merrimack, New Hampshire 03054

### **Project Scope and Summary:**

Develop a site plan for 9 multifamily buildings with associated 800± linear foot roadway for access, municipal sewer and water distribution system, stormwater infiltration system, closed drainage system and parking areas.

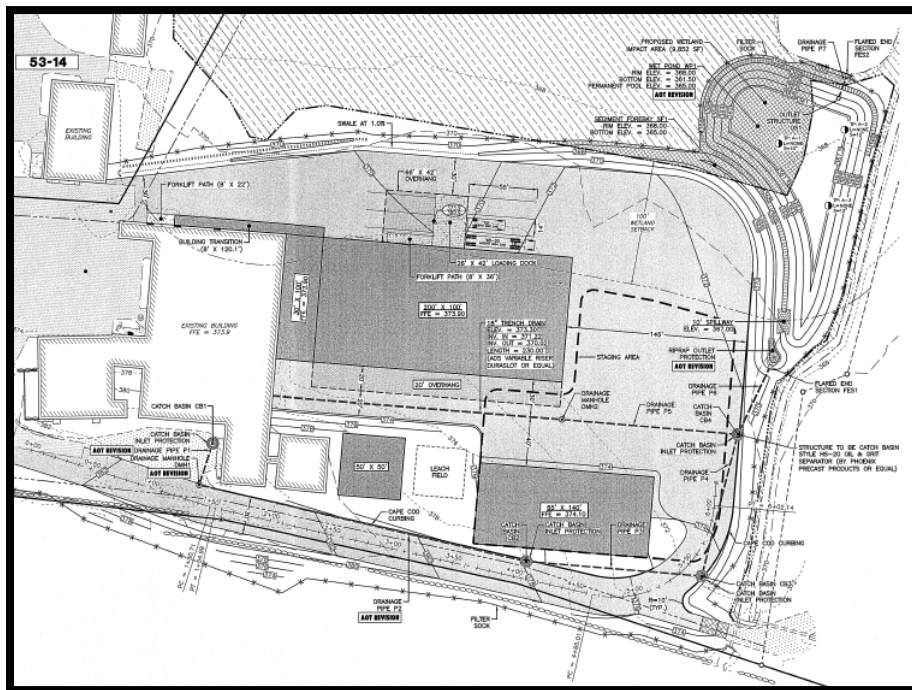
This project involved the design of the municipal sewer system. Stormwater was mitigated utilizing a closed drainage system discharging to an infiltration system and treatment swales to treat runoff from smaller areas of the development. The project required obtaining local approvals, a NHDES Alteration of Terrain Permit, a NHDES Shoreland Permit and a NHDES Sewer Connection Permit. This project was successful, and construction is complete.



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## Brookdale Fruit Farm



**Client:** Brookdale Fruit Farm

**Location:** Tax Map 24 Lot 2  
P.O. Box 389  
Hollis, New Hampshire 03049

### **Project Scope and Summary:**

Develop a site plan for a 24,000± square foot expansion of an existing warehouse facility, 9,100± square foot footprint storage building, worker housing expansion, loading docks and associate site improvement as well as a stormwater management design.

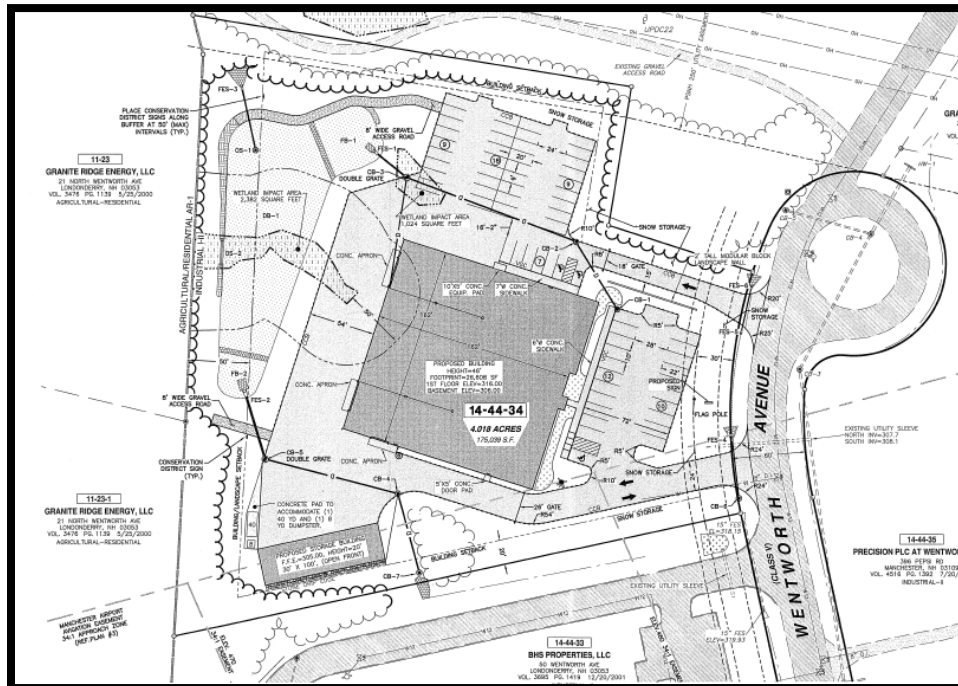
Stormwater was mitigated utilizing an open and closed drainage system that discharged to a wet pond due to the shallow depth to seasonal high-water table. This project required obtaining local approvals, NHDES Alteration of Terrain Permit and NHDES Wetlands Dredge and Fill Permit. This project was successful, and the roadway has been fully constructed.



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## Lymo Construction Company, Inc.



**Client:** Daniel Lynch  
**Location:** Tax Map 14 Lot 44-34  
49 Wentworth Avenue  
Londonderry, New Hampshire 03053

### Project Scope and Summary:

Develop a site plan for a 26,600± commercial warehouse facility with associated paved access, parking, utilities, and stormwater mitigation infrastructure.

This project involved the design of a sewer force main and pump station to an existing manhole structure for the warehouse. Stormwater was mitigated utilizing a wet pond due to the shallow depth the seasonal high-water table. This project required obtaining local approvals, a NHDES Alteration of Terrain Permit and NHDES Wetlands Dredge and Fill Permit. This project was successful, and construction is complete.



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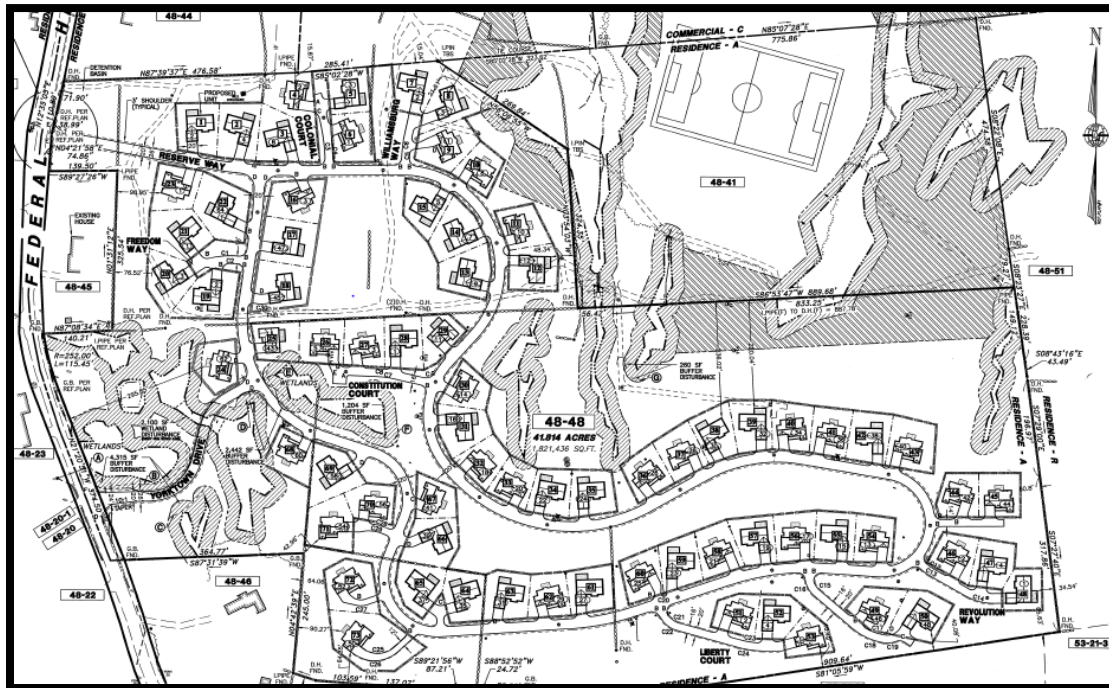
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## The Reserve at Federal Hill



**Client:** The Stable Companies  
**Location:** Tax Map 48 Lot 48  
87 Federal Hill Road  
Milford, New Hampshire 03055

### **Project Scope and Summary:**

Develop a 73-unit, age targeted, condominium development serviced by private roads and utilities including water, sewer, and drainage on 61 acres with 19 acres of open space.

This project involved extending sewer and water utility for over a mile from the center of Milford. Stormwater was mitigated utilizing an open and closed drainage system that discharge to detention basins on site and treatment swales. The project required obtaining local approvals, NHDES Subdivision Approval, NHDES Alteration of Terrain Permit, NHDES Wetlands Dredge and Fill Permit and a NHDES Sewer Connection Permit. This project is primarily construction with the last phase of construction currently ongoing for the construction for the last sections of roadway and 28-units. This last phase of construction required obtaining an amended NHDES Alteration of Terrain Permit to bring the last phase into compliance with the current regulations.



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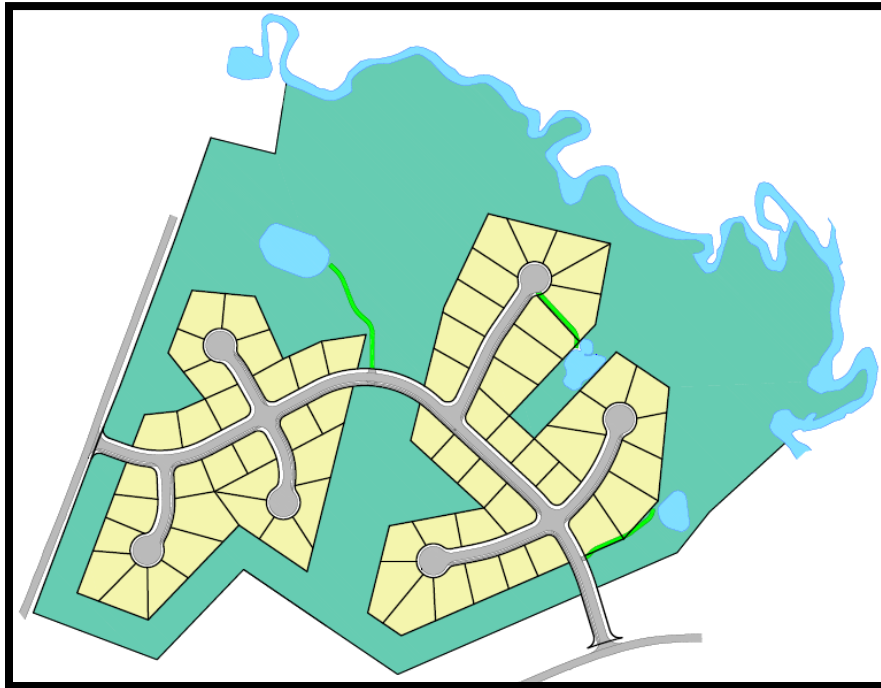
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## Greenfield Farms



**Client:** Greenfield Management, LLC.

**Location:** Tax Map 7C Lots 28, 30, 40 and 40-1  
Wire Road and Whispering Pine Lane  
Merrimack, New Hampshire 03054

### **Project Scope and Summary:**

Develop a 66-lot cluster subdivision development serviced by sewer and water accessed by 4,300± linear feet of roadway.

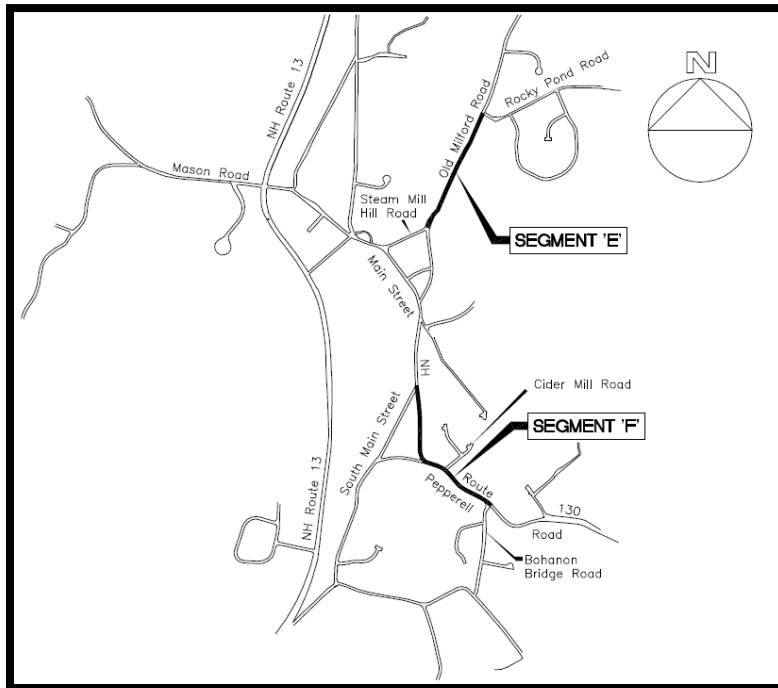
This project involved a water line extension down Wire Road as well as a sewer siphon design under Baboosic Brook from Barbie Court. Stormwater was mitigated utilizing a closed drainage system to 3 infiltration basins, a treatment swale and subsurface infiltration systems for several lot houses. The project required obtaining local approvals, a NHDES Alteration of Terrain Permit and a NHDES Sewer Connect Permit. This project is currently under construction and is substantially complete.



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## Town of Brookline – Sidewalk Enhancement Project



**Client:** Town of Brookline

**Location:** Old Milford Road & N.H. Route 130  
Brookline, New Hampshire 03033

### **Project Scope and Summary:**

Develop design for the construction of 2,425± of sidewalk along Old Milford Road and 2,950± of sidewalk along N.H. Route 130.

This project involved working with the Town of Brookline to determine a preferred design keeping considerations in mind, such as cost, environmental impacts, utilities and private property and traffic and construction impacts. Upon finalizing the design, bid documents and specifications were prepared for bidding. This project was funded by the Federal Highway Association and required the design to meet local, state, and federal regulations, including but limited to the NHDOT and ADA specifications. This project was successful, and construction is complete.

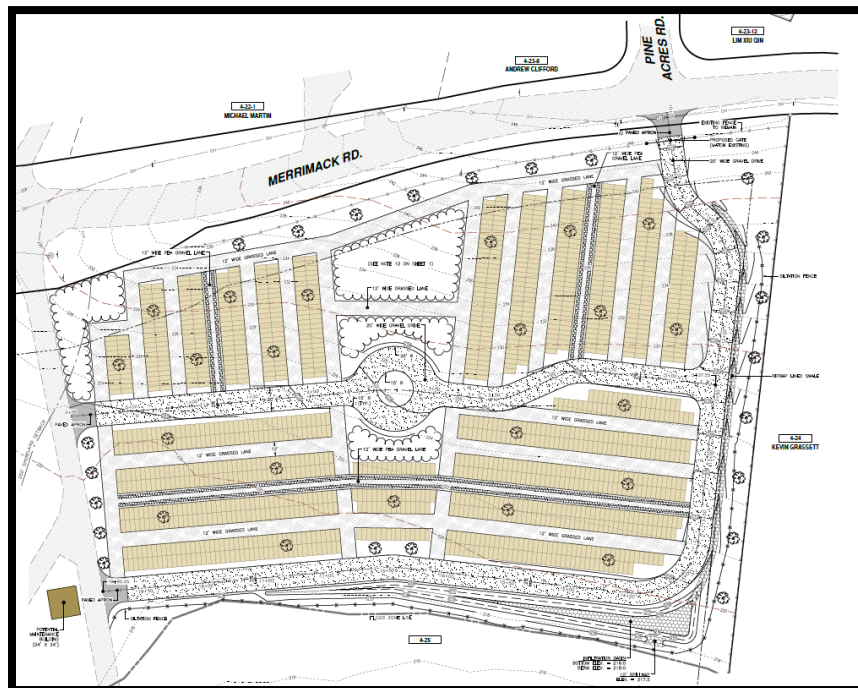




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## Forestview Cemetery



**Client:** Town of Amherst

**Location:** Tax Map 4 Lot 25  
Merrimack Road  
Amherst, New Hampshire 03031

### **Project Scope and Summary:**

Develop site plan for 1,509 burial plot cemetery access by 1,500± gravel drives with paved aprons.

This project involve correspondence with the Town of Amherst to determine a preferred layout and design keeping cost in mind while also avoiding disturbance in the flood zone located on the property. As this was a town project, no local approvals were required, and the project was split into two phases spread over 10 years in order to not require a NHDES Alteration of Terrain Permit. Stormwater was mitigated utilizing an infiltration basin that received runoff from sheet flow. This project was successful, and construction is complete for the first phase of the project.



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## Partial List of Major Projects

### Residential Projects

Adam's Way	27-Lot Subdivision	Middleton, NH
Ball Hill Road	12-Lot Subdivision	Milford, NH
Noon's Quarry	32-Lot Subdivision	Milford, NH
Barr Farms	60-Lot Subdivision	Bedford, NH
The Meadows	30-Lot Subdivision	Bedford, NH
Rolling Hills	11-Lot Subdivision	Londonderry, NH
Summerfield Condominiums	77-Unit Age Targeted Subdivision	Amherst, NH
Birch Hill Estates	41-Lot Subdivision	Brookline, NH
Hemlock Hills	68-Lot Subdivision	Greenville, NH
Blueberry Hill Estates	12-Lot Subdivision	Brookline, NH
Laurel Crest Estates	44-Lot Subdivision	Brookline, NH
Hemlock Hills	68-Lot Subdivision, (Construction Layout & Permit Coordination)	Greenville, NH
Mountain Road Estates	33-Lot Subdivision	Brookline, NH
Boynton Hill	97-Lot Subdivision	Milford, NH
West Hills	54-Lot Subdivision	Milford, NH
Ledgewood Estates	149-Lot Age Targeted Subdivision	Manchester, NH
McAfee Farm	59-Lot Subdivision	Bedford/Amherst, NH
Parker Ridge	52-Lot Subdivision	Bedford, NH
Powder Hill Estates	128-Lot Subdivision	Bedford, NH
Bedford Hills	38-Lot Subdivision	Bedford, NH
Barr Farms	60-Lot Subdivision	Bedford, NH
Van Buren Estates	43-Lot Subdivision	Goffstown, NH
Rice Lane	30-Lot Subdivision	Bedford, NH
Sawmill Brook Estates	108-Lot Subdivision (Phases 4 and 5)	Litchfield, NH
Boston Post Road	10-Lot Subdivision	Amherst, NH
Parkhurst Place	42-Unit Elderly Housing Complex	Amherst, NH
The Fells at Amherst	80-Lot Age Targeted Subdivision	Amherst, NH
The Reserve at Federal Hill	73-Lot Age Targeted Subdivision	Milford, NH
Waterford Green (Iron Horse Park)	204-Unit Multi-Family Development	Bedford, NH
The Mews at Bedford	108-Unit Age Targeted Single-Family Development	Bedford, NH



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## Commercial and Industrial Projects

Site Designs	Dunkin' Donuts	Milford, Bedford, Manchester, NH
Monitor Construction	Concord Airport	Concord, NH
Topography and Layout	Manchester Airport Glide Slope	Manchester, NH
Site Design	Storage Units	Milford, NH
Site Design	400,000 SF Warehouse, Distribution, Office and Conference Facility	Amherst, NH
Site Design	Sports and Recreation Facilities Site Expansion	Milford, NH
Site Design	Pine Valley Mill Dam	Milford, NH
	Pheasant Lane Mall	Nashua, NH / Tyngsboro, MA

## Municipal Projects

Road Design	Liberty Hill Road Reconstruction/Improvements Project	Bedford, NH
Site Design	Powder Hill Recreation Area Improvements Project	Bedford, NH
Site Survey	Bohanon Bridge Reconstruction	Brookline, NH
Septic System Design	Recreation Area	Brookline, NH
Septic System Design	Ambulance Association	Brookline, NH
Site Design	Safety Center	Brookline, NH
Base Survey and Layout	Union Square Revitalization Project	Milford, NH
Control Tower Survey	Manchester Boston Regional Airport	Manchester, NH
Site Design	Souhegan River Park Recreation Facility	Milford, NH
Site Design	Cunningham Pond Recreation Project	Peterborough, NH

## School Projects

Site Design	Riddle Brook Elementary School	Bedford, NH
Site Design	2,000-Student Middle School/ High School Complex	Bedford, NH
Site Design	Elementary School Modifications	Brookline, NH
Site Design	42,600 SF Gym/53,000 SF School Addition Winnacunnet HS	Hampton, NH
Site Design	Track and Field Hollis/Brookline High School	Hollis, NH
Site Design	20,000 SF Two-Story Addition, Middle School	Hudson, NH
Site Design	54,270 SF 800-Student, Elementary School	Hudson, NH
Site Design	800-Student Elementary School, Buker Site	Merrimack, NH
Master Plan	High School and Middle School	Merrimack, NH
Site Design	Heron Elementary School	Milford, NH
Site Design	Applied Technology Center (High School)	Milford, NH
Site Design	Goffstown High School Expansion	Goffstown, NH
Site Design	130,000 SF Arts and Humanities Center, Pinkerton Academy	Derry, NH



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### **Institutional Projects**

Site Design	New 7,925 SF Sanctuary, Manchester Christian Church	Manchester, NH
Site Design	Hospital Association, Route 13	Milford, NH
Site Design	12,800 SF Parish Hall and Multipurpose Hall, St. Elizabeth Seton	Bedford, NH
Site Design	Merrimack Park	Merrimack, NH
Site Design	Expansion Plans for Milford Medical Center, Nashua Street	Milford, NH
Site Design	Hospital Expansion and Parking Garage, St. Joseph Hospital	Nashua, NH
Site Design	New Rockingham Ambulance Facility	Nashua, NH
Site Design	11,000 SF Medical Office Building, Milford Medical Center	Milford, NH

### **Utility Projects**

525 Mega-Watt Power Plant Site Work & Industrial Corridor Road		Newington, NH
20,000 LF Waterline Extension		Manchester, NH
11,800 LF Water System Expansion		Londonderry, NH
Subdivision and Site Master Plan, 18.8-Acre Site		Amherst, NH
ALTA Surveys	Newington, Manchester, Portsmouth, NH	
Transmission Corridor Surveys	Franklin, Northfield, Belmont, Laconia, NH	

### **Hazardous Waste/Remediation Projects**

Remediation Plan Development	Roketenetz Landfill	Pelham, NH
Remediation Plan Development	Digital Equipment Corp.	Hudson, MA
Remediation Plan Development	PSNH Site	Hooksett, NH
Remediation Plan Development	West Street Reconstruction	Keene, NH
Remediation Plan Development	Henkel Corporation Inc.	Saugus, MA
Remediation Plan Development	Bow Landfill Project	Bow, NH
Survey Services	Beede Oil Remediation	Plaistow, NH
Survey Services	Savage Well Locations State Grid Control	Milford, NH
HazMat Survey	Savage Municipal Water Supply Superfund	Milford, NH
HazMat Survey, Remediation Plan Development	Phoenix Pond	Shirley, MA
HazMat Survey, Remediation Plan Development	Gilson Road Superfund	Nashua, NH
HazMat Survey, Remediation Plan Development	Woburn Industri-Plex	Woburn, MA
HazMat Survey, Construction Survey Services	Woburn Industri-Plex	Woburn, MA



# References





# MERIDIAN

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## LAND SERVICES, INC.

CIVIL ENGINEERING | LAND SURVEYING | PERMITTING | SOIL & WETLAND MAPPING | SEPTIC DESIGN | ENVIRONMENTAL

Office: 31 Old Nashua Road, Suite 2, Amherst, NH 03031

Mailing: PO Box 118, Milford, NH 03055

Phone: 603-673-1441 \* Fax 603-673-1584

[www.MeridianLandServices.com](http://www.MeridianLandServices.com)

**Dawn Tuomala**

(603) 424-5137

[dtuomala@merrimacknh.gov](mailto:dtuomala@merrimacknh.gov)

**Tad Putney**

(603) 673 8855 x213

[tputney@brookline.nh.gov](mailto:tputney@brookline.nh.gov)

**Eric Hahn**

(603) 673-2317 x404

[ehahn@amherstnh.gov](mailto:ehahn@amherstnh.gov)





# **Performance**





# MERIDIAN

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### **Project Procedures**

Upon the receipt of a task or need for a specific project by the Town of Barrington, Meridian Land Services, Inc. (Meridian) agrees to the following general procedure to implement in order to perform high quality work, meet accepted deadlines and manage costs judiciously.

- Meridian shall review the project scope of services and provide an associated fee based on anticipated hours to be spent on the task or need and services deadline.
- Upon review and acceptance of the fee and deadline for the project, Meridian shall complete the task or need by the accepted deadline in accordance with municipal, state, and federal requirements.
- If it is determined that the fee and services deadline require a modification, Meridian shall negotiate with the Town of Barrington until a fee and deadline is agreed upon.
- All tasks or needs shall be completed under the direction and supervision of a licensed professional in the State of New Hampshire.
- Each task or need shall be treated as an individual project with its own project number and invoices with descriptions of work based on the attached Fee Schedule.
- Although it is not anticipated, Meridian shall acquire a subconsultant for aspects of any project we are unable to complete.
- Meridian's staff shall respond to any project task or need in a timely manner and be available to be on site as needed.
- Meridian shall work with Town of Barrington staff and/or applicants for guidance and/or correspondence as needed.

### **Claim / Lawsuit Statement**

Meridian Land Services, Inc. has not had any claims and/or lawsuits filed against our professional liability insurance within the past 5 years.



# **Conflict of Interest Statement**





# MERIDIAN

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Meridian Land Services, Inc. (Meridian) has no conflicts of interest and other potentially conflicting interests, including but not limited to public or private relationships, affiliations, or financial interests, to declare. We shall not directly or indirectly acquire any interest that would conflict in any manner with the performance of the services. This applies to the past 5 years and the foreseeable future.

Meridian agrees to disclose and disqualify ourselves from the performance of services regarding any item that deals with a matter in which we have a conflict of interest and shall obtain a subconsultant to serve as the Engineer of Record (EOR).



