

PROPOSED SITE PLAN "TROPIC STAR CONVENIENCE" TAX MAP 238, LOT 4 ROUTE 125, BARRINGTON, NH

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APPLICANT / DEVELOPER
THE THREE SOCIOS, LLC
321D LAFAYETTE ROAD
HAMPTON, NH 03842
(603) 926-7770
Contact: JAMES MITCHELL

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
Contact: WAYNE MORRILL
Email: wmorill@jonesandbeach.com

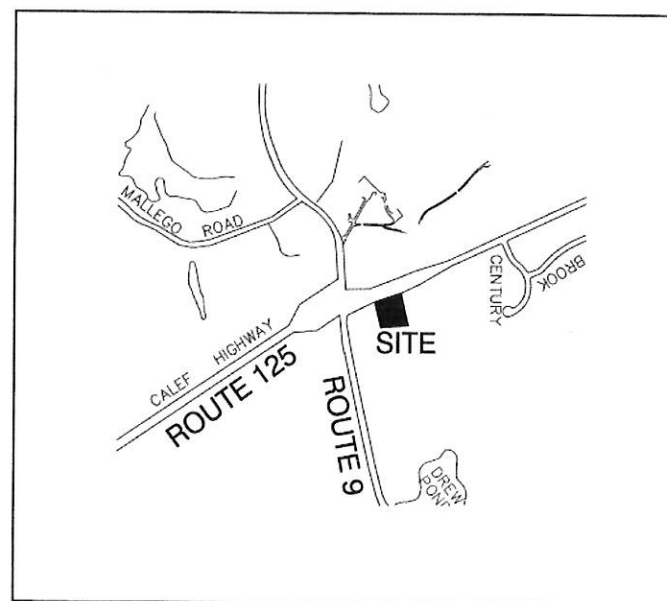
TRAFFIC ENGINEER
STEVEN G. PERNAW & CO., INC.
P.O. BOX 1721
CONCORD, NH 03302

LANDSCAPE DESIGNER
HOWARD SNYDER, RLA
26B STRONG STREET
NEWBURYPORT, MA 01950
Contact: HOWARD SNYDER
(978) 764-6155

ELECTRIC
EVERSOURCE
74 OLD DOVER ROAD
ROCHESTER, NH 03867
(603) 332-4227

TELEPHONE
FAIRPOINT
P.O. BOX 11560
PORTLAND, ME 04104
(866) 984-3001

CABLE TV
METROCAST CABLEVISION
21 JARVIS AVE.
ROCHESTER, NH 03868
(603) 335-4106



LOCUS MAP
SCALE 1" = 2000'

PERMITS

TYPE OF PERMIT

NHDOT DRIVEWAY PERMIT:
NEW HAMPSHIRE DEPARTMENT OF
TRANSPORTATION, DISTRICT SIX
P.O. BOX 740
DURHAM, NEW HAMPSHIRE 03824
(603) 868-1133
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

NHDES INDIVIDUAL SEWAGE DISPOSAL SYSTEM:
NEW HAMPSHIRE DEPARTMENT OF
ENVIRONMENTAL SERVICES
P.O. BOX 95, 29 HAZEN DRIVE
CONCORD, NEW HAMPSHIRE 03302

RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

NHDES WELL LOCATION:
NEW HAMPSHIRE DEPARTMENT OF
ENVIRONMENTAL SERVICES
P.O. BOX 95, 29 HAZEN DRIVE
CONCORD, NEW HAMPSHIRE 03302

NHDES PUBLIC WATER SYSTEM:
NEW HAMPSHIRE DEPARTMENT OF
ENVIRONMENTAL SERVICES
P.O. BOX 95, 29 HAZEN DRIVE
CONCORD, NEW HAMPSHIRE 03302

STATUS

SUBMITTED:
12/13/11
PERMIT NO.
06-027-510
DATED:
8/2/2013
EXPIRATION:
8/2/2018

SUBMITTED:
3/29/2017
PERMIT NO.
eCA2017040303
DATED:
4/03/17
EXPIRATION:
4/3/2021

PERMIT NO.
DR999864
DATED:
12/10/13
AMENDED:
4/24/17

USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT,
NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION
(NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND
LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION:
EPA STORMWATER NOTICE PROCESSING CENTER
MAIL CODE 4203M,
US EPA
1200 PENNSYLVANIA AVENUE, NW
WASHINGTON, DC 20460
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

NOTES:

- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- IN ACCORDANCE WITH BARRINGTON SITE PLAN REVIEW REGULATIONS AND RSA 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE FOLLOWING WAIVERS TO THE BARRINGTON SITE PLAN REGULATIONS WERE GRANTED BY THE BARRINGTON PLANNING BOARD FOR THIS PROJECT:
 - SECTION 4.8.2.3 WAIVER TO ALLOW THE CONSTRUCTION OF A ONE-WAY ENTRANCE DRIVEWAY WITHIN 150' OF THE DRIVEWAY ACCESS TO BARRINGTON TAX MAP 238 / LOT 5.
 - SECTION 4.7.2.2 - WAIVER TO THE MINIMUM VELOCITY IN DRAIN PIPES.
 - SECTION 4.7.2.3 - WAIVER TO THE MINIMUM DRAINAGE COVER FOR A STORM DRAIN.
 - SECTION 4.12.2(1)(b) - WAIVER TO ALLOW LIGHT TRESPASS BEYOND THE PROPERTY LINE.
- NO VARIANCES REQUIRED.

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	MONOLITHIC CONCRETE CURB
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (BM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	PERC TEST
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	RIPRAP
---	---	FRESHWATER WETLANDS
---	---	STABILIZED CONSTRUCTION
---	---	ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE

PROJECT PARCEL
TOWN OF BARRINGTON, NH
TAX MAP 238, LOT 4

APPLICANT
THE THREE SOCIOS, LLC
321D LAFAYETTE ROAD
HAMPTON, NH 03842
BOOK 3937, PAGE 0522

TOTAL LOT AREA
80,273.55 SQ. FT.
1.84 ACRES

**PLANNING BOARD
APPROVAL BLOCK**

LAND USE OFFICE

APR 24 2017

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Design: WGM Draft: GPC Date: 01/03/12
Checked: WGM Scale: AS NOTED Project No.: 10144
Drawing Name: 10144-PLAN.dwg
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ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE
AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



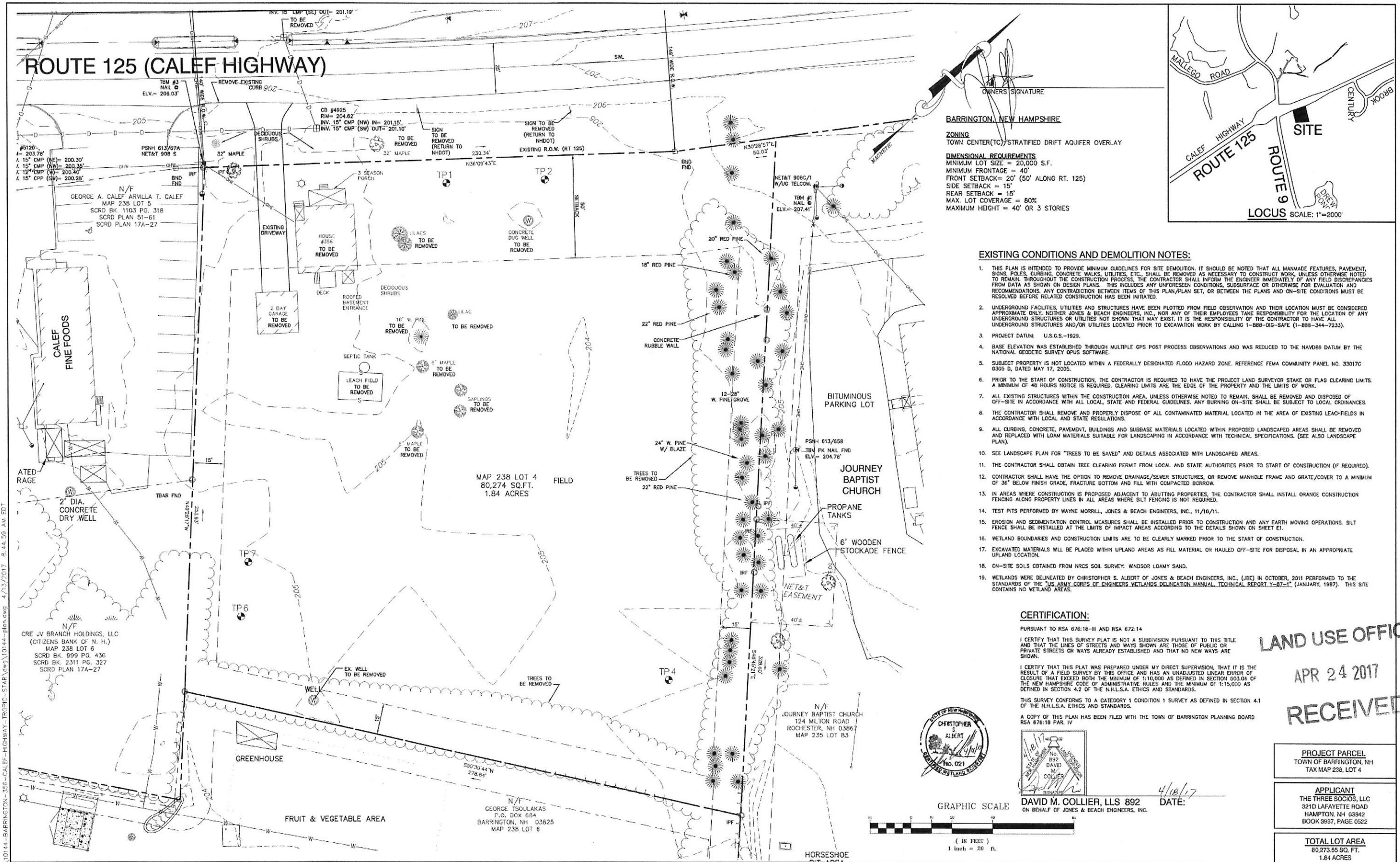
REV.	DATE	REVISION	BY
21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **COVER SHEET**
Project: **TROPIC STAR CONVENIENCE
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH**
Owner of Record: **THE THREE SOCIOS, LLC
321D LAFAYETTE ROAD, HAMPTON, NH 03842**

DRAWING No.
CS
SHEET 1 OF 23
JBE PROJECT NO. 10144

BARRINGTON ROUTE 125
JBE # 10144 REVISION 19 - 02/2016



Design: WGM Draft: GPC Date: 01/03/12
Checked: WGM Scale: AS NOTED Project No.: 10144
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21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/16	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG
REV.	DATE	REVISION	BY

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85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record:	THE THREE SOCIOS, LLC 3210 LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.
C1
SHEET 2 OF 23
JBE PROJECT NO. 10144

EXISTING CONDITIONS AND DEMOLITION NOTES:

- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- UNDERGROUND FACILITIES, UTILITIES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-686-SAFE (1-888-344-7233).
- PROJECT DATUM: U.S.G.S.-1928.
- BASE ELEVATION WAS ESTABLISHED THROUGH MULTIPLE GPS POST PROCESS OBSERVATIONS AND WAS REDUCED TO THE NAVD83 DATUM BY THE NATIONAL GEODETIC SURVEY OPUS SOFTWARE.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33017C 0305 D, DATED MAY 17, 2005.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONTAMINATED MATERIAL LOCATED IN THE AREA OF EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
- SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
- THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
- CONTRACTOR SHALL HAVE THE OPTION TO REMOVE DRAINAGE/SEWER STRUCTURES, OR REMOVE MANHOLE FRAME AND GRATE/COVER TO A MINIMUM OF 36" BELOW FINISH GRADE, FRACTURE BOTTOM AND FILL WITH COMPACTED BORROW.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE S/T FENCING IS NOT REQUIRED.
- TEST PITS PERFORMED BY WAYNE MORRILL, JONES & BEACH ENGINEERS, INC., 11/16/11.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. S/T FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
- EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.
- ON-SITE SOILS OBTAINED FROM NRCS SOIL SURVEY: WINDSOR LOAMY SAND.
- WETLANDS WERE DELINEATED BY CHRISTOPHER S. ALBERT OF JONES & BEACH ENGINEERS, INC. (JBE) IN OCTOBER, 2011 PERFORMED TO THE STANDARDS OF THE "U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1" (JANUARY, 1987). THIS SITE CONTAINS NO WETLAND AREAS.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

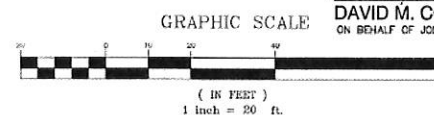
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

A COPY OF THIS PLAN HAS BEEN FILED WITH THE TOWN OF BARRINGTON PLANNING BOARD RSA 676:18 PAR. IV



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 4/18/17

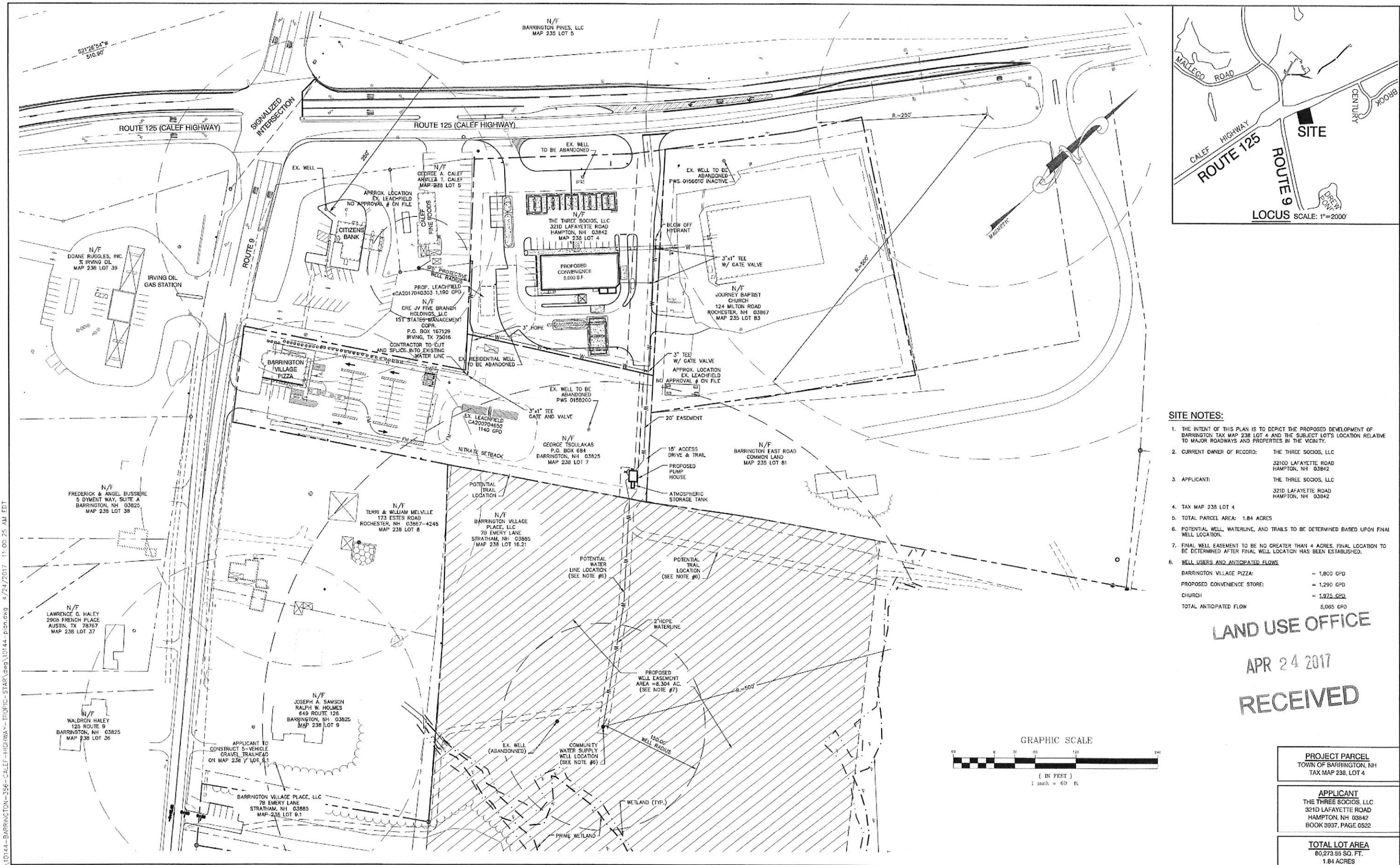


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APR 24 2017
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PROJECT PARCEL
TOWN OF BARRINGTON, NH
TAX MAP 238, LOT 4

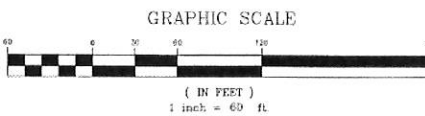
APPLICANT
THE THREE SOCIOS, LLC
3210 LAFAYETTE ROAD
HAMPTON, NH 03842
BOOK 3937, PAGE 0522

TOTAL LOT AREA
80,273.55 SQ. FT.
1.84 ACRES



- SITE NOTES:**
1. THE INTENT OF THIS PLAN IS TO DEPICT THE PROPOSED DEVELOPMENT OF BARRINGTON TAX MAP 238 LOT 4 AND THE SUBJECT LOT'S LOCATION RELATIVE TO MAJOR ROADWAYS AND PROPERTIES IN THE VICINITY.
 2. CURRENT OWNER OF RECORD: THE THREE SOCIOS, LLC
32100 LAFAYETTE ROAD
HAMPTON, NH 03842
 3. APPLICANT: THE THREE SOCIOS, LLC
3210 LAFAYETTE ROAD
HAMPTON, NH 03842
 4. TAX MAP 238 LOT 4
 5. TOTAL PARCEL AREA: 1.84 ACRES
 6. POTENTIAL WELL, WATERLINE, AND TRAILS TO BE DETERMINED BASED UPON FINAL WELL LOCATION.
 7. FINAL WELL EASEMENT TO BE NO GREATER THAN 4 ACRES. FINAL LOCATION TO BE DETERMINED AFTER FINAL WELL LOCATION HAS BEEN ESTABLISHED.
 8. WELL USERS AND ANTICIPATED FLOWS:
BARRINGTON VILLAGE PIZZA: = 1,800 GPD
PROPOSED CONVENIENCE STORE: = 1,290 GPD
CHURCH: = 1,975 GPD
TOTAL ANTICIPATED FLOW: 5,065 GPD

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PROJECT PARCEL
TOWN OF BARRINGTON, NH
TAX MAP 238, LOT 4
APPLICANT
THE THREE SOCIOS, LLC
3210 LAFAYETTE ROAD
HAMPTON, NH 03842
BOOK 9937, PAGE 0522
TOTAL LOT AREA
80,273.55 SQ. FT.
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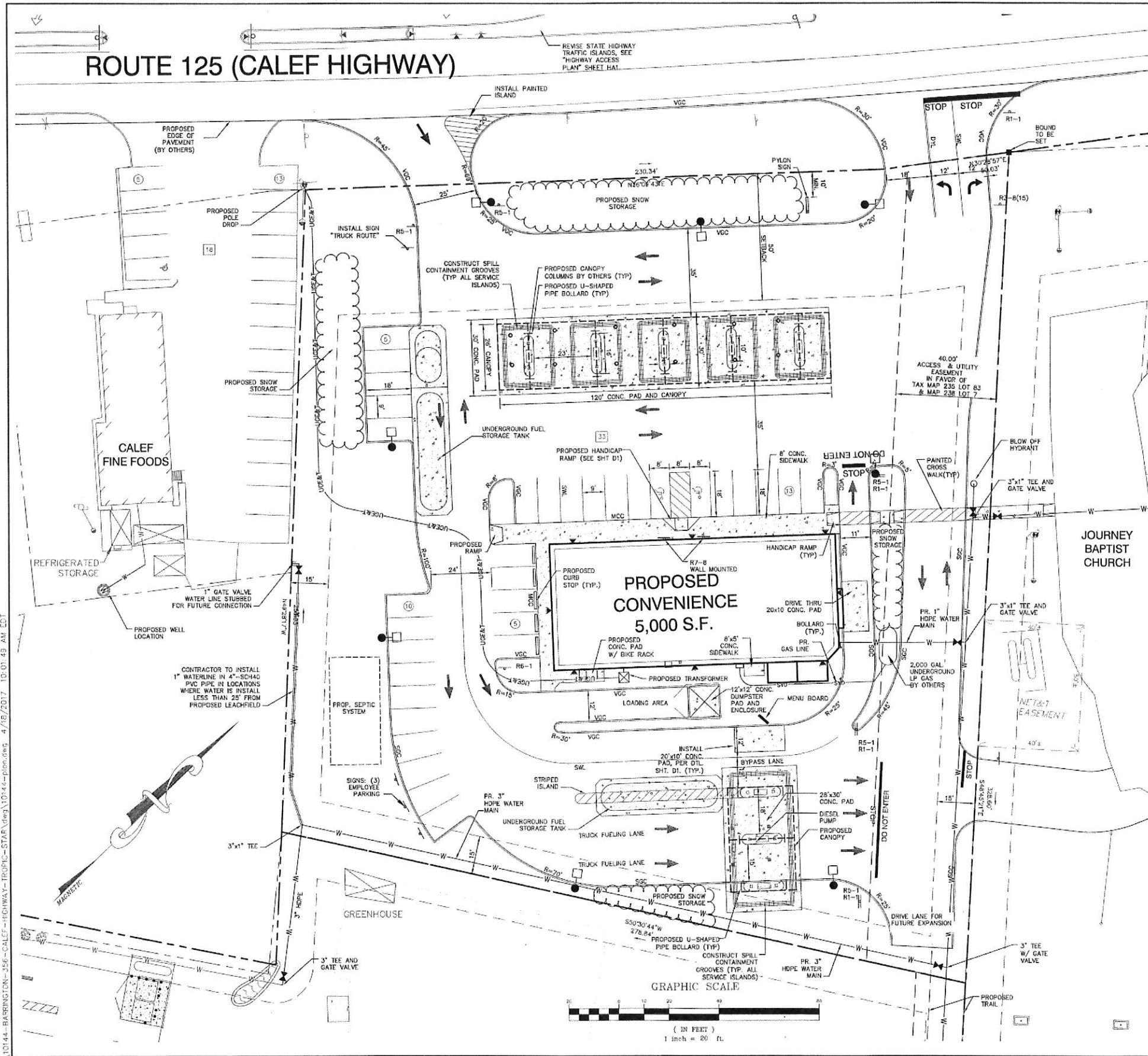
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17	4/8/14	REVISED SITE PLAN	BWG
REV.	DATE	REVISION	BY

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Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	OVERALL VICINITY PLAN
Project:	TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record:	THE THREE SOCIOS, LLC 3210 LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.
C2
SHEET 3 OF 23
JBE PROJECT NO. 10144

ROUTE 125 (CALEF HIGHWAY)



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO DEPICT THE PROPOSED DEVELOPMENT OF BARRINGTON TAX MAP 238 LOT 4 WITH A 5,000 SQ.FT. CONVENIENCE STORE, ASSOCIATED PARKING, DRAINAGE, AND UTILITIES. THIS PLAN INCLUDES FUTURE DRIVE CONNECTION TO TAX MAP 238 LOT 6 AND DRIVE INTERCONNECTION TO TAX MAP 235 LOT 83.
- CURRENT OWNER/APPLICANT OF RECORD:
TAX MAP 238 / LOT 4
THE THREE SOCIOS, LLC
321D LAFAYETTE ROAD
HAMPTON, NH 03842
- TAX MAP 238 LOT 4, BOOK 3937 PAGE 0022
- TOTAL PARCEL AREA: 1.84 ACRES
- ZONING DISTRICT: TOWN CENTER (TC)
MIN. LOT SIZE: 20,000
MIN. LOT FRONTAGE: 40'
MIN. YARD SETBACKS:
FRONT: 50' (RT 125)
SIDE: 15'
REAR: 15'
MAX. BUILDING HEIGHT: 40'
MAX. LOT COVERAGE: 60%
PROPOSED LOT COVERAGE: 75.0%
MIN. DRIVEWAY SEPARATION: 75'
(WAIVER REQUIRED FOR EXISTING DRIVEWAY LOCATIONS)
- PARKING CALCULATIONS:
PARKING SPACE DIMENSIONS - 9'x18'
DRIVE AISLE WIDTH - 24'
MAX. DRIVEWAY WIDTH - 30'
PARKING SPACE REQUIREMENTS:
1 SPACE / 500 S.F. FAST FOOD (LOT 4)
1 SPACE / 75 S.F. FAST FOOD (LOT 4)
4,000 S.F. (CONVENIENCE) / 200 = 20 SPACES REQUIRED (LOT 4)
1,000 S.F. (FAST FOOD) / 75 = 13 SPACES REQUIRED (LOT 4)
TOTAL SPACES REQUIRED = 33 SPACES
PARKING SPACES PROVIDED = 33
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33017C 0305 D, DATED MAY 17, 2005.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED. A SIGN PERMIT MUST BE OBTAINED PRIOR TO SIGN INSTALLATION.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKID BASH SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL CURBING SHALL BE CONSTRUCTED WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL OUTDOOR DISPLAY AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY FASHION.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ROOF TOP HEATING AND AIR CONDITIONING UNITS (RTU's) SHALL BE DESIGNED TO VENT UPWARDS AND AIR INTAKES SHALL BE DIRECTED AWAY FROM ADJUTING NEIGHBORS.
- NO OVERNIGHT TRACTOR TRAILER PARKING SHALL BE ALLOWED ON THE PREMISES. NO TRUCK HORN BLOWING SHALL BE ALLOWED ON THE PREMISES.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- PROPERTY IS LOCATED IN THE STRATIFIED DRIFT AQUIFER OVERLAY DISTRICT AND STORAGE TANKS MUST COMPLY WITH THE TOWN'S ZONING ORDINANCE.
- SUBJECT PROPERTY TO BE SERVICED BY ON-SITE SEPTIC AND COMMUNITY WELL.
- THIS PLAN DEPICTS SUFFICIENT CUEING (AT ORDERING BOARD) FOR TEN (10) VEHICLES, FROM ORDERING BOARD TO DRIVE ALONG FRONT OF BUILDING.
- SPILL CONTAINMENT GROOVES SHALL BE SIZED TO CONTAIN FIVE (5) GALLONS MINIMUM PER DISPENSER, PER NHDES ADMINISTRATIVE RULE ENV-WM 1401.28V.

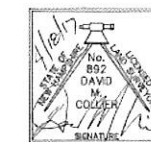
CERTIFICATION:

MY SEAL AND SIGNATURE ARE AFFIXED TO THIS PLAN ON THE BEHALF OF JONES & BEACH ENGINEERS, INC., OF STRATHAM, NH, FOR THE SOLE PURPOSE OF SATISFYING THE REQUIREMENT OF THE TOWN OF BARRINGTON'S RECORDATION OF APPROVED SITE PLANS.

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

A COPY OF THIS PLAN HAS BEEN FILED WITH THE TOWN OF BARRINGTON PLANNING BOARD RSA 676:18 PAR. IV



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 4/16/17

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PLANNING BOARD
APPROVAL BLOCK

Design: WGM Draft: GPC Date: 01/03/12
Checked: WGM Scale: AS NOTED Project No.: 10144
Drawing Name: 10144-PLAN.dwg
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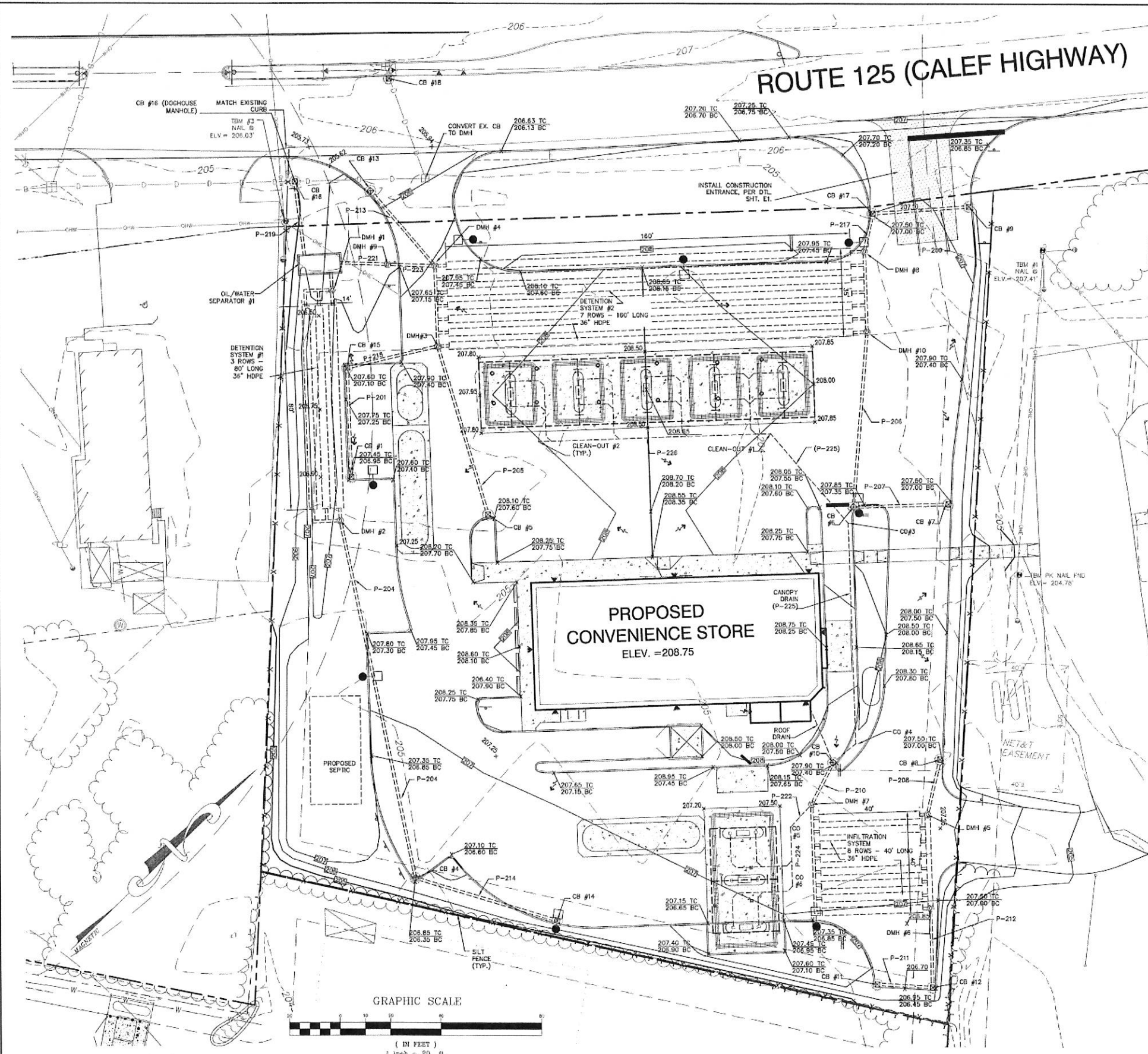


21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	6/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**
Project: **TROPIC STAR CONVENIENCE**
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record: **THE THREE SOCIOS, LLC**
321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING NO.
C3
SHEET 4 OF 25
JBE PROJECT NO. 10144



DRAINAGE STRUCTURES:

CB #1 RM=206.85 INV=202.80 (P-201)	CB #15 RM=207.10 INV=202.55 (P-201)	DMH #5 RM=207.15 INV=201.80 (P-208)	P-201 45' - 15" HDPE S=0.005 FT/FT	P-217 15' - 15" HDPE S=0.005 FT/FT	ROOF DRAIN 35' - 8" HDPE S=0.010 FT/FT
CB #2 RM=206.35 INV=202.85 (P-214)	CB #16 RM=205.40 INV=202.85 (P-216)	DMH #6 RM=206.95 INV=201.60 (P-212)	P-204 144' - 15" HDPE S=0.005 FT/FT	P-219 30' - 15" HDPE S=0.005 FT/FT	CO #1 INV=203.10 (P-225)
CB #3 RM=207.60 INV=202.50 (P-205)	CB #17 RM=207.00 INV=202.35 (P-209)	DMH #7 RM=207.40 INV=201.80 (P-217)	P-205 65' - 15" HDPE S=0.005 FT/FT	P-220 7' - 15" HDPE S=0.005 FT/FT	CO #2 INV=204.00 (P-226)
CB #4 RM=207.35 INV=202.50 (P-207)	CB #18 RM=205.15 INV=202.25 (P-217)	DMH #8 RM=207.30 INV=202.15 (P-217)	P-206 69' - 15" HDPE S=0.005 FT/FT	P-221 19' - 15" HDPE S=0.010 FT/FT	CO #3 INV=202.73 (P-225)
CB #5 RM=206.80 INV=201.85 (P-208)	CB #19 RM=205.15 INV=202.00 (EX. 15')	DMH #9 RM=207.00 INV=202.05 (HDR)	P-207 36' - 15" HDPE S=0.005 FT/FT	P-222 (CANOPY) 12' - 8" HDPE S=0.010 FT/FT	CO #4 INV=202.04 (P-225)
CB #6 RM=207.60 INV=202.50 (P-207)	CB #20 RM=205.15 INV=202.00 (P-210)	DMH #10 RM=207.60 INV=202.05 (HDR)	P-208 22' - 15" HDPE S=0.010 FT/FT	P-223 (CANOPY) 19' - 15" HDPE S=0.010 FT/FT	CO #5 INV=202.30 (P-222)
CB #7 RM=207.60 INV=202.50 (P-207)	CB #21 RM=205.15 INV=202.00 (P-210)	DMH #11 RM=207.60 INV=202.05 (HDR)	P-209 36' - 15" HDPE S=0.005 FT/FT	P-224 (CANOPY) 23' - 8" HDPE S=0.010 FT/FT	CO #6 INV=202.55 (P-224)
CB #8 RM=206.80 INV=201.85 (P-208)	CB #22 RM=205.15 INV=202.00 (P-210)	DMH #12 RM=207.60 INV=202.05 (HDR)	P-210 18' - 15" HDPE S=0.005 FT/FT	P-225 (CANOPY) 156' - 8" HDPE S=0.008 FT/FT	
CB #9 RM=206.70 INV=202.55 (P-209)	CB #23 RM=205.15 INV=202.00 (P-210)	DMH #13 RM=207.60 INV=202.05 (HDR)	P-211 22' - 15" HDPE S=0.005 FT/FT	P-226 (CANOPY) 82' - 8" HDPE S=0.010 FT/FT	
CB #10 RM=207.50 INV=201.85 (CANOPY)	CB #24 RM=205.15 INV=202.00 (P-210)	DMH #14 RM=207.60 INV=202.05 (HDR)	P-212 31' - 15" HDPE S=0.010 FT/FT		
CB #11 RM=206.45 INV=202.10 (P-211)	CB #25 RM=205.15 INV=202.00 (P-210)	DMH #15 RM=207.60 INV=202.05 (HDR)	P-213 39' - 15" HDPE S=0.005 FT/FT		
CB #12 RM=206.45 INV=202.00 (P-211)	CB #26 RM=205.15 INV=202.00 (P-210)	DMH #16 RM=207.60 INV=202.05 (HDR)	P-214 69' - 15" HDPE S=0.005 FT/FT		
CB #13 RM=205.50 INV=202.35 (P-213)	CB #27 RM=205.15 INV=202.00 (P-210)	DMH #17 RM=207.60 INV=202.05 (HDR)	P-215 37' - 15" HDPE S=0.008 FT/FT		
CB #14 RM=206.25 INV=203.15 (P-214)					

GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- PROJECT DATUM: USGS
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SLUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED REINFORCED CONCRETE PIPE (RCP) OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- IMPERMEABLE LINER SHALL BE 30 MIL. THICK HDPE GSE HD SMOOTH GEOMEMBRANE LINER AS MANUFACTURED BY GSE LINING TECHNOLOGIES, LLC OR APPROVED EQUAL.
- OWNER IS TO COMPLY WITH THE STIPULATIONS OF THE STORMWATER MANAGEMENT/SPILL PREVENTION OPERATIONS AND MAINTENANCE MANUAL AS PREPARED BY JONES & BEACH, INC., FOR THE THREE SOCIOS; 321 D LAFAYETTE ROAD; HAMPTON, NH 03842. THIS SHALL RUN WITH THE LAND.
- OWNER IS TO COMPLY WITH THE LANDSCAPE, AS WELL AS DRAINAGE SCHEDULE MAINTENANCE, AS STIPULATED IN THE STORMWATER MANAGEMENT/SPILL PREVENTION OPERATIONS AND MAINTENANCE MANUAL AS PREPARED BY JONES & BEACH, INC., FOR THE THREE SOCIOS; 321 D LAFAYETTE ROAD; HAMPTON, NH 03842. THIS SHALL RUN WITH THE LAND.
- OWNER IS TO COMPLY WITH ALL NOTES AND SPECIFICATIONS AS SHOWN ON PLAN SHEETS TITLED: LANDSCAPE NOTES (L.20), PLANS (L.30), DETAILS (L.40 AND L.41), AND SPECS (L.50), AS SHOWN ON SHEETS 13-17.
- OWNER SHALL COMPLETE DRAINAGE SYSTEM INSPECTIONS AND CLEANINGS PER THE STORMWATER MANAGEMENT / SPILL PREVENTION OPERATIONS AND MAINTENANCE MANUAL. SHOULD ADDITIONAL INSPECTIONS / CLEANING BE NECESSARY THE OPERATIONS & MAINTENANCE MANUAL SHALL BE UPDATED AS REQUIRED.
- ALL NECESSARY PAVEMENT REPAIRS SHALL BE COMPLETED BY JULY 1ST OF EACH YEAR.

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Design: WGM Draft: GPC Date: 01/03/12
Checked: WGM Scale: AS NOTED Project No.: 10144
Drawing Name: 10144-PLAN.dwg
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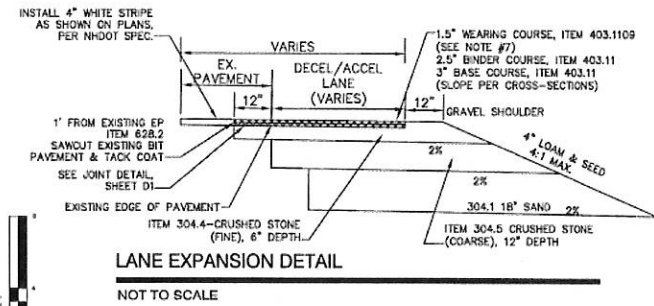
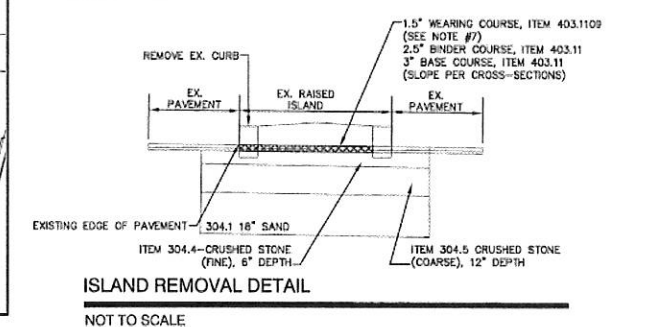
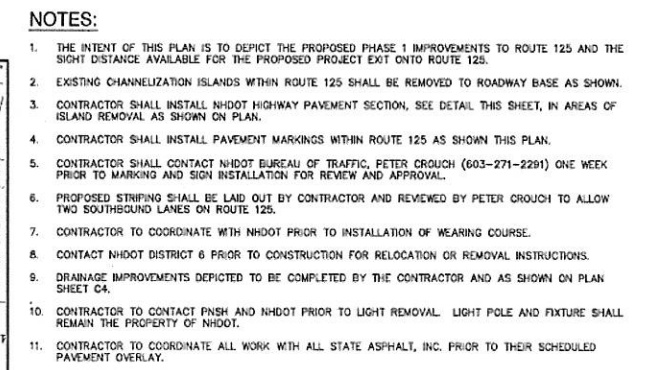
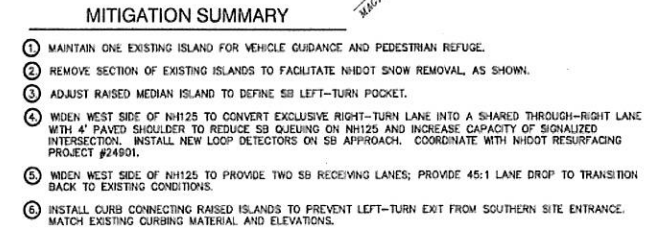


21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **GRADING AND DRAINAGE PLAN**
Project: **TROPIC STAR CONVENIENCE
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH**
Owner of Record: **THE THREE SOCIOS, LLC
321D LAFAYETTE ROAD, HAMPTON, NH 03842**

DRAWING No.
C4
SHEET 5 OF 23
JBE PROJECT NO. 10144



21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
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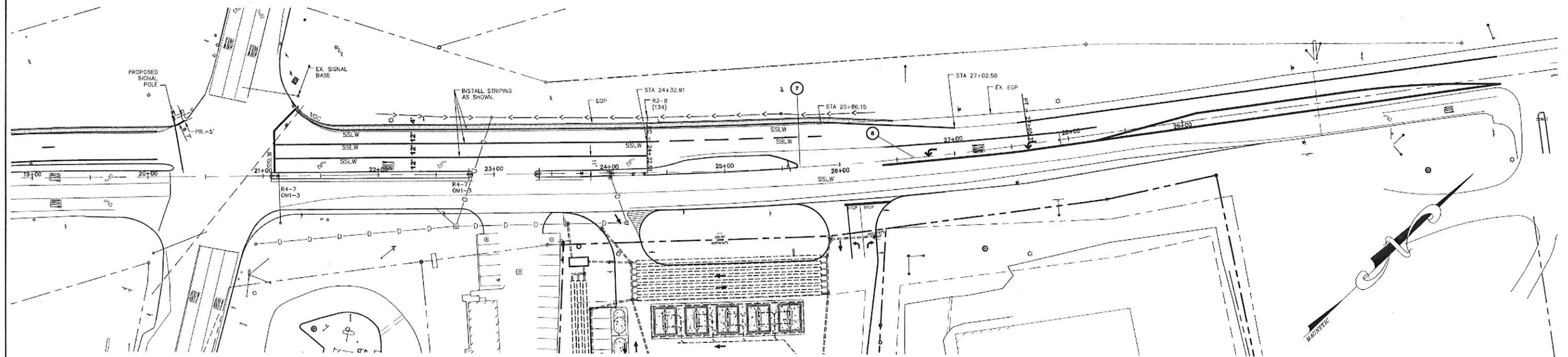
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	HIGHWAY ACCESS PLAN - PHASE 1
Project:	TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record:	THE THREE SOCIOS, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.

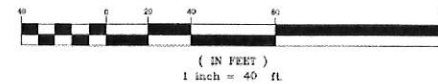
HA1

SHEET 6 OF 23
JBE PROJECT NO. 10144



PLAN

GRAPHIC SCALE



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	EDGE OF PAVEMENT
---	---	SINGLE WHITE LINE
---	---	DOUBLE YELLOW LINE
---	---	DOUBLE YELLOW LINE
---	---	DRAINAGE LINE
---	---	EXISTING RAISED ISLAND TO BE REMOVED

NOTES:

1. THE INTENT OF THIS PLAN IS TO DEPICT THE PHASE 2 PROPOSED IMPROVEMENTS TO ROUTE 125.
2. CONTRACTOR SHALL INSTALL PAVEMENT MARKINGS WITHIN ROUTE 125 AS SHOWN THIS PLAN.
3. CONTRACTOR SHALL CONTACT NHDOT BUREAU OF TRAFFIC, PETER CROUCH (603-271-2291) ONE WEEK PRIOR TO MARKING AND SIGN INSTALLATION FOR REVIEW AND APPROVAL.
4. CONTACT NHDOT DISTRICT 6 PRIOR TO RELOCATION FOR RELOCATION OR REMOVAL INSTRUCTIONS.
5. DRAINAGE IMPROVEMENTS DEPICTED TO BE COMPLETED BY THE CONTRACTOR AND AS SHOWN ON PLAN SHEET C4.

MITIGATION SUMMARY

7. PROVIDE WIDENED CENTER LANE TO FACILITATE LEFT-TURN DEPARTURES FROM SITE DRIVEWAY (TWO-STAGE GAP-ACCEPTANCE PROCESS).
8. INSTALL EXCLUSIVE LEFT-TURN LANE ON NH125 FOR SB VEHICLES ENTERING SITE.

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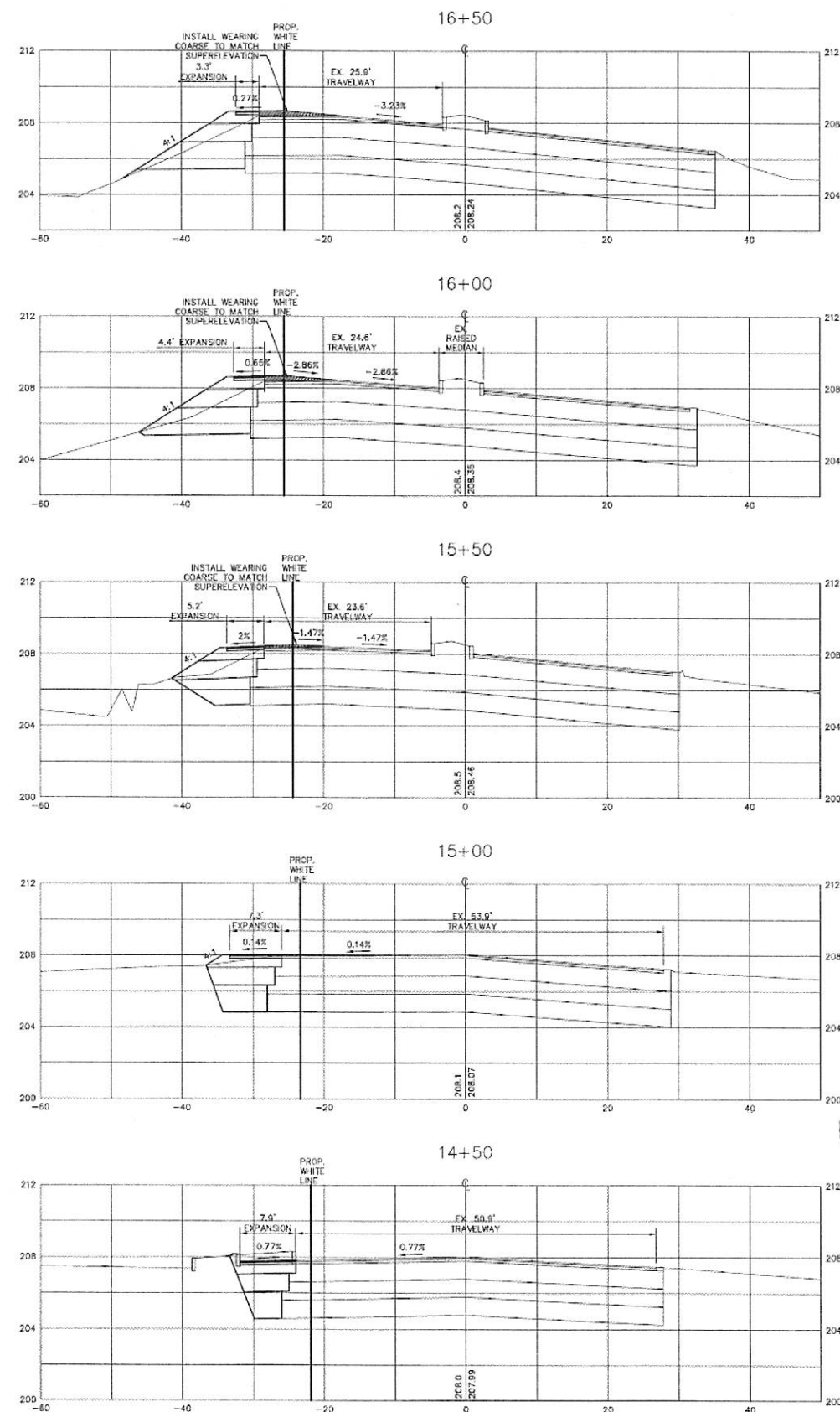
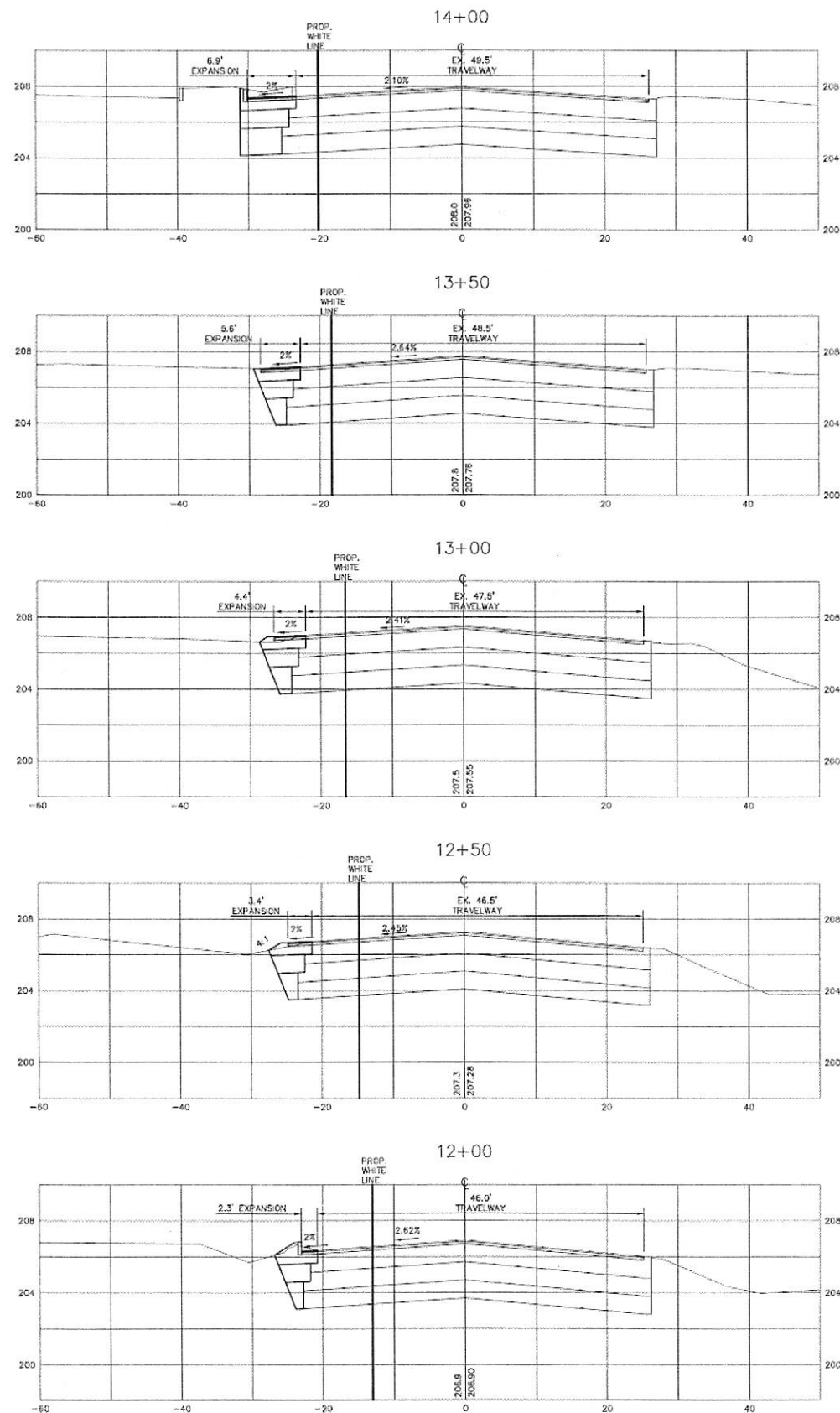
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Plan Name: **HIGHWAY ACCESS PLAN - PHASE 2**
 Project: **TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH**
 Owner of Record: **THE THREE SOCIOS, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842**

DRAWING No.
HA2
 SHEET 7 OF 23
 JBE PROJECT NO. 10144

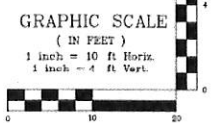
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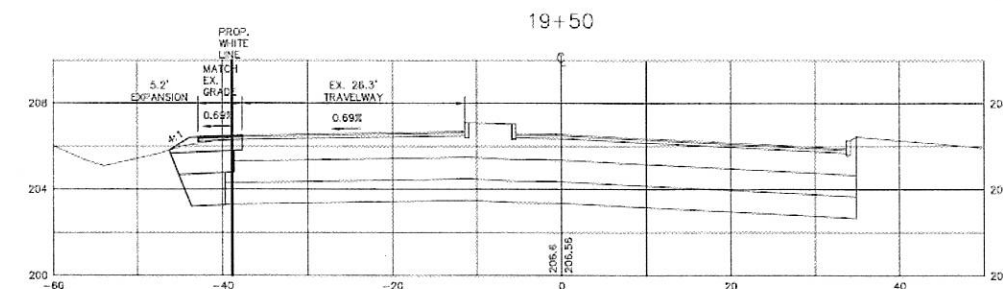
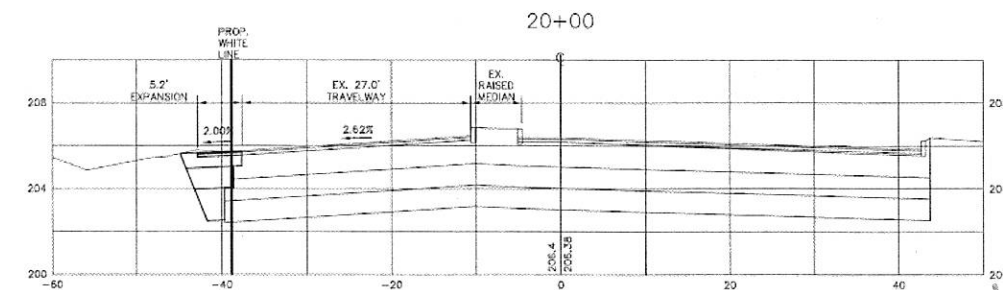
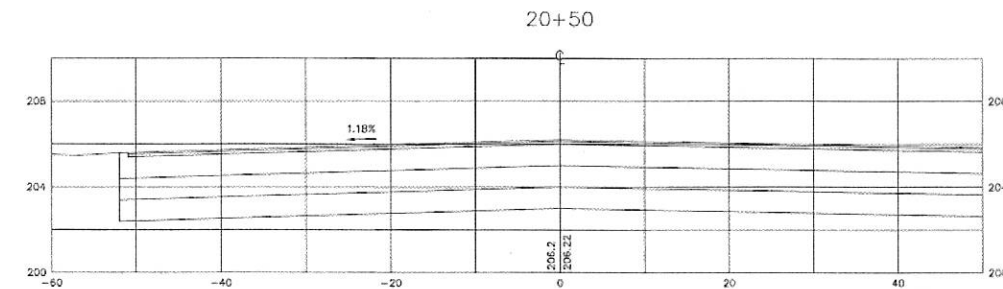
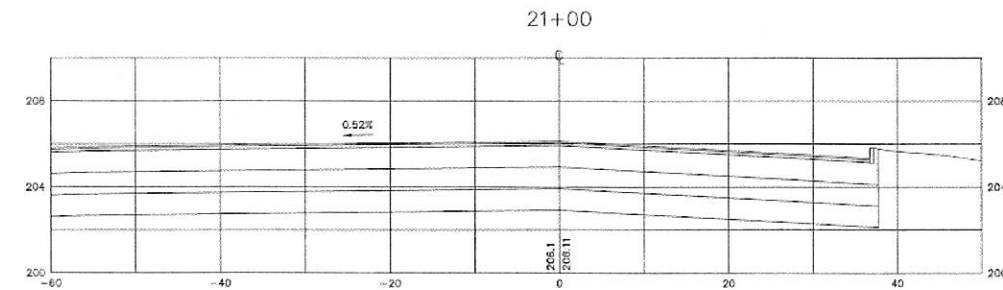
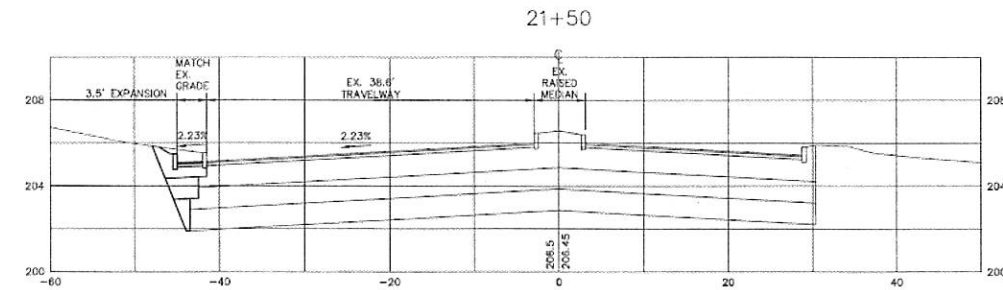
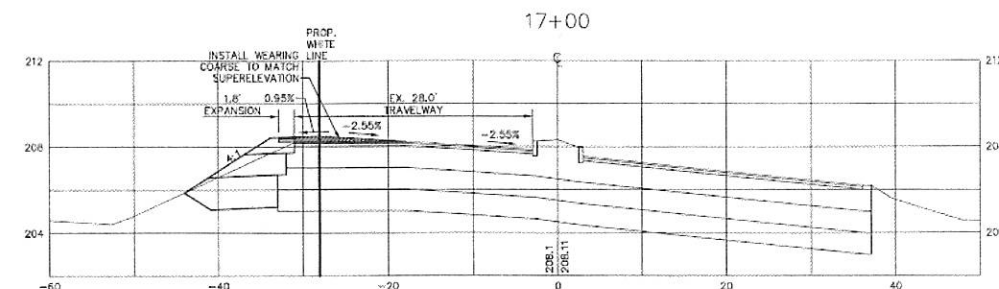
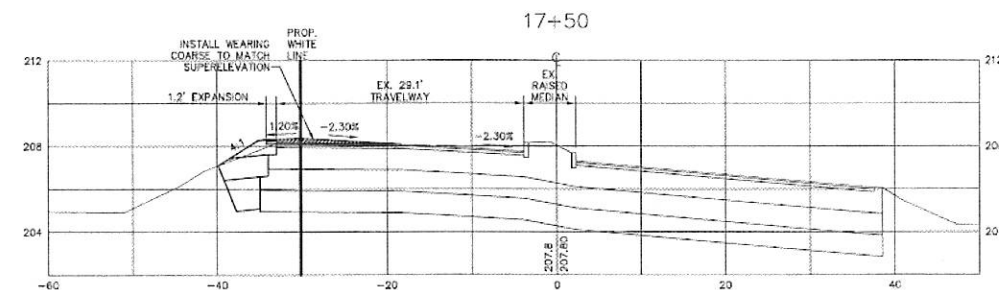
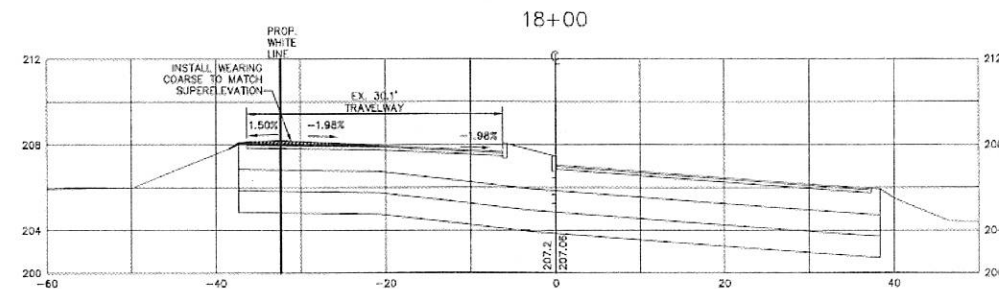
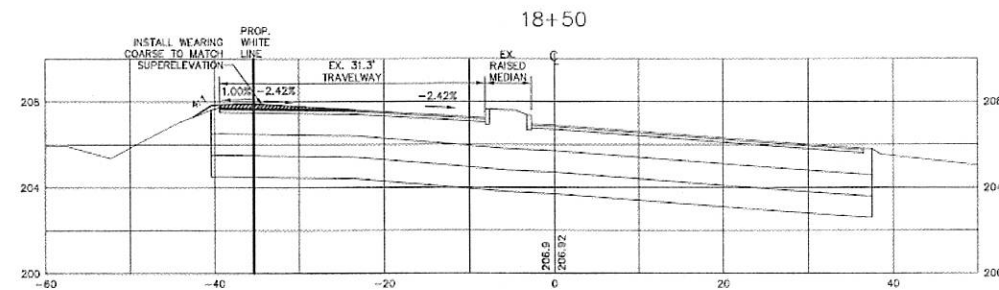
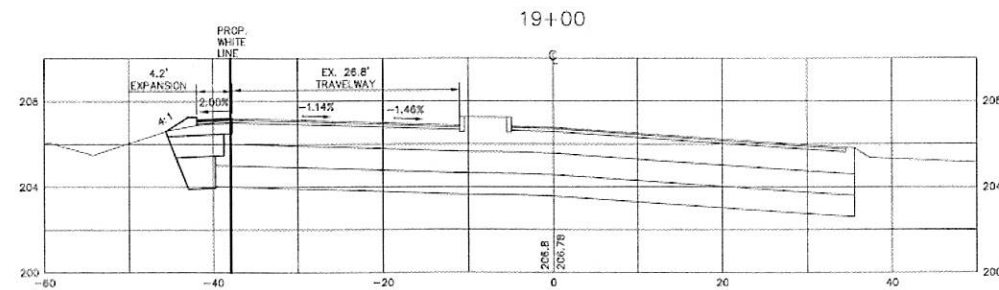


REV.	DATE	REVISION	BY
21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG

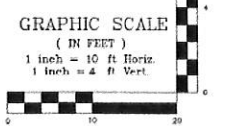
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave.
 PO Box 210
 Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **N.H. ROUTE 125 - CROSS SECTION PLAN #1**
 Project: **TROPIC STAR CONVENIENCE**
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
 Owner of Record: **THE THREE SOCIOS, LLC**
321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.
HX1
 SHEET 8 OF 23
 JBE PROJECT NO. 10144



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Checked: WGM Scale: AS NOTED Project No.: 10144
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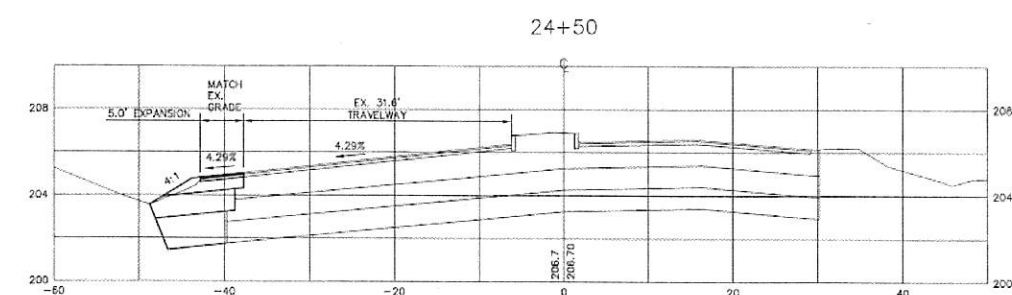
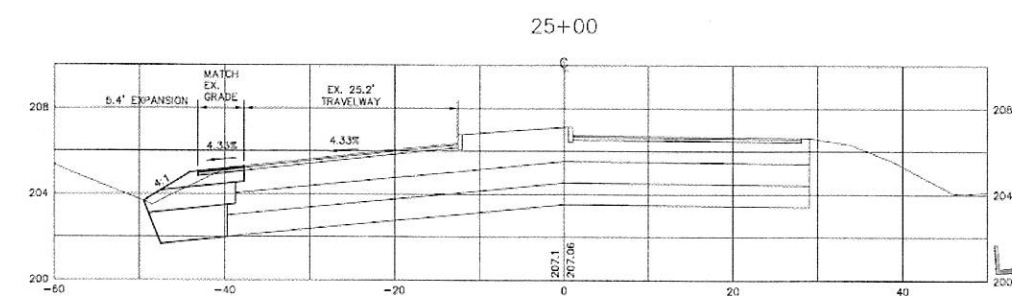
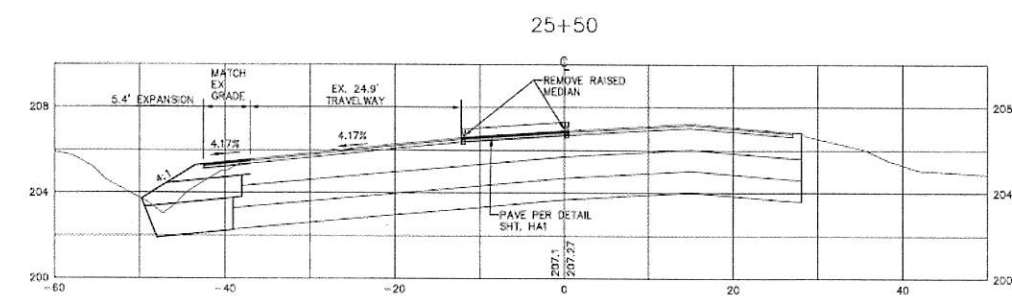
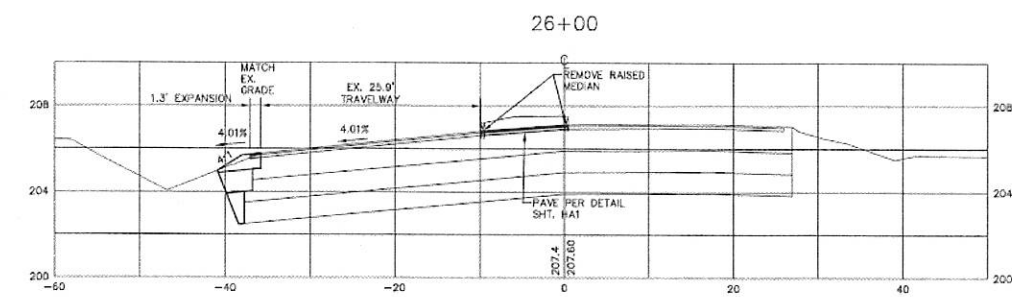
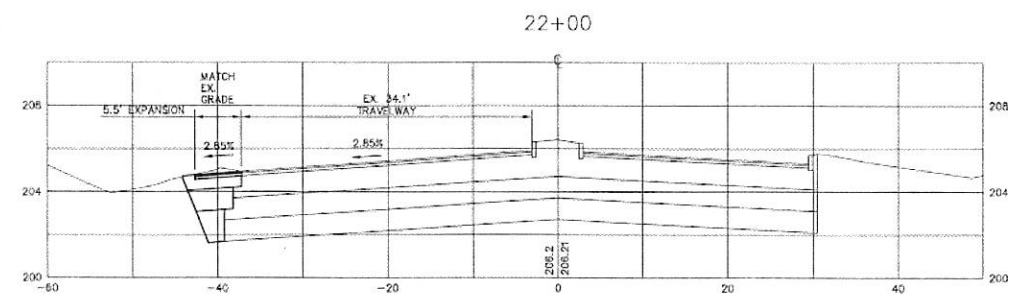
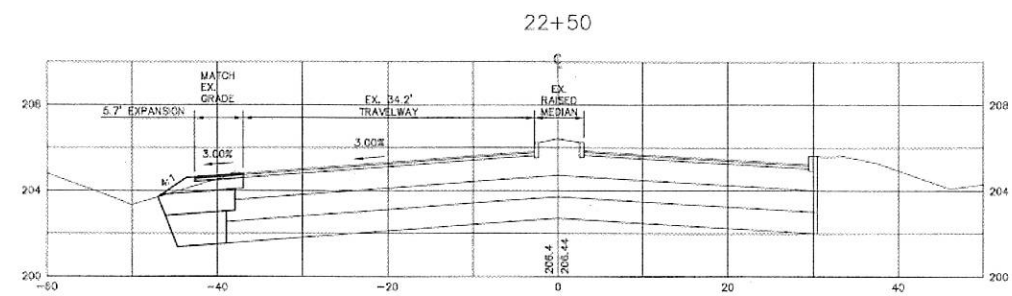
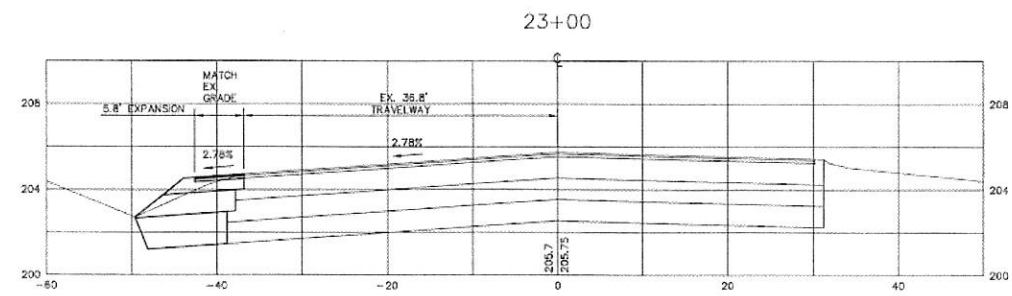
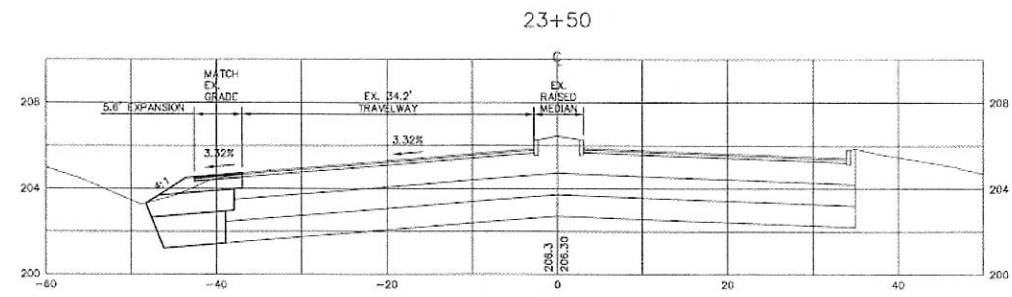
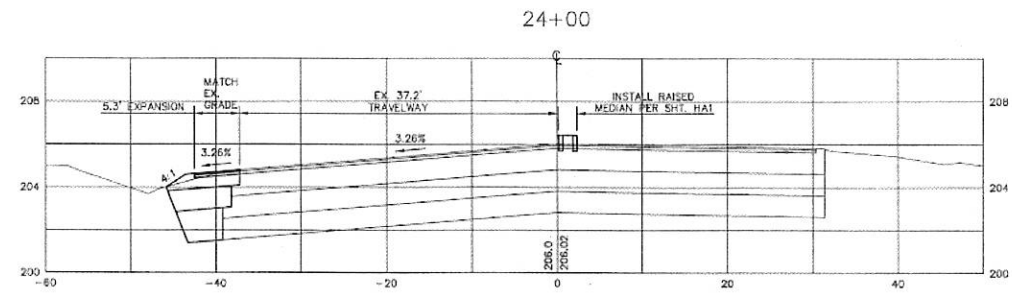


REV.	DATE	REVISION	BY
21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
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18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG

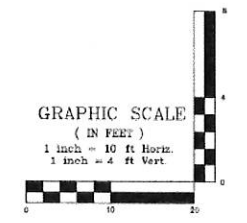
J/B Jones & Beach Engineers, Inc.
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85 Portsmouth Ave.
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Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **N.H. ROUTE 125 - CROSS SECTION PLAN #2**
Project: **TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH**
Owner of Record: **THE THREE SOCIOS, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842**

DRAWING No.
HX2
SHEET 6 OF 23
JBE PROJECT NO. 10144



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Design: WGM Draft: GPC Date: 01/03/12
Checked: WGM Scale: AS NOTED Project No.: 10144
Drawing Name: 10144-PLAN.dwg
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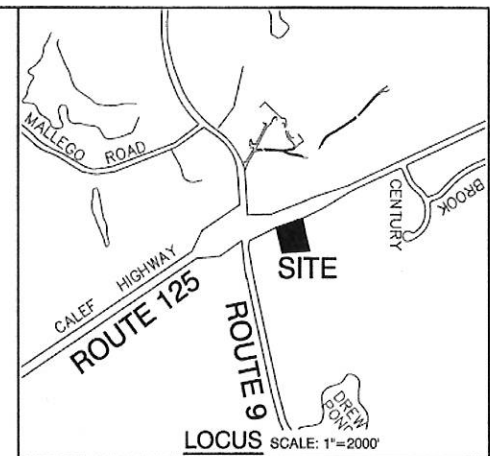
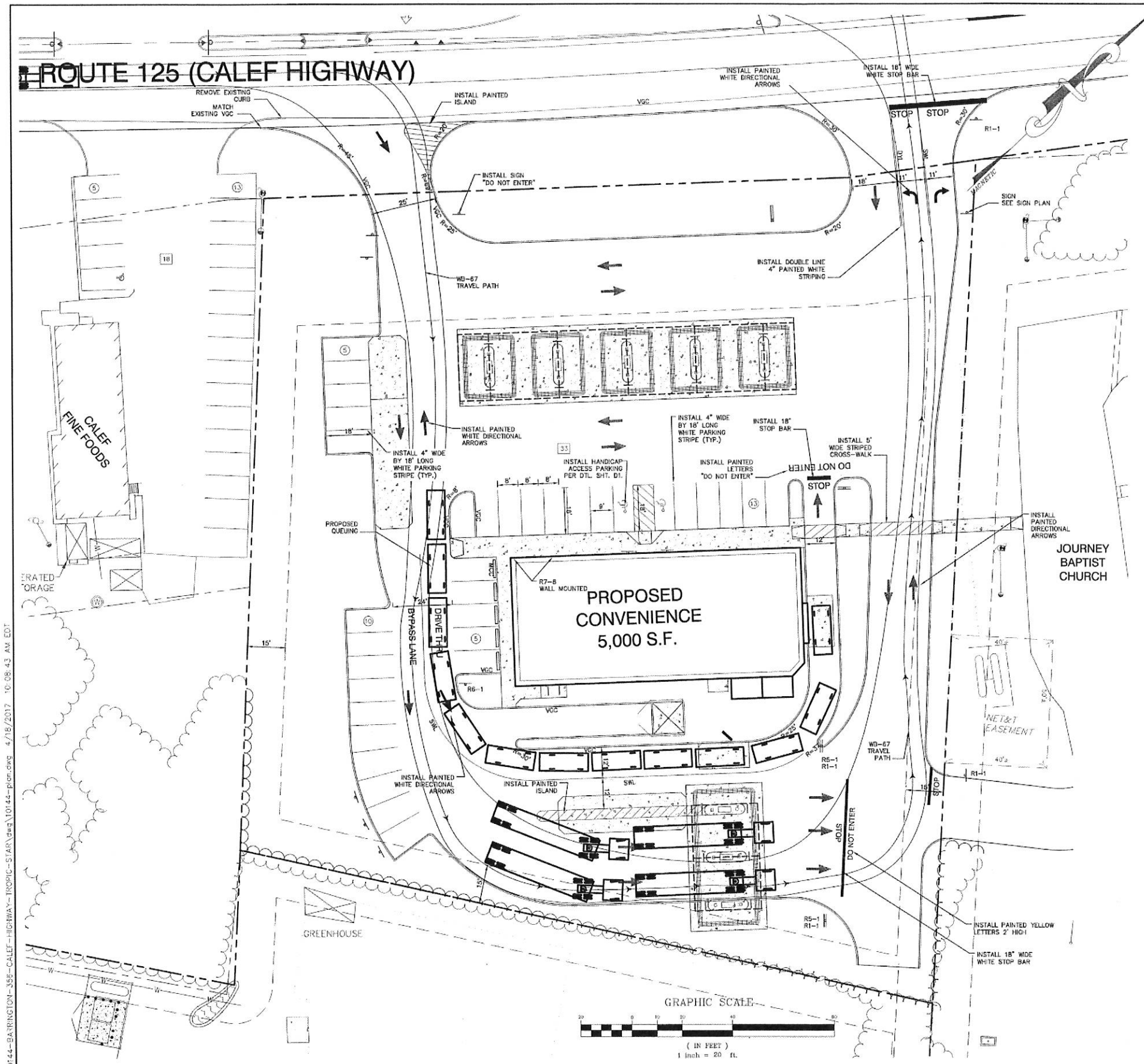


REV.	DATE	REVISION	BY
21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
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18	9/4/16	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG

J/B Jones & Beach Engineers, Inc.
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E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **N.H. ROUTE 125 - CROSS SECTION PLAN #3**
Project: **TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH**
Owner of Record: **THE THREE SOCIOS, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842**

DRAWING No.
HX3
SHEET 10 OF 23
JBE PROJECT NO. 10144



NOTES:

1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
2. ALL PARKING STALLS SHALL BE SEPARATED USING 4\"/>

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Checked: WGM	Scale: AS NOTED	Project No.: 10144
Drawing Name: 10144-PLAN.dwg		
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19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG

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 603-772-4746
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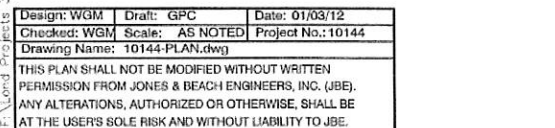
Plan Name:	PAVEMENT MARKING PLAN
Project:	TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record:	THE THREE SOCIOS, LLC 321D LAFAYETTE ROAD, HAMPTON, NH 03842

Drawing No.	M1
SHEET 11 OF 23	JBE PROJECT NO. 10144

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19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANBEACH.COM

Plan Name:	LIGHTING PLAN
Project:	TROPIC STAR CONVENIENCE CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record:	THE THREE SOCIOS, LLC

DRAWING No.





L1

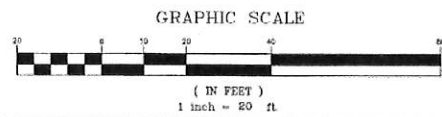
SHEET 12 OF 23

LIGHT FIXTURE "B"

NOTE:

1. FIXTURE HEIGHT REPRESENTS HEIGHT ABOVE FINISHED GRADE (AFG). CONTRACTOR SHALL ADJUST POLE HEIGHTS TO MATCH AFG ELEVATIONS.
2. LIGHT FIXTURES TO BE AS SHOWN. ANY MODIFICATION TO FIXTURE OR LOCATION SHALL BE BY ENGINEER PRIOR TO INSTALLATION.
3. EXISTING UTILITIES SHALL BE DIGAISED BEFORE CONSTRUCTION.
4. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
5. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
6. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
7. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELES.
8. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
9. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
10. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4450, WANDICHTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	16	CL3	SINGLE	CNC-B01-LED-E1-SQ/ MTD UNDER CANOPY
	2	P3	SINGLE	TM-B04-LED-E1-SLS/ 20' AFG
	6	P4	SINGLE	TM-B04-LED-E1-SLA/ 20' AFG
	8	WM	SINGLE	ISS-B02-LED-E1-BLA/ WALL MTD 12' AFG



```
StatArea
FRONT PAVED AREA LESS CANOPY
Illuminance (Fc)
Average = 1.87
Maximum = 3.6
Minimum = 0.7
Avg/Min Ratio = 2.67
Max/Min Ratio = 5.14
```

StataArea_1 LARGE CANOPY	StataArea_2 SMALL CANOPY
Illuminance (Fc)	Illuminance (Fc)
Average = 3.40	Average = 2.99
Maximum = 4.0	Maximum = 3.4
Minimum = 2.1	Minimum = 2.6
Avg/Min Ratio = 1.62	Avg/Min Ratio = 1.15
Max/Min Ratio = 1.90	Max/Min Ratio = 1.31

McGraw-Edison®

DESCRIPTION

The MCE-2500 LED family of outdoor luminaires is the latest complement to McGraw-Edison's award-winning outdoor lighting solutions. The MCE-2500 family provides outstanding performance and energy efficiency in a compact, durable package. A rugged, die-cast aluminum housing, Impact ETRs in the lens bezel, and powder-coated finish are standard on all models. The MCE-2500 family is available in many configurations, offering complete, innovative, and versatile lighting solutions for outdoor applications.

Coloring	Temp
Project	
Comments	Date
Approved by	

OPERATIONAL FEATURES

Construction

Power supply and control electronics housed in die-cast aluminum alloy bezel housing for impact resistance and corrosion resistance. Impact ETRs in the lens bezel for impact resistance. Housing and mounting are powder-coated for corrosion resistance. Optional impact protection - 1/2" aluminum plate - available for this application.

Electrical

LED array is mounted to a rigid steel support beam using a rugged aluminum mounting bracket. The LED array is mounted to the support beam using a rugged aluminum mounting bracket. The LED array is mounted to the support beam using a rugged aluminum mounting bracket. The LED array is mounted to the support beam using a rugged aluminum mounting bracket.

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Mounting

Standard and optional rigid pole mounting brackets are available in every 1/2" increment from 1/2" to 10". The "Black & Gold" mounting bracket is available in every 1/2" increment from 1/2" to 10". The "Black & Gold" mounting bracket is available in every 1/2" increment from 1/2" to 10". The "Black & Gold" mounting bracket is available in every 1/2" increment from 1/2" to 10".

Notes

1. The MCE-2500 LED family is available in a range of sizes and configurations. The MCE-2500 LED family is available in a range of sizes and configurations. The MCE-2500 LED family is available in a range of sizes and configurations. The MCE-2500 LED family is available in a range of sizes and configurations.

Warranty

Standard 5-year warranty. A 10-year limited warranty is available for an additional cost.

**ISS
IMPACT ELITE LED
QUARTER SPHERE**

1. 21,000lm
8-1/2" Dia LED

WALL MOUNT AVAILABLE

STANDARD DIMENSIONS

Front View

STANDARD 1/2" DIA. BEZEL

WALL MOUNT MOUNTING

Sustainable LED design

RECOMMENDATION DATA

1. LED Array Configuration
2. LED Array Power
3. LED Array Voltage
4. LED Array Current
5. LED Array Temperature
6. LED Array Lifetime

RECOMMENDATION DATA

1. LED Array Configuration
2. LED Array Power
3. LED Array Voltage
4. LED Array Current
5. LED Array Temperature
6. LED Array Lifetime

McGraw-Edison Lighting
www.mcgraw-edison.com

2010-01-01
2010-01-01

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GENERAL PROJECT NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS, AND PER ALL APPLICABLE CODES AND REQUIREMENTS.
2. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK DESCRIBED HEREIN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL CARRY ALL WORKER'S COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY THE OWNER.
4. HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
5. DAMAGE RESPONSIBILITY - CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE IMPOSED, INTENTIONALLY OR ACCIDENTALLY, TO EXISTING UTILITIES, BUILDINGS, OR OTHER ADJACENT DUE TO THE ACTIONS OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES, AND/OR CONTRACTOR'S SUB CONTRACTORS. CONTRACTOR SHALL AT ALL TIMES PROTECT HIS WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGE OR STOLEN PARTS AT HIS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING FROM THE OWNER.
6. UNAUTHORIZED CHANGES TO PLANS - THE LANDSCAPE ARCHITECT PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
7. REVISED LANDSCAPE PLANS MUST BE SUBMITTED FOR APPROVAL IF ANY REVISIONS ARE MADE TO THE DEVELOPMENT PLAN OR PLAN FOR PAVING, GRADING, OR IMPROVEMENT PLANS.
8. THE CONTRACTOR SHALL APPLY, OBTAIN, AND PAY FOR ALL REQUIRED PERMITS TO COMPLETE THE SCOPE OF WORK.
9. TRADE COORDINATION - CONSTRUCTION AND INSTALLATION OF ALL ITEMS WITHIN THESE DOCUMENTS SHALL REQUIRE CLOSE COORDINATION BETWEEN TRADES INVOLVED IN UNDERGROUND AND UTILITY INSTALLATION, AND TREE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE PROPER COORDINATION BETWEEN TRADES TO INSURE AND AVOID CONSTRUCTION DELAYS OR DAMAGE TO ANY IMPROVEMENTS OR UTILITIES.
10. UNDERGROUND SERVICE ALERT - CONTRACTOR SHALL NOTIFY DIG SAFE SYSTEM INC. 72 HOURS PRIOR TO DIGGING AT 1-888-DIG-SAFE. THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
11. INSPECTIONS - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE MUNICIPAL REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED MUNICIPAL INSPECTION.
12. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED OR DESIRED INSPECTION (602) 391-7715.
13. THESE DRAWINGS AND SPECIFICATIONS ARE PROPERTY AND COPYRIGHT OF HOWARD SNYDER. THESE DRAWINGS SHALL NOT TO BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AUTHORIZATION FROM HOWARD SNYDER.
14. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
15. ALL QUANTITIES INDICATED ON THE PLANS ARE PROVIDED AS A COURTESY ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES SHOWN BY CONDUCTING AN INDEPENDENT QUANTITY TAKE OFF.
16. THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT DOCUMENTS.
17. THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL OF HIS WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. ALL RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM THE DEMOLITION OF CONSTRUCTION SHALL BE DISPOSED OF IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.
18. PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL TREES SHALL HAVE A NUMBERED TAG.
19. ALL PLANT MATERIAL TO BE STAKED BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY HOLES BEING DUG.
20. ALL GRADES TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
21. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES.
22. THE LANDSCAPE CONTRACTOR SHALL VERIFY BERM AND RETENTION BASIN LOCATIONS SHOWN ON THESE PLANS WITH THOSE ON THE CIVIL ENGINEERING PLANS. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THIS OFFICE SHALL BE NOTIFIED IMMEDIATELY.
23. ALL DECIDUOUS TREES TO BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR AFTER INSTALLATION.
24. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS DURING THE FINISH GRADING PROCESS.
25. NO SLOPES TO EXCEED 4:1 IN LANDSCAPE AREAS.
26. UNDER NO CIRCUMSTANCES SHALL ANY TREE BE PLANTED WITHIN 5' OF ANY BUILDING WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. TREES MUST BE LOCATED AT LEAST 7' FROM A SEWER LINE EASEMENT CENTERLINE. PLANT MATERIALS WITH INTRUSIVE ROOT SYSTEMS SHALL NOT BE PLACED WITHIN DRAINAGE BASINS WITH ENGINEERED BOTTOMS.

27. ALL PLANT MATERIAL WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
28. IT IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INFORM THE LANDSCAPE ARCHITECT/OWNER OF ANY PLANT MATERIAL CONCERNS BASED ON PLANTING SEASON (E.G. WINTER, SUMMER). SHOULD THE LANDSCAPE CONTRACTOR HAVE ANY CONCERNS ABOUT PLANT MATERIAL DUE TO HEAT/FROST OR EXPOSURE, HE SHALL REQUEST A SUBSTITUTION OR DELAY IN PLANTING. ONCE PLANTED, ALL PLANT MATERIAL IS SUBJECT TO SPECIFIED WARRANTIES.

PLANT LEGEND

EXISTING TREES	SIZE	NOTES	QTY
Deciduous Tree to Remain	Varies	Reference Civil Survey for Additional Information	
Deciduous Trees	SIZE	NOTES	QTY
Betula populifolia	19" Ball	Multi-trunk	4
Gray Birch			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Fraxinus pennsylvanica	23" Ball		3
White Ash			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Liquidambar styraciflua	27" Ball		2
Sweetgum			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Pyrus calleryana 'Bradford'	23" Ball		3
Bradford Pear			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Quercus palustris	19" Ball		4
Pin Oak			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Conifer Trees	SIZE	NOTES	QTY
Thuja occidentalis 'Hovey'	15" Ball		10
Eastern Arborvitae			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Juniperus virginiana	23" Ball		6
Eastern Redcedar			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Tsuga canadensis	23" Ball		7
Eastern Hemlock			
Earth Ball Sizes: 15,19,23,27,31 Ball Dia.=	Caliper Size: 1",1.5",2",2.5",3" Cal.		
Shrubs	SIZE	NOTES	QTY
Buddleja davidii	1 Gallon		38
Butterfly Bush			
Cornus sericea	1 Gallon		15
Red Osier Dogwood			
Ilex glabra	5 Gallon		9
Inkberry			
Vaccinium corymbosum	1 Gallon		31
Highbush Blueberry			
Viburnum opulus	1 Gallon		37
Highbush Cranberry			
Grasses	SIZE	NOTES	QTY
Helictotrichon sempervirens	1 Gallon		56
Blue Oat Grass			
Miscanthus sinensis 'Huron Sunset'	5 Gallon		28
Maiden Grass Variety			
Molinia caerulea 'Variegata'	1 Gallon		42
Striped Purple Moor Grass			
Groundcovers	SIZE	NOTES	QTY
Astilbe chinensis pumila	1 Gallon	9"-12"	53
False Goat's Beard			
Penstemon newberryi	1 Gallon	9"-12" ht.	56
Penstemon			
Seasonal Annuals	Flats/Trays	Plant no more than 6" o.c.	235 sq. ft.
Annual flower varieties			
Vines	SIZE	NOTES	QTY
Clematis montana	1 Gallon		4
Clematis			
Turf and Seed Mix			QTY
Kentucky Bluegrass			6,455 S.F.
Hydroseed			
Wildflower Seed Mix			6,135 S.F.
Refer Detail 13/Sheet L4.1 for Specification			
Landscaping Materials			QTY
Bark Mulch	4" depth		14,456 S.F.
Shredded Hemlock Bark Mulch	all planting areas		
Landscape Border			968' LN. FT.
Anodized steel header			

NOTE

Plant material shown on slope along northern property line suitable for planting on 2:1 slope.

LANDSCAPE NOTES

1. AREAS OF ORGANIC MULCH WITHOUT PLANT MATERIALS/ GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
2. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.
3. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.
4. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE THE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
5. AREA WITHIN THE SIGHT DISTANCE TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
6. RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
7. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
8. NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
9. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRED DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

LAND USE OFFICE
APR 24 2017
RECEIVED

APPROVED
PLANNING BOARD

DATE:

AMORY LAND DESIGN, LLC.
268 STRONG STREET
NEWBURYPORT, MA
01950-2324

TROPIC STAR CONVENIENCE

Project Address: 1001 Highway 100, Suite 100, Newburyport
Project Issue Date: January 25th, 2018
Project Number: 11-01-100
Project Status: Construction and Approval
Reviewed By: Howard Snyder

DATE	ISSUE TITLE	DATE
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LANDSCAPE
NOTES
L2.0
13 of 23

ROUTE 125 (CALEF HIGHWAY)

PROPOSED
CONVENIENCE
5,000 S.F.

LAND USE OFFICE
APR 24 2017
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PLANNING BOARD

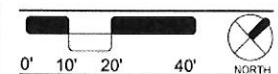
DATE:

HOWARD SNYDER ASLA
68 WARREN STREET
NEWBURYPORT, MA
01950

PLANT LEGEND

EXISTING TREES	SIZE	NOTES	QTY
Dead/Down Tree to Remain	Various	Refer to C&S Survey for Additional Information	
DECIDUOUS TREES	SIZE	NOTES	QTY
Betula papyrifera	10" Bul	Multitrunk	4
Gray Birch			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
Fraxinus pennsylvanica	23" Bul		3
White Ash			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
Liquidambar styraciflua	27" Bul		2
Basswood			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
Pinus strobus	23" Bul		3
Redwood Pine			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
Quercus palustris	10" Bul		4
Pink Oak			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
CONIFER TREES	SIZE	NOTES	QTY
Thuja occidentalis 'Smaragd'	18" Bul		10
Eastern Arborvitae			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
Juniperus virginiana	23" Bul		6
Eastern Redcedar			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
Thuja occidentalis	23" Bul		8
Eastern Hemlock			
Earth Ball Size: 15, 19, 23, 27, 31 Bul Dia - Caliper Size: 1", 1.5", 2", 2.5", 3" Cal			
SHRUBS	SIZE	NOTES	QTY
Baccharis viridifolia	1 Gallon		25
Batterfly Bush			
Cornus sericea	1 Gallon		15
Red Cedar Dogwood			
Ber glabra	5 Gallon		9
Mockery			
Vaccinium corymbosum	1 Gallon		31
Highbush Blueberry			
Viburnum opulus	1 Gallon		37
Highbush Cranberry			
GRASSES	SIZE	NOTES	QTY
Helleborus viridifolius	1 Gallon		68
Blue Oak Grass			
Miscanthus sinensis 'Prince of Wales'	5 Gallon		29
Maiden Grass Variety			
Molinia caerulea 'Variegata'	1 Gallon		42
Blond Purple Moor Grass			
GROUNDCOVERS	SIZE	NOTES	QTY
Ajuga reptans	1 Gallon	8"-12"	83
False Ox-eye Daisy			
Pennsylvanian meadow	1 Gallon	8"-12" Ht.	66
Pennsylvanian			
Seasonal Annuals	Flat/Trays	Plant no more than 6" h.c.	235 sq. ft.
Annual Flower varieties			
VINES	SIZE	NOTES	QTY
Clematis montana	1 Gallon		4
Clematis			
TURF AND SEED MIX			QTY
Kentucky Bluegrass			7,385 S.F.
Hydrated			
Woolfpack Seed Mix			6,035 S.F.
Refer Detail 10/Sheet L4.1 for Specification			
LANDSCAPE MATERIALS			QTY
Bark Mulch	4" depth		14,690 S.F.
Shredded Hemlock Bark Mulch		all planting areas	
Landscaping Boulders			508 LN. FT.
Amended soil header			

NOTE
Plant material shown on slope along northern property line suitable for planting on 2:1 slope

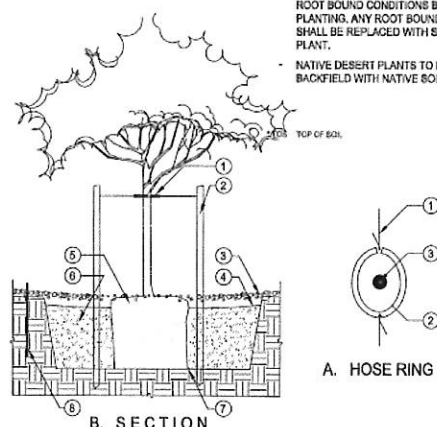


TROPIC STAR CONVENIENCE		
Project Address:	Calef Highway (Route 125), Newburyport, MA 01950	
Project Issue Date:	March 20, 2017	
Project Number:	17-100-00	
Project Status:	Coordination and Approval	
Reviewed By:	Howard Snyder	
DATE	ISSUE TITLE	DATE

LANDSCAPE
PLAN
L3.0
14 of 23

NOTES:

- PLANTS SHALL BE INSPECTED FOR ROOT BOUND CONDITIONS BEFORE PLANTING. ANY ROOT BOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.
- NATIVE DESERT PLANTS TO BE BACKFILL WITH NATIVE SOIL.



B. SECTION

TREE PLANTING AND STAKING

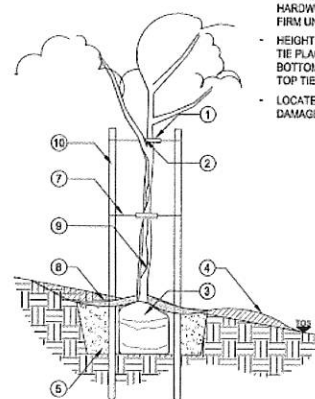
SCALE: N T S

LEGENDS:

- (1) 8" DIA. "HOSE RING" WIRE TIES. PLACE TIES 6" ABOVE THE TREE'S TRUNK BENDING POINT.
- (2) 2" DIA. TREE STAKES. HAMMER 6" MIN. FAST UNDISTURBED SOIL. TRIM STAKES TO 6" ABOVE TIE POINTS (ORIENT STAKES TOWARD PREVAILING WINDS).
- (3) LIGHTLY SPREAD BARK MULCH OVER ROOTBALL.
- (4) CREATE GENTLE SWALE DEPRESSION. DO NOT FORM RAISED BASIN.
- (5) DO NOT BURY TOP OF ROOTBALL.
- (6) PLANTING SOIL BACKFILL MIX: 1 PART MULCH TO 3 PARTS TOPSOIL. PLANTING PIT SIZES: DEPTH: 2X WIDTH OF ROOTBALL. FERTILIZER / AGRIFORM TABLETS DOWN ALONG PLANT ROOTBALL. 1 PER 1 GAL., 2 PER 2 GAL., 3 PER 15 GAL., 4 PER 24" BOX OR LARGER.
- (7) PIT WIDTH: 3x DIA. OF CONTAINER. PIT DEPTH: TO EQUAL ROOTBALL.
- (8) 18"x6"-0" ROOT BARRIER. INSTALL AT ALL TREES PLACED 5'-0" FROM BLOGS OR HARDSCAPE.
- (9) WIRE TIE.
- (10) HOSE.
- (11) TRUNK.

NOTES:

- USE 2-2" DIA. LODGE POLE. STAKE HARDWOOD. DRIVE STAKE 6" INTO FIRM UNDISTURBED SOIL.
- HEIGHT OF STAKE VARIES TOP TIE PLACED FOR MAX. SUPPORT. BOTTOM TIE 1/2 WAY BETWEEN TOP TIE AND GROUND.
- LOCATE STAKE TO MINIMIZE DAMAGE TO TREE.



TREE PLANTING AND STAKING ON SLOPE

SCALE: N T S

LEGENDS:

- (1) 1" WIDE BELT WEBBING TO TIE TREE TO STAKE.
- (2) LOCATE TIE ABOVE FIRST SCAFFOLD.
- (3) ROOT BALL TO BE 1" ABOVE GRADE & SCORED ROOTS BEFORE PLANTING.
- (4) GRADE & SCORED ROOTS BEFORE FORM TREE WELL BY DIVIDING SOIL EQUALLY ACROSS SLOPE.
- (5) SLOPING PLANT HOLE TO HAVE SCARIFIED WALLS.
- (6) PREPARED SOIL AS SPECIFIED. NATIVE SOIL FERTILIZER.
- (7) WIRE TO STAKE WITH HEAVY DUTY STAPLE (12 GAUGE).
- (8) OPTIONAL HOSE TIE. SEE NOTES.
- (9) BARK MULCH (IF REQUIRED).
- (10) 2 - 2" POLE STAKE.

*TOS: TOP OF SOIL

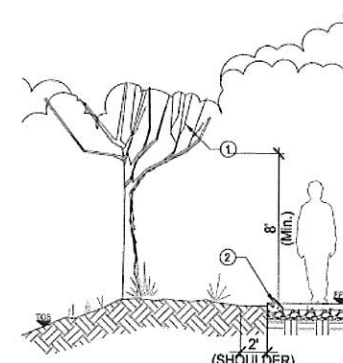
KEY:

- (1) TREE
- (2) CONCRETE PATHWAY/ BRICK WALKWAY

*FFL: FINISH FLOOR LINE
TOS: TOP OF SOIL

NOTES:

- MAINTENANCE TO KEEP A MINIMUM 8'-0" CLEARANCE FROM PATH TO TREE CANOPY. TRIM AS NECESSARY.



TREE CLEARANCE AT PATH

SCALE: N T S

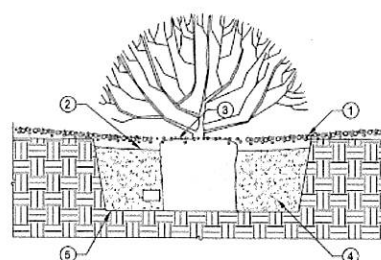
LEGEND:

- (1) LIGHTLY SPREAD MULCH OVER ROOTBALL.
- (2) CREATE GENTLE SWALE DEPRESSION. DO NOT BURY TOP OF ROOTBALL.
- (3) PLANTING SOIL BACKFILL MIX: 1 PART MULCH TO 3 PARTS TOPSOIL. PLANTING PIT SIZES: DEPTH: 2X WIDTH OF ROOTBALL. FERTILIZER / AGRIFORM TABLETS DOWN ALONG PLANT ROOTBALL. 1 PER 1 GAL., 2 PER 2 GAL., 3 PER 15 GAL., 4 PER 24" ROOTBALL OR LARGER.
- (4) PIT WIDTH: 3x DIA. OF CONTAINER. PIT DEPTH: TO EQUAL ROOTBALL.

TOS: TOP OF SOIL

NOTES:

- PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.



SHRUB PLANTING

SCALE: N T S

5 NOT USED

SCALE: NTS

6 NOT USED

SCALE: NTS

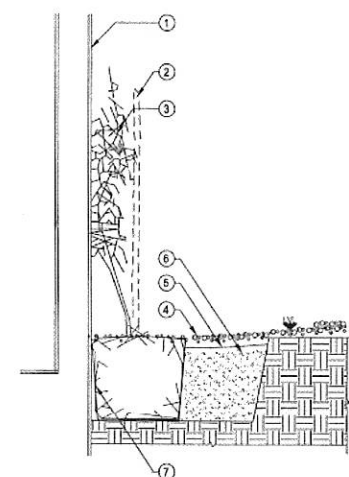
LEGENDS:

- (1) FACE OF BUILDING OR WALL.
- (2) REMOVE NURSERY STAKE.
- (3) SPREAD ON WALL AND SECURE. USE EPOXY TIES - ATTACH TO WOOD WITH NAILS AND TO STUCCO WITH EPOXY CEMENT ROD.
- (4) REMOVE ANY EXCESS TRASH. CONCRETE AT PLANTING HOLE.
- (5) CREATE SWALE DEPRESSION AWAY FROM FOOTING OF STRUCTURE.
- (6) PIT TO BE 2 TIMES DIA. OF BALL.
- (7) SET ROOTBALL NEXT TO FOOTING.

*LVL: LEVEL

NOTES:

- PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.



VINE PLANTING

SCALE: N T S

8 NOT USED

SCALE: NTS

9 NOT USED

SCALE: NTS

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APR 24 2017

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PLANNING BOARD

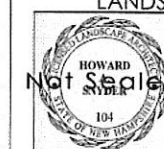
DATE:

TROPIC STAR CONVENIENCE

Project Address: Condit Highway (Route 120)
Barnstable, New Hampshire
Project Issue Date: January 27th, 2014
Project Number: 13-011-00
Project Status: Coordination and Approval
Reviewed By: [Signature]

DATE: ISSUE TITLE: DATE:

LANDSCAPE



DETAILS

L4.0

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12 NOT USED
SCALE: NTS

13 WILDFLOWER SEED MIX SPECIFICATION

15 NOT USED
SCALE: NTS

17 NOT USED
SCALE: NTS

18 NOT USED
SCALE: NTS

APPROVED
PLANNING BOARD

DATE:

TROPIC STAR CONVENIENCE

Project Address:	Card Highway (Route 122) Bartonsville, New Hampshire
Project Issue Date:	January 27th, 2014
Project Number:	11-01100
Project Status:	Construction and Approval
Reviewed By:	Howard Snider

DELTA	ISSUE TITLE
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LANDSCAPE

DETAILS

Not Sealed

L4.1

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LANDSCAPE SPECIFICATIONS
1.0 GENERAL CONDITIONS

1.1 Site Inspection: Bidder is required to inspect site and thoroughly inform themselves of existing conditions. It is the responsibility of the bidder to inform the Landscape Architect of discrepancies between existing conditions and those shown on drawings prior to beginning construction.

1.2 Project Completion: shall be defined as the date construction is complete and the maintenance period begins.

1.3 Guarantee Period: Time defined in these attached documents during which the Contractor is responsible for the health and replacement of plant material.

1.4 Work Experience: The landscape contractor, with their bid submittal shall provide written verification of three (3) years demonstrative ability to perform the work specified herein. Past work shall be of similar type, scale and quality.

1.5 Damage and Responsibility: Contractor shall assume full responsibility for any damage imposed, accidentally or intentionally, to existing utilities, buildings, or other amenities, due to the actions of the contractor, contractor employees, and contractor's sub contractors. Contractor is required to protect work from damage and theft and replace all damage or stolen parts until the work is accepted in writing from the owner, without additional cost to the owner.

1.6 Unauthorized changes to plans: The Landscape architect preparing these plans is not responsible for, or liable for unauthorized changes to or use of these plans. All changes to the plans must be in writing and must be approved by the Landscape Architect prior to the commencement of any work.

1.7 Permits: The contractor's responsibility to apply, obtain, and pay for all required permits to complete the scope of work.

1.8 Trade Coordination: Construction and installation of items within these documents requires close coordination between trades involved in underground / utility installation and the location of improvements. Contractor is responsible to insure proper coordination between trades to ensure and avoid construction delays or damage to any improvements or utilities.

1.9 Underground service alert: Contact Dig Safe System, Inc. 72 hours prior to digging at 1-888-Dig-Safe or 811. The contractor shall exercise extreme care in working near existing utilities. Verify the location and condition of utilities prior to construction. Pot holing required will be at no additional cost to owner.

1.10 Insurance: The contractor shall carry worker's compensation, public liability, and property damage insurance as required per local code and owner's agreement.

1.11 Hold harmless and indemnification clause: Contractor assumes sole and complete responsibility for the job site conditions during the course of construction of the project. Including safety to all persons and property. This requirement applies continuously and not limited to normal working hours, and harmless from any and all liability, real or alleged. In connection with the performance of work on the project, excepting for liability arising from the sole negligence of the Landscape Architect.

1.12 Inspections: The contractor is responsible for notifying the municipal representative prior to any required municipal inspection. The contractor shall notify the Landscape Architect at least 48 hours in advance prior to any required or desired inspection at (978) 704-6155. These drawings and specifications are property and copyright of Howard Snyder, Registered Landscape Architect. These drawings shall not be used on any other work except by written authorization from Howard Snyder, RLA.

1.13 Discrepancies: The written dimension takes preference over scale dimensions and verified on the job site. Discrepancies must be brought to the attention of the Landscape Architect prior to the commencement of work.

1.14 Questions: The Landscape Architect decides all questions relating to the interpretation of the drawings and the acceptable fulfillment of the contract.

1.15 Job Site: Maintain the premises clean and free of excess equipment materials and rubbish incidental of the work at all times including weekends and holidays. Dispose rubble, trash, or items resulting from the demolition of construction in a legal, lawful and safe manner to an approved disposal site.

2.0 WORK SPECIFIED HEREIN

2.1 Included Items: The work specified within this section includes labor, materials, equipment and services necessary to complete the improvements detailed and specified, including the following work reasonably incidental thereto. The Contractor shall be responsible for the following work unless otherwise specified on the plans.

2.2 Coordination: Coordinate the irrigation work, if any, to insure successful integration with the landscaping.

2.2.1 Grading: Responsible for finish grade \pm (.1) tenth of a foot beyond the related grading and drainage plans. Coordinate with civil plans, if exist.

2.2.2 Soil Preparation: Soil condition and fine rake prior to planting lawns, ground cover, seeding and decomposed granite installation.

3.0 SAMPLES & TESTS

3.1 Soil Tests: The Landscape Architect reserves the right to take and analyze samples of materials for conformity to specifications at any time. Contractor shall furnish samples upon request by Landscape Architect. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense. Cost of testing of materials not meeting specification is the Contractor's expense.

4.0 COORDINATION AND RESPONSIBILITY

4.1 Collaboration with Trades: Coordinate and cooperate with other trades working on the site for successful completion of the project.

4.2 Site Knowledge: Before commencing work on the site, become thoroughly acquainted with layout of all underground utilities and structures over the entire site. All requisite repairs to correct damage caused by work of this Section shall be at the Contractor's expense.

4.3 Existing material: Protect and maintain existing plant material and associated elements not indicated for removal as necessary to ensure survival.

4.4 Pre-construction Conference: A pre-construction conference is required prior to work. The Contractor, and related subcontractors together the Owner's representative and Landscape Architect are given an opportunity to review plans together before any work is performed. The purpose of this conference is to discuss the project in detail, including scheduling of work, site preparation, interpretation of documents and to answer questions that may arise. Unless followed up in writing, verbal authorizations or acknowledgment by anyone present are not binding. It is the responsibility of the contractor to notify the owner and Landscape Architect 10 days prior before a date requested for the conference.

5.0 STANDARDS

5.1 Quantity: Quantities on plant list, if shown, are for reference purposes only. Contractor is responsible for installing all plant materials shown on the plans. If shown, quantities are provided for estimating or City approval purposes only, and are not to be considered accurate for bidding. All significant differences between the site and the drawings shall be reported to the Landscape Architect immediately upon determining said discrepancies. Failure to do so, require the Contractor to make additional plantings to fill spaces, or other changes determined by the Landscape Architect at the Contractor's expense.

5.2 Plant Material Substitution: At the time of bidding, the Contractor shall verify the ability to purchase all plant materials required to complete this work. Upon award of bids, the Contractor shall make arrangements with his suppliers for adequate and properly sized materials as specified on the plans. If perceived shortage is determined either at time of bidding, or upon award of contract, the supplier may employ one of the following methods.

5.2.1 Contract Growing of Materials: When required on the construction documents, and sufficient lead time allows, plants shall be contract grown. Specified minimum time of six months per container, prior to moving into larger sizes, shall be waived, provided adequate roots develop throughout the container to hold the soil together upon removal from the container. Cost for contract growing shall be stipulated to and agreed upon as a separate contract cost with the Owner prior to commencing any work toward contract growing.

5.2.2 Substitution of Materials: If the above method proves inadequate, plant substitutions approval is required from the Owner/Landscape Architect. The Contractor can make recommendations to the Landscape Architect, in writing, for consideration. The substitutions must be made with the same sized container material. Substitutions will not be considered prior to bidding. The Contractor must provide a list of suppliers searched to the landscape architect for materials not available, if requested.

5.3 Nomenclature: If specific plant material is in question provide copies of the project's order forms to verify with the Landscape architect. The landscape architect will determine if any plant rejections occur. If requested, make plant material corrections at no expense to the owner. Names of plant materials on the plans are in accordance with the American Nursery and Landscape Association and/or as specified in the plant list.

5.4 Quality & Size: The quality and size of all plant materials shall be based upon the American Nursery and Landscape Association Accepted Standards for size, shape and caliper unless specified otherwise on the plans. Rejected materials shall be removed from the site, and replaced immediately the decision of the Landscape Architect shall be final. Container grown plants shall have been grown in containers or boxes for a minimum of six months, except when the plants hold the entire rootball together upon removal from the containers, without being root-bound. "Climatized" non-Massachusetts grown plants for at least four weeks in partial shade, during the summer months, prior to delivery to the site. Trees shall have straight trunks throughout their height, except multi-trunked specified material. Any tree with weak trunks incapable of supporting its full growth shall be double-staked, whether called for in the specifications or not.

5.5 Plant Material Procurement: Purchase trees, shrubs, vines and groundcovers within 30 days of contract award by the owner. Forward written verification that this has taken place to the Owner and Landscape Architect. All storage and maintenance costs is borne by the Contractor.

5.6 Inspection: All plant materials are subject to acceptance or reject by the Landscape Architect. Notify the Landscape Architect after delivery of plant materials. The Landscape Architect will visit the site, determine the quality of stored materials, and notify the Contractor of all rejected materials.

5.7 Product Delivery, Storage & Handling: All plant materials delivered to be planted as soon as practical, after inspection and approval. Keep all sun sensitive plant materials out of full sun during summer months. Delivery, maintenance and installation of all plant materials is the sole responsibility of the Contractor, and they shall make all arrangements for proper labor to avoid delays and rejection of plant materials which have been on-site too long without planting or installation.

6.0 MATERIALS

6.1 Mulch: Use organic, well-rotted, decomposed bark fiber, (wood chips not acceptable) materials with no fillers or agents save for the balance of nitrogen-adding ingredients. Ph shall range from 6.8 to 7.2; moisture content shall be 30 to 40% by weight, and nutrients shall comply with the following minimum requirements by volume: Nitrate Nitrogen - 1.5%; Organic Nitrogen - 3.85%; Phosphorus - 1.14%; Potassium - 1.19%; Iron - 0.84%. Delivery to site shall be either bulk or marked bags. Acceptable products is dye-free "Hemlock Mulch" or approved equal.

6.2 Sand: Shall be coarse, granular concrete sand or grout sand (not mortar or silica sand), conforming to ASTM C-33, thoroughly and uniformly washed, entirely free of oil or other deleterious substances.

6.3 Fertilizer/Hormones: Apply Superthrive root stimulant as directed by manufacture at the time of installation. Provide a second application a week later. Add 0/10/10 slow release tablet fertilizer and sulfur granular per manufacture specifications to the plant pit back fill.

6.5 Topsoil: Mend soil free from non-organic refuse, noxious weeds, nut grass, thorny clay, clods, roots and all material toxic to plant growth. Excavation may need to extend past the first 6" of soil on the site. Topsoil shall comply with MASSDot specifications.

6.6 Planting Pit Backfill: Use native top soil material generated from plant pit excavation with said amenities evenly mixed in. Do not physically compact material, only water compact material in 12" layers at a time.

6.6.1 Native Top Soil Dressing: Produced from on-site top soil. Generate during original site grading, coordinate with general contractor as required. Harvest the first 6" of native land to product material. Screen material save only 4" minus product.

6.7 Tree Staking, Guying & Bracing: Stake 16-gal. and larger nursery trees shown on the plans.

6.7.1 Lodge Pole Staking: Stakes shall be a 2" diameter round knot free Pine "lodge pole", length as required below, and installed as follows: Stakes immediately adjacent to, but in no case through, the root ball, penetrating at least 8" into undisturbed soil, and aligned vertically. The stake alignment should not interfere with the existing branch structure of the tree. Install stakes as follows: 16-gal. - 2 ea. 8' long pole; 24" and 30" drum laced root ball size - 2 ea. 12' long stakes;

6.7.2 Guying & Bracing: 30" root ball sized trees and larger size apply guying and bracing method. Use three guy wires with ground stakes (see details on plans). Attach #8 gauge guy wire to a #5 ribbed bar 30" long with a drilled hole completely through the ground stake, and securing the wire with two mechanical clamps per wire. Use #12 gauge plastic coated guy wire for fastening trees to stake. Attach wire to trees at the lowest branches, encased with 24" rubber hoses, and clamped with at least two clamps. Use only rubber hosing, no plastic. Allow 4" min. clearance around the trunks of 36" box trees or larger. Set the ground stakes an appropriate distance from the tree to provide an approximate angle of 45 degrees between the ground and wire.

6.8 Headers: See plans and details for type of header and installation specifications. All headers shall be mounted with their tops flush with sidewalks, kept 1" above finished grades of decomposed granite. Use continuous curves and straight lined forms free of wiggles and dips. Notify the Landscape Architect 48 hours in advance for the opportunity to verify form work / layout prior to pour. Landscape architect reserves the right to reject any material thought to be improperly installed.

6.9 Stone: Provide material void of lump and free of foreign substances. Use type and size specified on plans and in details. One color shall be used for the entire work, and shall be obtained from a single source.

6.10 Lawn Materials

6.10.1 Sod: Kentucky Bluegrass or as specified on the plans. Sod shall be warranted by grower to be weed-free, insect-free, disease, and toxin-free. No growth reducing chemical or condition shall be acceptable. Sod material to be provided from one source. Plant sod cut and harvested must be stacked, delivered and installed within 24 hours of initial harvest-cut. Any sod delivered to site must have accompanying invoice/delivery tickets indicating time of cut, quantity delivered and any other pertinent information requested by Project Manager. Installation of cut and delivered sod shall commence immediately upon delivery.

7.0 PLANT INSTALLATION

7.1 Contractor shall stake tree locations as shown on drawings. The Landscape Architect shall field check the layout location of plants and will direct the Contractor to adjust to exact position before excavation begins. Notify the Landscape Architect at least 48 hours prior to scheduling work.

7.2 Notify the Landscape Architect of rock caliche, hard pan clay, and other obstructions which are encountered in the excavation of plant pits. Alternative planting locations may be selected by Landscape Architect.

7.3 Plants to sit in a $\frac{1}{2}$ " deep basin (barely visible) Do not provide swales around planting pits.

7.4 Plants injured or root ball broken during planting operations will be rejected. Out larger containers as required to remove plant material without injury.

7.5 All ground cover and mulch areas shall be treated with a pre-emergent and herbicides as outlined in Section 7.9.

7.6 Set finished grade 1- $\frac{1}{2}$ " below tops of header, walks, etc. (Typical)

7.7 Broom sidewalks and paving daily during planting operation. Empty plant containers and debris are to be picked up and disposed of daily. Contractor's trash shall be removed from the site at the completion of work.

7.8 Weed control: Remove all weeds by mechanical methods or by spraying with "Round-up" or equal. Remove all weeds by mechanical methods or by repeating sprayings of Round-up or equal. Use Marnage on nut grass infestation as required. A pre-emergent such as "Dacthal" or equal, shall be used in all decomposed granite areas. Follow manufacturers recommendations for applications. Plastic liners shall not be allowed. It is the sole responsibility of the contractor to provide a clean and weed free environment for plant material until the end of the maintenance period.

8.0 INSTALLATION

8.1 Soil Preparation: The Contractor shall be solely responsible for removing all ABC, rocks or foreign objects larger than 1" from all planted areas. The Contractor shall visit the site, and work with the General Contractor to assure themselves this provision is complied with. In areas where turf will not be planted, they shall take proper precautions for the removal of any existing turf and other aggressive weeds.

8.2 Shrubs & Trees: Shall be installed in accordance with the foregoing specifications and the details shown on the plans. Plant pits shall always provide adequate growth volumes for new roots, and shall meet the following minimum standards, which may be increased on the details: Dig planting pits 1 $\frac{1}{2}$ times the width and the same height of the root ball. Buried rootball will not be accepted.

8.3 Lawn Materials: Soil Preparation: Clear and grub area, then scarify and cultivate to a minimum depth of 8", then set to finish grade. During the operation, remove debris. Including all stones over 1" in any dimensions, and disposed of off-site. Next, provide chemical fertilizer, 16-20-0 composition, mechanically spread over the entire area at an average rate of 10 pounds per 1000 sq. ft. Cultivate fertilizer into the top six inches of soil. Inform the Landscape Architect for inspect and approve these areas prior to planting.

Special handling and installation requirements are as follows:

1. All sod delivered shall be installed within the 24 hour harvest/installation time frame.

2. All sod installed shall be laid down using a staggered seam regimen, alternating each set of rows so no two ends of sod strips are adjacent to each other.

3. Once installed sod is watered and all trimmings and scraps are removed and disposed of, all turf areas shall be power-rolled using at least a 500 pound weighted roller. All areas shall be rolled in perpendicular directions making certain all areas are rolled at least two times.

4. Commence irrigation to installed turf as soon as possible. Any areas not receiving irrigation water due to irrigation design or installation problems, shall receive immediate hand watering attention by installation crew members and subsequently report problem to Project Manager.

8.4 Berms/Grading: Earth berms shall be formed as indicated on the plans. Grading responsibility shall be work of the mass grading contractor unless specified otherwise on the construction documents. The Landscape Architect shall approve all grading based on aesthetics, prior to any tree irrigation and site improvements. The Civil Engineer shall approve all grading based upon drainage. Approvals must be obtained in writing prior to commencing landscape work. Notify Landscape Architect at least 48 hours prior to scheduled work.

9.0 PRUNING AND REPAIR

9.1 Upon completion of the work of this Section, prune trees and shrubs if required or directed by the Landscape Architect, and injuries repaired. Limit amount of pruning to the minimum necessary to remove dead and injured twigs and branches.

10.0 GUARANTEE AND REPLACEMENT

10.1 Guarantee all lawns and planting for a period of 90 days from the date of final acceptance unless otherwise noted. All lawns and planting shall be alive and in satisfactory growth at the end of the guarantee period.

10.2 During the guarantee period, all plants shall be in a healthy, viable condition. Replace any plant not in a healthy condition when notified by the Landscape Architect. Should any difference of opinion arise over replacement, the Landscape Architect's decision is final.

10.3 Guarantee replacements for a period of 90 days from the date of final acceptance

10.4 The guarantee period for deciduous trees shall be in effect until all are showing new growth the spring following planting provided the tree was installed just prior to its dormant stage.

11.0 ACCEPTANCE OF WORK

11.1 After completion of all work and before the beginning of the maintenance period, notify the Landscape Architect to schedule the maintenance inspection. Provide on-site, a complete set of as-built for Landscape Architect review during the maintenance inspection.

11.2 Before scheduling the maintenance inspection, insure that all tests and work related to irrigation is completed. The Landscape Architect shall be notified (14) days prior to scheduling inspection.

11.3 Insure that tree, shrub and ground cover quantities are according to plan and at correct spacings, and are in healthy substantially vigorous condition.

11.4 Irrigation system needs to be fully functional and complete on the date of inspection for approval. Open all valve boxes and controllers to expose hardware for inspection just prior to the arrival of the Landscape Architect/Owner. Demonstrate the operation of all remote control valves from the controller, in sequence, and provide enough time for the Landscape Architect to inspect all areas being watered.

11.5 Should the Landscape Architect or Owner's representative determine the site to be sufficiently incomplete or poorly installed, they reserve the right to postpone or extend the maintenance period until the project is in acceptable condition.

12.0 MAINTENANCE

12.1 Maintenance shall be for a period of 90 days from date of final acceptance unless noted otherwise.

12.2 Ground cover areas shall be maintained weekly for first thirty days, bi-weekly during the remaining days, removing all weeds and grasses, and fine-tuning the irrigation system to ensure adequate coverage while minimizing over-spray.

12.3 Lawns shall not be mowed until the height reaches 2 and 1/2" keeping all heavy objects off lawns until that time. Allow one day without water prior to mowing.

12.3.1 Lawns shall be fertilized at 30 day intervals with 5 lbs. of Ammonia Sulfate per 1000 sq. ft. Contractor shall supply proof of these fertilizations prior to final acceptance by the Landscape Architect.

12.4 During the entire maintenance period, the Contractor shall be responsible for all weeding, spraying, fertilizing, mowing, raking, sweeping, mulching, replanting and watering areas with proper amounts of water to assure proper growth of all planted materials.

12.5 The maintenance period may be extended by the Landscape Architect if in their opinion the project is not being properly maintained during the designated period.

13.0 FINAL ACCEPTANCE

13.1 Notify the Landscape Architect at least 14 days in advance of their final inspection. All punch-list items generated from the 'Acceptance of Work' must be completed. The site must be in perfect condition, with lawns mowed and trimmed (clippings removed), planted areas free from weeds/grasses, all refuse removed from planted areas, walks and drives clean and dry. The Contractor reprogram a final watering times and cycles of all sprinkler irrigated areas after initial times were set during the construction process. List in writing the watering schedules for the owner to present to his maintenance staff. If all is in order, or can be made so within 24 hours, the site will be accepted verbally at this time, or extended until such time as the site can be accepted. A 'Letter of Acceptance' from the Landscape Architect will be presented to the contractor within (14) days signing off each party from contracted obligations to the document's work accomplished. Should the project require additional maintenance, the Landscape Architect shall notify the involved parties at this time. All additional time/cost involvement required by the Landscape Architect due to continuation of the maintenance period will be the responsibility of the Contractor. This time shall be billed at \$75.00 per hour plus expenses.

END OF SECTION

LAND USE OFFICE
APR 24 2017
RECEIVED

APPROVED
PLANNING BOARD

DATE: _____

AMORY LAND DESIGN, LLC.
268 STRONG STREET
NEWBURYPORT, MA
01950-2324

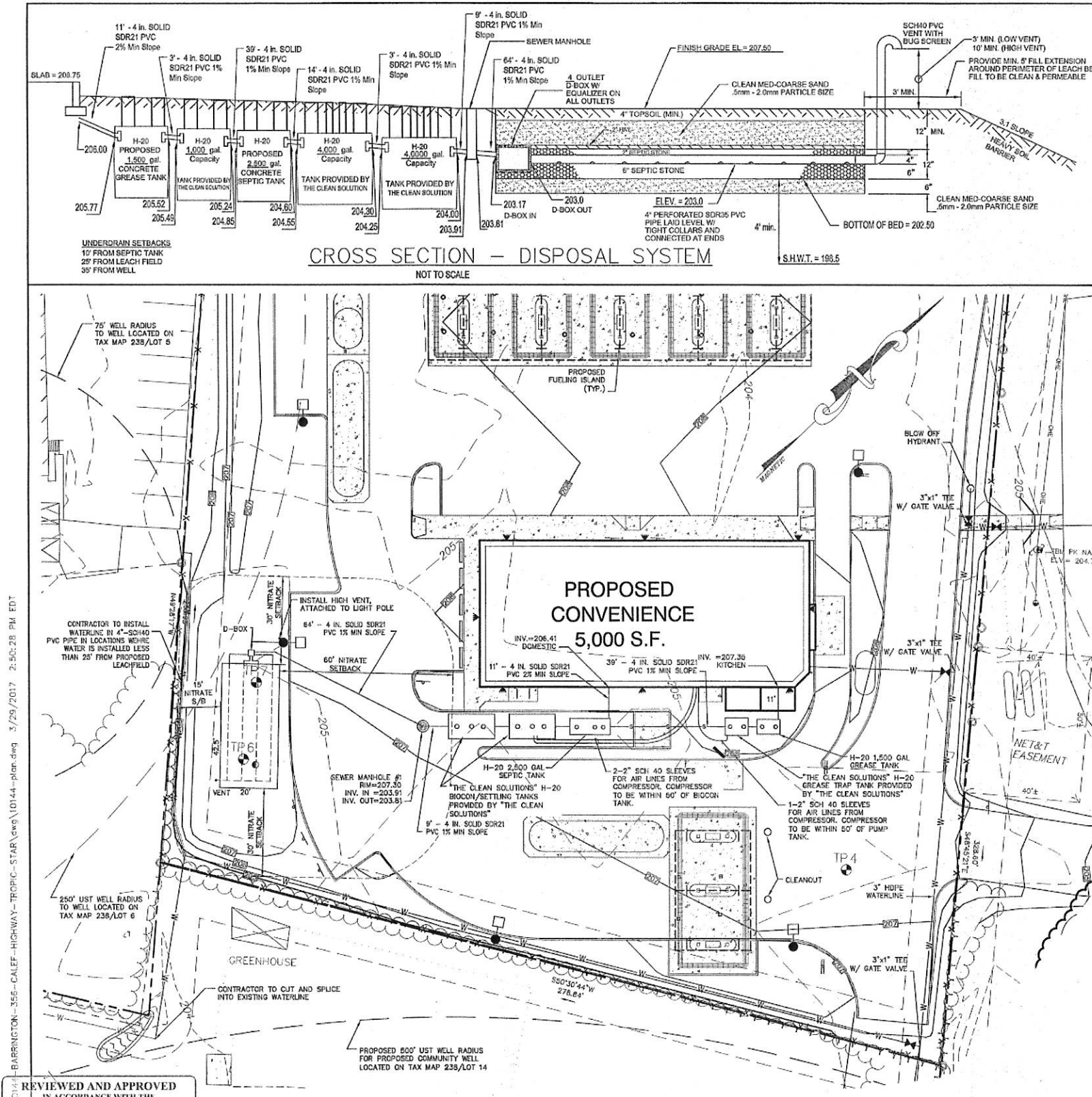
TROPIC STAR CONVENIENCE

Project Address: Canal Highway (Route 130)
Project Name: Northgate, New Ipswich
Project Date: January 23rd, 2014
Project Number: 11-01106
Project Status: Coordination and Approval
Reviewed By: Howard Snyder

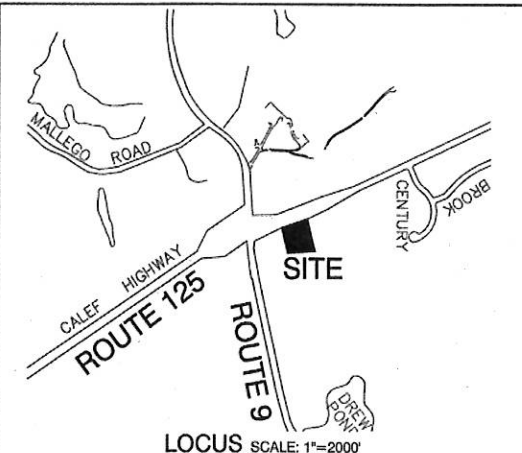
DATE: _____

LANDSCAPE

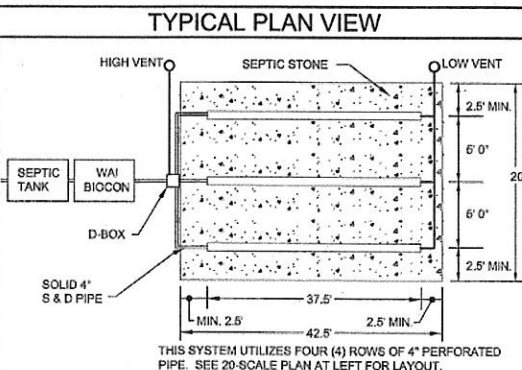
Not Sealed
104
17 of 23



TEST PIT LOGS	
PERFORMED BY: Christopher Albert, Jones & Beach Engineers, Inc., SSD #1085	
TEST PIT #6	TEST PIT #7
0'-6" 10YR 3/3 DARK BROWN FINE SANDY LOAM	0'-6" 10YR 3/3 DARK BROWN FINE SANDY LOAM GRANULAR FRIABLE
6'-60" 10YR 6/8 YELLOWISH BROWN MED. TO COARSE GRAVELLY SAND GRANULAR	6'-42" 10YR 6/8 MED. TO COARSE GRAVELLY SAND GRANULAR
60'-108" 2.5Y 6/3 LIGHT YELLOWISH BROWN FINE TO MED. SAND MASSIVE	42'-54" 2.5Y 7/6 YELLOW MED. SAND
SHWT = 78" ROOTS TO 6" H2O @ 10" NO REFUSAL OBSERVED PERC RATE = 2 MIN/INCH	SHWT = 78" ROOTS TO 6" H2O @ 10" NO REFUSAL OBSERVED PERC RATE = 2 MIN/INCH
TEST PIT, DATE: 12-24-13	TEST PIT, DATE: 12-24-13
PERC. TEST, DATE: 12-24-13	PERC. TEST, DATE: 12-24-13
2 MIN/INCH	2 MIN/INCH



- ### GENERAL NOTES
- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION
 - FILL TO BE MEDIUM TO COARSE-TEXTURED SAND (0.5mm-2.0mm)
 - REMOVE TOPSOIL BEFORE PLACING FILL
 - 4 INCH THICK LOAM & SEED AROUND PERIMETER OF FILL
 - SIDE SLOPES OF FILL= 3(HORIZONTAL): 1(VERTICAL)
 - INLET AND OUTLET OF SEPTIC TANK SHALL BE SEALED WITH HYDRAULIC CEMENT PRIOR TO INSPECTION
 - 60' SETBACK FROM POORLY DRAINED SOILS
 - 75' SETBACK FROM VERY POORLY DRAINED SOILS
 - THE OUTLET BAFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH
 - THE OUTLET AND INLET BAFLES SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK
 - NO VEHICULAR, NOR LIVESTOCK TRAVEL, NOR SNOW REMOVAL ALLOWED IN AREA OF SYSTEM
 - SEPTIC TANK IS TO BE SEALED AND GROUTED WITH NON-SHRINK MORTAR OR THICK PLASTIC CEMENT
 - SYSTEM WILL BE REPLACED IN SAME LOCATION IN CASE OF FAILURE
 - RECOMMENDED CLEANING SEPTIC TANK AT LEAST ONCE EVERY 2 YEARS
 - CROWN SYSTEM TO SHED RAINWATER; SLOPE SYSTEM AWAY FROM HOUSE
 - IF GARBAGE GRINDERS ARE DESIRED, SEPTIC TANK 60% LARGER
 - NO SURFACE WATER OR WELLS WITHIN 75'
 - 3 FT. FILL EXTENSION
 - TOWN OF BARRINGTON, REQUIRES BED BOTTOM INSPECTION
 - 2,500 GALLON SEPTIC TANK, GREASE TRAP & D-BOX TO BE SUPPLIED BY: EF SHEA NEW ENGLAND CONCRETE PRODUCTS, INC. (603-442-6668) OR EQUAL
 - ROCKINGHAM COUNTY SOIL CONSERVATION SERVICE SOIL TYPE: WINDSOR
 - "THE CLEAN SOLUTION" SYSTEM IS DESIGNED AND PROVIDED BY ADVANCED ONSITE SOLUTIONS, INC. (603) 783-8042. THE OWNER / APPLICANT OF THE CONVENIENCE STORE IS RESPONSIBLE TO COMPLY WITH MAINTENANCE OF THE CLEAN SOLUTION SYSTEM PER THE GUIDELINES IN THE ADVANCED ONSITE SOLUTIONS, INC. INSPECTION CONTRACT
 - HIGH VENT SHALL BE INSTALLED A MINIMUM OF 10' IN HEIGHT AND SHALL BE STRAPPED TO THE PROPOSED LIGHT POLE
 - SEE SHEET D3 FOR SEPTIC SYSTEM DETAILS



STONE & PIPE DESIGN CALCULATIONS

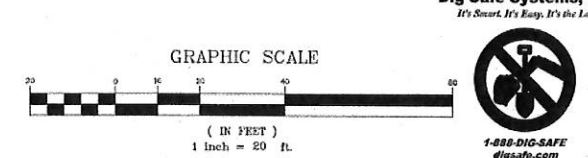
SERVICE STATION: 75 GPD/ISLAND x 6 PUMP ISLANDS = 600 GPD
DRY GOODS (3,000 S.F.): (5 GPD / 100 S.F.) x 3,000 S.F. = 150 GPD
FAST FOOD (2,000 S.F.): (16 SEAT x 20 GPD PER SEAT) = 320 GPD
EMPLOYEES: 6 EMPLOYEES x 20 GPD = 120 GPD
TOTAL GPD = 1,190 GPD

1,190 GPD @ 2 MIN/INCH = 1,489 x 0.25(AQS REDUCTION) = 372 S.F. REQUIRED
850 S.F. PROVIDED
BED DIMENSIONS 42.5' x 20'
THE CLEAN SOLUTION SYSTEM CAN HANDLE A PEAK LOAD OF UP TO 1,190 GPD

OPERATOR NOTES

- KNOW THE LOCATION OF YOUR SEPTIC TANK AND LEACHING AREA
- INSPECT YOUR TANK YEARLY AND HAVE THE TANK PUMPED AS NEEDED AND AT LEAST EVERY THREE YEARS
- DO NOT FLUSH BULKY ITEMS SUCH AS THROW-AWAY DIAPERS, SANITARY PADS OR BABY WIPES
- DO NOT FLUSH TOXIC CHEMICALS SUCH AS PAINT THINNERS, PESTICIDES, OR CLORINE INTO YOUR SYSTEM AS THEY MAY KILL THE NECESSARY BACTERIA IN THE TANK
- REPAIR LEAKING FIXTURES IN THE HOUSE PROMPTLY
- BE CONSERVATIVE WITH YOUR WATER USE AND USE WATER-REDUCING FIXTURES WHEREVER POSSIBLE
- KEEP DEEP-ROOTED TREES AND SHRUBS FROM GROWING ON AND ADJACENT TO YOUR LEACHING AREA

SUBDIVISION APPROVAL # _____ PRE 1964, ISSUED: _____
PREVIOUS CONSTRUCTION APPROVAL # CA2012107613, ISSUED: 2/21/12
CONSTRUCTION APPROVAL # _____, ISSUED: _____



PROJECT PARCEL
TOWN OF BARRINGTON, NH
TAX MAP 238, LOT 4

APPLICANT
THE THREE SOCIOS, LLC
321D LAFAYETTE ROAD
HAMPTON, NH 03842
BOOK 3937, PAGE 0522

TOTAL LOT AREA
80,273.55 SQ. FT.
1.84 ACRES

REVIEWED AND APPROVED
IN ACCORDANCE WITH THE
REQUIREMENTS OF THE
NH DEPT. OF ENVIRONMENTAL SERVICES
TOWN WATER DIVISION
Date: 01/03/12
Project No.: 10144
Check: [Signature] AS NOTED
Draw: [Signature] LAND.dwg
THIS PLAN IS OFFERED WITHOUT WRITTEN
PERMISSION OF JONES & BEACH ENGINEERS, INC. (JBE).
ANY REVISIONS OR OTHERWISE, SHALL BE
AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

REV.	DATE	REVISION	BY
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG
16	1/28/14	REVISED PER TOWN COMMENTS	BWG
REV.	DATE	REVISION	BY

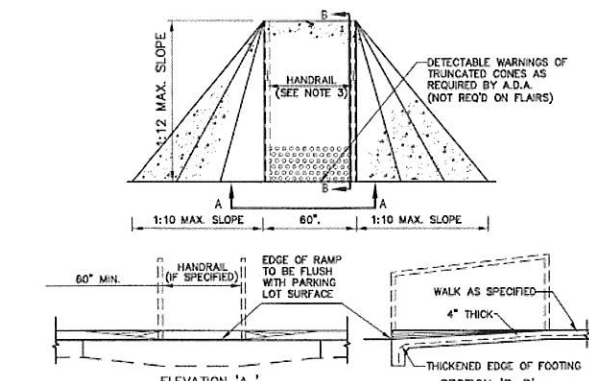
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
89 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EFFLUENT DISPOSAL DESIGN**
Project: **TROPIC STAR CONVENIENCE**
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record: **THE THREE SOCIOS, LLC**
321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.
LAND USE OFFICE
SHEET 18 OF 23
JBE PROJECT NO. 10144

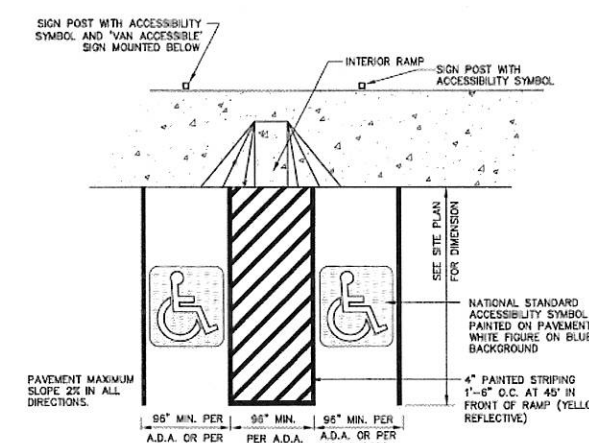
BARRINGTON-356-CALEF-HIGHWAY-TROPIC-STAR-CONV-10144-plan.dwg 3/29/2017 2:50:28 PM EDT

APR 24 2017
RECEIVED



HANDICAP ACCESS RAMP
NOT TO SCALE

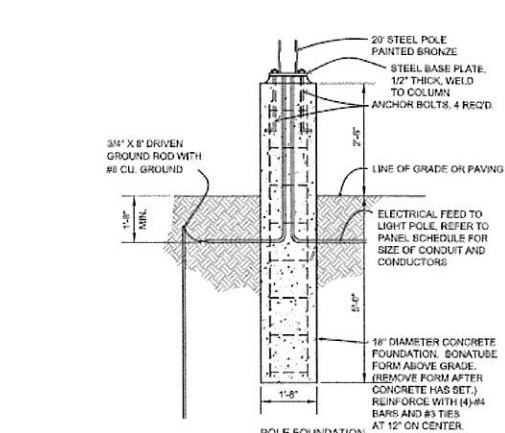
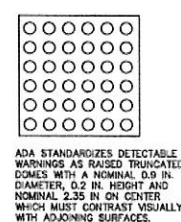
NOTES:
1. RAMP TO CONTAIN 6" WIDE WALK W/ 1/4" W.W.F. EXTENDING INTO FOOTING.
2. RAMP TO BE OF CONTRASTING COLOR TO WALK AND PAVEMENT.
3. HANDRAIL TO BE INSTALLED ONLY IF REQUIRED BY LOCAL CODE.



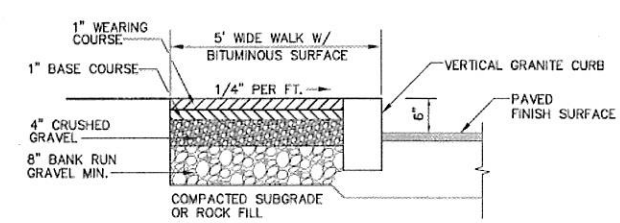
HANDICAP PARKING LAYOUT
NOT TO SCALE

NOTES:
1. AS AN ALTERNATIVE TO POST MOUNTING, SIGN MAY BE BUILDING MOUNTED.

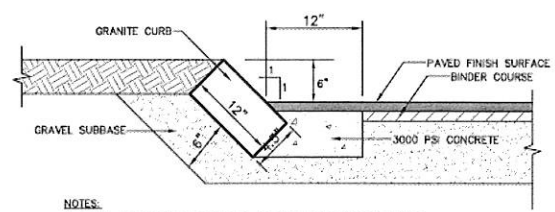
TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-B (134)	YIELD	36" 30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8	WALK	12" 24"	BLUE & GREEN ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8A	WALK	12" 6"	BLUE & GREEN ON WHITE	CHANNEL	8'-0"	REFLECTORIZED SIGN
R14-1	TRUCK ROUTE	24" 18"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1	ONE WAY	30" 30"	RED / SILVER	CHANNEL	7'-0"	REFLECTORIZED SIGN
R8-1	WALK	36" 12"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-7	WALK	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
W4-2L	WALK	24" 24"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN



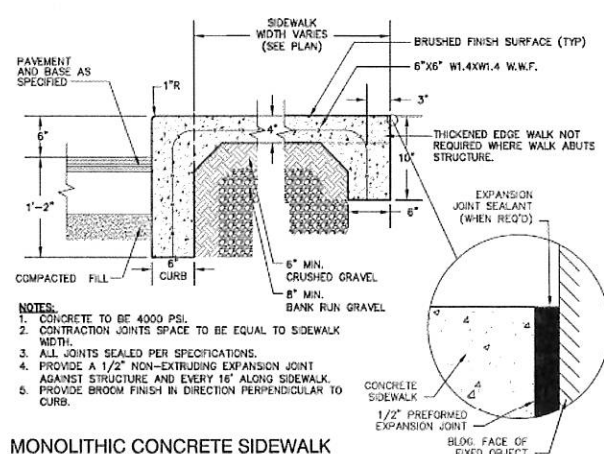
PARKING LOT LIGHTPOLE BASE
NOT TO SCALE



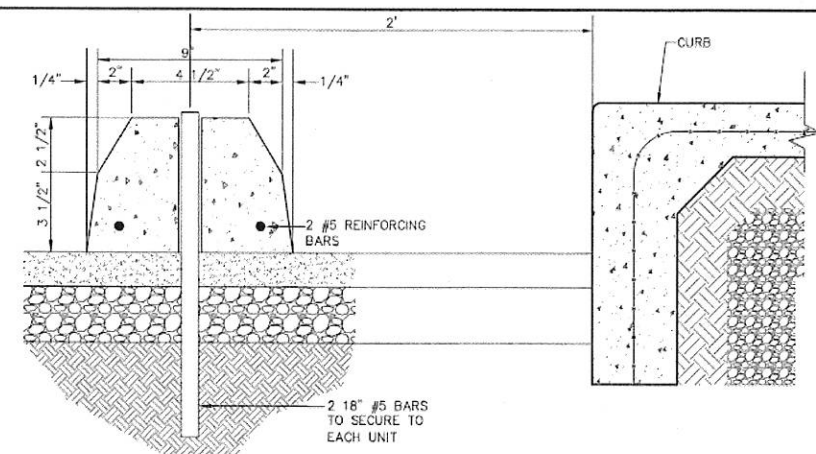
BIT. SIDEWALK w/VERTICAL GRANITE CURB
NOT TO SCALE



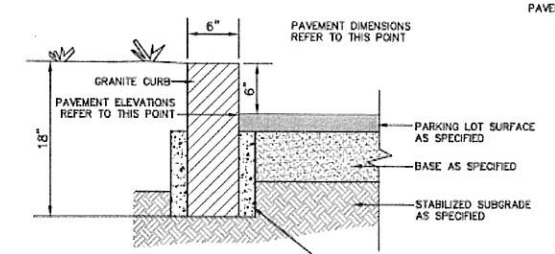
SLOPED GRANITE CURB
NOT TO SCALE



MONOLITHIC CONCRETE SIDEWALK
NOT TO SCALE

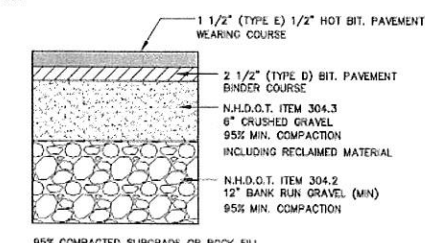


PRECAST CONCRETE WHEEL STOP
NOT TO SCALE

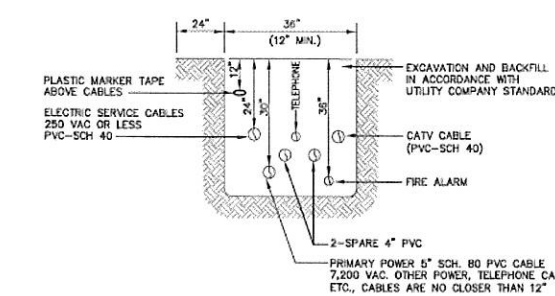


6 inch VERTICAL GRANITE CURB
NOT TO SCALE

NOTES:
1. JOINTS BETWEEN STONES SHALL BE MORTARED.
2. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
3. CONTRACTOR TO SET CURBING, PLACE 2'-3" OF 3,000 PSI CONCRETE ON EACH SIDE AND BRIDGE CONCRETE UNDER CURBING.

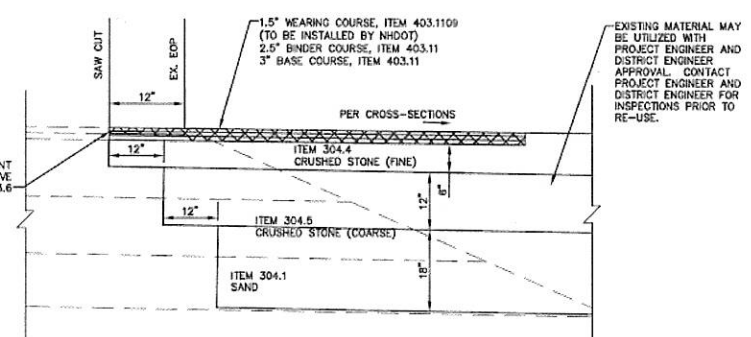


BITUMINOUS PAVEMENT
NOT TO SCALE

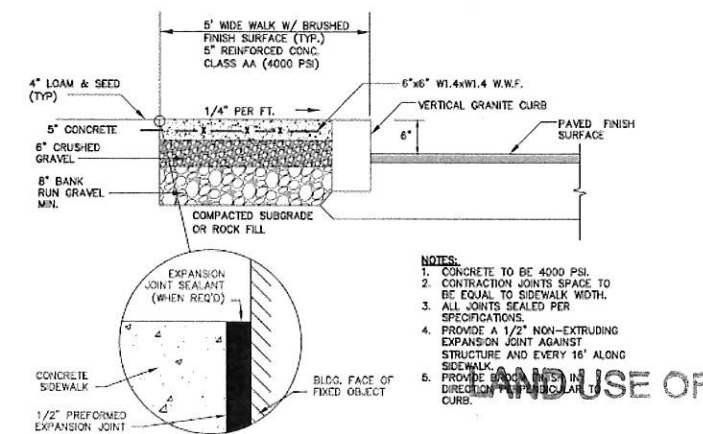


UTILITY TRENCH
NOT TO SCALE

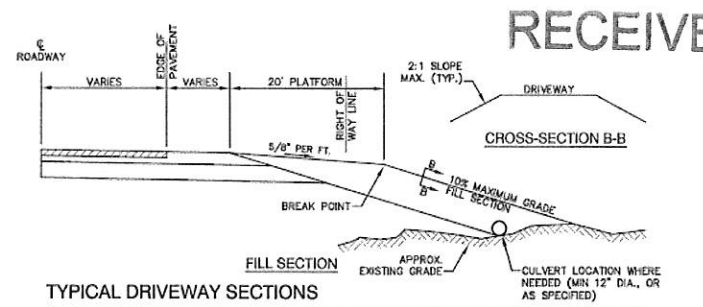
NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.



N.H. ROUTE 9 LANE EXPANSION: JOINT DETAIL
NOT TO SCALE



CONCRETE SIDEWALK w/ VERTICAL GRANITE CURB
NOT TO SCALE



TYPICAL DRIVEWAY SECTIONS
NOT TO SCALE

F:\land Projects\10144-BARRINGTON-356-CALEF-HIGHWAY-TROPIC-STAR.dwg 4/13/2017 8:44:59 AM EDT

Design: WGM Draft: GPC Date: 01/03/12
Checked: WGM Scale: AS NOTED Project No.: 10144
Drawing Name: 10144-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

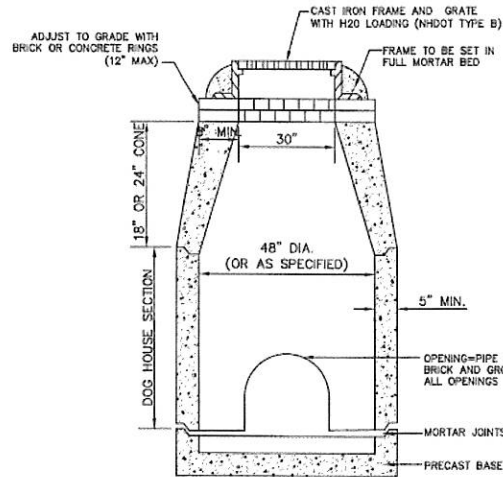


REV.	DATE	REVISION	BY
21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/29/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	8/4/16	REVISED WELL AND WATER LINE	GFC
17	4/8/14	REVISED SITE PLAN	BWG
16			

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 210
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
Project: **TROPIC STAR CONVENIENCE**
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record: **THE THREE SOCIOS, LLC**
321D LAFAYETTE ROAD, HAMPTON, NH 03842

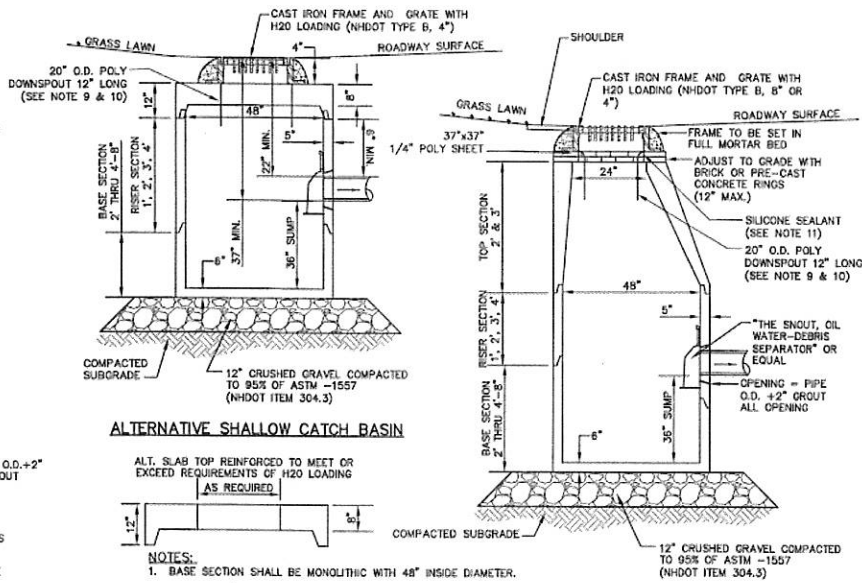
DRAWING No.
D1
SHEET 18 OF 23
JBE PROJECT NO. 10144



- NOTES:**
- 4,000 PSI AFTER 28 DAYS.
 - JOINTS SEALED WITH BUTYL RUBBER SEALANT.
 - PROVIDED WITH CAST IRON MANHOLE FRAME AND GRATE OR SPECIAL ACCESS COVER.
 - PIPE OPENINGS OR FLEXIBLE PIPE SLEEVES MAY BE CAST IN.
 - STRUCTURES ARE TO BE SUPPLIED BY SUPERIOR CONCRETE, INC., OR AN EQUIVALENT APPROVED BY THE ENGINEER.
 - CONTRACTOR TO PROVIDE INLET/OUTLET BORINGS WHERE NECESSARY.
 - ALL PIPE CONNECTIONS TO STRUCTURES MUST BE SEALED AND GROUTED SO AS TO BE WATERTIGHT.

DOGHOUSE DRAIN CATCH BASIN

NOT TO SCALE

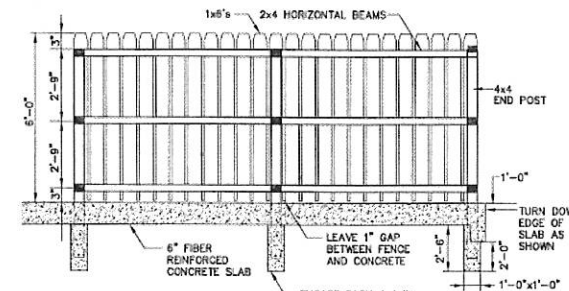


ALTERNATIVE SHALLOW CATCH BASIN

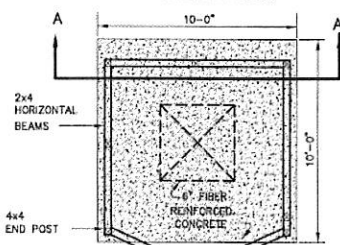
- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 - ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 - ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 - STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
 - POLYETHYLENE LINER SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
 - TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE OR MORTAR.
 - PLACE A CONTINUOUS BEAD OF SILICONE SEALANT BETWEEN FRAME AND POLYETHYLENE SHEET.

CATCH BASIN

NOT TO SCALE



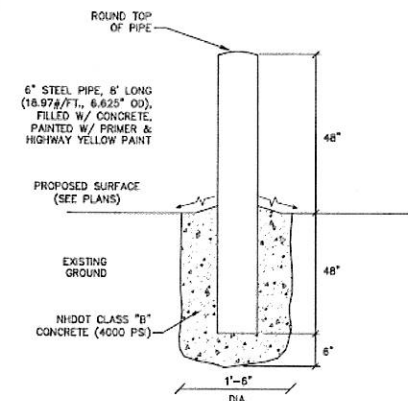
SECTION A-A



- NOTES:**
- ALL LUMBER TO BE PRESSURE TREATED.
 - WOOD FENCE TO BE PAINTED OR STAINED TO MATCH BUILDING.

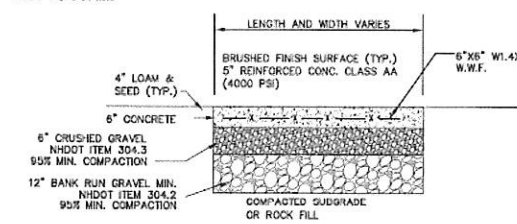
DUMPSTER SCREENING

NOT TO SCALE



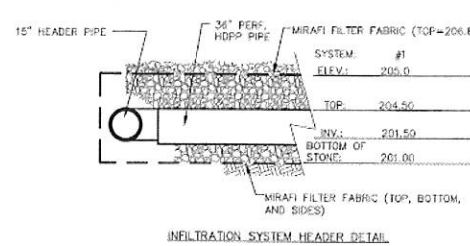
BOLLARD DETAIL

NOT TO SCALE

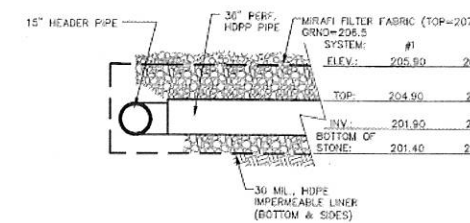


CONCRETE PAD DETAIL

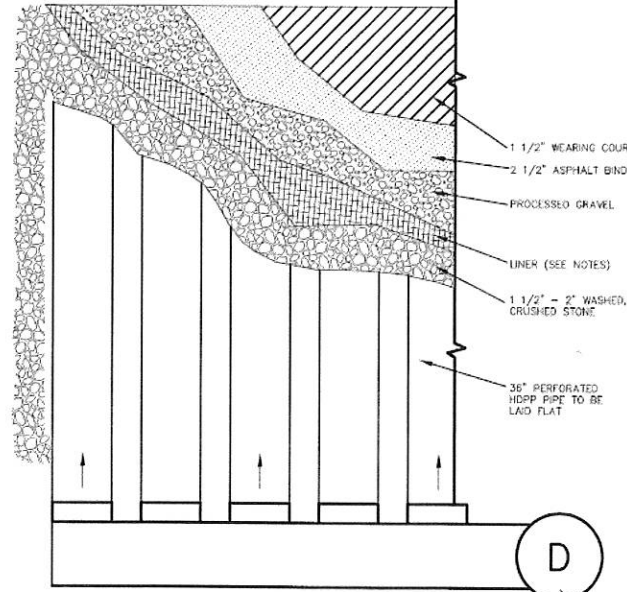
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INFILTRATION SYSTEM HEADER DETAIL

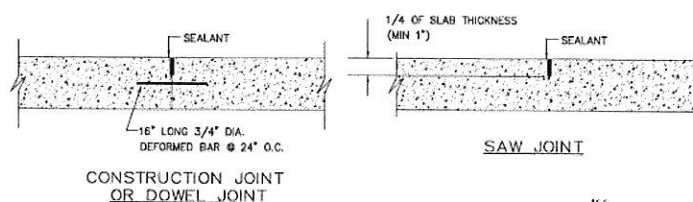


DETENTION SYSTEM HEADER DETAIL (SYSTEM 1 & 2)

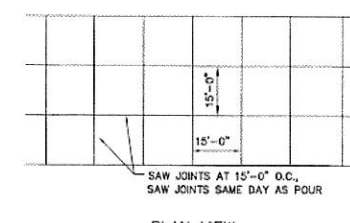


PLAN VIEW

STORMWATER DETENTION/INFILTRATION SYSTEM

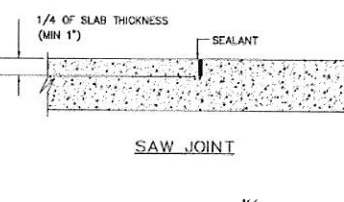


CONSTRUCTION JOINT OR DOWEL JOINT

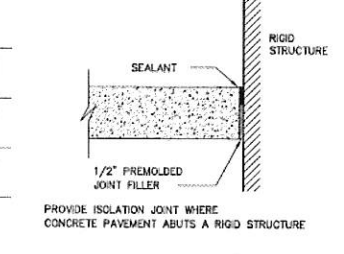


CONCRETE PAVEMENT JOINT DETAIL

NOT TO SCALE

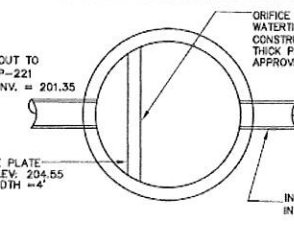


SAW JOINT



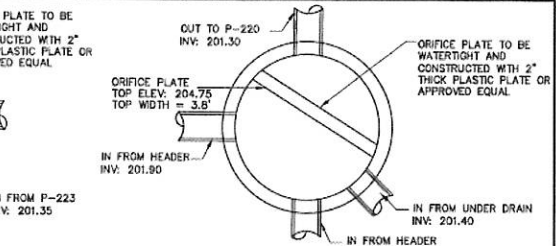
ISOLATION JOINT

NOT TO SCALE



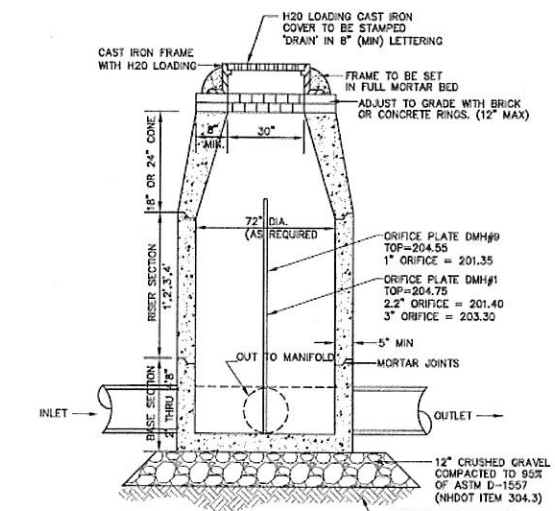
PLAN VIEW - DMH #2

NOT TO SCALE



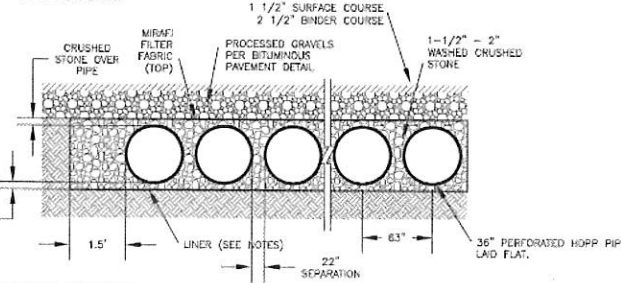
PLAN VIEW - DMH #1

NOT TO SCALE



DRAIN MANHOLE WITH DIVERSION WEIR (DMH #1, DMH #9)

NOT TO SCALE

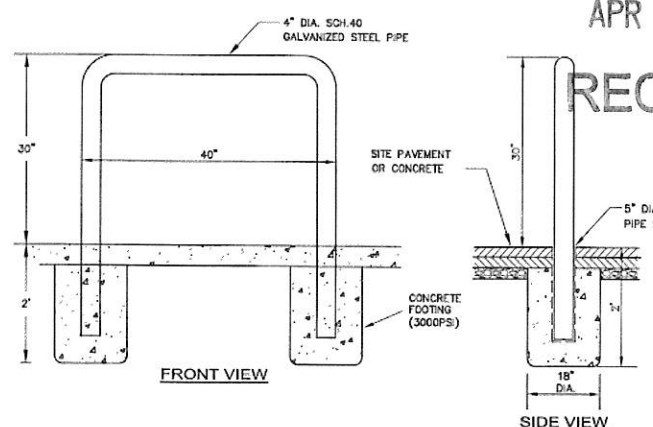


CROSS SECTION VIEW

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Design: WGM Draft: GPC Date: 01/03/12
 Checked: WGM Scale: AS NOTED Project No.: 10144
 Drawing Name: 10144 PLAN.dwg
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21	04/12/17	UPDATED PER CONDITIONS OF APPROVAL HEARING	BWG
20	03/20/17	REVISED PER NHDES SUBSURFACE BUREAU	BWG
19	12/09/16	REVISED PER CONDITIONS OF APPROVAL	BWG
18	9/4/15	REVISED WELL AND WATER LINE	GPC
17	4/8/14	REVISED SITE PLAN	BWG
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave.
 PO Box 219
 Stratham, NH 03886
 603-772-4746
 FAX: 603-772-0227
 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
 Project: **TROPIC STAR CONVENIENCE**
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
 Owner of Record: **THE THREE SOCIOS, LLC**
321D LAFAYETTE ROAD, HAMPTON, NH 03842

DRAWING No.
D2
 SHEET 20 OF 23
 JBE PROJECT NO. 10144

SEE SITE PLAN FOR ACTUAL PIPE INLET AND
OUTLET LOCATIONS FOR EACH TANK

12" MINIMUM OF 3/4"
CRUSHED STONE BEDDING (TYP)

4" SDR 35 PVC OR SCH 40 (6"
SLOPE PER DESIGN PLAN,
LAST 2' TO BE LEVEL)

24" Ø BOLTED CAST
IRON COVER WITH
FRAME (TYP)

12" COVER (MIN)

FINISH GROUND = 207.44

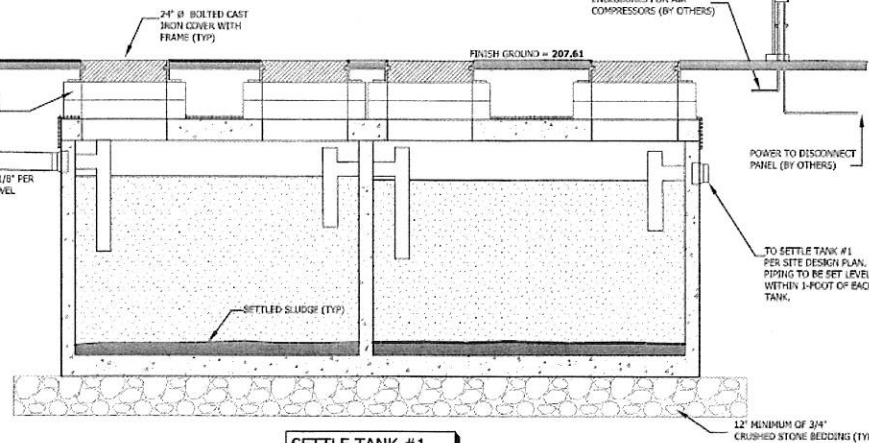
GRADE ADJUSTMENT
(BY CONTRACTOR)

4" SDR 35 PVC OR SCH 40 (6"
SLOPE PER DESIGN PLAN,
LAST 2' TO BE LEVEL)

12" MIN. (TYP)

12" MINIMUM OF 3/4"
CRUSHED STONE BEDDING (TYP)

BIOCON TANK #1



SETTLE TANK #1

AOS - THE CLEAN SOLUTION SYSTEM CR-SAN1190-H2O TANK

NOT TO SCALE

H2O TCS TANK SCHEDULE

BIOCON TANK #1
TANK SIZE = 4,000 GALS (16'-0" L x 8'-6" W x 7'-4" H)
INV. IN = 205.49
INV. OUT = 205.24
HEIGHT IN = 69"
HEIGHT OUT = 66"

CHAMBER-1 AIR DIFFUSERS = (4) TCS-250
CHAMBER-2 AIR DIFFUSERS = (4) TCS-250

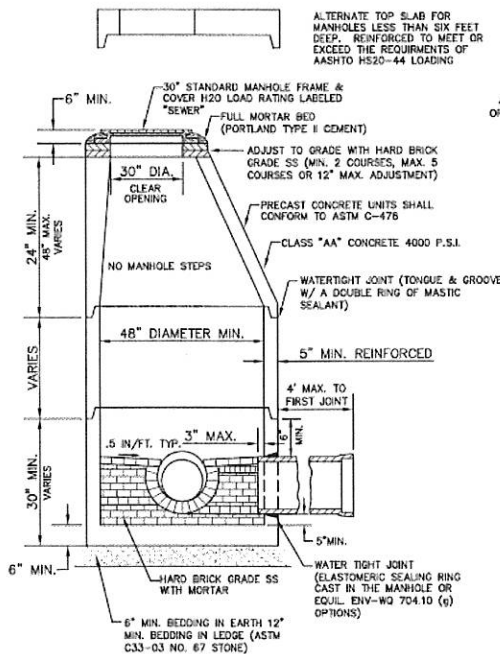
SETTLE TANK #1
TANK SIZE = 4,000 GALS (16'-0" L x 8'-6" W x 7'-4" H)
INV. IN = 205.77
INV. OUT = 205.52
HEIGHT IN = 69"
HEIGHT OUT = 66"

SOIL COVER & REQUIRED TANK RATING

STANDARD DUTY TANK: 0 - 3" MAX.
HEAVY DUTY TANK: 3" - 4.9" MAX.
H-20 LOAD TANK: 5" OR GREATER

NOTES:

- 1) ALL TANK DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO INSTALLING SYSTEM.
- 2) SEPTIC SYSTEM DESIGNER TO VERIFY ALL INVERT ELEVATIONS AND FINISH GRADES.
- 3) INVERT ELEVATIONS BASED ON INFORMATION PROVIDED BY DESIGNER.

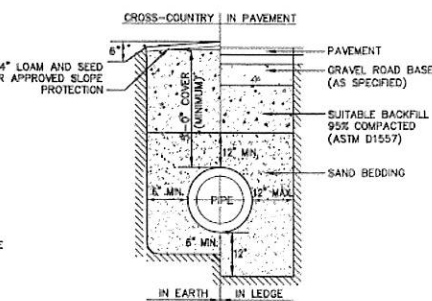


NOTES:

1. PER NHDES ENV-WQ 704.10(K), THE MORTAR SPECIFICATION SHALL BE AS FOLLOWS:
A. MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION.
B. PROPORTIONS IN MORTAR OF PARTS BY VOLUME SHALL BE:
1. 4.5 PARTS SAND AND 1.5 PARTS CEMENT;
2. 4.5 PARTS SAND, ONE PART CEMENT AND 0.6 PART HYDRATED LIME;
3. CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05;
4. HYDRATED LIME SHALL BE TYPE S CONFORMING TO THE ASTM C207-06 STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES;
5. SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO THE ASTM C33-03 STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES.

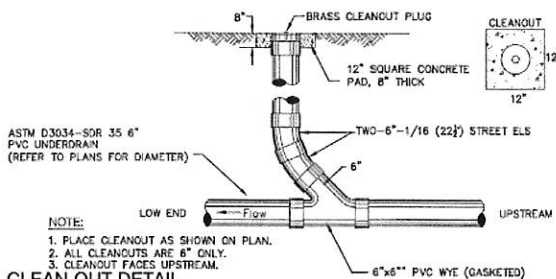
SEWER MANHOLE

NOT TO SCALE



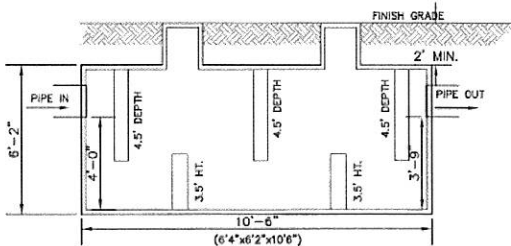
WATER SYSTEM TRENCH

NOT TO SCALE



CLEAN-OUT DETAIL

NOT TO SCALE



OIL/GREASE SEPARATOR AND SEDIMENTATION TRAP

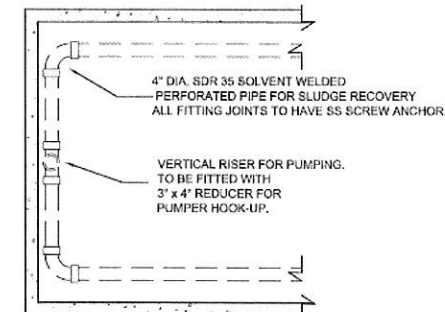
NOT TO SCALE

ADVANCED ONSITE SOLUTIONS, LLC - GENERAL NOTES

1. PRETREATMENT SYSTEM IS BASED ON THE CLEAN SOLUTION™ PROVIDED BY ADVANCED ONSITE SOLUTIONS, LLC, CONCORD, NH.
2. THE CLEAN SOLUTION™ IS APPROVED BY THE STATE OF NEW HAMPSHIRE FOR SUBSURFACE WASTEWATER DISPOSAL SYSTEMS.
3. PUMPSTATION, FORCEMAIN AND SUBSURFACE DISPOSAL FIELDS ARE DESIGNED BY OTHERS.
4. SITE, UTILITY, GRADING AND SUBSURFACE WASTEWATER DESIGN PLANS PER JONES & BEACH ENGINEERS, INC. DATED 12/09/16
5. THE CLEAN SOLUTION PROVIDED BY AOS TO INCLUDE:
A) STANDARD DUTY BIOCON AND SETTLING TANKS ARE RATED FOR 3' OR LESS OF COVER. CALL AOS FOR PRICE IF HEAVY DUTY OR H-20 COMPONENTS ARE REQUIRED. IF COVER EXCEEDS 3' OVER TOP OF TANKS NOTIFY AOS.
B) AIR COMPRESSOR(S), AIR DIFFUSER(S) AND AIRLINE(S).
C) PLASTIC MEDIA.
D) PLASTIC RISERS AND COVERS. MAXIMUM HEIGHT PROVIDED BY AOS IS 18'. FOR DEPTHS GREATER THAN 18', INSTALLER TO SUPPLY ADDITIONAL RISERS.
E) AOS AND THEIR REPRESENTATIVES SHALL PERFORM ALL INTERNAL PIPING AND BAFFLES IN THE BIOCON/SETTLING TANK(S) AND SYSTEM STARTUP.
6. INSTALLER SHALL FOLLOW THE CURRENT EDITION OF THE MANUFACTURERS GUIDELINES TO PREPARE SITE FOR INSTALLATION OF THE CLEAN SOLUTION SYSTEM AND SHALL PROVIDE THE FOLLOWING:
A) CONTRACTOR SHALL FOLLOW APPROVED DESIGN PLANS AND LOCAL/STATE SUBSURFACE SYSTEM RULES.
B) CONTRACTOR TO SUPPLY NECESSARY SEPTIC TANK(S) AND GREASE TRAP(S) AS REQUIRED BY DESIGNER.
C) EXCAVATION OF ALL TANKS INCLUDING TANKS SUPPLIED BY AOS TO GRADES ESTABLISHED BY DESIGNER.
D) SETTING AND LEVELING OF ALL TANKS INCLUDING TANKS SUPPLIED BY AOS.
E) SERVICE CONNECTIONS FROM BUILDING TO SEPTIC TANK(S), BIOCON TANK(S), BIOCON TANK(S) TO SETTLING TANK(S), SETTLING TANK(S) TO DISPERSAL FIELD(S), PUMP CHAMBER TO DISPERSAL FIELD(S).
F) CONTRACTOR SHALL EXCAVATE FOR ALL AIR CONDUIT LINES FROM COMPRESSOR HOUSING TO BIOCON TANK(S).
G) CONTRACTOR TO WATER PLUG ALL INLET AND OUTLETS NOT USED.
H) CONTRACTOR SHALL SET ALL RISERS TO GRADES ESTABLISHED BY DESIGNER. CONTRACTOR TO INSTALL ACCESS STACKS PER THE MANUFACTURERS INSTALLATION GUIDELINES. CONTRACTOR TO ENSURE THAT GASKET MATERIALS IS IN PLACE PRIOR TO SECURING SECTIONS. ALL SCREW HOLES TO BE USED TO SECURE SECTIONS TO EACH OTHER.
I) CONTRACTOR TO BUILD / MODIFY DISPERSAL FIELD AS REQUIRED BY DESIGNER.
J) CONTRACTOR SHALL CALL STATE AND LOCAL BOARD (IF REQUIRED) FOR SYSTEM INSPECTION.
K) CONTRACTOR TO PROVIDE OWNER WITH TIES FROM TWO FIXED POINTS TO ALL ACCESS COVERS.
L) CONTRACTOR SHALL BACKFILL SYSTEM AFTER APPROVAL FOR OPERATION BY THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES AND/OR LOCAL BOARD, IF REQUIRED.
7. THE OWNER/CONTRACTOR SHALL PROVIDE THE FOLLOWING:
A) OWNER/CONTRACTOR SHALL SUPPLY NECESSARY OUTLETS CAPABLE OF 5 AMP - 115 VOLTS FOR EACH COMPRESSOR. THE CIRCUIT PROVIDED SHALL NOT BE GFCI PROTECTED.
B) COMPRESSOR HOUSING(S) TO BE SUPPLIED BY OWNER / CONTRACTOR UNLESS OTHERWISE PROVIDED FOR BY AOS, LLC.
C) COMPRESSOR(S) LOCATION TO BE MUTUALLY DETERMINED BY OWNER / REPRESENTATIVE AND AOS.
D) MAXIMUM DISTANCE FROM COMPRESSOR(S) TO BIOCON TANK IS 50'. FOR DISTANCES GREATER THAN 50' CONTACT AOS.

REQUIRED MAINTENANCE BY OWNER:

- A) SIGN SYSTEM MAINTENANCE AGREEMENT FOR THE CLEAN SOLUTION SYSTEM.
- B) SEPTIC TANK(S) AND SETTLING TANK(S) TO BE PUMPED OUT EVERY 12 MONTHS.
- C) GREASE TRAPS TO BE PUMPED OUT EVERY 4 MONTHS. MORE FREQUENT PUMPING MAY BE REQUIRED DEPENDING ON USE.
- D) BIOCON TANK(S) TO BE INSPECTED BY A CERTIFIED AOS TECHNICIAN. SEE MAINTENANCE CONTRACT FOR INSPECTION SCHEDULE.
- E) OWNER SHALL KEEP ALL PUMPING RECORDS.
- F) WASTEWATER SAMPLES WILL BE REQUIRED AT A MINIMUM OF EVERY 4 MONTHS FOR THE FIRST YEAR THEN ON AN ANNUAL BASIS. TESTING MAY BE REVISED AFTER FIRST FULL YEAR OF USE. COST OF SAMPLING/TESTING WILL BE PAID FOR BY THE OWNER.
- G) FAILURE TO COMPLY WITH 'A' - 'F' ABOVE WILL VOID WARRANTY OF THE CLEAN SOLUTION SYSTEM AND AOS.



NOTE: DIFFUSERS NOT SHOWN FOR CLARITY.

AOS SLUDGE RECOVERY SYSTEM

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Checked: WGM Scale: AS NOTED Project No.: 10144
Drawing Name: 10144-PLAN.dwg
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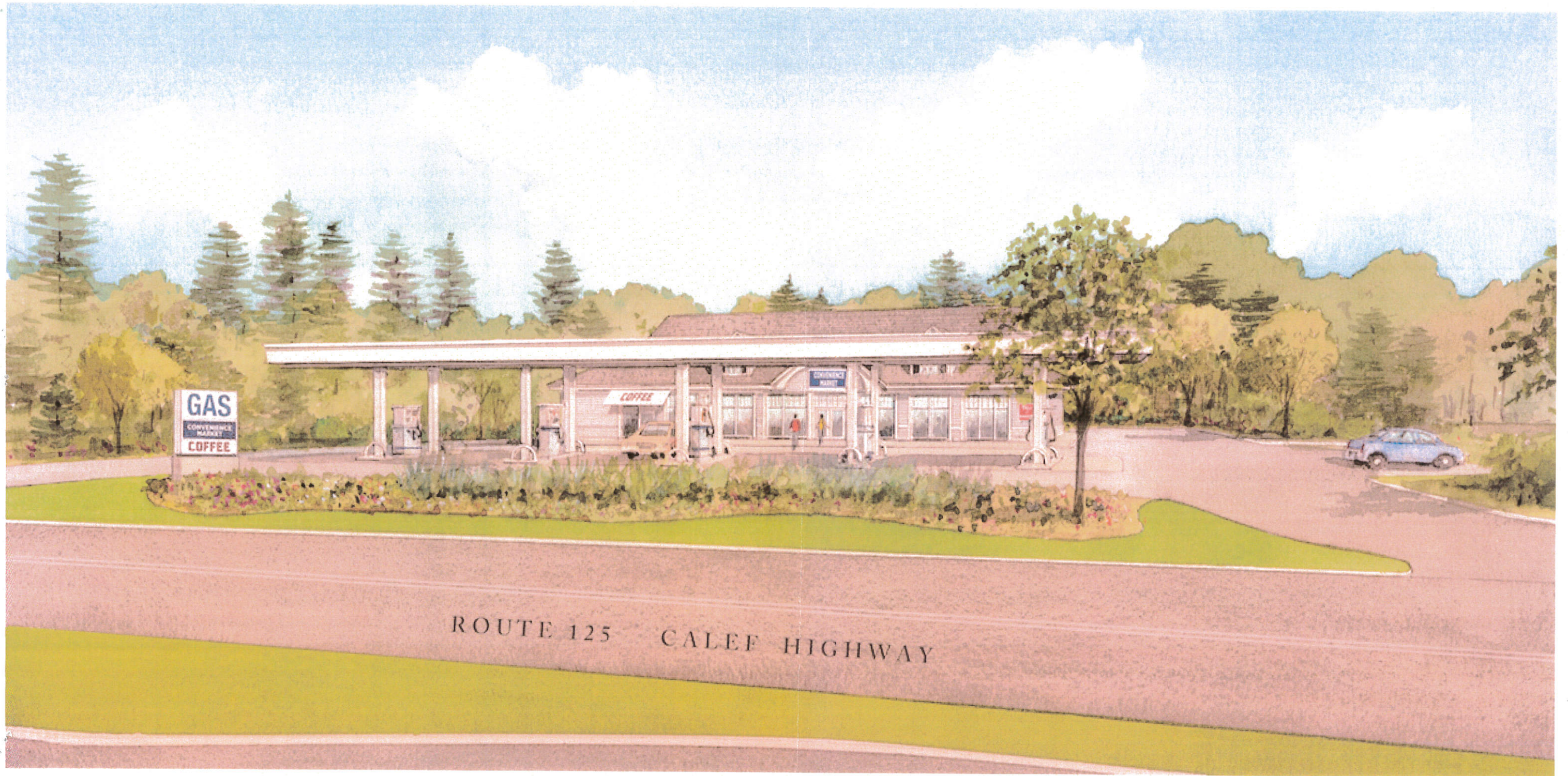


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85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
Project: **TROPIC STAR CONVENIENCE**
CALEF HIGHWAY (RTE. 125), BARRINGTON, NH
Owner of Record: **THE THREE SOCIOS, LLC**
321D LAFAYETTE ROAD, HAMPTON, NH 03842

Drawing No. **D3**
SHEET 21 OF 23
JBE PROJECT NO. 10144



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