

PROPOSED MINOR SITE PLAN

The Seacoast's own
community bank



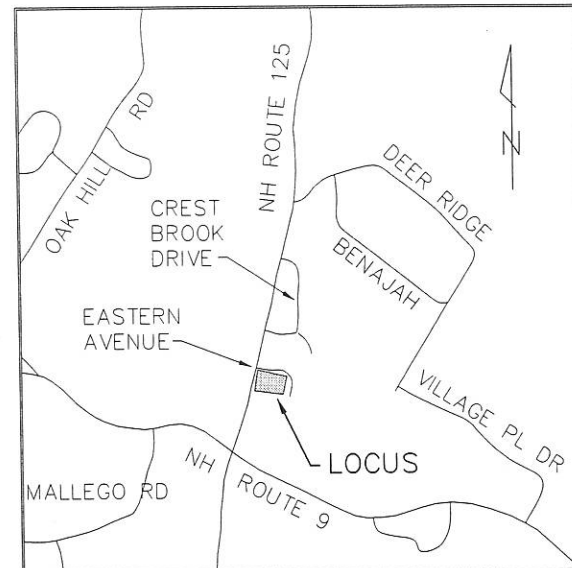
FEDERAL SAVINGS BANK

TAX MAP 235, LOT 82

6 EASTERN AVENUE

BARRINGTON, NEW HAMPSHIRE

OCTOBER 12, 2016



LOCATION MAP
NOT TO SCALE

OWNER OF RECORD/PREPARED FOR:
FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820
TEL: 742:4680

CIVIL ENGINEER:
CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 742-1954

SURVEYOR:
MCENEANEY SURVEY ASSOCIATES, INC.
P.O. BOX 681
24 CHESTNUT STREET
DOVER, NH 03820
TEL: 742-0911

LANDSCAPE DESIGNER
WOODBURN & COMPANY
103 KENT PLACE
NEWMARKET, NH 03857
TEL: 659-5949

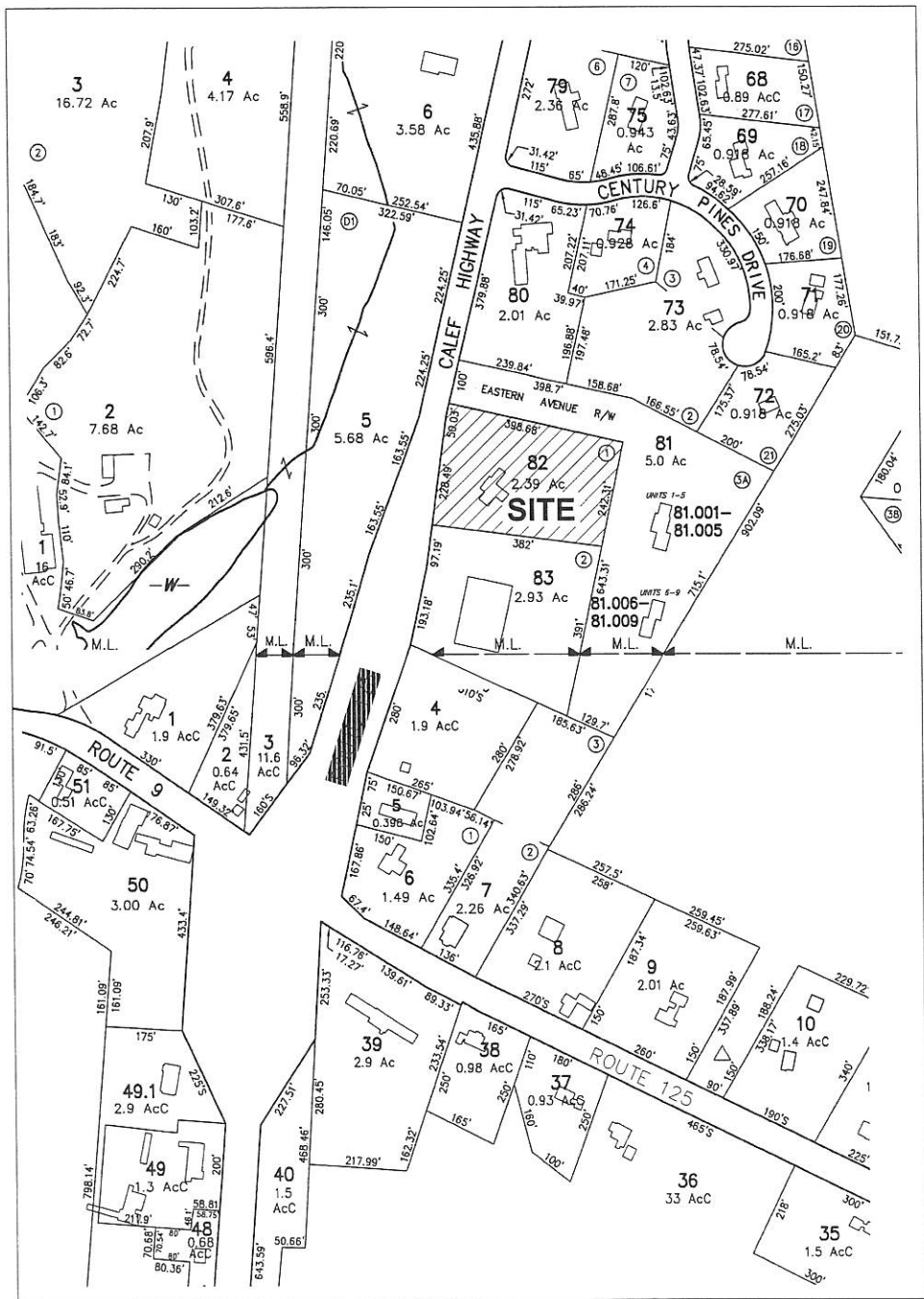
INDEX

	SHEET NO.
Cover Sheet	1
Abutter Tax Map & Abutter List	2
Existing Conditions Plan	3
Note Sheet	4
Demolition Plan	5
Site Plan	6
Grading, Drainage & Erosion Control Plan	7
Utility Plan	8
Lighting Plan	9
Lighting Details	10
Landscape Plan	11
Erosion Control Notes	12
Erosion Control Details	13
Detail Sheets	13 THRU 15

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED MINOR ALTERATION TO THE EXISTING BANK FACILITY FOOTPRINT AND SITE MODIFICATIONS INCLUDING RELOCATION OF THE DRIVE-THRU WINDOWS/ATM, ELIMINATION OF PORTIONS OF PAVEMENT, LANDSCAPE, AND NEW SITE LIGHTING.
2. THE SUBJECT PARCEL IS SHOWN AS LOT 82 ON TOWN OF BARRINGTON TAX MAP 235 AND CONTAINS 2.385 ACRES.
3. THE SUBJECT PARCEL IS LOCATED IN THE TOWN CENTER (TC) ZONING DISTRICT.
4. TITLE REFERENCE FOR THE SUBJECT PARCEL IS BOOK 936, PAGE 475, AT THE STRAFFORD COUNTY REGISTRY OF DEEDS.
5. THE SUBJECT PARCEL DOES NOT FALL WITHIN THE 100-YR. FLOOD PLAIN PER FEMA COMMUNITY MAP 33017C0305E, DATED 9/30/2015.
6. THE SUBJECT SITE AND USE ARE SERVED BY SEPTIC SYSTEM AND INDIVIDUAL WELL. THE EXISTING SEPTIC SYSTEM WAS APPROVED BY NHDES UNDER CONSTRUCTION APPROVAL NUMBER CA2001037801, DATED 10/1/01. THE LEACH FIELD AND SEPTIC TANK DESIGN ARE ADEQUATELY SIZED TO SUPPORT THE PROPOSED USE.
7. THERE ARE NO ZONING VARIANCES OR SPECIAL EXCEPTIONS GRANTED FOR THIS PARCEL.
8. THE TOTAL LAND AREA DISTURBED BY THIS PROPOSAL IS 25,114 S.F.
9. PLANNING BOARD WAIVERS REQUESTED:
 1. SECTION 5.5.1 - GRANTED
 2. SECTION 5.7.1, TABLE 8 - GRANTED
10. CONSTRUCTION OF THIS PROPOSAL IS ANTICIPATED TO TAKE PLACE APRIL, 2017 TO NOVEMBER, 2017.
11. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
12. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
13. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
14. ELEVATIONS BASED ON NGVD 29.

PLANNING BOARD APPROVAL BLOCK



TAX MAP SKETCH
SCALE: 1"=200'±

Map-Lot-Unit	Owner Name & Address
235-0082	Dover Federal Savings Bank Attn: Jim Brannen 633 Central Avenue Dover, NH 03820
235-0005	Barrington Pines, LLC P.O. Box 60 Center Strafford, NH 03815
235-0073	Cindy Pelley 30 Century Pines Drive Barrington, NH 03825
235-0080	Pasternack-Rodeffer, LLC P.O. Box 710, 8 Century Pines Drive Barrington, NH 03825
235-0081-0001	William C. Galloway 33 Eastern Avenue, Unit 1 Barrington, NH 03825
235-0081-0002	Anne H. Melvin 33 Eastern Avenue, Unit 2 Barrington, NH 03825
235-0081-0003	Paul H. Ouellette 33 Eastern Avenue, Unit 3 Barrington, NH 03825
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235-0081-000	Julie & Michael Anderson 2 Cassily Lane Dover, NH 03820
235-0081-0006	Matthew Thomas Hurst 35 Eastern Avenue, Unit 1 Barrington, NH 03825
235-0081-0007	Nina Locwin 35 Eastern Avenue, Unit 2 Barrington, NH 03825
235-0081-0008	Cynthia Nelson 35 Eastern Avenue, Unit 3 Barrington, NH 03825
235-0081-0009	Jennifer J. Corbin P.O. Box 3 Stratham, NH 03885
235-0083	The Journey Baptist Church P.O. 707 Barrington, NH 03825
238-0004	Three Socios, LLC 321D Lafayette Road Hampton, NH 03842
238-0007	George Tsoukalas P.O. Box 684 Barrington, NH 03825
Engineer:	Civilworks New England P.O. Box 1166, 181 Watson Road Dover, NH 03821
Architect:	Michael J. Keane Architects 101 Kent Place Newmarket, NH 03857
Landscape Architect:	Woodburn & Company 103 Kent Place Newmarket, NH 03857

TAX MAP & ABUTTERS LIST

BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 235, LOT 82

2

OWNER OF RECORD:
FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820

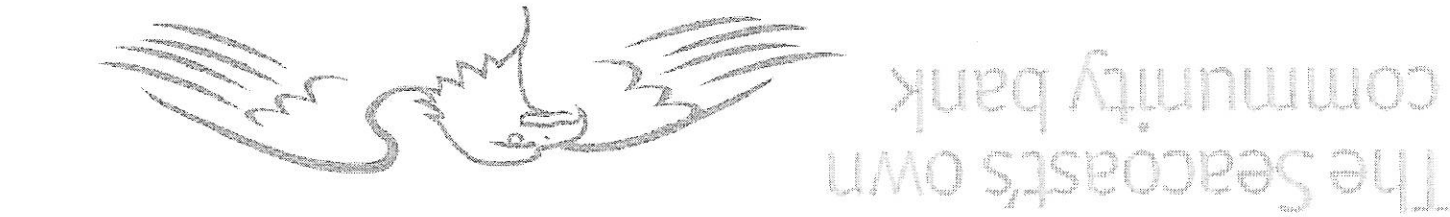
DATE: 10-12-16
SCALE: AS SHOWN
DRAWN BY: SRD
DESIGN BY: SRD
APPROVED BY: JCL
PROJECT NO: 1609
FILE: SITE.DWG

STATE OF NEW HAMPSHIRE
STEPHEN HAIGHT
No. 7978
LICENSED PROFESSIONAL ENGINEER

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

DATE
APP'D
REVISION
NO.

PROPOSED MINOR SITE PLAN



FEDERAL SAVINGS

BANK

TAX MAP 235, LOT 82
6 EASTERN AVENUE
BARRINGTON, NEW HAMPSHIRE

OCTOBER 12, 2016

- GENERAL NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED MINOR ALTERATION TO THE EXISTING BANK FACILITY FOOTPRINT INCLUDING RELOCATION OF THE DRIVE-THRU WINDOWS/ATM, ELIMINATION OF PORTIONS OF PAVEMENT, LANDSCAPE, AND NEW SITE LIGHTING.
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 5. THE SUBJECT PARCEL DOES NOT FALL WITHIN THE 100-YR. FLOOD PLAIN PER FEMA COMMUNITY MAP 3301700305E, DATED 9/30/2015.
 6. THE SUBJECT SITE AND USE ARE SERVED BY SEPTIC SYSTEM AND INDIVIDUAL WELL. THE EXISTING SEPTIC SYSTEM WAS APPROVED BY NHDES UNDER CONSTRUCTION APPROVAL NUMBER CA2001037801, DATED 10/1/01. THE LEACH FIELD AND SEPTIC TANK DESIGN ARE ADEQUATELY SIZED TO SUPPORT THE PROPOSED USE.
 7. THERE ARE NO ZONING VARIANCES OR SPECIAL EXCEPTIONS GRANTED FOR THIS PARCEL.
 8. THE TOTAL LAND AREA DISTURBED BY THIS PROPOSAL IS 25,114 S.F.
 9. PLANNING BOARD WAIVERS REQUESTED:
 10. 2. SECTION 5.7.1, TABLE 8 - GRANTED
 11. 1. SECTION 5.5.1 - GRANTED
 12. CONSTRUCTION OF THIS PROPOSAL IS ANTICIPATED TO TAKE PLACE APRIL, 2017 TO NOVEMBER, 2017.
 13. IF, DURING CONSTRUCTION, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
 14. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
 15. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 16. ELEVATIONS BASED ON NGVD 29.

SHEET NO.

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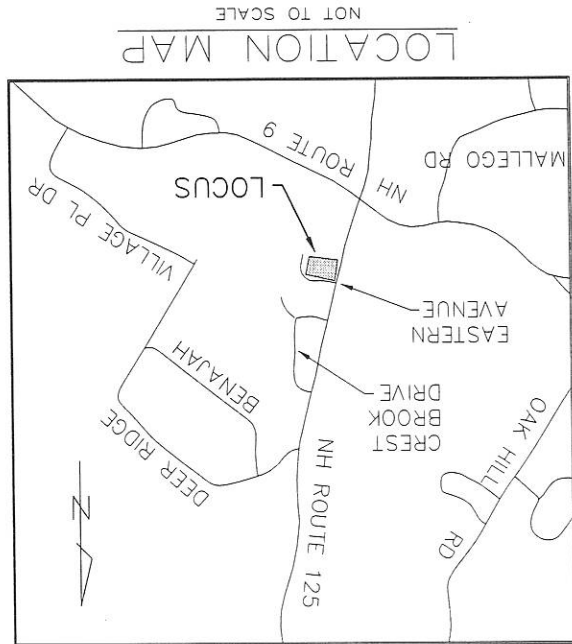
13

14

15

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DOVER, NH 03820
TEL: 742:4680

CIVIL ENGINEER:

CIVILWORKS NEW ENGLAND

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(603) 742-1954

SURVEYOR:

MCNEANEY SURVEY ASSOCIATES, INC.

P.O. BOX 681

24 CHESTNUT STREET

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TEL: 742-0911

LANDSCAPE DESIGNER

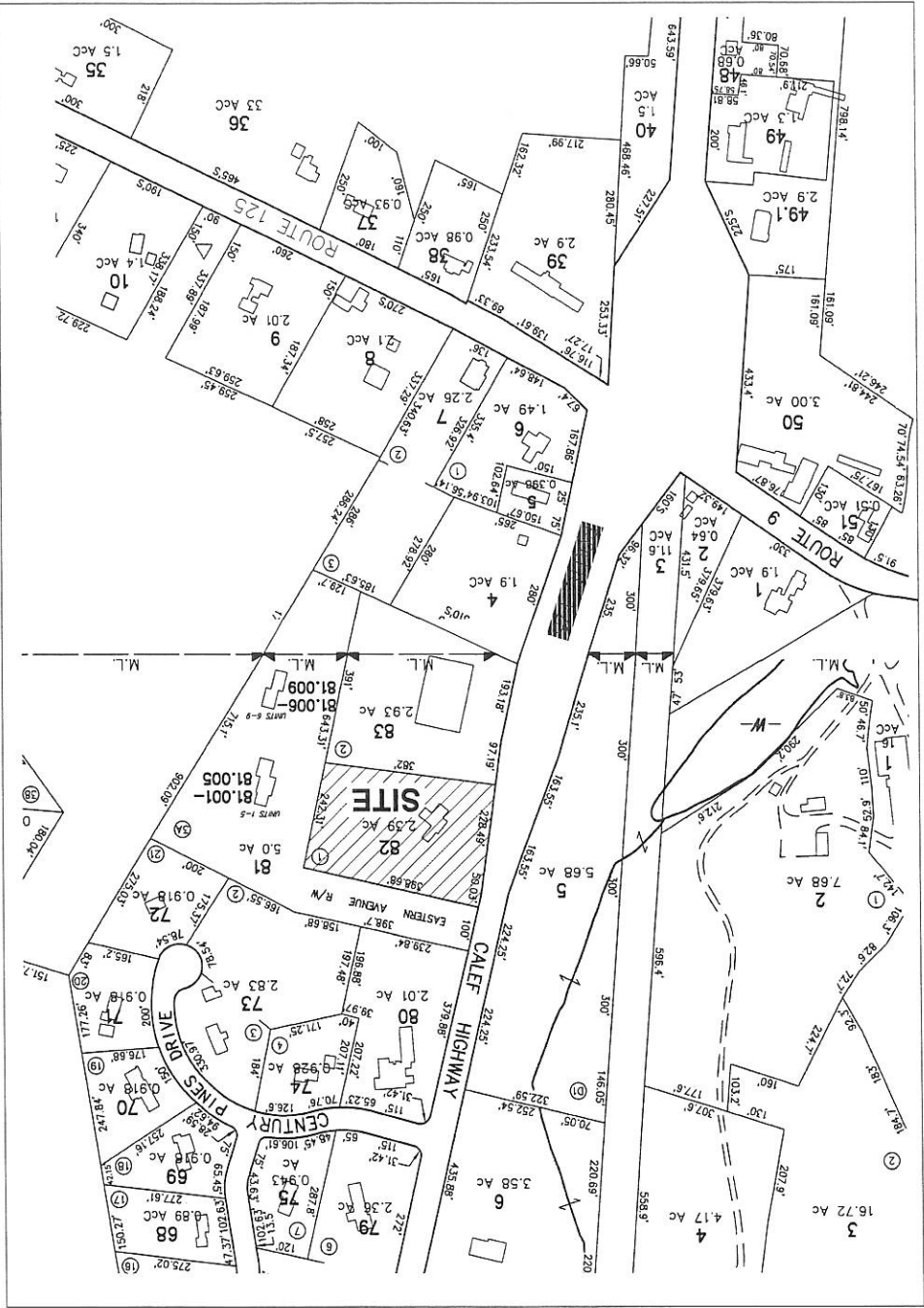
WOODBURN & COMPANY

103 KENT PLACE

NEWMARKET, NH 03857

TEL: 659-5949

PLANNING BOARD APPROVAL BLOCK



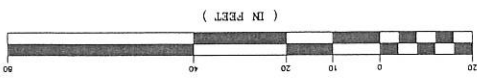
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SCALE: 1"=200'

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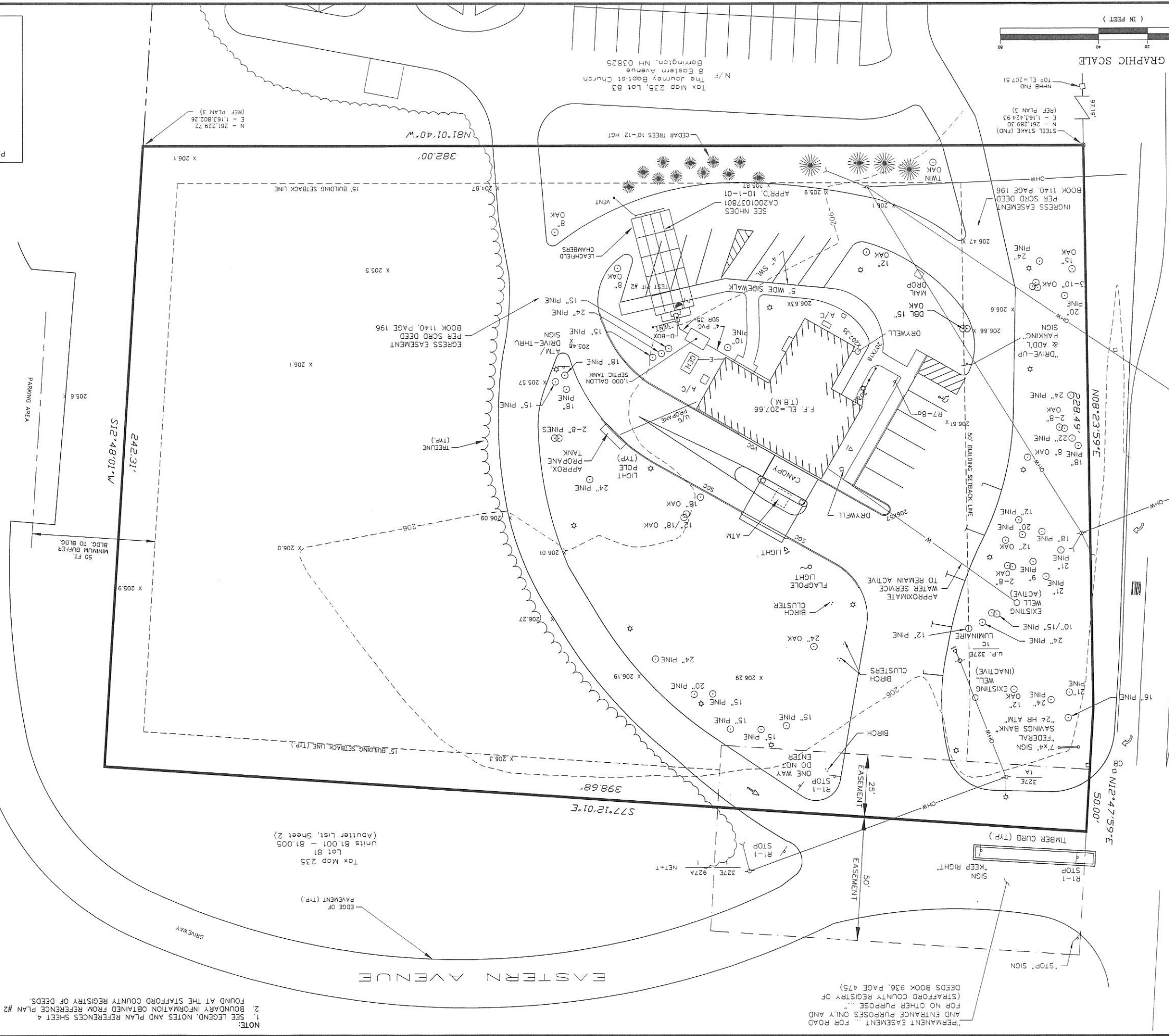
TAX MAP & ABUTTERS LIST		OWNER OF RECORD: FEDERAL SAVINGS BANK 633 CENTRAL AVENUE DOVER, NH 03820	
DATE: 10-12-16		FILE: SITE.DWG	
SCALE: AS SHOWN		NO.	
DRAWN BY: SRD		REVISION	
DESIGN BY: SRD		DATE	
APPROVED BY: DCL		APPD	
PROJECT NO: 1609		DATE	
CIVILWORKS NEW ENGLAND		181 Watson Road, P.O. Box 1166 Dover, New Hampshire 03820 (603) 749-0443	
BARRINGTON BRANCH RENOVATION 6 EASTERN AVENUE BARRINGTON, NH 03825 TAX MAP 235, LOT 82		2	

Tax Map 235, Lot 5
Barrington Pines, LLC
P.O. Box 60
Center Stratford, NH 03815
N/F

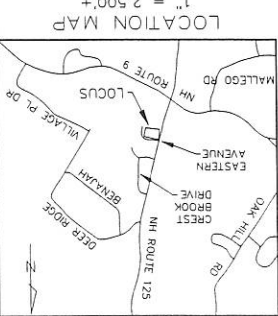
ROUTE 125 (CALEF HIGHWAY)



STEEL STAKE (FND)
N - 261,289.30
E - 1,163,424.93
(REF. PLAN 3)
97.19'
NHHB FND
TOP EL.=207.51



NOTE:
1. SEE LEGEND, NOTES AND PLAN REFERENCES SHEET 4.
2. BOUNDARY INFORMATION OBTAINED FROM REFERENCE PLAN #2
FOUND AT THE STAFFORD COUNTY REGISTRY OF DEEDS.



Tax Map 235
Lot 81
Units 81.001 – 81.005
(Abutter List, Sheet 2)

PLANNING BOARD APPROVAL BLOCK

TOWNHOUSE
CONDOMINIUMS

EXISTING CONDITIONS PLAN

BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 235, LOT 82

OWNER OF RECORD:

FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820



DATE: 10-12-16			
SCALE: 1"=20'			
DRAWN BY: SRD			
DESIGN BY: DCL			
APPROVED BY/DCL			
PROJECT NO: 1609			
FILE: SITE.DWG			
NO.	REVISION	APP'D	DATE

CIVILWORKS NEW ENGLAND

CIVIL ENGINEERING
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GENERAL NOTES:

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1. SECTION 5.5.1 - GRANTED
2. SECTION 5.7.1, TABLE B - GRANTED
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11. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
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14. ELEVATIONS BASED ON NGVD 29

DEMOLITION NOTES (CONT.):

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
2. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.
4. ALL DEMOLITION PILES SHALL BE HDPE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
5. ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 6" OF HIGH QUALITY LOAM AND SHALL BE SEEDDED WITH GRASS.
6. ALL SITEWORK CONSTRUCTION SHALL BE ADVANCED USING "BEST MANAGEMENT PRACTICES" SANCTIONED BY THE USDA SCS AND NHDES.
7. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED, UTILIZED AND MAINTAINED UNTIL BASE MATERIALS ARE CONSTRUCTED.
8. CONTRACTOR SHALL PROVIDE A FINISH GRADED SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND UNDER RAISED STRUCTURES.
9. DENSITY REQUIREMENTS:
LOCATION MINIMUM DENSITY 95%
TECHNICAL BEDDING MATERIAL AND SAND BLANKET 95%
*ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180, METHOD C, FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-238 AND T-239.

GRADING NOTES:

1. ALL ROAD (INCLUDING PARKING LOT AND DRAINAGE) WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR CONSTRUCTION OF THE CITY OF DOVER, N.H. AND "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION", LATEST EDITION.
2. CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEERING CONSULTANT APPROVED BY THE OWNER, TO CONDUCT COMPACTION TESTING AND FILL GRADATION MONITORING PER THE ABOVE REFERENCED "STANDARD SPECIFICATIONS".
3. SEE EROSION CONTROL NOTES & DETAIL SHEET FOR TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
4. ALL DRAINAGE PIPES SHALL BE HDPE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
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11. THE EXISTING SEPTIC SYSTEM IS DESIGNED FOR H-20 LOADING AND THE TOP OF THE CHAMBER SYSTEM IS APPROXIMATELY 12" BELOW THE PAVEMENT. CARE SHALL BE TAKEN BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION, SUCH AS PAVEMENT RECLAMATION AND COMPACTION, TO NOT DAMAGE THE SYSTEM.
12. THE CONTRACTOR SHALL LOCATE AND EXPOSE THE D-BOX AND TWO LEACHING CHAMBER INSPECTION COVERS FOR MEETING BY THE SITE ENGINEER PRIOR TO PAVEMENT RECONSTRUCTION.
13. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT REQUIRED FOR THIS PROJECT. TOTAL DISTURBANCE AREA = 25,114 S.F.

14. ELEVATIONS BASED ON NGVD 29
1. "ARTHUR G. DAVIS, SUMNER HALEY LAND, BARRINGTON, NH", PREPARED BY G.L. DAVIS & ASSOCIATES, DATED: JULY, 1973; SCRD: POCKET 1, FOLDER 4, PLAN 31.
2. "SUBDIVISION PLAN: DOVER FEDERAL SAVINGS AND LOAN ASSOCIATION, BARRINGTON, NH", PREPARED BY FREDERICK E. DREW ASSOCIATES, DATED: JANUARY, 1979; SCRD: PLAN 22A-162.
3. "PROPOSED SITE PLAN FOR THE JOURNEY BAPTIST CHURCH, 8 EASTERN AVENUE, BARRINGTON, NH, TAX MAP 235, LOT 83, PREPARED BY BERRY SURVEYING & ENGINEERING, DATED: JULY 14, 2015, REV. #1.

LAND USE DATA & PARKING CALCULATIONS

EXISTING		PROPOSED	
LOT AREA:	103,891 S.F.	20,000 S.F.	STANDARD
BUILDING FOOTPRINT:	2,230 S.F.	2,952 S.F.	N/A
IMPERVIOUS SURFACES:	26,257 S.F.	22,162 S.F.	N/A
TOTAL LOT COVERAGE:	27.4%	24.2%	80% MAX
GREEN SPACE AREA:	72.6%	75.8%	20% MIN

EXISTING		PROPOSED	
LOT FRONTAGE:	278.49 FT.	278.49 FT.	40 FT.
YARD SETBACKS:	97 FT.	73 FT.	50 FT.
FRONT:	69 FT./108 FT.	41 FT./135 FT.	15 FT.
SIDE:	230 FT.	230 FT.	15 FT.
REAR:	230 FT.	24 FT.	40 FT.
BUILDING HEIGHT:	24 FT.	24 FT.	40 FT.
GROSS FLOOR AREA (2)	2,703 S.F.	2,982 S.F.	N/A

PARKING CALCULATIONS (PER SECTION 4.9.13 OF SITE REVIEW REGS.)

- TABLE 6, SH1, 2 OF 2
BANK: 1 SPACE PER 250 S.F.
THEREFORE, 2,982 S.F./250 S.F. = 11.93 OR 12 SPACES
- PROVIDED: 15 SPACES INCLUDING ONE (1) VAN ACCESSIBLE HANDICAP SPACE
- DEMOLITION NOTES:
1. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
 2. ANY EXISTING WORK OR REPROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 3. THE CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES. (811).
 4. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, UTILITIES AND PAVEMENT ON THE SITE TO THE LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, POLES AND BUILDINGS.
 5. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT ALREADY OBTAINED BY THE OWNER AND ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.

18. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE FACILITIES AND THEIR COMPONENTS DURING DEMOLITION AND CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNERS REPRESENTATIVE. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS. SUCH MATERIALS SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF THE PROJECT.
19. METHODS OF DEMOLITION, CONSTRUCTION AND ERECTION ARE THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED. IT IS THE CONTRACTORS' RESPONSIBILITY TO PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY FEDERAL, STATE AND MUNICIPAL REGULATIONS AND PERMITS. ENVIRONMENTAL CONTROLS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO DUST CONTROL AND SILT BARRIERS.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO STRUCTURES OR UTILITIES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION PHASE CAUSED BY HIMSELF, HIS EMPLOYEES, HIS SUBCONTRACTORS OR EMPLOYEES OF SAME. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY FACILITIES FOR THE PROTECTION OF THE WORK, WORKERS AND PUBLIC SAFETY.
21. ALL LAYOUT SHALL BE PERFORMED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR UNDER CONTRACT WITH THE CONTRACTOR.

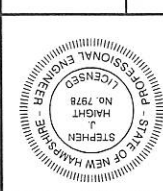
LEGEND

- IRON PIPE FOUND
I.P. (IND)
S.F. SQUARE FEET
AC. ACRE
± MORE OR LESS
TYPICAL
STAFFORD COUNTY REGISTRY OF DEEDS
TO BE REMOVED
EXISTING SPOT GRADE
EXISTING GRADE
EXISTING TREELINE
EXISTING GAS LINE
OVERHEAD WIRES
U/O
PROPANE
STR
SLOPE GRANITE CURB
VERTICAL GRANITE CURB
EXISTING SITE LIGHTING FIXTURE
EXISTING LIGHT FIXTURE AND BASE
EXISTING DRYWELL
PROPOSED DRYWELL
PROPOSED SIGN
PROPOSED UNDERGROUND UTILITIES
PROPOSED FINISH GRADE CONTOUR
PROPOSED SPOT GRADE
PROPOSED ROOF DRAIN
PAVEMENT WITH CURB
SILT BARRIER
PROPOSED FENCE
HANDICAP PARKING SYMBOL
PROPOSED CONCRETE
PROPOSED SIDEWALK

NOTE SHEET

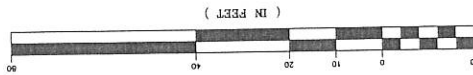
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BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 235, LOT 82

OWNER OF RECORD:
FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820

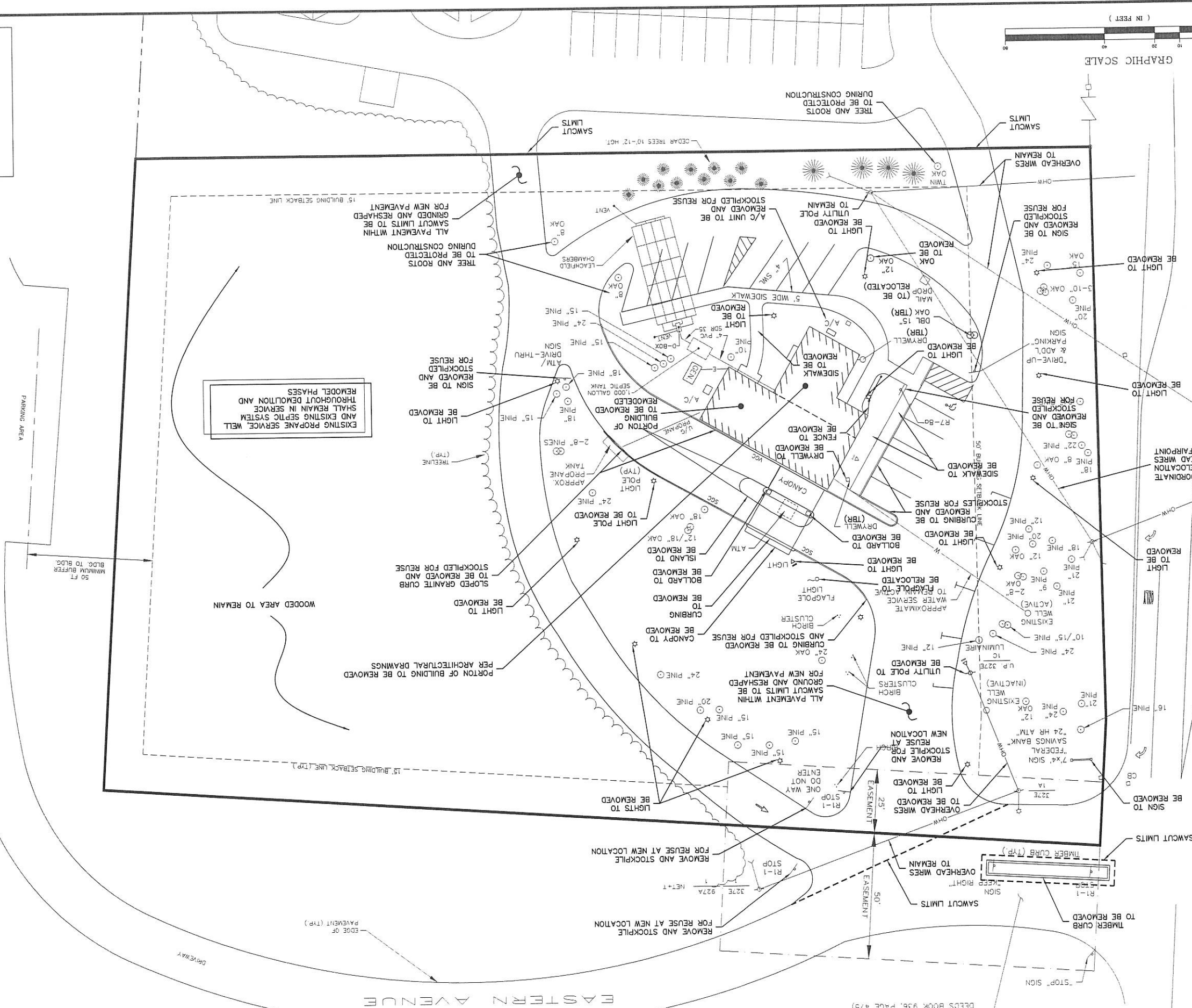


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SCALE:	AS SHOWN
DRAWN BY:	SRD
DESIGN BY:	SRD
APPROVED BY:	BYJCL
PROJECT NO.:	1609
FILE:	SITE.DWG
NO.	
REVISION	
APPD.	
DATE	

CIVILWORKS NEW ENGLAND
CIVIL ENGINEER
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 753-0443



ROUTE 125 (CALEF HIGHWAY)

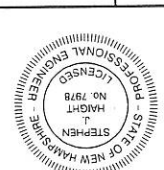


NOTE:
1. SEE LEGEND, NOTES AND PLAN REFERENCES SHEET #2
2. BOUNDARY INFORMATION OBTAINED FROM REFERENCE PLAN #2
3. FOUND AT THE STAFFORD COUNTY REGISTRY OF DEEDS.
4. PERMANENT EASEMENT FOR ROAD AND ENTRANCE PURPOSES ONLY AND FOR NO OTHER PURPOSE.
(STAFFORD COUNTY REGISTRY OF DEEDS BOOK 936, PAGE 475)

DEMOLITION PLAN

5
BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 235, LOT 82

OWNER OF RECORD:
FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820

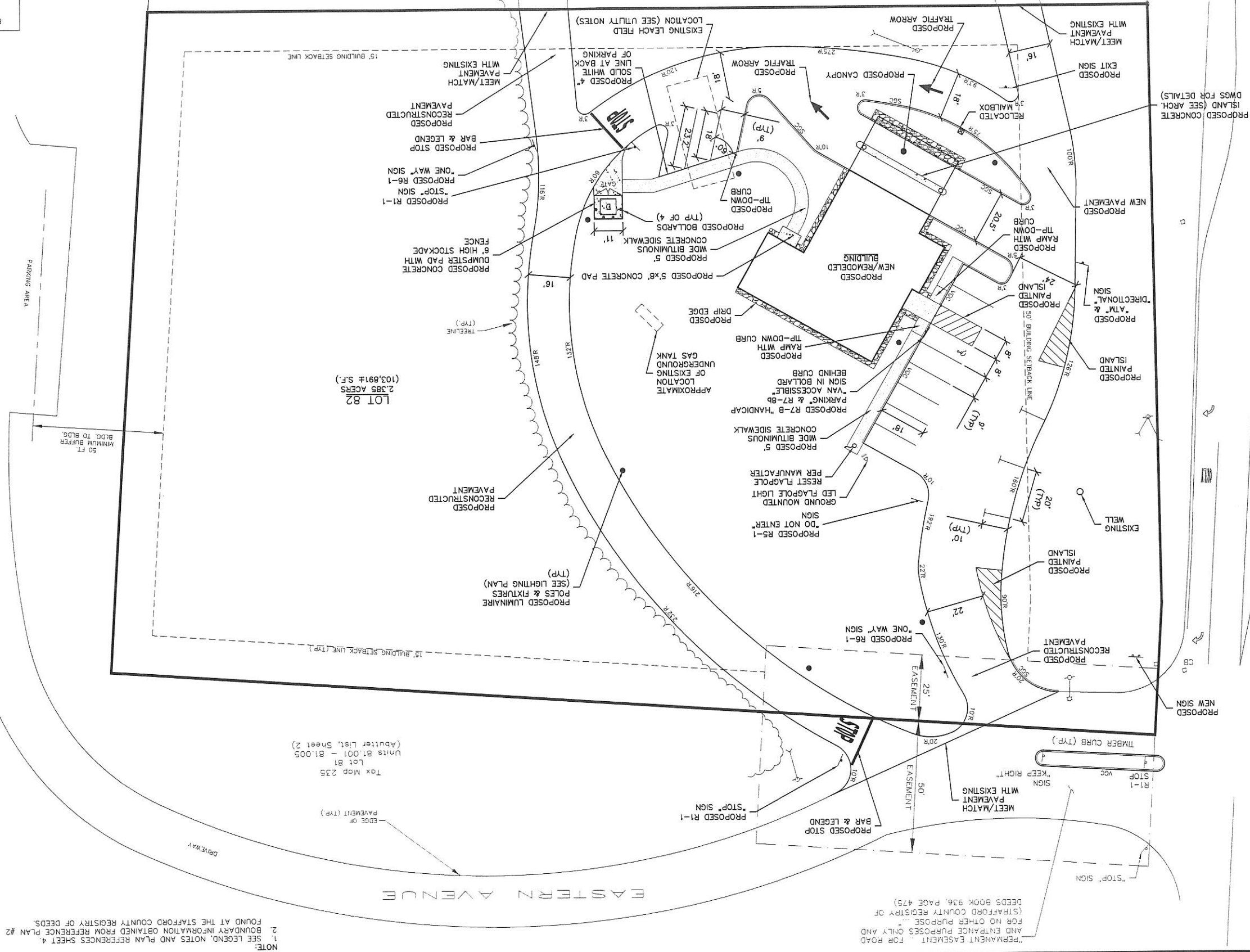
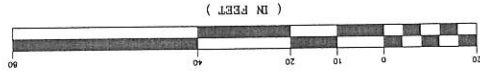


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DESIGN BY:	DCL
APPROVED BY:	DCL
PROJECT NO.:	1609
FILE:	SHEDMG
NO.	
REVISION	
APP'D.	
DATE	

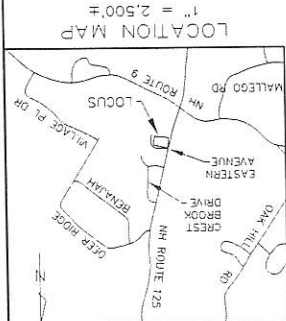
CIVILWORKS NEW ENGLAND
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

N/F
Tax Map 235, Lot 5
Barrington Pines, LLC
P.O. Box 60
Center Stratford, NH 03815

ROUTE 1 NS COALEE HIGHWAY)



Tax Map 235
Lot 81
Units 81.001 - 81.005
(Abutter List, Sheet 2)



SITE PLAN

BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 235, LOT 82

FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820



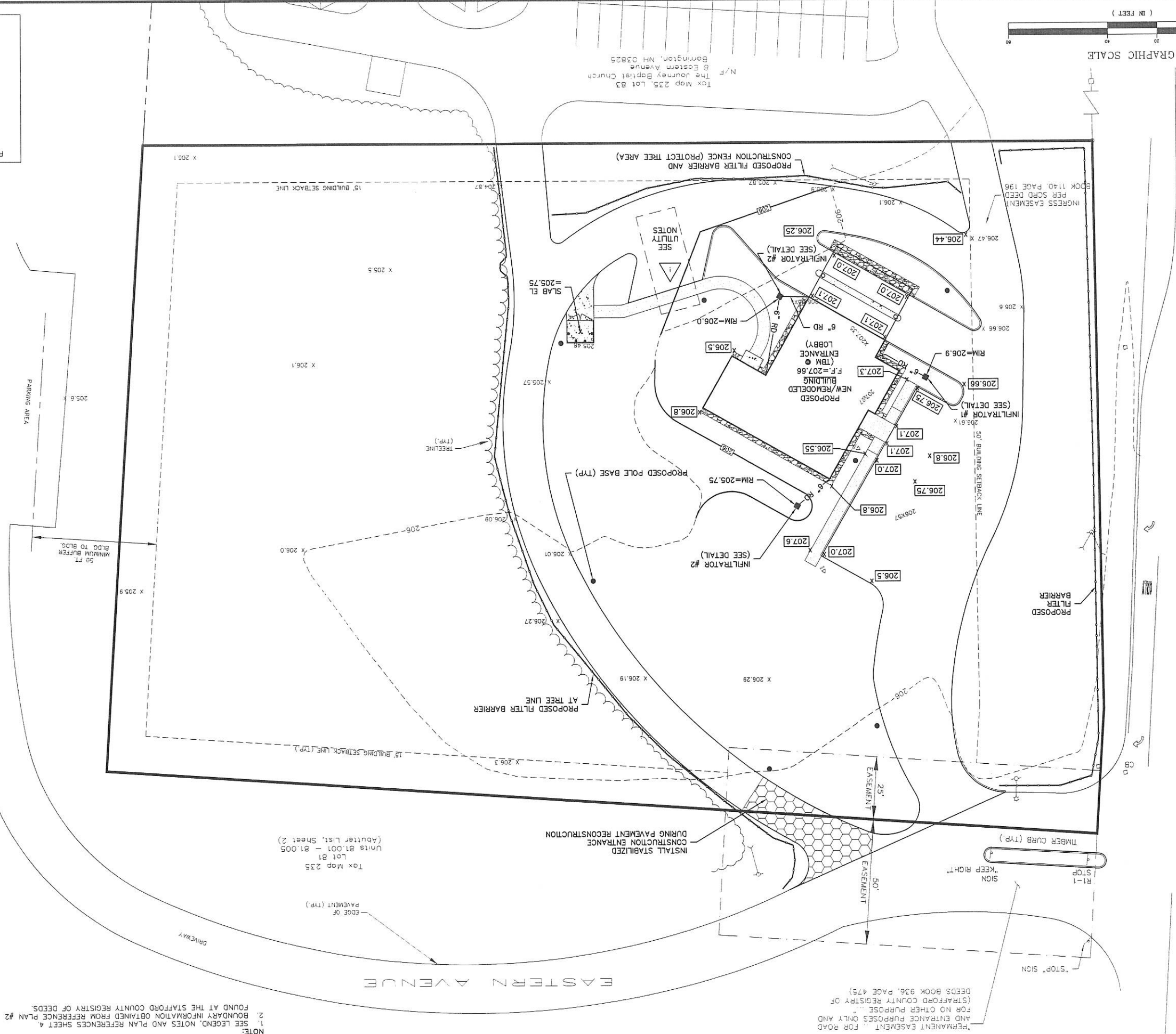
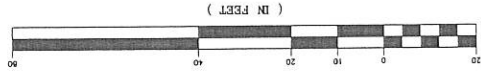
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DESIGN BY: DCL				
APPROVED BY: DCL				
PROJECT NO: 1609				
FILE: SITE.DWG				
NO.	REVISION	APP'D	DATE	

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING

181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

Tax Map 235, Lot 5
Barrington Pines, LLC
P.O. Box 60
Center Stratford, NH 03815
N/F

N.I. ROUTE 125 (CALEF HIGHWAY)



NOTE:
1. SEE LEGEND, NOTES AND PLAN REFERENCES SHEET 4
2. BOUNDARY INFORMATION OBTAINED FROM REFERENCE PLAN #2
FOUND AT THE STAFFORD COUNTY REGISTRY OF DEEDS.

GRADING, DRAINAGE & EROSION CONTROL PLAN

BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 235, LOT 82

FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820



DATE: 10-12-16			
SCALE: 1"=20'			
DRAWN BY: SRD			
DESIGN BY: DCL			
APPROVED BY: DCL			
PROJECT NO.: 1609			
FILE: SITE.DWG			
NO.	REVISION	APP'D	DATE

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

PLANNING BOARD APPROVAL BLOCK

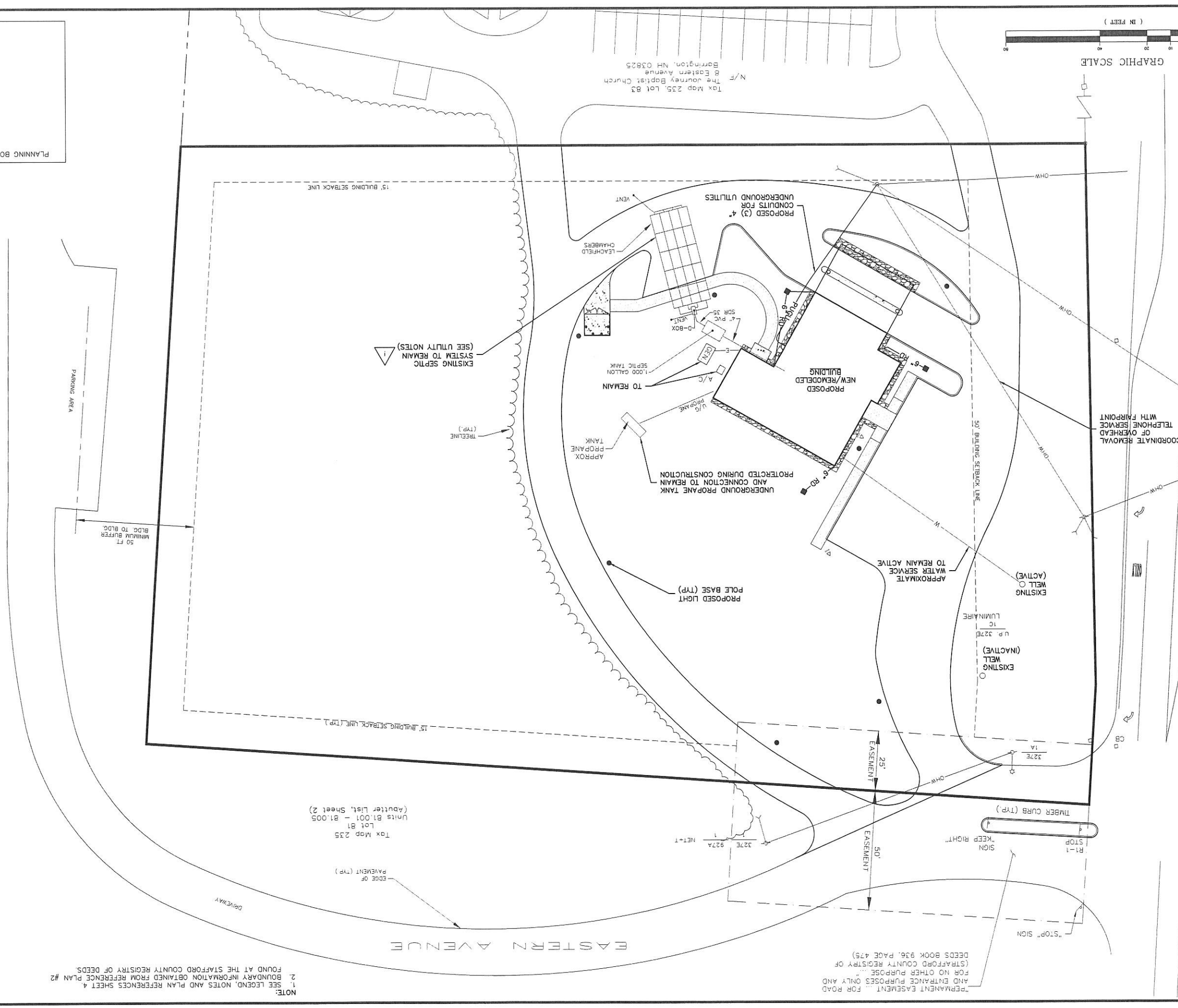
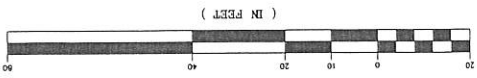
TOWNHOUSE
CONDOMINIUMS

Tax Map 235
Lot 81
Units 81.001 - 81.005
(Abutter List, Sheet 2)



Tax Map 235, Lot 5
Barrington Pines, LLC
P.O. Box 60
Center Stratford, NH 03815
N/F

ROUTE 125 (CALEF HIGHWAY)



PERMANENT EASEMENT ... FOR ROAD
AND ENTRANCE PURPOSES ONLY AND
FOR NO OTHER PURPOSE ...
(STRAFFORD COUNTY REGISTRY OF
DEEDS BOOK 936, PAGE 475)

NOTE:
1. SEI
2. BO
FO

1. SEE LEGEND, NOTES AND PLAN REFERENCES SHEET 4.
2. BOUNDARY INFORMATION OBTAINED FROM REFERENCE PLAN #2
FOUND AT THE STAFFORD COUNTY REGISTRY OF DEEDS

Tax Map 235
Lot 81
Units 81.001 - 81.005
(Abutler List, Sheet 2)



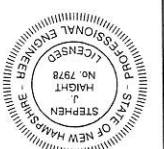
PLANNING BOARD APPROVAL BLOCK

TOWHOUSE
CONDOMINIUMS

UTILITY PLAN

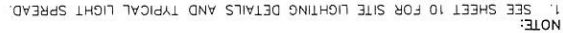
8
BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 235, LOT 82

FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820



DATE: 10-12-16			
SCALE: 1"=20'			
DRAWN BY: SRD			
DESIGN BY: DCL			
APPROVED BY: DCL			
PROJECT NO: 1609			
FILE: SITE.DWG	NO.	REVISION	APP'D. DATE

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0043



PLANNING BOARD APPROVAL BLOCK

6

OWNER OF RECORD:

[illegible]

CIVILWORKS NEW ENGLAND
CIVIL ENGINEERING
181 Watson Road, P.O. Box 1166
Dover, New Hampshire 03820
(603) 749-0443

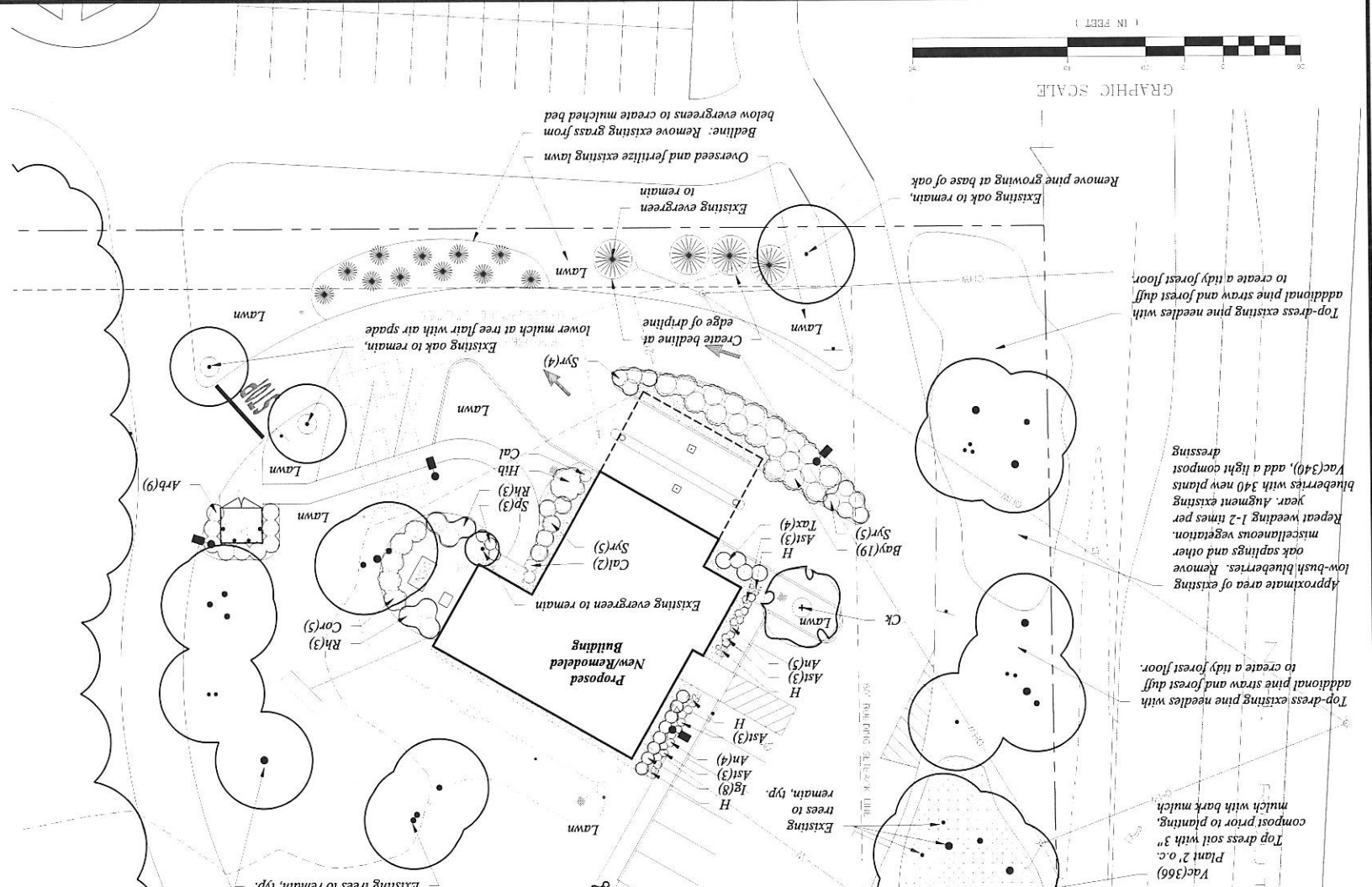


Landscape Notes

1. Design is based on drawings by Cityworks dated 10/2016 and any require adjustment due to actual field conditions.
2. The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and prevent erosion and sedimentation.
3. Erosion Control shall be in place prior to construction.
4. The contractor shall verify layout and grades and confirm the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
5. The contractor shall provide a set of drawings at the request of the contractor.
6. It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the contractor shall provide a set of drawings at the request of the contractor.
7. Trees to remain within the construction zone shall be protected from damage by the contractor. Snow fences or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fences shall be located within the construction zone and shall be protected from damage by the contractor.
8. Located at the drip line at a minimum and shall include any and all surface roots. Do not fill or compact the trunk area. Remove all equipment shall drive or park in or on the area within the drip line(s) of the trees(s). Do not store any refuse or construction materials or products within the drip line(s) of the trees(s).
9. Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
10. DISA-F at 1-888-344-7233. The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call prior to any landscape construction activities.
11. The Contractor shall provide a permit prior to construction.
12. Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. It is the contractor's responsibility to provide a permit prior to construction.
13. The Contractor shall be aware of a potential issue, and does not bring to the attention of the landscape architect or owner's representative immediately. They may be responsible for the labor and materials associated with correcting the problem.
14. A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the Washington, D.C. 20005.
15. All plants shall be legally tagged with proper botanical name.
16. The Contractor shall guarantee all plants for not less than one year from time of acceptance.
17. Owner or Owner's Representative will inspect plants upon delivery for conformity to the botanical name, size, quantity, and other requirements. The Contractor shall be responsible for the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves a representative sample of each type of plant.
18. All plants shall be legally tagged with proper botanical name.
19. All plants of the same species used in the work.
20. All plants shall be legally tagged with proper botanical name.
21. All plants shall be legally tagged with proper botanical name.
22. All plants shall be legally tagged with proper botanical name.
23. In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
24. Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear passage of vehicles and pedestrians under tree canopy.
25. Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
26. Landscape Architect is not responsible for the means and methods of the contractor.

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26. Landscape Architect is not responsible for the means and methods of the contractor.



TREES									
Symbol	Botanical Name	Common Name	Quantity	Size	Comments	Symbol	Botanical Name	Common Name	Quantity
Ck	Cornus kousa	Kousa Dogwood	1	2-2.5' Cal		Arb	Taxus media 'Hicksii'	Hicks' Yew	9
SHRUBS									
Symbol	Botanical Name	Common Name	Quantity	Size	Comments	Symbol	Botanical Name	Common Name	Quantity
B&B						Arb	Taxus media 'Hicksii'	Hicks' Yew	9
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS									
Symbol	Botanical Name	Common Name	Quantity	Size	Comments	Symbol	Botanical Name	Common Name	Quantity
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WOODBURN & COMPANY
6 Commercial Circle
Dover, NH 03824
Phone/Fax 603-868-5949

PLANNING BOARD APPROVAL BLOCK

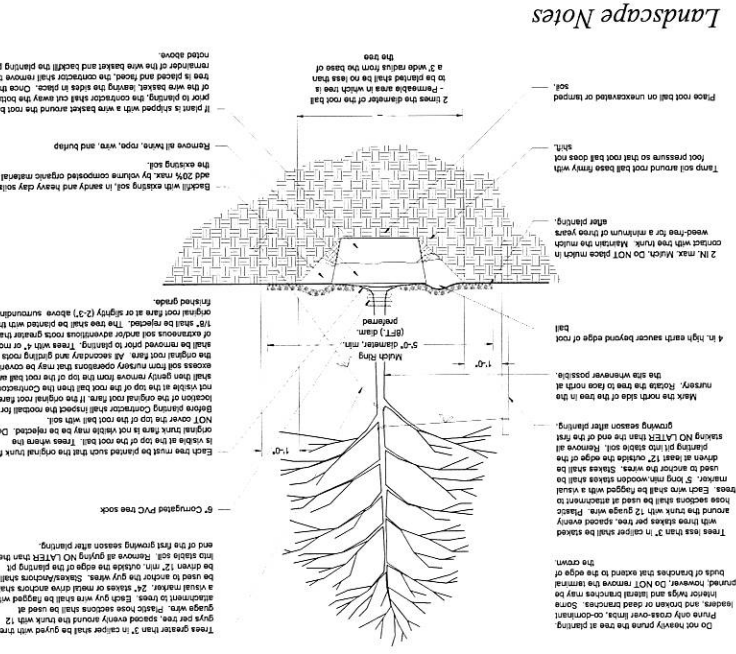
LANDSCAPE PLAN

BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 236, LOT 82

OWNER OF RECORD:
FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820

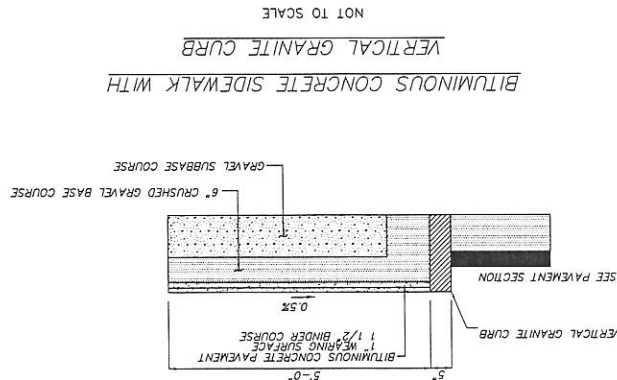
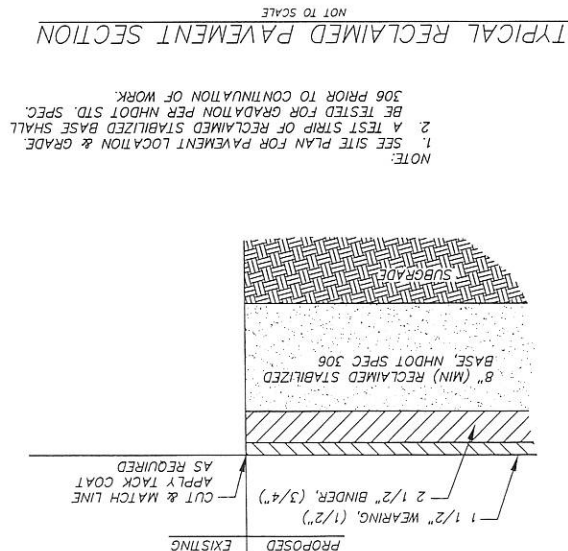
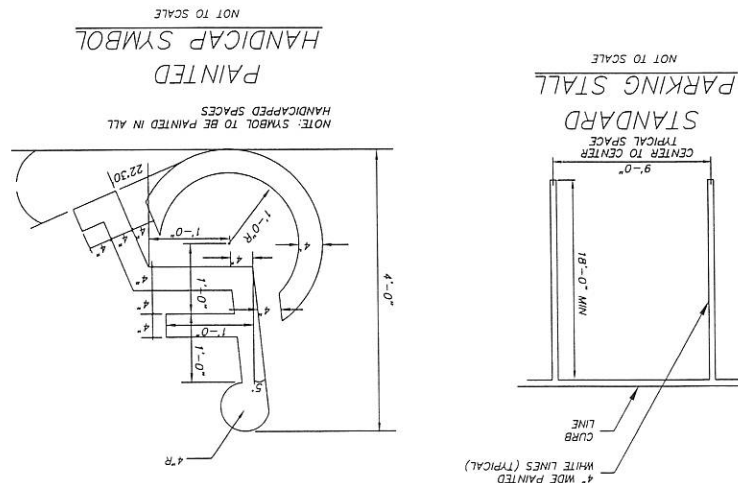
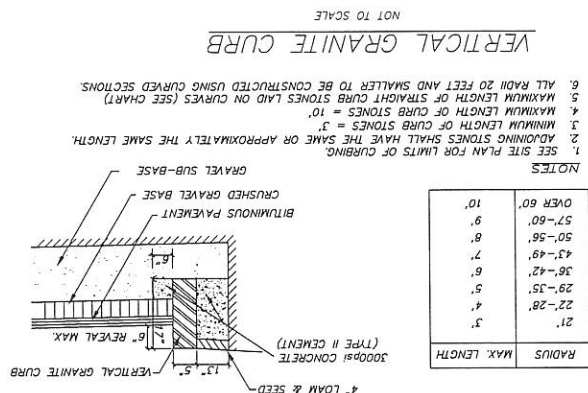
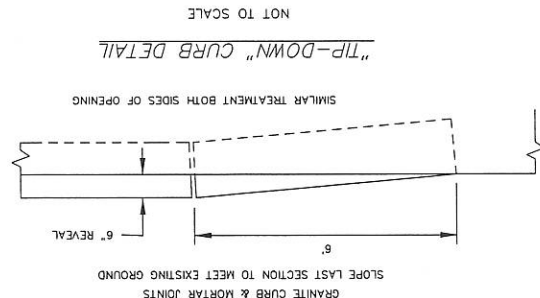
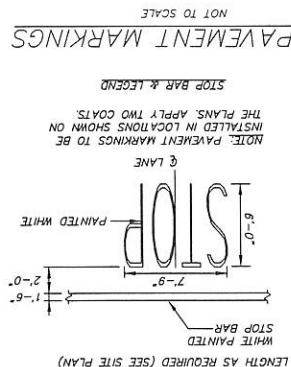
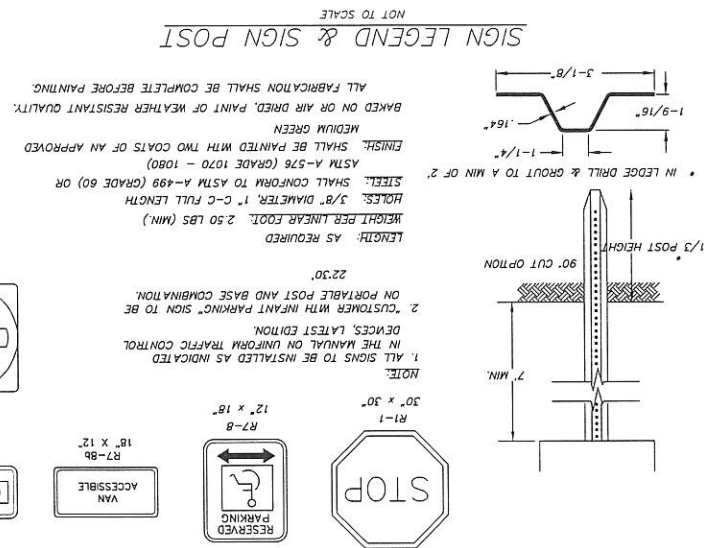
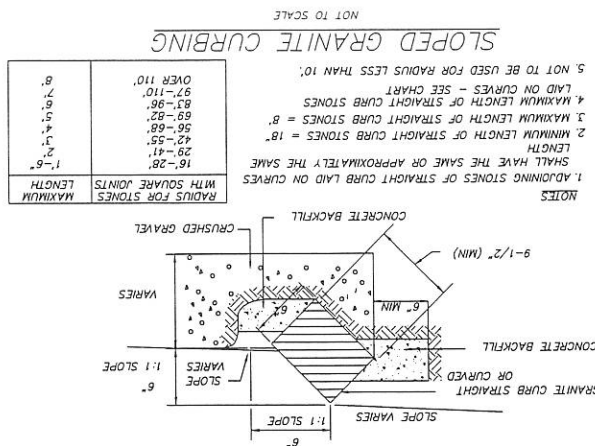
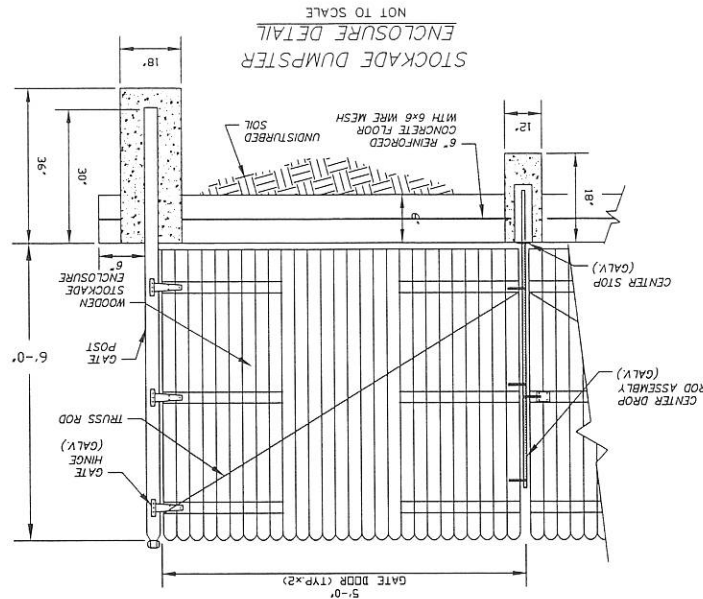
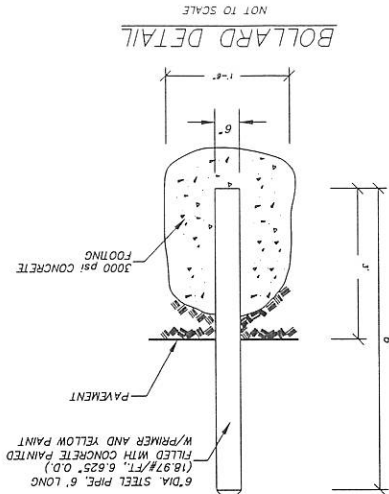
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DESIGN BY:	VM
APPROVED BY:	VM
PROJECT NO.:	1609
FILE SITE:	DWG
NO.	
REVISION	
APPD.	
DATE	

181 WATSON ROAD, P.O. Box 1156
DOVER, NH 03824
(603) 749-0443

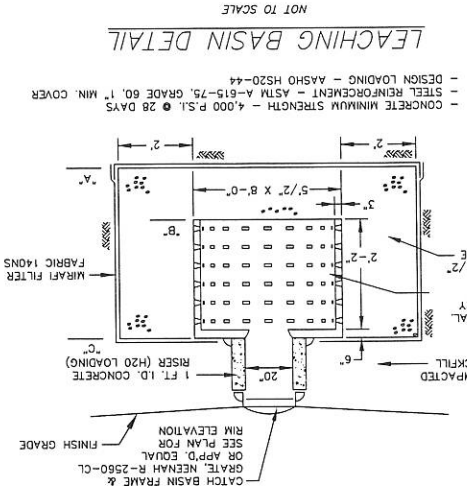


Landscape Notes

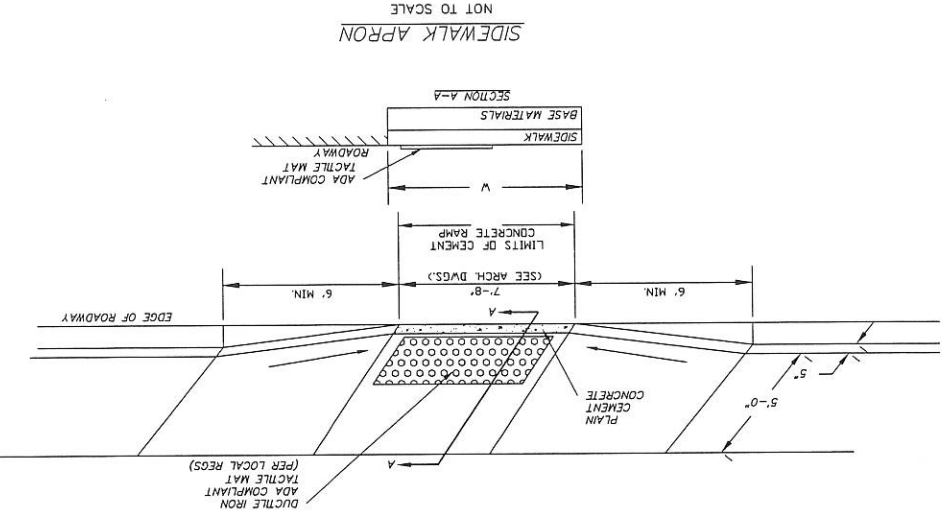
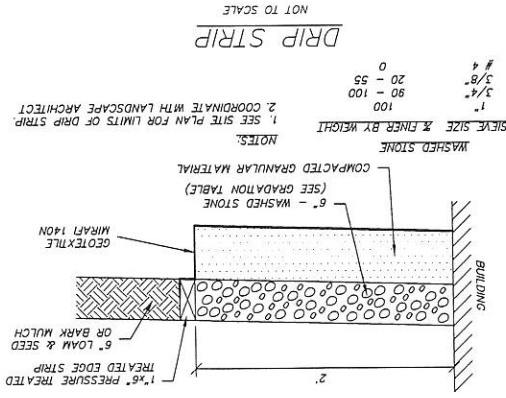
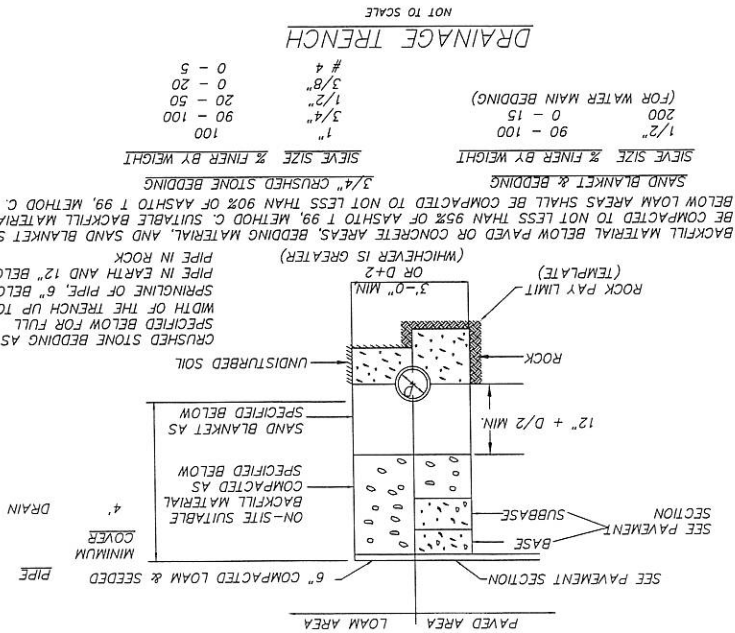
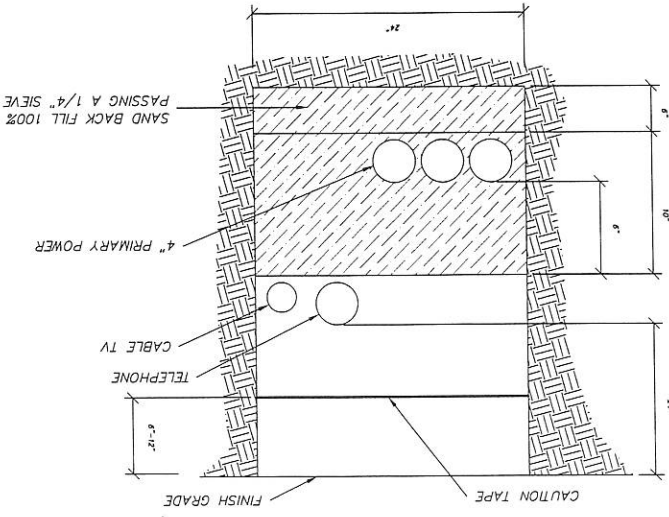
OWNER OF RECORD:



ROOF DRAIN INFILTRATOR CHART					
INFILTRATOR #	STONE "A"	STRUCTURE "B"	FL "C"	RIM	INVERT IN
1	200.9	202.9	206.9	206.9	204.73 (6")
2	199.75	201.75	205.75	205.75	203.58 (6")
3	200.0	202.0	206.0	206.0	203.83 (6")



1. TELEPHONE CONDUIT SHALL BE 3" SCHEDULE 40 PVC, WITH STEEL SWEEPS AT RISER POLE, 90° BENDS AND AT BUILDING.
2. LEAVE PULL ROPE IN ALL CONDUITS FOR CABLE SERVICE COMPANY.
3. FOR COMPLETE SPECIFICATIONS SEE "PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE CONSTRUCTION SPECIFICATIONS FOR UNDERGROUND CONDUIT SYSTEMS".
4. CONTRACTOR SHOULD VERIFY THE NUMBER & SIZE OF CONDUIT WITH THE APPROPRIATE UTILITIES.



DETAIL SHEET

15

BARRINGTON BRANCH RENOVATION
6 EASTERN AVENUE
BARRINGTON, NH 03825
TAX MAP 236, LOT 82

OWNER OF RECORD:
FEDERAL SAVINGS BANK
633 CENTRAL AVENUE
DOVER, NH 03820



DATE: 10-12-16					
SCALE: AS SHOWN					
DRAWN BY: SRD					
DESIGN BY: SRD					
APPROVED BY: DCL					
PROJECT NO: 1609					
FILE: SITE.DWG					
NO.					
REVISION					
APRD					
DATE					

CIVILWORKS NEW ENGLAND
181 Water Road P.O. Box 1156
Dover, New Hampshire 03820
(603) 799-0443