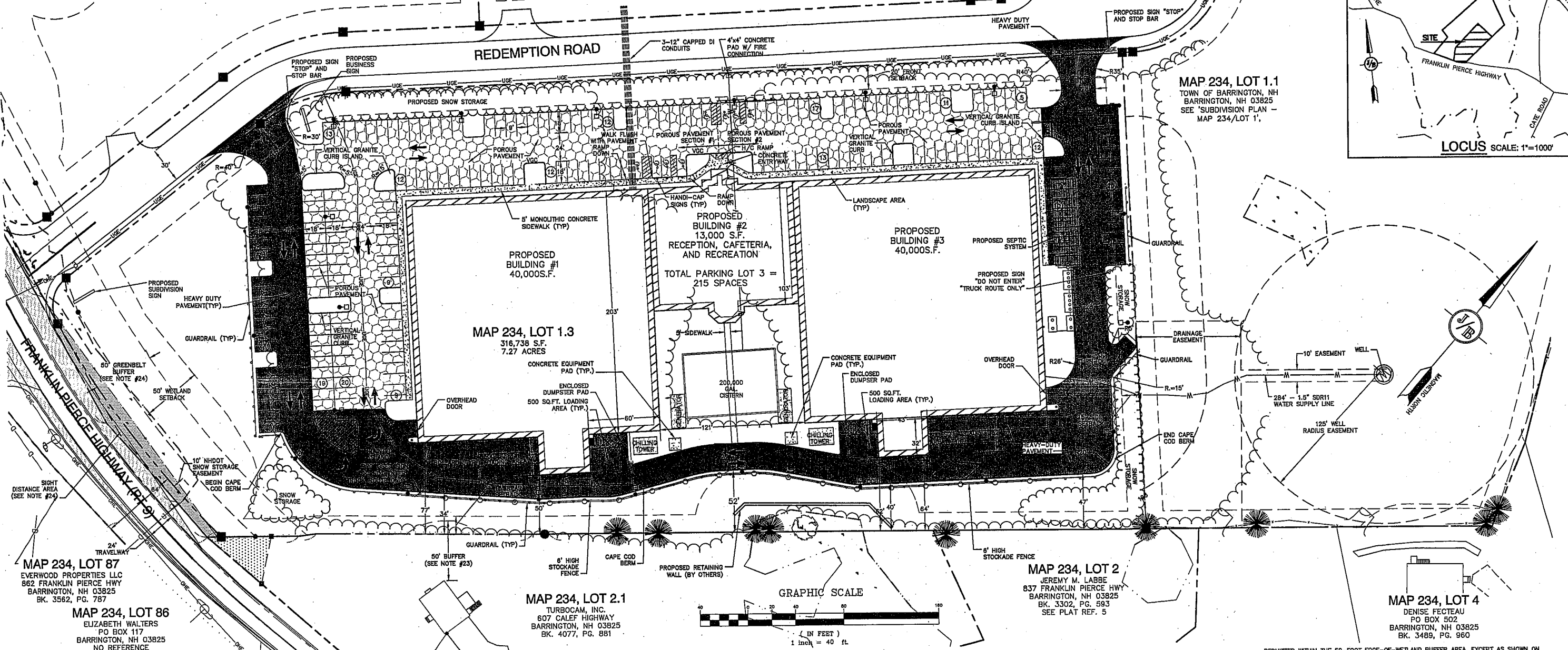
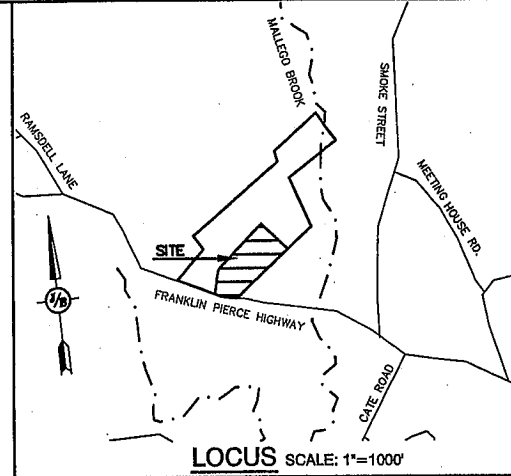


MAP 234, LOT 1.2
TOWN OF BARRINGTON, NH
BARRINGTON, NH 03825
SEE 'SUBDIVISION PLAN -
MAP 234/LOT 1',

MAP 234, LOT 1.4
TOWN OF BARRINGTON, NH
BARRINGTON, NH 03825
SEE 'SUBDIVISION PLAN -
MAP 234/LOT 1',

MAP 234, LOT 1.5
TOWN OF BARRINGTON, NH
BARRINGTON, NH 03825
SEE 'SUBDIVISION PLAN -
MAP 234/LOT 1',

MAP 234, LOT 1.1
TOWN OF BARRINGTON, NH
BARRINGTON, NH 03825
SEE 'SUBDIVISION PLAN -
MAP 234/LOT 1',



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPMENT OF MAP 234 LOT 1.3, BARRINGTON, NH, WITH A 93,000 SQ.FT. LIGHT INDUSTRIAL BUILDING, ASSOCIATED PARKING, DRAINAGE AND UTILITIES.
- ZONING DISTRICT: VILLAGE DISTRICT W/ STRATIFIED DRIFT AQUIFER OVERLAY
LOT AREA MINIMUM = 30,000 SF
LOT FRONTAGE MINIMUM = 75'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 20'
SIDE SETBACK = 15'
REAR SETBACK = 15'
WETLAND BUFFER = 50'
- LOT 3 CONTAINS 316,738 SQ.FT.
THE PROPOSED IMPROVEMENTS (BUILDING AND PAVEMENT) = 211,995 SQ.FT.
PROPOSED POROUS PAVEMENT = 47,158 SQ.FT.
TOTAL IMPROVEMENTS = BUILDING + PAVEMENT = POROUS PAVEMENT = 164,837 SQ.FT.
PROPOSED COVERAGE = 52.0%
- APPROVAL OF THIS SITE PLAN REQUIRES THE FOLLOWING CONDITIONAL USE PERMITS AND/OR WAIVERS:
- CONDITIONAL USE: LIGHT INDUSTRIAL USE IN VILLAGE DISTRICT 8/7/12
- CONDITIONAL USE: BUILDING SIZE GREATER THAN 50,000 SQ.FT. 8/7/12
- SPECIAL PERMIT: IMPACT TO WETLAND AND/OR WETLAND BUFFER, GRANTED 8/16/12
- WAIVER: SECTION 4.8.2.2 DRIVEWAYS - CURBING AT DRIVEWAY ENTRANCE, 8/17/12
- PARKING CALCULATIONS:
LIGHT INDUSTRIAL = 1.5 SPACES PER 1,000 S.F.
TOTAL BUILDING AREA = 93,000 S.F. / 1,000 = 93 x 1.5 = 140 SPACES
TOTAL SPACES REQUIRED = 140
TOTAL ANTICIPATED EMPLOYEES = 200
VISITOR SPACES = 20
TOTAL SPACES PROVIDED = 209

- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- PARCEL LIES WITHIN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS INDICATED ON FIRM MAP #33017002850, PANEL 285 OF 405, EFFECTIVE DATE MAY 17, 2005.
- POLLUTION PREVENTION PLAN (S.W.P.P.) SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- ALL CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYL BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL CURBING TO BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFF-SITE TO AN APPROVED SNOW DUMPING LOCATION.
- ROOF TOP HEATING AND AIR CONDITIONING UNITS (RTU's) SHALL BE DESIGNED TO VENT UPWARDS AND AIR INTAKES SHALL BE DIRECTED AWAY FROM ADJACENT NEIGHBORS.
- ALL ARCHITECTURAL BLOCK RETAINING WALLS ARE TO BE DESIGNED AND STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER. CONTRACTOR TO COORDINATE WITH APPROVED MANUFACTURER PRIOR TO INSTALLATION.
- DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- THIS PROJECT INCLUDES A 50' BUFFER FROM ADJUTING RESIDENTIAL STRUCTURES IN THE VILLAGE DISTRICT TO THE PROPOSED NON-RESIDENTIAL STRUCTURES, PER TOWN OF BARRINGTON ZONING REGULATIONS, SECTION 4.2.2.(7).
- PER THE TOWN OF BARRINGTON ZONING REGULATIONS, SECTION 4.2.2.(8), A 50' GREENBELT BUFFER SHALL BE MAINTAINED ALONG THE ROUTE 9 FRONTAGE. EXISTING VEGETATION SHALL BE MAINTAINED OR AUGMENTED TO PROVIDE A VISUAL SCREEN TO ROUTE 9. VEGETATION SHALL BE MAINTAINED TO ALLOW 400' SIGHT DISTANCE.

- ALL REGULATED SUBSTANCES STORED IN CONTAINERS WITH A CAPACITY OF MORE THAN FIVE (5) GALLONS MUST BE STORED IN A PRODUCT-TIGHT CONTAINER ON AN IMPERVIOUS SURFACE DESIGNED AND MAINTAINED TO PREVENT FLOW TO EXPOSED SOILS, FLOOR DRAINS, AND OUTSIDE DRAINS IN ACCORDANCE WITH ARTICLE 12.4.1, SECTION 2 OF THE TOWN OF BARRINGTON ZONING ORDINANCE.
- ALL STORED REGULATED SUBSTANCES MUST BE SECURED AGAINST UNAUTHORIZED ENTRY BY MEANS OF DOORS OR GATES THAT ARE LOCKED WHEN AUTHORIZED PERSONNEL ARE NOT PRESENT AND MUST BE INSPECTED WEEKLY BY THE FACILITY OWNER IN ACCORDANCE ARTICLE 12.4.1, SECTION 3 OF THE TOWN OF BARRINGTON ZONING ORDINANCE.
- ALL STORED REGULATED SUBSTANCES LOCATED OUT-SIDE MUST BE PROTECTED FROM EXPOSURE TO PRECIPITATION BY MEANS OF COVERAGE AND BE LOCATED AT LEAST 50 FEET FROM SURFACE OR STORM DRAINS AND OUTSIDE THE RADIUS OF ANY ALL WELLS IN ACCORDANCE WITH ARTICLE 12.4.1, SECTION 4 OF THE TOWN OF BARRINGTON ZONING ORDINANCE.
- ALL REGULATED SUBSTANCES STORED IN CONTAINERS WITH A CAPACITY OF MORE THAN FIVE GALLONS MUST BE STORED IN A PRODUCT-TIGHT CONTAINER ON AN IMPERVIOUS SURFACE DESIGNED AND MAINTAINED TO PREVENT FLOW TO EXPOSED SOILS, FLOOR DRAINS, AND OUTSIDE DRAINS AND BE CONTAINED WITHIN A SECONDARY CONTAINMENT IN ACCORDANCE WITH ARTICLE 12.4.1, SECTION 2 AND 7 OF THE TOWN OF BARRINGTON ZONING ORDINANCE.
- PRELIMINARY CONSTRUCTION SCHEDULE:
CONSTRUCTION START: OCTOBER 2012 - BUILDING #1 & #2 & SITE IMPROVEMENTS
CONSTRUCTION COMPLETION: JULY 2013
CONSTRUCTION START: OCTOBER 2014 - BUILDING #3
CONSTRUCTION COMPLETION: JULY 2015
- ALL BOUNDARY MARKERS TO BE SET SHALL BE BONDED WITH THE TOWN OF BARRINGTON AND SHALL BE A CONDITION OF SITE PLAN APPROVAL. BOUNDS SHALL BE SET UPON COMPLETION OF CONSTRUCTION AT INTERVALS NOT TO EXCEED 300'. BOUNDS SHALL BE AS-BUILT UPON COMPLETION.
- NO STRUCTURES, IMPERMEABLE SURFACES, PARKING SPACES, OR CONSTRUCTION-RELATED ACTIVITIES INCLUDING, BUT NOT LIMITED TO DREDGING, FILLING, AND REGRADING, SHALL BE PERMITTED WITHIN THE 50-FOOT EDGE-OF-WETLAND BUFFER AREA, EXCEPT AS SHOWN ON THIS PLAN AND AS APPROVED PER THE SPECIAL PERMIT GRANTED FOR THIS PROJECT.
- PROPERTY OWNER AND/OR HIS SUCCESSOR'S OR REPRESENTATIVES SHALL MAINTAIN THE FIRE CISTERN AND REQUIRED APPURTENANCES TO THE RIGHT-OF-WAY.
- NOISE LEVEL AT PROPERTY LINE SHALL NOT EXCEED 75db AS REQUIRED BY THE BARRINGTON ZONING REGULATIONS.
- A CONDITIONAL USE WAS GRANTED FOR THIS PROJECT ON AUGUST 7TH, 2012 BY THE BARRINGTON PLANNING BOARD ALLOWING A LIGHT INDUSTRIAL USE ON THE SUBJECT PROPERTY.
- A CONDITIONAL USE WAS GRANTED FOR THIS PROJECT ON AUGUST 7TH, 2012 BY THE BARRINGTON PLANNING BOARD ALLOWING CONSTRUCTION OF A BUILDING GREATER THAN 50,000 S.F. ON THE SUBJECT PROPERTY.
- CONCRETE EQUIPMENT PADS TO BE DESIGNED BY GEOTECHNICAL ENGINEER TO SUPPORT DESIGNATED EQUIPMENT.

APPROVED - BARRINGTON, NH
PLANNING BOARD

MAY 15 2013
RECEIVED
OWNER'S SIGNATURE
[Signature]

Design: BWG Draft: BWG Date: 06/08/12
Checked: WGM Scale: AS-NOTED Project No.: 10200
Drawing Name: 10200-PLAN.dwg
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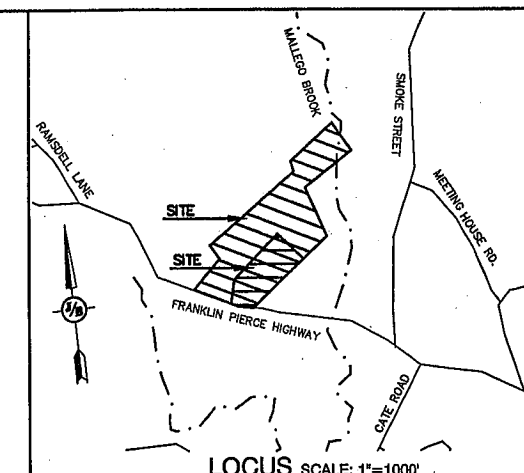
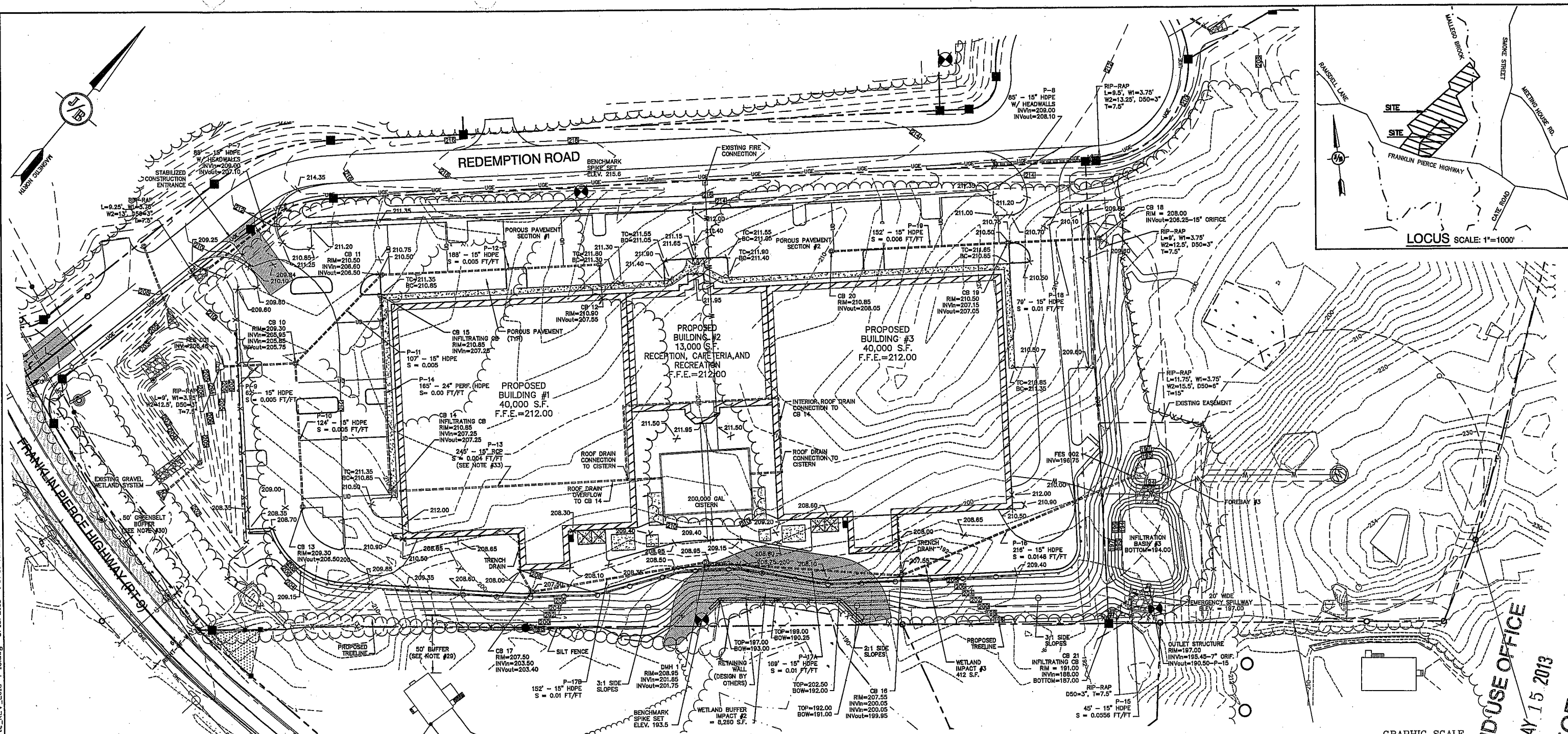
REV.	DATE	REVISION	BY
8	5/15/13	REVISED PER RETAINING WALL CHANGES	BWG
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6	9/27/12	REVISED PER AOT COMMENTS	BWG
5	8/27/12	REVISED PER AOT COMMENTS	BWG
4	8/16/12	REVISED PER PLANNING BOARD COMMENTS	BWG

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Plan Name: **SITE PLAN-LOT 3**
Project: **MAP 234 LOT 1-3
ROUTE 9, BARRINGTON, NH**
Owner of Record: **TOWN OF BARRINGTON
PO BOX 660, 333 CALEF HIGHWAY, BARRINGTON, NH 03825**

DRAWING No.
C2
SHEET 3 OF 12
JBE PROJECT NO. 10200

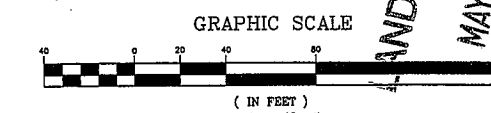
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GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- PROJECT DATUM: NH GRID NH83F
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL DRAINAGE FEATURES ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE DETAIL SHEET FOR DRAINAGE DETAILS.

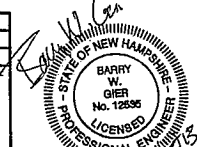
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO $\pm 1/2$ " PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- THIS PROJECT INCLUDES A 50' BUFFER FROM ADJUTING RESIDENTIAL STRUCTURES IN THE VILLAGE DISTRICT TO THE PROPOSED NON-RESIDENTIAL STRUCTURES, PER TOWN OF BARRINGTON ZONING REGULATIONS, SECTION 4.2.2.(7).
- PER THE TOWN OF BARRINGTON ZONING REGULATIONS, SECTION 4.2.2.(8), A 50' GREENBELT BUFFER SHALL BE MAINTAINED ALONG THE ROUTE 9 FRONTAGE. EXISTING VEGETATION SHALL BE MAINTAINED OR AUGMENTED TO PROVIDE A VISUAL SCREEN TO ROUTE 9. EXISTING VEGETATION SHALL BE MANAGED TO ALLOW 400' SIGHT DISTANCE.
- THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES. FUGITIVE DUST SHALL BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
- NO STRUCTURES, IMPERMEABLE SURFACES, PARKING SPACES, OR CONSTRUCTION-RELATED ACTIVITIES INCLUDING, BUT NOT LIMITED TO DREDGING, FILLING, AND REGRADING, SHALL BE PERMITTED WITHIN THE 50-FOOT EDGE-OF-WETLAND BUFFER AREA, EXCEPT AS SHOWN ON THIS PLAN AND AS APPROVED PER THE SPECIAL PERMIT GRANTED FOR THIS PROJECT.
- INSTALL ACCESS LIMITING GRATE TO INLET AND OUTFALL OF DRAIN LINE P-13. GRATE SHALL BE BOLTED TO THE STRUCTURE AT BOTH ENDS OF PIPE TO PREVENT UNAUTHORIZED ACCESS. GRATE BARS SPACING SHALL BE A MINIMUM OF 6".



PIPE VELOCITY TABLE (50-YEAR STORM EVENT)	
PIPE	AVG. VELOCITY (FT/SEC)
P-1	4.22
P-2	3.58
P-3	4.40
P-4	2.53
P-5	3.18
P-6	5.48
P-7	3.32
P-8	3.08
P-9	0.99
P-13	6.85
P-15	6.75
P-16	4.68
P-17	3.59
P-18	0.81

APPROVED - BARRINGTON, NH
PLANNING BOARD

Design: BWG Draft: BWG Date: 06/08/12
Checked: WGM Scale: AS-NOTED Project No.: 10200
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REV.	DATE	REVISION	BY
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Plan Name: **GRADING AND DRAINAGE PLAN**
Project: **MAP 234 LOT 1-3
ROUTE 9, BARRINGTON, NH**
Owner of Record: **TOWN OF BARRINGTON
PO BOX 660, 333 CALEF HIGHWAY, BARRINGTON, NH 03825**

DRAWING No.
C3
SHEET 4 OF 12
JBE PROJECT NO. 10200