

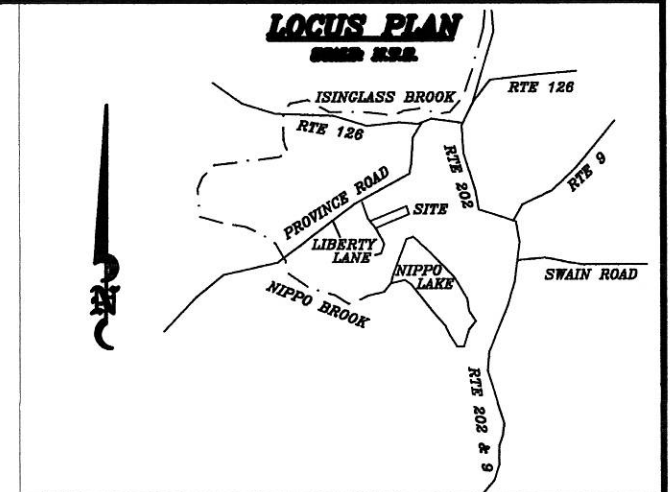
# NOTES:

1. OWNER OF RECORD: DIVA DEVELOPMENT 14 WADLEIGH FALLS LANE HAMPTON FALLS, N.H. 03844
2. This site is not within a designated flood hazard area as shown on FIRM flood insurance rate map.
3. This property lies in the General District.
4. The limits of the wetlands, jurisdictional and non-jurisdictional, were mapped in accordance with the 1987 Federal Manual for Identifying and Delineating Jurisdictional Wetlands, June 2003, by David Allan, Round Pond Soil Survey, 217 Pond Hill Road, Barrington, NH 03825, CSS #013.
5. Reference Plan: SCRD #014387
6. Building setbacks as follows:  
40' to front lot line  
30' to side and rear lot line  
50' to wetland  
75' to high water mark
7. Aerial topography provided by ADM Mountainside Business Center, 127 Route 28, Ossipee, NH 03864.

## State Approvals:

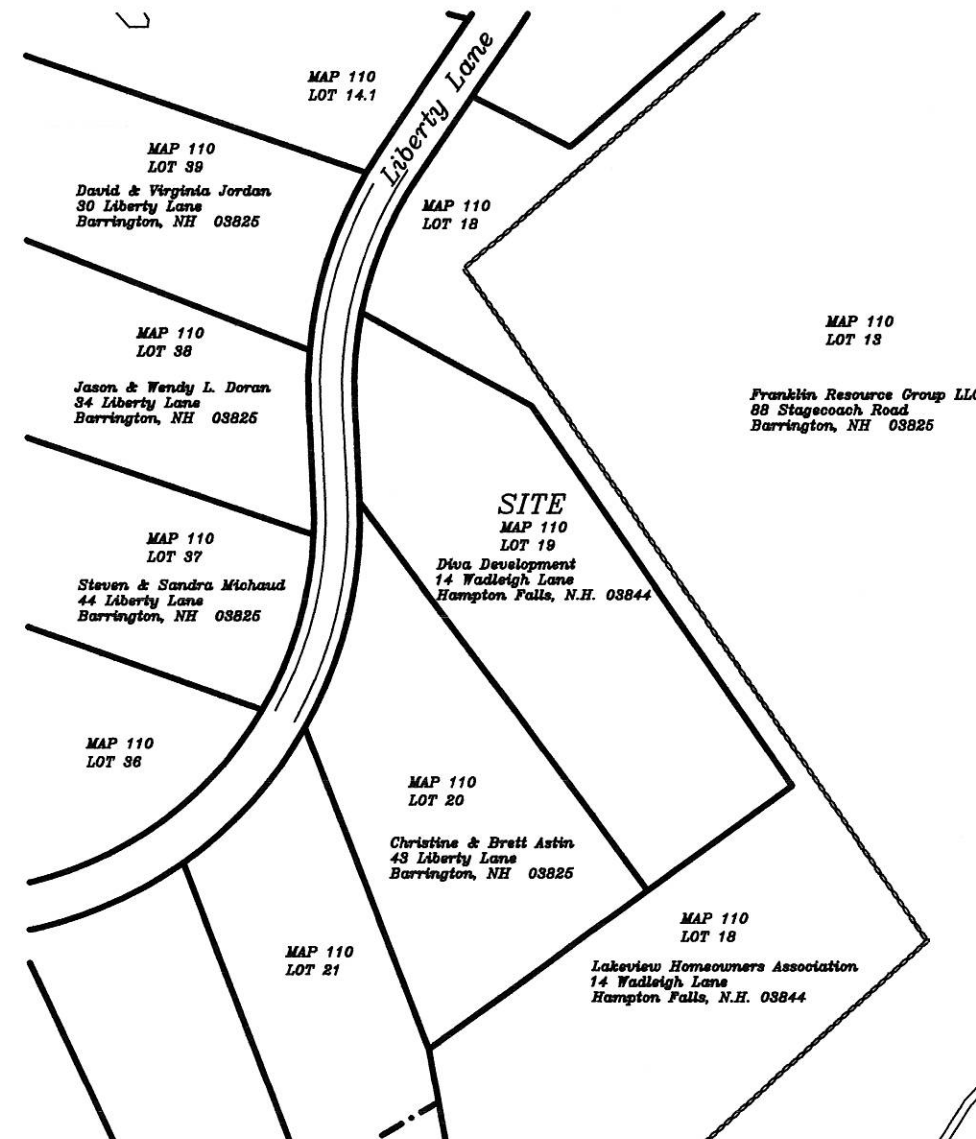
NHDES Subdivision Approval #SA2003004486  
NHDES Site Specific Approval #WPS8622  
NHDES Wetlands Bureau Trail Dev. Notification #2003-01853

# DRIVEWAY PLAN OF LAND IN BARRINGTON, N.H. WITHIN LAKEVIEW ESTATES



## LEGEND

- IRON ROD OR DRILL HOLE TO BE SET
- IR/DH-IRON ROD/ DRILL HOLE
- GRANITE BOUND TO BE SET
- EASEMENT LINE
- BUILDING SETBACK LINE
- SEPTIC SETBACK LINE
- EDGE OF FLAGGED WETLANDS



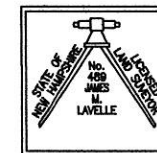
PLANNING BOARD  
BARRINGTON, NH  
-APPROVED-

File Number 110-19-GB-15-9.6 Permit

Date 4/8/2015

Chairman

SCALE: 1"=100' DATE: 3-23-2015  
0' 100' 200' 300' 400'

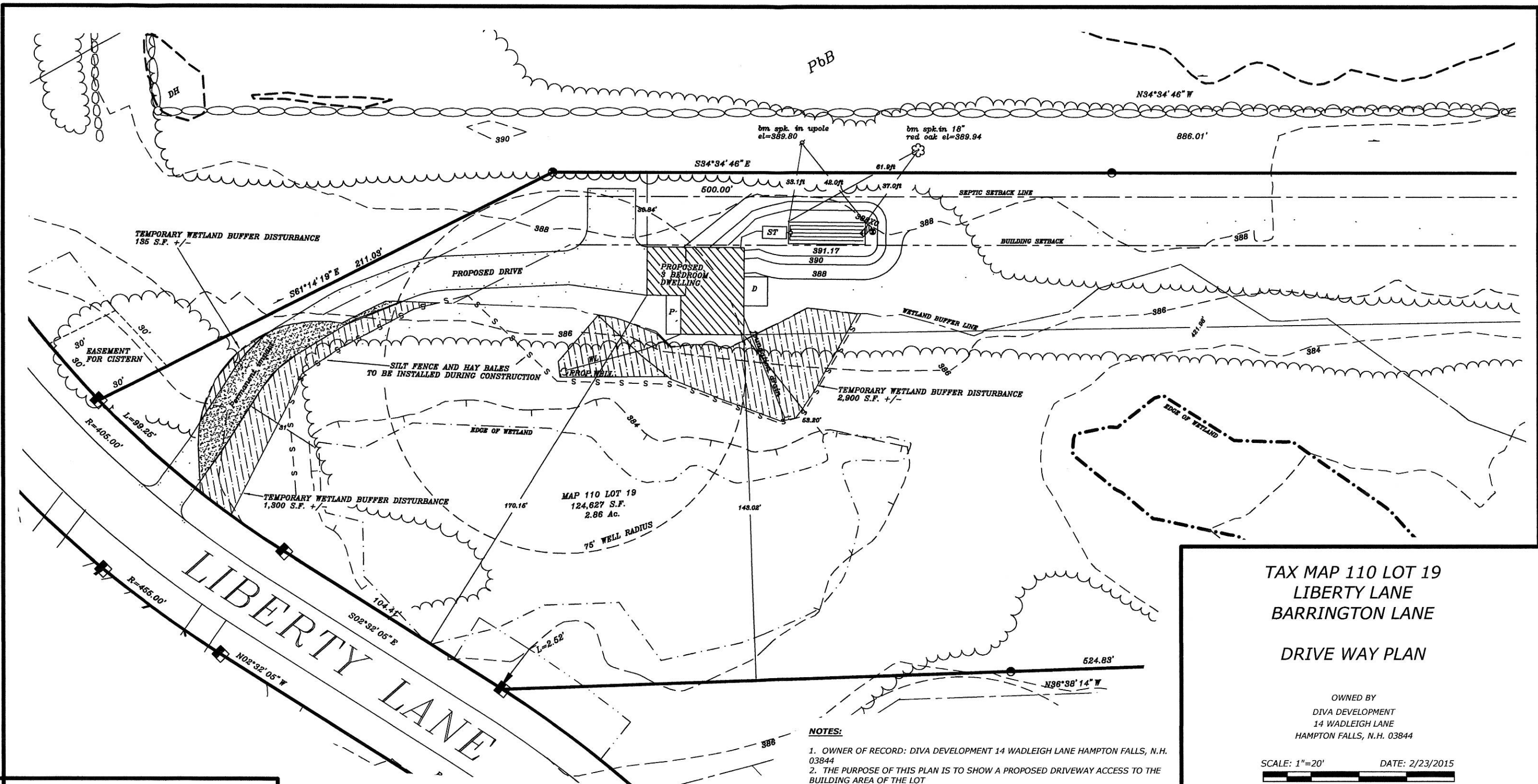


"I HEREBY CERTIFY THAT THE FIELDWORK  
DONE FOR THE PREPARATION OF THIS PLAN  
HAD AN ERROR OF CLOSURE NO GREATER  
THAN 1 PART IN 10,000."

TAX MAP 110 LOT 19  
**DRIVEWAY PLAN**  
OF LAND IN  
**BARRINGTON, N.H.**  
WITHIN  
**LAKEVIEW ESTATES**  
(FORMERLY CAMP DON BOSCO)  
OWNED BY  
**DIVA DEVELOPMENT**



PREPARED BY  
**JAMES M. LAVELLE ASSOC.**  
2 STARWOOD DRIVE  
HAMPSTEAD, N.H.  
1(603)329-6851



# NOTES:

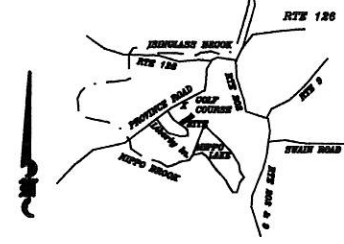
1. OWNER OF RECORD: DIVA DEVELOPMENT 14 WADLEIGH LANE HAMPTON FALLS, N.H. 03844
2. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED DRIVEWAY ACCESS TO THE BUILDING AREA OF THE LOT
3. APPROXIMATELY 1,200 SF OF WETLANDS BUFFER WILL BE PERMANENTLY IMPACTED, WITH THE IMPERVIOUS SURFACE OF THE DRIVE WAY
4. APPROXIMATELY 4,335 SF OF WETLANDS BUFFER WILL BE TEMPORARILY IMPACTED DURING THE CONSTRUCTION PROCESS.
5. ALL AREA OF DISTURBANCE WILL BE REGRADED AND SEEDED TO PREVENT EROSION.
6. REFERENCE PLAN: - "SUBDIVISION PLAN IN BARRINGTON, N.H. KNOWN AS LAKEVIEW ESTATES, RECORDED IN THE STAFFORD COUNTY REGISTRY OF DEEDS. PLAN # 74-41 THRU 74-46

## LANDSCAPING & STORMWATER CONTROL

ALL CONSTRUCTION ON THE SITE SHALL BE CONDUCTED IN A MANNER CONSISTENT WITH THE RECOMENDATIONS PROVIDED IN THE "NEW HAMPSHIRE STORM WATER MANUAL- VOLUME 3- EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION" AS PUBLISHED BY NHDES DECEMBER 2008 AND "NEW HAMPSHIRE STORMWATER MANUAL-VOLUME 1- STORMWATER AND ANTIDEGRADATION" AS PUBLISHED BY NHDES DEC. 2008

### LOCATION PLAN

SCALE: N.T.S.



PLANNING BOARD  
BARRINGTON, NH  
-APPROVED-

File Number 110-19-GR-15-916 Permit

Date 4/8/2015

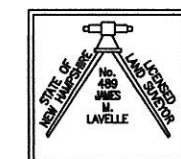
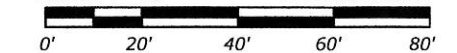
Chairman [Signature]

TAX MAP 110 LOT 19  
LIBERTY LANE  
BARRINGTON LANE

### DRIVE WAY PLAN

OWNED BY  
DIVA DEVELOPMENT  
14 WADLEIGH LANE  
HAMPTON FALLS, N.H. 03844

SCALE: 1"=20' DATE: 2/23/2015



PREPARED BY  
JAMES M. LAVELLE ASSOCIATES  
2 STARWOOD DRIVE  
HAMPSTEAD, NH 03841