

# COMMERCIAL SITE PLAN

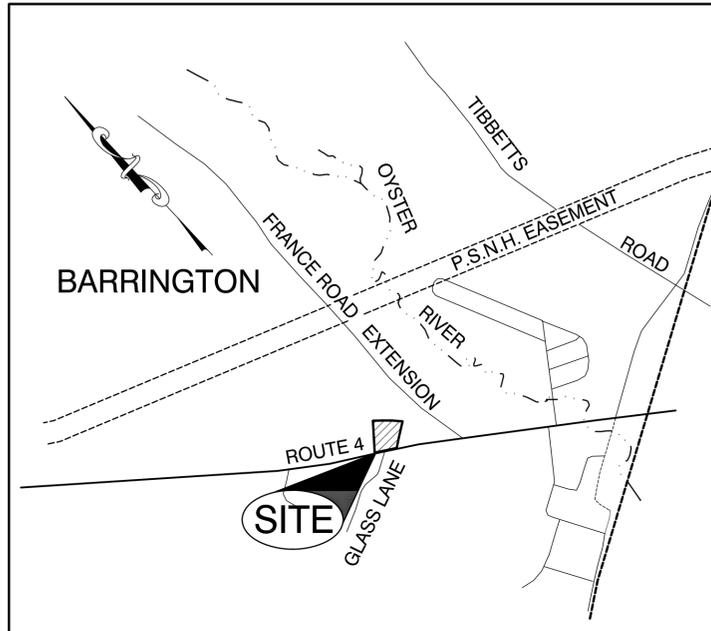
## THE YELLOW DOG'S BARN, LLC.

### TAX MAP 270 LOT 71

## N.H. ROUTE 4, BARRINGTON, NH 03825

#### SHEET INDEX

CS	COVER SHEET
A1	LOT LINE ADJUSTMENT
C1	EXISTING CONDITIONS PLAN
C2	SITE PLAN
D1	DETAIL SHEET
HA1	HIGHWAY ACCESS PLAN



LOCUS MAP  
SCALE 1" = 1000'

GENERAL LEGEND		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	WATER LINE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND BENCHMARK (TBM)
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	PERC TEST
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	DRAINAGE FLOW DIRECTION
---	---	FRESHWATER WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

#### PERMITS

##### TYPE OF PERMIT

**NHDOT DRIVEWAY PERMIT:**  
NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, DISTRICT SIX  
P.O. BOX 740  
DURHAM, NEW HAMPSHIRE 03824  
(603) 868-1133  
RESPONSIBLE CONSULTANT- JONES & BEACH ENGINEERS, INC.

**BARRINGTON SITE PLAN APPROVAL:**  
TOWN OF BARRINGTON PLANNING BOARD  
PO BOX 660, 333 CALEF HIGHWAY  
BARRINGTON, NH 03825  
(603)-664-5798  
RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.

**USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION:**  
EPA STORMWATER NOTICE PROCESSING CENTER  
MAIL CODE 4203M,  
US EPA  
1200 PENNSYLVANIA AVENUE, NW  
WASHINGTON, DC 20460  
RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.

##### STATUS

**SUBMITTED:** 2/6/2013  
**PERMIT NO.** 06-027-505  
**DATED:** 4/5/2013  
**EXPIRATION:** 4/5/2014

**SUBMITTED:** 10/16/13  
**PERMIT NO.**  
**DATED:**  
**EXPIRATION:**

#### NOTES:

- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IN ACCORDANCE WITH TOWN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- IN ACCORDANCE WITH BARRINGTON SITE PLAN REVIEW REGULATIONS AND RSA 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF BARRINGTON (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

**APPLICANT / APPLICANT**  
THE YELLOW DOG'S BARN, LLC  
136 OLD CONCORD TURNPIKE  
BARRINGTON, NH 03825  
(603) 868-3647  
CONTACT: HOLLY GRANT

**CIVIL ENGINEER / SURVEYOR**  
JONES & BEACH ENGINEERS, INC.  
85 PORTSMOUTH AVENUE  
PO BOX 219  
STRATHAM, NH 03885  
(603) 772-4746  
CONTACT: BARRY GIER  
EMAIL: BGIER@JONESANDBEACH.COM

**PROJECT PARCEL**  
TOWN OF BARRINGTON, NH  
TAX MAP 270, LOTS 71 & 71.1

**APPLICANT/OWNER**  
YELLOW DOG'S BARN  
136 OLD CONCORD TNP  
BARRINGTON, NH 03825  
BK 3851, PG 0446

**TOTAL LOT AREA**  
130,149 SQ. FT.  
2.98 ACRES

**APPROVED - BARRINGTON, NH  
PLANNING BOARD**

DATE:

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Design: BWG	Draft: BWG	Date: 08/14/13
Checked: WGM	Scale: AS NOTED	Project No.: 12175
Drawing Name: 12175-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
5	12/2/13	SITE REVISIONS	BWG
4	11/6/13	SITE REVISIONS	BWG
3	4/8/13	REVISED PER FINAL PLANS	BWG
2	4/01/13	REVISED PER NHDOT COMMENTS	BWG
1	2/27/13	REVISED PER TOWN COMMENTS	BWG

Designed and Produced in NH

## J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

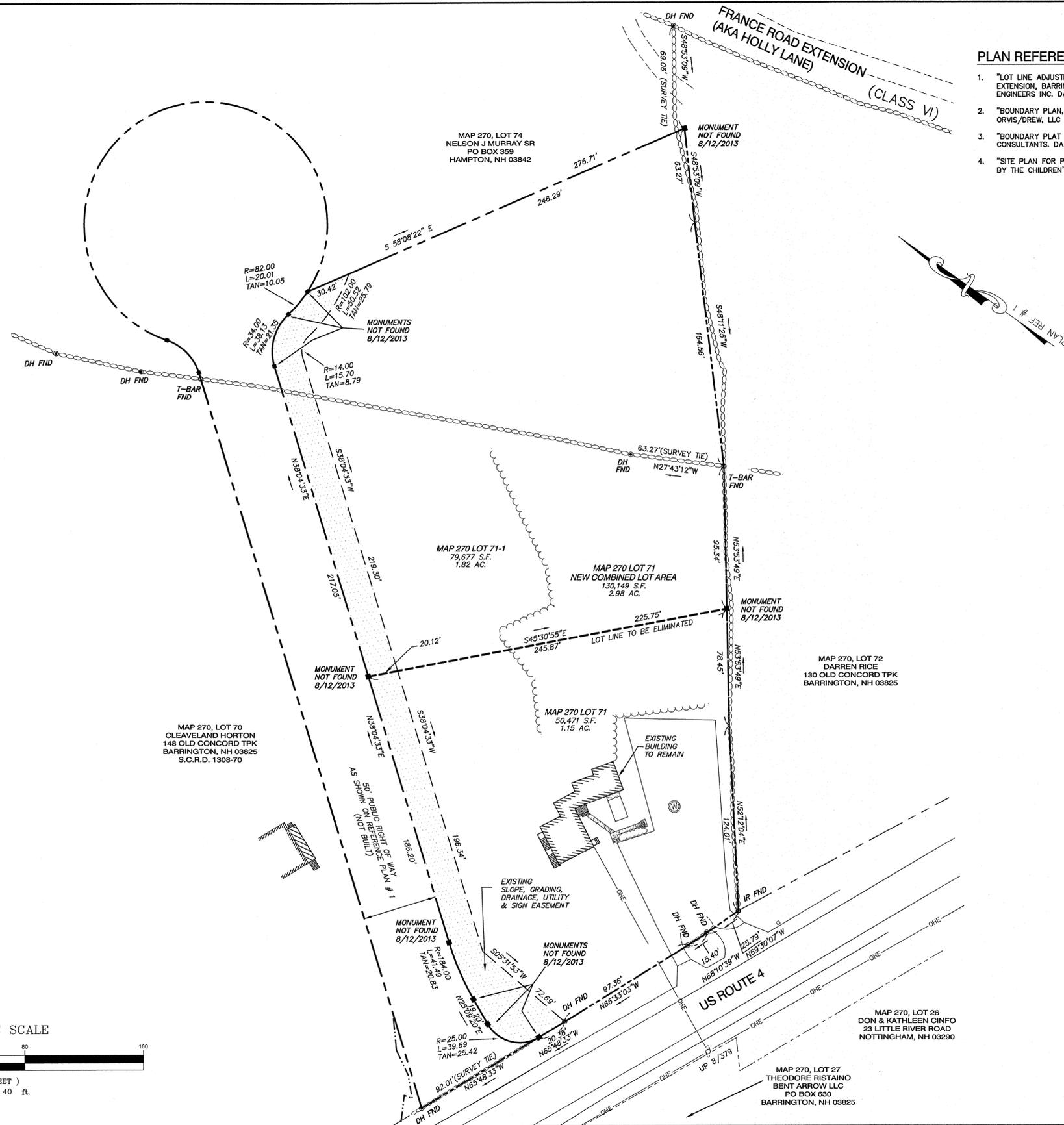
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>COVER SHEET</b>
Project:	<b>THE YELLOW DOG'S BARN, LLC. N.H. ROUTE 4, BARRINGTON, NH 03825</b>
Owner of Record:	<b>THE YELLOW DOG'S BARN, LLC 136 OLD CONCORD TURNPIKE, BARRINGTON, NH 03825</b>

DRAWING No.	<b>CS</b>
SHEET 1 OF 6	JBE PROJECT NO. 12175

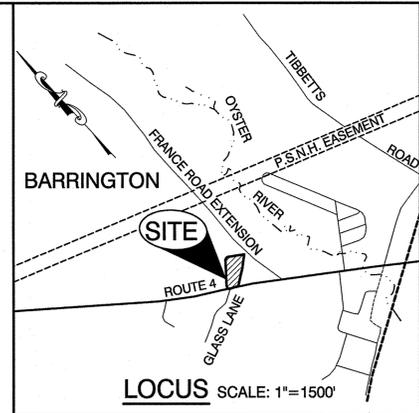
YELLOW DOG'S BARRINGTON REVISION 0 - 1/16/13

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**PLAN REFERENCES:**

- "LOT LINE ADJUSTMENT AND SUBDIVISION PLAN, TAX MAP 270 LOT 71 & 74, FRANCE ROAD EXTENSION, BARRINGTON, NH FOR KJ FRANCE ROAD EXTENSION LLC." BY JONES AND BEACH ENGINEERS INC. DATED NOVEMBER 29, 2006. S.C.R.D. PLAN #94-060.
- "BOUNDARY PLAN, BARRINGTON, STRAFFORD COUNTY, NH FOR HELEN C. ROBINSON." BY ORVIS/DREW, LLC PLAN #855. DATED MARCH 30, 2001. S.C.R.D. PLAN #63-27.
- "BOUNDARY PLAT LAND OF SAT SR, LIMITED PARTNERSHIP, BARRINGTON, NH." BY TODD LAND USE CONSULTANTS. DATED AUGUST 27, 2001, REVISED SEPT. 18, 2001 S.C.R.D. PLAN #63-31.
- "SITE PLAN FOR PROPERTY AT 366 NH ROUTE 4, BARRINGTON, STRAFFORD COUNTY, NH OWNED BY THE CHILDREN'S WORKSHOP." BY EASTERLY SURVEYING, INC. DATED SEPT. 28, 2005.

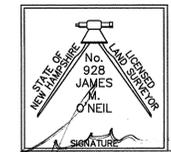


**GENERAL NOTES:**

- THE INTENT OF THIS PLAN IS TO DEPICT A CONSOLIDATION OF MAP 270 LOTS 71-1 AND LOT 71.
- THE SURVEY WAS PREPARED UTILIZING REFERENCE PLANS 1, 2 & 4 AND THE BOUNDARY WAS CONFIRMED BY THIS OFFICE IN JULY 2006, AUG. 2012, AND AUG 2013.
- OWNERS OF RECORD:**  
TAX MAP 270, LOT 71  
TAX MAP 270, LOT 71-1  
THE YELLOW DOG'S BARN, LLC  
136 OLD CONCORD TURNPIKE  
BARRINGTON, NH 03825  
BK. 3851 PG. 0446
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO 330178 0295 D, DATED MAY 17, 2005.
- ALL MONUMENTS WILL BE SET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- MAP 270 LOTS 71 & 71-1 ARE SUBJECT TO A 20' WIDE EASEMENT ALONG FRONTAGE FOR SLOPE, GRADING, DRAINAGE AND UTILITIES.

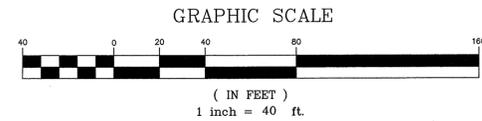
**CERTIFICATION:**

PURSUANT TO RSA 676:18-III AND RSA 672:14  
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.  
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.  
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.  
A COPY OF THIS PLAN HAS BEEN FILED WITH THE TOWN OF BARRINGTON PLANNING BOARD RSA 676:18 PAR. IV



**JAMES M. O'NEIL, LLS 928** DATE: 8-14-13  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

<b>PROJECT PARCEL</b> TOWN OF BARRINGTON TAX MAP 270, LOTS 71 & 71-1
<b>APPLICANT/OWNER</b> THE YELLOW DOG'S BARN LLC 136 OLD CONCORD TURNPIKE BARRINGTON, NH 03825 BK 3851, PG 0446
<b>EXISTING LOT AREA (TOTAL)</b> LOT 71 50,471 SQ. FT. 1.16 ACRES LOT 71-1 79,677 S.F. 1.83 ACRES



Design: JAC	Draft: JMO	Date: 08/12/13
Checked: JMO	Scale: 1"=40'	Project No.: 12175
Drawing Name: 12175-05230-CONSOLIDATION.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

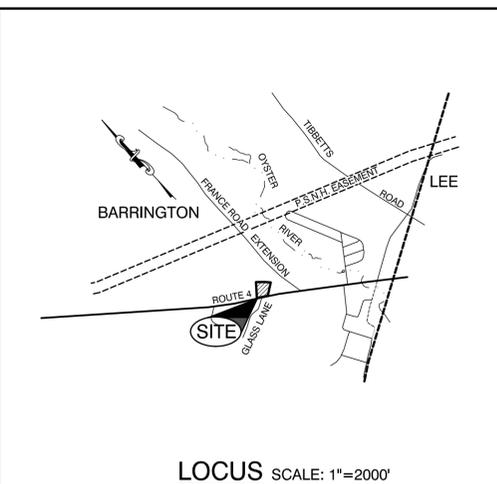
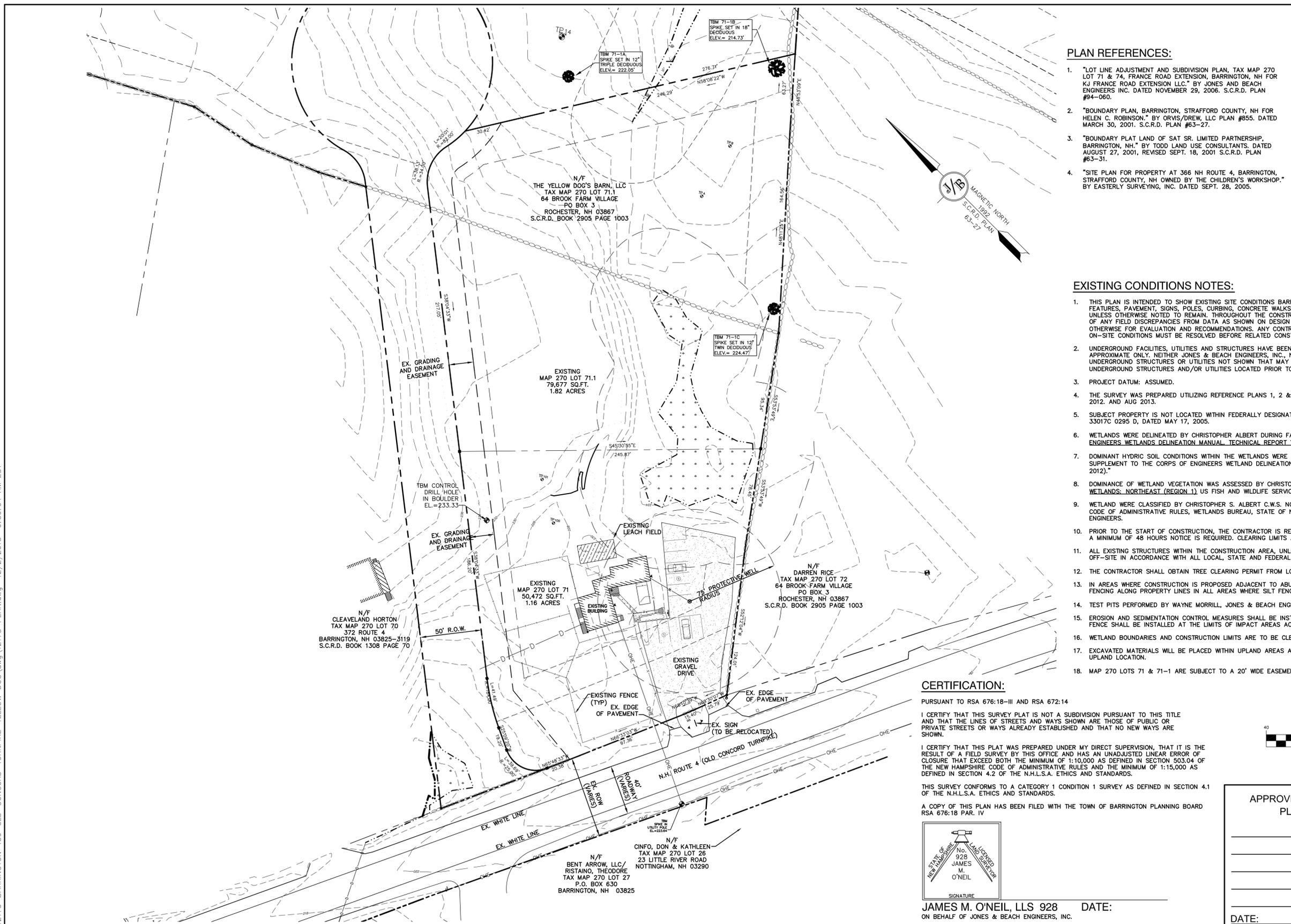
REV.	DATE	REVISION	BY
0	08/13/13	ISSUED FOR REVIEW	JMO

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. Stratham, NH 03885  
603-772-4746  
PO Box 219  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>CONSOLIDATION PLAN</b>
Project:	<b>TAX MAP 270, LOT 71 &amp; 71-1 US ROUTE 4, BARRINGTON, NH</b>
Client:	<b>THE YELLOW DOG'S BARN LLC 136 OLD CONCORD TURNPIKE BARRINGTON, NH 03825</b>

DRAWING No.  
**A1**  
SHEET 2 OF 5  
JBE PROJECT NO. 12175

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- "SITE PLAN FOR PROPERTY AT 366 NH ROUTE 4, BARRINGTON, STRAFFORD COUNTY, NH OWNED BY THE CHILDREN'S WORKSHOP." BY EASTERLY SURVEYING, INC. DATED SEPT. 28, 2005.

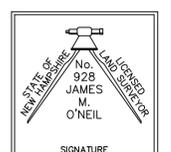
**EXISTING CONDITIONS NOTES:**

- THIS PLAN IS INTENDED TO SHOW EXISTING SITE CONDITIONS BARRINGTON MAP 270 LOTS 71 & 71.1. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
- PROJECT DATUM: ASSUMED.
- THE SURVEY WAS PREPARED UTILIZING REFERENCE PLANS 1, 2 & 4 AND THE BOUNDARY WAS CONFIRMED BY THIS OFFICE IN JULY 2006, AUG. 2012, AND AUG 2013.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33017C 0295 D, DATED MAY 17, 2005.
- WETLANDS WERE DELINEATED BY CHRISTOPHER ALBERT DURING FALL, 2012, PERFORMED TO THE STANDARDS OF THE "US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL TECHNICAL REPORT Y-87-1" (JANUARY, 1987).
- DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY CHRISTOPHER ALBERT UTILIZING THE CRITERIA OF "REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION - VERSION 2.0 - (JANUARY 2012)."
- DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY CHRISTOPHER ALBERT UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1) US FISH AND WILDLIFE SERVICE (MAY 1988).
- WETLAND WERE CLASSIFIED BY CHRISTOPHER S. ALBERT C.W.S. NO. 21 OF JONES & BEACH ENGINEERS, INC. DURING FALL, 2012., UTILIZING THE CODE OF ADMINISTRATIVE RULES, WETLANDS BUREAU, STATE OF NEW HAMPSHIRE (CURRENT), AND LOCATED BY THE OFFICE OF JONES & BEACH ENGINEERS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- TEST PITS PERFORMED BY WAYNE MORRILL, JONES & BEACH ENGINEERS, INC., 12/5/08.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
- EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.
- MAP 270 LOTS 71 & 71-1 ARE SUBJECT TO A 20' WIDE EASEMENT ALONG FRONTAGE FOR SLOPE, GRADING, DRAINAGE AND UTILITIES.

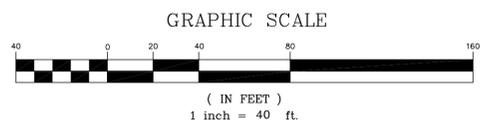
**CERTIFICATION:**

PURSUANT TO RSA 676:18-III AND RSA 672:14  
 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.  
 I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.  
 A COPY OF THIS PLAN HAS BEEN FILED WITH THE TOWN OF BARRINGTON PLANNING BOARD RSA 676:18 PAR. IV



**JAMES M. O'NEIL, LLS 928** DATE:  
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.



APPROVED - BARRINGTON, NH PLANNING BOARD	PROJECT PARCEL TOWN OF BARRINGTON, NH TAX MAP 270, LOTS 71 & 71.1
	APPLICANT/OWNER YELLOW DOG'S BARN 136 OLD CONCORD TNPK BARRINGTON, NH 03825 BK 3851, PG 0446
	TOTAL LOT AREA 130,149 SQ. FT. 2.98 ACRES

Design: BWG	Draft: BWG	Date: 08/14/13
Checked: WGM	Scale: AS-NOTED	Project No.: 12175
Drawing Name: 12175-PLAN.dwg		
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5	12/2/13	SITE REVISIONS	BWG
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3	4/8/13	REVISED PER FINAL PLANS	BWG
2	4/01/13	REVISED PER NHDOT COMMENTS	BWG
1	2/27/13	REVISED PER TOWN COMMENTS	BWG

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746  
 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>THE YELLOW DOG'S BARN, LLC. N.H. ROUTE 4, BARRINGTON, NH 03825</b>
Owner of Record:	<b>THE YELLOW DOG'S BARN, LLC 136 OLD CONCORD TURNPIKE, BARRINGTON, NH 03825</b>

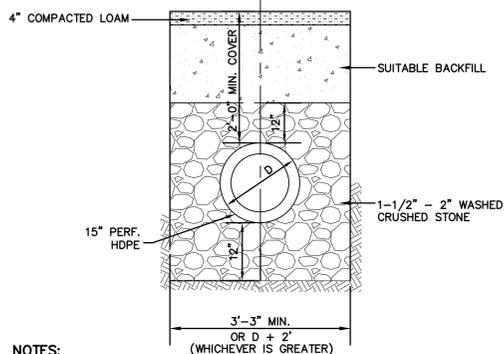
DRAWING No.	<b>C1</b>
SHEET 3 OF 6	JBE PROJECT NO. 12175

**DRAINAGE STRUCTURES:**

CB #1  
RIM = 226.00  
INVout=223.00

CB #2  
RIM = 226.00  
INVout=223.00

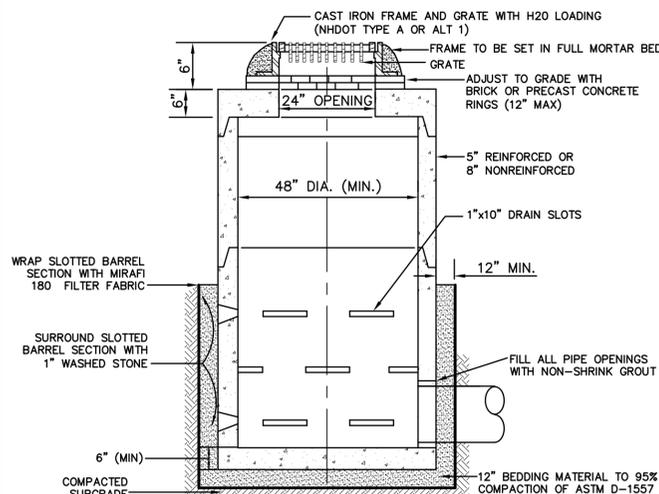
P-201  
64" - 15" PERF. HDPE  
S=0.000 FT/FT



**NOTES:**  
1. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

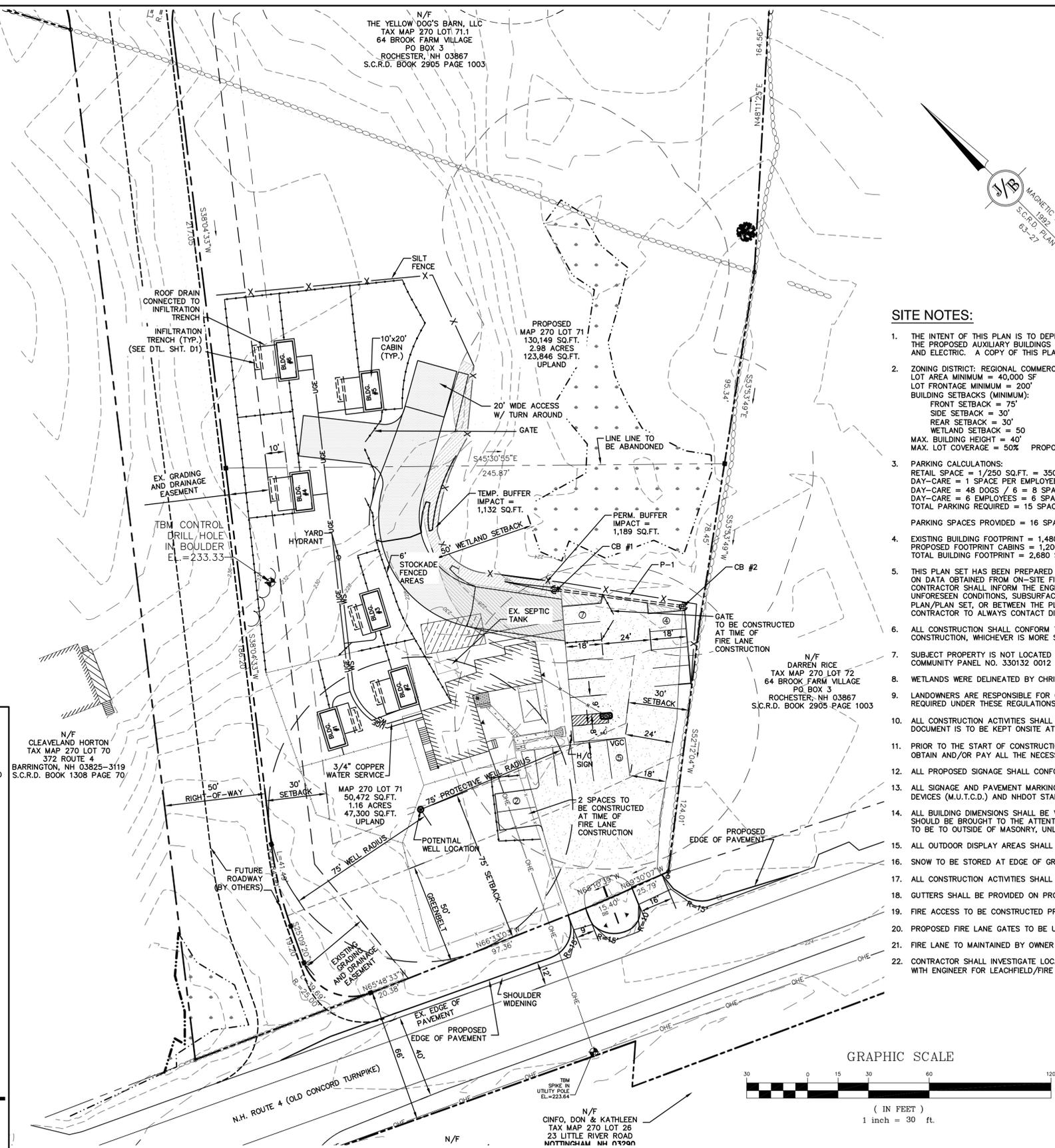
**DRAINAGE TRENCH**

NOT TO SCALE



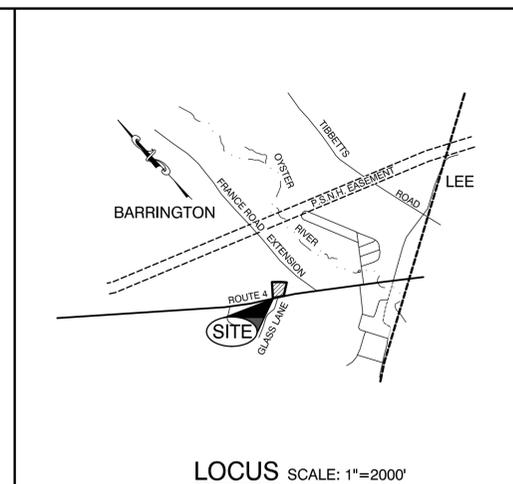
**LEACHING CATCH BASIN (WITH OUTLET PIPE)**

NOT TO SCALE

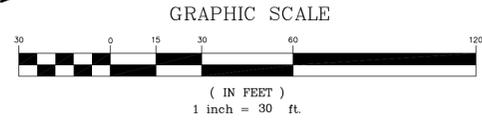


**SITE NOTES:**

- THE INTENT OF THIS PLAN IS TO DEPICT THE PROPOSED CONSTRUCTION OF SIX (6) 200 SQ.FT. AUXILIARY BUILDINGS WITH ASSOCIATED PARKING. THE PROPOSED AUXILIARY BUILDINGS WILL OPERATE AS OVERNIGHT KENNELS. PROPOSED BUILDINGS TO BE SERVICED BY EXISTING ON-SITE WELL AND ELECTRIC. A COPY OF THIS PLAN IS TO BE FILED AT THE TOWN OF BARRINGTON TOWN OFFICES.
- ZONING DISTRICT: REGIONAL COMMERCIAL  
LOT AREA MINIMUM = 40,000 SF  
LOT FRONTAGE MINIMUM = 200'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 75'  
SIDE SETBACK = 30'  
REAR SETBACK = 30'  
WETLAND SETBACK = 50'  
MAX. BUILDING HEIGHT = 40'  
MAX. LOT COVERAGE = 50% PROPOSED = 12.7%
- PARKING CALCULATIONS:  
RETAIL SPACE = 1/250 SQ.FT. = 350 SQ.FT./250 SQ.FT. = 1.4 SPACES  
DAY-CARE = 1 SPACE PER EMPLOYEE + 1 PER 6 DOGS  
DAY-CARE = 48 DOGS / 6 = 8 SPACES  
DAY-CARE = 6 EMPLOYEES = 6 SPACES  
TOTAL PARKING REQUIRED = 15 SPACES  
PARKING SPACES PROVIDED = 16 SPACES
- EXISTING BUILDING FOOTPRINT = 1,480 S.F.  
PROPOSED FOOTPRINT CABINS = 1,200 S.F.  
TOTAL BUILDING FOOTPRINT = 2,680 S.F.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE (ELEVATION 9 NGVD 1929). REFERENCE FEMA COMMUNITY PANEL NO. 330132 0012 B, DATED JULY 3, 2005.
- WETLANDS WERE DELINEATED BY CHRISTOPHER ALBERT DURING FALL, 2012, AND LOCATED BY THIS OFFICE.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL OUTDOOR DISPLAY AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY FASHION.
- SNOW TO BE STORED AT EDGE OF GRAVEL DRIVE & PARKING, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- GUTTERS SHALL BE PROVIDED ON PROPOSED BUILDINGS AND DIRECTED TO PROPOSED INFILTRATION TRENCHES.
- FIRE ACCESS TO BE CONSTRUCTED PRIOR TO BUILDING PERMIT FOR BUILDING 4, 5, OR 6
- PROPOSED FIRE LANE GATES TO BE UNLOCKED AT ALL TIMES. GATE TO INCLUDE SIGN "OPEN FOR FIRE DEPARTMENT".
- FIRE LANE TO MAINTAINED BY OWNER AND ACCESSIBLE YEAR-ROUND.
- CONTRACTOR SHALL INVESTIGATE LOCATION OF EXISTING LEACH FIELD PRIOR TO CONSTRUCTION OF FIRE LANE. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR LEACHFIELD/FIRE LANE DESIGN.



OWNERS SIGNATURE



APPROVED - BARRINGTON, NH PLANNING BOARD	PROJECT PARCEL TOWN OF BARRINGTON, NH TAX MAP 270, LOTS 71 & 71.1
APPLICANT/OWNER THE YELLOW DOG'S BARN, LLC. 136 OLD CONCORD TURNPIKE BARRINGTON, NH 03825 BK 3851, PG 0446	TOTAL LOT AREA 130,149 SQ. FT. 2.98 ACRES
DATE:	

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Design: BWG	Draft: BWG	Date: 08/14/13
Checked: WGM	Scale: AS-NOTED	Project No.: 12175
Drawing Name: 12175-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
5	12/2/13	SITE REVISIONS	BWG
4	11/6/13	SITE REVISIONS	BWG
3	4/8/13	REVISED PER FINAL PLANS	BWG
2	4/01/13	REVISED PER NHDOT COMMENTS	BWG
1	2/27/13	REVISED PER TOWN COMMENTS	BWG

Designed and Produced in NH

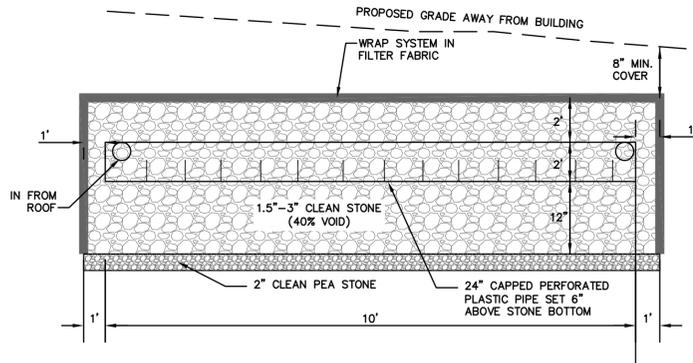
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03865

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

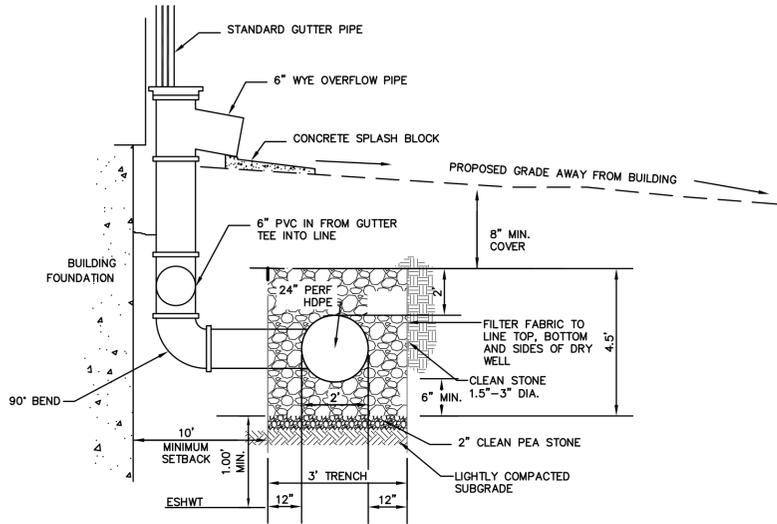
Plan Name:	<b>SITE PLAN</b>
Project:	<b>THE YELLOW DOG'S BARN, LLC. N.H. ROUTE 4, BARRINGTON, NH 03825</b>
Owner of Record:	<b>THE YELLOW DOG'S BARN, LLC 136 OLD CONCORD TURNPIKE, BARRINGTON, NH 03825</b>

DRAWING No.	<b>C2</b>
SHEET 4 OF 6	JBE PROJECT NO. 12175



INFILTRATION TRENCH (SIDE VIEW)

NOT TO SCALE

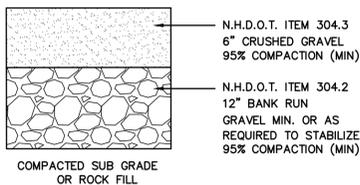


INFILTRATION TRENCH (END VIEW)

NOT TO SCALE

INFILTRATION TRENCH NOTES:

- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL PERFORM TEST PITS (2) IN LOCATION OF PROPOSED SYSTEM TO CONFIRM THE LOCATION OF THE SEASONAL HIGH WATER TABLE. TEST PITS TO BE LOGGED BY A CERTIFIED SOIL SCIENTIST AND FINDINGS REPORTED TO THE ENGINEER.
- ALL INFILTRATION SYSTEM SHALL BE BUILT WITH THE BOTTOM OF THE SYSTEM TO BE SET ABOVE SEASONAL HIGH WATER TABLE.
- INFILTRATION TESTING SHALL BE PERFORMED BY THE CONTRACTOR IN THE LOCATION OF THE PROPOSED INFILTRATION TRENCH PRIOR TO THE START OF CONSTRUCTION. IF INFILTRATION RATE IS FOUND TO BE LESS THAN 0.4 INCHES/HOUR THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND THE INFILTRATION TRENCH DESIGN SHALL BE UPDATED AND RE-SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL.
- ONCE THE SYSTEM HAS BEEN CONSTRUCTED, IT SHOULD BE TESTED BY INSERTING A GARDEN HOSE INTO THE INLET AND ALLOWING THE WATER TO RUN FOR A MINIMUM OF ONE (1) HOUR. THE WATER SHOULD STAY UNDERGROUND WITHIN THE GRAVEL. IF WATER COMES OUT OF THE OVERFLOW, THE SYSTEM SHOULD BE FURTHER INSPECTED AND POSSIBLY REPLACED. THIS PROCEDURE SHOULD BE PERFORMED EVERY YEAR DURING THE FALL INSPECTION.
- IN THE SPRING AND FALL, VISUALLY INSPECT THE AREA AROUND THE SYSTEM AND REPAIR ANY EROSION. USE SMALL STONES TO STABILIZE EROSION ALONG DRAINAGE PATHS. RE-MULCH ANY VOID AREAS BY HAND AS NEEDED. ALSO INSPECT THE ROOF COLLECTION AND PIPING AND CLEAN AND REPAIR AS NECESSARY.
- DO NOT PLANT DEEP ROOTED TREES AND SHRUBS WITHIN 5' OF THE SYSTEM.
- KEEP HEAVY VEHICLES FROM DRIVING OR PARKING OVER THE SYSTEM.



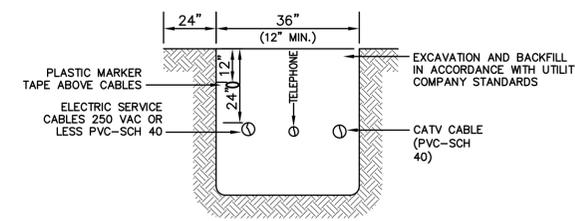
NOTE: IN AREAS OF ROCK EXCAVATION, MINIMUM 9\"/>

GRAVEL SECTION

NOT TO SCALE

TEMPORARY EROSION CONTROL NOTES

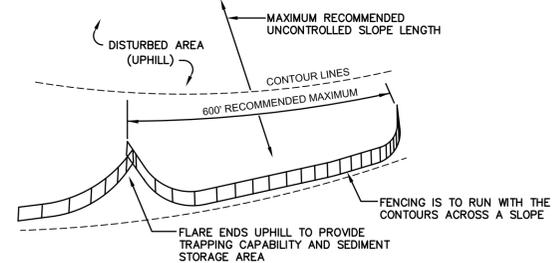
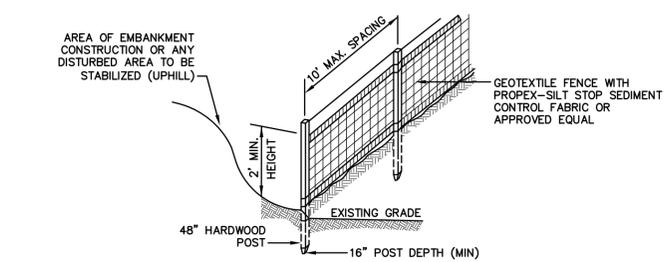
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF THAT REQUIRED FOR CONSTRUCTION BE EXPOSED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6\"/>



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24\"/>

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.

SILT FENCE

NOT TO SCALE

SEEDING SPECIFICATIONS

- GRADING AND SHAPING
  - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
  - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OF WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
  - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
    - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
    - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
    - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
    - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
  - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
  - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNVETCH, BIRDSFOOT, TREFOL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
  - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH
  - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND
  - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP OUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH OR FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

\* POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

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Drawing Name: 12175-PLAN.dwg		
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4	11/6/13	SITE REVISIONS	BWG
3	4/8/13	REVISED PER FINAL PLANS	BWG
2	4/01/13	REVISED PER NHDOT COMMENTS	BWG
1	2/27/13	REVISED PER TOWN COMMENTS	BWG

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746  
603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

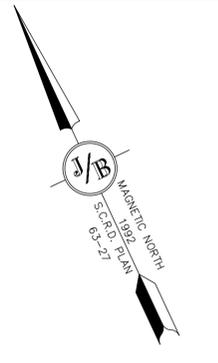
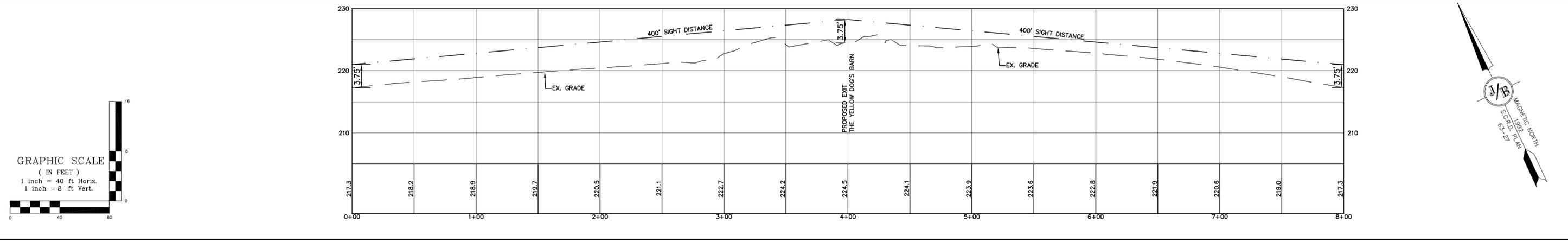
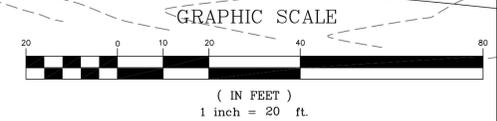
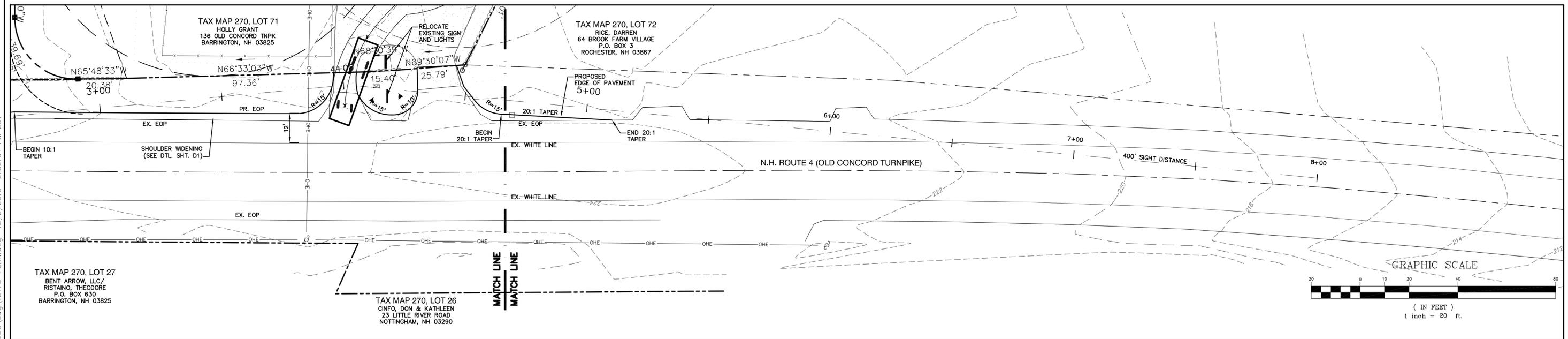
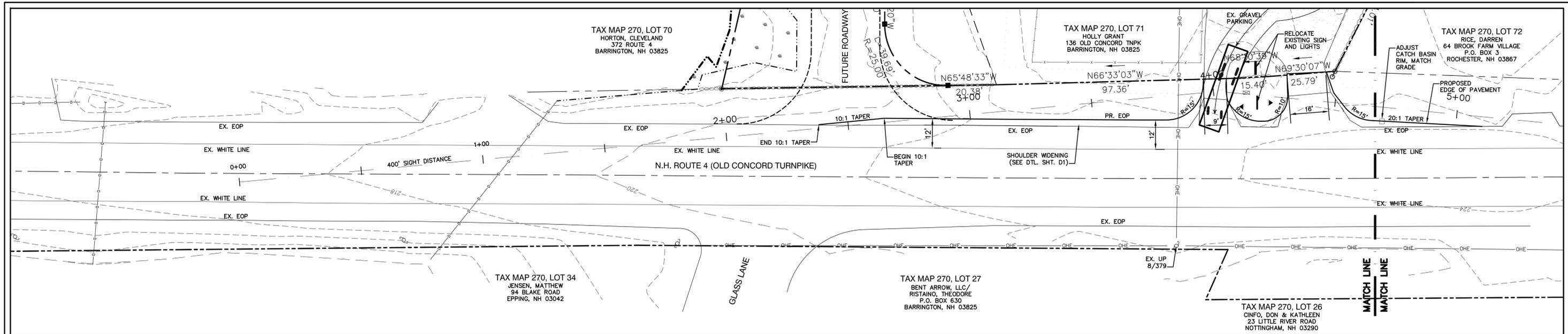
Project: **THE YELLOW DOG'S BARN, LLC, N.H. ROUTE 4, BARRINGTON, NH 03825**

Owner of Record: **THE YELLOW DOG'S BARN, LLC, 136 OLD CONCORD TURNPIKE, BARRINGTON, NH 03825**

DRAWING No. **D1**

SHEET 5 OF 6  
JBE PROJECT NO. 12175

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 Checked: WGM    Scale: AS NOTED    Project No.: 12175  
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85 Portsmouth Ave.    PO Box 219    Stratham, NH 03885    603-772-4746    FAX: 603-772-0227    E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **HIGHWAY ACCESS PLAN**

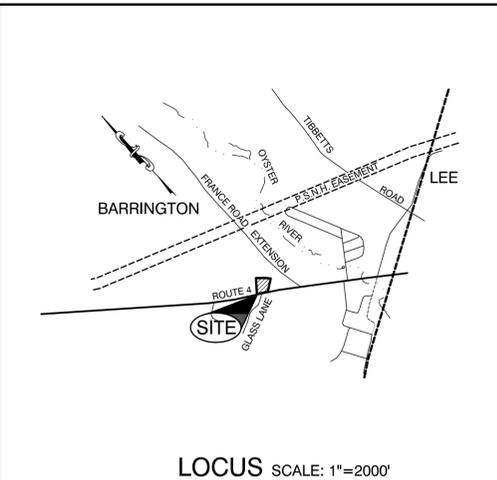
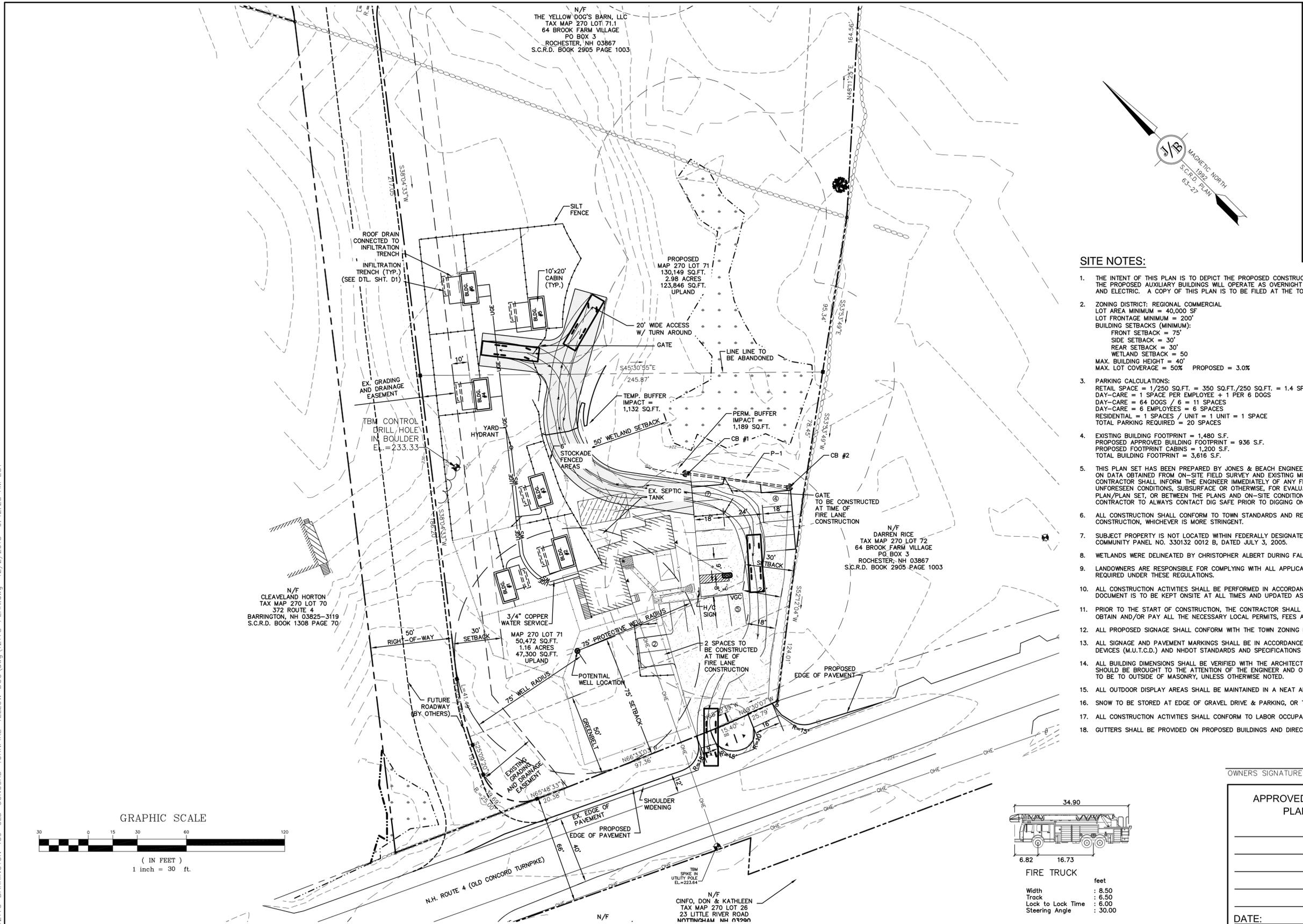
Project: **THE YELLOW DOG'S BARN, LLC, N.H. ROUTE 4, BARRINGTON, NH 03825**

Owner of Record: **THE YELLOW DOG'S BARN, LLC, 136 OLD CONCORD TURNPIKE, BARRINGTON, NH 03825**

DRAWING No. **HA1**

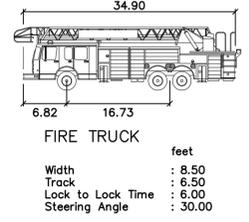
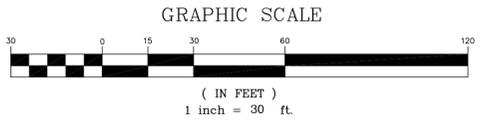
SHEET 6 OF 6  
 JBE PROJECT NO. 12175

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**SITE NOTES:**

- THE INTENT OF THIS PLAN IS TO DEPICT THE PROPOSED CONSTRUCTION OF SIX (6) 200 SQ.FT. AUXILIARY BUILDINGS WITH ASSOCIATED PARKING. THE PROPOSED AUXILIARY BUILDINGS WILL OPERATE AS OVERNIGHT KENNELS. PROPOSED BUILDINGS TO BE SERVICED BY EXISTING ON-SITE WELL AND ELECTRIC. A COPY OF THIS PLAN IS TO BE FILED AT THE TOWN OF BARRINGTON TOWN OFFICES.
- ZONING DISTRICT: REGIONAL COMMERCIAL  
 LOT AREA MINIMUM = 40,000 SF  
 LOT FRONTAGE MINIMUM = 200'  
 BUILDING SETBACKS (MINIMUM):  
 FRONT SETBACK = 75'  
 SIDE SETBACK = 30'  
 REAR SETBACK = 30'  
 WETLAND SETBACK = 50'  
 MAX. BUILDING HEIGHT = 40'  
 MAX. LOT COVERAGE = 50% PROPOSED = 3.0%
- PARKING CALCULATIONS:  
 RETAIL SPACE = 1/250 SQ.FT. = 350 SQ.FT./250 SQ.FT. = 1.4 SPACES  
 DAY-CARE = 1 SPACE PER EMPLOYEE + 1 PER 6 DOGS  
 DAY-CARE = 64 DOGS / 6 = 11 SPACES  
 DAY-CARE = 6 EMPLOYEES = 6 SPACES  
 RESIDENTIAL = 1 SPACES / UNIT = 1 UNIT = 1 SPACE  
 TOTAL PARKING REQUIRED = 20 SPACES
- EXISTING BUILDING FOOTPRINT = 1,480 S.F.  
 PROPOSED APPROVED BUILDING FOOTPRINT = 936 S.F.  
 PROPOSED FOOTPRINT CABINS = 1,200 S.F.  
 TOTAL BUILDING FOOTPRINT = 3,616 S.F.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE (ELEVATION 9 NGVD 1929). REFERENCE FEMA COMMUNITY PANEL NO. 330132 0012 B, DATED JULY 3, 2005.
- WETLANDS WERE DELINEATED BY CHRISTOPHER ALBERT DURING FALL, 2012, AND LOCATED BY THIS OFFICE.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL OUTDOOR DISPLAY AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY FASHION.
- SNOW TO BE STORED AT EDGE OF GRAVEL DRIVE & PARKING, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- GUTTERS SHALL BE PROVIDED ON PROPOSED BUILDINGS AND DIRECTED TO PROPOSED INFILTRATION TRENCHES.



OWNERS' SIGNATURE \_\_\_\_\_

APPROVED - BARRINGTON, NH PLANNING BOARD

PROJECT PARCEL  
TOWN OF BARRINGTON, NH  
TAX MAP 270, LOTS 71 & 71.1

APPLICANT/OWNER  
YELLOW DOG'S BARN  
136 OLD CONCORD TNPK  
BARRINGTON, NH 03825  
BK 3851, PG 0446

TOTAL LOT AREA  
130,149 SQ. FT.  
2.98 ACRES

DATE: \_\_\_\_\_

Design: BWG	Draft: BWG	Date: 08/14/13
Checked: WGM	Scale: AS-NOTED	Project No.: 12175
Drawing Name: 12175-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
5	12/2/13	SITE REVISIONS	BWG
4	11/6/13	SITE REVISIONS	BWG
3	4/8/13	REVISED PER FINAL PLANS	BWG
2	4/01/13	REVISED PER NHDOT COMMENTS	BWG
1	2/27/13	REVISED PER TOWN COMMENTS	BWG

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXHIBIT #1 - FIRE LANE**

Project: **THE YELLOW DOG'S BARN, LLC.  
N.H. ROUTE 4, BARRINGTON, NH 03825**

Owner of Record: **THE YELLOW DOG'S BARN, LLC  
136 OLD CONCORD TURNPIKE, BARRINGTON, NH 03825**

DRAWING No. **EH-1**

SHEET 4 OF 6  
JBE PROJECT NO. 12175